



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Erik Hansen - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
January 9, 2018
9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. BOARD OF COUNTY COMMISSIONERS 2018 REORGANIZATION

5. AWARDS AND PRESENTATIONS

- A.** Government Finance Officers Association (GFOA) Distinguished Budget Presentation Award
- B.** Government Finance Officers Association 2016 Excellence in Financial Reporting Award
- D.** Employees of the Seasons Presentation

6. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

7. CONSENT CALENDAR

- A.** List of Expenditures Under the Dates of December 1-7, 2017

- B.** List of Expenditures Under the Dates of December 8-13, 2017
- C.** List of Expenditures Under the Dates of December 14-22, 2017
- D.** List of Expenditures Under the Dates of December 26-29, 2017
- E.** Minutes of the Commissioners' Proceedings from January 2, 2018
- F.** Resolution Approving Colorado Preschool Program Intergovernmental Agreement 2017-2018 between Adams County Head Start and Adams County School District 14
(File was approved by ELT)
- G.** Resolution Approving the Agreement between Adams County and the Colorado Department of Labor and Employment for Workforce Development Programs
(File was approved by ELT)
- H.** Resolution Approving Assignment and Assumption of Contracts for the Home Investment Partnerships (HOME) Program and Community Development Block Grant (CDBG) Contracts
(File was approved by ELT)
- I.** Resolution Approving Arbitrators for Property Valuation Appeals
(File was approved by ELT)
- J.** Resolution Approving the Inaugural Arts and Culture Master Plan
(File was approved by ELT)

8. NEW BUSINESS

A. COUNTY MANAGER

- 1.** Resolution Awarding an Agreement between Adams County and Big Paulie Productions LLC for Concert Production Services
(File was approved by ELT)
- 2.** Resolution Approving Amendment Two to the Agreement between Adams County and Stream Design LLC, for Additional Services
(File was approved by ELT)
- 3.** Resolution Awarding an Agreement between Adams County and Energes Services LLC, for the Twin Lakes Park Improvements and Clear Creek Trail Replacement
(File was approved by ELT)

B. COUNTY ATTORNEY

9. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Proposed RTA

10. LAND USE HEARINGS

A. Cases to be Heard

- 1.** RCU2017-00032 Oak Leaf Hudson
(File was approved by ELT)
- 2.** RCU2017-00037 Hill Rezoning
(File was approved by ELT)
- 3.** PRC2017-00007 Midtown Third Amendment to the Preliminary Development Plan
(File was approved by ELT)

11. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,626,564.63
4	Capital Facilities Fund	397,187.14
5	Golf Course Enterprise Fund	14,522.36
6	Equipment Service Fund	20,018.24
11	Sub-Station Construction Fund	5,478.50
13	Road & Bridge Fund	1,139,528.74
19	Insurance Fund	243,084.60
24	Conservation Trust Fund	3,974.16
27	Open Space Projects Fund	28,859.52
28	Open Space Sales Tax Fund	180,000.00
30	Community Dev Block Grant Fund	251,074.65
31	Head Start Fund	26,574.02
34	Comm Services Blk Grant Fund	47.19
35	Workforce & Business Center	5,711.33
43	Front Range Airport	4,741.45
44	Water and Wastewater Fund	2,282.64
50	FLATROCK Facility Fund	1,370.62
		<u>3,951,019.79</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717279	13161	ARNOLD MACHINERY COMPANY	12/01/17	31,966.20
00717284	140646	AZTEC SOFTWARE	12/01/17	6,424.00
00717285	429636	BRINKMAN CONSULTING INC	12/01/17	2,500.00
00717286	9902	CHEMATOX LABORATORY INC	12/01/17	2,005.00
00717287	40398	CINTAS CORPORATION #66	12/01/17	138.03
00717288	645107	CLASSIC TRAILER SALES INC	12/01/17	4,879.00
00717291	255001	COPYCO QUALITY PRINTING INC	12/01/17	4,635.00
00717296	230562	FASCO SECURITY PRODUCTS	12/01/17	978.00
00717297	38907	FINANCIAL EQUIPMENT COMPANY	12/01/17	2,145.00
00717298	289637	GENERAL NETWORKS	12/01/17	803.40
00717300	489684	HEWLETT-PACKARD ENTERPRISE CO	12/01/17	6,355.34
00717301	632670	HUDSON SIMULATION SERVICES LLC	12/01/17	3,522.63
00717302	438142	HYPERTEC DIRECT	12/01/17	11,899.05
00717304	453327	LATPRO INC	12/01/17	1,133.34
00717305	36861	LEXIS NEXIS MATTHEW BENDER	12/01/17	2,034.99
00717306	545376	LINX	12/01/17	2,647.50
00717308	547834	LOPEZ MARCUS	12/01/17	322.00
00717309	13591	MWI VETERINARY SUPPLY CO	12/01/17	3,700.56
00717311	418286	PRECIOUS CHILD	12/01/17	1,000.00
00717312	44148	PRO FORCE LAW ENFORCEMENT	12/01/17	37,829.65
00717313	163837	PTS OF AMERICA LLC	12/01/17	1,502.00
00717314	216245	PUSH PEDAL PULL INC	12/01/17	13,890.00
00717315	7406	SIERRA DETENTION SYSTEMS	12/01/17	18,214.52
00717316	373844	SOLARWINDS WORLDWIDE LLC	12/01/17	21,040.00
00717317	599714	SUMMIT FOOD SERVICE LLC	12/01/17	39,257.75
00717319	638536	WORLDPOINT ECC INC	12/01/17	5,491.80
00717324	545959	BLACKFORD WEIGHING SYSTEMS INC	12/01/17	1,103.86
00717326	660833	COLE CODY HUTCHINSON	12/01/17	10.00
00717328	78873	COMCAST CABLE	12/01/17	1.06
00717329	248103	DS WATERS OF AMERICA INC	12/01/17	25.35
00717330	219483	ECONOMIC & PLANNING SYSTEMS IN	12/01/17	17,904.26
00717332	294059	GROUNDS SERVICE COMPANY	12/01/17	528.00
00717334	34052	HERMAN, JAMES	12/01/17	78.00
00717335	323337	HIGH PLAINS REPORTING & TRANSC	12/01/17	36.00
00717337	652692	MIDGLEY ALEXANDRA	12/01/17	168.40
00717339	181554	NESS CHRISTOPHER P	12/01/17	78.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717340	629199	ORTIZ, EMILIANO SANTIAGO	12/01/17	9.52
00717341	44148	PRO FORCE LAW ENFORCEMENT	12/01/17	593.95
00717342	8348	PUEBLO COUNTY COMMISSIONERS	12/01/17	310.00
00717343	76397	ROWLAND CLAUDIA	12/01/17	40.66
00717344	53265	SAMS CLUB	12/01/17	1,448.47
00717345	13538	SHRED IT USA LLC	12/01/17	100.00
00717346	44589	STANLEY JENNIFER DAWN	12/01/17	182.00
00717347	599714	SUMMIT FOOD SERVICE LLC	12/01/17	4,657.95
00717348	37005	TOSHIBA BUSINESS SOLUTIONS	12/01/17	1,834.02
00717349	660834	TRUJILLO PETE SECUNDINO	12/01/17	10.00
00717350	48935	VIS KELLY C	12/01/17	70.25
00717353	7117	WORLD CONNECTIONS TRAVEL	12/01/17	1,966.00
00717354	517830	ZAMORA REBECCA	12/01/17	546.07
00717357	13160	BRIGHTON CITY OF (WATER)	12/05/17	2,790.08
00717358	13160	BRIGHTON CITY OF (WATER)	12/05/17	83.24
00717359	13160	BRIGHTON CITY OF (WATER)	12/05/17	774.48
00717360	13160	BRIGHTON CITY OF (WATER)	12/05/17	18,000.83
00717361	13160	BRIGHTON CITY OF (WATER)	12/05/17	10,867.81
00717363	491853	CENTER POINT ENERGY SERVICES R	12/05/17	1,780.90
00717364	491853	CENTER POINT ENERGY SERVICES R	12/05/17	2,431.67
00717365	491853	CENTER POINT ENERGY SERVICES R	12/05/17	1,093.49
00717366	491853	CENTER POINT ENERGY SERVICES R	12/05/17	9,226.12
00717367	5467	COLO ASSN OF ANIMAL CONTROL	12/05/17	15.00
00717368	553499	COLO COOPERATION CONFERENCE	12/05/17	55.00
00717369	209334	COLO NATURAL GAS INC	12/05/17	73.67
00717370	252174	COLORADO COMMUNITY MEDIA	12/05/17	26.96
00717374	13565	INTERMOUNTAIN REA	12/05/17	47.14
00717375	422240	MANN LACEY	12/05/17	306.56
00717376	660827	MENA SOPHIA	12/05/17	300.00
00717377	443757	NRG DGPV FUND 1 LLC	12/05/17	415.16
00717378	443757	NRG DGPV FUND 1 LLC	12/05/17	81.52
00717379	443757	NRG DGPV FUND 1 LLC	12/05/17	469.16
00717382	13932	SOUTH ADAMS WATER & SANITATION	12/05/17	297.85
00717383	13932	SOUTH ADAMS WATER & SANITATION	12/05/17	402.97
00717384	4755	THORNTON CITY OF WATER & SEWER	12/05/17	322.39
00717385	1007	UNITED POWER (UNION REA)	12/05/17	22,885.89

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717386	1007	UNITED POWER (UNION REA)	12/05/17	53.88
00717387	1007	UNITED POWER (UNION REA)	12/05/17	94.71
00717388	1007	UNITED POWER (UNION REA)	12/05/17	1,258.06
00717389	1007	UNITED POWER (UNION REA)	12/05/17	1,222.68
00717390	1007	UNITED POWER (UNION REA)	12/05/17	104.48
00717391	1007	UNITED POWER (UNION REA)	12/05/17	6,025.61
00717392	1007	UNITED POWER (UNION REA)	12/05/17	28.42
00717393	1007	UNITED POWER (UNION REA)	12/05/17	5,480.72
00717394	1007	UNITED POWER (UNION REA)	12/05/17	7,478.70
00717395	1007	UNITED POWER (UNION REA)	12/05/17	69.48
00717396	1007	UNITED POWER (UNION REA)	12/05/17	566.03
00717397	1007	UNITED POWER (UNION REA)	12/05/17	19,791.78
00717398	1007	UNITED POWER (UNION REA)	12/05/17	164.17
00717399	1007	UNITED POWER (UNION REA)	12/05/17	43.11
00717400	1007	UNITED POWER (UNION REA)	12/05/17	165.85
00717401	1007	UNITED POWER (UNION REA)	12/05/17	1,406.67
00717403	13822	XCEL ENERGY	12/05/17	2,697.98
00717404	13822	XCEL ENERGY	12/05/17	154.64
00717405	13822	XCEL ENERGY	12/05/17	3,458.71
00717406	13822	XCEL ENERGY	12/05/17	1,502.17
00717407	13822	XCEL ENERGY	12/05/17	9,984.73
00717408	13822	XCEL ENERGY	12/05/17	3,002.29
00717409	13822	XCEL ENERGY	12/05/17	235.90
00717410	13822	XCEL ENERGY	12/05/17	259.20
00717411	13822	XCEL ENERGY	12/05/17	891.18
00717412	13822	XCEL ENERGY	12/05/17	1,537.76
00717413	13822	XCEL ENERGY	12/05/17	840.06
00717414	13822	XCEL ENERGY	12/05/17	601.93
00717415	13822	XCEL ENERGY	12/05/17	230.94
00717416	660924	AHERN RENTALS	12/05/17	19.00
00717417	299062	ALPINE CREDIT INC	12/05/17	19.00
00717418	660929	ANDERSON JAMES G	12/05/17	19.00
00717419	37424	BC SERVICES INC	12/05/17	19.00
00717420	660930	BESCH NICHOLAS	12/05/17	19.00
00717421	620294	BOVE LAW OFFICES	12/05/17	132.00
00717422	660961	BOVE LAW OFFICES	12/05/17	192.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717423	660969	BURNS CHARLES DOUGLAS	12/05/17	66.00
00717424	660931	CAMPBELL CHRISTI NICOLE	12/05/17	19.00
00717425	660932	CANNON HADFIELD STIEBEN	12/05/17	19.00
00717426	660934	CARBTREE KEVIN SCOTT	12/05/17	19.00
00717427	660933	CAROLIN TOPELSON LAW	12/05/17	198.00
00717428	189616	CREDIT SERVICE COMPANY, INC	12/05/17	38.00
00717429	660944	DANNER EVAN JOSEPH	12/05/17	19.00
00717430	181346	GREENBERG & SADA	12/05/17	19.00
00717431	660945	HARD LOUIS	12/05/17	19.00
00717432	358482	HOLST AND BOETTCHER	12/05/17	57.00
00717433	660946	HOVLAND DESIREE MARIE	12/05/17	19.00
00717434	660947	JOHNSON JASMYN	12/05/17	19.00
00717435	259756	KLASS PHILIP	12/05/17	264.00
00717436	660948	LE LONG	12/05/17	19.00
00717437	166679	LEACHMAN, MARK A	12/05/17	19.00
00717438	166679	LEACHMAN, MARK A	12/05/17	19.00
00717439	166679	LEACHMAN, MARK A	12/05/17	19.00
00717440	166679	LEACHMAN, MARK A	12/05/17	19.00
00717441	166679	LEACHMAN, MARK A	12/05/17	19.00
00717442	166679	LEACHMAN, MARK A	12/05/17	19.00
00717443	166679	LEACHMAN, MARK A	12/05/17	19.00
00717444	166679	LEACHMAN, MARK A	12/05/17	19.00
00717445	660949	LEGAL AID OF NORTHWEST TEXAS	12/05/17	19.00
00717446	381372	MACHOL & JOHANNES, LLC	12/05/17	38.00
00717447	660950	MARTIN WILLIAM FLOYD	12/05/17	19.00
00717448	660951	MASON TERRY	12/05/17	19.00
00717449	342624	METRO VOLUNTEER LAWYERS	12/05/17	19.00
00717450	323649	MIDLAND CREDIT MANAGEMENT INC	12/05/17	57.00
00717451	418857	MILLER COHEN PETERSON YOUNG	12/05/17	57.00
00717452	300777	MOELLER GRAF PC	12/05/17	2.00
00717453	374475	MOORE LAW GROUP APC	12/05/17	57.00
00717454	660957	PEREZ INEZ	12/05/17	19.00
00717455	660970	PETERSON NYKAMP LAW	12/05/17	19.00
00717456	660971	PITLER AND ASSOCIATES	12/05/17	66.00
00717457	16377	PROFESSIONAL FINANCE CO	12/05/17	19.00
00717458	660952	RANDALL RICHARD	12/05/17	19.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717459	660953	RAY L HUGHES ATTORNEY AT LAW	12/05/17	19.00
00717460	660954	RYAN RYAN AND LANDA	12/05/17	19.00
00717461	660955	SARDAKOWSKI TAMARA	12/05/17	19.00
00717462	71946	SPRINGMAN, BRADEN, WILSON & PO	12/05/17	396.00
00717463	660956	STREETER CARL	12/05/17	19.00
00717464	218715	TSCHETTER HAMRICK SULZER	12/05/17	4,454.00
00717465	660958	VALDEZ MICHAEL JAMES	12/05/17	19.00
00717466	660959	VILLALOBOS MIRAYA	12/05/17	19.00
00717467	27815	WAKEFIELD & ASSOCIATES INC	12/05/17	19.00
00717468	27815	WAKEFIELD & ASSOCIATES INC	12/05/17	19.00
00717469	57887	WYN T TAYLOR	12/05/17	19.00
00717470	620536	YOUNG WILLIAMS SW 16 AND 26	12/05/17	28.00
00717471	660960	ZEWDIE BARKLEY RAKEB TESFA	12/05/17	19.00
00717473	13018	ACE EQUIPMENT AND SUPPLY CO	12/06/17	157.50
00717474	433987	ADCO DISTRICT ATTORNEY'S OFFIC	12/06/17	751.35
00717476	71101	AJI IRRIGATION CO	12/06/17	2,509.90
00717478	498573	ARBORFORCE LLC	12/06/17	2,050.00
00717481	494250	BLACK ROOFING INC	12/06/17	83,828.00
00717483	444072	CARRILLO BILLY	12/06/17	20.33
00717484	59782	COMCOR INC	12/06/17	283.20
00717485	612089	COMMERCIAL CLEANING SYSTEMS	12/06/17	86,937.62
00717487	93529	CORRECTIONAL MANAGEMENT INC	12/06/17	198.38
00717488	211773	COX RANCH ORIGINALS	12/06/17	36.00
00717489	745289	CUSTOM ENVIRONMENTAL SERVICES	12/06/17	3,073.14
00717490	37117	DATAWORKS PLUS LLC	12/06/17	25,500.00
00717491	660845	DENVER CONCRETE COMPANY	12/06/17	4,983.25
00717492	520339	DOUGLASS CHRISTOPHER	12/06/17	29.16
00717494	8820091	EON OFFICE PRODUCTS	12/06/17	418.53
00717498	582481	GEO GROUP INC	12/06/17	2,560.80
00717499	4873	GILPIN COUNTY SHERIFF'S OFFICE	12/06/17	7.50
00717501	354969	JOHNSON LEVIY	12/06/17	44.41
00717502	77611	KD SERVICE GROUP	12/06/17	2,875.81
00717503	581490	MAYER LISA	12/06/17	137.33
00717504	610883	MSI TEC INC	12/06/17	5,977.64
00717505	16428	NICOLETTI-FLATER ASSOCIATES	12/06/17	2,900.00
00717506	13778	NORTH WASHINGTON STREET	12/06/17	2,135.48

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717507	7386	NORTHGLENN YOUTH FOOTBALL	12/06/17	650.00
00717508	95382	OMNI INSTITUTE	12/06/17	1,000.00
00717509	45133	PPS INTERIORS	12/06/17	1,944.00
00717510	632999	PREFERRED ACQUISITION COMPANY	12/06/17	40,250.00
00717512	163837	PTS OF AMERICA LLC	12/06/17	1,578.00
00717513	216245	PUSH PEDAL PULL INC	12/06/17	280.00
00717515	660832	ROHLFS TIM	12/06/17	400.00
00717516	455680	RUELAS RAFAEL	12/06/17	215.18
00717518	426034	RYSKA PAVEL	12/06/17	16.05
00717519	13538	SHRED IT USA LLC	12/06/17	220.00
00717520	227044	SOUTHWESTERN PAINTING	12/06/17	29,496.00
00717521	281167	SPECTRA CONTRACT FLOORING SERV	12/06/17	275.00
00717522	414086	SQUEEGEE SQUAD	12/06/17	2,100.00
00717523	599714	SUMMIT FOOD SERVICE LLC	12/06/17	59,808.86
00717524	618144	T&G PECOS LLC	12/06/17	900.00
00717526	42984	TIME TO CHANGE	12/06/17	367,794.99
00717527	374853	ULINE INC	12/06/17	4,103.75
00717530	277420	VANGORDER MIKE	12/06/17	27.82
00717531	35877	WEATHERSURE	12/06/17	2,018.84
00717532	311515	WOODS JAKE	12/06/17	94.64
00717540	13593	KAISER PERMANENTE	12/06/17	9,200.00
00717542	98414	ROCKY MTN HEALTH PLAN	12/06/17	850.00
00717544	240959	UNITED HEALTHCARE	12/06/17	6,400.00
00717551	426425	NASTRO DEBORAH	12/07/17	4,687.50
00717553	383698	ALLIED UNIVERSAL SECURITY SERV	12/07/17	1,451.52
00717555	322973	ARMORED KNIGHTS INC	12/07/17	1,368.06
00717567	338868	ERVIN STACY	12/07/17	23.54
00717569	169560	FISHER JULIE	12/07/17	1,814.73
00717571	442923	GUARDADO ALMA S	12/07/17	50.02
00717573	661892	JIMENEZ CONNIE	12/07/17	21.56
00717575	661223	KELLER JESSICA L	12/07/17	363.80
00717577	363908	MASSINGALE GEORGIA	12/07/17	181.90
00717578	448340	MILINAZZO WENDI K	12/07/17	5.89
00717579	42431	MOUNTAIN STATES IMAGING LLC	12/07/17	2,279.99
00717581	628141	PROFESSIONAL PIPE SERVICES	12/07/17	21,211.93
00717584	371180	ROSTENBACH SU-LIN	12/07/17	152.26

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717586	369706	SANDOVAL DANIELLE	12/07/17	136.85
00717592	293119	BUZEK, VINCE	12/07/17	65.00
00717593	250958	COHEN MILSTEIN SELLERS & TOLL	12/07/17	13,840.51
00717595	612321	DAKTRONICS INC	12/07/17	4,440.00
00717597	519505	DENOVO VENTURES LLC	12/07/17	185.00
00717598	128693	DREXEL BARRELL & CO	12/07/17	896.00
00717599	370160	EIDE BAILLY LLP	12/07/17	15,390.00
00717600	293118	GARNER, ROSIE	12/07/17	65.00
00717604	293122	HERRERA, AARON	12/07/17	65.00
00717605	33680	HOLLAND AND HART LLP	12/07/17	8,000.00
00717606	32276	INSIGHT PUBLIC SECTOR	12/07/17	373,608.80
00717607	644111	JALIL, FARID A	12/07/17	65.00
00717609	637835	MONTOYA FEDERICO V	12/07/17	65.00
00717611	579541	NOREX INC	12/07/17	5,200.00
00717613	53054	RICHARDSON SHARON	12/07/17	65.00
00717615	375159	SILANIS TECHNOLOGY INC	12/07/17	720.00
00717617	385142	THOMPSON GREGORY PAUL	12/07/17	65.00
00717618	573415	WALLACE MENDEZ ZACKARY	12/07/17	65.00
00717620	35974	ADAMS COUNTY TREASURER	12/07/17	80.41
00717623	57143	BROOMFIELD CITY AND COUNTY	12/07/17	75.00
00717626	68081	JACHETTA TERRI LYNN	12/07/17	25.15
00717627	282524	KELLY-YNIGUEZ COLLEEN	12/07/17	25.65
00717628	536256	KIMMEL KENZIE NICOLE	12/07/17	161.09
00717629	312431	LIKE LARRY L	12/07/17	67.41
00717630	282525	LIPSEY SEAN	12/07/17	124.28
00717631	262926	NEWSOME JEFF	12/07/17	2,000.00
00717632	38961	SHREVE JEANNE	12/07/17	759.95
00717633	628772	TUCKER JENNIFER	12/07/17	331.70
00717634	44930	U S POSTAL SERVICE	12/07/17	496.00
00717635	28574	VERIZON WIRELESS	12/07/17	302.10
00717636	40340	WINDSTREAM COMMUNICATIONS	12/07/17	1,549.26
Fund Total				1,626,564.63

Net Warrants by Fund Detail

4

Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717495	33577	FCI CONSTRUCTORS INC	12/06/17	395,018.74
00717511	626109	PRESTIGE CORPORATE RELOCATION	12/06/17	2,168.40
			Fund Total	397,187.14

Net Warrants by Fund Detail

5

Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717497	661134	GARAGE FORCE OF DENVER NORTH L	12/06/17	3,891.54
00717591	12012	ALSCO AMERICAN INDUSTRIAL	12/07/17	132.48
00717602	804964	GRAINGER	12/07/17	237.00
00717608	11496	L L JOHNSON DIST	12/07/17	5,799.97
00717612	10684	R & R PRODUCTS COMPANY	12/07/17	438.87
00717616	660831	TARGET SPECIALTY PRODUCTS	12/07/17	4,022.50
Fund Total				14,522.36

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717320	11657	A & E TIRE INC	12/01/17	2,150.72
00717321	295403	ABRA AUTO BODY & GLASS	12/01/17	320.00
00717372	644060	FORD TANNER	12/05/17	321.33
00717590	11657	A & E TIRE INC	12/07/17	14,652.54
00717614	16237	SAM HILL OIL INC	12/07/17	587.10
00717619	350373	WEX BANK	12/07/17	1,986.55
			Fund Total	20,018.24

Net Warrants by Fund Detail

11

Sub-Station Construction Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717550	426425	NASTRO DEBORAH	12/07/17	4,687.50
00717625	293097	COLORADO STATE OF	12/07/17	791.00
Fund Total				5,478.50

Net Warrants by Fund Detail

13

Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717278	13074	ALBERT FREI & SONS INC	12/01/17	15,159.32
00717280	23969	ASPHALT SPECIALTIES CO INC	12/01/17	1,735.36
00717281	23969	ASPHALT SPECIALTIES CO INC	12/01/17	391.60
00717282	23969	ASPHALT SPECIALTIES CO INC	12/01/17	1,013.28
00717294	534975	EP&A ENVIROTAC INC	12/01/17	38,882.50
00717299	212385	GMCO CORPORATION	12/01/17	18,000.00
00717336	153699	MENDOZA FLORENCE	12/01/17	14,005.00
00717472	25603	A-1 CHI SEAL CO	12/06/17	482,983.22
00717493	128693	DREXEL BARRELL & CO	12/06/17	1,134.00
00717500	34817	ICON ENGINEERING INC	12/06/17	6,941.75
00717528	595135	ULTEIG ENGINEERS INC	12/06/17	29,762.25
00717529	283725	UNIVERSAL FIELD SERVICES INC	12/06/17	14,631.80
00717552	13074	ALBERT FREI & SONS INC	12/07/17	60,312.00
00717554	12012	ALSCO AMERICAN INDUSTRIAL	12/07/17	317.27
00717556	23969	ASPHALT SPECIALTIES CO INC	12/07/17	4,408.96
00717563	43659	CINTAS FIRST AID & SAFETY	12/07/17	113.84
00717564	2305	COBITCO INC	12/07/17	506.25
00717568	346750	FACTORY MOTOR PARTS	12/07/17	12.34
00717572	517284	H-2 ENTERPRISES LLC	12/07/17	11,992.75
00717574	506641	JK TRANSPORTS INC	12/07/17	2,835.00
00717580	556555	PREMIER PORTABLES	12/07/17	920.00
00717585	8752	SAFETY & CONSTRUCTION SUPPLY	12/07/17	4,784.00
00717588	158184	UTILITY NOTIFICATION CENTER OF	12/07/17	201.55
00717589	78276	WAYNE A MITCHELL LLC	12/07/17	1,939.50
00717601	22066	GOODLAND CONSTRUCTION	12/07/17	85,886.74
00717603	12812	GROUND ENGINEERING CONSULTANTS	12/07/17	50,700.00
00717610	133779	NORAA CONCRETE CONSTRUCTION CO	12/07/17	285,320.91
00717621	23969	ASPHALT SPECIALTIES CO INC	12/07/17	4,637.55

Fund Total**1,139,528.74**

Net Warrants by Fund Detail

19**Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717290	17565	COLO FRAME & SUSPENSION	12/01/17	6,174.71
00717292	61609	DAVIS GRAHAM & STUBBS LLP	12/01/17	769.00
00717295	346750	FACTORY MOTOR PARTS	12/01/17	362.09
00717303	13771	JOE'S TOWING & RECOVERY	12/01/17	97.00
00717307	94481	LONGMONT FORD	12/01/17	923.03
00717322	492573	ADVANCED URGENT CARE AND OCC M	12/01/17	225.00
00717323	660921	AZIZ SEBAH	12/01/17	1,058.51
00717325	419839	CAREHERE LLC	12/01/17	71,410.48
00717327	2157	COLO OCCUPATIONAL MEDICINE PHY	12/01/17	720.00
00717331	182042	FIT SOLDIERS FITNESS BOOT CAMP	12/01/17	4,860.00
00717333	22600	H RICHEY INC	12/01/17	2,067.50
00717338	174580	MILE HIGH FITNESS	12/01/17	4,112.50
00717480	86298	BERG HILL GREENLEAF & RUSCITTI	12/06/17	5,787.50
00717496	37852	FTI GROUP	12/06/17	318.51
00717537	13663	DELTA DENTAL PLAN OF COLO	12/06/17	10,970.72
00717538	13663	DELTA DENTAL PLAN OF COLO	12/06/17	74.00
00717539	13663	DELTA DENTAL PLAN OF COLO	12/06/17	80.17
00717541	13593	KAISER PERMANENTE	12/06/17	79,336.56
00717543	98414	ROCKY MTN HEALTH PLAN	12/06/17	4,787.30
00717545	37507	UNITED HEALTHCARE	12/06/17	5,727.92
00717546	240958	UNITED HEALTHCARE	12/06/17	12,164.70
00717547	240959	UNITED HEALTHCARE	12/06/17	26,782.27
00717548	11552	VISION SERVICE PLAN-CONNECTICU	12/06/17	356.87
00717549	11552	VISION SERVICE PLAN-CONNECTICU	12/06/17	2.54
00717558	419839	CAREHERE LLC	12/07/17	3,915.72

Fund Total**243,084.60**

Net Warrants by Fund Detail

24

Conservation Trust Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717477	13074	ALBERT FREI & SONS INC	12/06/17	182.00
00717479	498573	ARBORFORCE LLC	12/06/17	3,792.16
Fund Total				3,974.16

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717351	544336	WENK ASSOCIATES INC	12/01/17	8,807.02
00717352	47323	WESTERN STATES RECLAMATION INC	12/01/17	1,016.00
00717517	14189	RW BAYER & ASSOCIATES	12/06/17	4,250.00
00717566	237568	DESIGN WORKSHOP	12/07/17	14,786.50
Fund Total				28,859.52

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717482	43146	BRIGHTON CITY OF	12/06/17	180,000.00
			Fund Total	180,000.00

Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717475	497263	AFFORDABLE REMODELING SOLUTION	12/06/17	6,450.00
00717622	286794	BRIGHTON HOUSING AUTHORITY	12/07/17	244,588.17
00717624	252174	COLORADO COMMUNITY MEDIA	12/07/17	36.48
			Fund Total	251,074.65

Net Warrants by Fund Detail

31

Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717267	37266	CENTURY LINK	12/01/17	98.28
00717268	37266	CENTURY LINK	12/01/17	1,127.59
00717269	2157	COLO OCCUPATIONAL MEDICINE PHY	12/01/17	75.00
00717270	155705	ECOLAB FOOD SAFETY SPECIALTIES	12/01/17	761.04
00717271	28726	G & K SERVICES	12/01/17	135.28
00717272	371505	OLIVER LESLIE	12/01/17	241.00
00717273	1463	ORKIN PEST CONTROL	12/01/17	85.06
00717274	13770	SYSCO DENVER	12/01/17	8,117.59
00717275	37005	TOSHIBA BUSINESS SOLUTIONS	12/01/17	1,350.00
00717276	354139	WALMSLEY NATASHA	12/01/17	241.00
00717277	31360	WESTMINSTER PRESBYTERIAN CHURC	12/01/17	2,137.86
00717534	1463	ORKIN PEST CONTROL	12/06/17	172.42
00717557	45333	BRAGGS- JONES SHONDRELA	12/07/17	138.57
00717559	37266	CENTURY LINK	12/07/17	98.68
00717560	37266	CENTURY LINK	12/07/17	1,129.93
00717561	152461	CENTURYLINK	12/07/17	10.28
00717562	327914	CESCO LINGUISTIC SERVICE INC 2	12/07/17	86.00
00717565	248029	COMMUNITY REACH CENTER FOUNDAT	12/07/17	6,190.04
00717570	28726	G & K SERVICES	12/07/17	270.56
00717576	157395	LUJAN MONICA	12/07/17	85.39
00717582	153351	REED ALMA	12/07/17	35.52
00717583	290050	RODRIGUEZ JAMIE	12/07/17	54.78
00717587	40596	SCHOLASTIC INC	12/07/17	3,932.15

Fund Total**26,574.02**

Net Warrants by Fund Detail

34

Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717514	92604	RAMIREZ ESTHER	12/06/17	47.19
			Fund Total	47.19

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717355	660974	AGUILAR ROXANNA	12/05/17	50.00
00717356	363526	AUGUSTIN AIESHA	12/05/17	50.00
00717362	643310	CARRILLO NICOLETTE	12/05/17	40.00
00717371	660972	FAULK KAYLIN	12/05/17	60.00
00717373	660973	HOLTON VERONICA	12/05/17	80.00
00717380	660975	RODRIGUEZ-IBANEZ JANETTE	12/05/17	50.00
00717381	13538	SHRED IT USA LLC	12/05/17	50.00
00717402	8076	VERIZON WIRELESS	12/05/17	517.95
00717533	443755	HUTCHINS ATHENAS	12/06/17	13.38
00717594	1483	COMPUTER SYSTEMS DESIGN	12/07/17	4,800.00
Fund Total				5,711.33

Net Warrants by Fund Detail

43Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717293	80156	DISH NETWORK	12/01/17	138.02
00717310	80249	OFFEN PETROLEUM INC	12/01/17	2,170.47
00717318	80279	VERIZON WIRELESS	12/01/17	947.96
00717525	41127	THYSSENKRUPP ELEVATOR CORP	12/06/17	300.00
00717596	556579	DBT TRANSPORTATION SERVICES LL	12/07/17	1,185.00
			Fund Total	4,741.45

Net Warrants by Fund Detail

44

Water and Wastewater Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717283	351622	AURORA WATER	12/01/17	2,242.64
00717289	2381	COLO ANALYTICAL LABORATORY	12/01/17	40.00
Fund Total				2,282.64

County of Adams
Net Warrants by Fund Detail

50

FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717486	612089	COMMERCIAL CLEANING SYSTEMS	12/06/17	1,370.62
Fund Total				1,370.62

County of Adams
Net Warrants by Fund Detail

Grand Total 3,951,019.79

County of Adams
Vendor Payment Report

<u>9418</u>	<u>Administrative Cost Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	RAMIREZ ESTHER	00034	913938	293986	12/04/17	<u>47.19</u>
					Account Total	<u>47.19</u>
					Department Total	<u><u>47.19</u></u>

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	VERIZON WIRELESS	00043	913118	293414	11/28/17	433.83
	VERIZON WIRELESS	00043	913118	293414	11/28/17	433.83
					Account Total	<u>867.66</u>
					Department Total	<u><u>867.66</u></u>

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Satellite Television					
	DISH NETWORK	00043	913116	293414	11/28/17	138.02
					Account Total	138.02
	Telephone					
	VERIZON WIRELESS	00043	913118	293414	11/28/17	40.13
	VERIZON WIRELESS	00043	913118	293414	11/28/17	40.17
					Account Total	80.30
					Department Total	218.32

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Diesel					
	OFFEN PETROLEUM INC	00043	913117	293414	11/28/17	2,158.73
					Account Total	<u>2,158.73</u>
	Licenses and Fees					
	OFFEN PETROLEUM INC	00043	913117	293414	11/28/17	11.74
					Account Total	<u>11.74</u>
					Department Total	<u><u>2,170.47</u></u>

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00035	913566	293660	11/30/17	<u>50.00</u>
					Account Total	<u>50.00</u>
					Department Total	<u><u>50.00</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	COLORADO COMMUNITY MEDIA	00001	913513	293576	11/29/17	26.96
					Account Total	26.96
	Special Events					
	COLO COOPERATION CONFERENCE	00001	913493	293566	11/29/17	55.00
	PRECIOUS CHILD	00001	913160	293435	11/28/17	1,000.00
					Account Total	1,055.00
					Department Total	1,081.96

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	FCI CONSTRUCTORS INC	00004	913913	293983	12/04/17	415,809.20
	PRESTIGE CORPORATE RELOCATION	00004	913924	293983	12/04/17	2,168.40
					Account Total	417,977.60
	Retainages Payable					
	FCI CONSTRUCTORS INC	00004	913913	293983	12/04/17	20,790.46-
					Account Total	20,790.46-
					Department Total	397,187.14

County of Adams
Vendor Payment Report

<u>9275</u>	<u>Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SHRED IT USA LLC	00001	913939	293986	12/04/17	30.00
	SHRED IT USA LLC	00001	913940	293986	12/04/17	30.00
	SHRED IT USA LLC	00001	913941	293986	12/04/17	30.00
	SHRED IT USA LLC	00001	913942	293986	12/04/17	30.00
					Account Total	<u>120.00</u>
					Department Total	<u><u>120.00</u></u>

County of Adams
Vendor Payment Report

<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	COLO ASSN OF ANIMAL CONTROL	00001	913768	293791	12/01/17	<u>15.00</u>
					Account Total	<u>15.00</u>
					Department Total	<u><u>15.00</u></u>

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	VIS KELLY C	00001	912912	293112	11/21/17	70.25
					Account Total	70.25
	Other Professional Serv					
	NASTRO DEBORAH	00001	914171	294389	12/07/17	4,687.50
	NASTRO DEBORAH	00001	914176	294404	12/07/17	4,687.50
					Account Total	9,375.00
	Travel & Transportation					
	STANLEY JENNIFER DAWN	00001	913121	293427	11/28/17	182.00
					Account Total	182.00
					Department Total	9,627.25

County of Adams
Vendor Payment Report

<u>1012</u>	<u>County Manager</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	BROOMFIELD CITY AND COUNTY	00001	913948	294070	12/05/17	<u>75.00</u>
					Account Total	<u>75.00</u>
					Department Total	<u><u>75.00</u></u>

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	U S POSTAL SERVICE	00001	914067	294247	12/06/17	496.00
					Account Total	496.00
	Treasurer-Redemptions					
	ADAMS COUNTY TREASURER	00001	914068	294247	12/06/17	80.41
					Account Total	80.41
					Department Total	<u>576.41</u>

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	ADVANCED URGENT CARE AND OCC M	00019	912913	293112	11/21/17	225.00
	COLO OCCUPATIONAL MEDICINE PHY	00019	912914	293112	11/21/17	720.00
					Account Total	<u>945.00</u>
					Department Total	<u><u>945.00</u></u>

County of Adams
Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	HIGH PLAINS REPORTING & TRANSC	00001	912911	293112	11/21/17	36.00
					Account Total	36.00
					Department Total	36.00

County of Adams
Vendor Payment Report

<u>1044</u>	<u>CA- SS Dependency/Neglect</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	PUEBLO COUNTY COMMISSIONERS	00001	912915	293112	11/21/17	<u>310.00</u>
					Account Total	<u>310.00</u>
					Department Total	<u><u>310.00</u></u>

County of Adams
Vendor Payment Report

<u>941016</u>	<u>CDBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	AFFORDABLE REMODELING SOLUTION	00030	913806	293936	12/04/17	<u>6,450.00</u>
					Account Total	<u>6,450.00</u>
					Department Total	<u><u>6,450.00</u></u>

County of Adams
Vendor Payment Report

<u>941017</u>	<u>CDBG 2017/2018</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	COLORADO COMMUNITY MEDIA	00030	914172	294391	12/07/17	<u>36.48</u>
					Account Total	<u>36.48</u>
					Department Total	<u><u>36.48</u></u>

County of Adams
Vendor Payment Report

<u>1094</u>	<u>CED Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SHREVE JEANNE	00001	914127	294284	12/06/17	<u>325.55</u>
					Account Total	<u>325.55</u>
					Department Total	<u><u>325.55</u></u>

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GUARDADO ALMA S	00001	914102	294274	12/06/17	50.02
	JIMENEZ CONNIE	00001	914103	294274	12/06/17	21.56
	ROSTENBACH SU-LIN	00001	914109	294274	12/06/17	24.93
					Account Total	96.51
					Department Total	96.51

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ERVIN STACY	00001	914097	294274	12/06/17	23.54
	FISHER JULIE	00001	914098	294274	12/06/17	482.04
	FISHER JULIE	00001	914099	294274	12/06/17	482.04
	FISHER JULIE	00001	914100	294274	12/06/17	510.39
	FISHER JULIE	00001	914101	294274	12/06/17	340.26
	KELLER JESSICA L	00001	914104	294274	12/06/17	145.52
	KELLER JESSICA L	00001	914105	294274	12/06/17	218.28
	MASSINGALE GEORGIA	00001	914106	294274	12/06/17	181.90
	MILINAZZO WENDI K	00001	914107	294274	12/06/17	5.89
	ROSTENBACH SU-LIN	00001	914108	294274	12/06/17	127.33
	SANDOVAL DANIELLE	00001	914110	294274	12/06/17	136.85
					Account Total	2,654.04
					Department Total	2,654.04

County of Adams
Vendor Payment Report

<u>6021</u>	<u>CT- Trails- Plan/Design Const</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	ALBERT FREI & SONS INC	00024	913569	293666	11/30/17	182.00
	ARBORFORCE LLC	00024	913570	293666	11/30/17	3,792.16
					Account Total	<u>3,974.16</u>
					Department Total	<u><u>3,974.16</u></u>

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913950	294079	12/05/17	35.00
					Account Total	35.00
	Mileage Reimbursements					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913950	294079	12/05/17	14.00
	JOHNSON LEVIY	00001	913953	294079	12/05/17	44.41
	MAYER LISA	00001	913954	294079	12/05/17	90.25
	MAYER LISA	00001	913955	294079	12/05/17	35.63
	MAYER LISA	00001	913956	294079	12/05/17	11.45
	WOODS JAKE	00001	913959	294079	12/05/17	94.64
					Account Total	290.38
	Other Professional Serv					
	GILPIN COUNTY SHERIFF'S OFFICE	00001	913952	294079	12/05/17	7.50
					Account Total	7.50
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913951	294079	12/05/17	45.02
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913951	294079	12/05/17	51.08
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913951	294079	12/05/17	22.08
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913951	294079	12/05/17	540.11
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	913951	294079	12/05/17	44.06
					Account Total	702.35
					Department Total	1,035.23

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	RUELAS RAFAEL	00001	913958	294079	12/05/17	215.18
					Account Total	215.18
	Other Professional Serv					
	OMNI INSTITUTE	00001	913957	294079	12/05/17	1,000.00
					Account Total	1,000.00
					Department Total	1,215.18

County of Adams
Vendor Payment Report

<u>7011</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	SHREVE JEANNE	00001	914125	294284	12/06/17	<u>434.40</u>
					Account Total	<u>434.40</u>
					Department Total	<u><u>434.40</u></u>

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	A & E TIRE INC	00006	913705	293677	11/30/17	683.20
	A & E TIRE INC	00006	913706	293677	11/30/17	474.40
	A & E TIRE INC	00006	913707	293677	11/30/17	993.12
	A & E TIRE INC	00006	914137	294287	12/06/17	3,106.78
	A & E TIRE INC	00006	914138	294287	12/06/17	683.20
	A & E TIRE INC	00006	914139	294287	12/06/17	610.80
	A & E TIRE INC	00006	914140	294287	12/06/17	795.56
	A & E TIRE INC	00006	914141	294287	12/06/17	9,456.20
	ABRA AUTO BODY & GLASS	00006	913696	293677	11/30/17	160.00
	ABRA AUTO BODY & GLASS	00006	913697	293677	11/30/17	160.00
	SAM HILL OIL INC	00006	914143	294287	12/06/17	587.10
	WEX BANK	00006	914142	294287	12/06/17	1,986.55
					Account Total	19,696.91
					Department Total	19,696.91

County of Adams
Vendor Payment Report

<u>9243</u>	<u>Extension - Family & Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	913771	293793	12/01/17	<u>41.15</u>
					Account Total	<u>41.15</u>
					Department Total	<u><u>41.15</u></u>

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	913771	293793	12/01/17	<u>41.15</u>
					Account Total	<u>41.15</u>
					Department Total	<u><u>41.15</u></u>

County of Adams
Vendor Payment Report

<u>9241</u>	<u>Extension- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	913771	293793	12/01/17	<u>96.35</u>
					Account Total	<u>96.35</u>
					Department Total	<u><u>96.35</u></u>

County of Adams
Vendor Payment Report

<u>6031</u>	<u>Extension- Soil Conservation</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	TUCKER JENNIFER	00001	913769	293793	12/01/17	<u>331.70</u>
					Account Total	<u>331.70</u>
					Department Total	<u><u>331.70</u></u>

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	CSU-Youth					
	MENA SOPHIA	00001	913120	293420	11/28/17	300.00
					Account Total	300.00
	Mileage Reimbursements					
	KIMMEL KENZIE NICOLE	00001	913770	293793	12/01/17	161.09
	MANN LACEY	00001	913119	293420	11/28/17	306.56
					Account Total	467.65
	Other Communications					
	VERIZON WIRELESS	00001	913771	293793	12/01/17	41.15
	VERIZON WIRELESS	00001	913771	293793	12/01/17	41.15
	VERIZON WIRELESS	00001	913771	293793	12/01/17	41.15
					Account Total	123.45
					Department Total	891.10

County of Adams
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	ECONOMIC & PLANNING SYSTEMS IN	00001	913491	293564	11/29/17	<u>17,904.26</u>
					Account Total	<u>17,904.26</u>
					Department Total	<u><u>17,904.26</u></u>

County of Adams
Vendor Payment Report

<u>1018</u>	<u>Finance General Accounting</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ORTIZ, EMILIANO SANTIAGO	00001	913713	293687	11/30/17	9.52
					Account Total	9.52
					Department Total	9.52

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Tools Reimbursement					
	FORD TANNER	00006	913492	293567	11/29/17	<u>321.33</u>
					Account Total	<u>321.33</u>
					Department Total	<u><u>321.33</u></u>

County of Adams
Vendor Payment Report

<u>43</u>	<u>Front Range Airport</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DBT TRANSPORTATION SERVICES LL	00043	914146	294287	12/06/17	1,185.00
	THYSSENKRUPP ELEVATOR CORP	00043	913943	293987	12/04/17	300.00
					Account Total	<u>1,485.00</u>
					Department Total	<u><u>1,485.00</u></u>

County of Adams
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMMERCIAL CLEANING SYSTEMS	00050	913919	293983	12/04/17	875.62
	COMMERCIAL CLEANING SYSTEMS	00050	913919	293983	12/04/17	495.00
					Account Total	<u>1,370.62</u>
					Department Total	<u><u>1,370.62</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7878	00001	913590	293670	11/20/17	81.52
	Energy Cap Bill ID=7880	00001	913591	293670	11/20/17	469.16
	Energy Cap Bill ID=7889	00001	913592	293670	11/20/17	73.67
	Energy Cap Bill ID=7890	00001	913593	293670	11/20/17	235.90
	Energy Cap Bill ID=7893	00001	913594	293670	11/17/17	259.20
					Account Total	1,119.45
	Mileage Reimbursements					
	CARRILLO BILLY	00001	913772	293798	12/01/17	20.33
	DOUGLASS CHRISTOPHER	00001	913774	293798	12/01/17	29.16
	RYSKA PAVEL	00001	913773	293798	12/01/17	16.05
	VANGORDER MIKE	00001	913775	293798	12/01/17	27.82
					Account Total	93.36
					Department Total	1,212.81

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7886	00001	913585	293670	11/20/17	<u>47.14</u>
					Account Total	<u>47.14</u>
					Department Total	<u><u>47.14</u></u>

County of Adams
Vendor Payment Report

<u>1113</u>	<u>FO - Children & Family Service</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7894	00001	913604	293670	11/14/17	1,537.76
					Account Total	1,537.76
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7885	00001	913605	293670	11/22/17	322.39
					Account Total	322.39
					Department Total	1,860.15

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7888	00001	913574	293670	11/13/17	<u>297.85</u>
					Account Total	<u>297.85</u>
					Department Total	<u><u>297.85</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DENVER CONCRETE COMPANY	00001	913784	293798	12/01/17	1,392.00
					Account Total	1,392.00
	Gas & Electricity					
	Energy Cap Bill ID=7891	00001	913606	293670	11/21/17	840.06
	Energy Cap Bill ID=7917	00001	913607	293670	11/22/17	5,480.72
					Account Total	6,320.78
					Department Total	7,712.78

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7896	00050	913616	293670	11/21/17	230.94
	Energy Cap Bill ID=7906	00050	913617	293670	11/22/17	164.17
	Energy Cap Bill ID=7907	00050	913618	293670	11/22/17	43.11
	Energy Cap Bill ID=7914	00050	913619	293670	11/22/17	165.85
	Energy Cap Bill ID=7918	00050	913620	293670	11/22/17	1,406.67
					Account Total	<u>2,010.74</u>
					Department Total	<u><u>2,010.74</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7899	00001	913588	293670	11/20/17	3,002.29
					Account Total	3,002.29
	Operating Supplies					
	EON OFFICE PRODUCTS	00001	913781	293798	12/01/17	46.08
	EON OFFICE PRODUCTS	00001	913782	293798	12/01/17	6.69
	EON OFFICE PRODUCTS	00001	913783	293798	12/01/17	365.76
					Account Total	418.53
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7922	00001	913589	293670	11/10/17	2,790.08
					Account Total	2,790.08
					Department Total	6,210.90

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7879	00001	913577	293670	11/20/17	415.16
	Energy Cap Bill ID=7898	00001	913578	293670	11/20/17	154.64
	Energy Cap Bill ID=7901	00001	913579	293670	11/21/17	3,458.71
	Energy Cap Bill ID=7902	00001	913580	293670	11/21/17	1,502.17
					Account Total	5,530.68
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7887	00001	913581	293670	11/20/17	402.97
					Account Total	402.97
					Department Total	5,933.65

County of Adams
Vendor Payment Report

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7900	00001	913575	293670	11/21/17	<u>2,697.98</u>
					Account Total	<u>2,697.98</u>
					Department Total	<u><u>2,697.98</u></u>

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DENVER CONCRETE COMPANY	00001	913785	293798	12/01/17	3,591.25
	WEATHERSURE	00001	913776	293798	12/01/17	683.37
	WEATHERSURE	00001	913777	293798	12/01/17	206.00
	WEATHERSURE	00001	913778	293798	12/01/17	353.85
	WEATHERSURE	00001	913779	293798	12/01/17	330.50
					Account Total	5,164.97
	Gas & Electricity					
	Energy Cap Bill ID=7882	00001	913582	293670	11/21/17	2,431.67
	Energy Cap Bill ID=7903	00001	913583	293670	11/22/17	22,885.89
	Energy Cap Bill ID=7904	00001	913584	293670	11/22/17	53.88
					Account Total	25,371.44
					Department Total	30,536.41

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7884	00001	913608	293670	11/21/17	9,226.12
	Energy Cap Bill ID=7895	00001	913609	293670	11/20/17	601.93
	Energy Cap Bill ID=7905	00001	913610	293670	11/22/17	7,478.70
	Energy Cap Bill ID=7908	00001	913611	293670	11/22/17	69.48
	Energy Cap Bill ID=7909	00001	913612	293670	11/22/17	566.03
	Energy Cap Bill ID=7916	00001	913613	293670	11/22/17	19,791.78
					Account Total	37,734.04
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7920	00001	913614	293670	11/17/17	18,000.83
	Energy Cap Bill ID=7923	00001	913615	293670	11/17/17	10,867.81
					Account Total	28,868.64
					Department Total	66,602.68

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7883	00001	913586	293670	11/21/17	1,093.49
	Energy Cap Bill ID=7892	00001	913587	293670	11/21/17	9,984.73
					Account Total	<u>11,078.22</u>
					Department Total	<u><u>11,078.22</u></u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7881	00001	913576	293670	11/21/17	<u>1,780.90</u>
					Account Total	<u>1,780.90</u>
					Department Total	<u><u>1,780.90</u></u>

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7897	00001	913601	293670	11/21/17	891.18
					Account Total	891.18
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7921	00001	913602	293670	11/17/17	83.24
	Energy Cap Bill ID=7924	00001	913603	293670	11/17/17	774.48
					Account Total	857.72
					Department Total	1,748.90

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALLIED UNIVERSAL SECURITY SERV	00001	913969	294132	12/06/17	1,451.52
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	332.44
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	67.41
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	133.28
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	67.41
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	67.41
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	133.28
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	133.28
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	67.41
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	33.70
	ARMORED KNIGHTS INC	00001	913994	294132	12/06/17	332.44
	ARNOLD MACHINERY COMPANY	00001	913122	293430	11/28/17	31,966.20
	AZTEC SOFTWARE	00001	913384	293521	11/29/17	6,424.00
	BLACK ROOFING INC	00001	913914	293983	12/04/17	54,150.00
	BLACK ROOFING INC	00001	913914	293983	12/04/17	34,090.00
	BRINKMAN CONSULTING INC	00001	913385	293521	11/29/17	2,500.00
	CHEMATOX LABORATORY INC	00001	913123	293430	11/28/17	2,005.00
	CINTAS CORPORATION #66	00001	913507	293555	11/29/17	138.03
	CLASSIC TRAILER SALES INC	00001	913124	293430	11/28/17	4,879.00
	COHEN MILSTEIN SELLERS & TOLL	00001	914150	294287	12/06/17	13,840.51
	COMCOR INC	00001	913934	293983	12/04/17	283.20
	COMMERCIAL CLEANING SYSTEMS	00001	913920	293983	12/04/17	19,040.63
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	18,165.84
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	4,057.47
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	4,240.43
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	420.54
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	2,911.76
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	3,690.57
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	799.02
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	1,634.09
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	791.14
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	1,553.67
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	422.40
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	619.72
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	578.85

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	419.31
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	683.85
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	26,217.65
	COMMERCIAL CLEANING SYSTEMS	00001	913921	293983	12/04/17	690.68
	COPYCO QUALITY PRINTING INC	00001	913125	293430	11/28/17	4,635.00
	CORRECTIONAL MANAGEMENT INC	00001	913935	293983	12/04/17	198.38
	DAKTRONICS INC	00001	914148	294287	12/06/17	1,500.00
	DAKTRONICS INC	00001	914148	294287	12/06/17	2,940.00
	DATAWORKS PLUS LLC	00001	913714	293690	11/30/17	25,500.00
	DENOVO VENTURES LLC	00001	914153	294287	12/06/17	185.00
	DREXEL BARRELL & CO	00001	914147	294287	12/06/17	896.00
	EIDE BAILLY LLP	00001	914149	294287	12/06/17	15,390.00
	FASCO SECURITY PRODUCTS	00001	913126	293430	11/28/17	978.00
	FINANCIAL EQUIPMENT COMPANY	00001	913386	293521	11/29/17	2,145.00
	GENERAL NETWORKS	00001	913488	293555	11/29/17	803.40
	GEO GROUP INC	00001	913933	293983	12/04/17	2,560.80
	GROUNDS SERVICE COMPANY	00001	913704	293677	11/30/17	528.00
	HEWLETT-PACKARD ENTERPRISE CO	00001	913127	293430	11/28/17	6,355.34
	HOLLAND AND HART LLP	00001	914144	294287	12/06/17	4,000.00
	HOLLAND AND HART LLP	00001	914145	294287	12/06/17	4,000.00
	HUDSON SIMULATION SERVICES LLC	00001	913128	293430	11/28/17	1,784.00
	HUDSON SIMULATION SERVICES LLC	00001	913129	293430	11/28/17	1,738.63
	HYPERTEC DIRECT	00001	913130	293430	11/28/17	10,886.40
	HYPERTEC DIRECT	00001	913131	293430	11/28/17	1,012.65
	INSIGHT PUBLIC SECTOR	00001	914152	294287	12/06/17	6,464.56
	INSIGHT PUBLIC SECTOR	00001	914154	294287	12/06/17	367,144.24
	KD SERVICE GROUP	00001	913715	293690	11/30/17	1,909.98
	KD SERVICE GROUP	00001	913716	293690	11/30/17	507.16
	KD SERVICE GROUP	00001	913717	293690	11/30/17	458.67
	LATPRO INC	00001	913514	293555	11/29/17	283.34
	LATPRO INC	00001	913515	293555	11/29/17	283.33
	LATPRO INC	00001	913516	293555	11/29/17	283.31
	LATPRO INC	00001	913517	293555	11/29/17	283.32
	LEXIS NEXIS MATTHEW BENDER	00001	913132	293430	11/28/17	2,034.99
	LINX	00001	913133	293430	11/28/17	2,647.50
	LOPEZ MARCUS	00001	913134	293430	11/28/17	322.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MOUNTAIN STATES IMAGING LLC	00001	913967	294132	12/06/17	1,442.23
	MOUNTAIN STATES IMAGING LLC	00001	913968	294132	12/06/17	837.76
	MSI TEC INC	00001	913718	293690	11/30/17	5,954.00
	MSI TEC INC	00001	913718	293690	11/30/17	23.64
	MWI VETERINARY SUPPLY CO	00001	913508	293555	11/29/17	2,324.56
	MWI VETERINARY SUPPLY CO	00001	913509	293555	11/29/17	234.05
	MWI VETERINARY SUPPLY CO	00001	913510	293555	11/29/17	646.10
	MWI VETERINARY SUPPLY CO	00001	913511	293555	11/29/17	495.85
	NICOLETTI-FLATER ASSOCIATES	00001	913719	293690	11/30/17	1,400.00
	NICOLETTI-FLATER ASSOCIATES	00001	913719	293690	11/30/17	400.00
	NICOLETTI-FLATER ASSOCIATES	00001	913719	293690	11/30/17	1,100.00
	NOREX INC	00001	914151	294287	12/06/17	5,200.00
	PREFERRED ACQUISITION COMPANY	00001	913911	293983	12/04/17	18,250.00
	PREFERRED ACQUISITION COMPANY	00001	913912	293983	12/04/17	22,000.00
	PRO FORCE LAW ENFORCEMENT	00001	913135	293430	11/28/17	37,829.65
	PROFESSIONAL PIPE SERVICES	00001	913989	294132	12/06/17	22,328.35
	PTS OF AMERICA LLC	00001	913136	293430	11/28/17	1,502.00
	PTS OF AMERICA LLC	00001	913725	293690	11/30/17	1,578.00
	PUSH PEDAL PULL INC	00001	913137	293430	11/28/17	5,691.00
	PUSH PEDAL PULL INC	00001	913137	293430	11/28/17	8,199.00
	PUSH PEDAL PULL INC	00001	913726	293690	11/30/17	280.00
	SIERRA DETENTION SYSTEMS	00001	913388	293521	11/29/17	18,214.52
	SILANIS TECHNOLOGY INC	00001	914164	294287	12/06/17	720.00
	SOLARWINDS WORLDWIDE LLC	00001	913387	293521	11/29/17	4,140.00
	SOLARWINDS WORLDWIDE LLC	00001	913489	293555	11/29/17	16,900.00
	SOUTHWESTERN PAINTING	00001	913925	293983	12/04/17	12,166.00
	SOUTHWESTERN PAINTING	00001	913926	293983	12/04/17	17,330.00
	SPECTRA CONTRACT FLOORING SERV	00001	913923	293983	12/04/17	275.00
	SQUEEGEE SQUAD	00001	913922	293983	12/04/17	2,100.00
	SUMMIT FOOD SERVICE LLC	00001	913156	293430	11/28/17	5,456.63
	SUMMIT FOOD SERVICE LLC	00001	913157	293430	11/28/17	28,490.88
	SUMMIT FOOD SERVICE LLC	00001	913158	293430	11/28/17	5,310.24
	SUMMIT FOOD SERVICE LLC	00001	913720	293690	11/30/17	21,516.86
	SUMMIT FOOD SERVICE LLC	00001	913720	293690	11/30/17	6,045.91
	SUMMIT FOOD SERVICE LLC	00001	913721	293690	11/30/17	28,597.70
	SUMMIT FOOD SERVICE LLC	00001	913722	293690	11/30/17	3,648.39

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	T&G PECOS LLC	00001	913723	293690	11/30/17	900.00
	TIME TO CHANGE	00001	913936	293983	12/04/17	134,486.56
	TIME TO CHANGE	00001	913936	293983	12/04/17	4,652.12
	TIME TO CHANGE	00001	913937	293983	12/04/17	218,350.88
	TIME TO CHANGE	00001	913937	293983	12/04/17	10,305.43
	ULINE INC	00001	913727	293690	11/30/17	4,102.00
	ULINE INC	00001	913727	293690	11/30/17	1.75
	WORLDPOINT ECC INC	00001	913159	293430	11/28/17	5,491.80
					Account Total	<u>1,397,611.00</u>
	Retainages Payable					
	BLACK ROOFING INC	00001	913914	293983	12/04/17	2,707.50-
	BLACK ROOFING INC	00001	913914	293983	12/04/17	1,704.50-
	PROFESSIONAL PIPE SERVICES	00001	913989	294132	12/06/17	1,116.42-
					Account Total	<u>5,528.42-</u>
					Department Total	<u><u>1,392,082.58</u></u>

County of Adams
Vendor Payment Report

<u>5027</u>	<u>Golf Course- CIP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land Improvements					
	TARGET SPECIALTY PRODUCTS	00005	913154	293432	11/28/17	<u>2,732.50</u>
					Account Total	<u>2,732.50</u>
					Department Total	<u><u>2,732.50</u></u>

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grounds Maintenance					
	GARAGE FORCE OF DENVER NORTH L	00005	913767	293789	12/01/17	3,891.54
	L L JOHNSON DIST	00005	913151	293432	11/28/17	81.30
	TARGET SPECIALTY PRODUCTS	00005	913155	293432	11/28/17	1,290.00
					Account Total	5,262.84
	Minor Equipment					
	GRAINGER	00005	913141	293432	11/28/17	30.84
	GRAINGER	00005	913142	293432	11/28/17	64.46
	L L JOHNSON DIST	00005	913152	293432	11/28/17	4,879.00
					Account Total	4,974.30
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	913138	293432	11/28/17	43.56
	ALSCO AMERICAN INDUSTRIAL	00005	913139	293432	11/28/17	45.36
	ALSCO AMERICAN INDUSTRIAL	00005	913140	293432	11/28/17	43.56
					Account Total	132.48
	Vehicle Parts & Supplies					
	GRAINGER	00005	913143	293432	11/28/17	34.95
	GRAINGER	00005	913144	293432	11/28/17	106.75
	L L JOHNSON DIST	00005	913145	293432	11/28/17	22.25
	L L JOHNSON DIST	00005	913146	293432	11/28/17	105.56
	L L JOHNSON DIST	00005	913147	293432	11/28/17	425.21
	L L JOHNSON DIST	00005	913148	293432	11/28/17	389.12
	L L JOHNSON DIST	00005	913149	293432	11/28/17	106.13
	L L JOHNSON DIST	00005	913150	293432	11/28/17	208.60-
	R & R PRODUCTS COMPANY	00005	913153	293432	11/28/17	438.87
					Account Total	1,420.24
					Department Total	11,789.86

County of Adams
Vendor Payment Report

<u>1015</u>	<u>Human Resources- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	LATPRO INC	00001	913517	293555	11/29/17	.01
					Account Total	.01
	Insurance Premiums					
	KAISER PERMANENTE	00001	914001	294222	12/06/17	9,200.00
	ROCKY MTN HEALTH PLAN	00001	914003	294222	12/06/17	850.00
	UNITED HEALTHCARE	00001	914007	294222	12/06/17	6,400.00
					Account Total	16,450.00
	Minor Equipment					
	PPS INTERIORS	00001	913729	293691	11/30/17	1,944.00
					Account Total	1,944.00
	Other Professional Serv					
	SHRED IT USA LLC	00001	913730	293691	11/30/17	100.00
					Account Total	100.00
	Tuition Reimbursement					
	KELLY-YNIGUEZ COLLEEN	00001	913987	294134	12/06/17	25.65
	NEWSOME JEFF	00001	913984	294134	12/06/17	2,000.00
					Account Total	2,025.65
					Department Total	20,519.66

County of Adams
Vendor Payment Report

<u>935117</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	SCHOLASTIC INC	00031	913904	293962	12/04/17	1,490.56
	SCHOLASTIC INC	00031	913905	293962	12/04/17	2,202.35
	SCHOLASTIC INC	00031	913907	293962	12/04/17	239.24
					Account Total	3,932.15
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	913860	293962	12/04/17	6,190.04
	WESTMINSTER PRESBYTERIAN CHURC	00031	912754	292983	11/20/17	2,137.86
					Account Total	8,327.90
	Education & Training					
	OLIVER LESLIE	00031	912749	292983	11/20/17	241.00
	WALMSLEY NATASHA	00031	912753	292983	11/20/17	241.00
					Account Total	482.00
	Food Supplies					
	SYSCO DENVER	00031	912757	292983	11/20/17	330.05
	SYSCO DENVER	00031	912758	292983	11/20/17	34.35
	SYSCO DENVER	00031	912759	292983	11/20/17	3,553.02
	SYSCO DENVER	00031	912760	292983	11/20/17	188.60
	SYSCO DENVER	00031	912761	292983	11/20/17	2,861.88
					Account Total	6,967.90
	Interpreting Services					
	CESCO LINGUISTIC SERVICE INC 2	00031	913858	293962	12/04/17	86.00
					Account Total	86.00
	Medical Services					
	COLO OCCUPATIONAL MEDICINE PHY	00031	912744	292983	11/20/17	75.00
					Account Total	75.00
	Mileage Reimbursements					
	BRAGGS- JONES SHONDRELA	00031	913853	293962	12/04/17	138.57
	LUJAN MONICA	00031	913864	293962	12/04/17	85.39
	REED ALMA	00031	913866	293962	12/04/17	35.52
	RODRIGUEZ JAMIE	00031	913868	293962	12/04/17	54.78
					Account Total	314.26
	Operating Supplies					

County of Adams
Vendor Payment Report

<u>935117</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ECOLAB FOOD SAFETY SPECIALTIES	00031	912746	292983	11/20/17	761.04
	G & K SERVICES	00031	912747	292983	11/20/17	135.28
	G & K SERVICES	00031	913861	293962	12/04/17	135.28
	G & K SERVICES	00031	913863	293962	12/04/17	135.28
	SYSCO DENVER	00031	912758	292983	11/20/17	23.00
	SYSCO DENVER	00031	912759	292983	11/20/17	566.76
	SYSCO DENVER	00031	912761	292983	11/20/17	559.93
	TOSHIBA BUSINESS SOLUTIONS	00031	912752	292983	11/20/17	1,350.00
					Account Total	<u>3,666.57</u>
	Other Professional Serv					
	ORKIN PEST CONTROL	00031	912751	292983	11/20/17	85.06
	ORKIN PEST CONTROL	00031	914016	294226	12/06/17	85.06
	ORKIN PEST CONTROL	00031	914035	294226	12/06/17	87.36
					Account Total	<u>257.48</u>
	Telephone					
	CENTURY LINK	00031	912741	292983	11/20/17	98.28
	CENTURY LINK	00031	912742	292983	11/20/17	1,127.59
	CENTURY LINK	00031	913855	293962	12/04/17	98.68
	CENTURY LINK	00031	913856	293962	12/04/17	1,129.93
	CENTURYLINK	00031	913854	293962	12/04/17	5.14
	CENTURYLINK	00031	913854	293962	12/04/17	5.14
					Account Total	<u>2,464.76</u>
					Department Total	<u><u>26,574.02</u></u>

County of Adams
Vendor Payment Report

<u>961016</u>	<u>HOME</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BRIGHTON HOUSING AUTHORITY	00030	914173	294399	12/07/17	131,078.89
	BRIGHTON HOUSING AUTHORITY	00030	914174	294399	12/07/17	79,692.89
	BRIGHTON HOUSING AUTHORITY	00030	914175	294399	12/07/17	33,816.39
					Account Total	<u>244,588.17</u>
					Department Total	<u><u>244,588.17</u></u>

County of Adams
Vendor Payment Report

<u>1034</u>	<u>HR- Social Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	LATPRO INC	00001	913516	293555	11/29/17	.03
					Account Total	.03
	Mileage Reimbursements					
	LIPSEY SEAN	00001	913966	294113	12/05/17	124.28
					Account Total	124.28
					Department Total	<u>124.31</u>

County of Adams
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	914010	294222	12/06/17	50.43
					Account Total	<u>50.43</u>
	Insurance Premiums					
	UNITED HEALTHCARE	00019	914010	294222	12/06/17	79.75
					Account Total	<u>79.75</u>
					Department Total	<u><u>130.18</u></u>

County of Adams
Vendor Payment Report

<u>8612</u>	<u>Insurance - UHC POS Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	914010	294222	12/06/17	50.43
					Account Total	50.43
	Insurance Premiums					
	UNITED HEALTHCARE	00019	914010	294222	12/06/17	79.75
					Account Total	79.75
					Department Total	130.18

County of Adams
Vendor Payment Report

<u>8622</u>	<u>Insurance -Benefits & Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	FTI GROUP	00019	913724	293691	11/30/17	<u>318.51</u>
					Account Total	<u>318.51</u>
					Department Total	<u><u>318.51</u></u>

County of Adams
Vendor Payment Report

19	Insurance Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	BERG HILL GREENLEAF & RUSCITTI	00019	913915	293983	12/04/17	5,787.50
	CAREHERE LLC	00019	913692	293677	11/30/17	78.36
	CAREHERE LLC	00019	913692	293677	11/30/17	7,338.21
	CAREHERE LLC	00019	913692	293677	11/30/17	6,808.74
	CAREHERE LLC	00019	913692	293677	11/30/17	1,197.54
	CAREHERE LLC	00019	913692	293677	11/30/17	20,885.63
	CAREHERE LLC	00019	913694	293677	11/30/17	8,811.00
	CAREHERE LLC	00019	913694	293677	11/30/17	8,740.00
	CAREHERE LLC	00019	913695	293677	11/30/17	8,740.00
	CAREHERE LLC	00019	913695	293677	11/30/17	8,811.00
	CAREHERE LLC	00019	913991	294132	12/06/17	1,706.00
	CAREHERE LLC	00019	913993	294132	12/06/17	1,104.86
	CAREHERE LLC	00019	913993	294132	12/06/17	1,104.86
	COLO FRAME & SUSPENSION	00019	913497	293555	11/29/17	6,174.71
	DAVIS GRAHAM & STUBBS LLP	00019	913496	293555	11/29/17	769.00
	FACTORY MOTOR PARTS	00019	913498	293555	11/29/17	362.09
	FIT SOLDIERS FITNESS BOOT CAMP	00019	913728	293692	11/30/17	4,860.00
	H RICHEY INC	00019	913703	293677	11/30/17	679.45
	H RICHEY INC	00019	913703	293677	11/30/17	1,388.05
	JOE'S TOWING & RECOVERY	00019	913500	293555	11/29/17	97.00
	LONGMONT FORD	00019	913499	293555	11/29/17	923.03
	MILE HIGH FITNESS	00019	913699	293677	11/30/17	4,112.50
					Account Total	100,479.53
	Retiree Med - Kaiser					
	KAISER PERMANENTE	00019	914000	294222	12/06/17	79,336.56
					Account Total	79,336.56
	Retiree Med - RMHP Metro Area					
	ROCKY MTN HEALTH PLAN	00019	914002	294222	12/06/17	4,787.30
					Account Total	4,787.30
					Department Total	184,603.39

County of Adams
Vendor Payment Report

<u>8614</u>	<u>Insurance- Delta Dental</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	DELTA DENTAL PLAN OF COLO	00019	914012	294222	12/06/17	74.00
					Account Total	74.00
	Ins Premium Dental-Delta					
	DELTA DENTAL PLAN OF COLO	00019	914009	294222	12/06/17	10,970.72
	DELTA DENTAL PLAN OF COLO	00019	914013	294222	12/06/17	80.17
					Account Total	11,050.89
					Department Total	<u>11,124.89</u>

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	AZIZ SEBAH	00019	913490	293564	11/29/17	1,058.51
					Account Total	1,058.51
					Department Total	1,058.51

County of Adams
Vendor Payment Report

<u>8615</u>	<u>Insurance- UHC Retiree Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	1,714.62
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	353.01
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	50.43
					Account Total	2,118.06
	AARP RX					
	UNITED HEALTHCARE	00019	914006	294222	12/06/17	12,164.70
					Account Total	12,164.70
	Insurance Premiums					
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	2,711.50
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	558.25
	UNITED HEALTHCARE	00019	913999	294222	12/06/17	79.75
					Account Total	3,349.50
	UHC_MED					
	UNITED HEALTHCARE	00019	914004	294222	12/06/17	26,782.27
					Account Total	26,782.27
					Department Total	44,414.53

County of Adams
Vendor Payment Report

<u>8623</u>	<u>Insurance- Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	VISION SERVICE PLAN-CONNECTICU	00019	914011	294222	12/06/17	<u>2.54</u>
					Account Total	<u>2.54</u>
					Department Total	<u><u>2.54</u></u>

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	JACHETTA TERRI LYNN	00001	914130	294284	12/06/17	25.15
	LIKE LARRY L	00001	914129	294284	12/06/17	67.41
					Account Total	92.56
	Telephone					
	WINDSTREAM COMMUNICATIONS	00001	913805	293806	12/01/17	1,549.26
					Account Total	1,549.26
					Department Total	1,641.82

County of Adams
Vendor Payment Report

<u>1081</u>	<u>Long Range Strategic Planning</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Licenses and Fees					
	COLORADO STATE OF	00001	914123	294284	12/06/17	<u>791.00</u>
					Account Total	<u>791.00</u>
					Department Total	<u><u>791.00</u></u>

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	RW BAYER & ASSOCIATES	00027	913573	293666	11/30/17	<u>4,250.00</u>
					Account Total	<u>4,250.00</u>
					Department Total	<u><u>4,250.00</u></u>

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DESIGN WORKSHOP	00027	913983	294132	12/06/17	12,688.00
	DESIGN WORKSHOP	00027	913985	294132	12/06/17	2,098.50
	WENK ASSOCIATES INC	00027	913700	293677	11/30/17	8,807.02
	WESTERN STATES RECLAMATION INC	00027	913701	293677	11/30/17	1,016.00
					Account Total	24,609.52
					Department Total	24,609.52

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BRIGHTON CITY OF	00028	913572	293666	11/30/17	180,000.00
					Account Total	180,000.00
					Department Total	180,000.00

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	WEATHERSURE	00001	913780	293798	12/01/17	445.12
					Account Total	445.12
	Gas & Electricity					
	Energy Cap Bill ID=7910	00001	913595	293670	11/22/17	94.71
	Energy Cap Bill ID=7911	00001	913596	293670	11/22/17	1,258.06
	Energy Cap Bill ID=7912	00001	913597	293670	11/22/17	1,222.68
	Energy Cap Bill ID=7913	00001	913598	293670	11/22/17	104.48
	Energy Cap Bill ID=7915	00001	913599	293670	11/22/17	6,025.61
	Energy Cap Bill ID=7919	00001	913600	293670	11/22/17	28.42
					Account Total	8,733.96
					Department Total	9,179.08

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	HERMAN, JAMES	00001	913519	293564	11/29/17	78.00
	NESS CHRISTOPHER P	00001	913518	293564	11/29/17	78.00
					Account Total	<u>156.00</u>
					Department Total	<u><u>156.00</u></u>

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	CUSTOM ENVIRONMENTAL SERVICES	00001	913495	293574	11/29/17	<u>3,073.14</u>
					Account Total	<u>3,073.14</u>
					Department Total	<u><u>3,073.14</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Regional Park Rentals					
	NORTHGLENN YOUTH FOOTBALL	00001	913411	293530	11/29/17	650.00
	ROHLFS TIM	00001	913412	293530	11/29/17	400.00
					Account Total	<u>1,050.00</u>
					Department Total	<u><u>1,050.00</u></u>

County of Adams
Vendor Payment Report

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AJI IRRIGATION CO	00001	913406	293530	11/29/17	<u>2,509.90</u>
					Account Total	<u>2,509.90</u>
					Department Total	<u><u>2,509.90</u></u>

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ACE EQUIPMENT AND SUPPLY CO	00001	913568	293666	11/30/17	<u>157.50</u>
					Account Total	<u>157.50</u>
					Department Total	<u><u>157.50</u></u>

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Repair & Maint					
	ARBORFORCE LLC	00001	913571	293666	11/30/17	2,050.00
					Account Total	2,050.00
	Uniforms & Cleaning					
	COX RANCH ORIGINALS	00001	913407	293530	11/29/17	36.00
					Account Total	36.00
	Water/Sewer/Sanitation					
	NORTH WASHINGTON STREET	00001	913409	293530	11/29/17	423.58
	NORTH WASHINGTON STREET	00001	913410	293530	11/29/17	1,711.90
					Account Total	2,135.48
					Department Total	4,221.48

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUZEK, VINCE	00001	913900	293981	12/04/17	65.00
	GARNER, ROSIE	00001	913901	293981	12/04/17	65.00
	HERRERA, AARON	00001	913902	293981	12/04/17	65.00
	JALIL, FARID A	00001	913910	293981	12/04/17	65.00
	MONTOYA FEDERICO V	00001	913903	293981	12/04/17	65.00
	RICHARDSON SHARON	00001	913906	293981	12/04/17	65.00
	THOMPSON GREGORY PAUL	00001	913908	293981	12/04/17	65.00
	WALLACE MENDEZ ZACKARY	00001	913909	293981	12/04/17	65.00
					Account Total	520.00
					Department Total	520.00

County of Adams
Vendor Payment Report

<u>1038</u>	<u>Regional Affairs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ZAMORA REBECCA	00001	913708	293681	11/30/17	65.81
	ZAMORA REBECCA	00001	913709	293681	11/30/17	161.55
	ZAMORA REBECCA	00001	913710	293681	11/30/17	84.90
	ZAMORA REBECCA	00001	913711	293681	11/30/17	233.81
					Account Total	546.07
	Operating Supplies					
	MIDGLEY ALEXANDRA	00001	913712	293681	11/30/17	168.40
					Account Total	168.40
					Department Total	714.47

County of Adams
Vendor Payment Report

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	VISION SERVICE PLAN-CONNECTICU	00019	914008	294222	12/06/17	<u>356.87</u>
					Account Total	<u>356.87</u>
					Department Total	<u><u>356.87</u></u>

County of Adams
Vendor Payment Report

13	Road & Bridge Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	A-1 CHI SEAL CO	00013	913927	293983	12/04/17	12,558.00
	A-1 CHI SEAL CO	00013	913928	293983	12/04/17	495,845.39
	ALBERT FREI & SONS INC	00013	913502	293555	11/29/17	10,782.63
	ALBERT FREI & SONS INC	00013	913503	293555	11/29/17	4,376.59
	ALBERT FREI & SONS INC	00013	913975	294132	12/06/17	6,350.19
	ALBERT FREI & SONS INC	00013	913976	294132	12/06/17	9,499.19
	ALBERT FREI & SONS INC	00013	913977	294132	12/06/17	9,420.40
	ALBERT FREI & SONS INC	00013	913978	294132	12/06/17	10,979.29
	ALBERT FREI & SONS INC	00013	913979	294132	12/06/17	15,901.34
	ALBERT FREI & SONS INC	00013	913980	294132	12/06/17	8,161.12
	ALSCO AMERICAN INDUSTRIAL	00013	913971	294132	12/06/17	76.10
	ALSCO AMERICAN INDUSTRIAL	00013	913972	294132	12/06/17	76.10
	ALSCO AMERICAN INDUSTRIAL	00013	913973	294132	12/06/17	76.10
	ALSCO AMERICAN INDUSTRIAL	00013	913974	294132	12/06/17	88.97
	ASPHALT SPECIALTIES CO INC	00013	913504	293555	11/29/17	1,735.36
	ASPHALT SPECIALTIES CO INC	00013	913504	293555	11/29/17	391.60
	ASPHALT SPECIALTIES CO INC	00013	913505	293555	11/29/17	1,013.28
	ASPHALT SPECIALTIES CO INC	00013	913981	294132	12/06/17	4,408.96
	ASPHALT SPECIALTIES CO INC	00013	914015	294229	12/06/17	4,637.44
	DREXEL BARRELL & CO	00013	913917	293983	12/04/17	1,134.00
	EP&A ENVIROTAC INC	00013	913501	293555	11/29/17	38,882.50
	GMCO CORPORATION	00013	913506	293555	11/29/17	18,000.00
	GOODLAND CONSTRUCTION	00013	914162	294287	12/06/17	90,407.10
	GROUND ENGINEERING CONSULTANTS	00013	914155	294287	12/06/17	1,905.00
	GROUND ENGINEERING CONSULTANTS	00013	914156	294287	12/06/17	235.00
	GROUND ENGINEERING CONSULTANTS	00013	914157	294287	12/06/17	4,035.00
	GROUND ENGINEERING CONSULTANTS	00013	914158	294287	12/06/17	11,680.00
	GROUND ENGINEERING CONSULTANTS	00013	914160	294287	12/06/17	23,072.50
	GROUND ENGINEERING CONSULTANTS	00013	914161	294287	12/06/17	9,772.50
	H-2 ENTERPRISES LLC	00013	913986	294132	12/06/17	11,992.75
	ICON ENGINEERING INC	00013	913916	293983	12/04/17	6,941.75
	JK TRANSPORTS INC	00013	913988	294132	12/06/17	2,835.00
	MENDOZA FLORENCE	00013	913691	293677	11/30/17	14,005.00
	NORAA CONCRETE CONSTRUCTION CO	00013	914163	294287	12/06/17	300,337.80
	ULTEIG ENGINEERS INC	00013	913929	293983	12/04/17	809.00

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ULTEIG ENGINEERS INC	00013	913930	293983	12/04/17	28,953.25
	UNIVERSAL FIELD SERVICES INC	00013	913931	293983	12/04/17	14,631.80
	UTILITY NOTIFICATION CENTER OF	00013	913970	294132	12/06/17	201.55
					Account Total	<u>1,176,209.55</u>
	Retainages Payable					
	A-1 CHI SEAL CO	00013	913927	293983	12/04/17	627.90-
	A-1 CHI SEAL CO	00013	913928	293983	12/04/17	24,792.27-
	GOODLAND CONSTRUCTION	00013	914162	294287	12/06/17	4,520.36-
	NORAA CONCRETE CONSTRUCTION CO	00013	914163	294287	12/06/17	15,016.89-
					Account Total	<u>44,957.42-</u>
					Department Total	<u><u>1,131,252.13</u></u>

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	144.55
					Account Total	144.55
	Operating Supplies					
	SAMS CLUB	00001	913395	293522	11/29/17	441.72
					Account Total	441.72
	Travel & Transportation					
	SAMS CLUB	00001	913395	293522	11/29/17	110.66
	SAMS CLUB	00001	913395	293522	11/29/17	125.32
					Account Total	235.98
					Department Total	822.25

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	6.07
					Account Total	6.07
	Operating Supplies					
	SAMS CLUB	00001	913395	293522	11/29/17	278.28
	SAMS CLUB	00001	913395	293522	11/29/17	140.42
					Account Total	418.70
					Department Total	424.77

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	157.22
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	71.85
					Account Total	<u>229.07</u>
	Operating Supplies					
	SAMS CLUB	00001	913395	293522	11/29/17	101.40
					Account Total	<u>101.40</u>
	Other Professional Serv					
	SHRED IT USA LLC	00001	913396	293522	11/29/17	100.00
					Account Total	<u>100.00</u>
					Department Total	<u><u>430.47</u></u>

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	AHERN RENTALS	00001	913520	293541	11/29/17	19.00
	ALPINE CREDIT INC	00001	913419	293541	11/29/17	19.00
	ANDERSON JAMES G	00001	913521	293541	11/29/17	19.00
	BC SERVICES INC	00001	913420	293541	11/29/17	19.00
	BESCH NICHOLAS	00001	913522	293541	11/29/17	19.00
	BOVE LAW OFFICES	00001	913545	293541	11/30/17	66.00
	BOVE LAW OFFICES	00001	913546	293541	11/30/17	126.00
	BOVE LAW OFFICES	00001	913547	293541	11/30/17	66.00
	BOVE LAW OFFICES	00001	913548	293541	11/30/17	66.00
	BURNS CHARLES DOUGLAS	00001	913553	293541	11/30/17	66.00
	CAMPBELL CHRISTI NICOLE	00001	913523	293541	11/29/17	19.00
	CANNON HADFIELD STIEBEN	00001	913524	293541	11/29/17	19.00
	CARBTREE KEVIN SCOTT	00001	913527	293541	11/29/17	19.00
	CAROLIN TOPELSON LAW	00001	913525	293541	11/29/17	66.00
	CAROLIN TOPELSON LAW	00001	913526	293541	11/29/17	66.00
	CAROLIN TOPELSON LAW	00001	913549	293541	11/30/17	66.00
	CREDIT SERVICE COMPANY, INC	00001	913421	293541	11/29/17	19.00
	CREDIT SERVICE COMPANY, INC	00001	913422	293541	11/29/17	19.00
	DANNER EVAN JOSEPH	00001	913528	293541	11/29/17	19.00
	GREENBERG & SADA	00001	913423	293541	11/29/17	19.00
	HARD LOUIS	00001	913529	293541	11/29/17	19.00
	HOLST AND BOETTCHER	00001	913424	293541	11/29/17	19.00
	HOLST AND BOETTCHER	00001	913425	293541	11/29/17	19.00
	HOLST AND BOETTCHER	00001	913426	293541	11/29/17	19.00
	HOVLAND DESIREE MARIE	00001	913530	293541	11/29/17	19.00
	JOHNSON JASMYN	00001	913531	293541	11/30/17	19.00
	KLASS PHILIP	00001	913427	293541	11/29/17	66.00
	KLASS PHILIP	00001	913428	293541	11/29/17	66.00
	KLASS PHILIP	00001	913456	293541	11/29/17	66.00
	KLASS PHILIP	00001	913457	293541	11/29/17	66.00
	LE LONG	00001	913532	293541	11/30/17	19.00
	LEACHMAN, MARK A	00001	913458	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913459	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913460	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913461	293541	11/29/17	19.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	LEACHMAN, MARK A	00001	913462	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913463	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913464	293541	11/29/17	19.00
	LEACHMAN, MARK A	00001	913465	293541	11/29/17	19.00
	LEGAL AID OF NORTHWEST TEXAS	00001	913533	293541	11/30/17	19.00
	MACHOL & JOHANNES, LLC	00001	913466	293541	11/29/17	19.00
	MACHOL & JOHANNES, LLC	00001	913467	293541	11/29/17	19.00
	MARTIN WILLIAM FLOYD	00001	913534	293541	11/30/17	19.00
	MASON TERRY	00001	913535	293541	11/30/17	19.00
	METRO VOLUNTEER LAWYERS	00001	913468	293541	11/29/17	19.00
	MIDLAND CREDIT MANAGEMENT INC	00001	913469	293541	11/29/17	19.00
	MIDLAND CREDIT MANAGEMENT INC	00001	913470	293541	11/29/17	19.00
	MIDLAND CREDIT MANAGEMENT INC	00001	913471	293541	11/29/17	19.00
	MILLER COHEN PETERSON YOUNG	00001	913472	293541	11/29/17	19.00
	MILLER COHEN PETERSON YOUNG	00001	913473	293541	11/29/17	19.00
	MILLER COHEN PETERSON YOUNG	00001	913550	293541	11/30/17	19.00
	MOELLER GRAF PC	00001	913474	293541	11/29/17	2.00
	MOORE LAW GROUP APC	00001	913475	293541	11/29/17	19.00
	MOORE LAW GROUP APC	00001	913476	293541	11/29/17	19.00
	MOORE LAW GROUP APC	00001	913477	293541	11/29/17	19.00
	PEREZ INEZ	00001	913541	293541	11/30/17	19.00
	PETERSON NYKAMP LAW	00001	913554	293541	11/30/17	19.00
	PITLER AND ASSOCIATES	00001	913555	293541	11/30/17	66.00
	PROFESSIONAL FINANCE CO	00001	913478	293541	11/29/17	19.00
	RANDALL RICHARD	00001	913536	293541	11/30/17	19.00
	RAY L HUGHES ATTORNEY AT LAW	00001	913537	293541	11/30/17	19.00
	RYAN RYAN AND LANDA	00001	913538	293541	11/30/17	19.00
	SARDAKOWSKI TAMARA	00001	913539	293541	11/30/17	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913479	293541	11/29/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913480	293541	11/29/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913481	293541	11/29/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913482	293541	11/29/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913551	293541	11/30/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	913552	293541	11/30/17	66.00
	STREETER CARL	00001	913540	293541	11/30/17	19.00
	TSCHETTER HAMRICK SULZER	00001	913483	293541	11/29/17	4,454.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	VALDEZ MICHAEL JAMES	00001	913542	293541	11/30/17	19.00
	VILLALOBOS MIRAYA	00001	913543	293541	11/30/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	913484	293541	11/29/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	913485	293541	11/29/17	19.00
	WYN T TAYLOR	00001	913486	293541	11/29/17	19.00
	YOUNG WILLIAMS SW 16 AND 26	00001	913487	293541	11/29/17	28.00
	ZEWDIE BARKLEY RAKEB TESFA	00001	913544	293541	11/30/17	19.00
					Account Total	<u>6,862.00</u>
					Department Total	<u><u>6,862.00</u></u>

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	<u>98.06</u>
					Account Total	<u>98.06</u>
					Department Total	<u><u>98.06</u></u>

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	131.99
					Account Total	131.99
	Mileage Reimbursements					
	ROWLAND CLAUDIA	00001	913394	293522	11/29/17	40.66
					Account Total	40.66
					Department Total	172.65

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	SUMMIT FOOD SERVICE LLC	00001	913400	293522	11/29/17	115.85
					Account Total	115.85
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	662.34
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	215.49
					Account Total	877.83
	Food Services					
	SUMMIT FOOD SERVICE LLC	00001	913400	293522	11/29/17	2,424.30
	SUMMIT FOOD SERVICE LLC	00001	913402	293522	11/29/17	1,085.34
					Account Total	3,509.64
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	913398	293522	11/29/17	160.32
	SUMMIT FOOD SERVICE LLC	00001	913399	293522	11/29/17	653.77
	SUMMIT FOOD SERVICE LLC	00001	913401	293522	11/29/17	218.37
					Account Total	1,032.46
	Uniforms & Cleaning					
	PRO FORCE LAW ENFORCEMENT	00001	913393	293522	11/29/17	593.95
					Account Total	593.95
					Department Total	6,129.73

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	101.95
					Account Total	101.95
	Minor Equipment					
	BLACKFORD WEIGHING SYSTEMS INC	00001	913389	293522	11/29/17	1,103.86
					Account Total	1,103.86
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	913392	293522	11/29/17	25.35
					Account Total	25.35
	Other Communications					
	COMCAST CABLE	00001	913390	293522	11/29/17	1.06
					Account Total	1.06
					Department Total	1,232.22

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	SAMS CLUB	00001	913395	293522	11/29/17	250.67
					Account Total	250.67
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	176.67
					Account Total	176.67
	Extraditions					
	WORLD CONNECTIONS TRAVEL	00001	913404	293522	11/29/17	1,966.00
					Account Total	1,966.00
					Department Total	<u>2,393.34</u>

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	913405	293522	11/29/17	67.83
					Account Total	67.83
	Traffic Fines					
	COLE CODY HUTCHINSON	00001	913391	293522	11/29/17	10.00
	TRUJILLO PETE SECUNDINO	00001	913403	293522	11/29/17	10.00
					Account Total	20.00
					Department Total	87.83

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Dust Abatement					
	COBITCO INC	00013	913812	293942	12/04/17	300.80
	COBITCO INC	00013	913813	293942	12/04/17	205.45
	WAYNE A MITCHELL LLC	00013	913807	293942	12/04/17	1,939.50
					Account Total	2,445.75
	Gravel & Recycled Material					
	ALBERT FREI & SONS INC	00013	913502	293555	11/29/17	.07
	ALBERT FREI & SONS INC	00013	913503	293555	11/29/17	.03
	ALBERT FREI & SONS INC	00013	913975	294132	12/06/17	.07
	ALBERT FREI & SONS INC	00013	913976	294132	12/06/17	.08
	ALBERT FREI & SONS INC	00013	913977	294132	12/06/17	.08
	ALBERT FREI & SONS INC	00013	913978	294132	12/06/17	.08
	ALBERT FREI & SONS INC	00013	913979	294132	12/06/17	.08
	ALBERT FREI & SONS INC	00013	913980	294132	12/06/17	.08
	ASPHALT SPECIALTIES CO INC	00013	914015	294229	12/06/17	.11
					Account Total	.68
	Operating Supplies					
	CINTAS FIRST AID & SAFETY	00013	913814	293942	12/04/17	27.44
	CINTAS FIRST AID & SAFETY	00013	913815	293942	12/04/17	34.99
	CINTAS FIRST AID & SAFETY	00013	913817	293942	12/04/17	11.27
	CINTAS FIRST AID & SAFETY	00013	913816	293942	12/04/17	40.14
	FACTORY MOTOR PARTS	00013	913811	293942	12/04/17	12.34
	SAFETY & CONSTRUCTION SUPPLY	00013	913810	293942	12/04/17	4,784.00
					Account Total	4,910.18
	Water/Sewer/Sanitation					
	PREMIER PORTABLES	00013	913808	293942	12/04/17	460.00
	PREMIER PORTABLES	00013	913809	293942	12/04/17	460.00
					Account Total	920.00
					Department Total	8,276.61

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	913567	293660	11/30/17	<u>40.01</u>
					Account Total	<u>40.01</u>
					Department Total	<u><u>40.01</u></u>

County of Adams
Vendor Payment Report

<u>97803</u>	<u>Wagner-Peyser Migrant Seasonal</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	913567	293660	11/30/17	<u>105.08</u>
					Account Total	<u>105.08</u>
					Department Total	<u><u>105.08</u></u>

County of Adams
Vendor Payment Report

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	913115	293414	11/28/17	40.00
					Account Total	40.00
	Water/Sewer/Sanitation					
	AURORA WATER	00044	913114	293414	11/28/17	2,242.64
					Account Total	2,242.64
					Department Total	2,282.64

County of Adams
Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMPUTER SYSTEMS DESIGN	00035	914134	294287	12/06/17	<u>4,800.00</u>
					Account Total	<u>4,800.00</u>
					Department Total	<u><u>4,800.00</u></u>

County of Adams
Vendor Payment Report

<u>99806</u>	<u>WIOA & Wag/Pey Shared Prog Cst</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	913567	293660	11/30/17	<u>52.54</u>
					Account Total	<u>52.54</u>
					Department Total	<u><u>52.54</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	AGUILAR ROXANNA	00035	913560	293660	11/30/17	50.00
	CARRILLO NICOLETTE	00035	913562	293660	11/30/17	40.00
	FAULK KAYLIN	00035	913563	293660	11/30/17	60.00
	HOLTON VERONICA	00035	913564	293660	11/30/17	80.00
	RODRIGUEZ-IBANEZ JANETTE	00035	913565	293660	11/30/17	50.00
					Account Total	280.00
					Department Total	280.00

County of Adams
Vendor Payment Report

<u>97400</u>	<u>WIOA YOUTH YOUNGER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	AUGUSTIN AIESHA	00035	913561	293660	11/30/17	<u>50.00</u>
					Account Total	<u>50.00</u>
					Department Total	<u><u>50.00</u></u>

County of Adams
Vendor Payment Report

<u>99807</u>	<u>Youth Shared Prgrm Direct Cost</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	HUTCHINS ATHENAS	00035	914024	294226	12/06/17	13.38
					Account Total	13.38
	Other Communications					
	VERIZON WIRELESS	00035	913567	293660	11/30/17	320.32
					Account Total	320.32
					Department Total	<u>333.70</u>

County of Adams
Vendor Payment Report

Grand Total 3,951,019.79

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	664,970.34
4	Capital Facilities Fund	412,228.48
5	Golf Course Enterprise Fund	14,214.94
6	Equipment Service Fund	2,893.26
13	Road & Bridge Fund	22,995.00
19	Insurance Fund	244,271.75
28	Open Space Sales Tax Fund	340,641.91
30	Community Dev Block Grant Fund	12.44
31	Head Start Fund	58,848.32
34	Comm Services Blk Grant Fund	19,795.73
35	Workforce & Business Center	4,203.66
43	Front Range Airport	1,357.17
44	Water and Wastewater Fund	159.74
94	Sheriff Payables	9,414.00
		<u>1,796,006.74</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717637	218554	LESLIE BRIAN	12/08/17	6,168.75
00717638	33680	HOLLAND AND HART LLP	12/08/17	4,000.00
00717679	13783	BRANTNER DITCH CO	12/11/17	6,140.00
00717681	4936	ADAMS COUNTY ECONOMIC DEVELOP	12/11/17	131,516.00
00717682	13056	ADAMS COUNTY SCHOOL DIST 14	12/11/17	1,500.00
00717683	322973	ARMORED KNIGHTS INC	12/11/17	1,994.64
00717685	662077	CASTELLANO SANDRA	12/11/17	1,000.00
00717689	43659	CINTAS FIRST AID & SAFETY	12/11/17	222.65
00717690	250958	COHEN MILSTEIN SELLERS & TOLL	12/11/17	1,771.87
00717694	28726	G & K SERVICES	12/11/17	398.84
00717697	662078	GUERRERO CARDENAS GABINO	12/11/17	650.00
00717699	296763	HORIZON HIGH SCHOOL	12/11/17	400.00
00717701	45515	OFFICE SCAPES	12/11/17	25,549.80
00717704	42818	STATE OF COLORADO	12/11/17	9,349.43
00717705	42818	STATE OF COLORADO	12/11/17	297.04
00717706	42818	STATE OF COLORADO	12/11/17	542.50
00717707	42818	STATE OF COLORADO	12/11/17	32.76
00717711	1094	TRI COUNTY HEALTH DEPT	12/11/17	284,056.00
00717715	13822	XCEL ENERGY	12/11/17	176.48
00717716	13822	XCEL ENERGY	12/11/17	140.80
00717717	660874	iPROMOTEu.COM	12/11/17	544.03
00717719	383698	ALLIED UNIVERSAL SECURITY SERV	12/11/17	15,737.76
00717723	263163	CELLEBRITE USA INC	12/11/17	3,400.00
00717724	37266	CENTURY LINK	12/11/17	205.39
00717727	331138	CNC TECHNICAL SERVICES LLC	12/11/17	162.50
00717729	38011	DERBY INDUSTRIES	12/11/17	2,399.25
00717730	248103	DS WATERS OF AMERICA INC	12/11/17	895.65
00717733	47723	FEDEX	12/11/17	47.22
00717739	32276	INSIGHT PUBLIC SECTOR	12/11/17	4,662.14
00717740	339227	JK CONCEPTS INC	12/11/17	7,215.00
00717742	547834	LOPEZ MARCUS	12/11/17	349.00
00717744	51274	MCDONALD YONG HUI V	12/11/17	5,254.50
00717745	93018	MURPHY RICK	12/11/17	5,755.69
00717748	12691	PEARL COUNSELING ASSOCIATES	12/11/17	9,342.23
00717754	13538	SHRED IT USA LLC	12/11/17	309.50
00717755	508977	SIGMAN RONALD	12/11/17	271.57

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717756	599714	SUMMIT FOOD SERVICE LLC	12/11/17	5,491.08
00717757	28617	VERIZON WIRELESS	12/11/17	1,279.90
00717758	331868	VONFELDT SKYLAR	12/11/17	73.11
00717760	433987	ADCO DISTRICT ATTORNEY'S OFFIC	12/11/17	588.09
00717761	40325	DENVER POST	12/11/17	270.40
00717762	13822	XCEL ENERGY	12/11/17	750.00
00717764	383698	ALLIED UNIVERSAL SECURITY SERV	12/13/17	3,517.10
00717765	12012	ALSCO AMERICAN INDUSTRIAL	12/13/17	123.02
00717768	8973	C & R ELECTRICAL CONTRACTORS I	12/13/17	594.00
00717769	8973	C & R ELECTRICAL CONTRACTORS I	12/13/17	1,001.08
00717770	8973	C & R ELECTRICAL CONTRACTORS I	12/13/17	847.18
00717771	8973	C & R ELECTRICAL CONTRACTORS I	12/13/17	1,436.50
00717776	105374	COMMERCIAL FLOORING SERVICES	12/13/17	525.00
00717777	5063	DENVER POST	12/13/17	439.75
00717778	270345	DH PACE	12/13/17	3,024.39
00717779	8820091	EON OFFICE PRODUCTS	12/13/17	674.84
00717782	41022	LEWIS HIMES ASSOCIATES INC	12/13/17	637.50
00717784	13538	SHRED IT USA LLC	12/13/17	352.47
00717785	33604	STATE OF COLORADO	12/13/17	223.00
00717786	207981	SUNCONTROL FOR WINDOWS LLC	12/13/17	495.00
00717787	66264	SYSTEMS GROUP	12/13/17	2,560.00
00717788	498722	THERMAL & MOISTURE PROTECTION	12/13/17	3,700.00
00717790	9935	TRAUTMAN & SHREVE INC	12/13/17	8,534.00
00717792	37424	BC SERVICES INC	12/13/17	19.00
00717793	37424	BC SERVICES INC	12/13/17	19.00
00717794	37424	BC SERVICES INC	12/13/17	19.00
00717795	37424	BC SERVICES INC	12/13/17	19.00
00717796	37424	BC SERVICES INC	12/13/17	19.00
00717797	660961	BOVE LAW OFFICES	12/13/17	145.00
00717798	446423	BRUMBAUGH & QUANDAHL	12/13/17	19.00
00717799	662493	FIAALII DENNY NEKO	12/13/17	19.00
00717800	662494	GREENLAW INTERNATIONAL LLC	12/13/17	66.00
00717801	662503	HENRY THOMAS E	12/13/17	26.00
00717802	644715	HOFFERBERTH BRADFORD	12/13/17	19.00
00717803	662495	HUERTA SEPTIMA	12/13/17	19.00
00717804	662496	IDOSSA TESHOME W	12/13/17	19.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717805	662497	INGALLS TROY D	12/13/17	66.00
00717806	4141	JAMES C HILL REAL ESTATE	12/13/17	142.00
00717807	259756	KLASS PHILIP	12/13/17	66.00
00717808	166679	LEACHMAN, MARK A	12/13/17	38.00
00717809	381372	MACHOL & JOHANNES, LLC	12/13/17	19.00
00717810	662498	MARTINEZ ADRIANNA	12/13/17	19.00
00717811	662499	MARTINEZ BRANDALYN	12/13/17	19.00
00717812	374475	MOORE LAW GROUP APC	12/13/17	19.00
00717813	662500	PEREZ ARELY DURAN	12/13/17	19.00
00717814	358485	PHS RENT LLC	12/13/17	66.00
00717815	16377	PROFESSIONAL FINANCE CO	12/13/17	19.00
00717816	654120	ROBINSON AND HENRY	12/13/17	66.00
00717817	342347	SCOTTSBLUFF COUNTY ATTORNEY	12/13/17	19.00
00717818	662501	SOTELO CHAVEZ REYNALDO	12/13/17	19.00
00717819	323653	SOUTH DAKOTA ATTORNEY GENERAL	12/13/17	19.00
00717820	71946	SPRINGMAN, BRADEN, WILSON & PO	12/13/17	132.00
00717821	662502	STATE OF KANSAS	12/13/17	19.00
00717822	218715	TSCHETTER HAMRICK SULZER	12/13/17	3,036.00
00717823	662504	VAN HORN FAMILY LAW	12/13/17	19.00
00717824	27815	WAKEFIELD & ASSOCIATES INC	12/13/17	19.00
00717825	292707	WESTCHESTER APARTMENTS LLLP	12/13/17	66.00
00717826	57887	WYN T TAYLOR	12/13/17	19.00
00717854	13593	KAISER PERMANENTE	12/13/17	9,100.00
00717856	98414	ROCKY MTN HEALTH PLAN	12/13/17	850.00
00717858	46792	SECURE HORIZONS	12/13/17	1,500.00
00717860	240959	UNITED HEALTHCARE	12/13/17	6,450.00
00717867	228213	ARAMARK REFRESHMENT SERVICES	12/14/17	877.39
00717868	3020	BENNETT TOWN OF	12/14/17	74.54
00717869	13160	BRIGHTON CITY OF (WATER)	12/14/17	2,788.86
00717870	13160	BRIGHTON CITY OF (WATER)	12/14/17	642.70
00717871	248103	DS WATERS OF AMERICA INC	12/14/17	518.95
00717872	430532	EASTERN ADAMS COUNTY METROPOLI	12/14/17	787.30
00717873	346534	FIRST CHOICE COFFEE SERVICES	12/14/17	144.10
00717874	547834	LOPEZ MARCUS	12/14/17	346.00
00717875	163837	PTS OF AMERICA LLC	12/14/17	1,608.00
00717876	5637	ROCKY MTN MICROFILM & IMAGING	12/14/17	4,500.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717877	13538	SHRED IT USA LLC	12/14/17	82.50
00717878	13932	SOUTH ADAMS WATER & SANITATION	12/14/17	374.70
00717879	13932	SOUTH ADAMS WATER & SANITATION	12/14/17	656.06
00717880	13949	STRASBURG SANITATION	12/14/17	79.33
00717881	28617	VERIZON WIRELESS	12/14/17	2,345.87
00717882	46796	WESTMINSTER CITY OF	12/14/17	472.00
00717883	46796	WESTMINSTER CITY OF	12/14/17	719.86
00717884	13822	XCEL ENERGY	12/14/17	3,439.26
00717885	13822	XCEL ENERGY	12/14/17	1,421.41
00717886	13822	XCEL ENERGY	12/14/17	7,203.87
00717887	13822	XCEL ENERGY	12/14/17	805.52
00717888	13822	XCEL ENERGY	12/14/17	40.33
00717889	13822	XCEL ENERGY	12/14/17	526.19
00717890	13822	XCEL ENERGY	12/14/17	379.90
00717891	13822	XCEL ENERGY	12/14/17	253.91
00717892	13822	XCEL ENERGY	12/14/17	228.81
00717893	13822	XCEL ENERGY	12/14/17	317.43
00717894	13822	XCEL ENERGY	12/14/17	1,200.50
00717895	13822	XCEL ENERGY	12/14/17	576.20
00717896	13822	XCEL ENERGY	12/14/17	75.03
Fund Total				625,334.92

County of Adams
Net Warrants by Fund Detail

4 **Capital Facilities Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00004452	104910	SAUNDERS CONSTRUCTION INC	12/12/17	412,228.48
			Fund Total	412,228.48

Net Warrants by Fund Detail

5Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717763	302764	AGFINITY INC	12/13/17	1,558.37
00717766	12012	ALSCO AMERICAN INDUSTRIAL	12/13/17	87.12
00717767	9822	BUCKEYE WELDING SUPPLY CO INC	12/13/17	26.00
00717772	161989	C&M AIR COOLED ENGINE INC	12/13/17	646.26
00717780	804964	GRAINGER	12/13/17	132.57
00717781	11496	L L JOHNSON DIST	12/13/17	1,846.77
00717783	433906	ROCKY MTN PUP & CONTROLS LLC	12/13/17	8,688.25
00717789	47140	TORO NSN	12/13/17	229.00
00717791	13822	XCEL ENERGY	12/13/17	1,000.60
			Fund Total	14,214.94

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717680	11657	A & E TIRE INC	12/11/17	2,743.26
			Fund Total	2,743.26

County of Adams
Net Warrants by Fund Detail

13

Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717696	212385	GMCO CORPORATION	12/11/17	22,995.00
Fund Total				22,995.00

Net Warrants by Fund Detail

19 **Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00004453	523053	TRISTAR RISK MANAGEMENT	12/12/17	68,328.40
00717688	218552	CHRISTENSEN DAISY	12/11/17	3,187.50
00717712	11552	VISION SERVICE PLAN-CONNECTICU	12/11/17	10,247.44
00717713	11552	VISION SERVICE PLAN-CONNECTICU	12/11/17	1,385.99
00717851	13663	DELTA DENTAL PLAN OF COLO	12/13/17	27.71
00717852	13663	DELTA DENTAL PLAN OF COLO	12/13/17	62.90
00717853	13663	DELTA DENTAL PLAN OF COLO	12/13/17	11,136.48
00717855	13593	KAISER PERMANENTE	12/13/17	78,250.22
00717857	98414	ROCKY MTN HEALTH PLAN	12/13/17	4,787.30
00717859	46792	SECURE HORIZONS	12/13/17	15,845.23
00717861	37507	UNITED HEALTHCARE	12/13/17	5,597.74
00717862	240958	UNITED HEALTHCARE	12/13/17	12,242.70
00717863	240959	UNITED HEALTHCARE	12/13/17	26,904.90
00717864	11552	VISION SERVICE PLAN-CONNECTICU	12/13/17	2.54
00717865	11552	VISION SERVICE PLAN-CONNECTICU	12/13/17	354.33
00717866	650156	REGO MARIA	12/13/17	3,010.00
Fund Total				241,371.38

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717708	28580	STRASBURG METRO PARKS & REC	12/11/17	76,883.81
00717714	301358	WESTMINSTER CITY OF	12/11/17	258,758.10
Fund Total				335,641.91

Net Warrants by Fund Detail

31 **Head Start Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717684	245316	CARNATION BUILDING SERVICES IN	12/11/17	2,127.80
00717692	45567	DENVER CHILDREN'S ADVOCACY CTR	12/11/17	38,482.38
00717698	10389	HEWLETT PACKARD COMPANY	12/11/17	12,674.51
00717710	13770	SYSCO DENVER	12/11/17	5,563.63
Fund Total				58,848.32

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717695	661402	GARIBAY CERVANTES MONIQUE	12/11/17	50.00
00717700	238124	JOSTENS ROCKY MTN RECOGNITION	12/11/17	32.00
00717702	661403	OSTBERG ALISHIA	12/11/17	40.00
00717703	6469	RED ROCKS COMMUNITY COLLEGE	12/11/17	2,510.39
00717718	36820	AGUINIGA CAROL	12/11/17	47.62
00717720	373693	ARNEACH ANGELA	12/11/17	52.43
00717721	35827	BANKS RACHEL	12/11/17	38.52
00717722	35563	CASTILLO YVONNE	12/11/17	32.10
00717725	90879	CHAVEZ BELIA P	12/11/17	12.31
00717726	258669	CLARK RYNE	12/11/17	20.87
00717728	192948	DABIT SANA	12/11/17	27.82
00717731	354196	DUKE STEPHANI	12/11/17	92.02
00717732	38689	ELLIS CHARLES	12/11/17	111.82
00717734	369792	FLORES MICHAEL	12/11/17	41.20
00717735	843241	GLASSER NOELLE	12/11/17	110.21
00717736	68923	GONZALEZ JEANETTE	12/11/17	10.17
00717737	553649	HORNER ANDREW	12/11/17	53.50
00717738	443755	HUTCHINS ATHENAS	12/11/17	63.67
00717741	38692	JOHNSON LORRAINE	12/11/17	21.40
00717743	580067	MCBOAT GREG	12/11/17	19.80
00717746	143339	NOBLE PHILLIPP	12/11/17	57.45
00717747	481825	PARRA ALDO	12/11/17	221.49
00717749	40920	POST REBECCA	12/11/17	77.58
00717750	915166	RODRIGUEZ SONIA	12/11/17	72.23
00717751	470649	SANTINO HEATHER	12/11/17	41.20
00717752	632224	SCARANTINO JOSEF	12/11/17	46.01
00717753	357890	SCHAGER BRETT	12/11/17	193.14
00717759	90483	YEPEZ JAYMI	12/11/17	56.71

Fund Total**4,153.66**

Net Warrants by Fund Detail

43Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00004451	444790	ASCENT AVIATION GROUP INC	12/12/17	500.00
00717678	84430	AMERICAN FIRST AID & SAFETY	12/11/17	211.70
00717686	80257	CENTURYLINK	12/11/17	269.71
00717693	13410	EASTERN SLOPE RURAL TELEPHONE	12/11/17	77.01
00717709	80267	SWIMS DISPOSAL	12/11/17	298.75
Fund Total				1,357.17

Net Warrants by Fund Detail

44

Water and Wastewater Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717687	80257	CENTURYLINK	12/11/17	47.74
00717691	2381	COLO ANALYTICAL LABORATORY	12/11/17	112.00
Fund Total				159.74

Net Warrants by Fund Detail

94Sheriff Payables

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717773	95935	CLERK OF THE COUNTY COURT	12/13/17	4,160.00
00717774	92474	COLO DEPT OF HUMAN SERVICES	12/13/17	4,830.00
00717775	44915	COLO JUDICIAL DEPT	12/13/17	424.00
Fund Total				9,414.00

County of Adams
Net Warrants by Fund Detail

Grand Total 1,728,462.78

County of Adams
Vendor Payment Report

<u>9418</u>	<u>Administrative Cost Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ALMOST HOME INC	00034	914543	294724	12/12/17	2,348.50
	GROWING HOME INC	00034	914541	294724	12/12/17	7,966.06
	LUTHERAN FAMILY SERVICES	00034	914542	294724	12/12/17	1,032.17
	PROJECT ANGEL HEART	00034	914544	294724	12/12/17	8,449.00
					Account Total	19,795.73
					Department Total	19,795.73

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Materials & Supplies					
	AMERICAN FIRST AID & SAFETY	00043	914131	294286	12/06/17	211.70
					Account Total	211.70
	Telephone					
	CENTURYLINK	00043	913831	293954	11/30/17	49.24
					Account Total	49.24
	Water/Sewer/Sanitation					
	SWIMS DISPOSAL	00043	913838	293954	12/01/17	298.75
					Account Total	298.75
					Department Total	559.69

County of Adams
Vendor Payment Report

<u>4308</u>	<u>Airport ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	CENTURYLINK	00043	913831	293954	11/30/17	49.83
	CENTURYLINK	00043	913831	293954	11/30/17	120.61
					Account Total	<u>170.44</u>
					Department Total	<u><u>170.44</u></u>

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Avgas Truck					
	ASCENT AVIATION GROUP INC	00043	913946	294066	12/05/17	500.00
					Account Total	500.00
	Telephone					
	CENTURYLINK	00043	913831	293954	11/30/17	50.03
					Account Total	50.03
					Department Total	550.03

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	EASTERN SLOPE RURAL TELEPHONE	00043	913834	293954	12/01/17	77.01
					Account Total	77.01
					Department Total	77.01

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	DUKE STEPHANI	00035	914080	294263	11/30/17	<u>92.02</u>
					Account Total	<u>92.02</u>
					Department Total	<u><u>92.02</u></u>

County of Adams
Vendor Payment Report

<u>3161</u>	<u>Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	XCEL ENERGY	00004	914419	294641	12/11/17	750.00
					Account Total	750.00
					Department Total	750.00

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Temporary Labor					
	RANDSTAD US LP	00001	914580	294831	12/13/17	762.55
	RANDSTAD US LP	00001	914581	294831	12/13/17	488.51
					Account Total	<u>1,251.06</u>
					Department Total	<u><u>1,251.06</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	DENVER POST	00001	914316	294550	12/08/17	270.40
					Account Total	270.40
	Special Events					
	ADAMS COUNTY SCHOOL DIST 14	00001	914111	294276	12/06/17	1,500.00
	27J EDUCATION FOUNDATION	00001	914115	294279	12/06/17	500.00
					Account Total	2,000.00
					Department Total	2,270.40

County of Adams
Vendor Payment Report

<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PRESIDENT & FELLOWS OF HARVARD	00001	914579	294831	12/13/17	7,860.00
					Account Total	7,860.00
					Department Total	7,860.00

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	SAUNDERS CONSTRUCTION INC	00004	914549	294728	12/12/17	160,728.53
	SAUNDERS CONSTRUCTION INC	00004	914549	294728	12/12/17	251,499.95
					Account Total	<u>412,228.48</u>
					Department Total	<u><u>412,228.48</u></u>

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	CHRISTENSEN DAISY	00001	914344	294621	12/11/17	3,187.50
	LESLIE BRIAN	00001	914262	294523	12/08/17	6,168.75
					Account Total	9,356.25
					Department Total	9,356.25

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Subscrip/Publications					
	DENVER POST	00001	914276	294533	12/08/17	<u>439.75</u>
					Account Total	<u>439.75</u>
					Department Total	<u><u>439.75</u></u>

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	914275	294533	12/08/17	232.47
	SHRED IT USA LLC	00001	914274	294533	12/08/17	120.00
					Account Total	352.47
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	914268	294533	12/08/17	26.89
	ALSCO AMERICAN INDUSTRIAL	00001	914269	294533	12/08/17	18.41
	ALSCO AMERICAN INDUSTRIAL	00001	914270	294533	12/08/17	16.21
	ALSCO AMERICAN INDUSTRIAL	00001	914271	294533	12/08/17	26.89
	ALSCO AMERICAN INDUSTRIAL	00001	914272	294533	12/08/17	18.41
	ALSCO AMERICAN INDUSTRIAL	00001	914273	294533	12/08/17	16.21
					Account Total	123.02
	Security Service					
	ALLIED UNIVERSAL SECURITY SERV	00001	914266	294533	12/08/17	1,857.12
	ALLIED UNIVERSAL SECURITY SERV	00001	914267	294533	12/08/17	1,659.98
					Account Total	3,517.10
					Department Total	3,992.59

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914303	294549	12/08/17	351.17
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914303	294549	12/08/17	137.28
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914303	294549	12/08/17	99.64
					Account Total	588.09
					Department Total	588.09

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY ECONOMIC DEVELOP	00001	914259	294521	12/08/17	<u>131,516.00</u>
					Account Total	<u>131,516.00</u>
					Department Total	<u><u>131,516.00</u></u>

County of Adams
Vendor Payment Report

<u>99500</u>	<u>Employment First</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ARNEACH ANGELA	00035	914074	294263	11/30/17	52.43
	FLORES MICHAEL	00035	914082	294263	11/30/17	41.20
	HORNER ANDREW	00035	914085	294263	11/30/17	53.50
	SCARANTINO JOSEF	00035	914094	294263	11/30/17	46.01
	YEPEZ JAYMI	00035	914096	294263	11/30/17	56.71
					Account Total	249.85
					Department Total	249.85

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	A & E TIRE INC	00006	914328	294606	12/11/17	611.60
	A & E TIRE INC	00006	914329	294606	12/11/17	610.80
	A & E TIRE INC	00006	914331	294606	12/11/17	1,520.86
					Account Total	<u>2,743.26</u>
					Department Total	<u><u>2,743.26</u></u>

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Uniforms & Cleaning					
	VANDERBROEK SCOTT	00006	913949	294073	12/05/17	150.00
					Account Total	150.00
					Department Total	150.00

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DH PACE	00001	914434	294642	12/11/17	3,024.39
					Account Total	3,024.39
	Gas & Electricity					
	Energy Cap Bill ID=7936	00001	914602	294838	11/16/17	805.52
					Account Total	805.52
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7927	00001	914603	294838	12/01/17	74.54
					Account Total	74.54
					Department Total	3,904.45

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7925	00001	914600	294838	12/04/17	79.33
	Energy Cap Bill ID=7940	00001	914601	294838	12/01/17	787.30
					Account Total	<u>866.63</u>
					Department Total	<u><u>866.63</u></u>

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7939	00001	914592	294838	12/01/17	<u>3,439.26</u>
					Account Total	<u>3,439.26</u>
					Department Total	<u><u>3,439.26</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	C & R ELECTRICAL CONTRACTORS I	00001	914437	294642	12/11/17	847.18
					Account Total	847.18
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7942	00001	914612	294838	12/01/17	642.70
					Account Total	642.70
					Department Total	<u>1,489.88</u>

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7935	00050	914613	294838	11/21/17	<u>75.03</u>
					Account Total	<u>75.03</u>
					Department Total	<u><u>75.03</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	EON OFFICE PRODUCTS	00001	914427	294642	12/11/17	5.24
					Account Total	5.24
	Other Professional Serv					
	LEWIS HIMES ASSOCIATES INC	00001	914441	294642	12/11/17	637.50
					Account Total	637.50
					Department Total	642.74

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7941	00001	914595	294838	11/30/17	<u>1,421.41</u>
					Account Total	<u>1,421.41</u>
					Department Total	<u><u>1,421.41</u></u>

County of Adams
Vendor Payment Report

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7945	00001	914593	294838	12/04/17	<u>374.70</u>
					Account Total	<u>374.70</u>
					Department Total	<u><u>374.70</u></u>

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	C & R ELECTRICAL CONTRACTORS I	00001	914435	294642	12/11/17	594.00
	C & R ELECTRICAL CONTRACTORS I	00001	914436	294642	12/11/17	1,001.08
	SYSTEMS GROUP	00001	914423	294642	12/11/17	2,560.00
					Account Total	4,155.08
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7943	00001	914596	294838	12/01/17	2,788.86
					Account Total	2,788.86
					Department Total	6,943.94

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	C & R ELECTRICAL CONTRACTORS I	00001	914438	294642	12/11/17	1,436.50
	COMMERCIAL FLOORING SERVICES	00001	914422	294642	12/11/17	525.00
	SUNCONTROL FOR WINDOWS LLC	00001	914440	294642	12/11/17	495.00
	TRAUTMAN & SHREVE INC	00001	914425	294642	12/11/17	8,534.00
					Account Total	<u>10,990.50</u>
	Maintenance Contracts					
	THERMAL & MOISTURE PROTECTION	00001	914439	294642	12/11/17	3,700.00
					Account Total	<u>3,700.00</u>
					Department Total	<u><u>14,690.50</u></u>

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7928	00001	914597	294838	11/27/17	7,203.87
					Account Total	<u>7,203.87</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7937	00001	914598	294838	11/22/17	472.00
	Energy Cap Bill ID=7938	00001	914599	294838	11/22/17	719.86
					Account Total	<u>1,191.86</u>
					Department Total	<u><u>8,395.73</u></u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7946	00001	914594	294838	12/04/17	656.06
					Account Total	656.06
					Department Total	656.06

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00001	914442	294650	12/11/17	223.00
					Account Total	223.00
	Received not Vouchered Clrg					
	ALLIED UNIVERSAL SECURITY SERV	00001	913960	294106	12/05/17	15,737.76
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	ARMORED KNIGHTS INC	00001	914247	294432	12/07/17	332.44
	CELLEBRITE USA INC	00001	914069	294106	12/06/17	3,400.00
	COHEN MILSTEIN SELLERS & TOLL	00001	914253	294508	12/08/17	1,771.87
	HOLLAND AND HART LLP	00001	914265	294524	12/08/17	4,000.00
	INSIGHT PUBLIC SECTOR	00001	913965	294106	12/05/17	4,662.14
	JK CONCEPTS INC	00001	914070	294106	12/06/17	7,215.00
	LOPEZ MARCUS	00001	913961	294106	12/05/17	349.00
	LOPEZ MARCUS	00001	914317	294553	12/08/17	346.00
	MCDONALD YONG HUI V	00001	914071	294106	12/06/17	2,801.75
	MCDONALD YONG HUI V	00001	914071	294106	12/06/17	2,452.75
	MURPHY RICK	00001	914072	294106	12/06/17	4,332.41
	MURPHY RICK	00001	914072	294106	12/06/17	1,423.28
	OFFICE SCAPES	00001	914240	294432	12/07/17	25,549.80
	PEARL COUNSELING ASSOCIATES	00001	913962	294106	12/05/17	6,500.00
	PEARL COUNSELING ASSOCIATES	00001	913963	294106	12/05/17	2,842.23
	PTS OF AMERICA LLC	00001	914318	294553	12/08/17	763.00
	PTS OF AMERICA LLC	00001	914319	294553	12/08/17	845.00
	ROCKY MTN MICROFILM & IMAGING	00001	914320	294553	12/08/17	4,500.00
	STATE OF COLORADO	00001	914245	294432	12/07/17	9,349.43
	STATE OF COLORADO	00001	914245	294432	12/07/17	297.04
	STATE OF COLORADO	00001	914246	294432	12/07/17	542.50
	STATE OF COLORADO	00001	914246	294432	12/07/17	32.76
	SUMMIT FOOD SERVICE LLC	00001	913964	294106	12/05/17	3,794.16
	SUMMIT FOOD SERVICE LLC	00001	913964	294106	12/05/17	1,696.92
	TRI COUNTY HEALTH DEPT	00001	914330	294606	12/11/17	284,056.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	U S POSTMASTER	00001	914469	294706	12/12/17	25,581.54
					Account Total	416,836.98
					Department Total	417,059.98

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	BUCKEYE WELDING SUPPLY CO INC	00005	914524	294717	12/12/17	26.00
					Account Total	26.00
	Fuel, Gas & Oil					
	AGFINITY INC	00005	914520	294717	12/12/17	620.96
	AGFINITY INC	00005	914521	294717	12/12/17	937.41
	L L JOHNSON DIST	00005	914528	294717	12/12/17	192.96
					Account Total	1,751.33
	Gas & Electricity					
	XCEL ENERGY	00005	914532	294717	12/12/17	472.27
					Account Total	472.27
	Grounds Maintenance					
	ROCKY MTN PUP & CONTROLS LLC	00005	914530	294717	12/12/17	8,688.25
	TORO NSN	00005	914531	294717	12/12/17	229.00
					Account Total	8,917.25
	Minor Equipment					
	L L JOHNSON DIST	00005	914529	294717	12/12/17	1,462.11
					Account Total	1,462.11
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	914522	294717	12/12/17	43.56
	ALSCO AMERICAN INDUSTRIAL	00005	914523	294717	12/12/17	43.56
					Account Total	87.12
	Vehicle Parts & Supplies					
	C&M AIR COOLED ENGINE INC	00005	914525	294717	12/12/17	646.26
	GRAINGER	00005	914526	294717	12/12/17	132.57
	L L JOHNSON DIST	00005	914527	294717	12/12/17	191.70
					Account Total	970.53
					Department Total	13,686.61

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00005	914532	294717	12/12/17	<u>528.33</u>
					Account Total	<u>528.33</u>
					Department Total	<u><u>528.33</u></u>

County of Adams
Vendor Payment Report

<u>98600</u>	<u>Governor's Summer Job Hunt</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	CLARK RYNE	00035	914078	294263	11/30/17	10.17
	HUTCHINS ATHENAS	00035	914086	294263	11/30/17	13.91
	SCHAGER BRETT	00035	914095	294263	11/30/17	24.61
					Account Total	48.69
					Department Total	48.69

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CARNATION BUILDING SERVICES IN	00031	914235	294432	12/07/17	1,988.00
	CARNATION BUILDING SERVICES IN	00031	914235	294432	12/07/17	139.80
	DENVER CHILDREN'S ADVOCACY CTR	00031	914233	294432	12/07/17	18,524.80
	DENVER CHILDREN'S ADVOCACY CTR	00031	914234	294432	12/07/17	19,957.58
	HEWLETT PACKARD COMPANY	00031	914244	294432	12/07/17	2,893.11
	HEWLETT PACKARD COMPANY	00031	914241	294432	12/07/17	6,321.00
	HEWLETT PACKARD COMPANY	00031	914242	294432	12/07/17	3,418.40
	HEWLETT PACKARD COMPANY	00031	914243	294432	12/07/17	42.00
	SYSCO DENVER	00031	914236	294432	12/07/17	617.77
	SYSCO DENVER	00031	914236	294432	12/07/17	4,440.25
	SYSCO DENVER	00031	914237	294432	12/07/17	474.66
	SYSCO DENVER	00031	914238	294432	12/07/17	30.95
					Account Total	58,848.32
					Department Total	58,848.32

County of Adams
Vendor Payment Report

<u>1015</u>	<u>Human Resources- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Insurance Premiums					
	KAISER PERMANENTE	00001	914450	294654	12/11/17	9,100.00
	ROCKY MTN HEALTH PLAN	00001	914446	294654	12/11/17	850.00
	SECURE HORIZONS	00001	914448	294654	12/11/17	1,500.00
	UNITED HEALTHCARE	00001	914567	294654	12/13/17	6,450.00
					Account Total	<u>17,900.00</u>
					Department Total	<u><u>17,900.00</u></u>

County of Adams
Vendor Payment Report

<u>1079</u>	<u>Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	EON OFFICE PRODUCTS	00001	914429	294642	12/11/17	63.36
	EON OFFICE PRODUCTS	00001	914430	294642	12/11/17	282.24
	EON OFFICE PRODUCTS	00001	914432	294642	12/11/17	324.00
					Account Total	<u>669.60</u>
					Department Total	<u><u>669.60</u></u>

County of Adams
Vendor Payment Report

<u>961016</u>	<u>HOME</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	REED RICHARD	00030	914582	294831	12/13/17	<u>12.44</u>
					Account Total	<u>12.44</u>
					Department Total	<u><u>12.44</u></u>

County of Adams
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	914458	294654	12/11/17	50.43
					Account Total	50.43
	Insurance Premiums					
	UNITED HEALTHCARE	00019	914458	294654	12/11/17	79.75
					Account Total	79.75
					Department Total	130.18

County of Adams
Vendor Payment Report

<u>8612</u>	<u>Insurance - UHC POS Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	914458	294654	12/11/17	50.43
					Account Total	50.43
	Insurance Premiums					
	UNITED HEALTHCARE	00019	914458	294654	12/11/17	79.75
					Account Total	79.75
					Department Total	130.18

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Retiree Med - Kaiser KAISER PERMANENTE	00019	914449	294654	12/11/17	78,250.22
					Account Total	78,250.22
	Retiree Med - Pacificare SECURE HORIZONS	00019	914447	294654	12/11/17	15,845.23
					Account Total	15,845.23
	Retiree Med - RMHP Metro Area ROCKY MTN HEALTH PLAN	00019	914445	294654	12/11/17	4,787.30
					Account Total	4,787.30
					Department Total	98,882.75

County of Adams
Vendor Payment Report

<u>8614</u>	<u>Insurance- Delta Dental</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	DELTA DENTAL PLAN OF COLO	00019	914453	294654	12/11/17	62.90
					Account Total	62.90
	Ins Premium Dental-Delta					
	DELTA DENTAL PLAN OF COLO	00019	914452	294654	12/11/17	27.71
	DELTA DENTAL PLAN OF COLO	00019	914456	294654	12/11/17	11,136.48
					Account Total	11,164.19
					Department Total	<u>11,227.09</u>

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	MANSOOR SHAH S	00019	914583	294831	12/13/17	2,900.37
	REGO MARIA	00019	914568	294811	12/13/17	3,010.00
					Account Total	<u>5,910.37</u>
					Department Total	<u><u>5,910.37</u></u>

County of Adams
Vendor Payment Report

<u>8615</u>	<u>Insurance- UHC Retiree Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	1,664.19
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	353.01
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	50.43
					Account Total	2,067.63
	AARP RX					
	UNITED HEALTHCARE	00019	914565	294654	12/13/17	12,242.70
					Account Total	12,242.70
	Insurance Premiums					
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	2,631.75
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	558.25
	UNITED HEALTHCARE	00019	914444	294654	12/11/17	79.75
					Account Total	3,269.75
	UHC_MED					
	UNITED HEALTHCARE	00019	914566	294654	12/13/17	26,904.90
					Account Total	26,904.90
					Department Total	44,484.98

County of Adams
Vendor Payment Report

<u>8623</u>	<u>Insurance- Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	VISION SERVICE PLAN-CONNECTICU	00019	914454	294654	12/11/17	2.54
					Account Total	2.54
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	914248	294435	12/07/17	10,247.44
					Account Total	10,247.44
					Department Total	<u>10,249.98</u>

County of Adams
Vendor Payment Report

<u>8617</u>	<u>Insurance- Workers Comp</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Workers Compensation					
	TRISTAR RISK MANAGEMENT	00019	914550	294730	12/12/17	68,328.40
					Account Total	<u>68,328.40</u>
					Department Total	<u><u>68,328.40</u></u>

County of Adams
Vendor Payment Report

<u>97813</u>	<u>MSFW Housing Inspection</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PARRA ALDO	00035	914090	294263	11/30/17	<u>98.44</u>
					Account Total	<u>98.44</u>
					Department Total	<u><u>98.44</u></u>

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	HYLAND HILLS PARKS & REC DISTR	00028	914255	294511	12/08/17	5,000.00
	STRASBURG METRO PARKS & REC	00028	914169	294388	12/07/17	76,883.81
	WESTMINSTER CITY OF	00028	914185	294410	12/07/17	258,758.10
					Account Total	<u>340,641.91</u>
					Department Total	<u><u>340,641.91</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7929	00001	914604	294838	11/20/17	40.33
	Energy Cap Bill ID=7930	00001	914605	294838	11/20/17	526.19
	Energy Cap Bill ID=7931	00001	914606	294838	11/20/17	379.90
	Energy Cap Bill ID=7932	00001	914607	294838	11/20/17	253.91
	Energy Cap Bill ID=7933	00001	914608	294838	11/20/17	228.81
	Energy Cap Bill ID=7934	00001	914609	294838	11/20/17	317.43
	Energy Cap Bill ID=7944	00001	914610	294838	12/01/17	1,200.50
	Energy Cap Bill ID=7947	00001	914611	294838	11/28/17	576.20
					Account Total	3,523.27
					Department Total	3,523.27

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDOWELL SHANNON	00001	914256	294511	12/08/17	526.65
					Account Total	526.65
	Special Assessment Payments					
	BRANTNER DITCH CO	00001	914181	294410	12/07/17	6,140.00
					Account Total	6,140.00
					Department Total	6,666.65

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Queen Pageant Expense					
	SIR SPEEDY	00001	914464	294701	12/12/17	236.00
					Account Total	236.00
	Regional Park Rentals					
	CASTELLANO SANDRA	00001	914182	294410	12/07/17	1,000.00
	GUERRERO CARDENAS GABINO	00001	914183	294410	12/07/17	650.00
	HORIZON HIGH SCHOOL	00001	914184	294410	12/07/17	400.00
					Account Total	2,050.00
	Security Service					
	CODE 4 SECURITY SERVICES LLC	00001	914461	294701	12/12/17	2,028.00
					Account Total	2,028.00
					Department Total	<u>4,314.00</u>

County of Adams
Vendor Payment Report

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	CINTAS FIRST AID & SAFETY	00001	914460	294701	12/12/17	67.56
					Account Total	67.56
	Water/Sewer/Sanitation					
	CULLIGAN	00001	914462	294701	12/12/17	273.00
					Account Total	273.00
					Department Total	340.56

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	914170	294388	12/07/17	176.48
					Account Total	176.48
	Operating Supplies					
	CINTAS FIRST AID & SAFETY	00001	914166	294388	12/07/17	222.65
	G & K SERVICES	00001	914167	294388	12/07/17	199.42
	G & K SERVICES	00001	914168	294388	12/07/17	199.42
					Account Total	621.49
					Department Total	797.97

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	914186	294410	12/07/17	140.80
	XCEL ENERGY	00001	914465	294701	12/12/17	56.09
	XCEL ENERGY	00001	914466	294701	12/12/17	233.94
	XCEL ENERGY	00001	914467	294701	12/12/17	10.72
	XCEL ENERGY	00001	914468	294701	12/12/17	267.14
					Account Total	708.69
	Other Repair & Maint					
	VERMEER SALE AND SERVICE OF CO	00001	914257	294511	12/08/17	520.72
					Account Total	520.72
	Repair & Maint Supplies					
	HOLGUIN BERT	00001	914463	294701	12/12/17	223.00
					Account Total	223.00
					Department Total	1,452.41

County of Adams
Vendor Payment Report

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	VISION SERVICE PLAN-CONNECTICU	00019	914459	294654	12/11/17	<u>354.33</u>
					Account Total	<u>354.33</u>
	Self-Insurance Claims					
	VISION SERVICE PLAN-CONNECTICU	00019	914249	294435	12/07/17	<u>1,385.99</u>
					Account Total	<u>1,385.99</u>
					Department Total	<u><u>1,740.32</u></u>

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	GMCO CORPORATION	00013	914333	294606	12/11/17	5,110.00
	GMCO CORPORATION	00013	914334	294606	12/11/17	7,665.00
	GMCO CORPORATION	00013	914335	294606	12/11/17	5,110.00
	GMCO CORPORATION	00013	914336	294606	12/11/17	5,110.00
					Account Total	22,995.00
					Department Total	22,995.00

County of Adams
Vendor Payment Report

<u>94</u>	<u>Sheriff Payables</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Brain Trust					
	COLO DEPT OF HUMAN SERVICES	00094	914451	294655	12/11/17	4,830.00
					Account Total	4,830.00
	Family Friendly Fee					
	COLO JUDICIAL DEPT	00094	914455	294655	12/11/17	424.00
					Account Total	424.00
	State Surcharge					
	CLERK OF THE COUNTY COURT	00094	914457	294655	12/11/17	4,160.00
					Account Total	4,160.00
					Department Total	<u>9,414.00</u>

County of Adams
Vendor Payment Report

<u>2014</u>	<u>Sheriff-Professional Standards</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	<u>266.99</u>
					Account Total	<u>266.99</u>
					Department Total	<u><u>266.99</u></u>

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	914116	294278	12/06/17	<u>105.34</u>
					Account Total	<u>105.34</u>
					Department Total	<u><u>105.34</u></u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	914321	294554	12/08/17	162.97
	ARAMARK REFRESHMENT SERVICES	00001	914322	294554	12/08/17	714.42
	DS WATERS OF AMERICA INC	00001	914118	294278	12/06/17	108.57
					Account Total	<u>985.96</u>
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	492.69
					Account Total	<u>492.69</u>
	Public Relations					
	iPROMOTEu.COM	00001	914122	294278	12/06/17	408.03
					Account Total	<u>408.03</u>
					Department Total	<u><u>1,886.68</u></u>

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	199.88
					Account Total	199.88
	Sheriff's Fees					
	BC SERVICES INC	00001	914278	294535	12/08/17	19.00
	BC SERVICES INC	00001	914279	294535	12/08/17	19.00
	BC SERVICES INC	00001	914280	294535	12/08/17	19.00
	BC SERVICES INC	00001	914281	294535	12/08/17	19.00
	BC SERVICES INC	00001	914282	294535	12/08/17	19.00
	BOVE LAW OFFICES	00001	914283	294535	12/08/17	145.00
	BRUMBAUGH & QUANDAHL	00001	914284	294535	12/08/17	19.00
	FIAALII DENNY NEKO	00001	914304	294535	12/08/17	19.00
	GREENLAW INTERNATIONAL LLC	00001	914305	294535	12/08/17	66.00
	HENRY THOMAS E	00001	914314	294535	12/08/17	26.00
	HOFFERBERTH BRADFORD	00001	914286	294535	12/08/17	19.00
	HUERTA SEPTIMA	00001	914306	294535	12/08/17	19.00
	IDOSSA TESHOME W	00001	914307	294535	12/08/17	19.00
	INGALLS TROY D	00001	914308	294535	12/08/17	66.00
	JAMES C HILL REAL ESTATE	00001	914285	294535	12/08/17	142.00
	KLASS PHILIP	00001	914287	294535	12/08/17	66.00
	LEACHMAN, MARK A	00001	914288	294535	12/08/17	19.00
	LEACHMAN, MARK A	00001	914289	294535	12/08/17	19.00
	MACHOL & JOHANNES, LLC	00001	914290	294535	12/08/17	19.00
	MARTINEZ ADRIANNA	00001	914309	294535	12/08/17	19.00
	MARTINEZ BRANDALYN	00001	914310	294535	12/08/17	19.00
	MOORE LAW GROUP APC	00001	914298	294535	12/08/17	19.00
	PEREZ ARELY DURAN	00001	914311	294535	12/08/17	19.00
	PHS RENT LLC	00001	914291	294535	12/08/17	66.00
	PROFESSIONAL FINANCE CO	00001	914292	294535	12/08/17	19.00
	ROBINSON AND HENRY	00001	914293	294535	12/08/17	66.00
	SCOTTSLUFF COUNTY ATTORNEY	00001	914294	294535	12/08/17	19.00
	SOTELO CHAVEZ REYNALDO	00001	914312	294535	12/08/17	19.00
	SOUTH DAKOTA ATTORNEY GENERAL	00001	914295	294535	12/08/17	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	914296	294535	12/08/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	914297	294535	12/08/17	66.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	STATE OF KANSAS	00001	914313	294535	12/08/17	19.00
	TSCHETTER HAMRICK SULZER	00001	914299	294535	12/08/17	3,036.00
	VAN HORN FAMILY LAW	00001	914315	294535	12/08/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	914300	294535	12/08/17	19.00
	WESTCHESTER APARTMENTS LLLP	00001	914301	294535	12/08/17	66.00
	WYN T TAYLOR	00001	914302	294535	12/08/17	19.00
					Account Total	4,352.00
					Department Total	4,551.88

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	CENTURY LINK	00001	914112	294278	12/06/17	<u>205.39</u>
					Account Total	<u>205.39</u>
					Department Total	<u><u>205.39</u></u>

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	914324	294554	12/08/17	444.85
					Account Total	444.85
	Other Communications					
	VERIZON WIRELESS	00001	914136	294278	12/06/17	1,279.90
					Account Total	1,279.90
	Other Professional Serv					
	SHRED IT USA LLC	00001	914124	294278	12/06/17	40.00
	SHRED IT USA LLC	00001	914126	294278	12/06/17	30.00
					Account Total	70.00
					Department Total	1,794.75

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DERBY INDUSTRIES	00001	914114	294278	12/06/17	2,399.25
	DS WATERS OF AMERICA INC	00001	914117	294278	12/06/17	39.84
	DS WATERS OF AMERICA INC	00001	914119	294278	12/06/17	23.34
	DS WATERS OF AMERICA INC	00001	914120	294278	12/06/17	618.56
	SHRED IT USA LLC	00001	914128	294278	12/06/17	60.00
	SHRED IT USA LLC	00001	914132	294278	12/06/17	109.50
					Account Total	3,250.49
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	291.94
					Account Total	291.94
	Other Repair & Maint					
	CNC TECHNICAL SERVICES LLC	00001	914113	294278	12/06/17	162.50
					Account Total	162.50
					Department Total	3,704.93

County of Adams
Vendor Payment Report

<u>2072</u>	<u>SHF- Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	<u>29.35</u>
					Account Total	<u>29.35</u>
					Department Total	<u><u>29.35</u></u>

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	<u>62.54</u>
					Account Total	<u>62.54</u>
					Department Total	<u><u>62.54</u></u>

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SIGMAN RONALD	00001	914133	294278	12/06/17	271.57
					Account Total	271.57
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	809.96
					Account Total	809.96
	Other Professional Serv					
	SHRED IT USA LLC	00001	914124	294278	12/06/17	40.00
	SHRED IT USA LLC	00001	914126	294278	12/06/17	30.00
					Account Total	70.00
	Postage & Freight					
	FEDEX	00001	914121	294278	12/06/17	47.22
					Account Total	47.22
					Department Total	1,198.75

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	914323	294554	12/08/17	74.10
	FIRST CHOICE COFFEE SERVICES	00001	914325	294554	12/08/17	144.10
	SHRED IT USA LLC	00001	914326	294554	12/08/17	82.50
					Account Total	300.70
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	40.01
					Account Total	40.01
	Other Professional Serv					
	iPROMOTEu.COM	00001	914122	294278	12/06/17	136.00
					Account Total	136.00
					Department Total	476.71

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	VONFELDT SKYLAR	00001	914159	294278	12/06/17	73.11
					Account Total	73.11
	Other Communications					
	VERIZON WIRELESS	00001	914327	294554	12/08/17	152.51
					Account Total	152.51
					Department Total	225.62

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BANKS RACHEL	00035	914075	294263	11/30/17	38.52
	CASTILLO YVONNE	00035	914076	294263	11/30/17	32.10
	DABIT SANA	00035	914079	294263	11/30/17	27.82
	JOHNSON LORRAINE	00035	914087	294263	11/30/17	21.40
	MCBOAT GREG	00035	914088	294263	11/30/17	19.80
	PARRA ALDO	00035	914090	294263	11/30/17	41.73
	RODRIGUEZ SONIA	00035	914092	294263	11/30/17	43.34
	SCHAGER BRETT	00035	914095	294263	11/30/17	14.98
					Account Total	239.69
					Department Total	239.69

County of Adams
Vendor Payment Report

<u>97803</u>	<u>Wagner-Peyser Migrant Seasonal</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PARRA ALDO	00035	914090	294263	11/30/17	81.32
	RODRIGUEZ SONIA	00035	914092	294263	11/30/17	28.89
					Account Total	110.21
					Department Total	110.21

County of Adams
Vendor Payment Report

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	913899	293954	12/04/17	112.00
					Account Total	112.00
	Telephone					
	CENTURYLINK	00044	913833	293954	11/30/17	47.74
					Account Total	47.74
					Department Total	159.74

County of Adams
Vendor Payment Report

<u>99600</u>	<u>WBC Admin Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	NOBLE PHILLIPP	00035	914089	294263	11/30/17	53.50
					Account Total	53.50
	Travel & Transportation					
	NOBLE PHILLIPP	00035	914089	294263	11/30/17	1.00
	NOBLE PHILLIPP	00035	914089	294263	11/30/17	2.95
					Account Total	3.95
					Department Total	57.45

County of Adams
Vendor Payment Report

<u>98710</u>	<u>WBT 25% DW Bus Svc</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GONZALEZ JEANETTE	00035	914084	294263	11/30/17	<u>10.17</u>
					Account Total	<u>10.17</u>
					Department Total	<u><u>10.17</u></u>

County of Adams
Vendor Payment Report

<u>99806</u>	<u>WIOA & Wag/Pey Shared Prog Cst</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GLASSER NOELLE	00035	914083	294263	11/30/17	110.21
	POST REBECCA	00035	914091	294263	11/30/17	77.58
					Account Total	<u>187.79</u>
					Department Total	<u><u>187.79</u></u>

County of Adams
Vendor Payment Report

<u>99802</u>	<u>WIOAAD & DLW Shared Pgm Costs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SANTINO HEATHER	00035	914093	294263	11/30/17	<u>41.20</u>
					Account Total	<u>41.20</u>
					Department Total	<u><u>41.20</u></u>

County of Adams
Vendor Payment Report

<u>97200</u>	<u>WIOA ADULT PROGRAM</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Tuition					
	RED ROCKS COMMUNITY COLLEGE	00035	913998	294141	12/06/17	2,510.39
					Account Total	<u>2,510.39</u>
	Mileage Reimbursements					
	CHAVEZ BELIA P	00035	914077	294263	11/30/17	12.31
					Account Total	<u>12.31</u>
					Department Total	<u><u>2,522.70</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	914073	294263	11/30/17	20.87
	CLARK RYNE	00035	914078	294263	11/30/17	10.70
	ELLIS CHARLES	00035	914081	294263	11/30/17	95.23
	HUTCHINS ATHENAS	00035	914086	294263	11/30/17	10.17
	SCHAGER BRETT	00035	914095	294263	11/30/17	49.22
	SCHAGER BRETT	00035	914095	294263	11/30/17	23.54
					Account Total	209.73
	Supp Svcs-Incentives					
	CARDONA ANTONIO	00035	914591	294834	12/13/17	50.00
	GARIBAY CERVANTES MONIQUE	00035	913995	294141	12/06/17	50.00
	OSTBERG ALISHIA	00035	913997	294141	12/06/17	40.00
					Account Total	140.00
					Department Total	349.73

County of Adams
Vendor Payment Report

<u>97400</u>	<u>WIOA YOUTH YOUNGER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	914073	294263	11/30/17	4.82
	ELLIS CHARLES	00035	914081	294263	11/30/17	16.59
	HUTCHINS ATHENAS	00035	914086	294263	11/30/17	10.70
					Account Total	32.11
	Supp Svcs-Uniforms/Tools					
	JOSTENS ROCKY MTN RECOGNITION	00035	913996	294141	12/06/17	32.00
					Account Total	32.00
					Department Total	64.11

County of Adams
Vendor Payment Report

<u>99807</u>	<u>Youth Shared Prgrm Direct Cost</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	914073	294263	11/30/17	21.93
	HUTCHINS ATHENAS	00035	914086	294263	11/30/17	28.89
	SCHAGER BRETT	00035	914095	294263	11/30/17	80.79
					Account Total	<u>131.61</u>
					Department Total	<u><u>131.61</u></u>

County of Adams
Vendor Payment Report

Grand Total 1,796,006.74

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	2,099,000.84
4	Capital Facilities Fund	135,075.90
5	Golf Course Enterprise Fund	25,920.50
6	Equipment Service Fund	131,309.60
7	Stormwater Utility Fund	2,972.04
13	Road & Bridge Fund	280,472.00
19	Insurance Fund	92,498.13
25	Waste Management Fund	40,016.53
27	Open Space Projects Fund	163.89
30	Community Dev Block Grant Fund	63.74
31	Head Start Fund	61,965.15
35	Workforce & Business Center	175.76
43	Front Range Airport	15,639.07
44	Water and Wastewater Fund	15.00
94	Sheriff Payables	12,025.50
		<u>2,897,313.65</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717898	13040	ADCO DISTRICT ATTORNEY	12/14/17	452.26
00717899	433987	ADCO DISTRICT ATTORNEY'S OFFIC	12/14/17	351.55
00717900	315759	AXIS ELECTRICAL SERVICES LLC	12/14/17	5,900.00
00717914	40977	DANIELS LONG CHEVROLET	12/14/17	20,646.00
00717915	3454	DEPT OF FINANCE	12/14/17	18.00
00717917	128693	DREXEL BARRELL & CO	12/14/17	1,185.00
00717922	485045	KORBY LANDSCAPE LLC	12/14/17	7,336.00
00717923	40395	KUMAR & ASSOCIATES INC	12/14/17	2,668.55
00717930	176327	PITNEY BOWES	12/14/17	650.91
00717931	632999	PREFERRED ACQUISITION COMPANY	12/14/17	33,100.00
00717932	163837	PTS OF AMERICA LLC	12/14/17	652.00
00717934	145355	SANITY SOLUTIONS INC	12/14/17	1,800.00
00717935	227044	SOUTHWESTERN PAINTING	12/14/17	12,166.00
00717936	281167	SPECTRA CONTRACT FLOORING SERV	12/14/17	530.00
00717938	599714	SUMMIT FOOD SERVICE LLC	12/14/17	35,925.10
00717939	41127	THYSSENKRUPP ELEVATOR CORP	12/14/17	6,514.25
00717940	38221	TRANE US INC	12/14/17	9,349.00
00717941	300982	UNITED SITE SERVICES	12/14/17	4,785.00
00717948	374061	BUTLER SNOW LLP	12/19/17	408.00
00717952	40398	CINTAS CORPORATION #66	12/19/17	138.03
00717954	48089	COMCAST BUSINESS	12/19/17	1,700.00
00717955	40374	COSTAR REALTY INFORMATION INC	12/19/17	2,808.39
00717956	519505	DENOVO VENTURES LLC	12/19/17	185.00
00717957	564091	DENTONS US LLP	12/19/17	11,651.06
00717958	128693	DREXEL BARRELL & CO	12/19/17	288.00
00717959	473351	GOLDMAN ROBBINS NICHOLSON & MA	12/19/17	6,973.16
00717960	34197	GOURD THADDEUS	12/19/17	224.70
00717961	331719	HARRIS SYSTEMS USA INC	12/19/17	49,805.83
00717963	79260	IDEXX DISTRIBUTION INC	12/19/17	792.11
00717965	13591	MWI VETERINARY SUPPLY CO	12/19/17	5,739.14
00717967	45515	OFFICE SCAPES	12/19/17	44,872.80
00717968	629199	ORTIZ, EMILIANO SANTIAGO	12/19/17	12.95
00717969	12383	PEPPERDINE'S MARKING PRODUCTS	12/19/17	24.75
00717970	584601	PIONEER TECHNOLOGY GROUP LLC	12/19/17	36,125.00
00717971	422902	ROADRUNNER PHARMACY INCORPORAT	12/19/17	190.24
00717972	145355	SANITY SOLUTIONS INC	12/19/17	12,827.60

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717973	42818	STATE OF COLORADO	12/19/17	4,910.26
00717974	42818	STATE OF COLORADO	12/19/17	1,616.37
00717975	42818	STATE OF COLORADO	12/19/17	8,800.35
00717976	42818	STATE OF COLORADO	12/19/17	33,017.54
00717977	42818	STATE OF COLORADO	12/19/17	268.04
00717978	42818	STATE OF COLORADO	12/19/17	550.10
00717979	593782	TISCHLERBISE INC	12/19/17	22,036.00
00717980	628772	TUCKER JENNIFER	12/19/17	1,334.30
00717981	26676	URISA	12/19/17	1,625.00
00717982	338508	WRIGHTWAY INDUSTRIES INC	12/19/17	286.10
00717985	91631	ADAMSON POLICE PRODUCTS	12/19/17	5,750.00
00717987	383698	ALLIED UNIVERSAL SECURITY SERV	12/19/17	5,130.03
00717988	12012	ALSCO AMERICAN INDUSTRIAL	12/19/17	61.51
00717989	31359	ARAPAHOE COUNTY SHERIFF CIVIL	12/19/17	37.00
00717990	429551	BISCUITS AND BERRIES CATERING	12/19/17	654.75
00717991	624135	BOWMAN LORI	12/19/17	42.80
00717992	5050	COLO DIST ATTORNEY COUNCIL	12/19/17	1,280.00
00717994	75534	COMMERCE CITY POLICE DEPT	12/19/17	40.00
00717995	13049	COMMUNITY REACH CENTER	12/19/17	40,993.00
00717996	573438	CONVERSKETCH LLC	12/19/17	1,212.00
00717997	33560	CRAWFORD VICTORIA	12/19/17	40.13
00717998	248103	DS WATERS OF AMERICA INC	12/19/17	260.59
00717999	13891	DSD CIVIL DENVER COUNTY SHERIF	12/19/17	24.95
00718000	23893	ERGONOMIC SOLUTIONS LLC	12/19/17	2,725.00
00718001	24524	E470 PUBLIC HIGHWAY AUTHORITY	12/19/17	193.40
00718002	24524	E470 PUBLIC HIGHWAY AUTHORITY	12/19/17	25.00
00718003	323337	HIGH PLAINS REPORTING & TRANSC	12/19/17	84.00
00718005	42876	LEXISNEXIS RISK SOLUTIONS	12/19/17	100.79
00718006	28667	LOCH FANCY	12/19/17	53.50
00718007	448340	MILINAZZO WENDI K	12/19/17	23.54
00718008	6513	MORPHOTRAK LLC	12/19/17	17,000.00
00718009	176327	PITNEY BOWES	12/19/17	1,152.54
00718010	263724	RED HAWK FIRE & SECURITY	12/19/17	113.95
00718011	14246	RIVERDALE GOLF COURSE	12/19/17	9,236.00
00718012	76397	ROWLAND CLAUDIA	12/19/17	90.64
00718013	661920	SHAW PAMELA	12/19/17	22.21

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718014	599714	SUMMIT FOOD SERVICE LLC	12/19/17	147.32
00718015	37005	TOSHIBA BUSINESS SOLUTIONS	12/19/17	1,958.04
00718016	20730	UNITED STATES POSTAL SERVICE	12/19/17	110.06
00718017	663396	VLADIMIROVNA IVANOVA VERA	12/19/17	10.00
00718018	7117	WORLD CONNECTIONS TRAVEL	12/19/17	2,146.00
00718019	25603	A-1 CHI SEAL CO	12/19/17	4,975.00
00718020	72554	AAA PEST PROS	12/19/17	2,265.00
00718021	91631	ADAMSON POLICE PRODUCTS	12/19/17	14,563.40
00718022	14661	AMERIGAS DENVER 1012	12/19/17	1,032.11
00718023	612089	COMMERCIAL CLEANING SYSTEMS	12/19/17	4,355.35
00718024	255001	COPYCO QUALITY PRINTING INC	12/19/17	1,233.25
00718025	13409	EASTERN DISPOSE ALL	12/19/17	163.50
00718026	510586	EGAN PRINTING CO	12/19/17	714.75
00718027	454466	ENVIRO-VAC INC	12/19/17	3,650.00
00718028	12689	GALLS LLC	12/19/17	1,244.35
00718029	444150	HIRED GUNWEED & PEST CONTROL	12/19/17	4,730.40
00718030	59100	HYDRO RESOURCES	12/19/17	2,295.25
00718031	133896	PENNQUICK SPECIALTIES	12/19/17	735.00
00718032	16237	SAM HILL OIL INC	12/19/17	4,428.77
00718033	227044	SOUTHWESTERN PAINTING	12/19/17	878.00
00718034	293662	SUMMIT LABORATORIES INC	12/19/17	480.00
00718035	1007	UNITED POWER (UNION REA)	12/20/17	750.00
00718036	502682	i3LOGIX INC	12/20/17	15,406.92
00718037	433987	ADCO DISTRICT ATTORNEY'S OFFIC	12/20/17	567.73
00718039	657018	AMBIUS	12/20/17	6,269.41
00718042	293119	BUZEK, VINCE	12/20/17	65.00
00718045	40398	CINTAS CORPORATION #66	12/20/17	138.03
00718049	181668	DOMINION VOTING SYSTEMS INC	12/20/17	3,239.26
00718051	36884	EMBRY SANDRA	12/20/17	75.00
00718052	665977	FRANK MEREDITH ANN	12/20/17	1,022.25
00718053	196830	FRIEDENSON DAVID	12/20/17	224.73
00718054	293118	GARNER, ROSIE	12/20/17	65.00
00718055	626700	GLADER JONATHAN D	12/20/17	44.40
00718056	42918	GRAINGER	12/20/17	150.00
00718057	331719	HARRIS SYSTEMS USA INC	12/20/17	62,950.00
00718058	14991	HELTON & WILLIAMSEN PC	12/20/17	377.50

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718059	293122	HERRERA, AARON	12/20/17	65.00
00718061	298306	HUPFER DETOR LEVON	12/20/17	27.29
00718063	644111	JALIL, FARID A	12/20/17	65.00
00718064	40395	KUMAR & ASSOCIATES INC	12/20/17	2,371.85
00718065	38974	MINUTEMAN PRESS-BRIGHTON	12/20/17	345.69
00718066	637835	MONTOYA FEDERICO V	12/20/17	65.00
00718067	619985	MORENO DENNIS	12/20/17	12,035.71
00718068	13591	MWI VETERINARY SUPPLY CO	12/20/17	386.46
00718070	429656	OPEX CORPORATION	12/20/17	2,525.00
00718071	664027	RDG PLANNING AND DESIGN	12/20/17	15,000.00
00718072	53054	RICHARDSON SHARON	12/20/17	65.00
00718073	181669	RUNBECK ELECTION SERVICES	12/20/17	3,166.05
00718074	26297	SENIORS RESOURCE CENTER INC	12/20/17	93,757.26
00718075	433983	SHEETZ ROBERT J	12/20/17	151.24
00718076	227044	SOUTHWESTERN PAINTING	12/20/17	39,283.00
00718077	281167	SPECTRA CONTRACT FLOORING SERV	12/20/17	4,365.00
00718079	385142	THOMPSON GREGORY PAUL	12/20/17	65.00
00718080	38221	TRANE US INC	12/20/17	4,223.00
00718081	178245	UMB BANK NA	12/20/17	2,500.00
00718083	319336	DENVER INDIAN FAMILY RESOURCE	12/20/17	29,240.00
00718084	248103	DS WATERS OF AMERICA INC	12/20/17	22.10
00718085	12689	GALLS LLC	12/20/17	1,038.03
00718086	39496	PIPER COMMUNICATION SERVICES I	12/20/17	950.00
00718091	663141	AMERICAN MECHANICAL SERVICES O	12/20/17	15,176.00
00718096	12689	GALLS LLC	12/20/17	8,442.08
00718097	470643	ONENECK IT SOLUTIONS LLC	12/20/17	2,388.00
00718098	163837	PTS OF AMERICA LLC	12/20/17	1,949.00
00718101	42818	STATE OF COLORADO	12/20/17	1,927.97
00718103	76990	TETRA TECH EC INC	12/20/17	65,998.22
00718104	7189	TOSHIBA FINANCIAL SERVICES	12/20/17	5,387.26
00718107	319411	BLALOCK LERACIA	12/20/17	219.35
00718108	28463	ADAMS COUNTY FOSTER CHILDREN	12/21/17	2,055.00
00718110	74416	ALCHEMY CONSULTING LLC	12/21/17	4,920.00
00718111	383698	ALLIED UNIVERSAL SECURITY SERV	12/21/17	1,451.52
00718112	221351	APEX SYSTEMS GROUP LLC	12/21/17	9,678.66
00718113	5907	AURORA SENTINEL	12/21/17	571.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718114	514212	BROOKS ANDREW	12/21/17	83.94
00718115	172047	CUTTING EDGE GLASS INC	12/21/17	4,785.00
00718117	418312	DUNCAN NANCY	12/21/17	65.39
00718118	510586	EGAN PRINTING CO	12/21/17	608.82
00718119	87117	GRANICUS INC	12/21/17	4,500.00
00718120	10864	HILLYARD - DENVER	12/21/17	6,355.86
00718121	248101	HP DIRECT	12/21/17	62,428.00
00718123	628902	IRON CODE TECHNOLOGIES INC	12/21/17	37,653.11
00718124	282501	JO MATTOON ASSOCIATES	12/21/17	2,437.50
00718125	4863	METROWEST NEWSPAPERS	12/21/17	6,054.40
00718126	281503	MILLER MICHELLE	12/21/17	14.87
00718127	88393	RECRUITING.COM	12/21/17	760.00
00718128	16237	SAM HILL OIL INC	12/21/17	9.77
00718129	227044	SOUTHWESTERN PAINTING	12/21/17	12,166.00
00718130	281167	SPECTRA CONTRACT FLOORING SERV	12/21/17	285.00
00718133	13951	TDS TELECOM	12/21/17	839.49
00718134	46796	WESTMINSTER CITY OF	12/21/17	1,879.19
00718135	338508	WRIGHTWAY INDUSTRIES INC	12/21/17	2,961.39
00718136	13822	XCEL ENERGY	12/21/17	8,901.75
00718143	473336	ZAYO GROUP HOLDINGS INC	12/21/17	1,975.00
00718145	334777	ALLEN DEBRA JEAN	12/22/17	673.89
00718146	639937	AMOS ERIN	12/22/17	51.36
00718151	2157	COLO OCCUPATIONAL MEDICINE PHY	12/22/17	915.00
00718154	128693	DREXEL BARRELL & CO	12/22/17	957.50
00718155	23417	ERGOMETRICS & APPLIED PERSONNE	12/22/17	3,896.60
00718156	668805	FRAZIER KEVIN	12/22/17	6.00
00718159	644103	HERRERA KATHERINE	12/22/17	29.00
00718161	21363	LAWSON HAROLD L V	12/22/17	110.00
00718165	51392	METRO NORTH LTD	12/22/17	777.28
00718167	13422	NORTHGLENN AMBULANCE	12/22/17	289.80
00718172	629199	ORTIZ, EMILIANO SANTIAGO	12/22/17	29.00
00718173	192059	POINT SPORTS/ERGOMED	12/22/17	720.00
00718174	44148	PRO FORCE LAW ENFORCEMENT	12/22/17	933.35
00718175	308437	RANDSTAD US LP	12/22/17	762.55
00718178	666214	TYGRETT DEBRA R	12/22/17	362.00
00718180	383698	ALLIED UNIVERSAL SECURITY SERV	12/22/17	16,070.41

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718181	40942	BI- BEHAVIORAL INTERVENTIONS	12/22/17	2,988.75
00718182	40398	CINTAS CORPORATION #66	12/22/17	138.03
00718183	5050	COLO DIST ATTORNEY COUNCIL	12/22/17	5,280.00
00718184	59782	COMCOR INC	12/22/17	575.84
00718185	13049	COMMUNITY REACH CENTER	12/22/17	19,671.87
00718186	93529	CORRECTIONAL MANAGEMENT INC	12/22/17	2,920.07
00718188	12689	GALLS LLC	12/22/17	3,720.93
00718189	582481	GEO GROUP INC	12/22/17	3,378.76
00718190	87117	GRANICUS INC	12/22/17	900.00
00718191	294059	GROUNDS SERVICE COMPANY	12/22/17	327.50
00718192	44965	INTERVENTION COMMUNITY CORRECT	12/22/17	4,592.66
00718193	628902	IRON CODE TECHNOLOGIES INC	12/22/17	35,125.00
00718194	48078	LARIMER COUNTY COMMUNITY CORRE	12/22/17	5,633.76
00718195	13591	MWI VETERINARY SUPPLY CO	12/22/17	3,760.29
00718196	603778	NORCHEM DRUG TESTING LABORATOR	12/22/17	14.50
00718197	20458	NORTHSIDE EMERGENCY PET CLINIC	12/22/17	200.00
00718198	42984	TIME TO CHANGE	12/22/17	872,513.56
00718199	738429	VCA THORNTON ANIMAL HOSPITAL	12/22/17	217.35
00718200	338508	WRIGHTWAY INDUSTRIES INC	12/22/17	768.46
Fund Total				2,099,000.84

Net Warrants by Fund Detail

4 Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717927	45515	OFFICE SCAPES	12/14/17	7,782.72
00718038	153865	ADVANCED EXERCISE EQUIPMENT	12/20/17	127,293.18
			Fund Total	135,075.90

Net Warrants by Fund Detail

5

Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717916	663340	DIRT PIRATES	12/14/17	25,920.50
Fund Total				25,920.50

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717897	23962	ACS MANAGEMENT LLC	12/14/17	7,800.00
00717919	346750	FACTORY MOTOR PARTS	12/14/17	7,526.00
00717933	40442	RNL DESIGN INC	12/14/17	1,075.90
00717951	626215	CHAVIRA JAIME	12/19/17	146.37
00717962	483393	H2O POWER EQUIPMENT	12/19/17	7,365.00
00718060	491796	HRT ENTERPRISES LLC	12/20/17	65.00
00718078	541046	SUMMIT BODYWORKS	12/20/17	6,347.00
00718088	16237	SAM HILL OIL INC	12/20/17	45,352.42
00718089	11657	A & E TIRE INC	12/20/17	4,584.00
00718090	295403	ABRA AUTO BODY & GLASS	12/20/17	823.76
00718100	16237	SAM HILL OIL INC	12/20/17	49,849.94
00718144	295403	ABRA AUTO BODY & GLASS	12/22/17	374.21
Fund Total				131,309.60

Net Warrants by Fund Detail

7

Stormwater Utility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718040	665974	ARCHULETA MARIA J	12/20/17	22.04
00718116	8820061	DENVER ZOO	12/21/17	2,950.00
Fund Total				2,972.04

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717901	8909	BRANNAN SAND & GRAVEL COMPANY	12/14/17	13,817.82
00717921	435508	HUITT-ZOLLARS INC	12/14/17	23,680.00
00717942	13082	W L CONTRACTORS INC	12/14/17	16,280.00
00717949	304171	CDPHE	12/19/17	2,790.00
00718041	55393	BOULDER COUNTY	12/20/17	13,000.00
00718062	34817	ICON ENGINEERING INC	12/20/17	356.00
00718087	157273	ROADSAFE TRAFFIC SYSTEMS	12/20/17	149,336.84
00718095	128693	DREXEL BARRELL & CO	12/20/17	794.88
00718106	283725	UNIVERSAL FIELD SERVICES INC	12/20/17	10,079.46
00718122	8110	IMS	12/21/17	50,337.00
Fund Total				280,472.00

Net Warrants by Fund Detail

19 Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717902	419839	CAREHERE LLC	12/14/17	38,410.27
00717945	27429	ARTHUR J GALLAGHER	12/19/17	1,260.00
00717947	86298	BERG HILL GREENLEAF & RUSCITTI	12/19/17	7,773.74
00717953	17565	COLO FRAME & SUSPENSION	12/19/17	3,737.87
00717964	94481	LONGMONT FORD	12/19/17	610.82
00717966	61886	NATHAN DUMM & MAYER PC	12/19/17	1,381.71
00717984	11657	A & E TIRE INC	12/19/17	94.07
00717986	492573	ADVANCED URGENT CARE AND OCC M	12/19/17	480.00
00717993	2157	COLO OCCUPATIONAL MEDICINE PHY	12/19/17	140.00
00718004	8031	JUDICIAL ARBITER GROUP INC	12/19/17	1,599.00
00718046	61609	DAVIS GRAHAM & STUBBS LLP	12/20/17	2,940.50
00718082	419839	CAREHERE LLC	12/20/17	24,126.19
00718109	28463	ADAMS COUNTY FOSTER CHILDREN	12/21/17	1,200.00
00718152	668809	DENVER CITY AND COUNTY OF	12/22/17	6,790.96
00718163	46109	MAJOR ADJUSTING CO	12/22/17	146.00
00718187	548807	EMPLOYERS UNITY LLC	12/22/17	1,807.00
Fund Total				92,498.13

Net Warrants by Fund Detail

25Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718092	535096	B & B ENVIRONMENTAL SAFETY INC	12/20/17	4,045.37
00718094	17409	COLO DEPT OF PUBLIC HEALTH AND	12/20/17	1,275.00
00718099	433702	QUANTUM WATER CONSULTING	12/20/17	24,154.28
00718105	1094	TRI COUNTY HEALTH DEPT	12/20/17	10,541.88
Fund Total				40,016.53

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718050	128693	DREXEL BARRELL & CO	12/20/17	163.89
			Fund Total	163.89

Net Warrants by Fund Detail

30 Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718166	73648	METROWEST NEWSPAPERS	12/22/17	63.74
			Fund Total	63.74

Net Warrants by Fund Detail

31

Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717903	37266	CENTURY LINK	12/14/17	132.37
00717904	37266	CENTURY LINK	12/14/17	347.83
00717905	37266	CENTURY LINK	12/14/17	337.09
00717906	152245	CHAVEZ MARIA M	12/14/17	35.04
00717907	5078	COLO DEPT OF HUMAN SERVICES	12/14/17	28.00
00717908	54679	COLO DEPT OF HUMAN SERVICES	12/14/17	49.00
00717909	54679	COLO DEPT OF HUMAN SERVICES	12/14/17	49.00
00717910	54679	COLO DEPT OF HUMAN SERVICES	12/14/17	49.00
00717911	54679	COLO DEPT OF HUMAN SERVICES	12/14/17	49.00
00717912	54679	COLO DEPT OF HUMAN SERVICES	12/14/17	49.00
00717913	2157	COLO OCCUPATIONAL MEDICINE PHY	12/14/17	75.00
00717918	8820091	EON OFFICE PRODUCTS	12/14/17	15.05
00717920	537346	HERHOLD MARK	12/14/17	13.59
00717924	342449	LILLIE SHANNON	12/14/17	28.09
00717925	410414	MEMBRENO YAHAIRA	12/14/17	32.21
00717926	61836	NAJEE-ULLAH NAJLA	12/14/17	85.60
00717928	1463	ORKIN PEST CONTROL	12/14/17	172.42
00717929	47685	ORTIZ REBECCA T	12/14/17	15.30
00717937	62190	STEELMAN MARU E	12/14/17	19.26
00717943	354139	WALMSLEY NATASHA	12/14/17	72.97
00717944	51121	WHISENANT ELISA A	12/14/17	17.12
00718043	327914	CESCO LINGUISTIC SERVICE INC 2	12/20/17	598.66
00718044	166025	CHILDRENS HOSPITAL	12/20/17	1,680.00
00718047	8819841	DISCOUNT SCHOOL SUPPLY	12/20/17	3,083.39
00718048	8819841	DISCOUNT SCHOOL SUPPLY	12/20/17	2,136.07
00718069	36722	OFFICE DEPOT	12/20/17	19,199.92
00718093	327914	CESCO LINGUISTIC SERVICE INC 2	12/20/17	532.42
00718102	13770	SYSCO DENVER	12/20/17	18,370.60
00718147	37266	CENTURY LINK	12/22/17	125.58
00718148	37266	CENTURY LINK	12/22/17	169.60
00718157	28726	G & K SERVICES	12/22/17	135.28
00718158	434213	HAGER MICHAEL	12/22/17	68.85
00718164	79121	MEADOW GOLD DAIRY	12/22/17	4,076.20
00718177	13770	SYSCO DENVER	12/22/17	1,405.52
00718179	59983	WESTMINSTER PUBLIC SCHOOLS	12/22/17	8,711.12

Fund Total**61,965.15**

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717950	152461	CENTURYLINK	12/19/17	162.92
00717983	83770	ZOBEL GABRIELE	12/19/17	12.84
			Fund Total	175.76

Net Warrants by Fund Detail

43Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00717946	80118	AT&T CORP	12/19/17	101.27
00718131	33604	STATE OF COLORADO	12/21/17	356.00
00718132	33604	STATE OF COLORADO	12/21/17	23.00
00718137	13822	XCEL ENERGY	12/21/17	21.15
00718138	13822	XCEL ENERGY	12/21/17	99.72
00718139	13822	XCEL ENERGY	12/21/17	210.96
00718140	13822	XCEL ENERGY	12/21/17	303.66
00718141	13822	XCEL ENERGY	12/21/17	590.57
00718142	13822	XCEL ENERGY	12/21/17	2,211.09
00718153	82382	DOOR SPECIALTIES	12/22/17	3,382.00
00718160	358103	KIMLEY-HORN AND ASSOCIATES INC	12/22/17	5,579.00
00718162	112383	LOTTMAN OIL COMPANY	12/22/17	167.25
00718168	443757	NRG DGPV FUND 1 LLC	12/22/17	392.57
00718169	443757	NRG DGPV FUND 1 LLC	12/22/17	866.79
00718170	443757	NRG DGPV FUND 1 LLC	12/22/17	541.36
00718171	443757	NRG DGPV FUND 1 LLC	12/22/17	396.68
00718176	37110	SB PORTA BOWL RESTROOMS INC	12/22/17	396.00
			Fund Total	15,639.07

Net Warrants by Fund Detail

44

Water and Wastewater Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718149	2381	COLO ANALYTICAL LABORATORY	12/22/17	15.00
Fund Total				15.00

County of Adams
Net Warrants by Fund Detail

94

Sheriff Payables

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718150	33480	COLO BUREAU OF INVESTIGATION	12/22/17	12,025.50
			Fund Total	12,025.50

County of Adams
Net Warrants by Fund Detail

Grand Total 2,897,313.65

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	AT&T CORP	00043	914727	294920	12/14/17	88.15
					Account Total	88.15
	Water/Sewer/Sanitation					
	SB PORTA BOWL RESTROOMS INC	00043	914889	295147	12/18/17	396.00
					Account Total	396.00
					Department Total	484.15

County of Adams
Vendor Payment Report

<u>4308</u>	<u>Airport ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	AT&T CORP	00043	914727	294920	12/14/17	<u>6.56</u>
					Account Total	<u>6.56</u>
					Department Total	<u><u>6.56</u></u>

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Freight					
	LOTTMAN OIL COMPANY	00043	914790	295048	12/15/17	3.75
					Account Total	3.75
	Gas & Electricity					
	XCEL ENERGY	00043	915028	295270	12/19/17	99.72
					Account Total	99.72
	Licenses and Fees					
	STATE OF COLORADO	00043	915039	295273	12/19/17	.29-
	STATE OF COLORADO	00043	915040	295273	12/19/17	.28-
					Account Total	.57-
	Oil & Lubrication					
	LOTTMAN OIL COMPANY	00043	914790	295048	12/15/17	163.50
					Account Total	163.50
					Department Total	266.40

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	DOOR SPECIALTIES	00043	914883	295147	12/18/17	1,239.50
	DOOR SPECIALTIES	00043	914884	295147	12/18/17	2,142.50
					Account Total	3,382.00
	Gas & Electricity					
	NRG DGPV FUND 1 LLC	00043	914885	295147	12/18/17	392.57
	NRG DGPV FUND 1 LLC	00043	914886	295147	12/18/17	866.79
	NRG DGPV FUND 1 LLC	00043	914887	295147	12/18/17	541.36
	NRG DGPV FUND 1 LLC	00043	914888	295147	12/18/17	396.68
	XCEL ENERGY	00043	915025	295270	12/19/17	21.15
	XCEL ENERGY	00043	915031	295270	12/19/17	38.22
	XCEL ENERGY	00043	915031	295270	12/19/17	73.43
	XCEL ENERGY	00043	915031	295270	12/19/17	97.84
	XCEL ENERGY	00043	915031	295270	12/19/17	1.47
	XCEL ENERGY	00043	915032	295270	12/19/17	169.50
	XCEL ENERGY	00043	915032	295270	12/19/17	132.18
	XCEL ENERGY	00043	915032	295270	12/19/17	1.98
	XCEL ENERGY	00043	915033	295270	12/19/17	590.57
	XCEL ENERGY	00043	915035	295270	12/19/17	1,572.23
	XCEL ENERGY	00043	915035	295270	12/19/17	638.86
					Account Total	5,534.83
	Telephone					
	AT&T CORP	00043	914727	294920	12/14/17	6.56
					Account Total	6.56
					Department Total	8,923.39

County of Adams
Vendor Payment Report

<u>3161</u>	<u>Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	EGAN PRINTING CO	00004	915147	295359	12/20/17	608.82
	UNITED POWER (UNION REA)	00004	915134	295340	12/20/17	750.00
					Account Total	<u>1,358.82</u>
					Department Total	<u><u>1,358.82</u></u>

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Temporary Labor					
	RANDSTAD US LP	00001	915322	295488	12/21/17	<u>762.55</u>
					Account Total	<u>762.55</u>
					Department Total	<u><u>762.55</u></u>

County of Adams
Vendor Payment Report

<u>2054</u>	<u>ANS - Volunteer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BROOKS ANDREW	00001	915220	295371	12/20/17	<u>83.94</u>
					Account Total	<u>83.94</u>
					Department Total	<u><u>83.94</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	AURORA SENTINEL	00001	914920	295239	12/19/17	571.00
					Account Total	571.00
	Business Meetings					
	BISCUITS AND BERRIES CATERING	00001	914725	294918	12/14/17	654.75
					Account Total	654.75
	Special Events					
	MINUTEMAN PRESS-BRIGHTON	00001	914914	295168	12/18/17	345.69
					Account Total	345.69
					Department Total	1,571.44

County of Adams
Vendor Payment Report

<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation DUNCAN NANCY	00001	915222	295371	12/20/17	65.39
					Account Total	65.39
					Department Total	65.39

County of Adams
Vendor Payment Report

<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Car Washes					
	FRAZIER KEVIN	00001	915321	295488	12/21/17	<u>6.00</u>
					Account Total	<u>6.00</u>
					Department Total	<u><u>6.00</u></u>

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	5,355.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	5,355.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	5,355.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	5,355.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	5,355.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	6,300.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	6,300.00
	ADVANCED EXERCISE EQUIPMENT	00004	915063	295274	12/19/17	87,918.18
	KUMAR & ASSOCIATES INC	00004	915062	295274	12/19/17	2,371.85
	OFFICE SCAPES	00004	914631	294843	12/13/17	7,782.72
					Account Total	137,447.75
					Department Total	137,447.75

County of Adams
Vendor Payment Report

<u>1033</u>	<u>Community Transit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Community Transit Services					
	SENIORS RESOURCE CENTER INC	00001	914963	295261	12/19/17	47,422.32
	SENIORS RESOURCE CENTER INC	00001	914971	295261	12/19/17	46,334.94
					Account Total	<u>93,757.26</u>
					Department Total	<u><u>93,757.26</u></u>

County of Adams
Vendor Payment Report

<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	NORTHSIDE EMERGENCY PET CLINIC	00001	915041	295277	12/19/17	150.00
	NORTHSIDE EMERGENCY PET CLINIC	00001	915042	295277	12/19/17	50.00
	VCA THORNTON ANIMAL HOSPITAL	00001	915043	295277	12/19/17	217.35
					Account Total	<u>417.35</u>
					Department Total	<u><u>417.35</u></u>

County of Adams
Vendor Payment Report

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	COSTAR REALTY INFORMATION INC	00001	914555	294737	12/12/17	2,808.39
	HARRIS SYSTEMS USA INC	00001	914556	294737	12/12/17	49,805.83
					Account Total	52,614.22
	Membership Dues					
	URISA	00001	914558	294737	12/12/17	1,625.00
					Account Total	1,625.00
	Operating Supplies					
	PEPPERDINE'S MARKING PRODUCTS	00001	914557	294737	12/12/17	24.75
					Account Total	24.75
	Software and Licensing					
	HARRIS SYSTEMS USA INC	00001	914861	295136	12/18/17	62,950.00
					Account Total	62,950.00
					Department Total	117,213.97

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	CRAWFORD VICTORIA	00001	914497	294713	12/12/17	40.13
					Account Total	40.13
	Other Professional Serv					
	ARAPAHOE COUNTY SHERIFF CIVIL	00001	914491	294713	12/12/17	37.00
	DSD CIVIL DENVER COUNTY SHERIF	00001	914492	294713	12/12/17	24.95
					Account Total	61.95
					Department Total	102.08

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BLALOCK LERACIA	00001	915225	295382	12/20/17	<u>219.35</u>
					Account Total	<u>219.35</u>
					Department Total	<u><u>219.35</u></u>

County of Adams
Vendor Payment Report

<u>1012</u>	<u>County Manager</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	CONVERSKETCH LLC	00001	914913	295166	12/18/17	1,212.00
					Account Total	1,212.00
					Department Total	1,212.00

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	METROWEST NEWSPAPERS	00001	915243	295392	12/20/17	2,786.40
	METROWEST NEWSPAPERS	00001	915244	295392	12/20/17	3,268.00
					Account Total	6,054.40
					Department Total	6,054.40

County of Adams
Vendor Payment Report

<u>1052</u>	<u>Criminal Justice Coord Council</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	ALLEN DEBRA JEAN	00001	915235	295388	12/20/17	119.55
					Account Total	119.55
	Mileage Reimbursements					
	ALLEN DEBRA JEAN	00001	915234	295388	12/20/17	554.34
					Account Total	554.34
					Department Total	673.89

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	ADVANCED URGENT CARE AND OCC M	00019	914496	294713	12/12/17	480.00
	COLO OCCUPATIONAL MEDICINE PHY	00019	914495	294713	12/12/17	140.00
					Account Total	<u>620.00</u>
					Department Total	<u><u>620.00</u></u>

County of Adams
Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	HIGH PLAINS REPORTING & TRANSC	00001	914493	294713	12/12/17	<u>84.00</u>
					Account Total	<u>84.00</u>
					Department Total	<u><u>84.00</u></u>

County of Adams
Vendor Payment Report

<u>941017</u>	<u>CDBG 2017/2018</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	METROWEST NEWSPAPERS	00030	915320	295486	12/21/17	<u>63.74</u>
					Account Total	<u>63.74</u>
					Department Total	<u><u>63.74</u></u>

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	PITNEY BOWES	00001	914797	295049	12/15/17	1,152.54
					Account Total	<u>1,152.54</u>
	Mileage Reimbursements					
	AMOS ERIN	00001	915318	295488	12/21/17	51.36
	SHAW PAMELA	00001	914785	295028	12/15/17	13.11
					Account Total	<u>64.47</u>
					Department Total	<u><u>1,217.01</u></u>

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	LOCH FANCY	00001	914782	295028	12/15/17	53.50
	MILINAZZO WENDI K	00001	914783	295028	12/15/17	23.54
	SHAW PAMELA	00001	914787	295028	12/15/17	9.10
					Account Total	86.14
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00001	914794	295049	12/15/17	26.89
	ALSCO AMERICAN INDUSTRIAL	00001	914795	295049	12/15/17	18.41
	ALSCO AMERICAN INDUSTRIAL	00001	914796	295049	12/15/17	16.21
					Account Total	61.51
	Other Professional Serv					
	RED HAWK FIRE & SECURITY	00001	914798	295049	12/15/17	113.95
					Account Total	113.95
	Security Service					
	ALLIED UNIVERSAL SECURITY SERV	00001	914791	295049	12/15/17	1,823.51
	ALLIED UNIVERSAL SECURITY SERV	00001	914792	295049	12/15/17	1,836.95
	ALLIED UNIVERSAL SECURITY SERV	00001	914793	295049	12/15/17	1,469.57
					Account Total	5,130.03
					Department Total	5,391.63

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	EMBRY SANDRA	00001	915001	295264	12/19/17	75.00
					Account Total	75.00
	Mileage Reimbursements					
	GLADER JONATHAN D	00001	915004	295264	12/19/17	44.40
					Account Total	44.40
	Other Professional Serv					
	DEPT OF FINANCE	00001	914617	294835	12/13/17	18.00
	FRANK MEREDITH ANN	00001	915002	295264	12/19/17	698.25
	FRANK MEREDITH ANN	00001	915002	295264	12/19/17	324.00
	FRIEDENSON DAVID	00001	915003	295264	12/19/17	224.73
					Account Total	1,264.98
	Witness Fees					
	ADCO DISTRICT ATTORNEY	00001	914614	294835	12/13/17	452.26
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914615	294835	12/13/17	73.15
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914615	294835	12/13/17	141.79
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914615	294835	12/13/17	123.82
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914616	294835	12/13/17	4.79
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914616	294835	12/13/17	8.35
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	914616	294835	12/13/17	.35-
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915000	295264	12/19/17	124.51
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915000	295264	12/19/17	121.91
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915000	295264	12/19/17	125.00
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915000	295264	12/19/17	196.31
					Account Total	1,371.54
					Department Total	<u>2,755.92</u>

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	HUPFER DETOR LEVON	00001	915005	295264	12/19/17	27.29
					Account Total	27.29
	Minor Equipment					
	CUTTING EDGE GLASS INC	00001	915224	295381	12/20/17	4,785.00
					Account Total	4,785.00
					Department Total	4,812.29

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	A & E TIRE INC	00006	915093	295280	12/19/17	316.44
	A & E TIRE INC	00006	915094	295280	12/19/17	1,479.72
	A & E TIRE INC	00006	915095	295280	12/19/17	2,392.32
	A & E TIRE INC	00006	915096	295280	12/19/17	395.52
	ABRA AUTO BODY & GLASS	00006	915097	295280	12/19/17	160.00
	ABRA AUTO BODY & GLASS	00006	915098	295280	12/19/17	160.00
	ABRA AUTO BODY & GLASS	00006	915099	295280	12/19/17	296.18
	ABRA AUTO BODY & GLASS	00006	915100	295280	12/19/17	182.58
	ABRA AUTO BODY & GLASS	00006	915101	295280	12/19/17	25.00
	ABRA AUTO BODY & GLASS	00006	915385	295571	12/22/17	160.00
	ABRA AUTO BODY & GLASS	00006	915386	295571	12/22/17	214.21
	ACS MANAGEMENT LLC	00006	914619	294843	12/13/17	3,900.00
	ACS MANAGEMENT LLC	00006	914620	294843	12/13/17	3,900.00
	FACTORY MOTOR PARTS	00006	914621	294843	12/13/17	7,526.00
	H2O POWER EQUIPMENT	00006	914681	294847	12/13/17	7,365.00
	RNL DESIGN INC	00006	914637	294843	12/13/17	1,075.90
	SAM HILL OIL INC	00006	915022	295268	12/19/17	12,973.81
	SAM HILL OIL INC	00006	915024	295268	12/19/17	17,018.23
	SAM HILL OIL INC	00006	915026	295268	12/19/17	15,360.38
	SAM HILL OIL INC	00006	915115	295280	12/19/17	1,524.50
	SAM HILL OIL INC	00006	915116	295280	12/19/17	1,553.15
	SAM HILL OIL INC	00006	915117	295280	12/19/17	17,367.48
	SAM HILL OIL INC	00006	915119	295280	12/19/17	16,775.51
	SAM HILL OIL INC	00006	915121	295280	12/19/17	1,868.19
	SAM HILL OIL INC	00006	915122	295280	12/19/17	2,224.24
	SAM HILL OIL INC	00006	915124	295280	12/19/17	6,591.59
	SAM HILL OIL INC	00006	915125	295280	12/19/17	531.66
	SAM HILL OIL INC	00006	915125	295280	12/19/17	1,413.62
	SUMMIT BODYWORKS	00006	915074	295274	12/19/17	275.00
	SUMMIT BODYWORKS	00006	915074	295274	12/19/17	6,072.00
					Account Total	131,098.23
					Department Total	131,098.23

County of Adams
Vendor Payment Report

<u>9241</u>	<u>Extension- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GOURD THADDEUS	00001	914470	294711	12/12/17	<u>224.70</u>
					Account Total	<u>224.70</u>
					Department Total	<u><u>224.70</u></u>

County of Adams
Vendor Payment Report

<u>6031</u>	<u>Extension- Soil Conservation</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	TUCKER JENNIFER	00001	914471	294711	12/12/17	268.04
	TUCKER JENNIFER	00001	914472	294711	12/12/17	356.85
	TUCKER JENNIFER	00001	914473	294711	12/12/17	335.98
	TUCKER JENNIFER	00001	914476	294711	12/12/17	373.43
					Account Total	<u>1,334.30</u>
					Department Total	<u><u>1,334.30</u></u>

County of Adams
Vendor Payment Report

<u>5025</u>	<u>Facilities Club House Maint.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	AAA PEST PROS	00005	914891	295151	12/18/17	<u>35.00</u>
					Account Total	<u>35.00</u>
					Department Total	<u><u>35.00</u></u>

County of Adams
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MILLER MICHELLE	00001	915221	295371	12/20/17	<u>14.87</u>
					Account Total	<u>14.87</u>
					Department Total	<u><u>14.87</u></u>

County of Adams
Vendor Payment Report

<u>1018</u>	<u>Finance General Accounting</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ORTIZ, EMILIANO SANTIAGO	00001	914781	294956	12/14/17	12.95
	ORTIZ, EMILIANO SANTIAGO	00001	915317	295487	12/21/17	29.00
					Account Total	<u>41.95</u>
					Department Total	<u><u>41.95</u></u>

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Tools Reimbursement					
	CHAVIRA JAIME	00006	914726	294919	12/15/17	146.37
					Account Total	<u>146.37</u>
	Vehicle Repair & Maint					
	HRT ENTERPRISES LLC	00006	914862	295137	12/18/17	65.00
					Account Total	<u>65.00</u>
					Department Total	<u><u>211.37</u></u>

County of Adams
Vendor Payment Report

<u>43</u>	<u>Front Range Airport</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00043	915039	295273	12/19/17	356.29
	STATE OF COLORADO	00043	915040	295273	12/19/17	23.28
					Account Total	<u>379.57</u>
	Received not Vouchered Clrg					
	KIMLEY-HORN AND ASSOCIATES INC	00043	915157	295362	12/20/17	5,579.00
					Account Total	<u>5,579.00</u>
					Department Total	<u><u>5,958.57</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	AMERIGAS DENVER 1012	00001	914898	295151	12/18/17	1,032.11
					Account Total	1,032.11
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	200.00
					Account Total	200.00
	Water/Sewer/Sanitation					
	EASTERN DISPOSE ALL	00001	914899	295151	12/18/17	72.50
					Account Total	72.50
					Department Total	1,304.61

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	80.00
					Account Total	80.00
	Water/Sewer/Sanitation					
	EASTERN DISPOSE ALL	00001	914900	295151	12/18/17	91.00
					Account Total	91.00
					Department Total	171.00

County of Adams
Vendor Payment Report

<u>1113</u>	<u>FO - Children & Family Service</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	<u>40.00</u>
					Account Total	<u>40.00</u>
					Department Total	<u><u>40.00</u></u>

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	<u>60.00</u>
					Account Total	<u>60.00</u>
					Department Total	<u><u>60.00</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	60.00
					Account Total	60.00
					Department Total	60.00

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00050	914891	295151	12/18/17	40.00
	COMMERCIAL CLEANING SYSTEMS	00050	914906	295151	12/18/17	1,330.45
	HIRED GUNWEED & PEST CONTROL	00050	914897	295151	12/18/17	4,730.40
					Account Total	6,100.85
	Repair & Maint Supplies					
	HYDRO RESOURCES	00050	914902	295151	12/18/17	2,295.25
					Account Total	2,295.25
					Department Total	8,396.10

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	APEX SYSTEMS GROUP LLC	00001	914750	294926	12/14/17	2,375.80
					Account Total	2,375.80
	Fuel, Gas & Oil					
	SAM HILL OIL INC	00001	915144	295359	12/20/17	9.77
					Account Total	9.77
	Gas & Electricity					
	SAM HILL OIL INC	00001	914894	295151	12/18/17	2,402.29
	SAM HILL OIL INC	00001	914895	295151	12/18/17	2,026.48
					Account Total	4,428.77
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	145.00
	SUMMIT LABORATORIES INC	00001	914893	295151	12/18/17	480.00
					Account Total	625.00
	Operating Supplies					
	HILLYARD - DENVER	00001	915149	295359	12/20/17	4,894.67
					Account Total	4,894.67
					Department Total	12,334.01

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	160.00
	ENVIRO-VAC INC	00001	914904	295151	12/18/17	3,650.00
					Account Total	<u>3,810.00</u>
					Department Total	<u><u>3,810.00</u></u>

County of Adams
Vendor Payment Report

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	<u>50.00</u>
					Account Total	<u>50.00</u>
					Department Total	<u><u>50.00</u></u>

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	110.00
					Account Total	110.00
					Department Total	110.00

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	SOUTHWESTERN PAINTING	00001	914896	295151	12/18/17	878.00
					Account Total	878.00
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	325.00
	SPECTRA CONTRACT FLOORING SERV	00001	915151	295359	12/20/17	285.00
					Account Total	610.00
					Department Total	1,488.00

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	<u>40.00</u>
					Account Total	<u>40.00</u>
					Department Total	<u><u>40.00</u></u>

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	<u>415.00</u>
					Account Total	<u>415.00</u>
					Department Total	<u><u>415.00</u></u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	A-1 CHI SEAL CO	00001	914901	295151	12/18/17	4,975.00
					Account Total	4,975.00
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	55.00
					Account Total	55.00
					Department Total	5,030.00

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	55.00
					Account Total	55.00
					Department Total	55.00

County of Adams
Vendor Payment Report

1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	i3LOGIX INC	00001	915045	295274	12/19/17	15,406.92
	ADAMSON POLICE PRODUCTS	00001	914572	294824	12/13/17	5,750.00
	ADAMSON POLICE PRODUCTS	00001	914767	294954	12/14/17	745.00
	ADAMSON POLICE PRODUCTS	00001	914768	294954	12/14/17	10,311.00
	ADAMSON POLICE PRODUCTS	00001	914769	294954	12/14/17	168.00
	ADAMSON POLICE PRODUCTS	00001	914770	294954	12/14/17	1,202.40
	ADAMSON POLICE PRODUCTS	00001	914771	294954	12/14/17	906.00
	ADAMSON POLICE PRODUCTS	00001	914772	294954	12/14/17	567.00
	ALLIED UNIVERSAL SECURITY SERV	00001	915019	295266	12/19/17	11,778.58
	ALLIED UNIVERSAL SECURITY SERV	00001	915019	295266	12/19/17	4,291.83
	ALLIED UNIVERSAL SECURITY SERV	00001	915253	295393	12/20/17	1,451.52
	AMBIUS	00001	915051	295274	12/19/17	6,269.41
	AMERICAN MECHANICAL SERVICES O	00001	915088	295280	12/19/17	15,176.00
	APEX SYSTEMS GROUP LLC	00001	915249	295393	12/20/17	7,302.86
	AXIS ELECTRICAL SERVICES LLC	00001	914636	294843	12/13/17	5,900.00
	BI- BEHAVIORAL INTERVENTIONS	00001	915021	295266	12/19/17	2,414.07
	BI- BEHAVIORAL INTERVENTIONS	00001	915021	295266	12/19/17	574.68
	BUTLER SNOW LLP	00001	914665	294847	12/13/17	408.00
	CINTAS CORPORATION #66	00001	914668	294847	12/13/17	138.03
	CINTAS CORPORATION #66	00001	915057	295274	12/19/17	138.03
	CINTAS CORPORATION #66	00001	915333	295490	12/21/17	138.03
	COLO DIST ATTORNEY COUNCIL	00001	914573	294824	12/13/17	1,280.00
	COLO DIST ATTORNEY COUNCIL	00001	915023	295266	12/19/17	5,280.00
	COMCOR INC	00001	915346	295494	12/21/17	292.64
	COMCOR INC	00001	915352	295494	12/21/17	283.20
	COMMUNITY REACH CENTER	00001	914574	294824	12/13/17	40,993.00
	COMMUNITY REACH CENTER	00001	915027	295266	12/19/17	19,671.87
	CORRECTIONAL MANAGEMENT INC	00001	915345	295494	12/21/17	1,323.08
	CORRECTIONAL MANAGEMENT INC	00001	915345	295494	12/21/17	160.89
	CORRECTIONAL MANAGEMENT INC	00001	915351	295494	12/21/17	1,280.40
	CORRECTIONAL MANAGEMENT INC	00001	915351	295494	12/21/17	155.70
	DANIELS LONG CHEVROLET	00001	914642	294843	12/13/17	20,646.00
	DENOVO VENTURES LLC	00001	914694	294847	12/13/17	185.00
	DENTONS US LLP	00001	914880	295144	12/18/17	10,500.00
	DENVER INDIAN FAMILY RESOURCE	00001	915016	295268	12/19/17	12,000.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	DENVER INDIAN FAMILY RESOURCE	00001	915017	295268	12/19/17	10,040.00
	DENVER INDIAN FAMILY RESOURCE	00001	915018	295268	12/19/17	7,200.00
	DOMINION VOTING SYSTEMS INC	00001	915047	295274	12/19/17	2,000.00
	DOMINION VOTING SYSTEMS INC	00001	915048	295274	12/19/17	1,239.26
	DREXEL BARRELL & CO	00001	914639	294843	12/13/17	1,185.00
	DREXEL BARRELL & CO	00001	914684	294847	12/13/17	288.00
	DREXEL BARRELL & CO	00001	915208	295362	12/20/17	957.50
	ERGONOMIC SOLUTIONS LLC	00001	914575	294824	12/13/17	2,725.00
	GALLS LLC	00001	914773	294954	12/14/17	206.94
	GALLS LLC	00001	914774	294954	12/14/17	74.24
	GALLS LLC	00001	914774	294954	12/14/17	111.36
	GALLS LLC	00001	914774	294954	12/14/17	232.42
	GALLS LLC	00001	914775	294954	12/14/17	9.98
	GALLS LLC	00001	914776	294954	12/14/17	202.07
	GALLS LLC	00001	914777	294954	12/14/17	51.95
	GALLS LLC	00001	914778	294954	12/14/17	24.27
	GALLS LLC	00001	914778	294954	12/14/17	114.29
	GALLS LLC	00001	914778	294954	12/14/17	12.85
	GALLS LLC	00001	914779	294954	12/14/17	108.56
	GALLS LLC	00001	914780	294954	12/14/17	95.42
	GALLS LLC	00001	914788	295042	12/15/17	4,995.00
	GALLS LLC	00001	914789	295042	12/15/17	116.99
	GALLS LLC	00001	914799	295042	12/15/17	97.90
	GALLS LLC	00001	914800	295042	12/15/17	166.49
	GALLS LLC	00001	914801	295042	12/15/17	37.98
	GALLS LLC	00001	914802	295042	12/15/17	56.95
	GALLS LLC	00001	914803	295042	12/15/17	46.67
	GALLS LLC	00001	914804	295042	12/15/17	68.01
	GALLS LLC	00001	914805	295042	12/15/17	40.38
	GALLS LLC	00001	914806	295042	12/15/17	56.95
	GALLS LLC	00001	914807	295042	12/15/17	65.99
	GALLS LLC	00001	914808	295042	12/15/17	44.99
	GALLS LLC	00001	914809	295042	12/15/17	115.05
	GALLS LLC	00001	914810	295042	12/15/17	340.03
	GALLS LLC	00001	914811	295042	12/15/17	400.64
	GALLS LLC	00001	914811	295042	12/15/17	205.99

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GALLS LLC	00001	914812	295042	12/15/17	381.21
	GALLS LLC	00001	914813	295042	12/15/17	45.95
	GALLS LLC	00001	914814	295042	12/15/17	413.54
	GALLS LLC	00001	914815	295042	12/15/17	195.80
	GALLS LLC	00001	914816	295042	12/15/17	146.85
	GALLS LLC	00001	914817	295042	12/15/17	56.95
	GALLS LLC	00001	914818	295042	12/15/17	149.97
	GALLS LLC	00001	914819	295042	12/15/17	195.80
	GALLS LLC	00001	915029	295266	12/19/17	121.49
	GALLS LLC	00001	915030	295266	12/19/17	946.80
	GALLS LLC	00001	915034	295266	12/19/17	1,176.13
	GALLS LLC	00001	915036	295266	12/19/17	39.69
	GALLS LLC	00001	915037	295266	12/19/17	204.31
	GALLS LLC	00001	915038	295266	12/19/17	89.89
	GALLS LLC	00001	915038	295266	12/19/17	71.21
	GALLS LLC	00001	915114	295266	12/19/17	40.32
	GALLS LLC	00001	915114	295266	12/19/17	91.62
	GALLS LLC	00001	915118	295266	12/19/17	355.03
	GALLS LLC	00001	915120	295266	12/19/17	48.99
	GALLS LLC	00001	915123	295266	12/19/17	268.22
	GALLS LLC	00001	915123	295266	12/19/17	123.38
	GALLS LLC	00001	915126	295266	12/19/17	143.85
	GEO GROUP INC	00001	915344	295494	12/21/17	1,579.16
	GEO GROUP INC	00001	915344	295494	12/21/17	236.00
	GEO GROUP INC	00001	915354	295494	12/21/17	1,280.40
	GEO GROUP INC	00001	915354	295494	12/21/17	283.20
	GOLDMAN ROBBINS NICHOLSON & MA	00001	914663	294847	12/13/17	6,973.16
	GRANICUS INC	00001	915247	295393	12/20/17	300.00
	GRANICUS INC	00001	915250	295393	12/20/17	4,200.00
	GRANICUS INC	00001	915340	295490	12/21/17	300.00
	GRANICUS INC	00001	915341	295490	12/21/17	300.00
	GRANICUS INC	00001	915342	295490	12/21/17	300.00
	GROUNDS SERVICE COMPANY	00001	915399	295580	12/22/17	192.50
	GROUNDS SERVICE COMPANY	00001	915400	295580	12/22/17	135.00
	HELTON & WILLIAMSEN PC	00001	915055	295274	12/19/17	377.50
	HP DIRECT	00001	915255	295393	12/20/17	62,428.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	IDEXX DISTRIBUTION INC	00001	914669	294847	12/13/17	129.71
	IDEXX DISTRIBUTION INC	00001	914680	294847	12/13/17	662.40
	INTERVENTION COMMUNITY CORRECT	00001	915347	295494	12/21/17	3,969.24
	INTERVENTION COMMUNITY CORRECT	00001	915347	295494	12/21/17	623.42
	IRON CODE TECHNOLOGIES INC	00001	915252	295393	12/20/17	37,653.11
	IRON CODE TECHNOLOGIES INC	00001	915323	295490	12/21/17	35,125.00
	KORBY LANDSCAPE LLC	00001	914626	294843	12/13/17	752.73
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	965.60
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	1,129.09
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	1,310.00
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	298.03
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	426.25
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	419.86
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	689.06
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	418.94
	KORBY LANDSCAPE LLC	00001	914627	294843	12/13/17	926.44
	KUMAR & ASSOCIATES INC	00001	914634	294843	12/13/17	2,668.55
	LARIMER COUNTY COMMUNITY CORRE	00001	915348	295494	12/21/17	1,792.56
	LARIMER COUNTY COMMUNITY CORRE	00001	915353	295494	12/21/17	1,280.40
	LARIMER COUNTY COMMUNITY CORRE	00001	915358	295494	12/21/17	149.24
	LARIMER COUNTY COMMUNITY CORRE	00001	915358	295494	12/21/17	2,411.56
	METRO NORTH LTD	00001	915387	295571	12/22/17	777.28
	MORENO DENNIS	00001	915070	295274	12/19/17	12,035.71
	MORPHOTRAK LLC	00001	914576	294824	12/13/17	17,000.00
	MWI VETERINARY SUPPLY CO	00001	914670	294847	12/13/17	27.09
	MWI VETERINARY SUPPLY CO	00001	914671	294847	12/13/17	3,151.98
	MWI VETERINARY SUPPLY CO	00001	914672	294847	12/13/17	200.56
	MWI VETERINARY SUPPLY CO	00001	914673	294847	12/13/17	63.44
	MWI VETERINARY SUPPLY CO	00001	914674	294847	12/13/17	56.40
	MWI VETERINARY SUPPLY CO	00001	914675	294847	12/13/17	757.73
	MWI VETERINARY SUPPLY CO	00001	914676	294847	12/13/17	627.44
	MWI VETERINARY SUPPLY CO	00001	914679	294847	12/13/17	854.50
	MWI VETERINARY SUPPLY CO	00001	915058	295274	12/19/17	166.50
	MWI VETERINARY SUPPLY CO	00001	915059	295274	12/19/17	219.96
	MWI VETERINARY SUPPLY CO	00001	915324	295490	12/21/17	1,665.50
	MWI VETERINARY SUPPLY CO	00001	915325	295490	12/21/17	23.40

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MWI VETERINARY SUPPLY CO	00001	915326	295490	12/21/17	8.98
	MWI VETERINARY SUPPLY CO	00001	915327	295490	12/21/17	324.52
	MWI VETERINARY SUPPLY CO	00001	915328	295490	12/21/17	138.00
	MWI VETERINARY SUPPLY CO	00001	915329	295490	12/21/17	357.48
	MWI VETERINARY SUPPLY CO	00001	915330	295490	12/21/17	149.36
	MWI VETERINARY SUPPLY CO	00001	915331	295490	12/21/17	56.40
	MWI VETERINARY SUPPLY CO	00001	915332	295490	12/21/17	5.04
	MWI VETERINARY SUPPLY CO	00001	915334	295490	12/21/17	284.30
	MWI VETERINARY SUPPLY CO	00001	915335	295490	12/21/17	236.55
	MWI VETERINARY SUPPLY CO	00001	915336	295490	12/21/17	55.46
	MWI VETERINARY SUPPLY CO	00001	915337	295490	12/21/17	314.36
	MWI VETERINARY SUPPLY CO	00001	915337	295490	12/21/17	140.94
	NORCHEM DRUG TESTING LABORATOR	00001	915127	295266	12/19/17	14.50
	OFFICE SCAPES	00001	914682	294847	12/13/17	19,499.10
	OFFICE SCAPES	00001	914683	294847	12/13/17	25,373.70
	ONENECK IT SOLUTIONS LLC	00001	914820	295042	12/15/17	2,388.00
	OPEX CORPORATION	00001	915046	295274	12/19/17	2,525.00
	PIONEER TECHNOLOGY GROUP LLC	00001	914656	294847	12/13/17	15,000.00
	PIONEER TECHNOLOGY GROUP LLC	00001	914657	294847	12/13/17	21,125.00
	PITNEY BOWES	00001	914545	294729	12/12/17	650.91
	PREFERRED ACQUISITION COMPANY	00001	914628	294843	12/13/17	33,100.00
	PTS OF AMERICA LLC	00001	914546	294729	12/12/17	652.00
	PTS OF AMERICA LLC	00001	914821	295042	12/15/17	890.00
	PTS OF AMERICA LLC	00001	914822	295042	12/15/17	1,059.00
	RDG PLANNING AND DESIGN	00001	915050	295274	12/19/17	15,000.00
	RECRUITING.COM	00001	915245	295393	12/20/17	380.00
	RECRUITING.COM	00001	915245	295393	12/20/17	380.00
	ROADRUNNER PHARMACY INCORPORAT	00001	914677	294847	12/13/17	190.24
	RUNBECK ELECTION SERVICES	00001	915044	295274	12/19/17	3,166.05
	SANITY SOLUTIONS INC	00001	914640	294843	12/13/17	1,800.00
	SANITY SOLUTIONS INC	00001	914691	294847	12/13/17	1,800.00
	SANITY SOLUTIONS INC	00001	914692	294847	12/13/17	1,800.00
	SANITY SOLUTIONS INC	00001	914693	294847	12/13/17	9,227.60
	SOUTHWESTERN PAINTING	00001	914635	294843	12/13/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915064	295274	12/19/17	10,004.00
	SOUTHWESTERN PAINTING	00001	915065	295274	12/19/17	14,667.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SOUTHWESTERN PAINTING	00001	915066	295274	12/19/17	4,893.00
	SOUTHWESTERN PAINTING	00001	915067	295274	12/19/17	6,278.00
	SOUTHWESTERN PAINTING	00001	915068	295274	12/19/17	3,441.00
	SOUTHWESTERN PAINTING	00001	915254	295393	12/20/17	12,166.00
	SPECTRA CONTRACT FLOORING SERV	00001	914629	294843	12/13/17	275.00
	SPECTRA CONTRACT FLOORING SERV	00001	914630	294843	12/13/17	255.00
	SPECTRA CONTRACT FLOORING SERV	00001	915061	295274	12/19/17	2,665.00
	SPECTRA CONTRACT FLOORING SERV	00001	915071	295274	12/19/17	1,700.00
	STATE OF COLORADO	00001	914685	294847	12/13/17	4,910.26
	STATE OF COLORADO	00001	914686	294847	12/13/17	1,616.37
	STATE OF COLORADO	00001	914687	294847	12/13/17	8,800.35
	STATE OF COLORADO	00001	914689	294847	12/13/17	33,017.54
	STATE OF COLORADO	00001	914690	294847	12/13/17	268.04
	STATE OF COLORADO	00001	914690	294847	12/13/17	550.10
	STATE OF COLORADO	00001	915113	295280	12/19/17	1,927.97
	SUMMIT FOOD SERVICE LLC	00001	914547	294729	12/12/17	6,836.57
	SUMMIT FOOD SERVICE LLC	00001	914548	294729	12/12/17	29,088.53
	TETRA TECH EC INC	00001	915083	295280	12/19/17	65,998.22
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	1,182.04
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	125.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	91.21
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	791.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	2,575.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	325.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	675.00
	THYSSENKRUPP ELEVATOR CORP	00001	914625	294843	12/13/17	250.00
	TIME TO CHANGE	00001	915349	295494	12/21/17	248,888.42
	TIME TO CHANGE	00001	915349	295494	12/21/17	9,605.17
	TIME TO CHANGE	00001	915350	295494	12/21/17	178,393.96
	TIME TO CHANGE	00001	915350	295494	12/21/17	4,995.12
	TIME TO CHANGE	00001	915355	295494	12/21/17	165,150.64
	TIME TO CHANGE	00001	915355	295494	12/21/17	7,767.76
	TIME TO CHANGE	00001	915356	295494	12/21/17	249,656.66
	TIME TO CHANGE	00001	915356	295494	12/21/17	8,055.83

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	TISCHLERBISE INC	00001	914915	295223	12/19/17	22,036.00
	TOSHIBA FINANCIAL SERVICES	00001	914823	295042	12/15/17	2,871.02
	TOSHIBA FINANCIAL SERVICES	00001	914823	295042	12/15/17	1,278.28
	TOSHIBA FINANCIAL SERVICES	00001	914823	295042	12/15/17	187.44
	TOSHIBA FINANCIAL SERVICES	00001	914823	295042	12/15/17	1,050.52
	TRANE US INC	00001	914632	294843	12/13/17	5,149.00
	TRANE US INC	00001	914633	294843	12/13/17	4,200.00
	TRANE US INC	00001	915069	295274	12/19/17	4,223.00
	UNITED SITE SERVICES	00001	914641	294843	12/13/17	4,785.00
	WRIGHTWAY INDUSTRIES INC	00001	914678	294847	12/13/17	286.10
	WRIGHTWAY INDUSTRIES INC	00001	915338	295490	12/21/17	768.46
	ZAYO GROUP HOLDINGS INC	00001	915251	295393	12/20/17	1,975.00
					Account Total	<u>1,761,898.93</u>
					Department Total	<u><u>1,761,898.93</u></u>

County of Adams
Vendor Payment Report

<u>5027</u>	<u>Golf Course- CIP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land Improvements					
	DIRT PIRATES	00005	914569	294812	12/13/17	<u>25,920.50</u>
					Account Total	<u>25,920.50</u>
					Department Total	<u><u>25,920.50</u></u>

County of Adams
Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	DENTONS US LLP	00001	914881	295145	12/18/17	1,151.06
					Account Total	1,151.06
	Trustee Fees					
	UMB BANK NA	00001	914962	295261	12/19/17	2,500.00
					Account Total	2,500.00
					Department Total	3,651.06

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CESCO LINGUISTIC SERVICE INC 2	00031	915072	295274	12/19/17	145.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915073	295274	12/19/17	95.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915078	295274	12/19/17	101.50
	CESCO LINGUISTIC SERVICE INC 2	00031	915079	295274	12/19/17	60.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915080	295274	12/19/17	96.54
	CESCO LINGUISTIC SERVICE INC 2	00031	915081	295274	12/19/17	100.62
	CESCO LINGUISTIC SERVICE INC 2	00031	915090	295280	12/19/17	120.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915091	295280	12/19/17	123.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915092	295280	12/19/17	289.42
	CHILDRENS HOSPITAL	00031	915077	295274	12/19/17	1,680.00
	DISCOUNT SCHOOL SUPPLY	00031	915082	295274	12/19/17	3,083.39
	DISCOUNT SCHOOL SUPPLY	00031	915082	295274	12/19/17	2,136.07
	EON OFFICE PRODUCTS	00031	914622	294843	12/13/17	15.05
	MEADOW GOLD DAIRY	00031	915162	295362	12/20/17	108.00
	MEADOW GOLD DAIRY	00031	915161	295362	12/20/17	121.50
	MEADOW GOLD DAIRY	00031	915163	295362	12/20/17	94.50
	MEADOW GOLD DAIRY	00031	915164	295362	12/20/17	121.50
	MEADOW GOLD DAIRY	00031	915165	295362	12/20/17	108.00
	MEADOW GOLD DAIRY	00031	915166	295362	12/20/17	67.50
	MEADOW GOLD DAIRY	00031	915167	295362	12/20/17	54.00
	MEADOW GOLD DAIRY	00031	915168	295362	12/20/17	67.50
	MEADOW GOLD DAIRY	00031	915169	295362	12/20/17	81.00
	MEADOW GOLD DAIRY	00031	915170	295362	12/20/17	54.00
	MEADOW GOLD DAIRY	00031	915171	295362	12/20/17	175.50
	MEADOW GOLD DAIRY	00031	915172	295362	12/20/17	40.50
	MEADOW GOLD DAIRY	00031	915173	295362	12/20/17	81.00
	MEADOW GOLD DAIRY	00031	915174	295362	12/20/17	121.50
	MEADOW GOLD DAIRY	00031	915175	295362	12/20/17	108.00
	MEADOW GOLD DAIRY	00031	915176	295362	12/20/17	27.00
	MEADOW GOLD DAIRY	00031	915177	295362	12/20/17	40.50
	MEADOW GOLD DAIRY	00031	915178	295362	12/20/17	13.50
	MEADOW GOLD DAIRY	00031	915179	295362	12/20/17	40.50
	MEADOW GOLD DAIRY	00031	915180	295362	12/20/17	27.00
	MEADOW GOLD DAIRY	00031	915181	295362	12/20/17	54.00
	MEADOW GOLD DAIRY	00031	915182	295362	12/20/17	67.50

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MEADOW GOLD DAIRY	00031	915183	295362	12/20/17	67.50
	MEADOW GOLD DAIRY	00031	915184	295362	12/20/17	40.50
	MEADOW GOLD DAIRY	00031	915185	295362	12/20/17	67.50
	MEADOW GOLD DAIRY	00031	915186	295362	12/20/17	40.50
	MEADOW GOLD DAIRY	00031	915187	295362	12/20/17	67.50
	MEADOW GOLD DAIRY	00031	915188	295362	12/20/17	175.50
	MEADOW GOLD DAIRY	00031	915189	295362	12/20/17	81.00
	MEADOW GOLD DAIRY	00031	915190	295362	12/20/17	135.00
	MEADOW GOLD DAIRY	00031	915191	295362	12/20/17	68.00
	MEADOW GOLD DAIRY	00031	915192	295362	12/20/17	122.40
	MEADOW GOLD DAIRY	00031	915193	295362	12/20/17	95.20
	MEADOW GOLD DAIRY	00031	915194	295362	12/20/17	68.00
	MEADOW GOLD DAIRY	00031	915195	295362	12/20/17	95.20
	MEADOW GOLD DAIRY	00031	915196	295362	12/20/17	95.20
	MEADOW GOLD DAIRY	00031	915197	295362	12/20/17	136.00
	MEADOW GOLD DAIRY	00031	915198	295362	12/20/17	108.80
	MEADOW GOLD DAIRY	00031	915199	295362	12/20/17	68.00
	MEADOW GOLD DAIRY	00031	915200	295362	12/20/17	108.80
	MEADOW GOLD DAIRY	00031	915201	295362	12/20/17	68.00
	MEADOW GOLD DAIRY	00031	915202	295362	12/20/17	122.40
	MEADOW GOLD DAIRY	00031	915203	295362	12/20/17	176.80
	MEADOW GOLD DAIRY	00031	915204	295362	12/20/17	136.00
	MEADOW GOLD DAIRY	00031	915205	295362	12/20/17	68.00
	MEADOW GOLD DAIRY	00031	915206	295362	12/20/17	81.60
	MEADOW GOLD DAIRY	00031	915207	295362	12/20/17	108.80
	OFFICE DEPOT	00031	915076	295274	12/19/17	19,199.92
	SYSCO DENVER	00031	915106	295280	12/19/17	2,768.68
	SYSCO DENVER	00031	915107	295280	12/19/17	3,974.86
	SYSCO DENVER	00031	915108	295280	12/19/17	40.92
	SYSCO DENVER	00031	915109	295280	12/19/17	319.98
	SYSCO DENVER	00031	915109	295280	12/19/17	3,282.19
	SYSCO DENVER	00031	915110	295280	12/19/17	625.42
	SYSCO DENVER	00031	915110	295280	12/19/17	3,313.20
	SYSCO DENVER	00031	915111	295280	12/19/17	276.07
	SYSCO DENVER	00031	915111	295280	12/19/17	3,707.54
	SYSCO DENVER	00031	915112	295280	12/19/17	61.74

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	<u>49,692.31</u>
					Department Total	<u><u>49,692.31</u></u>

County of Adams
Vendor Payment Report

<u>1079</u>	<u>Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PENNQUICK SPECIALTIES	00001	914903	295151	12/18/17	735.00
					Account Total	735.00
	Gas & Electricity					
	XCEL ENERGY	00001	915146	295359	12/20/17	8,901.75
					Account Total	8,901.75
	Maintenance Contracts					
	COMMERCIAL CLEANING SYSTEMS	00001	914905	295151	12/18/17	3,024.90
					Account Total	3,024.90
	Operating Supplies					
	HILLYARD - DENVER	00001	915150	295359	12/20/17	1,461.19
	WRIGHTWAY INDUSTRIES INC	00001	915148	295359	12/20/17	2,961.39
					Account Total	4,422.58
	Water/Sewer/Sanitation					
	WESTMINSTER CITY OF	00001	915145	295359	12/20/17	1,879.19
					Account Total	1,879.19
					Department Total	<u>18,963.42</u>

County of Adams
Vendor Payment Report

<u>935117</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
Building Rental						
	WESTMINSTER PUBLIC SCHOOLS	00031	914908	295131	12/18/17	2,177.78
	WESTMINSTER PUBLIC SCHOOLS	00031	914909	295131	12/18/17	2,177.78
	WESTMINSTER PUBLIC SCHOOLS	00031	914910	295131	12/18/17	2,177.78
	WESTMINSTER PUBLIC SCHOOLS	00031	914911	295131	12/18/17	2,177.78
					Account Total	8,711.12
Licenses and Fees						
	COLO DEPT OF HUMAN SERVICES	00031	914358	294632	12/11/17	49.00
	COLO DEPT OF HUMAN SERVICES	00031	914359	294632	12/11/17	49.00
	COLO DEPT OF HUMAN SERVICES	00031	914360	294632	12/11/17	49.00
	COLO DEPT OF HUMAN SERVICES	00031	914361	294632	12/11/17	49.00
	COLO DEPT OF HUMAN SERVICES	00031	914362	294632	12/11/17	49.00
					Account Total	245.00
Medical Services						
	COLO OCCUPATIONAL MEDICINE PHY	00031	914363	294632	12/11/17	75.00
					Account Total	75.00
Mileage Reimbursements						
	CHAVEZ MARIA M	00031	914356	294632	12/11/17	35.04
	HAGER MICHAEL	00031	914858	295131	12/18/17	68.85
	HERHOLD MARK	00031	914364	294632	12/11/17	13.59
	LILLIE SHANNON	00031	914366	294632	12/11/17	28.09
	MEMBRENO YAHAIRA	00031	914369	294632	12/11/17	32.21
	NAJEE-ULLAH NAJLA	00031	914371	294632	12/11/17	85.60
	ORTIZ REBECCA T	00031	914372	294632	12/11/17	15.30
	STEELMAN MARU E	00031	914373	294632	12/11/17	19.26
	WALMSLEY NATASHA	00031	914375	294632	12/11/17	72.97
	WHISENANT ELISA A	00031	914376	294632	12/11/17	17.12
					Account Total	388.03
Operating Supplies						
	G & K SERVICES	00031	914857	295131	12/18/17	135.28
					Account Total	135.28
Other Professional Serv						
	COLO DEPT OF HUMAN SERVICES	00031	914357	294632	12/11/17	28.00
	ORKIN PEST CONTROL	00031	914367	294632	12/11/17	85.06

County of Adams
Vendor Payment Report

<u>935118</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ORKIN PEST CONTROL	00031	914368	294632	12/11/17	87.36
					Account Total	<u>200.42</u>
	Telephone					
	CENTURY LINK	00031	914353	294632	12/11/17	132.37
	CENTURY LINK	00031	914354	294632	12/11/17	347.83
	CENTURY LINK	00031	914355	294632	12/11/17	337.09
	CENTURY LINK	00031	914855	295131	12/18/17	125.58
	CENTURY LINK	00031	914856	295131	12/18/17	169.60
					Account Total	<u>1,112.47</u>
					Department Total	<u><u>10,867.32</u></u>

County of Adams
Vendor Payment Report

<u>935618</u>	<u>HS CACFP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SYSCO DENVER	00031	914859	295131	12/18/17	791.48
	SYSCO DENVER	00031	914860	295131	12/18/17	614.04
					Account Total	<u>1,405.52</u>
					Department Total	<u><u>1,405.52</u></u>

County of Adams
Vendor Payment Report

<u>8622</u>	<u>Insurance -Benefits & Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	ADAMS COUNTY FOSTER CHILDREN	00019	915227	295383	12/20/17	<u>1,200.00</u>
					Account Total	<u>1,200.00</u>
					Department Total	<u><u>1,200.00</u></u>

County of Adams
Vendor Payment Report

19	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ARTHUR J GALLAGHER	00019	914667	294847	12/13/17	1,260.00
	BERG HILL GREENLEAF & RUSCITTI	00019	914662	294847	12/13/17	7,773.74
	CAREHERE LLC	00019	914623	294843	12/13/17	569.57
	CAREHERE LLC	00019	914623	294843	12/13/17	4,466.39
	CAREHERE LLC	00019	914623	294843	12/13/17	1,200.83
	CAREHERE LLC	00019	914623	294843	12/13/17	32,173.48
	CAREHERE LLC	00019	915015	295268	12/19/17	505.13
	CAREHERE LLC	00019	915015	295268	12/19/17	1,782.30
	CAREHERE LLC	00019	915015	295268	12/19/17	1,070.15
	CAREHERE LLC	00019	915015	295268	12/19/17	20,768.61
	COLO FRAME & SUSPENSION	00019	914658	294847	12/13/17	1,474.53
	COLO FRAME & SUSPENSION	00019	914659	294847	12/13/17	1,030.52
	COLO FRAME & SUSPENSION	00019	914660	294847	12/13/17	1,232.82
	DAVIS GRAHAM & STUBBS LLP	00019	915049	295274	12/19/17	2,940.50
	EMPLOYERS UNITY LLC	00019	915339	295490	12/21/17	1,807.00
	LONGMONT FORD	00019	914661	294847	12/13/17	610.82
	MAJOR ADJUSTING CO	00019	915158	295362	12/20/17	100.00
	MAJOR ADJUSTING CO	00019	915158	295362	12/20/17	46.00
	NATHAN DUMM & MAYER PC	00019	914664	294847	12/13/17	1,381.71
					Account Total	82,194.10
					Department Total	<u>82,194.10</u>

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	A & E TIRE INC	00019	914494	294713	12/12/17	94.07
					Account Total	94.07
	General Liab - Other than Prop					
	DENVER CITY AND COUNTY OF	00019	915343	295491	12/21/17	6,790.96
	JUDICIAL ARBITER GROUP INC	00019	914490	294713	12/12/17	1,599.00
					Account Total	8,389.96
					Department Total	<u>8,484.03</u>

County of Adams
Vendor Payment Report

<u>1061</u>	<u>IT Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	HERRERA KATHERINE	00001	915319	295488	12/21/17	<u>29.00</u>
					Account Total	<u>29.00</u>
					Department Total	<u><u>29.00</u></u>

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ALCHEMY CONSULTING LLC	00001	914728	294923	12/14/17	4,920.00
					Account Total	<u>4,920.00</u>
	Education & Training					
	JO MATTOON ASSOCIATES	00001	914872	295139	12/18/17	2,437.50
					Account Total	<u>2,437.50</u>
					Department Total	<u><u>7,357.50</u></u>

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ISP Services					
	COMCAST BUSINESS	00001	914553	294736	12/12/17	1,700.00
					Account Total	<u>1,700.00</u>
	Telephone					
	TDS TELECOM	00001	914912	295156	12/18/17	839.49
					Account Total	<u>839.49</u>
					Department Total	<u><u>2,539.49</u></u>

County of Adams
Vendor Payment Report

<u>1019</u>	<u>Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	UNITED STATES POSTAL SERVICE	00001	914890	295150	12/18/17	110.06
					Account Total	110.06
					Department Total	110.06

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg DREXEL BARRELL & CO	00027	915056	295274	12/19/17	163.89
					Account Total	163.89
					Department Total	163.89

County of Adams
Vendor Payment Report

<u>3128</u>	<u>Park 1200-HS</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	EGAN PRINTING CO	00004	914892	295151	12/18/17	<u>714.75</u>
					Account Total	<u>714.75</u>
					Department Total	<u><u>714.75</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	AAA PEST PROS	00001	914891	295151	12/18/17	395.00
					Account Total	395.00
					Department Total	395.00

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	ADAMS COUNTY FOSTER CHILDREN	00001	915226	295383	12/20/17	<u>2,055.00</u>
					Account Total	<u>2,055.00</u>
					Department Total	<u><u>2,055.00</u></u>

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUZEK, VINCE	00001	914836	295123	12/18/17	65.00
	GARNER, ROSIE	00001	914837	295123	12/18/17	65.00
	HERRERA, AARON	00001	914838	295123	12/18/17	65.00
	JALIL, FARID A	00001	914842	295123	12/18/17	65.00
	MONTOYA FEDERICO V	00001	914839	295123	12/18/17	65.00
	RICHARDSON SHARON	00001	914840	295123	12/18/17	65.00
	THOMPSON GREGORY PAUL	00001	914841	295123	12/18/17	65.00
					Account Total	455.00
					Department Total	455.00

County of Adams
Vendor Payment Report

13	Road & Bridge Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	BOULDER COUNTY	00013	915054	295274	12/19/17	13,000.00
	BRANNAN SAND & GRAVEL COMPANY	00013	914643	294843	12/13/17	2,013.10
	BRANNAN SAND & GRAVEL COMPANY	00013	914644	294843	12/13/17	1,664.60
	BRANNAN SAND & GRAVEL COMPANY	00013	914644	294843	12/13/17	1,942.17
	BRANNAN SAND & GRAVEL COMPANY	00013	914645	294843	12/13/17	1,813.43
	BRANNAN SAND & GRAVEL COMPANY	00013	914646	294843	12/13/17	2,009.82
	BRANNAN SAND & GRAVEL COMPANY	00013	914647	294843	12/13/17	2,729.37
	BRANNAN SAND & GRAVEL COMPANY	00013	914648	294843	12/13/17	1,016.80
	BRANNAN SAND & GRAVEL COMPANY	00013	914649	294843	12/13/17	123.41
	BRANNAN SAND & GRAVEL COMPANY	00013	914650	294843	12/13/17	123.41
	BRANNAN SAND & GRAVEL COMPANY	00013	914651	294843	12/13/17	132.84
	BRANNAN SAND & GRAVEL COMPANY	00013	914652	294843	12/13/17	123.00
	BRANNAN SAND & GRAVEL COMPANY	00013	914653	294843	12/13/17	125.87
	DREXEL BARRELL & CO	00013	915104	295280	12/19/17	794.88
	HUITT-ZOLLARS INC	00013	914638	294843	12/13/17	10,078.12
	HUITT-ZOLLARS INC	00013	914638	294843	12/13/17	13,601.88
	ICON ENGINEERING INC	00013	915060	295274	12/19/17	356.00
	IMS	00013	915246	295393	12/20/17	50,337.00
	ROADSAFE TRAFFIC SYSTEMS	00013	915020	295268	12/19/17	149,336.84
	UNIVERSAL FIELD SERVICES INC	00013	915103	295280	12/19/17	10,079.46
	W L CONTRACTORS INC	00013	914654	294843	12/13/17	16,280.00
					Account Total	277,682.00
					Department Total	277,682.00

County of Adams
Vendor Payment Report

<u>94</u>	<u>Sheriff Payables</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fingerprint Cards - CBI					
	COLO BUREAU OF INVESTIGATION	00094	915223	295374	12/20/17	<u>12,025.50</u>
					Account Total	<u>12,025.50</u>
					Department Total	<u><u>12,025.50</u></u>

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	<u>75.44</u>
					Account Total	<u>75.44</u>
					Department Total	<u><u>75.44</u></u>

County of Adams
Vendor Payment Report

<u>3701</u>	<u>Stormwater Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ARCHULETA MARIA J	00007	914982	295261	12/19/17	<u>22.04</u>
					Account Total	<u>22.04</u>
					Department Total	<u><u>22.04</u></u>

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DENVER ZOO	00007	915248	295393	12/20/17	<u>2,950.00</u>
					Account Total	<u>2,950.00</u>
					Department Total	<u><u>2,950.00</u></u>

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	10.77
					Account Total	10.77
	Uniforms & Cleaning					
	ADAMSON POLICE PRODUCTS	00001	914753	294934	12/14/17	98.00
					Account Total	98.00
					Department Total	108.77

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	277.09
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	127.64
					Account Total	404.73
	Operating Supplies					
	ERGOMETRICS & APPLIED PERSONNE	00001	915238	295388	12/20/17	3,896.60
					Account Total	3,896.60
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	915236	295388	12/20/17	235.00
	POINT SPORTS/ERGOMED	00001	915237	295388	12/20/17	720.00
					Account Total	955.00
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	914764	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914765	294934	12/14/17	89.80
					Account Total	129.80
	Travel & Transportation					
	LAWSON HAROLD L V	00001	915239	295388	12/20/17	110.00
					Account Total	110.00
					Department Total	5,496.13

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	107.04
					Account Total	107.04
	Other Professional Serv					
	TYGRETT DEBRA R	00001	915242	295388	12/20/17	362.00
					Account Total	362.00
					Department Total	469.04

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	108.28
					Account Total	108.28
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	914763	294934	12/14/17	160.00
					Account Total	160.00
	Uniforms & Cleaning					
	ADAMSON POLICE PRODUCTS	00001	914751	294934	12/14/17	248.00
	GALLS LLC	00001	914825	295058	12/15/17	230.96
					Account Total	478.96
					Department Total	747.24

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	616.47
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	382.91
					Account Total	999.38
	Food Services					
	SUMMIT FOOD SERVICE LLC	00001	914588	294731	12/13/17	147.32
					Account Total	147.32
	Mileage Reimbursements					
	BOWMAN LORI	00001	914551	294731	12/12/17	42.80
					Account Total	42.80
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	914552	294731	12/12/17	193.40
					Account Total	193.40
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	915236	295388	12/20/17	680.00
					Account Total	680.00
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	914763	294934	12/14/17	80.00
					Account Total	80.00
	Special Events					
	RIVERDALE GOLF COURSE	00001	914587	294731	12/13/17	9,236.00
					Account Total	9,236.00
	Uniforms & Cleaning					
	GALLS LLC	00001	914825	295058	12/15/17	769.95
	PRO FORCE LAW ENFORCEMENT	00001	915241	295388	12/20/17	933.35
					Account Total	1,703.30
					Department Total	13,082.20

County of Adams
Vendor Payment Report

<u>2081</u>	<u>SHF- Donated Programs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	COMMERCE CITY POLICE DEPT	00001	914584	294731	12/13/17	<u>40.00</u>
					Account Total	<u>40.00</u>
					Department Total	<u><u>40.00</u></u>

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	PIPER COMMUNICATION SERVICES I	00001	914826	295058	12/15/17	475.00
	PIPER COMMUNICATION SERVICES I	00001	914827	295058	12/15/17	475.00
					Account Total	<u>950.00</u>
					Department Total	<u><u>950.00</u></u>

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	100.85
					Account Total	100.85
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	914585	294731	12/13/17	260.59
	DS WATERS OF AMERICA INC	00001	914824	295058	12/15/17	22.10
	E470 PUBLIC HIGHWAY AUTHORITY	00001	914554	294731	12/12/17	25.00
					Account Total	307.69
	Other Communications					
	LEXISNEXIS RISK SOLUTIONS	00001	914586	294731	12/13/17	100.79
					Account Total	100.79
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	914754	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914755	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914756	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914757	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914758	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914759	294934	12/14/17	40.00
	COPYCO QUALITY PRINTING INC	00001	914761	294934	12/14/17	40.00
					Account Total	280.00
	Uniforms & Cleaning					
	ADAMSON POLICE PRODUCTS	00001	914752	294934	12/14/17	318.00
	COPYCO QUALITY PRINTING INC	00001	914766	294934	12/14/17	583.45
	GALLS LLC	00001	914825	295058	12/15/17	37.12
					Account Total	938.57
					Department Total	<u>1,727.90</u>

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	107.84
					Account Total	107.84
	Extraditions					
	WORLD CONNECTIONS TRAVEL	00001	914589	294731	12/13/17	2,146.00
					Account Total	2,146.00
					Department Total	<u>2,253.84</u>

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	914655	294731	12/13/17	43.71
					Account Total	43.71
	Other Professional Serv					
	NORTHGLENN AMBULANCE	00001	915240	295388	12/20/17	289.80
					Account Total	289.80
	Traffic Fines					
	VLADIMIROVNA IVANOVA VERA	00001	914590	294731	12/13/17	10.00
					Account Total	10.00
					Department Total	<u>343.51</u>

County of Adams
Vendor Payment Report

<u>2024</u>	<u>SHF- Volunteer Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ROWLAND CLAUDIA	00001	914624	294731	12/13/17	<u>90.64</u>
					Account Total	<u>90.64</u>
					Department Total	<u><u>90.64</u></u>

County of Adams
Vendor Payment Report

<u>3052</u>	<u>Transportation Constr & Inspec</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Licenses and Fees					
	CDPHE	00013	914578	294821	12/13/17	2,790.00
					Account Total	<u>2,790.00</u>
	Uniforms & Cleaning					
	GRAINGER	00013	914343	294609	12/11/17	150.00
					Account Total	<u>150.00</u>
					Department Total	<u><u>2,940.00</u></u>

County of Adams
Vendor Payment Report

<u>9291</u>	<u>Veterans Service Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SHEETZ ROBERT J	00001	914972	295261	12/19/17	65.32
	SHEETZ ROBERT J	00001	914974	295261	12/19/17	85.92
					Account Total	151.24
					Department Total	151.24

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	CENTURYLINK	00035	914571	294813	12/13/17	112.31
					Account Total	112.31
					Department Total	112.31

County of Adams
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	B & B ENVIRONMENTAL SAFETY INC	00025	915084	295280	12/19/17	4,045.37
	COLO DEPT OF PUBLIC HEALTH AND	00025	915085	295280	12/19/17	1,275.00
	QUANTUM WATER CONSULTING	00025	915089	295280	12/19/17	24,154.28
	TRI COUNTY HEALTH DEPT	00025	915087	295280	12/19/17	10,541.88
					Account Total	40,016.53
					Department Total	40,016.53

County of Adams
Vendor Payment Report

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	914882	295147	12/18/17	<u>15.00</u>
					Account Total	<u>15.00</u>
					Department Total	<u><u>15.00</u></u>

County of Adams
Vendor Payment Report

<u>99600</u>	<u>WBC Admin Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ZOBEL GABRIELE	00035	914570	294813	12/13/17	<u>12.84</u>
					Account Total	<u>12.84</u>
					Department Total	<u><u>12.84</u></u>

County of Adams
Vendor Payment Report

<u>99700</u>	<u>WIB Expenses</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	CENTURYLINK	00035	914571	294813	12/13/17	50.61
					Account Total	50.61
					Department Total	50.61

County of Adams
Vendor Payment Report

Grand Total 2,897,313.65

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	728,751.66
4	Capital Facilities Fund	1,820.00
5	Golf Course Enterprise Fund	10,748.52
6	Equipment Service Fund	302,562.07
13	Road & Bridge Fund	477,706.83
19	Insurance Fund	17,731.97
25	Waste Management Fund	375.00
27	Open Space Projects Fund	9,135.09
28	Open Space Sales Tax Fund	4,528.60
30	Community Dev Block Grant Fund	22,040.00
31	Head Start Fund	782.50
35	Workforce & Business Center	782.95
43	Front Range Airport	15,612.83
44	Water and Wastewater Fund	6,768.10
50	FLATROCK Facility Fund	10,249.19
		<u>1,609,595.31</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718203	339325	APPLIED TRUST INC	12/27/17	2,656.21
00718212	13160	BRIGHTON CITY OF (WATER)	12/27/17	3,158.69
00718216	5050	COLO DIST ATTORNEY COUNCIL	12/27/17	2,780.80
00718217	209334	COLO NATURAL GAS INC	12/27/17	549.47
00718218	48089	COMCAST BUSINESS	12/27/17	1,700.00
00718219	519505	DENOVO VENTURES LLC	12/27/17	277.50
00718220	370160	EIDE BAILLY LLP	12/27/17	7,350.00
00718222	338868	ERVIN STACY	12/27/17	57.78
00718225	13565	INTERMOUNTAIN REA	12/27/17	797.08
00718226	43161	LOPEZ PAULINA R	12/27/17	24.61
00718227	13719	MORGAN COUNTY REA	12/27/17	170.74
00718228	13591	MWI VETERINARY SUPPLY CO	12/27/17	3,560.38
00718230	369706	SANDOVAL DANIELLE	12/27/17	74.37
00718231	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	303.65
00718232	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	23.20
00718233	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	44.30
00718234	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	44.30
00718235	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	414.49
00718236	13932	SOUTH ADAMS WATER & SANITATION	12/27/17	1,113.12
00718237	227044	SOUTHWESTERN PAINTING	12/27/17	37,758.00
00718239	1007	UNITED POWER (UNION REA)	12/27/17	1,798.80
00718240	1007	UNITED POWER (UNION REA)	12/27/17	139.13
00718241	1007	UNITED POWER (UNION REA)	12/27/17	14,804.00
00718242	1007	UNITED POWER (UNION REA)	12/27/17	2,244.00
00718243	40340	WINDSTREAM COMMUNICATIONS	12/27/17	1,800.74
00718244	546500	23.4 DEGREES	12/27/17	3,309.00
00718245	91631	ADAMSON POLICE PRODUCTS	12/27/17	81.00
00718246	433987	ADCO DISTRICT ATTORNEY'S OFFIC	12/27/17	452.31
00718247	445583	ALVAREZ MEGAN	12/27/17	111.82
00718248	14136	BUTLER RENTS	12/27/17	1,643.52
00718249	45321	CARDENAS LIDIA M	12/27/17	103.04
00718250	9902	CHEMATOX LABORATORY INC	12/27/17	915.00
00718251	88753	COLO 4-H FOUNDATION	12/27/17	586.00
00718252	4071	DEER TRAIL / EAST ADAMS	12/27/17	9,500.00
00718253	24524	E470 PUBLIC HIGHWAY AUTHORITY	12/27/17	81.90
00718254	12689	GALLS LLC	12/27/17	1,405.58

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718255	438625	GOVERNOR'S OFFICE OF IT	12/27/17	820.70
00718256	258970	HAMMOND ERIC	12/27/17	147.66
00718257	33278	HURDELBRINK JULIA	12/27/17	338.12
00718258	554781	JUSTICE MANAGEMENT INSTITUTE	12/27/17	39,862.00
00718259	266471	MAZE AMANDA	12/27/17	178.50
00718260	16428	NICOLETTI-FLATER ASSOCIATES	12/27/17	4,502.50
00718261	463401	BUSH MELVIN E	12/28/17	65.00
00718262	645424	GARCIA JUAN ALBERTO	12/28/17	65.00
00718263	638360	KALAVITY KAREN FRANCES	12/28/17	65.00
00718264	637831	MCCREARY RAPHAEL	12/28/17	65.00
00718265	573416	NYHOLM STEWART E	12/28/17	65.00
00718266	29382	PRESIDENT & FELLOWS OF HARVARD	12/28/17	7,650.00
00718267	315130	STANFIELD THOMSON	12/28/17	65.00
00718271	43744	AUTOMATED BUILDING SOLUTIONS I	12/28/17	84,325.00
00718273	3020	BENNETT TOWN OF	12/28/17	1,500.00
00718274	48966	BUEHLER MOVING & STORAGE	12/28/17	1,851.25
00718275	134733	CASA	12/28/17	2,000.00
00718278	255194	CHAMBERS HOLDINGS LLC	12/28/17	14,686.76
00718279	40398	CINTAS CORPORATION #66	12/28/17	142.23
00718280	1909	COLO DOORWAYS INC	12/28/17	4,212.00
00718282	13540	HURON ANIMAL HOSPITAL	12/28/17	77.00
00718283	418327	IC CHAMBERS LP	12/28/17	6,254.16
00718285	13565	INTERMOUNTAIN REA	12/28/17	4.63
00718287	485045	KORBY LANDSCAPE LLC	12/28/17	7,336.00
00718288	595839	KRAICH ADAM	12/28/17	10.00
00718290	13591	MWI VETERINARY SUPPLY CO	12/28/17	158.59
00718291	91870	PFX PET SUPPLY	12/28/17	446.75
00718292	176327	PITNEY BOWES	12/28/17	4,084.77
00718293	308437	RANDSTAD US LP	12/28/17	881.70
00718295	668853	RUSS T DIAMONDS INC	12/28/17	2,250.00
00718297	38961	SHREVE JEANNE	12/28/17	134.93
00718298	227044	SOUTHWESTERN PAINTING	12/28/17	53,578.00
00718299	281167	SPECTRA CONTRACT FLOORING SERV	12/28/17	275.00
00718300	41127	THYSSENKRUPP ELEVATOR CORP	12/28/17	5,876.00
00718301	1007	UNITED POWER (UNION REA)	12/28/17	4,088.67
00718302	609303	VERDEK	12/28/17	560.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718303	544338	WESTAR REAL PROPERTY SERVICES	12/28/17	14,281.36
00718304	13883	ADAMS COUNTY SHERIFF	12/29/17	99.34
00718306	327129	AIRGAS USA LLC	12/29/17	44.40
00718307	338857	AYRES ASSOCIATES INC	12/29/17	46,244.11
00718308	33944	B C INTERIORS	12/29/17	60.00
00718309	13160	BRIGHTON CITY OF (WATER)	12/29/17	82.32
00718310	13160	BRIGHTON CITY OF (WATER)	12/29/17	702.73
00718311	13160	BRIGHTON CITY OF (WATER)	12/29/17	225.20
00718312	13160	BRIGHTON CITY OF (WATER)	12/29/17	13,913.96
00718313	13160	BRIGHTON CITY OF (WATER)	12/29/17	16,945.78
00718314	625677	CODE 4 SECURITY SERVICES LLC	12/29/17	550.00
00718316	78873	COMCAST CABLE	12/29/17	1.06
00718318	181668	DOMINION VOTING SYSTEMS INC	12/29/17	993.85
00718324	13375	MCINTOSH MICHAEL TODD	12/29/17	121.00
00718326	443757	NRG DGPV FUND 1 LLC	12/29/17	383.63
00718327	443757	NRG DGPV FUND 1 LLC	12/29/17	75.33
00718328	443757	NRG DGPV FUND 1 LLC	12/29/17	433.52
00718331	36746	PEDRUCCI MARC R	12/29/17	115.88
00718334	13538	SHRED IT USA LLC	12/29/17	398.95
00718335	42818	STATE OF COLORADO	12/29/17	178.62
00718336	42818	STATE OF COLORADO	12/29/17	504.96
00718339	4755	THORNTON CITY OF WATER & SEWER	12/29/17	181.45
00718341	666214	TYGRET DEBRA R	12/29/17	342.00
00718342	8811536	UNIVERSITY OF COLO. HOSPITAL A	12/29/17	680.00
00718343	28617	VERIZON WIRELESS	12/29/17	1,279.90
00718345	46796	WESTMINSTER CITY OF	12/29/17	35.01
00718346	46796	WESTMINSTER CITY OF	12/29/17	695.30
00718347	13822	XCEL ENERGY	12/29/17	1,674.83
00718355	289574	BONASERA BETHANY	12/29/17	77.15
00718357	647801	CML SECURITY LLC	12/29/17	12,500.00
00718358	274030	COMMUNICATION CONSTRUCTION & E	12/29/17	4,150.00
00718360	140791	LATITUDE GEOGRAPHICS GROUP LTD	12/29/17	4,981.25
00718362	38974	MINUTEMAN PRESS-BRIGHTON	12/29/17	447.99
00718364	286760	PHAM HUNG	12/29/17	110.00
00718365	137851	TIERNEY JENNIFER	12/29/17	84.21
00718380	35652	ABELMAN LAW OFFICE	12/29/17	19.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718382	98435	ACCOUNT BROKERS OF LARIMER COU	12/29/17	19.00
00718383	383698	ALLIED UNIVERSAL SECURITY SERV	12/29/17	1,612.80
00718385	620294	BOVE LAW OFFICES	12/29/17	70.00
00718386	669043	BRIGHTON HOUSE	12/29/17	66.00
00718387	669044	BURNS JENNIFER LYNN	12/29/17	19.00
00718388	2509	CCI	12/29/17	450.00
00718389	2509	CCI	12/29/17	450.00
00718390	669045	DAVE NAGLE LAW OFFICE	12/29/17	19.00
00718391	7151	DENVER TENT COMPANY	12/29/17	2,110.07
00718392	669046	DESIGN PLATFORM	12/29/17	19.00
00718393	219483	ECONOMIC & PLANNING SYSTEMS IN	12/29/17	12,928.52
00718394	633833	EZ MESSENGER	12/29/17	19.00
00718395	669047	FLEMING KELLEN MICHAEL	12/29/17	19.00
00718396	327003	GRIMES CECILIA	12/29/17	36.38
00718397	669048	HILL DENAE	12/29/17	19.00
00718398	219323	HINDMANSANCHEZ	12/29/17	38.00
00718399	644715	HOFFERBERTH BRADFORD	12/29/17	19.00
00718400	33680	HOLLAND AND HART LLP	12/29/17	4,000.00
00718401	79260	IDEXX DISTRIBUTION INC	12/29/17	1,280.03
00718402	80817	INTERGRAPH CORPORATION	12/29/17	10,946.94
00718403	44965	INTERVENTION COMMUNITY CORRECT	12/29/17	3,286.36
00718404	669049	JVALERA DELFINA	12/29/17	19.00
00718405	669050	JIMENEZ DOLORES	12/29/17	19.00
00718406	219608	JUSTICE AND MERCY LEGAL AID CL	12/29/17	19.00
00718407	77611	KD SERVICE GROUP	12/29/17	533.19
00718408	259756	KLASS PHILIP	12/29/17	132.00
00718409	166679	LEACHMAN, MARK A	12/29/17	19.00
00718410	669051	LEE DAVID JUN	12/29/17	19.00
00718411	381372	MACHOL & JOHANNES, LLC	12/29/17	57.00
00718412	122854	MAILFINANCE	12/29/17	985.23
00718413	669052	MAXX PROPERTIES CORPORATION	12/29/17	38.00
00718415	418857	MILLER COHEN PETERSON YOUNG	12/29/17	16.00
00718416	374475	MOORE LAW GROUP APC	12/29/17	38.00
00718417	42431	MOUNTAIN STATES IMAGING LLC	12/29/17	726.66
00718418	13591	MWI VETERINARY SUPPLY CO	12/29/17	536.10
00718419	669053	NEYENS EUGENE	12/29/17	66.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718421	230316	OLD DOMINION MANAGEMENT	12/29/17	66.00
00718422	82559	PICTOMETRY INTL CORP	12/29/17	47,927.70
00718423	584601	PIONEER TECHNOLOGY GROUP LLC	12/29/17	63,000.00
00718424	4714	PLOTTER SUPPLIES INC	12/29/17	4,044.00
00718426	418250	PROVEST CALIFORNIA	12/29/17	19.00
00718427	669054	PROVEST LITIGATION SERVICES	12/29/17	19.00
00718428	163837	PTS OF AMERICA LLC	12/29/17	981.00
00718429	644740	REAGAN PURSCHKE RACHEL	12/29/17	19.00
00718430	654120	ROBINSON AND HENRY	12/29/17	66.00
00718431	669055	ROMERO DEBBIE DARLENE	12/29/17	19.00
00718433	98724	SCHAREN DIANNA	12/29/17	36.38
00718435	71946	SPRINGMAN, BRADEN, WILSON & PO	12/29/17	1,062.00
00718436	669056	STATE OF OREGON DIVISION OF CH	12/29/17	19.00
00718437	645706	TAPIA DELGADO ARTURO	12/29/17	19.00
00718439	669057	TROPPITO MILLER GRIFFIN	12/29/17	19.00
00718440	218715	TSCHETTER HAMRICK SULZER	12/29/17	2,112.00
00718442	669058	VARGAS RAUL VICTORINO	12/29/17	19.00
00718443	27815	WAKEFIELD & ASSOCIATES INC	12/29/17	57.00
00718444	669059	WALLS MICHAEL JACK	12/29/17	19.00
00718445	669060	WEINRAUCH MICHAEL	12/29/17	112.00
00718447	547112	WESTERN CONTROL SERVICES	12/29/17	19.00
00718448	4840	ADAMS COUNTY SHERIFF	12/29/17	64.00
00718449	429633	ANDERSON CASSIE	12/29/17	179.76
00718450	43744	AUTOMATED BUILDING SOLUTIONS I	12/29/17	6,975.00
00718455	28726	G & K SERVICES	12/29/17	199.42
00718456	34197	GOURD THADDEUS	12/29/17	439.24
00718457	26333	GRAF TREVOR G	12/29/17	121.98
00718458	665363	HIMMLER JACOB	12/29/17	400.00
00718459	52940	MCDOWELL SHANNON	12/29/17	93.95
00718461	13774	NORTH PECOS WATER & SANITATION	12/29/17	36.86
00718463	669154	ROWMAN & LITTLEFIELD PUBLISHIN	12/29/17	77.54
00718465	227044	SOUTHWESTERN PAINTING	12/29/17	1,522.00
00718466	52553	SWEEPSTAKES UNLIMITED	12/29/17	30.00
00718488	344160	VIELMA MARIANA	12/29/17	146.81
00718489	20710	WILLIS MARY T	12/29/17	44.35
00718504	91631	ADAMSON POLICE PRODUCTS	12/29/17	12,675.00

Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718506	263163	CELLEBRITE USA INC	12/29/17	7,400.00
00718509	37117	DATAWORKS PLUS LLC	12/29/17	51,442.08
00718510	12689	GALLS LLC	12/29/17	8,674.68
00718511	545376	LINX	12/29/17	3,853.09
Fund Total				728,751.66

Net Warrants by Fund Detail

4 Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718238	527100	TREANOR ARCHITECTS PA	12/27/17	1,720.00
00718356	256075	BRIGHTON FIRE RESCUE DISTRICT	12/29/17	100.00
Fund Total				1,820.00

Net Warrants by Fund Detail

5Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718305	8579	AGFINITY INC	12/29/17	1,297.50
00718320	804964	GRAINGER	12/29/17	357.70
00718322	11496	L L JOHNSON DIST	12/29/17	5,008.38
00718323	46175	MASEK GOLF CAR COMPANY	12/29/17	57.36
00718325	41651	NAPA	12/29/17	65.98
00718337	136723	SUNBELT RENTALS	12/29/17	2,812.60
00718340	47140	TORO NSN	12/29/17	649.00
00718353	80505	3E COMPANY	12/29/17	500.00
			Fund Total	10,748.52

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718379	11657	A & E TIRE INC	12/29/17	5,284.08
00718381	295403	ABRA AUTO BODY & GLASS	12/29/17	25.00
00718384	13161	ARNOLD MACHINERY COMPANY	12/29/17	61,279.62
00718425	324769	PRECISE MRM LLC	12/29/17	6,075.00
00718432	16237	SAM HILL OIL INC	12/29/17	16,563.77
00718434	99671	SPRADLEY BARR FORD GREELEY	12/29/17	213,295.00
00718486	65420	VANDERBROEK SCOTT	12/29/17	39.60
Fund Total				302,562.07

Net Warrants by Fund Detail

13

Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718201	13074	ALBERT FREI & SONS INC	12/27/17	20,237.77
00718204	23969	ASPHALT SPECIALTIES CO INC	12/27/17	3,921.68
00718205	23969	ASPHALT SPECIALTIES CO INC	12/27/17	876.24
00718206	23969	ASPHALT SPECIALTIES CO INC	12/27/17	2,556.08
00718207	23969	ASPHALT SPECIALTIES CO INC	12/27/17	2,535.84
00718208	23969	ASPHALT SPECIALTIES CO INC	12/27/17	6,358.16
00718209	23969	ASPHALT SPECIALTIES CO INC	12/27/17	3,359.42
00718210	23969	ASPHALT SPECIALTIES CO INC	12/27/17	5,755.47
00718211	8909	BRANNAN SAND & GRAVEL COMPANY	12/27/17	309.14
00718215	2305	COBITCO INC	12/27/17	536.50
00718221	29821	ENNIS PAINT INC	12/27/17	544.26
00718223	346750	FACTORY MOTOR PARTS	12/27/17	42.35
00718224	212385	GMCO CORPORATION	12/27/17	10,220.00
00718229	430098	REPUBLIC SERVICES #535	12/27/17	53.25
00718276	34467	CDOT PROJECT	12/28/17	298,400.77
00718294	669041	ROOD ELEANOR C	12/28/17	100.00
00718296	669042	SHEERAN VIRGINIA A	12/28/17	100.00
00718414	51500	MERRICK & COMPANY	12/29/17	3,115.00
00718420	647604	NORVIC PROPERTIES LLC	12/29/17	3,156.00
00718438	13978	THORNTON CITY OF	12/29/17	81,726.43
00718441	1994	URS CORPORATION	12/29/17	321.31
00718446	665973	WELBY BUSINESS PARK LLC	12/29/17	550.00
00718467	1007	UNITED POWER (UNION REA)	12/29/17	23.16
00718468	1007	UNITED POWER (UNION REA)	12/29/17	48.84
00718469	1007	UNITED POWER (UNION REA)	12/29/17	34.00
00718470	1007	UNITED POWER (UNION REA)	12/29/17	122.55
00718471	1007	UNITED POWER (UNION REA)	12/29/17	36.00
00718472	1007	UNITED POWER (UNION REA)	12/29/17	105.83
00718473	1007	UNITED POWER (UNION REA)	12/29/17	38.51
00718474	1007	UNITED POWER (UNION REA)	12/29/17	178.30
00718475	1007	UNITED POWER (UNION REA)	12/29/17	16.50
00718476	1007	UNITED POWER (UNION REA)	12/29/17	48.84
00718477	1007	UNITED POWER (UNION REA)	12/29/17	24.37
00718478	1007	UNITED POWER (UNION REA)	12/29/17	33.00
00718479	1007	UNITED POWER (UNION REA)	12/29/17	20.34
00718480	1007	UNITED POWER (UNION REA)	12/29/17	16.50

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718481	1007	UNITED POWER (UNION REA)	12/29/17	153.62
00718482	1007	UNITED POWER (UNION REA)	12/29/17	88.49
00718483	1007	UNITED POWER (UNION REA)	12/29/17	16.50
00718484	1007	UNITED POWER (UNION REA)	12/29/17	33.00
00718490	13822	XCEL ENERGY	12/29/17	43.04
00718491	13822	XCEL ENERGY	12/29/17	3,125.93
00718492	13822	XCEL ENERGY	12/29/17	26,181.37
00718493	13822	XCEL ENERGY	12/29/17	207.86
00718494	13822	XCEL ENERGY	12/29/17	204.68
00718495	13822	XCEL ENERGY	12/29/17	2.97
00718496	13822	XCEL ENERGY	12/29/17	188.93
00718497	13822	XCEL ENERGY	12/29/17	1,257.48
00718498	13822	XCEL ENERGY	12/29/17	24.07
00718499	13822	XCEL ENERGY	12/29/17	130.40
00718500	13822	XCEL ENERGY	12/29/17	229.98
00718501	13822	XCEL ENERGY	12/29/17	113.14
00718502	13822	XCEL ENERGY	12/29/17	142.24
00718503	13822	XCEL ENERGY	12/29/17	40.72
Fund Total				477,706.83

Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718268	27429	ARTHUR J GALLAGHER	12/28/17	2,842.00
00718269	27429	ARTHUR J GALLAGHER	12/28/17	1,032.33
00718270	27429	ARTHUR J GALLAGHER	12/28/17	10,230.49
00718281	346750	FACTORY MOTOR PARTS	12/28/17	303.69
00718286	13771	JOE'S TOWING & RECOVERY	12/28/17	103.00
00718289	94481	LONGMONT FORD	12/28/17	827.19
00718451	148914	CHILDRENS HOSPITAL	12/29/17	1,070.87
00718452	44894	DRUG TESTING SERVICES INC	12/29/17	425.00
00718453	418572	ERGONOMIC INNOVATIONS	12/29/17	444.00
00718454	541231	FINELINE GRAPHICS	12/29/17	307.00
00718485	30402	UNIVERSITY OF COLO MEDICINE	12/29/17	146.40
Fund Total				17,731.97

County of Adams
Net Warrants by Fund Detail

25

Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718361	669090	MCDONALD FARMS ENTERPRISES INC	12/29/17	375.00
Fund Total				375.00

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718284	4879	IDEAL FENCING CORPORATION	12/28/17	6,715.09
00718333	14189	RW BAYER & ASSOCIATES	12/29/17	2,420.00
Fund Total				9,135.09

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718359	510586	EGAN PRINTING CO	12/29/17	4,440.00
00718462	69803	PETERSEN RENEE	12/29/17	88.60
Fund Total				4,528.60

Net Warrants by Fund Detail

30

Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718213	3827	BROTHERS REDEVELOPMENT INC	12/27/17	22,040.00
			Fund Total	22,040.00

Net Warrants by Fund Detail

31

Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718214	327914	CESCO LINGUISTIC SERVICE INC 2	12/27/17	699.50
00718277	327914	CESCO LINGUISTIC SERVICE INC 2	12/28/17	83.00
Fund Total				782.50

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718460	669008	MIRAMONTES KARINA	12/29/17	65.00
00718464	13538	SHRED IT USA LLC	12/29/17	100.00
00718487	8076	VERIZON WIRELESS	12/29/17	617.95
Fund Total				782.95

Net Warrants by Fund Detail

43**Front Range Airport**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718317	80156	DISH NETWORK	12/29/17	138.02
00718319	591849	FRONT RANGE HOOD CLEANING LLC	12/29/17	695.00
00718321	207387	KEN'S REPRODUCTIONS	12/29/17	125.00
00718329	80249	OFFEN PETROLEUM INC	12/29/17	1,526.30
00718330	618136	PARAGON DINING SERVICES	12/29/17	6,190.14
00718338	66264	SYSTEMS GROUP	12/29/17	818.12
00718344	80279	VERIZON WIRELESS	12/29/17	493.96
00718348	13822	XCEL ENERGY	12/29/17	12.78
00718349	13822	XCEL ENERGY	12/29/17	14.07
00718350	13822	XCEL ENERGY	12/29/17	735.82
00718351	13822	XCEL ENERGY	12/29/17	1,279.74
00718352	13822	XCEL ENERGY	12/29/17	1,425.46
00718366	13822	XCEL ENERGY	12/29/17	12.46
00718367	13822	XCEL ENERGY	12/29/17	19.40
00718368	13822	XCEL ENERGY	12/29/17	35.13
00718369	13822	XCEL ENERGY	12/29/17	57.25
00718370	13822	XCEL ENERGY	12/29/17	73.11
00718371	13822	XCEL ENERGY	12/29/17	83.95
00718372	13822	XCEL ENERGY	12/29/17	116.10
00718373	13822	XCEL ENERGY	12/29/17	116.42
00718374	13822	XCEL ENERGY	12/29/17	125.13
00718375	13822	XCEL ENERGY	12/29/17	129.11
00718376	13822	XCEL ENERGY	12/29/17	146.82
00718377	13822	XCEL ENERGY	12/29/17	973.83
00718507	80257	CENTURYLINK	12/29/17	269.71

Fund Total**15,612.83**

Net Warrants by Fund Detail

44Water and Wastewater Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718202	88281	ALBERTS WATER & WASTEWATER SER	12/27/17	3,000.00
00718315	2381	COLO ANALYTICAL LABORATORY	12/29/17	145.00
00718332	44131	ROGGEN FARMERS ELEVATOR ASSN	12/29/17	327.22
00718378	13822	XCEL ENERGY	12/29/17	1,144.22
00718505	351622	AURORA WATER	12/29/17	2,103.92
00718508	80257	CENTURYLINK	12/29/17	47.74
Fund Total				6,768.10

Net Warrants by Fund Detail

50

FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00718272	43744	AUTOMATED BUILDING SOLUTIONS I	12/28/17	6,975.00
00718363	470643	ONENECK IT SOLUTIONS LLC	12/29/17	3,274.19
Fund Total				10,249.19

County of Adams
Net Warrants by Fund Detail

Grand Total 1,609,595.31

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	915798	295835	12/28/17	12.46
	XCEL ENERGY	00043	915799	295835	12/28/17	19.40
					Account Total	31.86
	Licenses and Fees					
	VERIZON WIRELESS	00043	915537	295714	12/27/17	20.00
					Account Total	20.00
	Telephone					
	CENTURYLINK	00043	916118	296002	12/29/17	49.24
	VERIZON WIRELESS	00043	915537	295714	12/27/17	433.83
					Account Total	483.07
					Department Total	534.93

County of Adams
Vendor Payment Report

<u>4308</u>	<u>Airport ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	915665	295759	12/27/17	14.07
	XCEL ENERGY	00043	915667	295759	12/27/17	1,279.74
					Account Total	1,293.81
	Telephone					
	CENTURYLINK	00043	916118	296002	12/29/17	49.83
	CENTURYLINK	00043	916118	296002	12/29/17	120.61
					Account Total	170.44
					Department Total	1,464.25

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Satellite Television					
	DISH NETWORK	00043	915529	295714	12/27/17	138.02
					Account Total	138.02
	Telephone					
	CENTURYLINK	00043	916118	296002	12/29/17	50.03
	VERIZON WIRELESS	00043	915537	295714	12/27/17	40.13
					Account Total	90.16
					Department Total	228.18

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	SYSTEMS GROUP	00043	915536	295714	12/27/17	818.12
					Account Total	818.12
	Gas & Electricity					
	XCEL ENERGY	00043	915804	295835	12/28/17	23.99
	XCEL ENERGY	00043	915664	295759	12/27/17	12.78
	XCEL ENERGY	00043	915666	295759	12/27/17	631.00
	XCEL ENERGY	00043	915666	295759	12/27/17	385.77
	XCEL ENERGY	00043	915666	295759	12/27/17	280.95-
	XCEL ENERGY	00043	915668	295759	12/27/17	1,221.32
	XCEL ENERGY	00043	915668	295759	12/27/17	457.64-
	XCEL ENERGY	00043	915668	295759	12/27/17	649.34
	XCEL ENERGY	00043	915668	295759	12/27/17	12.44
	XCEL ENERGY	00043	915800	295835	12/28/17	410.52
	XCEL ENERGY	00043	915800	295835	12/28/17	297.77-
	XCEL ENERGY	00043	915800	295835	12/28/17	77.62-
	XCEL ENERGY	00043	915801	295835	12/28/17	57.25
	XCEL ENERGY	00043	915802	295835	12/28/17	73.11
	XCEL ENERGY	00043	915803	295835	12/28/17	83.95
	XCEL ENERGY	00043	915804	295835	12/28/17	92.11
	XCEL ENERGY	00043	915805	295836	12/28/17	116.42
	XCEL ENERGY	00043	915806	295836	12/28/17	125.13
	XCEL ENERGY	00043	915807	295836	12/28/17	129.11
	XCEL ENERGY	00043	915808	295836	12/28/17	146.82
	XCEL ENERGY	00043	915809	295836	12/28/17	1,329.94
	XCEL ENERGY	00043	915809	295836	12/28/17	356.11-
					Account Total	4,030.91
	Gasoline					
	OFFEN PETROLEUM INC	00043	915533	295714	12/27/17	1,515.50
					Account Total	1,515.50
	Licenses and Fees					
	OFFEN PETROLEUM INC	00043	915533	295714	12/27/17	10.80
					Account Total	10.80
					Department Total	<u>6,375.33</u>

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00035	915527	295710	12/27/17	<u>100.00</u>
					Account Total	<u>100.00</u>
					Department Total	<u><u>100.00</u></u>

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	MINUTEMAN PRESS-BRIGHTON	00001	915984	295944	12/29/17	447.99
					Account Total	447.99
	Temporary Labor					
	RANDSTAD US LP	00001	915616	295754	12/27/17	881.70
					Account Total	881.70
					Department Total	1,329.69

County of Adams
Vendor Payment Report

<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PRESIDENT & FELLOWS OF HARVARD	00001	915612	295753	12/27/17	<u>7,650.00</u>
					Account Total	<u>7,650.00</u>
					Department Total	<u><u>7,650.00</u></u>

County of Adams
Vendor Payment Report

<u>4306</u>	<u>Cafe</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Snack Bar Supplies, Rep & Main					
	FRONT RANGE HOOD CLEANING LLC	00043	915531	295714	12/27/17	695.00
	PARAGON DINING SERVICES	00043	915543	295721	12/27/17	6,190.14
					Account Total	<u>6,885.14</u>
					Department Total	<u><u>6,885.14</u></u>

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	TREANOR ARCHITECTS PA	00004	915494	295699	12/27/17	<u>1,720.00</u>
					Account Total	<u>1,720.00</u>
					Department Total	<u><u>1,720.00</u></u>

County of Adams
Vendor Payment Report

<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	HURON ANIMAL HOSPITAL	00001	915404	295587	12/22/17	<u>77.00</u>
					Account Total	<u>77.00</u>
					Department Total	<u><u>77.00</u></u>

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	ROWMAN & LITTLEFIELD PUBLISHIN	00001	916003	295961	12/29/17	77.54
					Account Total	77.54
	Other Professional Serv					
	SWEEPSTAKES UNLIMITED	00001	915571	295738	12/27/17	30.00
					Account Total	30.00
					Department Total	107.54

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety - Equipment					
	ERGONOMIC INNOVATIONS	00019	915569	295738	12/27/17	444.00
					Account Total	444.00
	Safety-Drug & AI Test/Med Cert					
	DRUG TESTING SERVICES INC	00019	915567	295738	12/27/17	425.00
					Account Total	425.00
					Department Total	869.00

County of Adams
Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	VIELMA MARIANA	00001	915566	295738	12/27/17	146.81
					Account Total	146.81
	Other Professional Serv					
	ADAMS COUNTY SHERIFF	00001	915570	295738	12/27/17	64.00
					Account Total	64.00
					Department Total	<u>210.81</u>

County of Adams
Vendor Payment Report

<u>941016</u>	<u>CDBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	BROTHERS REDEVELOPMENT INC	00030	915380	295555	12/22/17	20,000.00
	BROTHERS REDEVELOPMENT INC	00030	915381	295555	12/22/17	2,040.00
					Account Total	22,040.00
					Department Total	22,040.00

County of Adams
Vendor Payment Report

<u>1094</u>	<u>CED Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SHREVE JEANNE	00001	915384	295570	12/22/17	<u>134.93</u>
					Account Total	<u>134.93</u>
					Department Total	<u><u>134.93</u></u>

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ERVIN STACY	00001	915411	295661	12/26/17	46.01
	ERVIN STACY	00001	915412	295661	12/26/17	11.77
	GRIMES CECILIA	00001	915992	295953	12/29/17	36.38
	LOPEZ PAULINA R	00001	915413	295661	12/26/17	24.61
	SANDOVAL DANIELLE	00001	915414	295661	12/26/17	74.37
	SCHAREN DIANNA	00001	915993	295953	12/29/17	36.38
					Account Total	229.52
					Department Total	229.52

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	MAZE AMANDA	00001	915409	295593	12/22/17	178.50
					Account Total	178.50
	Other Communications					
	GOVERNOR'S OFFICE OF IT	00001	915408	295593	12/22/17	820.70
					Account Total	820.70
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915407	295593	12/22/17	315.13
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915407	295593	12/22/17	80.92
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	915407	295593	12/22/17	56.26
					Account Total	452.31
					Department Total	<u>1,451.51</u>

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ALVAREZ MEGAN	00001	915405	295593	12/22/17	111.82
	CARDENAS LIDIA M	00001	915406	295593	12/22/17	103.04
					Account Total	<u>214.86</u>
					Department Total	<u><u>214.86</u></u>

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	KRAICH ADAM	00001	915613	295754	12/27/17	10.00
					Account Total	10.00
					Department Total	10.00

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	A & E TIRE INC	00006	916066	295995	12/29/17	690.20
	A & E TIRE INC	00006	916067	295995	12/29/17	807.12
	A & E TIRE INC	00006	916068	295995	12/29/17	52.27
	A & E TIRE INC	00006	916069	295995	12/29/17	476.85
	A & E TIRE INC	00006	916070	295995	12/29/17	1,380.40
	A & E TIRE INC	00006	916071	295995	12/29/17	1,877.24
	ABRA AUTO BODY & GLASS	00006	916082	295999	12/29/17	25.00
	ARNOLD MACHINERY COMPANY	00006	916075	295995	12/29/17	61,279.62
	PRECISE MRM LLC	00006	916072	295995	12/29/17	6,075.00
	SAM HILL OIL INC	00006	916073	295995	12/29/17	1,422.72
	SAM HILL OIL INC	00006	916074	295995	12/29/17	6,130.82
	SAM HILL OIL INC	00006	916074	295995	12/29/17	9,010.23
	SPRADLEY BARR FORD GREELEY	00006	916076	295995	12/29/17	34,495.00
	SPRADLEY BARR FORD GREELEY	00006	916077	295995	12/29/17	34,495.00
	SPRADLEY BARR FORD GREELEY	00006	916078	295995	12/29/17	34,495.00
	SPRADLEY BARR FORD GREELEY	00006	916079	295995	12/29/17	42,473.00
	SPRADLEY BARR FORD GREELEY	00006	916080	295995	12/29/17	38,551.00
	SPRADLEY BARR FORD GREELEY	00006	916081	295995	12/29/17	28,786.00
					Account Total	302,522.47
					Department Total	302,522.47

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ANDERSON CASSIE	00001	915363	295498	12/21/17	179.76
	GOURD THADDEUS	00001	915687	295822	12/28/17	439.24
	HAMMOND ERIC	00001	914919	295229	12/19/17	147.66
					Account Total	766.66
					Department Total	766.66

County of Adams
Vendor Payment Report

<u>6031</u>	<u>Extension- Soil Conservation</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DEER TRAIL / EAST ADAMS	00001	914916	295229	12/19/17	<u>9,500.00</u>
					Account Total	<u>9,500.00</u>
					Department Total	<u><u>9,500.00</u></u>

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	HURDELBRINK JULIA	00001	914918	295229	12/19/17	338.12
					Account Total	338.12
	Operating Supplies					
	COLO 4-H FOUNDATION	00001	914917	295229	12/19/17	586.00
					Account Total	586.00
					Department Total	<u>924.12</u>

County of Adams
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	ECONOMIC & PLANNING SYSTEMS IN	00001	915988	295946	12/29/17	<u>12,928.52</u>
					Account Total	<u>12,928.52</u>
					Department Total	<u><u>12,928.52</u></u>

County of Adams
Vendor Payment Report

<u>1017</u>	<u>Finance Purchasing</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BONASERA BETHANY	00001	915983	295944	12/29/17	77.15
	TIERNEY JENNIFER	00001	915980	295944	12/29/17	84.21
					Account Total	161.36
					Department Total	161.36

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Tools Reimbursement					
	VANDERBROEK SCOTT	00006	915982	295943	12/29/17	<u>39.60</u>
					Account Total	<u>39.60</u>
					Department Total	<u><u>39.60</u></u>

County of Adams
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ONENECK IT SOLUTIONS LLC	00050	915986	295945	12/29/17	<u>3,274.19</u>
					Account Total	<u>3,274.19</u>
					Department Total	<u><u>3,274.19</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	BENNETT TOWN OF	00001	915472	295694	12/27/17	1,500.00
	CHAMBERS HOLDINGS LLC	00001	915486	295694	12/27/17	14,686.76
	IC CHAMBERS LP	00001	915484	295694	12/27/17	6,254.16
	WESTAR REAL PROPERTY SERVICES	00001	915485	295694	12/27/17	14,281.36
					Account Total	36,722.28
	Gas & Electricity					
	Energy Cap Bill ID=7967	00001	915674	295807	12/18/17	75.33
	Energy Cap Bill ID=7968	00001	915675	295807	12/18/17	433.52
					Account Total	508.85
					Department Total	37,231.13

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7948	00001	915370	295550	12/01/17	170.74
	Energy Cap Bill ID=7950	00001	915371	295550	12/07/17	797.08
	Energy Cap Bill ID=7952	00001	915372	295550	12/06/17	139.13
	Energy Cap Bill ID=7962	00001	915373	295550	12/11/17	549.47
	INTERMOUNTAIN REA	00001	915476	295694	12/27/17	4.63
					Account Total	1,661.05
					Department Total	1,661.05

County of Adams
Vendor Payment Report

<u>1113</u>	<u>FO - Children & Family Service</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7975	00001	915678	295807	12/15/17	1,674.83
					Account Total	1,674.83
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7969	00001	915679	295807	12/22/17	181.45
					Account Total	181.45
					Department Total	1,856.28

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7963	00001	915364	295550	12/13/17	<u>303.65</u>
					Account Total	<u>303.65</u>
					Department Total	<u><u>303.65</u></u>

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	AUTOMATED BUILDING SOLUTIONS I	00050	915468	295672	12/26/17	6,975.00
	AUTOMATED BUILDING SOLUTIONS I	00050	915540	295694	12/27/17	6,975.00
					Account Total	<u>13,950.00</u>
					Department Total	<u><u>13,950.00</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7960	00001	915375	295550	12/13/17	14,804.00
	Energy Cap Bill ID=7961	00001	915376	295550	12/13/17	2,244.00
					Account Total	<u>17,048.00</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7949	00001	915377	295550	12/08/17	3,158.69
					Account Total	<u>3,158.69</u>
					Department Total	<u><u>20,206.69</u></u>

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO DOORWAYS INC	00001	915473	295694	12/27/17	4,212.00
					Account Total	4,212.00
	Gas & Electricity					
	Energy Cap Bill ID=7966	00001	915671	295807	12/18/17	383.63
					Account Total	383.63
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7954	00001	915366	295550	12/13/17	23.20
	Energy Cap Bill ID=7955	00001	915367	295550	12/13/17	44.30
	Energy Cap Bill ID=7957	00001	915368	295550	12/13/17	44.30
	Energy Cap Bill ID=7958	00001	915369	295550	12/13/17	414.49
					Account Total	526.29
					Department Total	5,121.92

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	RUSS T DIAMONDS INC	00001	915474	295694	12/27/17	2,250.00
					Account Total	2,250.00
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	915475	295694	12/27/17	4,088.67
					Account Total	4,088.67
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7971	00001	915680	295807	12/15/17	225.20
	Energy Cap Bill ID=7973	00001	915681	295807	12/15/17	13,913.96
	Energy Cap Bill ID=7974	00001	915682	295807	12/15/17	16,945.78
					Account Total	31,084.94
					Department Total	37,423.61

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7964	00001	915672	295807	12/21/17	35.01
	Energy Cap Bill ID=7965	00001	915673	295807	12/21/17	695.30
					Account Total	<u>730.31</u>
					Department Total	<u><u>730.31</u></u>

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7956	00001	915374	295550	12/13/17	<u>1,113.12</u>
					Account Total	<u>1,113.12</u>
					Department Total	<u><u>1,113.12</u></u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO-Animal Shelter Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7951	00001	915365	295550	12/06/17	<u>1,798.80</u>
					Account Total	<u>1,798.80</u>
					Department Total	<u><u>1,798.80</u></u>

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	SOUTHWESTERN PAINTING	00001	915469	295672	12/26/17	1,522.00
	SOUTHWESTERN PAINTING	00001	915471	295694	12/27/17	1,522.00
					Account Total	<u>3,044.00</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7970	00001	915676	295807	12/15/17	82.32
	Energy Cap Bill ID=7972	00001	915677	295807	12/15/17	702.73
					Account Total	<u>785.05</u>
					Department Total	<u><u>3,829.05</u></u>

County of Adams
Vendor Payment Report

<u>3098</u>	<u>General Capital Improvements</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Buildings					
	BRIGHTON FIRE RESCUE DISTRICT	00004	915987	295942	12/29/17	<u>100.00</u>
					Account Total	<u>100.00</u>
					Department Total	<u><u>100.00</u></u>

County of Adams
Vendor Payment Report

1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	ADAMSON POLICE PRODUCTS	00001	915308	295480	12/21/17	81.00
	ADAMSON POLICE PRODUCTS	00001	916083	296000	12/29/17	1,020.00
	ADAMSON POLICE PRODUCTS	00001	916083	296000	12/29/17	11,655.00
	ALLIED UNIVERSAL SECURITY SERV	00001	916057	295995	12/29/17	1,612.80
	AUTOMATED BUILDING SOLUTIONS I	00001	915626	295756	12/27/17	10,325.00
	AUTOMATED BUILDING SOLUTIONS I	00001	915627	295756	12/27/17	74,000.00
	AYRES ASSOCIATES INC	00001	915925	295850	12/28/17	1,357.07
	AYRES ASSOCIATES INC	00001	915926	295850	12/28/17	25,663.54
	AYRES ASSOCIATES INC	00001	915927	295850	12/28/17	19,223.50
	BUEHLER MOVING & STORAGE	00001	915658	295756	12/27/17	1,851.25
	CELLEBRITE USA INC	00001	916084	296000	12/29/17	7,400.00
	CHEMATOX LABORATORY INC	00001	915309	295480	12/21/17	915.00
	CINTAS CORPORATION #66	00001	915619	295756	12/27/17	142.23
	CML SECURITY LLC	00001	915970	295916	12/29/17	12,500.00
	COLO DIST ATTORNEY COUNCIL	00001	915489	295699	12/27/17	2,780.80
	DATAWORKS PLUS LLC	00001	916085	296000	12/29/17	47,942.08
	DATAWORKS PLUS LLC	00001	916086	296000	12/29/17	3,500.00
	DENOVO VENTURES LLC	00001	915495	295699	12/27/17	277.50
	DENVER TENT COMPANY	00001	916015	295966	12/29/17	2,110.07
	DOMINION VOTING SYSTEMS INC	00001	915923	295850	12/28/17	993.85
	EIDE BAILLY LLP	00001	915522	295699	12/27/17	7,350.00
	GALLS LLC	00001	915310	295480	12/21/17	382.87
	GALLS LLC	00001	915310	295480	12/21/17	1,022.71
	GALLS LLC	00001	916110	296000	12/29/17	119.99
	GALLS LLC	00001	916087	296000	12/29/17	119.99
	GALLS LLC	00001	916088	296000	12/29/17	119.99
	GALLS LLC	00001	916089	296000	12/29/17	119.99
	GALLS LLC	00001	916090	296000	12/29/17	119.99
	GALLS LLC	00001	916091	296000	12/29/17	119.99
	GALLS LLC	00001	916092	296000	12/29/17	119.99
	GALLS LLC	00001	916093	296000	12/29/17	223.93
	GALLS LLC	00001	916094	296000	12/29/17	119.99
	GALLS LLC	00001	916095	296000	12/29/17	119.99
	GALLS LLC	00001	916096	296000	12/29/17	119.99
	GALLS LLC	00001	916097	296000	12/29/17	119.99

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GALLS LLC	00001	916098	296000	12/29/17	119.99
	GALLS LLC	00001	916099	296000	12/29/17	119.99
	GALLS LLC	00001	916100	296000	12/29/17	119.99
	GALLS LLC	00001	916101	296000	12/29/17	57.90
	GALLS LLC	00001	916102	296000	12/29/17	40.38
	GALLS LLC	00001	916103	296000	12/29/17	81.80
	GALLS LLC	00001	916104	296000	12/29/17	40.38
	GALLS LLC	00001	916105	296000	12/29/17	160.33
	GALLS LLC	00001	916107	296000	12/29/17	238.07
	GALLS LLC	00001	916107	296000	12/29/17	37.88
	GALLS LLC	00001	916109	296000	12/29/17	160.33
	GALLS LLC	00001	916111	296000	12/29/17	250.75
	GALLS LLC	00001	916112	296000	12/29/17	119.95
	GALLS LLC	00001	916113	296000	12/29/17	83.45
	GALLS LLC	00001	916113	296000	12/29/17	80.51
	GALLS LLC	00001	916114	296000	12/29/17	905.88
	GALLS LLC	00001	916114	296000	12/29/17	4,273.38
	GALLS LLC	00001	916115	296000	12/29/17	8.83
	GALLS LLC	00001	916115	296000	12/29/17	111.12
	GALLS LLC	00001	916116	296000	12/29/17	119.95
	HOLLAND AND HART LLP	00001	916058	295995	12/29/17	4,000.00
	IDEXX DISTRIBUTION INC	00001	916064	295995	12/29/17	1,280.03
	INTERGRAPH CORPORATION	00001	915918	295696	12/28/17	10,946.94
	INTERVENTION COMMUNITY CORRECT	00001	916014	295966	12/29/17	3,286.36
	JUSTICE MANAGEMENT INSTITUTE	00001	915313	295480	12/21/17	4,862.00
	JUSTICE MANAGEMENT INSTITUTE	00001	915313	295480	12/21/17	35,000.00
	KD SERVICE GROUP	00001	915919	295696	12/28/17	408.19
	KD SERVICE GROUP	00001	915920	295696	12/28/17	125.00
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	752.72
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	965.62
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	1,129.12
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	1,310.02
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	298.01
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	426.27
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	419.84
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	689.08

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	418.94
	KORBY LANDSCAPE LLC	00001	915637	295756	12/27/17	926.38
	LATITUDE GEOGRAPHICS GROUP LTD	00001	915971	295916	12/29/17	4,981.25
	LINX	00001	916117	296000	12/29/17	2,171.06
	LINX	00001	916117	296000	12/29/17	1,682.03
	MAILFINANCE	00001	915487	295696	12/27/17	985.23
	MOUNTAIN STATES IMAGING LLC	00001	916056	295995	12/29/17	726.66
	MWI VETERINARY SUPPLY CO	00001	915496	295699	12/27/17	1,216.52
	MWI VETERINARY SUPPLY CO	00001	915497	295699	12/27/17	910.32
	MWI VETERINARY SUPPLY CO	00001	915498	295699	12/27/17	1,433.54
	MWI VETERINARY SUPPLY CO	00001	915620	295756	12/27/17	128.16
	MWI VETERINARY SUPPLY CO	00001	915621	295756	12/27/17	22.90
	MWI VETERINARY SUPPLY CO	00001	915622	295756	12/27/17	7.53
	MWI VETERINARY SUPPLY CO	00001	916061	295995	12/29/17	142.78
	MWI VETERINARY SUPPLY CO	00001	916062	295995	12/29/17	269.33
	MWI VETERINARY SUPPLY CO	00001	916063	295995	12/29/17	123.99
	NICOLETTI-FLATER ASSOCIATES	00001	915311	295480	12/21/17	650.00
	NICOLETTI-FLATER ASSOCIATES	00001	915311	295480	12/21/17	1,200.00
	NICOLETTI-FLATER ASSOCIATES	00001	915311	295480	12/21/17	1,200.00
	NICOLETTI-FLATER ASSOCIATES	00001	915311	295480	12/21/17	75.00
	NICOLETTI-FLATER ASSOCIATES	00001	915312	295480	12/21/17	1,377.50
	PFX PET SUPPLY	00001	915623	295756	12/27/17	446.75
	PICTOMETRY INTL CORP	00001	916060	295995	12/29/17	46,536.00
	PICTOMETRY INTL CORP	00001	916060	295995	12/29/17	1,391.70
	PIONEER TECHNOLOGY GROUP LLC	00001	916055	295995	12/29/17	63,000.00
	PLOTTER SUPPLIES INC	00001	916059	295995	12/29/17	4,044.00
	PTS OF AMERICA LLC	00001	915921	295696	12/28/17	981.00
	SOUTHWESTERN PAINTING	00001	915491	295699	12/27/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915492	295699	12/27/17	13,426.00
	SOUTHWESTERN PAINTING	00001	915493	295699	12/27/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915630	295756	12/27/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915631	295756	12/27/17	13,426.00
	SOUTHWESTERN PAINTING	00001	915632	295756	12/27/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915633	295756	12/27/17	12,166.00
	SOUTHWESTERN PAINTING	00001	915634	295756	12/27/17	2,132.00
	SPECTRA CONTRACT FLOORING SERV	00001	915628	295756	12/27/17	275.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	STATE OF COLORADO	00001	915928	295850	12/28/17	178.62
	STATE OF COLORADO	00001	915928	295850	12/28/17	504.96
	THYSSENKRUPP ELEVATOR CORP	00001	915625	295756	12/27/17	5,876.00
	23.4 DEGREES	00001	915520	295699	12/27/17	3,309.00
					Account Total	<u>545,686.30</u>
					Department Total	<u><u>545,686.30</u></u>

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	SUNBELT RENTALS	00005	915553	295733	12/27/17	2,812.60
					Account Total	2,812.60
	Fuel, Gas & Oil					
	NAPA	00005	915552	295733	12/27/17	65.98
					Account Total	65.98
	Grounds Maintenance					
	AGFINITY INC	00005	915545	295733	12/27/17	1,297.50
					Account Total	1,297.50
	Minor Equipment					
	GRAINGER	00005	915548	295733	12/27/17	204.70
					Account Total	204.70
	Other Repair & Maint					
	3E COMPANY	00005	915544	295733	12/27/17	500.00
					Account Total	500.00
	Repair & Maint Supplies					
	GRAINGER	00005	915547	295733	12/27/17	120.12
					Account Total	120.12
	Vehicle Parts & Supplies					
	GRAINGER	00005	915546	295733	12/27/17	32.88
	L L JOHNSON DIST	00005	915549	295733	12/27/17	194.16
	L L JOHNSON DIST	00005	915550	295733	12/27/17	4,814.22
	MASEK GOLF CAR COMPANY	00005	915551	295733	12/27/17	57.36
	TORO NSN	00005	915554	295733	12/27/17	649.00
					Account Total	5,747.62
					Department Total	10,748.52

County of Adams
Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit CASA	00001	915383	295562	12/22/17	<u>2,000.00</u>
					Account Total	<u>2,000.00</u>
					Department Total	<u><u>2,000.00</u></u>

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CESCO LINGUISTIC SERVICE INC 2	00031	915499	295699	12/27/17	101.50
	CESCO LINGUISTIC SERVICE INC 2	00031	915500	295699	12/27/17	83.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915501	295699	12/27/17	111.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915502	295699	12/27/17	89.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915503	295699	12/27/17	83.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915504	295699	12/27/17	89.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915505	295699	12/27/17	83.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915506	295699	12/27/17	60.00
	CESCO LINGUISTIC SERVICE INC 2	00031	915624	295756	12/27/17	83.00
					Account Total	782.50
					Department Total	782.50

County of Adams
Vendor Payment Report

<u>9260</u>	<u>Innovation & Sustainability</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	VERDEK	00001	915483	295694	12/27/17	<u>560.00</u>
					Account Total	<u>560.00</u>
					Department Total	<u><u>560.00</u></u>

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ARTHUR J GALLAGHER	00019	915663	295756	12/27/17	2,842.00
	ARTHUR J GALLAGHER	00019	915663	295756	12/27/17	1,032.23
	ARTHUR J GALLAGHER	00019	915663	295756	12/27/17	10,230.49
	FACTORY MOTOR PARTS	00019	915661	295756	12/27/17	303.69
	JOE'S TOWING & RECOVERY	00019	915662	295756	12/27/17	103.00
	LONGMONT FORD	00019	915660	295756	12/27/17	827.19
					Account Total	<u>15,338.60</u>
					Department Total	<u><u>15,338.60</u></u>

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	FINELINE GRAPHICS	00019	915568	295738	12/27/17	307.00
					Account Total	307.00
	General Liab - Other than Prop					
	CHILDRENS HOSPITAL	00019	916004	295961	12/29/17	1,070.87
	UNIVERSITY OF COLO MEDICINE	00019	916002	295961	12/29/17	146.40
					Account Total	1,217.27
	Insurance Premiums					
	ARTHUR J GALLAGHER	00019	915663	295756	12/27/17	.10
					Account Total	.10
					Department Total	1,524.37

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	APPLIED TRUST INC	00001	915278	295458	12/21/17	288.75
	APPLIED TRUST INC	00001	915401	295583	12/22/17	1,096.96
	APPLIED TRUST INC	00001	915402	295583	12/22/17	1,270.50
					Account Total	2,656.21
	Mileage Reimbursements					
	PHAM HUNG	00001	915985	295944	12/29/17	110.00
					Account Total	110.00
					Department Total	2,766.21

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ISP Services					
	COMCAST BUSINESS	00001	915256	295458	12/21/17	1,700.00
					Account Total	<u>1,700.00</u>
	Other Professional Serv					
	COMMUNICATION CONSTRUCTION & E	00001	915695	295826	12/28/17	4,150.00
					Account Total	<u>4,150.00</u>
	Telephone					
	WINDSTREAM COMMUNICATIONS	00001	915403	295583	12/22/17	1,800.74
					Account Total	<u>1,800.74</u>
					Department Total	<u><u>7,650.74</u></u>

County of Adams
Vendor Payment Report

<u>1019</u>	<u>Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	PITNEY BOWES	00001	915482	295694	12/27/17	<u>4,084.77</u>
					Account Total	<u>4,084.77</u>
					Department Total	<u><u>4,084.77</u></u>

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	RW BAYER & ASSOCIATES	00027	915360	295496	12/21/17	<u>2,420.00</u>
					Account Total	<u>2,420.00</u>
					Department Total	<u><u>2,420.00</u></u>

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Retainages Payable					
	IDEAL FENCING CORPORATION	00027	915636	295756	12/27/17	<u>6,715.09</u>
					Account Total	<u>6,715.09</u>
					Department Total	<u><u>6,715.09</u></u>

County of Adams
Vendor Payment Report

<u>28</u>	<u>Open Space Sales Tax Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg EGAN PRINTING CO	00028	915972	295916	12/29/17	4,440.00
					Account Total	4,440.00
					Department Total	4,440.00

County of Adams
Vendor Payment Report

<u>6201</u>	<u>Open Space Tax- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PETERSEN RENEE	00028	915692	295822	12/28/17	<u>88.60</u>
					Account Total	<u>88.60</u>
					Department Total	<u><u>88.60</u></u>

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDOWELL SHANNON	00001	915690	295822	12/28/17	93.95
	WILLIS MARY T	00001	915693	295822	12/28/17	44.35
					Account Total	<u>138.30</u>
					Department Total	<u><u>138.30</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Event Services					
	AIRGAS USA LLC	00001	915362	295496	12/21/17	44.40
					Account Total	44.40
	Other Professional Serv					
	CODE 4 SECURITY SERVICES LLC	00001	915361	295496	12/21/17	550.00
					Account Total	550.00
	Regional Park Rentals					
	HIMMLER JACOB	00001	915689	295822	12/28/17	400.00
					Account Total	400.00
					Department Total	994.40

County of Adams
Vendor Payment Report

<u>5018</u>	<u>PKS- Natural Resources Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PEDRUCCI MARC R	00001	915359	295496	12/21/17	<u>115.88</u>
					Account Total	<u>115.88</u>
					Department Total	<u><u>115.88</u></u>

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GRAF TREVOR G	00001	915688	295822	12/28/17	121.98
					Account Total	121.98
	Operating Supplies					
	G & K SERVICES	00001	915686	295822	12/28/17	199.42
					Account Total	199.42
					Department Total	321.40

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	NORTH PECOS WATER & SANITATION	00001	915691	295822	12/28/17	<u>36.86</u>
					Account Total	<u>36.86</u>
					Department Total	<u><u>36.86</u></u>

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUSH MELVIN E	00001	914338	294607	12/11/17	65.00
	GARCIA JUAN ALBERTO	00001	915410	294607	12/26/17	65.00
	KALAVITY KAREN FRANCES	00001	914342	294607	12/11/17	65.00
	MCCREARY RAPHAEL	00001	914339	294607	12/11/17	65.00
	NYHOLM STEWART E	00001	914340	294607	12/11/17	65.00
	STANFIELD THOMSON	00001	914341	294607	12/11/17	65.00
					Account Total	390.00
					Department Total	390.00

County of Adams
Vendor Payment Report

<u>1038</u>	<u>Regional Affairs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CCI	00001	915990	295950	12/29/17	450.00
	CCI	00001	915991	295950	12/29/17	450.00
					Account Total	<u>900.00</u>
					Department Total	<u><u>900.00</u></u>

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALBERT FREI & SONS INC	00013	915507	295699	12/27/17	2,036.49
	ALBERT FREI & SONS INC	00013	915508	295699	12/27/17	18,201.14
	ASPHALT SPECIALTIES CO INC	00013	915509	295699	12/27/17	3,921.68
	ASPHALT SPECIALTIES CO INC	00013	915510	295699	12/27/17	876.24
	ASPHALT SPECIALTIES CO INC	00013	915511	295699	12/27/17	2,556.08
	ASPHALT SPECIALTIES CO INC	00013	915512	295699	12/27/17	2,535.84
	ASPHALT SPECIALTIES CO INC	00013	915513	295699	12/27/17	6,358.11
	ASPHALT SPECIALTIES CO INC	00013	915514	295699	12/27/17	3,359.40
	ASPHALT SPECIALTIES CO INC	00013	915515	295699	12/27/17	5,755.42
	BRANNAN SAND & GRAVEL COMPANY	00013	915517	295699	12/27/17	104.14
	BRANNAN SAND & GRAVEL COMPANY	00013	915518	295699	12/27/17	205.00
	CDOT PROJECT	00013	915618	295756	12/27/17	295,428.57
	CDOT PROJECT	00013	915617	295756	12/27/17	2,972.20
	GMCO CORPORATION	00013	915516	295699	12/27/17	10,220.00
	MERRICK & COMPANY	00013	916016	295966	12/29/17	1,034.73
	MERRICK & COMPANY	00013	916016	295966	12/29/17	2,080.27
	NORVIC PROPERTIES LLC	00013	916018	295966	12/29/17	3,156.00
	REPUBLIC SERVICES #535	00013	915519	295699	12/27/17	53.25
	THORNTON CITY OF	00013	916020	295966	12/29/17	81,726.43
	URS CORPORATION	00013	916019	295966	12/29/17	321.31
	WELBY BUSINESS PARK LLC	00013	916017	295966	12/29/17	550.00
					Account Total	443,452.30
					Department Total	443,452.30

County of Adams
Vendor Payment Report

<u>9295</u>	<u>Solid Waste Operations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	MCDONALD FARMS ENTERPRISES INC	00025	915989	295944	12/29/17	<u>375.00</u>
					Account Total	<u>375.00</u>
					Department Total	<u><u>375.00</u></u>

County of Adams
Vendor Payment Report

<u>4315</u>	<u>SpacePort</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Promotion Expense					
	KEN'S REPRODUCTIONS	00043	915532	295714	12/27/17	<u>125.00</u>
					Account Total	<u>125.00</u>
					Department Total	<u><u>125.00</u></u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fuel, Gas & Oil					
	ADAMS COUNTY SHERIFF	00001	915557	295734	12/27/17	20.00
					Account Total	20.00
	Other Professional Serv					
	SHRED IT USA LLC	00001	915558	295734	12/27/17	100.00
					Account Total	100.00
	Travel & Transportation					
	ADAMS COUNTY SHERIFF	00001	915557	295734	12/27/17	14.00
	MCINTOSH MICHAEL TODD	00001	915556	295734	12/27/17	121.00
					Account Total	135.00
	Uniforms & Cleaning					
	ADAMS COUNTY SHERIFF	00001	915557	295734	12/27/17	25.34
					Account Total	25.34
					Department Total	280.34

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ABELMAN LAW OFFICE	00001	915572	295741	12/27/17	19.00
	ACCOUNT BROKERS OF LARIMER COU	00001	915573	295741	12/27/17	19.00
	BOVE LAW OFFICES	00001	915574	295741	12/27/17	66.00
	BOVE LAW OFFICES	00001	915575	295741	12/27/17	4.00
	BRIGHTON HOUSE	00001	915638	295741	12/27/17	66.00
	BURNS JENNIFER LYNN	00001	915639	295741	12/27/17	19.00
	DAVE NAGLE LAW OFFICE	00001	915640	295741	12/27/17	19.00
	DESIGN PLATFORM	00001	915641	295741	12/27/17	19.00
	EZ MESSENGER	00001	915576	295741	12/27/17	19.00
	FLEMING KELLEN MICHAEL	00001	915642	295741	12/27/17	19.00
	HILL DENAE	00001	915643	295741	12/27/17	19.00
	HINDMANSANCHEZ	00001	915577	295741	12/27/17	19.00
	HINDMANSANCHEZ	00001	915578	295741	12/27/17	19.00
	HOFFERBERTH BRADFORD	00001	915579	295741	12/27/17	19.00
	JAVALERA DELFINA	00001	915644	295741	12/27/17	19.00
	JIMENEZ DOLORES	00001	915645	295741	12/27/17	19.00
	JUSTICE AND MERCY LEGAL AID CL	00001	915580	295741	12/27/17	19.00
	KLASS PHILIP	00001	915581	295741	12/27/17	66.00
	KLASS PHILIP	00001	915582	295741	12/27/17	66.00
	LEACHMAN, MARK A	00001	915583	295741	12/27/17	19.00
	LEE DAVID JUN	00001	915646	295741	12/27/17	19.00
	MACHOL & JOHANNES, LLC	00001	915584	295741	12/27/17	19.00
	MACHOL & JOHANNES, LLC	00001	915585	295741	12/27/17	19.00
	MACHOL & JOHANNES, LLC	00001	915586	295741	12/27/17	19.00
	MAXX PROPERTIES CORPORATION	00001	915647	295741	12/27/17	19.00
	MAXX PROPERTIES CORPORATION	00001	915648	295741	12/27/17	19.00
	MILLER COHEN PETERSON YOUNG	00001	915587	295741	12/27/17	16.00
	MOORE LAW GROUP APC	00001	915605	295741	12/27/17	19.00
	MOORE LAW GROUP APC	00001	915606	295741	12/27/17	19.00
	NEYENS EUGENE	00001	915649	295741	12/27/17	66.00
	OLD DOMINION MANAGEMENT	00001	915588	295741	12/27/17	66.00
	PROVEST CALIFORNIA	00001	915589	295741	12/27/17	19.00
	PROVEST LITIGATION SERVICES	00001	915650	295741	12/27/17	19.00
	REAGAN PURSCHKE RACHEL	00001	915590	295741	12/27/17	19.00
	ROBINSON AND HENRY	00001	915591	295741	12/27/17	66.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ROMERO DEBBIE DARLENE	00001	915651	295741	12/27/17	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915592	295741	12/27/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915593	295741	12/27/17	143.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915594	295741	12/27/17	126.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915595	295741	12/27/17	126.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915596	295741	12/27/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915597	295741	12/27/17	19.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915598	295741	12/27/17	126.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915599	295741	12/27/17	126.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915600	295741	12/27/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915601	295741	12/27/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915602	295741	12/27/17	66.00
	SPRINGMAN, BRADEN, WILSON & PO	00001	915603	295741	12/27/17	66.00
	STATE OF OREGON DIVISION OF CH	00001	915652	295741	12/27/17	19.00
	TAPIA DELGADO ARTURO	00001	915604	295741	12/27/17	19.00
	TROPPITO MILLER GRIFFIN	00001	915653	295741	12/27/17	19.00
	TSCHETTER HAMRICK SULZER	00001	915607	295741	12/27/17	2,112.00
	VARGAS RAUL VICTORINO	00001	915654	295741	12/27/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	915608	295741	12/27/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	915609	295741	12/27/17	19.00
	WAKEFIELD & ASSOCIATES INC	00001	915610	295741	12/27/17	19.00
	WALLS MICHAEL JACK	00001	915655	295741	12/27/17	19.00
	WEINRAUCH MICHAEL	00001	915656	295741	12/27/17	56.00
	WEINRAUCH MICHAEL	00001	915657	295741	12/27/17	56.00
	WESTERN CONTROL SERVICES	00001	915611	295741	12/27/17	19.00
					Account Total	4,452.00
					Department Total	4,452.00

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv TYGRETT DEBRA R	00001	915562	295734	12/27/17	<u>342.00</u>
					Account Total	<u>342.00</u>
					Department Total	<u><u>342.00</u></u>

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	UNIVERSITY OF COLO. HOSPITAL A	00001	915564	295734	12/27/17	680.00
					Account Total	680.00
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	915316	295485	12/21/17	7.60
					Account Total	7.60
	Other Communications					
	VERIZON WIRELESS	00001	915565	295734	12/27/17	1,279.90
					Account Total	1,279.90
	Other Professional Serv					
	SHRED IT USA LLC	00001	915560	295734	12/27/17	30.00
					Account Total	30.00
					Department Total	<u>1,997.50</u>

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	ADAMS COUNTY SHERIFF	00001	915557	295734	12/27/17	40.00
					Account Total	40.00
	Operating Supplies					
	B C INTERIORS	00001	915555	295734	12/27/17	60.00
	BUTLER RENTS	00001	915314	295485	12/21/17	1,059.30
	BUTLER RENTS	00001	915315	295485	12/21/17	584.22
	E470 PUBLIC HIGHWAY AUTHORITY	00001	915316	295485	12/21/17	49.00
	SHRED IT USA LLC	00001	915559	295734	12/27/17	178.95
	SHRED IT USA LLC	00001	915561	295734	12/27/17	60.00
					Account Total	1,991.47
					Department Total	2,031.47

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	E470 PUBLIC HIGHWAY AUTHORITY	00001	915316	295485	12/21/17	25.30
					Account Total	25.30
	Other Communications					
	COMCAST CABLE	00001	915563	295734	12/27/17	1.06
					Account Total	1.06
	Other Professional Serv					
	SHRED IT USA LLC	00001	915560	295734	12/27/17	30.00
					Account Total	30.00
					Department Total	56.36

County of Adams
Vendor Payment Report

<u>3056</u>	<u>Transportation CIP</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	ROOD ELEANOR C	00013	915615	295754	12/27/17	100.00
	SHEERAN VIRGINIA A	00013	915614	295754	12/27/17	100.00
					Account Total	200.00
					Department Total	200.00

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Dust Abatement					
	COBITCO INC	00013	915229	295384	12/20/17	202.10
					Account Total	202.10
	Gas & Electricity					
	UNITED POWER (UNION REA)	00013	915257	295459	12/21/17	23.16
	UNITED POWER (UNION REA)	00013	915258	295459	12/21/17	48.84
	UNITED POWER (UNION REA)	00013	915259	295459	12/21/17	34.00
	UNITED POWER (UNION REA)	00013	915260	295459	12/21/17	122.55
	UNITED POWER (UNION REA)	00013	915261	295459	12/21/17	36.00
	UNITED POWER (UNION REA)	00013	915262	295459	12/21/17	105.83
	UNITED POWER (UNION REA)	00013	915263	295459	12/21/17	38.51
	UNITED POWER (UNION REA)	00013	915264	295459	12/21/17	178.30
	UNITED POWER (UNION REA)	00013	915265	295459	12/21/17	16.50
	UNITED POWER (UNION REA)	00013	915266	295459	12/21/17	48.84
	UNITED POWER (UNION REA)	00013	915267	295459	12/21/17	24.37
	UNITED POWER (UNION REA)	00013	915268	295459	12/21/17	33.00
	UNITED POWER (UNION REA)	00013	915269	295459	12/21/17	20.34
	UNITED POWER (UNION REA)	00013	915270	295459	12/21/17	16.50
	UNITED POWER (UNION REA)	00013	915271	295459	12/21/17	153.62
	UNITED POWER (UNION REA)	00013	915272	295459	12/21/17	88.49
	UNITED POWER (UNION REA)	00013	915273	295459	12/21/17	16.50
	UNITED POWER (UNION REA)	00013	915274	295459	12/21/17	33.00
	XCEL ENERGY	00013	915275	295459	12/21/17	43.04
	XCEL ENERGY	00013	915276	295459	12/21/17	3,125.93
	XCEL ENERGY	00013	915277	295459	12/21/17	26,181.37
	XCEL ENERGY	00013	915279	295459	12/21/17	207.86
	XCEL ENERGY	00013	915280	295459	12/21/17	204.68
	XCEL ENERGY	00013	915281	295459	12/21/17	2.97
	XCEL ENERGY	00013	915282	295459	12/21/17	188.93
	XCEL ENERGY	00013	915283	295459	12/21/17	1,257.48
	XCEL ENERGY	00013	915284	295459	12/21/17	24.07
	XCEL ENERGY	00013	915285	295459	12/21/17	130.40
	XCEL ENERGY	00013	915286	295459	12/21/17	229.98
	XCEL ENERGY	00013	915287	295459	12/21/17	113.14
	XCEL ENERGY	00013	915288	295459	12/21/17	142.24

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	XCEL ENERGY	00013	915526	295459	12/27/17	40.72
					Account Total	32,931.16
	Gravel & Recycled Material					
	ALBERT FREI & SONS INC	00013	915508	295699	12/27/17	.14
	ASPHALT SPECIALTIES CO INC	00013	915513	295699	12/27/17	.05
	ASPHALT SPECIALTIES CO INC	00013	915514	295699	12/27/17	.02
	ASPHALT SPECIALTIES CO INC	00013	915515	295699	12/27/17	.05
					Account Total	.26
	Operating Supplies					
	ENNIS PAINT INC	00013	915233	295384	12/20/17	544.26
	FACTORY MOTOR PARTS	00013	915228	295384	12/20/17	42.35
					Account Total	586.61
	Road Oil					
	COBITCO INC	00013	915230	295384	12/20/17	134.20
	COBITCO INC	00013	915231	295384	12/20/17	123.20
	COBITCO INC	00013	915232	295384	12/20/17	77.00
					Account Total	334.40
					Department Total	<u>34,054.53</u>

County of Adams
Vendor Payment Report

<u>3070I8504210</u>	<u>TANF Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00015	915528	295710	12/27/17	5.08
					Account Total	5.08
					Department Total	5.08

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	915528	295710	12/27/17	40.01
					Account Total	40.01
					Department Total	40.01

County of Adams
Vendor Payment Report

<u>97803</u>	<u>Wagner-Peyser Migrant Seasonal</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	915528	295710	12/27/17	105.08
					Account Total	105.08
					Department Total	105.08

County of Adams
Vendor Payment Report

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	ROGGEN FARMERS ELEVATOR ASSN	00044	915535	295714	12/27/17	327.22
	XCEL ENERGY	00044	915810	295836	12/28/17	1,128.04
	XCEL ENERGY	00044	915810	295836	12/28/17	16.18
					Account Total	1,471.44
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	915530	295714	12/27/17	145.00
					Account Total	145.00
	Telephone					
	CENTURYLINK	00044	916108	296002	12/29/17	47.74
					Account Total	47.74
	Water/Sewer/Sanitation					
	AURORA WATER	00044	916106	296002	12/29/17	2,103.92
					Account Total	2,103.92
					Department Total	3,768.10

County of Adams
Vendor Payment Report

<u>44</u>	<u>Water and Wastewater Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALBERTS WATER & WASTEWATER SER	00044	915521	295699	12/27/17	<u>3,000.00</u>
					Account Total	<u>3,000.00</u>
					Department Total	<u><u>3,000.00</u></u>

County of Adams
Vendor Payment Report

<u>99806</u>	<u>WIOA & Wag/Pey Shared Prog Cst</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	915528	295710	12/27/17	<u>52.54</u>
					Account Total	<u>52.54</u>
					Department Total	<u><u>52.54</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	MIRAMONTES KARINA	00035	915541	295710	12/27/17	25.00
	MIRAMONTES KARINA	00035	915542	295710	12/27/17	40.00
					Account Total	65.00
					Department Total	65.00

County of Adams
Vendor Payment Report

<u>99807</u>	<u>Youth Shared Prgrm Direct Cost</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00035	915528	295710	12/27/17	<u>415.24</u>
					Account Total	<u>415.24</u>
					Department Total	<u><u>415.24</u></u>

County of Adams
Vendor Payment Report

Grand Total 1,609,595.31

**MINUTES OF COMMISSIONERS' PROCEEDINGS FOR
TUESDAY, JANUARY 2, 2018**

1. ROLL CALL (09:04 AM)

Present: All Commissioners present.

Excused:

2. PLEDGE OF ALLEGIANCE (09:04 AM)

3. MOTION TO APPROVE AGENDA (09:05 AM)

Motion to Approve 3. MOTION TO APPROVE AGENDA Moved by Mary Hodge, seconded by Steve O'Dorisio, unanimously carried.

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT (09:05 AM)

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR (09:05 AM)

A. 18-006 Minutes of the Commissioners' Proceedings from December 12, 2017

B. 18-004 Adams County Treasurer's Summary November 1-30, 2017

C. 18-010 Resolution Approving Ambulance Service License for Adams County Fire Protection District (File was approved by ELT)

D. 18-011 Resolution Approving Ambulance Service License for University of Colorado Health (File was approved by ELT)

E. 18-012 Resolution Granting a Deed of Conservation Easement on the Willow Bay Property to the City of Brighton (File was approved by ELT)

F. 18-021 Resolution Adopting Revised Policy Regarding Open Records Requests (File was approved by ELT)

G. 18-026 Resolution Approving Amendment No.1 to the Contract between the Denver Regional Council of Governments and Adams County for A-Lift Community Transit Program (File was approved by ELT)

Motion to Approve 6. CONSENT CALENDAR Moved by Steve O'Dorisio, seconded by Mary Hodge, unanimously carried.

7. NEW BUSINESS (09:06 AM)

A. COUNTY MANAGER (09:06 AM)

1. 18-008 Resolution Approving the Use of State Awarded Dealers and Cooperative Agreements for the Purchase of Adams County Light to Medium Duty Fleet Vehicles (File was approved by ELT) (09:06 AM)

Motion to Approve 1. 18-008 Resolution Approving the Use of State Awarded Dealers and Cooperative Agreements for the Purchase of Adams County Light to Medium Duty Fleet Vehicles

(File was approved by ELT) Moved by Mary Hodge, seconded by Steve O'Dorisio, unanimously carried.

2. 18-009 Resolution Approving Amendment One to the Agreement between Adams County and Intellectual Technology, Inc., for Expanded Services for the Self Service Kiosk (File was approved by ELT) (09:11 AM)

Motion to Approve 2. 18-009 Resolution Approving Amendment One to the Agreement between Adams County and Intellectual Technology, Inc., for Expanded Services for the Self Service Kiosk

(File was approved by ELT) Moved by Steve O'Dorisio, seconded by Mary Hodge, unanimously carried.

3. 18-016 Resolution Approving Amendment Three to the Contract between Adams County and Piper Jaffray and Company for Independent Financial Advisor Services (File was approved by ELT) (09:14 AM)

Motion to Approve 3. 18-016 Resolution Approving Amendment Three to the Contract between Adams County and Piper Jaffray and Company for Independent Financial Advisor Services

(File was approved by ELT) Moved by Mary Hodge, seconded by Steve O'Dorisio, unanimously carried.

4. 18-018 Resolution Approving Amendment Four to the Agreement between Adams County and CareHere Management, PLLC, for the Propel Wellness Software System (File was approved by ELT) (09:16 AM)

Motion to Approve 4. 18-018 Resolution Approving Amendment Four to the Agreement between Adams County and CareHere Management, PLLC, for the Propel Wellness Software System

(File was approved by ELT) Moved by Charles "Chaz" Tedesco, seconded by Steve O'Dorisio, unanimously carried.

5. 18-019 Resolution Approving Addendum Four to the Agreement between Adams County and Halogen Software, Inc., for an Employee Performance Management Software System (File was approved by ELT) (09:18 AM)

Motion to Approve 5. 18-019 Resolution Approving Addendum Four to the Agreement between Adams County and Halogen Software, Inc., for an Employee Performance Management Software System

(File was approved by ELT) Moved by Steve O'Dorisio, seconded by Charles "Chaz" Tedesco, unanimously carried.

6. 18-017 Resolution Approving Amendment Three to the Agreement between Adams County and the Open Justice Broker Consortium for Adams County Criminal Justice Coordinating Council (File was approved by ELT) (09:20 AM)

Motion to Approve 6. 18-017 Resolution Approving Amendment Three to the Agreement between Adams County and the Open Justice Broker Consortium for Adams County Criminal Justice Coordinating Council

(File was approved by ELT) Moved by Steve O'Dorisio, seconded by Erik Hansen, unanimously carried.

B. COUNTY ATTORNEY (09:23 AM)

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Proposed RTA (09:23 AM)

Motion to Approve 8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators

Regarding Proposed RTA Moved by Mary Hodge, seconded by Steve O'Dorisio, unanimously carried.

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding DIA Noise Issues
Motion to Approve Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding DIA Noise Issues Moved by Steve O'Dorisio, seconded by Mary Hodge, unanimously carried.

9. ADJOURNMENT (09:24 AM)

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Adams County Head Start's Colorado Preschool Program Intergovernmental Agreement with Adams 14 Schools for PY 2017-2018
FROM: Chris Kline, Director of Human Services Department
AGENCY/DEPARTMENT: Human Services Department
HEARD AT STUDY SESSION ON: NA
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the resolution for Head Start to enter into the Colorado Preschool Program Intergovernmental Agreement with Adams 14 Schools for PY 2017-2018

BACKGROUND:

Adams County Head Start would like to enter into the Colorado Preschool Program Intergovernmental Agreement with Adams 14 Schools. Adams County Head Start will have the ability to enroll up to eight (8) children at any one time in its preschool program under the guidelines of the Colorado Preschool Program. For each child enrolled, Adams 14 Schools will pay to Adams County Head Start the sum of \$250.00 a month per child.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams 14 Schools

ATTACHED DOCUMENTS:

Resolution attached

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 31

Cost Center: 935118

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5230		\$18,000
Additional Revenue not included in Current Budget:			
Total Revenues:			\$18,000

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7005	5000	\$18,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$18,000

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING COLORADO PRESCHOOL PROGRAM
INTERGOVERNMENTAL AGREEMENT 2017-2018 BETWEEN
ADAMS COUNTY HEAD START AND ADAMS COUNTY SCHOOL DISTRICT**

14

WHEREAS, Adams County Head Start would like to enter into the attached Colorado Preschool Program Intergovernmental Agreement with Adams County School District 14 (“Adams 14 Schools”); and,

WHEREAS, pursuant to the agreement, Adams 14 Schools will provide eight (8) Colorado Preschool Program slots at \$250.00 a month per child to Adams County Head Start to provide services for children.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Colorado Preschool Program Intergovernmental Agreement 2017-2018 between Adams County Head Start and Adams 14 Schools be approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Intergovernmental Agreement on behalf of Adams County.

**INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND
ADAMS COUNTY SCHOOL DISTRICT 14, REGARDING COLORADO PRESCHOOL
PROGRAM**

THIS INTERGOVERNMENTAL AGREEMENT (“IGA”) is entered into this 1st day of September 2017, by and between the Board of County Commissioners of Adams County, State of Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado 80601, hereinafter referred to as “County,” and the Adams County School District 14, located at 5291 East 60th St, Commerce City, CO 80022, hereinafter referred to as “District”.

WHEREAS, County is qualified to provide Colorado Preschool Program (“CPP”) services to students within the District’s service area; and,

WHEREAS, District is willing to provide County with 8 CPP openings upon the terms and conditions of this IGA.

NOW, THEREFORE, for the consideration hereinafter set forth, the Parties agree as follows:

1. **Scope of Services.** County shall provide the services outlined in Exhibit 1, to be provided at 7111 E. 56th Avenue, Commerce City, CO 80022.
2. **Term.** The term of this IGA shall be from September 1, 2017, through May 30, 2018.
3. **Payment.** District shall pay County as follows:
 - a. For each child so enrolled, Adams 14 will pay to Adams County Head Start the sum of \$250.00 per month, per child, for a period not to exceed nine consecutive months or a total of \$ 2,250.00 per enrollee. If the enrollee is enrolled in preschool for less than a full month, the monthly payment may be pro-rated on a per day basis.
 - b. Adams County Head Start will submit a monthly invoice also with an officially signed accounting of children’s attendance for said month. Adams 14 shall pay all monies owed for program enrollees on a monthly basis to Adams County Head Start no later than the fifteenth day of the month following the just completed program month.
4. **Fund Availability.** This IGA shall not constitute a multi-year fiscal obligation and is expressly subject to annual appropriation. In the event funds are not appropriated in any fiscal year, either party may terminate this IGA.
5. **No Waiver.** Neither party gives up any rights by failing to enforce any terms of this IGA.

6. **Governmental Immunity.** The parties are governmental entities subject to the Colorado Governmental Immunity Act (“CGIA”). Nothing in this IGA shall be construed as waiving the provisions of the CGIA.
7. **Jurisdiction and Venue.** The laws of the State of Colorado shall govern as to the interpretation, validity, and effect of this IGA. The Parties agree that jurisdiction and venue for any disputes arising under this IGA shall be in Adams County, Colorado.
8. **Integration of Understanding.** This IGA contains the entire understanding of the Parties hereto and the rights and obligations contained therein may be changed, modified, or waived only by an instrument in writing signed by the Parties hereto.
9. **Paragraph Headings.** Paragraph headings are inserted for the convenience of reference only.
10. **Parties Interested Herein.** Nothing expressed or implied in this IGA is intended or shall be construed to confer upon or to give to any person other than the Parties any right, remedy, or claim under or by reason of this IGA. All covenants, terms, conditions, and provisions in this IGA shall be for the sole and exclusive benefit of County and District.
11. **Severability.** If any provision of this IGA is determined to be unenforceable or invalid for any reason, the remainder of the IGA shall remain in effect, unless otherwise terminated in accordance with the terms contained herein.
12. **Authorization.** Each party represents and warrants that it has the power and ability to enter into this IGA, to grant the rights granted herein, and to perform the duties and obligations herein described.
13. **Insurance.** The parties are governmental entities, insured in compliance with the requirements of the Colorado Governmental Immunity Act. During the term of this IGA the parties shall maintain such insurance.

IN WITNESS WHEREOF, the Parties hereto have caused their names to be affixed hereto.

COUNTY:
BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chairman

Date

ATTEST:
STAN MARTIN
CLERK AND RECORDER

APPROVED AS TO FORM:

Deputy Clerk

Adams County Attorney's Office

ADAMS 14 SCHOOL DISTRICT

Karen Weaver
Early Childhood Director

11/22/17
Date

[Signature]
Chief Financial Operations Officer

11/27/2017
Date

[Handwritten initials and marks]



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 2, 2018
SUBJECT: Adams County Workforce Development Programs / CDLE Agreement
FROM: Phillipp Noble, Administrator
AGENCY/DEPARTMENT: Workforce & Business Center
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Agreement for Workforce Development Programs

BACKGROUND:

An agreement with the Colorado Department of Labor and Employment to provide Federal, State, and other funding to Local Areas for implementation and operation of existing and new programs for the State's workforce development program.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Workforce and Business Center
Colorado Department of Labor and Employment

ATTACHED DOCUMENTS:

Resolution
Agreement for Workforce Development Programs

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO
RESOLUTION APPROVING THE AGREEMENT BETWEEN ADAMS COUNTY AND THE
COLORADO DEPARTMENT OF LABOR AND EMPLOYMENT FOR WORKFORCE
DEVELOPMENT PROGRAMS

Resolution No.

WHEREAS, the Workforce and Business Center wishes to renew its Agreement for Workforce Development Programs (the "Agreement") with the Colorado Department of Labor and Employment in order to continue to receive funding from state and federal sources; and,

WHEREAS, by entering into this Agreement with Colorado Department of Labor and Employment, the County will receive funding for the implementation and operation of existing and new Workforce Development Programs; and,

WHEREAS, the purpose of the Agreement is to comply with the federal Workforce Innovation and Opportunity Act by meeting specified performance measures and standards as set forth in the Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the 2017 Agreement for Workforce Development Programs between Adams County and the Colorado Department of Labor and Employment, a copy of which is attached hereto and incorporated herein by reference, be approved.

BE IT FURTHER RESOLOVED, that the Chair of the Board of County Commissioners is authorized to execute said Agreement on behalf of Adams County.

AGREEMENT FOR WORKFORCE DEVELOPMENT PROGRAMS

SIGNATURE AND COVER PAGE

State Agency Colorado Department of Labor and Employment	Agreement Number CMS 105073
The Local Area Adams County	Agreement Performance Beginning Date The later of the Effective Date or November 16, 2017
Agreement Maximum Amount Term State Fiscal Year 2018 N/A	Agreement Expiration Date June 30, 2026
Total for All State Fiscal Years N/A	Agreement Description To provide Federal, State, and other funding to Local Areas for implementation and operation of existing and new programs for the State's workforce development program

THE PARTIES HERETO HAVE EXECUTED THIS AGREEMENT

Each person signing this Agreement represents and warrants that he or she is duly authorized to execute this Agreement and to bind the Party authorizing his or her signature.

<p style="text-align: center;">THE LOCAL AREA</p> <p>The Board of County Commissioners of Adams County</p> <p style="text-align: center;">By: Eva J. Henry, Chair</p> <p style="text-align: center;">Date: _____</p>	<p style="text-align: center;">STATE OF COLORADO</p> <p style="text-align: center;">John W. Hickenlooper, Governor Colorado Department of Labor and Employment Ellen Golombek, Executive Director</p> <p style="text-align: center;">By: William B. Dowling, Director Division of Employment and Training</p> <p style="text-align: center;">Date: _____</p>
<p>The Board of County Commissioners of Adams County</p> <p style="text-align: center;">By: _____</p> <p style="text-align: center;">Date: _____</p>	<p style="text-align: center;">LEGAL REVIEW</p> <p style="text-align: center;">Cynthia H. Coffman, Attorney General</p> <p style="text-align: center;">By: _____ N/A _____</p> <p style="text-align: center;">Date: _____</p>
<p>In accordance with §24-30-202 C.R.S., this Agreement is not valid until signed and dated below by the State Controller or an authorized delegate.</p> <p style="text-align: center;">STATE CONTROLLER Tammy Nelson, State Controller Delegate</p> <p style="text-align: center;">By: _____</p> <p style="text-align: center;">Effective Date: _____</p>	

TABLE OF CONTENTS

SIGNATURE AND COVER PAGE	1
1. PARTIES	2
2. TERM AND EFFECTIVE DATE	3
3. AUTHORITY	4
4. PURPOSE	4
5. DEFINITIONS	4
6. STATEMENT OF WORK	7
7. AGREEMENT FUNDS	7
8. REPORTING - NOTIFICATION	10
9. THE LOCAL AREA RECORDS	11
10. CONFIDENTIAL INFORMATION-STATE RECORDS	12
11. CONFLICTS OF INTEREST	13
12. INSURANCE	13
13. BREACH	15
14. REMEDIES	16
15. DISPUTE RESOLUTION	17
16. NOTICES AND REPRESENTATIVES	18
17. RIGHTS IN WORK PRODUCT AND OTHER INFORMATION	19
18. GOVERNMENTAL IMMUNITY	19
19. GENERAL PROVISIONS	20
20. COLORADO SPECIAL PROVISIONS (COLORADO FISCAL RULE 3-1)	224
EXHIBIT A, ADMINISTRATIVE REQUIREMENTS AND FUNDING PROVISIONS	A-1
EXHIBIT B, LOCAL PLAN	ERROR! BOOKMARK NOT DEFINED. B-1
EXHIBIT C, SUPPLEMENTAL PROVISIONS FOR FEDERAL AWARDS	C-1
EXHIBIT D, FFATA	ERROR! BOOKMARK NOT DEFINED. D-1
EXHIBIT E, NOTICE OF FUNDING ALLOCATION (NFA)	E-1
EXHIBIT F, NOTICE OF FUNDING REDUCTION / RECAPTURE (NFR)	F-1
EXHIBIT G, CERTIFICATION REGARDING DEBARMENT AND SUSPENSION	G-1
EXHIBIT H, CERTIFICATION REGARDING LOBBYING	H-1
EXHIBIT I, DRUG FREE WORKPLACE CERTIFICATIONS	I-1
EXHIBIT J, TOBACCO FREE CERTIFICATION	J-1

1. PARTIES

This Agreement is entered into by and between The Board of County Commissioners of Adams County on behalf of the Local Area named on the Signature and Cover Page for this Agreement, and the STATE OF COLORADO acting by and through the State agency named on the Signature and Cover Page for this Agreement (the “State” or “CDLE”). The Local Area and the State agree to the terms and conditions in this Agreement.

2. TERM AND EFFECTIVE DATE

A. Effective Date

This Agreement shall not be valid or enforceable until the Effective Date. The State shall not be bound by any provision of this Agreement before the Effective Date, and shall have no obligation to reimburse the Local Area for any Work performed or expense incurred before the Effective Date or after the expiration or sooner termination of this Agreement.

B. Term

- i. The Parties’ respective performances under this Agreement shall commence on the Agreement Performance Beginning Date shown on the Signature and Cover Page for this Agreement and shall terminate no later than June 30, 2026 (the “Term”) unless sooner terminated or further extended in accordance with the terms of this Agreement. The Term shall include multiple Periods of Performance.
- ii. Except as stated in §2.C, the total duration of this Agreement, including the exercise of any options to extend, shall not exceed 9 (*nine*) years from its Effective Date.
- iii. If the Local Area has unspent, State-allocated funds that fall with the Period of Performance that extends past the Agreement Expiration Date, then those funds shall be transferred into a successor agreement for the Work executed by both the Local Area and the State.

C. End of Term Extension

If this Agreement approaches the end of its Term, or any Extension Term then in place, the State, at its discretion, upon written notice to the Local Area as provided in §16, may unilaterally extend such Term or Extension Term for a period not to exceed 2 months (an “End of Term Extension”), regardless of whether additional Extension Terms are available or not. The provisions of this Agreement in effect when such notice is given shall remain in effect during the End of Term Extension. The End of Term Extension shall automatically terminate upon execution of a replacement Agreement or modification extending the total term of the Agreement.

D. Early Termination in the Public Interest

The State is entering into this Agreement to serve the public interest of the State of Colorado as determined by its Governor, General Assembly, or Courts. If this Agreement ceases to further the public interest of the State, the State, in its discretion, may terminate this Agreement in whole or in part. This subsection shall not apply to a termination of this Agreement by the State for breach by the Local Area, which shall be governed by §14.A.i.

i. Method and Content

The State shall notify the Local Area of such termination in accordance with §16. The notice must specify the effective date of the termination and whether it affects all or a portion of this Agreement.

ii. Obligations and Rights

Upon receipt of a termination notice for termination in the public interest, the Local Area shall be subject to **§14.A.i.a.**

iii. Reimbursement

If the State terminates this Agreement in the public interest, the State shall reimburse the Local Area an amount equal to the percentage of the total reimbursement payable under this Agreement that corresponds to the percentage of Work satisfactorily performed, as determined by the State, less reimbursements previously made.

3. AUTHORITY

- A. Authority to enter into this Agreement exists in Colorado Revised Statutes §8-77-109 C.R.S., Establishment of the Employment Support Fund (ESF), for use by the Colorado Department of Labor and Employment, Division of Employment and Training, §8-83 C.R.S., Workforce Development Part 1 Division of Employment and Training, §8-83-104 C.R.S., State Employment Service; and §8-83 C.R.S., Part 2, Workforce Investment Act, the Federal Workforce Innovation and Opportunity Act of 2014 (WIOA) (Public Law #113-128 enacted July 22, 2014, and the WIOA Technical Amendments Act (Public Law #114-15 enacted May 22, 2015) (collectively, codified as 29 USC §§ 3101 et seq.), both including the Wagner Peyser Act (WP) as amended, and also pursuant to the authority of the Colorado Workforce Development Council (CWDC) to approve the use of WIOA and WP discretionary funds, the authority of the Colorado Department of Labor and Employment, Division of Employment and Training, as administrator of the WIOA and WP, including the Governor's WIOA and WP discretionary funds, and other workforce development programs (WDP).
- B. Pursuant to the WIOA, the WP, the State's Long Bill for the appropriation of the ESF, and other Federal and State funding appropriations for programs, such as, the Jobs for Veterans State Grant (JVSG) Program, (Public Law #107-288, enacted November 7, 2002), National Dislocated Worker Grants, and other WDP funds have been budgeted, appropriated and otherwise made available, and a sufficient unencumbered balance remains available for payment. Required approvals, clearance and coordination have been accomplished with appropriate agencies, State Incentive Grants and other WDPs.
- C. Funds have been budgeted, gifts, grants, donations, and other receivable funding may be appropriated, and spending authority shall be approved for allocation to the Local Areas.
- D. The Parties acknowledge that the mutual promises and covenants contained herein and other good and valuable consideration are sufficient and adequate to support this Agreement.

4. PURPOSE

This Agreement is to provide Federal, State, and other funding to Local Areas for implementation and operation of existing and new programs for the State's workforce development program as defined in §8-83-204 C.R.S. This Agreement, in part, is intended to comply with and carry out the purposes of the federal Workforce Innovation and Opportunity Act (29 USC 3101, et seq.), or any future statutes that, in whole or part, may be enacted to replace or supplement federal workforce policy.

5. DEFINITIONS

The following terms shall be construed and interpreted as follows (additional program definitions are attached hereto as Exhibit A):

- A. “**Agreement**” means this Agreement, its terms and conditions, attached exhibits, documents incorporated by reference under the terms of this Agreement, and any future modifying agreements, exhibits, attachments or references incorporated herein pursuant to Federal law, Colorado State law, Fiscal Rules, State Controller Policies, Policy Guidance Letters (PGL), or other funding/granting authority and related terms.
- B. “**Agreement Funds**” means the funds that have been appropriated, designated, encumbered, or otherwise made available for reimbursement by the State to the Local Area under this Agreement. Agreement Funds are further described in Section 7 of this Agreement and in Exhibit A, Section 2.
- C. “**Business Day**” means any day in which the State is open and conducting business, but shall not include Saturday, Sunday or any day on which the State observes one of the holidays listed in §24-11-101(1) C.R.S.
- D. “**CJI**” means criminal justice information collected by criminal justice agencies needed for the performance of their authorized functions, including, without limitation, all information defined as criminal justice information by the U.S. Department of Justice, Federal Bureau of Investigation, Criminal Justice Information Services Security Policy, as amended and all Criminal Justice Records as defined under 24-72-302 C.R.S.
- E. “**CORA**” means the Colorado Open Records Act, §§24-72-200.1 *et. seq.*, C.R.S.
- F. “**End of Term Extension**” means the time period defined in §2.C.
- G. “**Effective Date**” means the date on which this Agreement is approved and signed by the Colorado State Controller or designee, as shown on the Signature and Cover Page for this Agreement.
- H. “**Evaluation**” means the review and monitoring of the Work performed by the Local Area based on criteria established in Federal and State laws and regulations, PGLs, and Work Plans.
- I. “**Exhibits**” means the following exhibits attached to this Agreement. The State may update, supplement, or adjoin, as appropriate, the Exhibits, or any one Exhibit, to this Agreement; provided, however, any updated, supplemented, or adjoined Exhibit shall not materially alter the scope of services as a workforce development program nor materially change the financial method of calculation for fund allocation within a specific Period of Performance. The Local Area’s compliance with any updated, supplemented, or adjoined Exhibit shall be required prospectively from the effective date of the State or federal government change. The following Exhibits, as amended, supplemented, or changed, shall be:
- i. **Exhibit A**, Administrative Requirements and Funding Provisions (current and prospective years).
 - ii. **Exhibit B**, Local Plan (current and prospective years).
 - iii. **Exhibit C**, Supplemental Provisions for Federal Awards, 2 CFR 200.
 - iv. **Exhibit D**, Federal Funding Accounting and Transparency Act of 2006 (“FFATA”), as amended
 - v. **Exhibit E**, Notice of Funding Allocation (“NFA”).
 - vi. **Exhibit F**, Notice of Funding Reduction / Recapture (“NFR”).
 - vii. **Exhibit G**, Certification Regarding Debarment and Suspension.

- viii. **Exhibit H**, Certification Regarding Lobbying.
- ix. **Exhibit I**, Drug-Free Workplace Certifications.
- x. **Exhibit J**, Tobacco-Free Certification.
- J. **“Incident”** means any accidental or deliberate event that results in or constitutes an imminent threat of the unauthorized access or disclosure of State Confidential Information or of the unauthorized modification, disruption, or destruction of any State Records.
- K. **“Term”** means the time period defined in **§2.B**.
- L. **“Local Area”** means a labor market area, regional economic development area, or other appropriate contiguous area designated a local workforce development area by the Governor, or as otherwise defined by §8-83-203(22) C.R.S. “Contractor” shall be interpreted identically as “Local Area” for all purposes in this Agreement.
- M. **“Notice of Funding Allocation”** (or “NFA”) means the document authorized by the State that allocates funds to the Local Area. The NFA is further described in Exhibit A, Section 1.
- N. **“Party”** means the State or Local Area, and “Parties” means both the State and Local Area.
- O. **“Period of Performance”** means the time period that the Local Area may incur expenditures in performance of the Work. Federal awards include expenditures and obligations under an NFA or grant.
- P. **“PII”** means personally identifiable information including, without limitation, any information maintained by the State or Local Area (or a Local Area’s Subrecipient as defined by 2 CFR §§200.93 and 200.330) about an individual that can be used to distinguish or trace an individual’s identity, such as name, social security number, date and place of birth, mother’s maiden name, or biometric records; and any other information that is linked or linkable to an individual, such as medical, educational, financial, and employment information. PII includes, but is not limited to, all information defined as personally identifiable information in §24-72-501 C.R.S.
- Q. **“PHI”** means any protected health information, including, without limitation any information whether oral or recorded in any form or medium: **(i)** that relates to the past, present or future physical or mental condition of an individual; the provision of health care to an individual; or the past, present or future payment for the provision of health care to an individual; and **(ii)** that identifies the individual or with respect to which there is a reasonable basis to believe the information can be used to identify the individual. PHI includes, but is not limited to, any information defined as Individually Identifiable Health Information by the federal Health Insurance Portability and Accountability Act.
- R. **“Program”** means the federal or State initiatives that require the delivery of career services, education and training, and supportive services by the Local Area to jobseekers, workers, and businesses. Program is further described in Exhibit A.
- S. **“Policy Guidance Letter”** (or “PGL”) means the documents issued by the State to the Local Area that identify policies and procedures, and performance requirements, to be followed in a Program’s implementation and operation.
- T. **“Services”** means the required Program services to be performed by Local Area as set forth in this Agreement, and shall include any services to be rendered by a Subrecipient of a Local Area. “Goods and Services” shall include any movable material acquired, produced, or delivered by the Local Area (or any Subrecipient or its contractors) in connection with the

Services.

- U. **“State Confidential Information”** means any and all State Records not subject to disclosure under CORA. State Confidential Information shall include, but is not limited to, PII, PHI, CJI, and State personnel records not subject to disclosure under CORA.
- V. **“State Fiscal Rules”** means that fiscal rules promulgated by the Colorado State Controller pursuant to §24-30-202(13)(a).
- W. **“State Fiscal Year”** means a 12 month period beginning on July 1 of each calendar year and ending on June 30 of the following calendar year. If a single calendar year follows the term, then it means the State Fiscal Year ending in that calendar year.
- X. **“State Records”** means any and all State data, information, and records, regardless of physical form, including, but not limited to, information subject to disclosure under CORA.
- Y. **“Subrecipient”** means non-federal entities engaged to aid in performance of the Work. For all purposes under this Agreement, the meaning of Subrecipient shall not be interpreted in a manner at conflict with 2 CFR §§200.93 and 200.330.
- Z. **“Work”** means the required tasks and activities the Local Area performs in fulfillment of this Agreement including but not limited to Exhibit A and Exhibit B.
- AA. **“Work Product”** means the tangible and intangible results of the Work, whether finished or unfinished, including drafts. Work Product includes, but is not limited to, documents, text, software (including source code), research, reports, proposals, specifications, plans, notes, studies, data, images, photographs, negatives, pictures, drawings, designs, models, surveys, maps, materials, ideas, concepts, know-how, and any other results of the Work. “Work Product” does not include any material that was developed prior to the Effective Date that is used, without modification, in the performance of the Work.

In this Agreement, “shall” and “must” are to be interpreted as imperative rather than permissive terms. In general, “shall” specifies a duty while “must” assigns a conditional requirement. Neither term shall be construed or interpreted as less than an essential requirement. Any other term used in this Agreement that is defined in an Exhibit shall be construed and interpreted as defined in that Exhibit.

6. WORK PLAN

The Local Area shall provide and perform Services to complete the Work as described in this Agreement and in accordance with the provisions of Exhibit A and Exhibit C. The State shall have no liability to reimburse the Local Area for the performance of any Services that are not specifically set forth in this Agreement. Excepting the Colorado Rural Workforce Consortium, all persons employed by the Local Area or its Subrecipients or contractors are not employees of the State for any purposes under this Agreement.

7. AGREEMENT FUNDS

A. Funds shall be distributed based on their availability under either a Reimbursement or Performance-based method.

B. Fund Types

Reimbursement, also referred to as cost-reimbursement, to the Local Area is limited to the unpaid (by the State), incurred allowable expenditures under an NFA issued pursuant to this Agreement and the executed Work Plan. Properly incurred, documented, allowable costs after review and

approval, off-set by any gross income earned by the Local Area directly generated as a result of a supported activity or earned as a result of a Federal award during the Period of Performance (as defined by 2 CFR part 200.80) received by the Local Area in connection with any program, subject to the provisions of this Agreement and Exhibit A, for Goods and Services reimbursed to the Local Area by the State using Federal and State funds. Funding issued under this Agreement by the State includes:

- i. Federal formula allocated funds defined in Federal law and regulation.
- ii. Federal formula allocated discretionary funds made available to CDLE by the Governor and formula allocated based on participation and performance criteria.
- iii. State funds for Programs defined by legislative enactment.
- iv. State formula allocated funds based on participation and performance criteria.
- v. Other Federal, State, or other funds awarded to CDLE including but not limited to gifts, grants, and donations, or deliverable or performance-based funding.

C. Reimbursement-based Funding

The State will allocate funds to the Local Area in accordance with the provisions set forth in Exhibits A and B. The Local Area may use allocated funds solely for allowable administrative, program, and staffing costs identified in Federal and State law, Program Guidance Letters, or as may be negotiated between the Parties.

D. Performance-based Funding

Should any funds under this Agreement require a deliverable or performance basis, as opposed to cost-reimbursement, then the following payment procedures shall apply.

i. Invoices and Payment

- a. The State shall pay the Local Area in the amounts and in accordance with the schedule and other conditions set forth this Agreement and Exhibit A.
- b. The Local Area shall initiate payment requests by invoice to the State, in a form and manner approved by the State.
- c. The State shall pay within 45 days following the State's receipt of the Agreement Funds from the federal government and receipt of an invoice from the Local Area, so long as the amount invoiced correctly represents Work completed by the Local Area and previously accepted by the State during the term that the invoice covers. If the State determines that the amount of any invoice is not correct, then the Local Area shall make all changes necessary to correct that invoice.
- d. The acceptance of an invoice for payment shall not constitute acceptance of any Work performed or deliverables provided under the Contract.

ii. Interest

Amounts not paid by the State within 45 days of the State's receipt of the Agreement Funds from the federal government and of the State's acceptance of the invoice shall bear interest on the unpaid balance beginning on the 45th day at the rate of 1% per month, as required by §24-30-202(24)(a), C.R.S., until paid in full; provided, however, that interest shall not accrue on unpaid amounts that the State disputes in writing. The Local Area shall invoice the State separately for accrued interest on delinquent

amounts, and the invoice shall reference the delinquent payment, the number of day's interest to be paid and the interest rate.

iii. Payment Disputes

If the Local Area disputes any calculation, determination or amount of any payment, the Local Area shall notify the State in writing of its dispute within 30 days following the earlier to occur of the Local Area's receipt of the payment or notification of the determination or calculation of the payment by the State. The State will review the information presented by the Local Area and may make changes to its determination based on this review. The calculation, determination or payment amount that results from the State's review shall not be subject to additional dispute under this subsection. No payment subject to a dispute under this subsection shall be due until after the State has concluded its review, and the State shall not pay any interest on any amount during the period it is subject to dispute under this subsection.

iv. Reporting

The Local Area shall submit, on a quarterly basis, a written report specifying progress made for each specified performance measure and standard in this Agreement. Such progress report shall be in accordance with the procedures developed and prescribed by the State in an approved Work Plan.

v. Remedies

In addition to any remedies available to the State set forth in §14, the State may also withhold payment to the Local Area until the Local Area corrects its Work under a deliverable or performance-based Work Plan. Should the remedies involve termination for breach, the State shall only pay Local Area for accepted Work received as of the date of termination.

E. Fund Issuance

The State shall allocate funds to the Local Area in accordance with the provisions set forth in Exhibit A. The Local Area may use allocated funds only for allowable administrative, program, and staffing costs identified in Federal and State law, Policy Guidance Letters, or as may be negotiated and agreed to by the Parties.

F. Available Funds-Contingency-Termination

The State is prohibited by law from making commitments beyond the term of the current State Fiscal Year. Funding beyond the current State Fiscal Year is contingent on the appropriation and continuing availability of Agreement Funds in any subsequent year (as provided in the Colorado Special Provisions). If federal funds or funds from any other non-State funds constitute all or some of the Agreement Funds the State's obligation to reimburse the Local Area shall be contingent upon such non-State funding continuing to be made available for payment. Reimbursements to be made pursuant to this Agreement shall be made only from Agreement Funds, and the State's liability for such reimbursements shall be limited to the amount remaining of such Agreement Funds. If State, federal or other funds are not appropriated, or otherwise become unavailable to fund this Agreement, the State may, at the State's sole discretion, upon written notice, terminate this Agreement, in whole or in part, without incurring further liability. The State shall, however, remain obligated to reimburse for Services that are delivered and accepted prior to the effective date of notice of termination, and this termination shall otherwise be treated as if this Agreement were terminated in the

public interest as described in **§2.D**.

G. Maximum Amount

The maximum amount reimbursed to the Local Area by the State shall not exceed the total amount of funding allocated to and accepted by the Local Area under this Agreement and shall be determined by the State from available funds and set forth in the issued NFAs. Reimbursements to the Local Area are limited to the incurred allowable but unpaid balance of the Agreement.

H. Recapture of Funds

Funding not expended by the Local Area within the Period of Performance may be deobligated and recaptured by the State or carried forward. The State may reallocate such funds for use in the next program year(s) up through the Period of Performance end date or grant date.

I. Disallowed Costs

The Local Area shall promptly return to the State funds for disallowed costs based on a later audit or review. Also, the State may recover such reimbursements or payments by deduction from subsequent reimbursements under this Agreement, deduction from any reimbursement due under any other Agreements, grants or agreements between the State and the Local Area, or by any other appropriate method for collecting debts owed to the State. Any recovery of these costs must be made within the Record Retention Period.

J. Erroneous Reimbursement Payments

The State may recover, at the State's discretion, reimbursements made to the Local Area in error for any reason, including, but not limited to, excess reimbursements or improper reimbursements, disallowed costs, and unexpended or excess funds received by the Local Area. The State may recover such reimbursements or payments by deduction from subsequent reimbursements under this Agreement, deduction from any reimbursements due under any other Agreements, grants or agreements between the State and the Local Area, or by any other appropriate method for collecting debts owed to the State.

8. REPORTING - NOTIFICATION

A. Litigation Reporting

If the Local Area is served with a pleading or other document in connection with an action before a court or other administrative decision making body, and such pleading or document relates to this Agreement or may affect the Local Area's ability to perform its obligations under this Agreement, the Local Area shall, within 10 days after being served, notify the State of such action and deliver copies of such pleading or document to the State's principal representative identified in **§16**.

B. Noncompliance

Failure by the Local Area to provide reports or to notify the State in a timely manner in accordance with this **§8** may result in delay of reimbursement or payment and/or termination as provided under this Agreement and in accordance with Exhibit A.

C. Local Area Subrecipient Reporting

The Local Area shall submit copies of all contracts or Memorandums of Understanding ("MOU") entered into with a Subrecipient in order to perform the Work hereunder to the

State or to the federal government upon request. Any contracts or MOUs entered into by the Local Area to perform the Work must comply with all applicable terms and conditions of this Agreement. The Local Area shall ensure that its Subrecipient is required to: (1) allow the State to audit its books and records pertaining to this Agreement, and (2) maintain such books and records for a period of not less than specified in §9 for Local Area record maintenance.

D. Violations Reporting

The Local Area and any Local Area Subrecipient shall disclose, in a timely manner, in writing to the State all violations of Federal or State criminal law involving fraud, bribery, or gratuity violations affecting any award under this Agreement. Penalties for noncompliance may include, pursuant to §14, termination or suspension of this Agreement, or other penalties as specified by law (2 CFR part 180 and 31 USC 3321).

9. LOCAL AREA RECORDS

A. Maintenance

The Local Area shall make, keep, maintain, a complete file of all records, documents, communications, notes and other written materials, electronic media files, and electronic communications, pertaining in any manner to the Work or delivery of Services (including, but not limited to the operation of programs) hereunder (the “Local Area Records”). The Local Area Records must include all documents, records, communications, notes and other materials maintained by the Local Area that relate to any Work performed by Subrecipients, and the Local Area shall maintain all records related to the Work performed by Subrecipients required to ensure proper performance of that Work. The Local Area shall maintain the Local Area Records until the last to occur of: (i) the date three (3) years after the Period of Performance, (ii) final payment under this Agreement is made, (iii) the resolution of any pending Agreement matters including but not limited to final resolution of litigation (including appeal), or (iv) if an audit is occurring, or the Local Area has received notice that an audit is pending, the date such audit is completed and its findings have been resolved (the “Record Retention Period”).

B. Inspection

The Local Area shall permit the State or the federal government to audit, inspect, examine, excerpt, copy and transcribe the Local Area Records during the Record Retention Period. The Local Area shall make the Local Area Records available during normal business hours at the Local Area’s office or place of business, or at other mutually agreed upon times or locations, upon no fewer than two (2) Business Days’ notice from the State or federal government, unless the State determines that a shorter period of notice, or no notice, is necessary to protect the interests of the State.

C. Monitoring

The State, in its discretion, may monitor the Local Area’s performance of its obligations under this Agreement using procedures as determined by the State. The State shall monitor the Local Area’s performance in a manner that does not unduly interfere with the Local Area’s performance of the Work.

D. Final Audit Report

The Local Area shall promptly submit to the State a copy of any final audit report of an audit

performed on the Local Area's records that relates to or affects this Agreement or the Work, whether the audit is conducted by the Local Area or a third party.

10. CONFIDENTIAL INFORMATION

A. Confidentiality

The Local Area shall hold and maintain, and cause all Subrecipients to hold and maintain, any and all State Records that the State provides or makes available to the Local Area for the sole and exclusive benefit of the State, unless those State Records are otherwise publicly available at the time of disclosure or are subject to disclosure by the Local Area under CORA. The Local Area shall not, without prior written approval of the State, use for the Local Area's own benefit, publish, copy, or otherwise disclose to any third party, or permit the use by any third party for its benefit or to the detriment of the State, any State Records, except as otherwise stated in this Agreement. The Local Area shall provide for the security of all State Confidential Information in accordance with all policies promulgated by the Colorado Office of Information Security and all applicable laws, rules, policies, publications, and guidelines including, without limitation, the most recently issued version of the U.S. Department of Justice, Federal Bureau of Investigation, Criminal Justice Information Services Security Policy for all CJJ. The Local Area shall immediately forward any request or demand for State Records to the State's principal representative.

B. Other Entity Access and Nondisclosure Agreements

The Local Area may provide State Records to its agents, employees, assigns and Subrecipients as necessary to perform the Work, but shall restrict access to State Confidential Information to those agents, employees, assigns and Subrecipients who require access to perform their obligations under this Agreement. The Local Area shall ensure all such agents, employees, assigns, and Subrecipients sign nondisclosure agreements at least as protective as those in this Agreement, and that the nondisclosure agreements are in force at all times the agent, employee, assign or Subrecipient has access to any State Confidential Information. The Local Area shall provide copies of those signed nondisclosure restrictions to the State upon request.

C. Use, Security, and Retention

The Local Area shall use, hold and maintain State Confidential Information in compliance with any and all applicable laws and regulations in facilities located within the United States, and shall maintain a secure environment that ensures confidentiality of all State Confidential Information wherever located. The Local Area shall provide the State with access, subject to the Local Area's reasonable security requirements, for purposes of inspecting and monitoring access and use of State Confidential Information and evaluating security control effectiveness. Upon the expiration or termination of this Agreement, the Local Area shall return State Records provided to the Local Area or destroy such State Records and certify to the State that it has done so, as directed by the State. If the Local Area is prevented by law or regulation from returning or destroying State Confidential Information, the Local Area warrants it shall guarantee the confidentiality of, and cease to use, such State Confidential Information.

D. Incident Notice and Remediation

If the Local Area becomes aware of any Incident, it shall notify the State immediately in accordance with §16 and cooperate with the State regarding recovery, remediation, and the

necessity to involve law enforcement, as determined by the State. Unless the Local Area can establish that none of the Local Area or any of its agents, employees, assigns or Subrecipients are the cause or source of the Incident, the Local Area shall be responsible for the cost of notifying each person who may have been impacted by the Incident. After an Incident, the Local Area shall take steps to reduce the risk of incurring a similar type of Incident in the future as directed by the State, which may include, but is not limited to, developing and implementing a remediation plan. The Local Area shall carry out its duties under this section in consultation and cooperation with the State.

11. CONFLICTS OF INTEREST AND INTEGRITY IN THE EXPENDITURE OF PUBLIC FUNDS

A. Actual Conflicts of Interest

The Local Area shall not engage in any business or activities, or maintain any relationships that conflict in any way with the full performance of the obligations of the Local Area under this Agreement. Such a conflict of interest would arise when the Local Area or Subrecipient's employee, officer or agent were to offer or provide any tangible personal benefit to an employee of the State, or any member of his or her immediate family or his or her partner, related to the award of, entry into or management or oversight of this Agreement.

B. Apparent Conflicts of Interest

The Local Area acknowledges that, with respect to this Agreement, even the appearance of a conflict of interest may be harmful to the State's interests. Absent the State's prior written approval, the Local Area shall refrain from any practices, activities or relationships that reasonably appear to be in conflict with the full performance of the Local Area's obligations under this Agreement.

C. Integrity in the Expenditure of Public Funds

The Local Area shall maintain integrity in the expenditure of the public funds to be reimbursed under this Agreement and shall perform the Work in an impartial manner, free from personal, financial, political, or other questionable or improper gain or motive. The Local Area and its executive staff and employees shall avoid situations that may give rise to a suggestion or perception that any decision made by the Local Area is influenced by prejudice, bias, special interest, or personal gain.

D. Disclosure to the State

If a conflict or the appearance of a conflict or question of integrity arises, or if the Local Area is uncertain whether a conflict or question of integrity has arisen, the Local Area shall submit to the State in accordance with §16 a disclosure statement setting forth the relevant details for the State's consideration. Failure to promptly submit a disclosure statement or to follow the State's direction in regard to the actual or apparent conflict constitutes a breach of this Agreement.

12. INSURANCE

The Local Area shall obtain and maintain, and ensure that each Subrecipient shall obtain and maintain, insurance as specified in this section at all times during the term of this Agreement. All insurance policies required by this Agreement that are not provided through self-insurance must be issued by insurance companies with an AM Best rating of A-VIII or better.

A. The Local Area Insurance

Excepting the Colorado Rural Workforce Consortium, the Local Area is a "public entity" within the meaning of the Colorado Governmental Immunity Act, §24-10-101, *et seq.*, C.R.S. (the "GIA") and shall maintain at all times during the term of this Agreement such liability insurance, by commercial policy or self-insurance, as is necessary to meet its liabilities under the GIA.

B. Subrecipient Requirements

The Local Area shall ensure that each Subrecipient that is a public entity within the meaning of the GIA, maintains at all times during the terms of this Agreement, such liability insurance, by commercial policy or self-insurance, as is necessary to meet the Subrecipient's obligations under the GIA. The Local Area shall ensure that each Subrecipient that is not a public entity within the meaning of the GIA, maintains at all times during the terms of this Agreement all of the following insurance policies:

i. Workers' Compensation

Workers' compensation insurance as required by state statute, and employers' liability insurance covering all the Local Area or Subrecipient employees acting within the course and scope of their employment.

ii. General Liability

Commercial general liability insurance written on an Insurance Services Office occurrence form, covering premises operations, fire damage, independent contractors, products and completed operations, blanket contractual liability, personal injury, and advertising liability with minimum limits as follows:

- a. \$1,000,000 each occurrence;
- b. \$1,000,000 general aggregate;
- c. \$1,000,000 products and completed operations aggregate; and
- d. \$50,000 any 1 fire.

iii. Automobile Liability

Automobile liability insurance covering any auto (including owned, hired and non-owned autos) with a minimum limit of \$1,000,000 each accident combined single limit.

iv. Protected Information

Liability insurance covering all loss of State Confidential Information, such as PII, PHI, and CJI, and claims based on alleged violations of privacy rights through improper use or disclosure of protected information with minimum limits as follows:

- a. \$1,000,000 each occurrence; and
- b. \$2,000,000 general aggregate.

v. Crime Insurance

Crime insurance including employee dishonesty coverage with minimum limits as follows:

- a. \$1,000,000 each occurrence; and
- b. \$1,000,000 general aggregate.

C. Additional Insured

The State shall be named as additional insured on all commercial general liability policies (leases and construction Agreements require additional insured coverage for completed operations) required of the Local Area and Subrecipients.

D. Primacy of Coverage

Coverage required of the Local Area and each Subrecipient shall be primary over any insurance or self-insurance program carried by the Local Area or the State.

E. Cancellation

All commercial insurance policies must include provisions preventing cancellation or non-renewal, except for cancellation based on non-payment of premiums, without at least 30 days prior notice to the Local Area and the Local Area shall forward such notice to the State in accordance with §16 within 7 days of the Local Area's receipt of such notice.

F. Subrogation Waiver

All commercial insurance policies secured or maintained by the Local Area or its Subrecipients in relation to this Agreement must include clauses stating that each carrier shall waive all rights of recovery under subrogation or otherwise against the Local Area or the State, its agencies, institutions, organizations, officers, agents, employees, and volunteers.

G. Certificates

For each commercial insurance plan provided by the Local Area under this Agreement, the Local Area shall provide to the State certificates evidencing the Local Area's insurance coverage required in this Agreement within 7 Business Days following the Effective Date. The Local Area shall provide to the State certificates evidencing Subrecipient insurance coverage required under this Agreement within 7 Business Days following the Effective Date, except that, if the Local Area's contract engaging a Subrecipient is not in effect as of the Effective Date, the Local Area shall provide to the State certificates showing Subrecipient insurance coverage required under this Agreement within 7 Business Days following the Local Area's execution of the contract engaging the Subrecipient. No later than 15 days before the expiration date of the Local Area's or any Subrecipient's coverage, the Local Area shall deliver to the State certificates in accordance with §16 of insurance evidencing renewals of coverage. At any other time during the term of this Agreement, upon request by the State, the Local Area shall, within 7 Business Days following the request by the State, supply to the State evidence satisfactory to the State of compliance with the provisions of this §12.

13. BREACH

A. Defined

The failure of a Party to perform any of its obligations in accordance with this Agreement, in whole or in part or in a timely or satisfactory manner, shall be a breach.

B. Notice and Cure Period

In the event of a breach, the aggrieved Party shall give written notice of breach to the other Party. If the notified Party does not cure the breach, at its sole expense, within 30 days after the delivery of written notice, the Party may exercise any of the remedies as described in §14 for that Party. Notwithstanding any provision of this Agreement to the contrary, the State, in its discretion, need not provide notice or a cure period and may immediately terminate this

Agreement in whole or in part or institute any other remedy in the Agreement in order to protect the public interest of the State.

14. REMEDIES

A. State's Remedies

If the Local Area is in breach under any provision of this Agreement and fails to cure such breach, the State, following the notice and cure period set forth in **§13.B.**, shall have all of the remedies listed in this **§14.A.** in addition to all other remedies set forth in this Agreement or at law. The State may exercise any or all of the remedies available to it, in its discretion, concurrently or consecutively.

i. Termination for Breach

In the event of the Local Area's uncured breach, the State may terminate this entire Agreement or any part of this Agreement. The Local Area shall continue performance of this Agreement to the extent not terminated, if any.

a. Obligations and Rights

To the extent specified in any termination notice, the Local Area shall not incur further obligations or render further performance past the effective date of such notice, and shall terminate outstanding orders and contracts with Subrecipients or other third parties. However, the Local Area shall complete and deliver to the State all Work not cancelled by the termination notice, and may incur obligations as necessary to do so within this Agreement's terms. At the request of the State, the Local Area shall assign to the State all of the Local Area's rights, title, and interest in and to such terminated orders or contracts with Subrecipients or other third parties. Upon termination, the Local Area shall take timely, reasonable and necessary action to protect and preserve property in the possession of the Local Area but in which the State has an interest. At the State's request, the Local Area shall return materials owned by the State in the Local Area's possession at the time of any termination. The Local Area shall deliver all completed Work Product and all Work Product that was in the process of completion to the State at the State's request.

b. Reimbursement by Payment

Notwithstanding anything to the contrary, the State shall only reimburse the Local Area for allowable expenditures incurred as of the date of termination. If, after termination by the State, the State agrees that the Local Area was not in breach or that the Local Area's action or inaction was excusable, such termination shall be treated as a termination in the public interest, and the rights and obligations of the Parties shall be as if this Agreement had been terminated in the public interest under **§2.D.**

c. Damages and Withholding

Notwithstanding any other remedial action by the State, to the extent permitted by law, the Local Area shall remain liable to the State for any damages sustained by the State in connection with any breach by the Local Area, and the State may withhold reimbursement to the Local Area for the purpose of mitigating the State's damages until such time as the exact amount of damages due to the State from the Local Area is determined. The State may withhold any amount that may

be due the Local Area as the State deems necessary to protect the State against loss including, without limitation, loss as a result of outstanding liens and excess costs incurred by the State in procuring from third parties replacement Work as cover.

ii. Remedies Not Involving Termination

The State, in its discretion, may exercise one or more of the following additional remedies:

a. Suspend Performance

Suspend the Local Area's performance with respect to all or any portion of the Work pending corrective action as specified by the State without entitling the Local Area to an adjustment in price or cost or an adjustment in the performance schedule. The Local Area shall promptly cease performing Work and incurring costs in accordance with the State's directive, and the State shall not be liable for costs incurred by the Local Area after the suspension of performance.

b. Withhold Reimbursement by Payment

Withhold reimbursement to the Local Area until the Local Area corrects its Work.

c. Deny Reimbursement by Payment

Deny reimbursement for Work not performed, or that due to the Local Area's actions or inactions, cannot be performed or if they were performed are reasonably of no value to the state; provided, that any denial of reimbursement must be equal to the value of the obligations not performed.

d. Intellectual Property

If any Work infringes a patent, copyright, trademark, trade secret or other intellectual property right, the Local Area shall, as approved by the State (a) secure that right to use such Work for the State or the Local Area; (b) replace the Work with noninfringing Work or modify the Work so that it becomes noninfringing; or, (c) remove any infringing Work and refund the amount paid for such Work to the State.

B. The Local Area's Remedies

If the State is in breach of any provision of this Agreement and does not cure such breach, the Local Area, following the notice and cure period in §13.B and the dispute resolution process in §15 shall have all remedies available at law and equity.

15. DISPUTE RESOLUTION

A. Initial Resolution

Except as herein specifically provided otherwise, disputes concerning the performance of this Agreement which cannot be resolved by the designated Agreement representatives must be referred in writing to a senior departmental management staff member designated by the State and a senior manager designated by the Local Area for resolution.

B. Resolution of Controversies

If the initial resolution described in §15.A fails to resolve the dispute within 10 Business Days, the Local Area shall submit any alleged breach of this Agreement by the State to the

purchasing director of CDLE for resolution in accordance with the provisions of §24-101-301(30), C.R.S. following the same resolution of controversies process as described in §§24-106-109, 24-109-101.1, 24-109-101.5, 24-109-106, 24-109-107, 24-109-201 through 24-109-206, and 24-109-501 through 24-109-505, C.R.S., (the “Resolution Statutes”), except that if the Local Area wishes to challenge any decision rendered by the purchasing director, the Local Area’s challenge must be an appeal to the executive director of the Department of Personnel and Administration, or their delegate, under the Resolution Statutes before the Local Area pursues any further action as permitted by such statutes. Except as otherwise stated in this Section, all requirements of the Resolution Statutes must apply including, without limitation, time limitations.

16. NOTICES AND REPRESENTATIVES

Each individual identified below shall be the principal representative of the designating Party. All notices required or permitted to be given under this Agreement must be in writing, and must be delivered **(i)** by hand with receipt required, **(ii)** by certified or registered mail to such Party’s principal representative at the address set forth below or **(iii)** as an email with read receipt requested to the principal representative at the email address, if any, set forth below. If a Party delivers a notice to another through email and the email is undeliverable, then, unless the Party has been provided with an alternate email contact, the Party delivering the notice must deliver the notice by hand with receipt required or by certified or registered mail to such Party’s principal representative at the address set forth below. Either Party may change its principal representative or principal representative contact information by notice submitted in accordance with this **§16** without a formal amendment to this Agreement. Unless otherwise provided in this Agreement, notices shall be effective upon delivery of the written notice.

For the State:

Lisa Eze,
Purchasing Director
Colorado Department of Labor and
Employment
633 17th Street
11th Floor
Denver, CO 80202-3627
lisa.eze@state.co.us

For the Local Area:

Eva J. Henry,
Chair
The Board of County Commissioners of
Adams County
4430 S. Adams County Pkwy, 5th Floor
Suite W50000A
Brighton, CO 80601-8204
(720) 523-6100
commissioners@adcogov.gov

With a copy to:

Elise Lowe-Vaughn, Workforce Programs
Director
Colorado Department of Labor and
Employment
633 17th Street, 7th Floor
Denver, CO 80202
303-318-8054
elise.lowe-vaughn@state.co.us

17. RIGHTS IN WORK PRODUCT AND OTHER INFORMATION

A. Work Product

The Local Area assigns to the State and its successors and assigns, the entire right, title, and interest in and to all causes of action, either in law or in equity, for past, present, or future infringement of intellectual property rights related to the Work Product and all works based on, derived from, or incorporating the Work Product. Whether or not the Local Area is under Agreement with the State at the time, the Local Area shall execute applications, assignments, and other documents, and shall render all other reasonable assistance requested by the State, to enable the State to secure patents, copyrights, licenses and other intellectual property rights related to the Work Product. The Parties intend the Work Product to be works made for hire.

B. Exclusive Property of the State

Except to the extent specifically provided elsewhere in this Agreement, any pre-existing State Records, State software, research, reports, studies, photographs, negatives or other documents, drawings, models, materials, data and information shall be the exclusive property of the State (collectively, "State Materials"). The Local Area shall not use, willingly allow, cause or permit Work Product or State Materials to be used for any purpose other than the performance of the Local Area's obligations in this Agreement without the prior written consent of the State. Upon termination of this Agreement for any reason, the Local Area shall provide all Work Product and State Materials to the State in a form and manner as directed by the State.

C. Federal License

The federal government reserves a perpetual, paid-up, nonexclusive, and irrevocable license to reproduce, publish or otherwise use, and to authorize others to use, for Federal purposes: i) the copyright in all products developed under this Agreement, including any subcontracts; and ii) any rights of copyright to which the Local Area or a Subrecipient purchases ownership under this Agreement (including but not limited to curricula, training models, technical assistance products, and any related materials). Such uses include, but are not limited to, the right to modify and distribute such products worldwide by any means, electronically or otherwise. Federal funds may not be used to pay any royalty or licensing fee associated with such copyrighted material, although they may be used to pay costs for obtaining a copy, that is limited to the developer/seller costs of copying and shipping. If revenues are generated through selling products developed with Federal grant funds, including intellectual property, these revenues are program income. Program income is added to the grant-funding amount and must be expended for allowable activities pursuant to the applicable Federal funding source. Additionally, the U.S. Department of Labor requires intellectual property developed under a competitive Federal award process to be licensed under a Creative Commons Attribution license. This license allows subsequent users to copy, distribute, transmit and adapt the copyrighted work and requires such users to attribute the work in the manner specified by the recipient.

18. GOVERNMENTAL IMMUNITY

Liability for claims for injuries to persons or property arising from the negligence of the Parties, their departments, boards, commissions committees, bureaus, offices, employees and officials shall be controlled and limited by the provisions of the GIA; the Federal Tort Claims Act, 28 U.S.C. Pt. VI, Ch. 171 and 28 U.S.C. 1346(b), and the State's risk management statutes, §§24-30-1501, *et seq.* C.R.S.

19. GENERAL PROVISIONS

A. Assignment

The Local Area's rights and obligations under this Agreement are personal and may not be transferred or assigned without the prior, written consent of the State. Any attempt at assignment or transfer without such consent shall be void. Any assignment or transfer of the Local Area's rights and obligations approved by the State must be subject to the provisions of this Agreement

B. Contracts with Subrecipients

The Local Area shall not enter into any contract (or Memorandum of Understanding, or any agreement, by any name) with a Subrecipient in connection with its obligations under this Agreement without the prior, written approval of the State. The Local Area shall submit to the State in accordance with §16 a copy of each such Subrecipient contract upon request by the State. All contracts with Subrecipients entered into by the Local Area in connection with this Agreement must comply with all applicable federal and state laws and regulations, must provide that they are governed by the laws of the State of Colorado, and must be subject to all applicable provisions of this Agreement.

C. Binding Effect

Except as otherwise provided in §19.A., all provisions of this Agreement, including the benefits and burdens, shall extend to and be binding upon the Parties' respective successors and assigns.

D. Authority

Each Party represents and warrants to the other that the execution and delivery of this Agreement and the performance of such Party's obligations have been duly authorized.

E. Captions and References

The captions and headings in this Agreement are for convenience of reference only, and shall not be used to interpret, define, or limit its provisions. All references in this Agreement to sections (whether spelled out or using the § symbol), subsections, exhibits or other attachments, are references to sections, subsections, exhibits or other attachments contained herein or incorporated as a part hereof, unless otherwise noted.

F. Counterparts

This Agreement may be executed in multiple, identical, original counterparts, each of which shall be deemed to be an original, but all of which, taken together, shall constitute one and the same agreement.

G. Entire Understanding

This Agreement represents the complete integration of all understandings between the Parties related to the Work, and all prior representations and understandings related to the Work, oral or written, are merged into this Agreement. Prior or contemporaneous additions, deletions, or other changes to this Agreement shall not have any force or effect whatsoever, unless embodied herein.

H. Jurisdiction and Venue

All suits or actions related to this Agreement shall be filed and proceedings held in the State

of Colorado and exclusive venue shall be in the City and County of Denver.

I. Modification

Except as otherwise provided in this Agreement, any modification to this Agreement shall only be effective if agreed to in a formal amendment to this Agreement, properly executed and approved in accordance with applicable Colorado State law and State Fiscal Rules. Notwithstanding anything else in this Agreement to the contrary, this Agreement is subject to such modifications as may be required by changes in Federal or State law, or their implementing regulations, and such change shall be incorporated automatically into and become part of this Agreement on the effective date of such change, as if fully set forth herein. The Local Area is independently charged with obtaining and maintaining knowledge of relevant changes to Federal or State law. Modifications permitted under this Agreement, other than Agreement amendments, shall conform to the policies promulgated by the Colorado State Controller.

J. Statutes, Regulations, Fiscal Rules, and Other Authority.

Any reference in this Agreement to a statute, regulation, State Fiscal Rule, fiscal policy or other authority shall be interpreted to refer to such authority then current, as may have been changed or amended since the Effective Date of this Agreement.

K. Order of Precedence

In the event of a conflict or inconsistency between this Agreement and any Exhibits or attachment such conflict or inconsistency shall be resolved by reference to the documents in the following order of priority:

- i. Exhibit D, Federal Funding Accounting and Transparency Act of 2006 (“FFATA”), as amended
- ii. Exhibit C, Supplemental Provisions for Federal Awards, 2 CFR 200
- iii. Colorado Special Provisions in §20 of the main body of this Agreement.
- iv. The provisions of the other sections of the main body of this Agreement.
- v. Exhibit A, Administrative and Program Provisions.
- vi. Exhibit E, Notice of Funding Allocation (executed).
- vii. Exhibit F, Notice of Funding Recapture (executed).
- viii. Exhibit B, Approved Work Plan
- ix. Exhibits G-L, Federal Certifications and Assurances

L. Severability

The invalidity or unenforceability of any provision of this Agreement shall not affect the validity or enforceability of any other provision of this Agreement, which shall remain in full force and effect, provided that the Parties can continue to perform their obligations under this Agreement in accordance with the intent of the Agreement.

M. Survival of Certain Agreement Terms

Any provision of this Agreement that imposes an obligation on a Party after termination or expiration of the Agreement shall survive the termination or expiration of the Agreement and shall be enforceable by the other Party.

N. Third Party Beneficiaries

Except for the Parties' respective successors and assigns described in §20.B., this Agreement does not and is not intended to confer any rights or remedies upon any person or entity other than the Parties. Enforcement of this Agreement and all rights and obligations hereunder are reserved solely to the Parties. Any services or benefits which third parties receive as a result of this Agreement are incidental to the Agreement, and do not create any rights for such third parties.

O. Waiver

A Party's failure or delay in exercising any right, power, or privilege under this Agreement, whether explicit or by lack of enforcement, shall not operate as a waiver, nor shall any single or partial exercise of any right, power, or privilege preclude any other or further exercise of such right, power, or privilege.

P. CORA Disclosure

To the extent not prohibited by federal law, this Agreement and the performance measures and standards required under §24-103.5-101 C.R.S., if any, are subject to public release through the CORA.

Q. Standard and Manner of Performance

The Local Area shall perform its obligations under this Agreement in accordance with the commonly accepted standards of care, skill and diligence for a Local Area or contractor.

R. Licenses, Permits, and Other Authorizations.

The Local Area shall secure, prior to the Effective Date, and maintain at all times during the term of this Agreement, at its sole expense, all licenses, certifications, permits, and other authorizations required to perform its obligations under this Agreement, and shall ensure that all employees, agents and Subrecipients secure and maintain at all times during the term of their employment, agency or contractual obligation, all license, certifications, permits and other authorizations required to perform their obligations in relation to this Agreement.

S. Nondiscrimination

The Local Area shall comply with all applicable federal, state and local laws, ordinances, executive orders, and regulations that prohibit discrimination on the basis of race, color, national origin, religion, and sex, including but not limited to: Title VI of the Civil Rights Act of 1964, as amended (P.L. 88-352), 42 U.S.C. § 2000d et seq., and Title VII of the Civil Rights Act of 1964, as amended. Unless required by federal law or regulation, employers may not automatically bar applicants or employees with an arrest or conviction record from employment.

T. Criminal Background Checks

The Local Area shall ensure that all employees, and all Subrecipients' employees, have passed comprehensive criminal background checks prior to performing Work under this Agreement.

U. Acceptance of Signatures

The Parties agree that this Contract, agreements ancillary to this Contract, and related documents to be entered into in connection with this Contract will be considered signed when the signature of a Party is delivered by facsimile transmission or delivered by scanned image

(e.g. .pdf or .tiff file extension name) as an attachment to electronic mail (email). Such facsimile or scanned signature must be treated in all respects as having the same effect as an original signature.

V. Section 508 Compliance

By signing this Agreement, the Local Area expressly agrees and certifies that all electronic and information technology deliverables under this Agreement shall comply with Section 508 of the Rehabilitation Act of 1973 (29 U.S.C. 794 (d); 36 CFR Part 1194) and the Access Board Standards. Section 508 requires that accessibility for people with disabilities is incorporated into all electronic and information technology developed, procured and maintained under Agreements. The Local Area shall: (1) upon request, provide the State with its accessibility testing results and written documentation verifying accessibility; (2) promptly respond to and resolve accessibility complaints; and (3) to the extent permitted by law, indemnify and hold the State harmless in the event of claims arising from inaccessibility.

W. Governor's Executive Orders for Greening of State Government

Pursuant to Colorado Governor's Executive Order D-2015-013 (<http://greengov.state.co.us/eo>), the State is committed to taking a leadership position in the areas of energy and water efficiency, petroleum reduction, greenhouse gas emissions reduction, and environmental preferable purchasing, that affect the health and well being of Colorado citizens. During the term of this Agreement, the State encourages the Local Area and its Subrecipients to consider environmental factors in all business and purchasing decisions and to consider giving preference to products and services that have a lesser or reduced effect on human health and the environment.

X. External Communications and Use of Logos

The Local Area shall obtain the written approval of CDLE's Government Policy and Public Relations ("GPPR") Office before making any external communications, whether digital or print, pertaining to this Agreement. Examples of external communications include, but are not limited to, news releases, advertising or marketing materials, or any other form of brochures, newsletters, flyers, handbooks, etc. The Local Area shall not use any logos, trademarks, or slogans of CDLE, or any of CDLE's divisions or programs, without the prior written approval of CDLE's GPPR Office.

Y. Statewide Contract Management System

If the maximum amount payable to Contractor under this Contract is \$100,000 or greater, either on the Effective Date or at anytime thereafter, this §19 shall apply. Contractor agrees to be governed by and comply with the provisions of §24-102-205, §24-102-206, §24-103-601, §24-103.5-101 and §24-105-102 C.R.S. regarding the monitoring of vendor performance and the reporting of contract performance information in the State's contract management system ("Contract Management System" or "CMS"). Contractor's performance shall be subject to evaluation and review in accordance with the terms and conditions of this Contract, Colorado statutes governing CMS, and State Fiscal Rules and State Controller policies.

20. COLORADO SPECIAL PROVISIONS (COLORADO FISCAL RULE 3-1)

These Special Provisions apply to all Agreements except where noted in italics.

A. CONTROLLER'S APPROVAL. §24-30-202(1), C.R.S.

This Agreement shall not be valid until it has been approved by the Colorado State Controller or designee.

B. FUND AVAILABILITY. §24-30-202(5.5), C.R.S.

Financial obligations of the State payable after the current State Fiscal Year are contingent upon funds for that purpose being appropriated, budgeted, and otherwise made available.

C. GOVERNMENTAL IMMUNITY.

No term or condition of this Agreement shall be construed or interpreted as a waiver, express or implied, of any of the immunities, rights, benefits, protections, or other provisions, of the Colorado Governmental Immunity Act, §24-10-101 *et seq.* C.R.S., or the Federal Tort Claims Act, 28 U.S.C. Pt. VI, Ch. 171 and 28 U.S.C. 1346(b).

D. INDEPENDENT CONTRACTOR

Contractor shall perform its duties hereunder as an independent contractor and not as an employee. Neither Contractor nor any agent or employee of Contractor shall be deemed to be an agent or employee of the State. Contractor and its employees and agents are not entitled to unemployment insurance or workers compensation benefits through the State and the State shall not pay for or otherwise provide such coverage for Contractor or any of its agents or employees. Unemployment insurance benefits shall be available to Contractor and its employees and agents only if such coverage is made available by Contractor or a third party. Contractor shall pay when due all applicable employment taxes and income taxes and local head taxes incurred pursuant to this Agreement. Contractor shall not have authorization, express or implied, to bind the State to any agreement, liability or understanding, except as expressly set forth herein. Contractor shall (i) provide and keep in force workers' compensation and unemployment compensation insurance in the amounts required by law, (ii) provide proof thereof when requested by the State, and (iii) be solely responsible for its acts and those of its employees and agents. This clause shall not apply to the Colorado Rural Workforce Consortium, other State agencies, State offices or State employees but shall apply to subcontractors employed by the Colorado Rural Workforce Consortium or to other State agencies or offices.

E. COMPLIANCE WITH LAW.

Contractor shall strictly comply with all applicable federal and State laws, rules, and regulations in effect or hereafter established, including, without limitation, laws applicable to discrimination and unfair employment practices.

F. CHOICE OF LAW.

Colorado law, and rules and regulations issued pursuant thereto, shall be applied in the interpretation, execution, and enforcement of this Agreement. Any provision included or incorporated herein by reference which conflicts with said laws, rules, and regulations shall be null and void. Any provision incorporated herein by reference which purports to negate this or any other Special Provision in whole or in part shall not be valid or enforceable or available in any action at law, whether by way of complaint, defense, or otherwise. Any provision rendered null and void by the operation of this provision shall not invalidate the remainder of this Agreement, to the extent capable of execution.

G. BINDING ARBITRATION PROHIBITED.

The State of Colorado does not agree to binding arbitration by any extra-judicial body or person. Any provision to the contrary in this Agreement or incorporated herein by reference shall be null and void.

H. SOFTWARE PIRACY PROHIBITION. Governor's Executive Order D 002 00.

State or other public funds payable under this Agreement shall not be used for the acquisition, operation, or maintenance of computer software in violation of federal copyright laws or applicable licensing restrictions. Contractor hereby certifies and warrants that, during the term of this Agreement and any extensions, Contractor has and shall maintain in place appropriate systems and controls to prevent such improper use of public funds. If the State determines that Contractor is in violation of this provision, the State may exercise any remedy available at law or in equity or under this Agreement, including, without limitation, immediate termination of this Agreement and any remedy consistent with federal copyright laws or applicable licensing restrictions.

I. EMPLOYEE FINANCIAL INTEREST/CONFLICT OF INTEREST. §§24-18-201 and 24-50-507, C.R.S.

The signatories aver that to their knowledge, no employee of the State has any personal or beneficial interest whatsoever in the service or property described in this Agreement. Contractor has no interest and shall not acquire any interest, direct or indirect, that would conflict in any manner or degree with the performance of Contractor's services and Contractor shall not employ any person having such known interests.

THE REST OF THIS PAGE LEFT INTENTIONALLY BLANK



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Assignment and Assumption of Almost Home Inc.'s agreements related to HOME Investment Partnerships Program (HOME) and Community Development Block Grant (CDBG) funding.
FROM: Kristin Sullivan, Community and Economic Development Director
AGENCY/DEPARTMENT: Community and Economic Development Department
HEARD AT STUDY SESSION ON: Not applicable
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve the Assignment and Assumption of the HOME and CDBG contracts to Brighton Housing Authority (BHA).

BACKGROUND:

In 2004, Adams County entered into an agreement with Almost Home to provide \$298,445 in HOME funds to acquire 9-acres of undeveloped land for a future affordable housing development (Hughes Station). Almost Home was also provided \$99,022.26 in CDBG funds in 2015 to replace a failed HVAC system in its community room. The community room is utilized for homelessness services and Hughes Station residents.

In December 2017, Almost Home sold Hughes Station and Almost Home's facility to BHA. As such, BHA is will assume the affordability requirements for Hughes Station as required by HUD under 24 CFR Part 92. BHA will also assume the CDBG use provisions as required by HUD under 24 CFR Part 570. In order to ensure these requirements, the County must enter into an agreement with Almost Home and BHA via the attached Assignment and Assumption of HOME and CDBG Contracts. As a result, Community and Economic Development Department request Board approval to allow the Chair to execute the Assignment and Assumption Contracts.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney

ATTACHED DOCUMENTS:

Assignment and Assumption of Contract HOME Investment Partnerships Program
Assignment and Assumption of Contract Community Development Block Grant Activity
Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ASSIGNMENT AND ASSUMPTION OF CONTRACTS FOR
THE HOME INVESTMENT PARTNERSHIPS (HOME) PROGRAM AND COMMUNITY
DEVELOPMENT BLOCK GRANT (CDBG) CONTRACTS

Resolution 2018-

WHEREAS, Adams County Community Development (ACCD), a division of the Community and Economic Department, administers on behalf of the County the U.S. Department of Housing and Urban Development programs HOME and CDBG; and,

WHEREAS, the County entered into an agreement in 2004 to provide HOME funds to Almost Home to acquire undeveloped land to develop 120-units of affordable housing, Hughes Station, and ensured thirty (30) years of affordability through the County's HOME contract; and,

WHEREAS, the County entered into an agreement in 2015 to provide CDBG funds to Almost Home to replace a failed HVAC system at its facility for the Hughes Station community room; and,

WHEREAS, Brighton Housing Authority has entered into an agreement with Almost Home to purchase the Almost Home facility and Hughes Station; and,

WHEREAS, Brighton Housing Authority will continue to operate Hughes Station and Almost Home under the HOME affordability and CDBG use requirements under 24 CFR Part 92 and 24 CFR Part 570, respectively; and,

WHEREAS, to ensure compliance with HOME and CDBG requirements, and transfer Almost Home's contractual liability, the County must enter into an agreement with Almost Home and BHA via the attached Assignment and Assumption of HOME and CDBG Contracts; and,

NOW THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, the Assignment and Assumption of HOME and CDBG Contracts are approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said Assignment and Assumption of HOME and CDBG Contracts on behalf of Adams County.

ASSIGNMENT AND ASSUMPTION OF CONTRACT
HOME INVESTMENT PARTNERSHIPS PROGRAM

(Adams County)

THIS ASSIGNMENT AND ASSUMPTION OF CONTRACT HOME INVESTMENT PARTNERSHIPS PROGRAM (this "Assignment") is made and entered into effective as of the _____ day of _____, 2018 (the "Effective Date"), by and between ALMOST HOME, INC., a Colorado nonprofit corporation ("Assignor"), having an address of 233 North Main Street, Brighton, Colorado 80601, and HUGHES STATION BHA 2017 LLC, a Colorado limited liability company ("Assignee"), having an address of 22 South 4th Avenue, Suite 202, Brighton, CO 80601.

RECITALS:

A. Assignor, as Contractor, and the County of Adams, Colorado (the "County"), for the use and benefit of the Board of County Commissioners, County of Adams (the "Board"), are parties to that certain Contract Home Investment Partnerships Program dated July 24, 2002 (the "Contract"). Capitalized terms not defined herein shall have the meanings given them in the Contract.

B. Pursuant to the Contract, the County administers, through the Office of Community Development, certain federal funds to Assignor in connection with Assignor's operation of an existing low income housing facility known as Hughes Station and located at 233 North Main Street, Brighton, Colorado 80601, as more particularly described on Exhibit A attached hereto (the "Property"), in exchange for Assignor's providing a certain Scope of Services, as more particularly described in the Contract.

C. In connection with the sale of the Property from Assignor to Assignee, Assignor has agreed to assign the Contract to Assignee, and Assignee has agreed to assume the same, pursuant to the terms and provisions set forth herein.

NOW, THEREFORE, for and in consideration of the sum of ONE AND NO/100 DOLLAR (\$1.00) and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged and agreed, and for the mutual and dependent covenants herein contained, the parties hereby agree as follows:

1. Assignment and Assumption. Effective as of the Effective Date, Assignor has TRANSFERRED, ASSIGNED, SOLD, and CONVEYED, and does by these presents TRANSFER, ASSIGN, SELL, and CONVEY, unto Assignee all of Assignor's right, title and interest in and to the Contract. Effective as of the Effective Date, Assignee hereby accepts the assignment of all of Assignor's right, title and interest in and to the Contract and assumes and agrees to perform the obligations of Assignor thereunder.

2. Beneficiary Consent. Notwithstanding anything to the contrary in this Assignment, this Assignment shall not be effective unless and until the County executes the Joinder and Consent attached hereto and incorporated herein by this reference.

3. Indemnification. Assignor agrees to indemnify, defend and save Assignee harmless from and against any and all claims, demands, or liabilities arising under or in connection with the Contract arising prior to the Effective Date. Assignee agrees to indemnify, defend and save Assignor harmless from and against any and all claims, demands, or liabilities arising under or in connection with the Contract first accruing from and after the Effective Date.

4. Assignor's Representations and Warranties. Assignor represents and warrants to Assignee that the Contract is in full force and effect and has not been changed, modified, terminated or amended by prior to the Effective Date. No default, or condition or event that, with the giving of notice or passage of time or both, would constitute a default, exists under the Contract. All resolutions, authorizations or consents on the part of Assignor which are necessary for Assignor to execute and deliver this Assignment and to be bound by the provisions hereof have been obtained and are in full force and effect on the Effective Date. Assignor has the right to make this Assignment and no other party has any right, title or interest as Contractor under the Contract. This Assignment constitutes the legal, valid and binding obligation of the Assignor and is enforceable in accordance with the terms hereof.

5. Miscellaneous. The foregoing Recitals are incorporated into the substantive provisions of this Assignment. This Assignment shall be binding upon and shall inure to the benefit of Assignor and Assignee and their respective successors and assigns. This Assignment shall be governed by and construed in accordance with the internal substantive laws of the State of Colorado without giving effect to any choice of law rules thereof. If any provision of this Assignment shall be unlawful, then such provision shall be null and void, but the remainder of this Assignment shall remain in full force and effect and be binding on the parties. This Assignment and the Contract referenced herein contain all of the agreements of the parties relative to the subject matter of this Assignment. Any prior agreements or commitments of Assignor and Assignee, whether oral or written, relating to the subject matter of this Assignment not expressly set forth herein are null and void and superseded in their entirety by the provisions hereof. This Assignment may be executed in multiple counterparts and all of such counterparts taken together shall be deemed to constitute one and the same instrument.

**COUNTERPART SIGNATURE PAGE TO
ASSIGNMENT AND ASSUMPTION OF CONTRACT
HOME INVESTMENT PARTNERSHIPS PROGRAM**

(Adams County)

IN WITNESS WHEREOF, the undersigned have executed and delivered this Assignment as of the Effective Date.

ASSIGNOR:

ALMOST HOME, INC.,
a Colorado nonprofit corporation

By: _____
Name: Kay Collins, Board President
Title: Executive Director

**COUNTERPART SIGNATURE PAGE TO
ASSIGNMENT AND ASSUMPTION OF CONTRACT
HOME INVESTMENT PARTNERSHIPS PROGRAM**

(Adams County)

IN WITNESS WHEREOF, the undersigned have executed and delivered this Assignment as of the Effective Date.

ASSIGNEE:

HUGHES STATION BHA 2017 LLC,
a Colorado limited liability company

By: Brighton Housing Authority, a body corporate
and politic created and existing under the Housing
Authorities Law of the State of Colorado, its sole
member and manager

By: _____

Name: Joseph A. Espinosa

Title: Executive Director

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

Lot 1, Block 1, [HUGHES STATION](#),
EXCEPT that portion conveyed to The City of Brighton, by Deed of Dedication for Public Use,
recorded March 26, 2010, at [Reception Number 2010000019936](#), County of Adams, State of Colorado,
TOGETHER WITH title to buildings, structures and other improvements located on the land.

**JOINDER AND CONSENT TO
ASSIGNMENT AND ASSUMPTION OF CONTRACT
HOME INVESTMENT PARTNERSHIPS PROGRAM**

(Adams County)

The undersigned, as the beneficiary under the Contract, hereby consents to and approves the foregoing Assignment and confirms that upon full execution thereof by Assignor and Assignee, the Assignment is effective pursuant to the terms set forth therein.

COUNTY:

ATTEST:

ADAMS COUNTY

BY: _____
ADAMS COUNTY, CO

BY: _____
CHAIR

DATE: _____

APPROVED AS TO FORM:

BY: _____
COUNTY ATTORNEY'S OFFICE

**ASSIGNMENT AND ASSUMPTION OF AGREEMENT COMMUNITY
DEVELOPMENT BLOCK GRANT ACTIVITY CFDA #14.218**

THIS ASSIGNMENT AND ASSUMPTION OF AGREEMENT COMMUNITY DEVELOPMENT BLOCK GRANT ACTIVITY CFDA #14.128 (this "Assignment") is made and entered into effective as of the ____ day of January, 2018 (the "Effective Date"), by and between ALMOST HOME, INC., a Colorado nonprofit corporation ("Assignor"), having an address of 233 North Main Street, Brighton, Colorado 80601, and HUGHES STATION BHA 2017 LLC, a Colorado limited liability company ("Assignee"), having an address of 22 South 4th Avenue, Suite 202, Brighton, CO 80601.

RECITALS:

A. Assignor and the County of Adams, Colorado (the "County"), are parties to that certain Agreement Community Development Block Grant Activity CFDA #14.218 dated June 1, 2015, as amended by that certain Contract Amendment and Change Order Approval (collectively, the "Contract"). Capitalized terms not defined herein shall have the meanings given them in the Contract.

B. Pursuant to the Contract, the County agreed to provide certain funds in the amount of \$99,022.26 (the "Funds") to Assignor in connection with the installation of certain heating, ventilating and air conditioning equipment in an existing low income housing facility operated by Assignor and known as Hughes Station, 233 North Main Street, Brighton, Colorado 80601, as more particularly described on Exhibit A attached hereto (the "Property"), in exchange for Assignor's providing a certain Scope of Services, as more particularly described in the Contract.

C. In connection with the sale of the Property from Assignor to Assignee, Assignor has agreed to assign the Contract to Assignee, and Assignee has agreed to assume the same, subject, however, to the terms and provisions set forth herein.

NOW, THEREFORE, for and in consideration of the sum of ONE AND NO/100 DOLLAR (\$1.00) and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged and agreed, and for the mutual and dependent covenants herein contained, the parties hereby agree as follows:

1. Assignment and Assumption. Effective as of the Effective Date, Assignor has TRANSFERRED, ASSIGNED, SOLD, and CONVEYED, and does by these presents TRANSFER, ASSIGN, SELL, and CONVEY, unto Assignee all of Assignor's right, title and interest in and to the Contract. Effective as of the Effective Date, Assignee hereby accepts the assignment of all of Assignor's right, title and interest in and to the Contract and assumes and agrees to perform the obligations of Assignor thereunder, subject, however, to the terms and conditions set forth herein.

2. County Consent. Notwithstanding anything to the contrary in this Assignment, this Assignment shall not be effective unless and until the County executes the Joinder and Consent attached hereto and incorporated herein by this reference.

3. Assignor's Representations and Warranties. Assignor represents and warrants to Assignee that: (i) the Contract is in full force and effect and has not been changed, modified, terminated or amended by prior to the Effective Date; (ii) no default, or condition or event that, with the giving of notice or passage of time or both, would constitute a default, exists under the Contract; (iii) the work described in the Scope of Services has been fully completed in accordance with the terms of the Contract prior to the Period of Completion; (iv) all close-out requirements required to be completed by Assignor have been completed; (v) all resolutions, authorizations or consents on the part of Assignor which are necessary for Assignor to execute and deliver this Assignment and to be bound by the provisions hereof have been obtained and are in full force and effect on the Effective Date; (vi) Assignor has the right to make this Assignment and no other party has any right, title or interest as Contractor under the Contract; and (vii) this Assignment constitutes the legal, valid and binding obligation of the Assignor and is enforceable in accordance with the terms hereof. Assignor agrees to indemnify, defend and save Assignee harmless from and against any and all claims, demands, or liabilities arising under or in connection with the Contract arising prior to the Effective Date and/or resulting from a breach of the foregoing representations and warranties

4. Miscellaneous. The foregoing Recitals are incorporated into the substantive provisions of this Assignment. This Assignment shall be binding upon and shall inure to the benefit of Assignor and Assignee and their respective successors and assigns. This Assignment shall be governed by and construed in accordance with the internal substantive laws of the State of Colorado without giving effect to any choice of law rules thereof. If any provision of this Assignment shall be unlawful, then such provision shall be null and void, but the remainder of this Assignment shall remain in full force and effect and be binding on the parties. This Assignment and the Contract referenced herein contain all of the agreements of the parties relative to the subject matter of this Assignment. Any prior agreements or commitments of Assignor and Assignee, whether oral or written, relating to the subject matter of this Assignment not expressly set forth herein are null and void and superseded in their entirety by the provisions hereof. This Assignment may be executed in multiple counterparts and all of such counterparts taken together shall be deemed to constitute one and the same instrument.

[Remainder of Page Left Intentionally Blank; Signature Pages Follow]

**COUNTERPART SIGNATURE PAGE TO
ASSIGNMENT AND ASSUMPTION OF AGREEMENT COMMUNITY
DEVELOPMENT BLOCK GRANT ACTIVITY CFDA #14.218**

IN WITNESS WHEREOF, the undersigned has executed and delivered this Assignment as of the Effective Date.

ASSIGNOR:

ALMOST HOME, INC., a Colorado nonprofit
corporation

By: _____

Name: _____

Title: _____

**COUNTERPART SIGNATURE PAGE TO
ASSIGNMENT AND ASSUMPTION OF AGREEMENT COMMUNITY
DEVELOPMENT BLOCK GRANT ACTIVITY CFDA #14.218**

IN WITNESS WHEREOF, the undersigned has executed and delivered this Assignment as of the Effective Date.

ASSIGNEE:

HUGHES STATION BHA 2017 LLC,
a Colorado limited liability company

By: Brighton Housing Authority, a body corporate
and politic created and existing under the Housing
Authorities Law of the State of Colorado

By: _____
Name: Joseph A. Espinosa
Title: Executive Director

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

Lot 1, Block 1, HUGHES STATION,
EXCEPT that portion conveyed to The City of Brighton, by Deed of Dedication for Public Use,
recorded March 26, 2010, at Reception Number 2010000019936, County of Adams, State of
Colorado, TOGETHER WITH title to buildings, structures and other improvements located on
the land.

**JOINDER AND CONSENT TO
ASSIGNMENT AND ASSUMPTION OF AGREEMENT COMMUNITY
DEVELOPMENT BLOCK GRANT ACTIVITY CFDA #14.218**

The undersigned hereby consents to and approves the foregoing Assignment, and without limiting the foregoing, confirms that upon full execution thereof by Assignor and Assignee, the Assignment is effective pursuant to the terms set forth therein.

COUNTY:

COUNTY OF ADAMS, STATE OF COLORADO

ATTEST: **ADAMS COUNTY**

BY: _____
ADAMS COUNTY, CO

BY: _____
CHAIR

DATE: _____

APPROVED AS TO FORM:

BY: _____
COUNTY ATTORNEY'S OFFICE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 09, 2018
SUBJECT: Arbitrators for Binding Arbitration Tax Appeals
FROM: Meredith P. Van Horn, Assistant County Attorney
AGENCY/DEPARTMENT: COUNTY ATTORNEY
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners appoints the following candidates as Arbitrators to hear Binding Arbitration tax appeal matters in Adams County.

BACKGROUND:

Taxpayers have three avenues of appeal from the decisions of the Board of Equalization: filing a petition to the Board of Assessment Appeals, filing a petition in district court, and binding arbitration. The County Attorney's Office coordinates the binding arbitration process. C.R.S. § 39-8-108.5 requires the Board of County Commissioners to develop a list of people who are qualified to act as arbitrators of property valuation disputes. Arbitrators must be experienced in the area of property taxation and be certified appraisers under Colorado law.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Assessor's Office

ATTACHED DOCUMENTS:

Resolution and List of Arbitrator candidates
Resumes and/or Applications of Binding Arbitrator candidates

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

Resolution 2018-_____

RESOLUTION APPROVING ARBITRATORS FOR PROPERTY VALUATION APPEALS

WHEREAS, C.R.S. § 39-8-108.5(1)(a), provides that the Board of County Commissioners (“BOCC”) shall develop a list of persons who shall be qualified to act as arbitrators of property valuation disputes; and,

WHEREAS, the BOCC has reviewed the qualifications of applicants for arbitrators, who meet the criteria set forth in C.R.S. § 39-8-108.5(1)(b); and,

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Adams County, State of Colorado that the individuals set forth on the List of Arbitrators, attached hereto as Exhibit A, meet the qualifications set forth in C.R.S. § 39-8-108.5(1)(b), and are herein approved, appointed and adopted as the 2018 List of Arbitrators to hear property valuation disputes.

NOW, THEREFORE BE IT FURTHER RESOLVED that Pursuant to C.R.S. § 39-8-108.5(1)(a), the List of Arbitrators shall be kept in the office of the Adams County Clerk & Recorder.

EXHIBIT A

Adams County, Colorado
Approved List of Arbitrators for Property Tax Matters
Arbitrated Pursuant to C.R.S. § 39-8-108.5

Bonnie D. Roerig
(303) 757-5525
bonnie@coloradoappraiser.net

William M. James
303-316-6768
bjames@jres.com

David A. Wheelock
303-776-8673
dawtaxman@aol.com

Timothy J. Lindsey
720-238-4213
tim@safiya.us



Appraisal Institute®

Professionals Providing Real Estate Solutions

MEMBER PROFILE



[View Resume >>](#)

Bonnie D. Roerig, MAI, AI-GRS

Bonnie Roerig & Associates, LLC

Principal and Owner

1873 S. Bellaire St.

Suite 1222

Denver, CO 80222-4359

(303) 757-5525

Fax: (303) 757-8835

bonnie@coloradoappraiser.net

Continuing Education Program Completed

Standards & Ethics Education Completed

Accepts Fee Assignments

Primary Market Area

Denver, Colorado metropolitan area

Secondary Market Area

Colorado

Primary Practice Focus

Appraisal, appraisal review, appraisal consulting.

Business Services

Acquisition, Disposition • Appraisal • Appraisal Review • Conservation Valuation and Consulting • Consulting • Development Valuation and Consultation •

Eminent Domain Valuation and Consulting • Highest and Best Use Studies •

Litigation / Litigation Support • Local Improvement District (LID) Benefit Analysis •

Retrospective Valuation

Property Types

Land

Acreage (Mixed Use) • Acreage (Non-Residential) • Land, Rural • Land, Urban • Mountain • Open Space / Public Park

Commercial

Automobile Dealership • Branch Bank / Financial Building •

Convenience Store / Service station •

Funeral Home / Mortuary Mausoleum / Cemetery / Crematory • Motel •

Office Building (High Rise, over three stories) •

Office Building (Low Rise, three stories or less) • Parking Facility (Lot or Garage) •

Summary of Experience and Qualifications – Bonnie D. Roerig, MAI, AI-GRS

1. Memberships:

Appraisal Institute:

Designated MAI in November 1981; awarded Designated Practicing Life Membership status–2013
Designated AI-GRS (General Review Specialist) in March 2014
Executive Committee, 1995–1996
Board of Directors, 1995–1996
Finance Committee, 1995
National Planning Committee, 1994–1995
General Appraiser Board, 1992–1996; Vice-Chair 1994; Chair 1995 and 1996
Regional Member — Ethics Administration Division, Region II, 1992–1995
Assistant Regional Member – Ethics Administration Division, Region II, 1988–1992
General Demonstration Reports Subcommittee, Chair 2000–2002; Vice-Chair, 1999, Member 2003–04
Demonstration Appraisal Grading Panel – 2005–2015
General Admissions Committee, 2000–2002
Non-Residential Demonstration Reports Subcommittee — 1985–1990; Co-Vice Chair, 1987–1990
Board of Examiners — Appraisal Reports, 1987–1990
Instructor Subcommittee, 1998–1999
Qualifying Education Committee, 1999–2002; Vice-Chair, 1999
Appraisal Journal Editorial Subcommittee, 1999–2001; Chair and Editor-in-Chief, 2002–2003
Educational Publications Committee, 2002–2003
Region Finance Officer, Region II – 2005–2015
Member, Leadership Development and Nominating Committee, 2007
Chair, Appraisal Standards Committee, 2008–2011
Member, Strategic Planning Committee, 2008–2009
2009 Recipient, President's Award (for lifetime achievement)

Colorado Chapter of the Appraisal Institute:

Recipient of Distinguished Service Award, December 1996
President, 1990
Vice-President – President-Elect, 1989
Secretary-Treasurer, 1988
Board of Directors, 1985–1991
Co-Chairman, Admissions Committee, 1983–1984

International Right-of-Way Association, Mile Hi Chapter 6

Education Committee, 2002–2006
Recipient of Helen C. Peck/Frances Reisbeck Memorial Award, March 2005
Treasurer, 2007
Recipient of the Vic Ramer Memorial Right of Way Professional of the Year Award – 2007
Secretary, 2008
Vice-President, 2009
President, 2010–2011
International Director, 2011–2012
Region 9 representative to Valuation Committee 2010–2012
Vice Chair, Valuation Community of Practice, 2013–2014
Chair, Valuation Community of Practice, 2014–2015

Educational Council of Appraisal Foundation Sponsors

Examination Committee, 2004–2009

2. Business Affiliations:

Owner, Bonnie Roerig & Associates, Real Estate Analysts and Value Consultants, since January 1988.
Incorporated Bonnie Roerig & Associates, LLC in February 2003.
Member, National Federation of Independent Business (NFIB)
Full Partner, Baughar-Roerig & Associates, August 1982 through December 1987.
Full-time real estate appraisal work since 1970, Denver-Boulder area and throughout Colorado.

3. Experience:

- a) Appraisals throughout metropolitan Denver and in various locations in Colorado since 1970.
- b) Extensive commercial, industrial, office, and vacant land appraisal experience.
- c) Valuation studies and appraisals in conjunction with eminent domain proceedings since 1974.
- e) Qualified as expert witness in various District and County Courts and Federal Tax Court.
- f) Appraisal review.

- g) Litigation consultation.
- h) Instructor, Appraisal Institute, USPAP, BPE, Review Theory—General and Review Theory— Case Studies
- i) Instructor and course developer, general demonstration report writing seminar, Appraisal Institute
- j) Subject Matter Expert, Appraiser Qualifications Board, Appraisal Foundation
- k) AQB Certified USPAP Instructor (No. 10334), 2003–March 2016
- l) Contract investigator for Colorado Board of Real Estate Appraisers, 2007 and 2011
- m) Arbitrator, real estate assessments, Boulder County, Douglas County and Jefferson County
- n) Hearing Officer, Board of Equalization, Douglas and Boulder Counties, 2007–2013
- o) Approved appraiser, Colorado Department of Transportation
- p) Federal review appraiser, Regional Transportation District, Roaring Fork Transportation Authority
- q) Member, development team Appraisal Institute General Review Designation courses

4. Education:

- a) Bachelor of Arts in Speech Arts, 1968
- b) Master of Arts Degree in Communication Arts, 1971
- c) Appraisal Institute/American Institute of Real Estate Appraisers:
 Course I–A, Basic Appraisal Principles – Methods and Techniques
 Course I–B, Capitalization – Theory and Techniques
 Course 310, Basic Income Capitalization
 Course 520, Highest & Best Use and Market Analysis
 Course 530, Advanced Sales Comparison and Cost Approaches
 Course 540, Report Writing and Valuation Analysis
 Course 705, Litigation Appraising, Specialized Topics and Applications
 Course IV, Condemnation
 Course VI, Investment Analysis
 Uniform Appraisal Standards for Federal Land Acquisitions Seminar (“Yellow Book”)
 Appraisal Curriculum Overview, 2008
 Litigation Appraising: Specialized Topics and Applications, 2010
 The Appraiser as an Expert Witness: Preparation & Testimony, 2010
- d) Continuing education requirements of the Appraisal Institute have been met.
- e) Colorado State General Certified Appraiser, No. CG1313395, continuing education current
- f) Concepts and Principles of USPAP, An Instructor’s Application, The Appraisal Foundation, 2003
- g) Appraising Conservation Easements and Case Studies, ASFMRA, 2005
- h) Integrating Appraisal Standards, IRWA, 2005
- i) Spreadsheet Modeling, Appraisal Institute 2011
- j) Valuation of Environmentally Contaminated Real Estate, IRWA, 2012
- k) Review Theory—General, 2013
- l) Review Case Studies—General, 2014

5. Appraisal and Consulting Clients:

Adams County	Federal Deposit Insurance Corporation
Apple Computer, Inc.	Gelman & Norberg, LLC
Arapahoe County	GSA – Public Building Services
CDH Associates, LLC	Guaranty Bank and Trust Co.
City of Aurora	Hall and Evans, LLC
City of Arvada	Horan & McConaty Family Funeral Services
City of Black Hawk	Internal Revenue Service
City of Boulder	Jefferson County
City & County of Denver	KWAL Paints, Inc.
City of Colorado Springs	Montegra Capital Resources, Ltd.
City of Estes Park	Mountain States Bank
City of Englewood	Parker Water & Sanitation District
City of Fort Collins	Pioneer Centres
City of Lakewood	Regional Transportation District
City of Littleton	Southeast Corridor (T–Rex)
City of Steamboat Springs	Steele Street Bank & Trust
City of Westminster	Stewart Title Guaranty Co.
Colorado Department of Transportation	U.S. Postal Service
ConocoPhillips	Upland Industries Corporation
Denver Public Schools	Urban Drainage and Flood Control
Denver Water Board	Vectra Bank Colorado, N.A.
E–470 Public Highway Authority	Various Private Clients
Englewood Downtown Development Authority	Xcel Energy

1873 S. Bellaire Street, Suite 1222
 Denver, Colorado 80222
 303-757-5525

Testimony and/or deposition record
Bonnie D. Roerig, MAI, AI-GRS

Date	Client	Case Name		Jurisdiction
Jan-00	RTD	19,427 acres owned by Denver Residential Inc., for acquisition for Park-n-Ride facility NS Ken Caryl Ave., ES Shaffer Pkwy.	Deposition Testimony	Jefferson County Dist.
May-01	Kirby Ross	Land Leased Fee Analysis, Royal Palace Hotel at 1565 Colo. Blvd., Denver	Deposition	Denver District
Jul-01	Alvin Chua, Esq.	Rent study for 605 Parfet St., Lakewood Tai-Dan Hsu, owner	Testimony	Jefferson County Dist.
Nov-02	City of Aurora	1470 Emporia St., Aurora (City acquisition), owned by Michael Deans	Testimony	Arapahoe County
Mar-03	Parker Water & Sanitation District	36 acres vacant land, Douglas County owned by Anton & Sherry Johnson	Deposition	Douglas County Dist.
Apr-03	Parker Water & Sanitation District	55.72 acres vacant land, Douglas County owned by Gwendolyn Mandel	Deposition	Douglas County Dist.
Jun-03	Parker Water & Sanitation District	55.72 acres vacant land, Douglas County owned by Gwendolyn Mandel	Testimony	Douglas County Dist.
Aug-03	W. 72nd Ave. Extension	Boyer property, partial acquisition 7240 Kipling Street	Deposition Testimony	Jefferson County Dist.
Sep-03	T-Rex	Haynes Mechanical Building Greenwood Village	Deposition Testimony	Arapahoe County
Nov-03	T-Rex	Koelbel Property, E. Yale Circle Total taking	Deposition Testimony	Denver District
Feb-04 Mar-04	City of Arvada	HK Newplan Property Arvada Plaza Shopping Center PE and TE acq./Rebuttal	Deposition Testimony	Jefferson County Dist.
Nov-05	City of Black Hawk	Yonkers & Tarbox Partial Acquisition	Deposition Testimony	Gilpin County Dist.
Oct-06	Dry Creek Reservoir	Appraisal Review, three owners	Deposition	Larimer County Dist.
Apr-08	Union Pacific RR Co.	UP v. Cline et al.	Deposition	Grand County Dist.
Aug-09	RTD	Smita Merchant, Inc. (1370-1390 Wadsworth)	Deposition	Denver District
Sep-09	RTD	Naiman, et al.	Deposition	Jefferson County Dist.
Oct-09	RTD	Naiman, et al.	Testimony	Denver District
Oct-10	RTD	Quadrant Properties	Deposition	Denver District
Mar-11	Internal Revenue Service	C.L. Mitchell LLC	Testimony	United States Tax Court
May-13	1770 Sherman LLC	1770 Sherman LLC v. Commissioner of Internal Revenue	Testimony	United States Tax Court
May-13	RTD	RTD v. 4882 Smith Road Warehouse LLLP	Deposition	Denver District
Dec-13	B & B, et al.	FDIC v. B & B, et al.	Deposition	Denver District
Dec-14	C & C of Denver	C & C of Denver v. Feldman, et al.	Deposition	Denver District

Qualifications of
WILLIAM M. JAMES

MAI - Member of the Appraisal Institute
CCIM - Commercial Investment Real Estate Institute
MBA - University of Denver, Daniels College of Business
Real Estate and Construction Management
BA - University of Washington, Foster School of Business
Urban Development

Certified General Appraiser - State of Colorado
Former Member of the Colorado State Board of Real Estate Appraisers
Licensed Real Estate Broker - State of Colorado

Business Affiliations, Past/Present

James Real Estate Services, Inc. - Denver	Ginther Wycoff Group - Denver
RACO Development Corp. - Englewood	Chase and Company - Denver
Shorett and Riely - Seattle/Anchorage	Federal Housing Administration – Denver
City of Seattle – Planning Commission	US Army – Facilities Division – Stuttgart

APPRAISAL AND ADVISORY EXPERIENCE

Property Types

Agricultural Land	Distribution Warehouses	Mortuaries
Airport Parking Facilities	Dog Day Care Facilities	Movie & Performance Theaters
Aircraft Hangars	Equestrian Facilities	Nurseries
Animal Hospitals	Event Centers	Office Buildings and Condos
Antenna Towers	Food Processing Facilities	Parking Facilities
Apartments	Family Entertainment Centers	Refrigerated Warehouses
Arenas	Gasoline Stations	Residential Care Facilities
Assisted Living Facilities	Golf Courses/Clubs	Research & Development
Athletic Clubs	Gravel Mines	Restaurants
Auto Sales/Service Centers	Group Homes	Retail
Bank Buildings	Hazardous Materials/Conditions	Schools
Bowling Centers	Health Clubs	Self Service Storage
Breweries & Brew Pubs	Historic Properties	Shopping Centers
Broadcast Facilities	Homeless Shelters	Single Family Residences
Car Washes	Hospitals	Subdivisions
Casinos	Hotel/Motel	Surgical Centers
Chemical Facilities	HUD Apartments	Truck Terminals
Condominium Units, Assemblages, Complexes and Conversions	Industrial	Truck Maintenance Facilities
Continuing Care Facilities	Kennels	University Facilities
Co-Working Facilities	Lakes	Urban Land
Day Care Centers	Laboratories	Vehicle Maintenance Facilities
Community Centers	Manufacturing Facilities	Warehouses
	Medical Offices	Wetlands
	Mobile Home Parks	Worship Facilities

Assignment Types

Appraisals including
Full and Fractional Interests
Construction Progress
Inspections
Feasibility Studies
Highest & Best Use Studies
Market Studies
Project Management
Rent Studies
Reviews of Appraisals
Rezone Consultation
Portfolio Analysis
Site Selection/Acquisition

Assignment Purposes

Acquisition
Arbitration
Assessment Appeal
Disposition
Eminent Domain
Estate Taxes
Financing
Foreclosure
HUD Programs
Investment Analysis
Lease Renewal
Litigation Support
Negotiation Support

Assignment Locations

Alaska
Arizona
Colorado
Idaho
Kansas
Louisiana
Michigan
New Mexico
North Dakota
Oklahoma
South Dakota
Utah
Washington
Wyoming

Qualifications of
WILLIAM M. JAMES
(continued)

Representative Clients, Past/Present

AEGON USA
Adams Bank & Trust
Adams County School District No. 14
AIMCO
Advantage Bank
ARCS Commercial Mortgage Co.
Affinity Bank.
ANB Bank
Amerisphere Mortgage Finance LLC
AMG National Trust Bank
Archon Group
AT&T Small Business Lending Corp.
Bank Financial
Bank of America
Bank of the West
Bank of Choice
Bank One
Bankers Bank of the West
Bellco Credit Union
Berenbaum Weinschienk PC
Berkley Bank
Brighton Housing Authority
Burg Simpson
Calumet Savings/Hanover Mortgage
Catholic Charities
CB Richard Ellis
Centura Health
Cherry Creek School District
Cheyenne Regional Medical Center
Chrysler First Business Credit Corp.
Church of Jesus Christ of Latter Day Saints
City of Arvada
City of Aurora
City of Brighton
City and County of Denver
City of Colorado Springs
City of Golden
City of Greenwood Village
City of Lakewood
Citywide Banks
Collegiate Peaks Bank
Colorado Attorney General
Colorado Business Bank
Colorado Capital Bank
Colorado Division of Gaming
Colorado Dept. of Transportation
Colorado East Bank and Trust
Colorado Health Facilities Authority
Colorado Housing/Finance Authority
Colorado National Bank
Colorado Savings Bank
Colorado State Bank & Trust
Colorado Board of Land Commissioners
Comerica Bank
Commerce Bank
Community First National Bank
Compass Bank
Coors Brewing Company
Coors Distributing Company
Davis, Graham and Stubbs
Denver Housing Authority
Denver Health Medical Center
Denver Public Schools
Douglas County Attorney
E-470 Highway Authority
Englewood Schools
Fairfield Residential
Federal Deposit Insurance Corp.
Federal National Finance Corp.
Firestone Tire and Rubber Co.
FirstBank
First National Banks/First Savings Bank
First Western Trust Bank
Fitzsimons Redevelopment Authority
Ford Leasing Development Co.
Front Range Bank
GE Capital Corporation
GMAC Commercial Mtg. Corp.
General American Life Ins.
Gorsuch Kirgis LLP
Grand Junction Housing Authority
Great Western Bank
Greystone USA
Grubb & Ellis Company
Guaranty Bank and Trust Co.
Guardian Life Insurance Co.
HealthOne
Heartland Bank
Heller Financial
Hope Communities
Household International, Inc
Huntoon Hastings Inc.
InnovAge
Jefferson County Open Space
Jefferson County Highways & Transportation
Johnson Capital
Jones Intercable, Inc.
JP Morgan Chase Bank
Judicial Arbiter Group
Key Bank of Colorado
Koelbel and Company
Kutak Rock LLP
LaSalle Bank
Liberty Savings Bank
Life Insurance Co. of Virginia
Mercy Medical Center
Merrill Lynch Business Financial Services
Metropolitan Life Insurance Co.
Metropolitan State College of Denver
Mile High Community Loan Fund.
Miller Coors
Molson Coors
Municipal Bond Investment Assurance Corp.
National Jewish Health
NHP Property Management, Inc.
North Valley Bank
Northland Financial Company
Oakwood Homes
Patrician Financial Company
Patton Boggs LLP
Piper Capital Management
Platte Valley Medical Center
PorterCare Hospital
Prudential Bache
Pueblo Bank and Trust
Public Employees Retirement Assoc.
Real Estate Research Corp.
Red Mortgage Capital LLC
Redstone Agency Lending
Regional Transportation District
Resolution Trust Corporation
Ross Management Group
Saehan Bank
Safeway Stores, Inc.
Saint Joseph Hospital
Salvation Army
Service Corporation International
Sinclair Oil Company
Southwestern Life Insurance Co.
Standard Life Ins. of Portland
Steele Street Bank and Trust
Taco Bell Corporation
Terrix Financial Corporation
Thistle Community Housing
Trammell Crow Company
TransAmerica Realty Services, Inc.
TransLending Corporation
Transnation Title Insurance Co.
Travelers Insurance Company
Tri-State Bank
Trust for Public Land
Universal Lending Corp.
Union Bank & Trust
Union Colony Bank
Union Pacific Railroad
University of Denver
Urban Land Conservancy
US Bank
US Department of Agriculture
US Department of HUD
US Department of Veterans Affairs
US Federal Aviation Administration
US Foods
US General Services Administration
US Postal Service
US Small Business Administration
US West New Vector Group, Inc.
Ute Mountain Tribe
Valley Bank & Trust
Vectra Bank
Volunteers of America
Wabash Life Insurance Company
Washington National Insurance Co.
Wells Fargo Bank
Western Skies, Inc.
Western Pioneer Life Insurance Co.
White and Steele
WW Grainger Inc.
Young Americans Bank
Zocalo Community Development

Qualifications of
WILLIAM M. JAMES
(continued)

Accepted as Expert Witness

Superior Court - District Courts -	City of Seattle Jefferson County, City & County of Denver, Boulder County, Arapahoe County, Adams County
US Bankruptcy Court - US District Court - Circuit Court -	Districts of Colorado and Northern Oklahoma Colorado Florida, Hawaii
County Board of Equalization - Board of Assessment Appeals -	City and County of Denver, Arapahoe County State of Colorado
American Arbitration Association	Judicial Arbitrator Group

County Board of Equalization Hearing Officer/Arbitrator

City and County of Broomfield Douglas County	City and County of Denver Jefferson County
---	---

Professional Associations

Appraisal Institute
Member, Board of Directors
Chair, General Appraiser Council
Member, Appraisal Standards Council
Member – Admissions and Designations
Qualifications Committee
Chair, Admissions Appeals Board
Member, General Admissions Committee
Chair, General Experience Subcommittee
Vice Chair, Masters Degree Program
Subcommittee
Member, Regional Ethics and Counseling Panel
Director, Colorado Chapter
Chair, Education, Colorado Chapter
CCIM Institute
International Right of Way Association
National Association of Realtors
Colorado Association of Realtors
Denver Metro Commercial Association of Realtors

Appraisal Instruction

Appraisal Institute
University of Denver - Adjunct Professor
University of Colorado
Colorado Association of Realtors
Denver Board of Realtors
Denver Metropolitan Commercial
Association of Realtors
Mesa County Association of Realtors
Community College of Aurora
Realtor's Commercial Industrial Society –
Colorado Springs

Published Articles

Colorado Real Estate Journal
Valuation Insights and Perspectives
Journal of Property Management

Community Affairs Past and Present

Member, Board of Directors, Regional Transportation District, Denver Metro
Member, Board of Directors, Housing Colorado
Co-Chair – 16th Street Mall Steering Committee
Member – Downtown Denver Partnership Transportation and Development Council
Member – Denver Shared Spaces Steering Committee
Member, Advisory Board, University of Denver, Franklin L. Burns School of Real Estate
Member, Cherry Creek Steering Committee
Member, Citizens Advisory Committee, Central Denver Transportation Study
Chair, Transportation Solutions Foundation Board of Directors
Member, Citizens Advisory Committee, Cherry Creek Parking Study
Director, Cherry Creek Chamber of Commerce
Member, Denver Cherry Creek Rotary
President, Denver Cherry Creek Rotary Foundation Board of Trustees

LETTER OF QUALIFICATION

David A. Wheelock
Ad Valorem Specialists, Inc.
1534 Spencer Street
Longmont, Colorado 80501-2459
Tel: (303) 776-8673 (H)
Tel: (303) 517-6699 (C)
Fax: (303) 776-8673
E-mail: dawtaxman@aol.com

HIGHLIGHTS OF QUALIFICATIONS

- Proven 45 plus years experience in Ad Valorem Taxation.
- Executive Director, International Association of Assessing Officers
- Executive Director, Centre for Advanced Property Economics
- President, Ad Valorem Specialists, Inc.
- Colorado Certified General Appraiser---License #CG013118378.
- International Association of Assessing Officers (IAAO) President
- International Association of Assessing Officers Board and Numerous Committees Member
- Managed and supervised Colorado County reappraisal programs for over 25 years.
- Assistant Director of Appraisals, State of Colorado, Division of Property Taxation
- Manager Appraisal Standards, State of Colorado, Division of Property Taxation
- IAAO & State of Colorado Ad Valorem appraisal instructor
- Expert property assessment and valuation witness
- Property Tax consultant, local, state, national and international
- Thorough knowledge and expertise in assessment ratio studies.
- Speaker for professional appraisal organizations, conferences & meetings world wide.
- Moderator at local, state, national and international conferences
- Developed property assessment administration and valuation courses & workshops
- Other special related assignments, tasks and projects

PROFESSIONAL EXPERIENCE

Offering over 40 years of progressive experience, leadership and education in property tax assessment, valuation, consultation, public administration, and education. Broad-based abilities in ad valorem taxation encompass the following tasks:

- Certified General Appraiser---Colorado License #CGO1318378.
- Colorado Tax Appraiser (CATA)
- Executive Director, International Association of Assessing Officers (IAAO)
- Executive Director, Centre for Advanced Property Economics (CAPE)
- Thorough knowledge of ad valorem taxation in Colorado, nationally, and internationally.
- Direct and extensive experience in personnel management and supervision, including coordinating, scheduling, and reviewing pertinent appraisal work performed by subordinates.
- Thorough knowledge of appraisal principles and techniques for all real and personal property.

Professional Experience

Continued.....

- Preparation and direction of schools, seminars, and manuals concerning real and personal property methodologies.
- Valuation of public utilities and rail transportation properties
- Thorough knowledge of office procedures, methodology, practices, and computerized valuation systems used in county Assessor offices.
- Managed, supervised, and coordinated reappraisal programs for State of Colorado successfully for over 25 years.
- Prepared Annual reports of county values.
- International Association of Assessing Officers Member, over 35 years.
- President International Association of Assessing Officers, 1993-1994.
- Past President International Association of Assessing Officers, 1994-1995.
- Vice-President International Association of Assessing Officers, 1992-1993.
- Board Member International Association of Assessing Officers (various years)
- Certified Instructor, International Association of Assessing Officers.
- Instructed ad valorem taxation, valuation, administration, and tax policy courses, forums & workshops in over 30 states.
- Speaker International Symposiums---New Zealand, Japan, and Ireland.
- Speaker, Assessor Conferences, throughout United States.
- Speaker, Government Finance Officers Association, Minneapolis
- Developed and written standards (Standard 6) on mass appraisal adopted by the Appraisal Foundation
- Member of special advisory and task force groups for IAAO
- Participated as a student and/or instructor in numerous educational classes, workshops, seminars, and training courses regarding property tax administration and valuation issues.
- Prepared and developed assessment administration & property valuation courses & workshops
- Conducted independent fee appraisals.
- Completed substantial hours towards Masters Degree in Public Administration
- Holds a Bachelor of Arts degree in Education.
- Excellent interpersonal communication skills for effective employee motivation and client/public relations.
- Current and past treasurer for two Colorado Homeowner Associations
- Conducted Water Symposium for CAPE, Las Vegas, Nevada
- Provided state and federal income tax services for clients
- NYPS Statewide Treasurer

EMPLOYMENT HISTORY

Currently Retired:

Retired from the State of Colorado, IAAO and CAPE, however, continues to be actively involved with various volunteer organizations, groups and ad valorem taxation locally and throughout the United States. Also, assists on compassionate ministry projects throughout the world, including, but not limited to Ecuador, Russia and the United States.

8-1-2009 to 12-31-2011

**Boulder County Board of Equalization
Boulder, CO.
*Hearing Officer***

Hear property tax appeals from taxpayers for all classes of real and personal property during County Board hearings. Additionally, provided assistance for arbitration hearings upon request by Boulder County Board of Equalization.

7-1-1994 to Current:

**Ad Valorem Specialists, Inc.
Longmont, Colorado
*President and Administrative Property Tax Consultant***

Provides consultation and assistance with administrative and property tax issues for governmental jurisdictions. Includes, but is not limited to, special studies on assessor performance, exempt property, development of written examinations, salary surveys, valuation and administrative issues, reappraisal programs, and other similar activities for governmental jurisdictions. Actual business incorporated in 1986.

5-29-2007 to Current:

**West Point Village Community Association, Inc.,
Longmont, CO
*Treasurer***

Current board member and treasurer for West Point Village Community Association (WPVCA). Assists in the management of the association financial and business affairs.

1-1-2010 to 2016:

**RVs On A Mission (ROAM)
Kansas City, MO.
*Treasurer***

Provides bookkeeping and accounting as treasurer for RV's On A Mission (ROAM), which is a 501-(3)-(c) nonprofit organization. The assistance includes, but is not limited to, filing of federal and state tax returns, monthly financial statements, maintenance as a non-profit organization and other information for all business affairs of the organization.

8-24-06 to 5-16-09

**Rocksbury Ridge Homeowners Association,
Johnstown, CO
*Treasurer***

Managed all aspects of a newly formed homeowner's association including billing statements, invoices, bookkeeping, and other related responsibilities. Additionally assisted the association in governance as a board member and responsibilities related to Senate Bill #100 and #89.

1-1-2004 to 12-31-2007:

**Centre for Advanced Property Economics (CAPE)
Chicago, Illinois & Longmont, Colorado
*Executive Director***

As Chief Operating Officer for the Centre, managed all operations and business activities for this 501-(C)-3 Nonprofit educational and research organization of advanced property economics. The organization was supported by many of the leading appraisal organizations in the United States and Canada, such as the Appraisal Institute, American Society of Appraisers, and others.

Employment History

Continued.....

9-1-1999 to 2-1-2004: **International Association of Assessing Officers (IAAO)**
Prudential Plaza Building, Chicago, Illinois,
Executive Director

As Executive Director and Board Member of IAAO, managed and operated all activities of largest world-wide member organization of governmental appraisers. IAAO is a 501-(C)-3 Non Profit membership educational association, which provides assessment administration, appraisal education, geographic information systems, publications, research, technical assistance and other specialized valuation information locally, nationally, and internationally for government assessment officials.

7-1-1997 to 8-31-1999: **Adams County Assessor's Office**
Brighton, Colorado
Property Tax Consultant

Principal activities included assistance with 1997 reappraisal program, 1998 intervening year program, SPSS, computerized drawings/sketches and digital photographs of property, agricultural property analysis, administrative and property valuation issues, and conversion of property data for new CAMA and Administrative computer systems. Also, worked with Access queries, Excel spreadsheets, Word, Virtual Office, Internet, Adobe Reader, Epson, Metro list, and SPSS software programs.

7-1-1990 to 8-1-1998: **Income Tax Service**
Longmont, Colorado
President and Manager

Prepared state and federal income tax returns for clients. Also, provided income tax consultation on filing state and federal income tax returns.

1-1-1981 to 6-30-1994: **Division of Property Taxation, Department of Local Affairs,**
Division of Property Taxation, State of Colorado, Denver, CO
Manager Appraisal Standards

Principal tasks included completing professional property appraisals for ad valorem taxation purposes, handling and resolving taxpayer complaints, supervising reappraisal programs ordered by the State Board of Equalization, providing property tax consulting services, assistance, and education and training programs to 64 counties in Colorado, and other related duties and responsibilities. Also, included extensive supervisory and management responsibilities. Additional specific duties and responsibilities included the following:

1. Supervised reappraisal programs as ordered by the State Board of Equalization.
2. Researched, developed, and provided written guidelines and instructions on compliance requirements for real and personal property.
3. Supervise field and/or office personnel involved in tax appraisal/consultation, as well as appropriate clerical personnel and staff.
4. Researched and developed guidelines and instructions, appraisal manuals, education and training programs, and other specified issues for all 64 county Assessors and their personnel.
5. Researched special appraisal problems and issues, such as vacant land discounting procedures, agricultural capitalization rates, natural resource property royalty rates, special purpose properties, and other unique and unusual appraisal issues.
6. Consulted with appraisal specialists, financial and economic analysts, and other technical experts in evaluating, estimating, and appraising highly technical properties.
7. Responded to legislative inquiries on property valuation statutes by researching and analyzing impacts due to property valuation changes.

8. Performed administrative and appraisal audits and conducted sales ratio studies.
9. Performed duties as required by the State Board of Equalization.
10. Responded and resolved taxpayer inquiries on a variety of administrative and valuation property tax issues and problems.

**9-1-1973 to 12-31-1981: Division of Property Taxation
 Department of Local Affairs, State of Colorado, Denver, CO.
 Assistant Director of Appraisals**

Principal duties and responsibilities included supervision and management of a Senior Tax Appraiser Staff who were required to completing professional property appraisals for ad valorem taxation purposes, handling and resolving taxpayer complaints, supervising reappraisal programs ordered by the State Board of Equalization, providing property tax consulting services, assistance, and education and training programs to 64 counties in Colorado, and other related duties and responsibilities. Also, managed a staff required to research and develop cost manuals for use by all 64 county assessors. Other duties and responsibilities included the following:

1. Performed final review and approval or disapproval of all property tax abatements or refunds, 1974-1980.
2. Prepared Division of Property Taxation's budget.
3. Assisted in the examination, review, and approval or disapproval of applications claiming exemption of taxable property from general taxation.
4. Provided aid and assistance for county Assessors regarding parcel identification and mapping systems, specialized appraisals, and property tax laws.
5. Assisted on the Division of Property Taxation's data processing programs used by county assessors in the metropolitan area.
6. Conducted detailed sales and appraisal ratio studies throughout all 64 counties of Colorado.
7. Provided education and training programs for County Assessors and their employees on property tax administration and valuation of property for ad valorem purposes.
8. Researched, analyzed, and developed valuation manuals for use by county assessors for valuing real and personal property for ad valorem taxation purposes.

**6-1-1973 to 8-31-1973: Division of Property Taxation
 Department of Local Affairs, State of Colorado, Denver, CO
 Principal Assessor Consultant (promotion).**

**3-1-1973 to 5-31-1973: Division of Property Taxation
 Department of Local Affairs, State of Colorado, Denver, CO
 Senior Property Appraiser (promotion)**

**5-1-1969 to 2-28-1973: Colorado Tax Commission
 (now Division of Property Taxation; Dept. of Local Affairs)
 State of Colorado, Denver, Colorado
 Assessor Consultant (promotion).**

**1-1-1965 to 5-1-1969: Boulder County Assessor's Office, Boulder, Colorado
 Land Appraiser, Property Appraiser, Management Positions**
Resigned position due to better job opportunities and promotion with State of Colorado, Division of Property Taxation, Department of Local Affairs.

**9-1-1976 to 2-28-1984: Candle Cottage, Boulder, Colorado
 Retail/Wholesale business
 Owner**
Owned, operated, and managed a retail/wholesale business in Boulder, CO.

EDUCATION

Bachelor of Arts Degree in Education (1963)
Major in Education, Minor in Business/History
Point Loma University, San Diego, California
(formerly Pasadena College, Pasadena, California)

Los Angeles State University
Los Angeles, California
(graduate work in special education)

University of Northern Colorado
Greeley, Colorado
(graduate work towards Master's Degree in Education)

University of Colorado
Denver, Colorado
(graduate work towards a Master's Degree in Public Administration)

International Association of Assessing Officers
130 East Randolph Street
Chicago, Illinois 60601
(Appraisal and Administrative Courses, Workshops, and Seminars)

Appraisal Institute of Real Estate Appraisers
Chicago, Illinois
(Miscellaneous Appraisal Courses)

Division of Property Taxation (and Colorado Tax Commission)
Department of Local Affairs, State of Colorado
Denver, Colorado
(Appraisal and Administrative Courses)

Division of Property Taxation (and Colorado Tax Commission)
Department of Local Affairs, State of Colorado
In Conjunction with the Bureau of Continuing Education
University of Colorado
Boulder, Colorado
(Appraisal and Administrative Courses)

American Real Estate College
2930 W. 72nd Avenue
Westminster, CO 80030
(Real Estate Course, Legal Issues, 1031 Exchanges)

Northern Colorado College of Real Estate, Inc.
3780 North Garfield Avenue, Suite H
Loveland, CO 80538
(Real Estate Law & Practice; Colorado Contracts & Regulations; Trust Accounts & Record Keeping; Current Legal Issues; Real Estate Closings; Completed all required broker's real estate courses)

McKissock Education Programs
P.O. Box 1763
Warren, PA 16365
(Continuing Education required by State of Colorado & USPAP (Uniform Standards of Professional Appraisal Practice), The Appraisal Foundation.

*Numerous other on-going **Continuing Education courses and workshops** have annually been taken and passed for the purpose of maintaining and keeping current real estate appraisal license, which includes a specified number of hours every three years plus the Uniform Standards of Professional Appraisal Practice Ethics courses every two years. These courses and workshops have been taken from numerous and various approved appraisal organizations and or schools. This information is of record and maintained for review as necessary by David Wheelock, 1534 Spencer Street, Longmont, CO 80501.*

CLIENTS

Mark Gerganoff, Attorney
Frank & Finger, P.C.
Evergreen, Colorado 80439

John Robert Holland, Attorney
John Robert Holland
2150 West 29th Avenue, Suite 500
Denver, Colorado 80211-3890

State of Wyoming
Division of Property Taxation
Cheyenne, Wyoming

City of Philadelphia (IAAO)
Examinations Division
Philadelphia, Pennsylvania

Johnson County, Kansas (IAAO)
Johnson County Assessors Office
Olathe, Kansas

University of North Carolina
Institute of Government
Chapel Hill, North Carolina

State of South Carolina (IAAO)
Department of Revenue
Columbia, South Carolina

State of Arkansas
Division of Property Taxation
Little Rock, Arkansas

State of Utah
Utah State Tax Commission
Salt Lake City, Utah

City of New York (IAAO)
New York City Assessors Office
New York City, New York

State of Florida
Property Tax Division
Tallahassee, Florida

State of Minnesota
Property Tax Division
Minneapolis, Minnesota

State of Illinois
Property Tax Division
Springfield, Illinois

Adams County, Colorado
Adams County Assessors Office
Brighton, Colorado

Bureau of Governmental Research
New Orleans, Louisiana

Sun Valley Indian School
Sun Valley, Arizona

International Association of Assessing Officers (IAAO)
130 E. Randolph Street
Chicago, Illinois

Planned, developed and completed numerous research projects for the International Association of Assessing Officers in addition to duties and responsibilities as Executive Director. The Association basically went from zero research project funding to several million dollars in projects.

Timothy J. Lindsey, MAI



TIM@PLACEDENSITY.COM
303-861-7601 LANDLINE
720-238-4213 CELL

EMPLOYMENT:

PlaceDensity, LLC (f.k.a., Safiya Appraisal), 2007+

Commercial real estate appraiser since 1996 with other firms.
Experienced in the valuation of all types of commercial, investment, industrial, and specialty real estate.

RMVS/Valx (a.k.a., Rocky Mountain Valuation Specialists, LLC)

Commercial Appraisal Department, Co-Manager, 2004-2005.

Management of analyst staff; consulting/mentoring staff's valuation skills; administrative operations; bidding process; client relations; appraiser training; product consistencies; quality control; design; and appraisal review. Commercial appraiser, 1997 to 2006. Co-founder/partner, 1997-1999.

Valuation Research Corporation

Commercial real estate analyst, and appraiser, 1996 to 1997.

U.S. Department of Energy

Division of Land, Western Area Power Administration

Realty Specialist, 1990 to 1996.

Acquired, negotiated, and finalized right-of-way easements, license agreements, and quitclaim deeds for access roads, pipelines, and electrical transmission line right-of-way and fee owned sites. Worked with title companies and attorneys to transfer clean title. Prepared eminent domain proceedings.

ARTICLES:

- "Breaking The Paradigm: Alternative Appraisal Recruitment Strategies", [Appraisal Insights and Perspectives](#), Spring, 1997. Co-authored with Mark R. Linné, MAI, CAE.
- "Book Review. Trump Strategies for Real Estate: Billionaire Lessons for the Small Investor, George H. Ross." *The Appraisal Journal*, Fall 2005. Co-authored with Mark R. Linné, MAI, CRE, ASA, CAE, FRICS.
- "An Introduction to the Valuation of Aircraft Hangars," *The Appraisal Journal*, Winter 2008 and Spring 2008.
- "Comments on 'Letter to Editor'", *The Appraisal Journal*, Summer 2008, regarding statistical analysis and the scientific method

EDUCATION:

- University of Denver, 1992
BSBA, economics major, summa cum Laude

SELECT SEMINARS AND CLASSES:

- Advanced Income Capitalization
- Highest and Best Use
- Advanced Sales Comparison and Cost Approach
- Report Writing and Valuation Analysis
- Advanced Applications
- Eminent Domain and Condemnation
- Attacking & Defending an Appraisal
- REITs: Market Trends Impacting the RE Industry
- Credit, Risk Rating and Real Estate
- Transferable Development Rights
- Un-syndicated Partial Interest Appraisals
- Mold is a Four Letter Term
- Separating Real & Personal Property from Intangible Business Assets
- Feasibility, Market Value, Investment Timing: Option Value
- Subdivision Appraisal
- Metropolitan Districts
- Appraising Distressed Commercial Real Estate: Here We Go Again
- Commercial Finance
- Industrial Properties
- Anatomy of an Office Building
- Real estate practice/law
- Colorado real estate law & contracts
- Real estate finance
- Real estate closings
- Real estate practice/law
- Land Use and Permitting
- Commercial Case Studies
- Legal Problems in Commercial Real Estate
- Income Property Analysis
- Various Title Issues
- Environmental Laws and Regulations
- Real estate law
- Common Ownership Interest Properties
- The Comprehensive Appraisal Workshop
- Even Odder – Appraising Oddball Properties
- USPAP update 2016

PROJECT TYPES:

- apartment, affordable housing restrictions and programs
- apartments (6 units to 300 units)
- automotive facilities
- aviation hangars
- churches
- discounted cash flow analysis (including ARGUS® software)
- easements/rights-of-way
- ground leases with leasehold interests
- historic conservation façade easements
- historical properties, renovations, and conversions
- hotels (\$1 million to \$40 million)
- industrial: office-warehouse, flex/R&D, light manufacturing, hi-cube (2,000 sf to 200,000 sf)
- land (allocation, capitalization, comparison, extraction, leaseholds, subdivision)
- medical offices
- mobile home parks
- office (2,000 sf to 250,000 sf)
- national credit triple-net (NNN) properties with long-term leases
- parking lots
- subdivisions, residential (up to 950 acre master-planned communities)
- subdivisions, commercial (up to 1,500 acres)
- restaurants
- retail (2,000 sf to 150,000 sf)
- self-service/full service car washes
- other special purpose properties (e.g., schools and group homes, gas stations, mansions, oncology offices, shrine & memorial tower)

GEOGRAPHICAL AREAS OF EXPERTISE:

- metropolitan-Denver, central-Denver and Lower Downtown Denver (LoDo), and Front Range in general.

REAL ESTATE INVESTMENT EXPERIENCE:

- tax lien certificates
- subordinated loans to developers
- land acquisition

MISCELLANEOUS:

- *The Appraisal Journal*, Appraisal Institute, peer-review panel, 2009-2013
Outstanding Standing Service Award, 2010
- Hearing Officer, Denver County Board of Equalization
- Politics: 1992-1996
numerous local and state campaigns; treasurer for a county political party; monitored for party Agricultural Committee of Colorado General Assembly; various political clubs and debate societies as participant, board member, and president; "Platform Resolutions Committee" for county party: chairman: 1996, 1998, 2000, 2002. Member: 1994.

LICENSE:

- Colorado Certified General Appraiser, #CG40011212
- Expired, Colorado Broker Associate



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Arts and Culture Master Plan
FROM: Gabriel Rodriguez
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON December 5, 2017
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the resolution.

BACKGROUND:

In partnership with 23.4 Degrees, the Cultural Affairs Liaison has been tasked with the development and creation of the inaugural Arts and Culture Master Plan (Master Plan) in an effort to enhance the quality of life in Adams County through Arts and Culture. The master plan sets a vision that charts a course for future long-term investments and builds upon the county's vision of inclusiveness while contributing to economic growth over the next 3-5 years.

In order to ensure that the emerging plan was aligned with and complimentary to other county plans, the steering committee worked closely with the cultural affairs liaison and the executive leadership team.

The planning process was grounded in an understanding of the best practices of vibrant communities that have succeeded in making arts and culture driving forces in their communities. The planning process also extended into the wider community by engaging residents at the 2017 Adams County Fair. Putting over 100 hours of volunteer work, the master plan steering Committee established 4 goals and 25 strategies for consideration.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
Parks and Open Space Department
23.4 Degrees
Master Plan Steering Committee

ATTACHED DOCUMENTS:

Resolution
Arts and Culture Master Plan

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9253

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Multiple	92531801	\$50,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

The \$50,000 was approved and adopted in the 2018 Budget on December 12, 2017.

RESOLUTION APPROVING THE INAUGURAL ARTS AND CULTURE MASTER PLAN

WHEREAS, Adams County seeks to improve the arts, culture and scientific opportunities for the citizens and residents of the community; and,

WHEREAS, Adams County established the Master Plan Steering Committee to address the needs, opportunities and long term strategies around the arts and culture of the community; and,

WHEREAS, the Master Plan Steering Committee has met regularly in 2017 in order to obtain public input and to examine research and data that has been provided by County staff and consultants regarding the current arts, culture and scientific needs of the County; and,

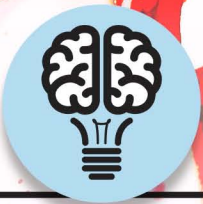
WHEREAS, all parties has invested in diligent efforts to identify and evaluate the needs and opportunities of the County; and,

WHEREAS, by means of the attached Arts and Culture Master Plan, the Master Plan Steering Committee has identified the needs, opportunities and long term strategies around the arts and culture of the community.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Arts and Culture Master Plan, a copy of which is attached hereto and incorporated herein by this reference, be approved.

Artfully

A D A M S



CREATE



CONNECT



PROMOTE



LEVERAGE



ADAMS COUNTY
COLORADO

Artfully **ADAMS**

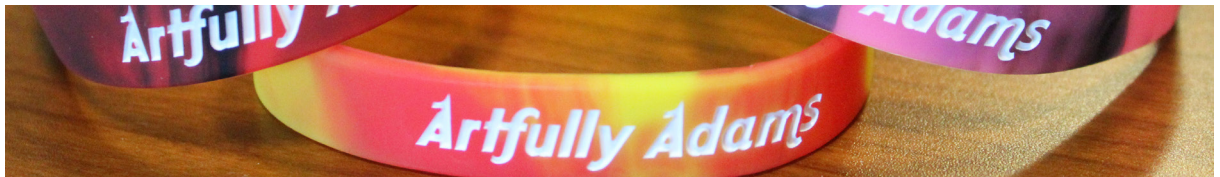
ADAMS COUNTY **ARTS & CULTURE MASTER PLAN**

TABLE OF CONTENTS

3	I.	Preface and Acknowledgment
4	II.	Adams County – Who We Are and What We Care About
	A.	Changing and Growing Community
5	B.	Arts and Culture Linked to Quality of Life
6	III.	Planning Process
7	IV.	A Fair Approach
8	V.	The Role of the County
	A.	Create, Connect, Promote, Leverage
	B.	Scale – Important message from the Advisory Committee
9	VI.	Vision and Mission
10-16	VII.	Mission and Strategies
17-20	VIII.	Strategies at a Glance
21	IX.	Economic Impact
22	APPENDICES	
23-33	▪	Art & Culture Inventory
34-36	▪	Task Force Recommendation
37-38	▪	Letter from SCFD

Artfully ADAMS

ADAMS COUNTY ARTS & CULTURE MASTER PLAN



PREFACE & ACKNOWLEDGEMENT

Adam County's Arts & Culture Master Plan has been made possible due to the guidance of the Adams County Steering Committee – those who helped to shape this first ever vision, mission, and actionable goals. We are grateful for their thoughtfulness, strategic thinking, and Tuesday nights over a seven-month time period.

The plan also belongs to the county's residents with a special thanks to the hundreds who shared their feedback over four days at the Adams County Fair, a truly inclusive event that celebrates the blend of rural and urban in Adams County.



ARTS & CULTURE STEERING COMMITTEE

Harley Brown, Thornton
Community Band

Clarence Colburn, Adams
County Cultural Council

Joyce Downing, Adams
County Cultural Council

Chuck Duff, Adams County
Visual Arts Commission

Skip Fischer, Adams County
Historical Society and Museum

Rick Fuller, Hyland Hills
Recreation District

David Gallegos, City of
Brighton

Ed Hanson, Commerce City
Cultural Council

Mickie Hass, Thornton
Community Chorus

Buz Hedglin, City of Thornton

Pat Nading-Amman, City of
Westminster

Rich Neumann, City of
Westminster

Carol Norberg, Adams County
Cultural Council

Maura O'Neal, Commerce City
Cultural Council

Wilma Rose, Adams County
Cultural Council

Mary Ellen Schoonover, Town
of Bennett

Becky Silver, Aar River Art
Gallery

Michael Stricker, City of
Northglenn

ADAMS COUNTY TEAM

Raymond H. Gonzales,
County Manager

Bryan Ostler, Deputy County
Manager

Nathan Mosley, Parks and
Open Space

Gabriel Rodriguez, Cultural
Affairs Liaison

23.4 DEGREES TEAM

Janesse Brewer
Spencer Dodge
Mike Hughes

ADAMS COUNTY

WHO WE ARE AND WHAT WE CARE ABOUT¹

Adams is the state's 5th largest county, serving a population of 491,337 residents. Adams County is:

ADAMS COUNTY

Population

491,337

Median Household Income

\$63,493

Median House Value

\$240,300

Race/Ethnicity

51.2% White

39.2% Hispanic

3.6% Asian

3% Black

2.2% Multiracial

.5% Native American

.1% Hawaiian/Pacific Islander

- Affordable in comparison to the rest of the Front Range
- Young with a median age of 33.4
- Racially and ethnically diverse

Parts of Arvada, Aurora, and Westminster, as well as Brighton, Bennett, Commerce City, Federal Heights, Northglenn, Thornton, and unincorporated communities of Henderson, Strasburg, Watkins, Welby, Goat Hill, Berkeley, Midtown, Pearl Mack/Sherrelwood, Derby, Todd Creek, Utah Junction, Wadley Farms, Box Elder Estates, and Prairie View Heights all call Adams County home.²

ADAMS COUNTY VISION AND STRATEGIC GOAL AROUND QUALITY OF LIFE³

A good vision describes what a place will look and feel like when a vision is achieved. The Adams County vision, and particularly the focus on inclusivity, goes to the heart of culture and community identity.

ADAMS COUNTY VISION

Adams County is the most innovative and inclusive county in America for all families and businesses.

ADAMS COUNTY QUALITY OF LIFE GOAL

Adams County Government has a specific goal regarding quality of life. This goal highlights the importance of cultural amenities as an important aspect of how community members consider quality of life.

“Our citizens feel safe and protected within their neighborhoods. Our communities are visually attractive and have outstanding park, recreational, open space, and **cultural amenities**. Our citizens are actively engaged in their community. Sustainability of development and natural resource preservation are an integral part of our growth and redevelopment.” –Adams County Board of Commissioners Strategic Planning Document, FY2014 through FY2016, page 9.

¹ <https://datausa.io/profile/geo/adams-county-co/>

² <http://www.adcogov.org/neighborhood-groups>

³ <http://www.adcogov.org/mission-vision-values-and-goals>



ENHANCING QUALITY OF LIFE THROUGH ARTS AND CULTURE

Overall. Adams County conducted a quality of life survey in 2012, 2014, and 2016. Each year, approximately 68 percent of survey participants gave excellent or good evaluations to the quality of life in Adams County. That being said, the lowest ratings related to sense of community and opportunities to attend cultural activities. While some of this feedback may relate to the geographical vastness of Adams County, a strategic focus on enhancing art and cultural offerings will create meaningful change in how residents experience arts and culture in Adams County.

FOUR INDICATORS TO MARK PROGRESS AGAINST IN THE FUTURE

The survey questions regarding inclusivity, sense of community, and cultural offerings are important benchmarks. Faithfully implementing the inaugural Arts & Culture Master Plan will result in advancing these indicators over time.

Inclusivity. Around $\frac{3}{4}$ of respondents felt positively about the openness and acceptance of the community toward people of diverse backgrounds. This is an important data point as Adams County strives to be the most inclusive and innovative county in America for families and businesses. Given the interdependence between community identity and culture, it's anticipated that a strategic focus on arts and cultural programming that underscores the value of inclusivity will further strengthen the community's understanding of Adams County's commitment to inclusivity.

Sense of community. In the surveys, Adams County ranked low on having a sense of community, as compared to other benchmarked communities. This is an important data point since a vibrant cultural scene contributes positively to a sense of community. While there's much progress to be made, we anticipate that implementation of this plan will positively affect this indicator over time.

Opportunities to attend cultural activities. Of the 15 quality of life indicators, respondents rated "opportunities to attend cultural activities" last. Percentages of satisfaction moved from 41 percent in 2012, 43 percent in 2014, to 48 percent in 2016. While it made incremental growth, it remains the greatest opportunity to enhance quality of life in Adams County.

Opportunities to participate in outdoor recreation or enjoy nature. Adams County respondents rated the opportunities to participate in outdoor recreation or enjoy nature highly and consistent with levels in benchmark communities. In an effort to further enhance quality of life and create cultural and artistic "senses of place," there is a strategic goal dedicated to linking arts and cultural events with the beloved parks and fairgrounds. It is anticipated that this investment will further enhance how residents enjoy parks, recreation, and open space.

PLANNING PROCESS

Strategic planning is worthless – unless there is first a strategic vision. --John Naisbitt

An Inaugural Arts & Culture Plan is Special

An inaugural arts & culture plan is different than plans that will follow. Arts and culture is an outward expression of a community's values, identity, and most celebrated aspects of the community. An inaugural plan also sets a vision that charts a course for future long-term investments and builds upon the county's vision of inclusiveness while contributing to economic growth.

Community Leadership

At the heart of the planning process was the Adams County Arts & Culture Steering Committee – a group of community representatives whose expertise and aspirations gave the plan its shape and direction.

In order to ensure that the emerging plan was aligned with and complimentary to other county plans, the steering committee worked closely with the Cultural Affairs Liaison and the executive leadership for the county. Collectively they have articulated a coherent and compelling vision, established a mission to underpin and inform resource allocation, outlined a set of goals, and implemented strategies.

Best Practices

The planning process was grounded in an understanding of the best practices of vibrant communities that have succeeded in making arts and culture driving forces in their communities. The plan benefited from the sharing of best practices with communities within and outside of Adams County.

Community Engagement

The planning process extended into the wider community by engaging residents at the 2017 Adams County Fair. The fair attracts nearly 60,000 people and, over the course of four days, members of the steering committee and 23.4 Degrees Team were able to interact, in Spanish and English, with members of the community. Residents had the opportunity to review draft plan language and provide feedback on strategies to enhance cultural opportunities in Adams County. Our engagement approach at the fair invoked a quote by Brian Goodwin, "Play invites participation." The Adams County Fair website had a page profiling the participatory art project and all facets of the community were invited to take part in the Unity Project.

Afterward, or while their friends and family members were engaged in the Unity Project, our team was able to solicit their feedback on aspects of the emerging arts & culture master plan, to include the draft vision, mission, and goals. Over the course of the fair, the draft plan was well-received and participants expressed enthusiasm for the idea of increased opportunities to engage in the arts and culture in the county. Community members offered salient details and examples of things they would like to see more of, including free events for families, a "meet up" app, attracting a Tier II Scientific and Cultural Facilities District (SCFD) institution, hosting more music acts at the Adams County Fairgrounds, developing a website that could serve as a clearinghouse for all county arts and culture opportunities, creating an "Artfully Adams" arts festival featuring professional and amateur artists, and other ideas.

Culture...

noun

- 1. The total of the inherited ideas, beliefs, values, and knowledge, which constitute the shared bases of social action***

The arts...

plural noun

- 1. Imaginative, creative, and nonscientific branches of knowledge***

ADAMS COUNTY UNITY PROJECT A "FAIR" APPROACH



The Unity Project is a community engagement art project conceived of by artist Nancy Belmont in Alexandria, Virginia. The project first debuted in 2016 and, as described by the artist, the Unity project was

“...created to raise consciousness about the labels we give ourselves and others and explore how those labels both support and limit building interconnected, interesting communities. UNITY is a larger-than-life structure that helps us celebrate our uniqueness and strengthens our ties to each other. The project consists of 32 posts, each with identifiers such as, “I’m a parent; I speak English as a second language; I identify as LGBTQ,” etc. Participants tie colorful yarn to posts that reflect their identities. Their yarn intertwines with the rest to create a web of interconnectedness. In the end, we see that we are all connected by something, and it’s our diversity that builds a strong and vibrant community.”

While the steering committee considered a number of participatory art projects that might raise the profile of Adams County, the Unity Project was deemed a perfect fit given the county’s vision to be the most inclusive and innovative county in America. This project honors diversity and inclusion, and is an expression of how each person contributes to the tapestry of the community. When presented with the concept, county leadership believed so strongly in the project they invested in bringing it first to a few hundred county employees. Thus, before the fair in August 2017, the Unity Project first debuted on county grounds with every department participating in the project.

The Unity Project was an important demonstration that art can be accessible for all, reflect values, and inspire dialogue. It can also be temporary, affordable, challenging, and playful.

PLANNING PROCESS CONCLUSION

The planning process was robust and inclusive with many touch points into the community. The outcomes of the planning process will ensure that implementation of the goals will advance Adams County’s vision for the role of arts and culture in the growing community.

THE ROLE OF THE COUNTY



PLAN GOALS

Adams County's approach to arts and culture is predicated on four ideas; four plan goals that Adams County will play in implementing this plan.

- ▶ *Create opportunities for the county's diverse and growing population to engage in art and culture*
- ▶ *Connect artists and art and culture organizations in the county to one another*
- ▶ *Promote the county's artists and arts and culture organizations*
- ▶ *Leverage the county's park and recreation assets by enhancing arts and culture experiences in those locations*

SCALE

In addition to focusing on these four ideas and the goals and strategies that fulfill each one, the planning committee formulated a singular idea that will also have important implications for the role of the county in the future of arts and culture. During the planning committee meetings, particularly in the early meetings, the group worked to distinguish the role of the county from the municipalities, towns, and communities within the county, recognizing that many communities have existing arts and cultural plans, venues for arts and culture, and ongoing efforts to engage residents.

As the planning committee created a distinction between the county's efforts and those of the local communities, towns and cities, they recognized the county is best positioned to create cultural events at a scale large enough to serve the whole county and draw the region's residents and visitors to Adams County. If the county works to create activities at that scale, the localities can continue to support community-level performances and events.

The most obvious and compelling examples come from the scale of events that the county has been able to produce at the Adams County Regional Park and Fairgrounds and what the park makes possible in the future. By focusing on a concert or outdoor festival or county-wide celebration that can draw a crowd of 10,000 or more, Adams County will distinguish its efforts in arts and culture, will create high-level visibility for arts and culture, and will create a sense of place and community county-wide.

Another way for the county to operate at scale is to focus on creating or attracting a Tier II SCFD organization. SCFD funds arts and culture in three tiers. The 2017 qualifying income threshold for an organization to qualify for Tier II is \$1,611,836.76, an annual budget that is far higher than the Tier III organizations that operate throughout Adams County.



VISION AND MISSION

A single statement of the county's vision for arts and culture is essential as a guidepost for the decisions the county will make throughout the life of the plan. Because no plan can anticipate every possibility and every change the county will experience in the next four or five years, a clear and compelling vision statement will serve as the primary litmus test. The county's choices in investing in the staff's priorities as they carry out their day-to-day activities, in programming for the arts, and in creating and carrying out cultural activities should be driven by this vision:

Adams County is an inclusive community where everyone has the opportunity to enjoy a rich diversity of art and culture experiences.

The county will work to realize the county government's portion of the vision, while seeking to encourage those organizations and individuals who are part of the arts and culture community to take their own steps to realize the vision. The actions and activities the county can and should fulfill constitute the mission statement of this plan. Adams County's mission is divided among four plan goals that make up the mission:

- *Create opportunities for the county's diverse and growing population to engage in art and culture*
- *Connect artists and art and culture organizations in the county to one another*
- *Promote the county's artists and arts and culture organizations*
- *Leverage the county's park and recreation assets by enhancing arts and culture experiences in those locations*

The planning committee is confident that if the county takes on the four elements of its arts and culture mission, the whole county will realize the vision of arts and cultural events and activities that reflect the community identity and make Adams County more inclusive.

MISSION AND STRATEGIES



Create opportunities for the county's diverse and growing population to engage in art and culture.

Arts and cultural activities are essential to the idea that Adams County will be the most inclusive and innovate county in the country. For that to be true, the county's residents will find an abundance of opportunities to explore their own history and culture expressed through fine arts and performances as well as community gatherings for festivals and holidays, and through the day-in-and-day-out activities in their own neighborhoods and across the county in parks and public spaces and in private gathering places like restaurants and retail spaces.

STRATEGY 1

Cultural Affairs will work with existing arts and culture organizations and with towns and cities to expand their offerings and reach new audiences – 2018 Q3.

The county can advance the mission by supporting the existing arts and cultural activities in local communities and helping them to reach county residents. The Adams County Office of Cultural Affairs will take on the responsibility for this support function, working with those in each municipality to extend their efforts.

STRATEGY 2

Adams County will work with the cities and towns to create low- and no-cost arts and cultural events that attract a diverse audience from across the county – 2019 Q4.

The public engagement effort at the Adams County Fair led to a focus on no-and-low-cost arts and cultural activities. The fair attendees who offered feedback on the plan recognized that it takes more than adding new activities to reach the goal of a fully inclusive county; it takes diligence on the question of cost and the role of cost as a barrier to participation. Too many performances and events in the region carry a cost that can make it difficult for everyone to participate. The county can bring residents together through events that are affordable and use its resources to encourage arts and cultural organizations throughout the county to do the same.

STRATEGY 3

Because Adams County can create events at a scale that cities and towns cannot, the county will create new events and performances that have regional audience reach - 2019 Q3.

Creating events at scale will allow the county to bring the whole of the county together – to unify the county. Large-scale events will also allow the county to distinguish its efforts from those of the cities, towns, and communities in the county.



STRATEGY 4

Cultural Affairs will look for opportunities to attract new arts and culture organizations to the county, including recruiting a high-profile, Tier II-qualified cultural or scientific institution to the county - 2018 Q4.

Part of creating large-scale arts and cultural events is elevating an existing organization to Tier II or attracting a Tier II organization to the county. A Tier II organization, because of its visibility in the region, can also be part of raising the profile of the arts and of cultural activities in the county. This goal is linked to the county's focus on the regional park and its park and recreation program. The park has the access and parking to support a large cultural institution.

STRATEGY 5

Cultural Affairs and Office of Diversity and Inclusion will help create arts and cultural events and celebrations that reflect the community's cultural identities and will include the Adams County community - 2020 Q2.

The county's commitment to diversity and inclusion must translate into cultural activities and arts programs that resonate with the cultural underpinnings of the county's population and connect to the history and experience of the county's residents. Arts and cultural activities that connect to the history, traditions, language, and experience of the county's communities will deepen the sense that Adams County is home, is a place where every member of the community has a place and belongs.

STRATEGY 6

Adams County will encourage individual artistic expression through its investment in a participatory arts/culture project as part of the Adams County Fair. The goals of the selected project will be increasing understanding, and promoting Adams County's focus on inclusiveness - 2018 Q4.

The success of the Unity Project at the Adams County Fair, and its connection to the importance of diversity and inclusion, prompted the planning committee and the county to commit to creating a tradition of participatory art projects and making them a part of the county's arts and culture program.



Connect artists and art and culture organizations in the county to one another.

STRATEGY 1

Cultural Affairs will create a platform for communication and coordination among local government staff and leaders in arts and cultural institutions. The platform (with a calendar that allows arts organizations to find talent, announce auditions and performances, and avoid duplicate scheduling) will allow organizations to exchange information and identify opportunities to collaborate - 2018 Q3.

One of the first, and most obvious, goals to surface in the planning process was the idea of a county-wide platform for communication and coordination among arts and cultural leaders and government staff. A single platform is seen as an essential tool for collaboration among those in the county who will advance the plan's vision and mission and expand the reach of arts and culture in the county.

STRATEGY 2

Cultural Affairs will create an annual forum for leaders in the arts and culture community to meet face-to-face, exchange ideas, and learn about best practices specific to Adams County - 2019 Q1 & annually.

As part of its role in supporting arts and culture leaders and providing ways for them to connect, the county will convene an annual meeting intended to ensure that across the county arts and culture are continuing to define the county's identity and take its place in the county's future.

STRATEGY 3

Adams County staff will meet regularly with art and culture organizations to assess their needs and support their work as they pursue their artistic visions - 2018 Q2: Set schedule and approach.

The county's support role will extend to engaging leaders of the arts and cultural organizations and seek to learn about their needs while looking for ways the county can assist them. Strong arts and cultural organizations are essential to the success of this plan and will continue to provide the county's residents with experience, concerts, performances, events, festivals, and gatherings that allow them to experience arts and culture.

STRATEGY 4

The county will create a toolkit for artists and arts and cultural organizations, helping them build their capacity to operate successfully - 2020 Q2.

From their time with leaders in arts and cultural organizations, the county staff will elicit their successes and document their best practices so that arts organizations can learn from and strengthen one another.



STRATEGY 5

Adams County will assist local communities as they choose to create arts districts and places for artists to live and work as the local communities promote their places for arts and culture. – 2020 Q1.

Gallery, exhibition and studio spaces, and rehearsal and performance spaces are necessary infrastructure for artists and for cultural organizations. In addition, many artists find it hard to keep up with escalating housing costs. Local governments often step in to assist with these needs. As municipalities, towns, and communities find ways to create art districts and the necessary facilities and housing stock, they can look to the county to support their efforts.

STRATEGY 6

The county will explore opportunities to support K-12 arts and culture programs, helping to connect arts organizations to the schools so that every student in the county experiences science, history, culture, and the arts – 2019 Q3.

Not-for-profit arts organizations are adding their efforts to those of schools and school districts to ensure that students are exposed to performance, fine arts, history, literature, and other core elements of culture. The county will encourage these efforts and support the organizations that are bringing these experiences to students throughout the county.



Promote the county's artists and art and culture organizations.

STRATEGY 1

Cultural Affairs will market the whole county as an arts and culture destination and will feature events and performances that have regional audience reach - 2018 Q3.

Though each arts organization and each locality will take responsibility for its own marketing and promotion, the county is in a position to market Adams County as a complete destination for arts and culture and a place where the arts are integral to the life of its residents. The county will take a county-wide approach to its promotion in ways to augment the efforts of individual arts and cultural groups.

STRATEGY 2

Cultural Affairs will create a public-facing website with a comprehensive list of arts and cultural organizations and a master calendar of events with links to websites, box offices, and city sites that will supplement the site with social media that promotes events and performances – 2019 Q2.

A public-facing website will be an important component of Adams County's ability to fulfill its role in county-wide promotion. The county will ensure that the site serves all of its localities and all of its arts and cultural organizations to serve as a central point of communications for those who are looking to engage in the county's arts and cultural life.

STRATEGY 3

Cultural Affairs and the Economic Development Office will create networking opportunities that bring together arts and culture organizations and community leaders to focus on economic development and on the role of arts and culture in the county's economic success - 2019 Q1.

STRATEGY 4

Cultural Affairs will hold a talent showcase to connect businesses and other non-arts organizations to art and culture organizations and individual artists, to promote the diversity of the county's talent and to introduce new, innovative, and original artists - 2019 Q3 & Bi-annually.

Because arts and cultural events are tied to a sense of place and belonging, they lead to the kind of community attachment that translates into economic success, and there is a direct and demonstrable link between arts and culture and a community's economic development prospects. To use this to its advantage, Adams County will create opportunities for business leaders and the leaders in arts and culture to work together, and for business leaders to learn about the breadth and depth of arts and culture in the county.

STRATEGY 5

As the county ends its focus on new buildings, Adams County Cultural Affairs, in cooperation with the Arts Council and the Master Plan Task Force, will develop a strategy to replace any decrease in funding levels currently provided by using a ½ of one percent from public capital projects - 2018 Q4.

STRATEGY 6

Cultural Affairs will increase the inventory of public art (using a ½ of one percent from public capital projects) and place the art to maximize public benefit. The county will supplement the funds in years when no capital construction is occurring - 2020 Q1.

Because of public building construction, Adams County has provided a steady flow of resources for public art at the Adams County Government Center, the Human Services Center, and the Animal Shelter. As these projects end and the resources for public art is diminished, the county will look for ways to continue the public art program.

STRATEGY 7

The county will focus its efforts to promote arts and culture on activities and events taking place at the Regional Park - 2018 Q3.

The Adams County Regional Park provides an opportunity for the county to stake its claim as a center for arts and culture. The county will focus its promotional efforts on defining the park as an arts and culture destination.



Leverage the county's park and recreation assets by enhancing arts and culture experiences in those locations.

STRATEGY 1

Adams County will leverage its investments in the Adams County Regional Park to bring arts and cultural activities into the park - 2018 Q4.

Leveraging the park's assets and its place as a centerpiece of the county's identity can elevate the place of arts and culture in the county's identity and improve the prospects for county residents and the region to see Adams County as a place for arts and culture.



STRATEGY 2

To make the Regional Park a centerpiece of the county’s future in arts and culture, Adams County will work to attract cultural, artistic, agricultural, and scientific events and programs that could elevate the Regional Park to SCFD Tier II - 2020 Q4.

Adams County’s future in arts and culture will continue to be tied to the future of its SCFD Tier III organizations. At the same time, the county’s arts and culture program needs larger-scale organizations. Leveraging the park’s assets and its place as a centerpiece of the county’s identity will improve the prospects for reaching Tier II.

STRATEGY 3

The county will connect arts and culture with recreation, placing public art in the Regional Park and along regional trails, and making recreational activities a centerpiece of the county’s cultural activities - 2020 Q1.

Public art is a visible sign of the county’s commitment to arts and culture, demonstrating the importance of the arts and instantly creating a sense of place.

STRATEGY 4

The county will use the grandstand arena and the Regional Park to produce large-scale concerts and events that place the park on par with other signature concert venues in the region (Red Rocks, Fiddler’s Green, etc.) - 2020 Q3.

Among the activities the county can take on as it brings the arts and culture program to scale, are events such as concerts and festivals at the Regional Park.

STRATEGY 5

Each year, Cultural Affairs will invest in a participatory arts and culture project as part of the Adams County Fair. The goals of the selected project will increase understanding and promote Adams County’s focus on inclusiveness - 2018 Q3.

The success of the Unity Project at the Adams County Fair, and its connection to the importance of diversity and inclusion, prompted the planning committee and the county to commit to creating a tradition of participatory art projects and making them a part of the county’s arts and culture program.

STRATEGY 6

To maximize the role of the Regional Park as a centerpiece for the county’s arts and cultural activities, the county will create trail linkage from the park to the National Western Complex and its cultural activities - 2020 - Q4.

To fully realize its place as a destination for arts and culture, Adams County’s events and activities must take their place in and be connected to the region. To provide the greatest opportunities for residents to participate in arts and culture, the county must be integrated into the cultural life of the whole region. Linking the Regional Park and its cultural activities to the redeveloping Denver area around the National Western Stock Show is an opportunity to create synergies that can advance Adams County’s arts and culture.

IMPLEMENTATION



The creation of the position of Cultural Affairs Liaison was a commitment by the Board of County Commissioners to develop and build art, cultural, and scientific opportunities for the residents of Adams County in 2016. This position has been instrumental in development of the Arts & Culture Master Plan, installation of public art in county facilities and parks, and finally the resolution ensuring the Adams County Visual Arts Commission has the necessary funding to provide programs and public art to the community. With that in mind, the steering committee recognizes the need for growth in the above programs and policies. Below are considerations from the steering committee to county administration and the Board of County Commissioners in growing and sustaining the growth and development of art, culture, and scientific opportunities for the residents of Adams County.

The Arts & Culture Master Plan is an opportunity for Adams County to build upon what they already have in a Cultural Affairs Liaison position.

Building capacity in the Office of Cultural Affairs will allow Adams County to deliver on the commitment to enhancing quality of life through arts and culture.

STRATEGY 1

Cultural Affairs will develop a detailed projection of staff and budget necessary to execute the plan and successfully Create, Connect, Promote and Leverage – 2018 Q4.

Advancing the vision, mission, and goals in this plan will require systematic investment in personnel, technology, expertise, and promotional materials and resources for county-wide arts and cultural events, festivals, concerts, and public art projects.

STRATEGY 2

Cultural Affairs will seek funding for a full-time staff person in the next budget cycle – 2018 Q4.

Accomplishing near-term goals – particularly the efforts and connection, coordination, and communication slated for implementation in 2018 – will require one additional county staff.

STRATEGIES AT A GLANCE

ADAMS COUNTY ARTS & CULTURE PLAN – GOALS AT A GLANCE

VISION – Adams County is an inclusive community where everyone has the opportunity to enjoy a rich diversity of arts and culture experiences.

MISSION – Adams County Government will support local communities, arts organizations, and artists. The county will:

- Create opportunities for Adams County’s diverse and growing population to engage in art and culture
- Connect arts and culture organizations and artists in the county to one another
- Promote all the county’s artists and arts and culture organizations
- Leverage the county’s commitment to quality of life by advancing opportunities to enhance parks and recreation experiences through arts and culture

Work with existing arts and culture organizations and with towns and cities to expand their offerings and reach new audiences – 2018 Q3	Create a platform for communication and coordination among local government staff and leaders in arts and cultural organizations – 2018 Q3	Market the whole county as an arts and culture destination and feature events and performances that have regional audience reach – 2018 Q3	Leverage investments in the Adams County Regional Park to bring art and cultural activities into the park – 2018 Q4
Work with the cities and towns to create low- and no-cost arts and cultural events that attract a diverse audience – 2019 Q4	Create an annual forum for leaders in the art and culture community to meet face-to-face, exchange ideas, and learn about best practices – 2019 Q1 & annually	Create a public-facing website with a comprehensive list of arts and culture organizations and a master calendar of events supplemented with social media to promote events and performances – 2019 Q2	Make the Regional Park a centerpiece of the county’s future in art and culture; attract cultural, artistic, agricultural, and scientific events and programs that could elevate the Regional Park to SCFD Tier II – 2020 Q4
Create events at a scale that cities and towns cannot; create new events and performances that have regional audience reach – 2019 Q3	Meet regularly with arts and culture organizations to assess their needs and support their work as they pursue their artistic visions – 2018 Q2: Set schedule and approach	Create networking opportunities that bring together arts and culture organizations and community leaders to focus on economic development and the role of arts and culture in the county’s economic success – 2019 Q1	Connect arts and culture with recreation, placing public art in the Regional Park and along regional trails, and making recreation activities a centerpiece of the county’s cultural activities – 2020 Q1
Look for opportunities to attract new arts and culture organizations, including recruiting a high-profile, Tier II-qualified cultural or scientific organization to the county – 2018 Q4	Create a toolkit for artists and arts and culture organizations, helping them to build their capacity to operate successfully – 2020 Q2	Develop a strategy to replace any decrease in funding levels currently provided by ½ of one percent from public capital projects – 2019 Q3	Use the grandstand arena and the Regional Park to produce large-scale concerts and events that place the Regional Park on par with other signature concert venues in the region – 2020 Q3

STRATEGIES AT A GLANCE

<p>Create cultural events and celebrations that reflect the community’s cultural identities and include all the Adams County community – 2020 Q2</p>	<p>Assist local communities as they choose to create art districts and places for artists to live and work as the local communities promote their places arts and culture – 2020 Q1</p>	<p>Hold a talent showcase to connect businesses and other non-arts organizations to arts and culture organizations and individual artists, to promote the diversity of the county’s talent and to introduce new, innovative, and original artists – 2018 Q4 & Bi-annually</p>	<p>Invest in a participatory arts and culture project as part of the Adams County Fair. The goals of the selected project will be to increase understanding and promote Adams County’s focus on inclusiveness – 2018 Q3</p>
<p>Invest in a participatory arts and culture project as part of the Adams County Fair to increase understanding and promote Adams County’s focus on inclusiveness – 2018 Q4</p>		<p>Increase the inventory of public art (using ½ of one percent from public capital projects) and place the art to maximize public benefit; supplement the funds in years when no capital construction is occurring – 2020 Q1</p>	<p>Maximize the role of the Regional Park by creating trail linkage from the park to the National Western Complex and its cultural activities – 2020 Q4</p>
	<p>Explore opportunities to support K-12 arts and culture programs; help to connect arts organizations to the schools so every student in the county experiences science, history, and arts and culture – 2019 Q3</p>	<p>Promote arts and culture, focusing on activities and events taking place at the Regional Park – 2018 Q3</p>	

Building and Sustaining Arts and Culture in Adams County - Plan Monitoring and Evaluation

- Adams County will monitor the Arts & Culture Master Plan and publish a progress report at the end of each fiscal year
- Adams County will convene an annual forum to review and discuss the progress report
- In year four of the plan, Adams County will create a process for reviewing/evaluating this plan and creating/recommending revisions



ECONOMIC IMPACT

The U.S. Bureau of Economic Analysis reports that the arts and culture sector represents 3.25 percent of the nation's GDP – a larger share of the economy than tourism and agriculture. Nationwide, America's nonprofit art industry generates \$135 billion in economic activity annually (\$61 billion in nonprofit arts and culture organizations and \$74 billion from event-related expenditures by their audiences). That level of spending supports more than \$4 million full-time equivalent jobs, generates \$87 billion in household income, and produces \$22 billion in revenue to local, state, and federal government⁴. Those who enjoy a night at the theatre or visit an arts district also spend money on meals and transportation and make other purchases⁵.

PLACEMAKING: ADAMS COUNTY RECREATION, NATURE, AND SCIENCE PARK

Placemaking is an approach to planning that starts with the idea that a neighborhood, park, street, or a whole town can be transformed through deliberate planning that starts with how communities imagine a place could be. Central to the strategic planning process was making the Adams County Regional Park a cornerstone in building an arts and culture future, including attracting an SCFD Tier II facility that could be a regional destination. The Arts & Culture Master Plan Committee was supportive of a Tier II-type facility that would offer some type of cultural experience different than the range of arts and cultural venues currently available in the county. In addition, this strategic plan has a goal of leveraging the county's park and recreation assets by enhancing arts and culture experiences in those locations.

“This park would be a place where innovation, creativity, and curiosity come alive for all ages.”

– Raymond H. Gonzales, County Manager

Additional mission-centric organizations will help to create vibrancy and added purpose for the Adams County Recreation, Nature and Science Park, which includes: 4-H, Bird Conservancy of the Rockies, Denver Museum of Nature & Science, the Botanic Gardens, and many others. The institutions, partnerships, and building on a popular park all add up to a plan and program of uses, events, and ideas to create a dynamic and authentic Adams County experience.

⁴ Source: Americans for the Arts. Arts & Economic Prosperity IV study. 2012.

⁵ Source: <http://www.westerncity.com/Western-City/May-2013/How-the-Arts/>. Accessed in November 2015.

Artfully **ADAMS**

APPENDICES

- | | |
|-------|-----------------------------|
| 23-33 | ▪ Arts & Culture Inventory |
| 34-36 | ▪ Task Force Recommendation |
| 37-38 | ▪ Letter from SCFD |

ADAMS COUNTY ARTS & CULTURE INVENTORY

The goal of this document is to present the Steering Committee with a set of guidelines for what is currently out there in Adams County that is in direct support of the arts, cultural, historical, or scientific programs and organizations – a.k.a. the creative classes. Below are some basic principles guiding each area under what each city is accomplishing for their citizens and surrounding residents. Everyone has their own definition of what an event is or isn't and even if an organization should be listed. Please place everything in what you believe is the correct area.

DEFINITIONS

Venue:

A place where the community gathers to host art shows, musicals, art galleries, and other such activities for the community and artists alike.

Organizations:

An organized group that promotes the creative classes within Adams County. It can be SCFD qualified or not. The important idea is to identify the groups or organizations that are supporting and promoting the creative classes.

Events:

Gatherings, shows, and any other event where the main purpose is promoting and supporting the creative classes within the county. It can be hosted by nonprofits, private, or public sectors. This can range from art shows in the park to festivals and even smaller gatherings of poetry readings.

Policy:

Local policy that supports and promotes the creative classes of Adams County. This can range from public sponsorships of organizations that are SCFD-qualified, such as Adams County Visual Arts Commission, Thornton Arts Sciences and Humanities Council, and others. It also is policy such as the policy set forth by the Adams County Commissioners in Resolution 2016-244 that states: "Board of County Commissioners shall dedicate ½ of one percent of the total cost of construction on any new county-owned building to carry out the mission of the ACVAC and the Office of Cultural Affairs."

BRIGHTON

Venues

- **The Armory**

Owned and operated by the Brighton Urban Renewal Authority, The Armory hosts theater, dance, music, and visual arts events for children, adults, and families. Located in central Brighton, The Armory is “the most important cultural initiative” for the City of Brighton.

- **Main Street Creatives (MSC)**

Fine Art gallery with private artist studios, as well as host for the Art Academy. MSC has 17 studio artists, of which several make up the 19 gallery artists.

- **Anythink Brighton Library**

Located in historic downtown Brighton, Anythink Brighton is the first carbon-negative library in the United States. Certified LEED Gold, this sustainable facility includes a children’s area, large programming spaces, computer labs and The Studio at Anythink Brighton, which is the district’s first makerspace.

- **Creative U**

Creative U is a studio space where guests can create on their own or attend various instructed classes. Guests get their creativity on as a professional art instructor teaches them in a two- to three-hour class while they enjoy a glass of wine, beer, or non-alcoholic beverage. You can also order appetizers from a local restaurant and have them delivered during the class. All supplies are included with the class, such as brushes, paints, canvases, easels and aprons, and every class is taught step by step so there is no experience necessary.

Organizations

- **The Art Academy**

Located at Main Street Creatives, The Art Academy offers classes for aspiring artists ranging from middle-school aged children to adults, among all skill sets. The Art Academy offers a supportive community for those wishing to advance in their artistic journey.

- **Eye for Art Program**

The City of Brighton Eye for Art Program offers the opportunity for local and regional artists to display their works in highly visible locations within the new city building at 500 South 4th Ave. Artwork includes paintings, drawings, photography, and sculptures as well as other mediums.

- **BrightonMusic Choir and Orchestra, Inc.**

Consisting of the BrightonMusic Orchestra, Bright’n Jazz, and String Colors, the BrightonMusic Choir and Orchestra is a nonprofit based in Brighton that has been organizing and staging concerts for the last two decades. Accepting all levels of skill, the organization performs 4-5 concerts per season.

- **The heART of Brighton**

The heART of Brighton solicits and distributes donations for The Armory. It works in tandem with the Brighton Urban Renewal Authority and the City of Brighton to maximize donations with matching grants and commitments from local groups.

- **Bird Conservancy of the Rockies**

Bird Conservancy of the Rockies conserves birds and their habitats through an integrated approach of science, education, and land stewardship. Their work radiates from the Rockies to the Great Plains, Mexico and beyond. Their mission is advanced through sound science, achieved through empowering people, realized through stewardship, and sustained through partnerships. Together with the community, they are improving native bird populations, the land, and the lives of people. This is the only tier II organization based in Adams County.

- **Platte Valley Players**

Platte Valley Players is all about a team effort! They are a 501(c)3 nonprofit organization governed by a board of directors. The board works with their volunteers to create shows and community to keep live theater happening in Brighton, Colorado.

Events

- **Holiday Bazaar**

More than 300 vendors sell handmade arts, crafts, jewelry, photography, woodworking, pottery, clothing, and more at the Adams County Regional Park during the first weekend of December.

- **Festival of Lights Parade**

A night-time light parade that features local groups, organizations, businesses, and families with more than 75 fully-lighted entries. Sponsored by the City of Brighton.

- **Best of Spring Bazaar**

Bazaar at the Adams County Regional Park in April held in support of the Adams County Museum.

- **Summerfest**

Formally named Culturefest, this is an annual outdoor celebration of the rich and diverse cultural traditions in the community with a weekend long carnival in downtown Brighton. The event typically attracts more than 8,000 people.

- **Art in the Park Festival**

Held at Carmichael Park, this one-day festival allows local, regional and national artists the opportunity to display and sell their artwork to the Adams County community.

- **Denver Chili Fest**

Held at Lulu's Farm, this festival supports the Food Bank of the Rockies. The festival hosts a recipe contest, live music, and cooking demonstrations that attract foodies from around the Denver area.

- **Artist Crafter Foodie Fair**

Held at the Adams County Regional Park Exhibit Hall, crafters, artists, and foodies sell their items to the general public.

- **Fall Festival Bazaar**

Held at the Adams County Regional Park, this bazaar provides the opportunity for crafters and artists to sell their items to the public.

- **County Christmas Bazaar**

With more than 400 craft booths, this bazaar is one of the larger ones held in Brighton and is an excellent place to begin Christmas shopping. It is held at the Adams County Regional Park.

- **Harvest Fest**

Held on Main Street in Brighton, this family-friendly event attracts more than 30 vendors and 20 local businesses, and also includes a Pumpkin Carving Contest, Trick or Treat Street, a bounce house, face painting, costume contest, food trucks, and more.

- **Arts and Culture Symposium**

This special event offers educational and inspirational presentations from some of Colorado's favorite musicians, dancers, and poets. Visit the Artists' Loft and see fine artwork on display or watch art in progress.

- **Eco-Fair**

Environmentally friendly Brighton offers its annual Ecofair for residents to learn about recycling and earth-friendly activities the whole family can undertake. The event offers free recycling of electronic items and paper shredding at no cost.

- **Homespun**

Annual concert presented by BrightonMusic Orchestra featuring original compositions and arrangements by local composers. Held at the First Presbyterian Church.

- **Brighton Community Christmas Festival Concert**

Brighton's Community Orchestra's holiday concert features many old, Christmas favorites. Held at First Presbyterian Church.

Policy

- **Cultural Strategic Plan for the Brighton Cultural Influence Area**

Formed in 2014, A Brighton Cultural Strategic Team, which included six culturally-engaged community members, worked to implement a "living and real-time" document detailing leadership, opportunities, and support for those involved with cultural activities.

- **Brighton Office of Arts and Culture**

As part of the Brighton municipal government, the Office of Arts and Culture helps with day-to-day activities involving the Cultural Strategic Plan.

- **Brighton Cultural Arts Commission**

The Brighton Cultural Arts Commission (BCAC) is a 501(c)(3) organization whose purpose is to increase awareness and promote cultural and scientific opportunities in the community. BCAC serves in an advisory capacity to the Brighton City Council. Members serve three-year terms on the commission and represent various cultural organizations and have varied interests in the arts. Representatives from the 27J School District and Brighton City Council also serve on the commission. City of Brighton staff provides administrative support.

COMMERCE CITY

Venues

- **Dick's Sporting Goods Park**

Opened in 2007, this venue is soccer-specific and built by and for the Colorado Rapids. However, the stadium has also seen concerts that greatly increase its capacity of 19,000 for soccer games up to 27,000.

Organizations

- **Concept Colorado**

Offering art studios, galleries, food, and other amenities (eventually live/work spaces), Concept Colorado directly addresses space concerns related to escalating real estate prices that have impacted and displaced many in Denver's creative community.

Events

- **Winterfest**

Held at Adams City High School, this family-friendly event features activities that include photos with Santa, storytelling with the Sugar Plum Fairy, holiday crafts, hot chocolate and cider, holiday tree, and children's pajama parade.

- **Music in the Park Concert Series**

Held at Southlawn Park, a series of concerts held during the summer.

- **4thFest**

Held at Dick's Sporting Goods Park, the largest public fireworks show in the state of Colorado. Additional activities include an inflatable obstacle course, bungee trampoline, Velcro wall, mechanical bull, food vendors, live music, and more.

Policy

- **Commerce City Culture Council**

Board that strives to advance charity and education to preserve art, music, theater, and dance in Commerce City.

FEDERAL HEIGHTS

Venues

- **Performance Arts Complex at Pinnacle Charter School**

Built by the Pinnacle Charter School, the complex features an auditorium with almost 600 seats which hosts concerts, recitals, and other events.

Organizations

- **Maitri Multi Media**

Maitri Multi-Media Day Program is designed to incorporate a variety of art forms, methods, and mediums to encourage increased communication, coping, and expression skills and to build independence and a sense of community through individualized and group creative projects within the program itself and within the community.

Events

- **Holiday Hills Village Arts and Crafts Fair**

Held at the Holiday Hills Village clubhouse, this craft fair provides vendors the opportunity to showcase and sell their items.

NORTHGLENN

Venues

- **DL Parsons Theatre**

Located at the Northglenn Recreation Center, this 300-seat theatre presents performances and films for citizens of the community of all ages.

- **E.B. Rains Jr. Memorial Park**

The city's most popular park, this venue hosts the Fourth of July Festival as well as the Art on Parade exhibit.

Organizations

- **Northglenn Youth Theatre**

Holding three performances a year, the Northglenn Youth Theatre (NYT) provides youths the opportunity to participate in live theatre.

- **Northglenn Arts & Humanities Foundation**

The Northglenn Arts & Humanities Foundation provides funding for quality youth theater, public art, and other cultural endeavors in the community.

Events

- **Noel Northglenn**

Kicking off the start of the holiday season, this event has everything you need to get into the holiday spirit including s'mores, carriage rides, indoor snowball fights, face painting, Rudolph's Reading Raffle, and a bake sale.

- **Mid-Winter Bluegrass Festival**

Held at the Northglenn Ramada Plaza, this festival features local and national bluegrass bands as well as a Vendor Art Fair.

- **Food Truck Carnival**

Held at the Northglenn City Hall, this carnival features local food trucks, a carnival, and live music. This festival is held in the spring.

- **July Fourth Festival**

Sometimes called "Denver's Largest Family Picnic," the July Fourth Festival at E.B. Rains Jr. Memorial Park includes a 4-Mile Run, bake sale, car show, Pooch Parade, Beer Garden, Duck Race, live music, and fireworks.

- **Pirate Fest**

Held in the fall at E.B. Rains Jr. Memorial Park, Pirate Fest features food and booth vendors, a pirate ship, sword fighting and archery demonstrations, live music, and the Cardboard Boat Regatta.

- **Athena Festival**

Held at the Ramada Plaza, the Athena Festival features workshops, Tarot Readers, shopping, lectures, entertainment, art, and more.

- **Arts on Parade**

Held at E.B. Rains Jr. Memorial Park, Arts on Parade is a program that allows community members to vote on their favorite piece to become a permanent fixture in the city.

- **NAHF Events**

NAHF events include public art, a cappella concert series, summer concerts, summer movies, performance theatre.

THORNTON

Venues

- **Thornton Arts & Culture Center**

The Thornton Arts & Culture Center (TACC, pronounced “Taxi”), 9209 Dorothy Blvd., is home to performances, classes, art exhibits in the Oz Gallery, and the Volunteer Thornton program. TACC is shared by the Senior and Arts & Culture Divisions. Upcoming programming includes senior fitness classes, line dancing, Tai Chi, the children’s entertainment series “Funtaztikidz,” rotating art exhibits, Thornton Community Chorus concerts, and a new community theater project called Break a Leg!

- **Carpenter Park Fields**

With an amphitheatre that seats up to 500 people, Carpenter Park is a multi-purpose park facility that hosts events during the warmer months of the year. Funded by the Thornton municipal government.

- **Anythink Wright Farms**

Anythink Wright Farms, located on 120th Ave. and Holly St. in Thornton, is the district’s flagship branch and houses the district’s administrative offices. A computer lab, teen area, and 7,000-square-foot children’s area are just some of the incredible features of the 45,000-square-foot library. The Studio at Anythink Wright Farms, a digital creation lab featuring state-of-the-art video, audio, and design equipment and software, partners creative community members with teens to help push their creativity to new bounds. Adjacent to the building is a one-acre park made possible by the Wright Farms Metro District that includes outdoor seating, reading nooks, and Explore Outdoors, a certified Nature Explore children’s outdoor classroom. Continuing its dedication to sustainability, Anythink Wright Farms is a Gold LEED certified building with many sustainable features, including use of recycled materials, daylight harvesting, and ground source heating and cooling. The landscaped site also includes a community garden, maintained by local community members in partnership with Denver Urban Gardens. Co-located with Anythink Café.

- **Anythink Huron Street**

Anythink Huron Street is a 25,000-square-foot library located at the intersection of Conifer St. and Huron St. in Thornton. On Feb. 6, 2010, this facility opened its doors to library customers in the communities of Northglenn, Thornton, Federal Heights, and surrounding areas. Anythink Huron Street is Gold LEED certified and includes fun, inspiring spaces for all ages to enjoy.

- **Anythink York Street**

Opened June 1, 2013, Anythink York Street is the latest addition to the Anythink family. This public library, housed on the Mapleton Public Schools’ Skyview Campus, provides community members and students with a sleek, modern facility, a robust collection of learning materials, 25 public computers, fast Internet access, and a wide variety of hands-on, innovative programming. Reserved parking is available for library customers.

Organizations

- **Thornton Arts, Sciences, and Humanities Council (TASHCO)**

The Thornton Arts, Sciences, and Humanities Council (TASHCO) is a 501(c)(3) organization whose purpose is to promote cultural, historical, and scientific activities in the City of Thornton. The TASHCO Board of Directors is appointed by the Thornton City Council.

- **Thornton Community Band**

The Thornton Community Band is an all-volunteer, nonprofit organization created to create an experience and share the gift of music with the entire community.

- **Thornton Community Chorus, Inc.**

A community service organization that provides the community with a performing chorus of volunteer adults in the north metro area of Denver and offers residents a fun and challenging opportunity to make music together.

- **A Child's Song**

Provides music education and appreciation for the entire family in order to fully develop the brain at individual, group, and community levels in an atmosphere and environment that nurtures, advances, and preserves the art of creating music.

Events

- **Thornton Winterfest**

Held at the Carpenter Park Fields, this festival kicks off the holiday season in Thornton with the turning on of the holiday lights in Santa's Village and includes an ice skating pond, tree decorating contest, Holiday Marketplace, and fireworks show.

- **ThorntonFest**

Held at the Carpenter Park Fields, ThorntonFest includes a Battle of the Bands, Cottonwood Classic 5K, beer gardens, a marketplace, car show, Paw Fest, and many other activities.

- **Fourth of July in Thornton**

Held at the Carpenter Park Fields, Fourth of July in Thornton offers beer gardens, food vendors, nighttime skydivers, live music, and fireworks.

- **Thornton Harvest Fest**

Held at the Community Park, Harvest Fest includes a Fishing Derby, pancake breakfast, skate park competition, chili cook-off, bazaar, farmers market, food court, and a beer garden.

- **TASHCO Events**

TASHCO events include musical conversations and celebrating our second decade.

Policy

- **Thornton Arts and Culture Division**

The division serves as the city liaison to TASHCO, which is a nonprofit citizen committee appointed by City Council to administer grant funding provided by SCFD.

ADAMS COUNTY

Venues

- **Adams County Regional Park**

Home to the Adams County Fair, the Regional Park hosts many community events ranging from the Adams County Fair to the 4th of July Celebration.

- **Anythink Perl Mack**

The fully renovated Anythink Perl Mack serves the north Denver community with a variety of spaces and programs for all ages. This sustainable facility includes a children’s pavilion, teen space, computer lab, and program space. The landscaped site also includes a community garden maintained by local community members in partnership with Denver Urban Gardens.

Organizations

- **Adams County Visual Arts Commission (ACVAC)**

ACVAC is aligned with the Office of Cultural Affairs and is responsible for the promotion of public art and cultural and scientific activities in Adams County.

- **Adams County Cultural Council (ACCC)**

ACCC is made up of volunteer appointees who manage the SCFD tier III grant application process for their respective counties. Council members should adhere to the concepts of stewardship of public funds and seek to create a fair, ethical, respectful, open, and objective evaluation process through which these public funds are distributed.

- **Adams County Historical Society and Museum**

This organization is responsible for maintaining the Adams County Museum as well as hosting events that promote historical education in Adams County.

Events

- **Adams County Fair**

The Adams County Fair dates back to before the county was even a county. The fair features live music from nationally known country stars as well as bull riding, a demolition derby, fireworks, a truck pull, and many other activities. This event is the biggest in the county.

- **Adams County NAP Exhibit**

The Adams County NAP Exhibit is held in Brighton. Artists invited to participate in this exhibition include Adams County, City of Thornton, City of Brighton, City of Commerce City, City of Northglenn, City of Westminster, and City of Federal Heights employees and their immediate family members.

- **Art from the Heart**

Art from the Heart is a juried exhibit of art works by Adams County and Westminster artists which are held at the College Hill Library. All original fine arts and sculptures are included.

- **City Strings in Adams County**

Managed by Augustana Arts Inc., City Strings provides lessons in string instruments (violin, viola, and cello) to at-risk children from low-income families.

- **Art Stop on the Go**

This program began at three Anythink branches (Wright Farms, Huron Street and Brighton), about two years ago. Each month, an artist-instructor creates an art lesson around a children’s book and holds a workshop that focuses on artistic concepts. The program is designed to be an advanced, but also elementary-level, art class.

Policy

- **Adams County Visual Arts Commission**

The Board of County Commissioners shall dedicate ½ of one percent of the total cost of construction on any new county-owned building to carry out the mission of the ACVAC and the Office of Cultural Affairs.

BENNETT

Venues

■ **Anythink Library**

Opened in May 2009, Anythink Bennett is located at 7th St. and E. Lincoln Ave. in Bennett. This energy-efficient library is designed with a western style that reflects life on the eastern plains. With expanded computer labs and community areas, Anythink Bennett has an inviting space for all ages and activities.

WESTMINSTER

Venues

■ **Aar River Gallery**

The Aar River Gallery is the premier art gallery located in the heart of old Westminster. A family gallery with original fine art, fine art photography, and fine art reproductions at reasonable prices. They also feature note cards, jewelry, and pottery by local artisans. Each month a different outside artist is invited to display art work and teach a class or workshop.

■ **Rodeo Market Community Arts Center**

This center is a city-owned property that is a historic landmark for the City of Westminster. It currently is supporting the South Westminster Arts Group (SWAG) that creates a healthy and safe environment for members of all ages to help promote and encourage creative thought, art education, and community growth and well-being. SWAG engages the public directly by providing art education classes, supporting an active group of artist members, producing special community fundraisers, organizing the sculptures on 73rd Ave. (a public art on loan project), and curating regular gallery shows.

Organizations

■ **South Westminster Arts Group**

South Westminster Arts Group (SWAG) was founded as a nonprofit organization in 2007 and is dedicated to providing community service and advocacy on behalf of the arts, artists, and patrons. By creating a healthy and safe environment for members of all ages within our society, they help to promote and encourage creative thought, art education and community growth and well-being.

■ **Paletteers Art Club**

The mission of the Paletteers Art Club is to promote the highest professional standards in original works of art by artists in the community, and to encourage the practice and appreciation of all fine arts.

■ **North Metro Arts Alliance**

This alliance was founded as a nonprofit entity to serve the Westminster and North Metro communities in the areas of performance and visual arts, including cultural entertainment. Ultimately, NMAA strives to enrich awareness, education, and access of the arts among North Metro residents throughout the calendar year.

■ **Westminster Historical Society**

The Westminster Historical Society was formed in 1962 to promote and preserve local Westminster history.

■ **Colorado Educational Theatre**

Founded to provide opportunities for children to develop character, creativity, and intellect through drama, promote the use of drama and theater performance in schools as medium for learning, and inspire young people to value the role of the arts in community life.

ADAMS COUNTY ARTS, CULTURE AND VENUE TASK FORCE

Recommendations to the Adams County Board of Commissioner April 2015

Background of the Task Force:

The Adams County Arts, Culture, and Venue Task Force was established by resolution of the Board of County Commissioners in September 2014 to provide recommendations concerning arts, culture, and venues within the county and to research and develop a strategy for promoting arts and culture.

The Arts, Culture and Venue Task Force was partially created in response to an October 2013 recommendation by the Adams County Cultural Council—the board-appointed body of arts advocates who oversee the countywide distribution of Scientific and Cultural Facility District (SCFD) grant funds. In a letter to the board of commissioners the cultural council expressed a need for the creation and implementation of a master plan to guide the future development of arts and culture initiatives in the county.

The 14 members of the task force were selected by the board of commissioners and represent a wide range of subject matter experts as well as interested citizens. The task force met between December 2014 and April 2015 to develop the recommendations presented in this summary report. During their meetings, the task force consulted with representatives from several other notable arts organizations, including Colorado Creative Industries (a division of the Colorado Office of Economic Development & International Trade) and Scientific and Cultural Facilities District (SCFD).

Mission of the Task Force:

The mission of the Adams County Arts, Culture, and Venue Task Force was to “identify and recommend steps to define Adams County role to support and develop scientific and cultural opportunities for all citizens.”

A Demonstrated Need for Enhanced Cultural Opportunities:

The need for a coordinated effort to enhance cultural opportunities in Adams County was illustrated in a quality of life survey commissioned by the county in late 2014. This survey demonstrated that the availability of cultural activities was among the lowest of all measured indicators (only 43% of residents rated cultural opportunities in the county as “good” or “excellent”). Additionally, Adams County rated significantly lower than surrounding communities in this critical benchmark.

The Obvious Benefits of Arts Programming:

Arts and culture are more than just a quality-of-life benchmark for the residents of Adams County—they can also have a powerful impact on local economies. According to the Colorado Business Committee for the Arts in their 2014 Economic Activity Study of Metro Denver Culture, arts, cultural and scientific organizations generated \$1.85 billion in regional economic activity in 2013—an increase of 5.1% from 2011. By 2028, this number is expected to reach \$3.82 billion.

Additional economic/community impact facts for 2013:

- Total attendance was 14.2 million in 2013; these attendees infused our regional economy with \$926 million.
- Educational outreach associated with these venues reached 4.25 million students.
- Total employment was 10,205 jobs; total payroll & personnel expenses were \$150.7 million.

These are but a few of the overwhelmingly positive economic statistics the Colorado Business Committee for the Arts has been tracking for more than 20 years. The economic impact of arts and culture is well documented in Colorado and across the nation.

Issues Facing Adams County:

While working to develop recommendations for the board of county commissioners, the Adams County Arts, Culture and Venue Taskforce identified several areas of concern during its assessments:

Lack of coordination between existing venues

While Adams County is home to a wide variety of arts/culture/science venues, there is very little collaboration or coordination between the individual organizations; in fact, the task force suspects many additional organizations are operating in obscurity. A comprehensive master plan is needed to define and develop the county's brand/vision, identify the county's assets (venues and organizations), and develop a mutually beneficial path forward for all arts-related entities.

Lack of effective marketing/outreach

While Adams County is already home to an impressive variety of venues, many residents are unaware of the opportunities in their own backyard. All member organizations comprising the task force unanimously agreed that the county should play a vital role in regional arts marketing efforts; doing so would not only benefit each individual venue but would also strengthen the county's image as a world-class arts destination.

Lack of Arts/Culture Diversification

As diverse as the current arts/culture/scientific opportunities are in Adams County, there is always room for improvement. Future considerations might include creation of a mural arts program and a sculpture garden. All existing arts organizations would benefit from increasing the density of offerings in the county.

Lack of Tier 2 SCFD venues

Adams County is currently home to only one SCFD Tier II arts venue—the Rocky Mountain Bird Observatory. All other SCFD grantees in Adams County are Tier III organizations, which only receive 13% of all SCFD funds. By attracting or developing additional Tier II-qualifying organizations, Adams County would receive a greater proportion of total SCFD funding (21%).

Recommendations:

Considering the issues addressed above, the Adams County Arts, Culture and Venue Task Force respectfully submits the following three recommendations to the Adams County Board of Commissions:

Form and sufficiently staff an Office of Cultural Affairs

A permanent Office of Cultural Affairs, staffed by dedicated full-time personnel, will develop a master plan for arts and culture in Adams County and serve as a liaison to the county's various arts organizations. This office would also be responsible for coordinating countywide marketing/outreach initiatives.

Form an Advisory Commission

The task force recommends the establishment of an advisory commission comprised of subject-matter experts (i.e. arts and culture advocates) to help support the initiatives of the Office of Cultural Affairs. Board membership should be diverse, including representatives from the following communities: commercial, arts/sciences, municipal, and unincorporated. The board should also be ethnically diverse.

Develop a Tier II SCFD venue

Rather than build a new county venue, the task force recommends the county invest in its current venue—the Regional Park. As part of drafting a master plan, consideration should be given to transforming the Regional Park into a qualifying Tier II SCFD venue.



RECEIVED

OCT 07 2013

Adams County
Commissioners' Office

Ruth
 Jim
 Ruth
Jodie Neal
Bob Grant
Keisha
Ruth
Claire M.

October 1, 2013

The Honorable Adams County Commissioners
Commissioners' Office
4430 South Adams County Parkway
5th Floor, Suite C5000A
Brighton, CO 80601

Dear Commissioners,

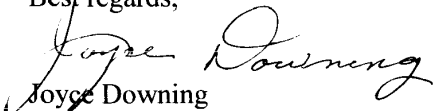
On behalf of the Adams County Cultural Council, we appreciate the opportunity to present a proposal regarding the future of arts and culture in Adams County to you.

After lengthy discussion during our annual retreat where Bob Grant was also in attendance as the Chair of the Adams County Visual Arts Commission and in his role as the Adams County Board Member to the Scientific and Cultural Facilities District (SCFD) it became clear that neither the Adams County Cultural Council nor the Adams County Visual Arts Commission feel that their organizational missions and duties as defined today can encompass additional responsibilities. Therefore, the attached recommendations have been drafted for your consideration.

Arts and culture are a critical component of the quality of life of Adams County citizens, but they also contribute significantly to local economies by creating jobs, paying taxes and drawing people to our communities. The economic impact of arts and culture is well-documented and areas across the state are including them in their plans as potential economic drivers. It is the opinion of the Adams County Cultural Council that your consideration of a defined and perhaps expanded future role for arts and culture in our county is very important.

The Adams County Cultural Council and I look forward to your feedback. Please feel free to contact me if you need any additional information.

Best regards,


Joyce Downing
Chair, Adams County Cultural Council

**ARTS AND CULTURE PROPOSAL FOR ADAMS COUNTY COMMISSIONERS
September 2013**

The Adams County Cultural Council is pleased to recommend the following points for consideration and action:

1. A mission statement be issued from the Adams County Commissioners regarding an arts and culture plan and direction for the County.
 - * And perhaps included in the Adams County Master Plan?
2. A Task Force on Arts and Culture in Adams County be created.
 - * Representatives from various Adams County areas and cities, business and nonprofit sectors, Adams County Cultural Council, Adams County Visual Art Commission, Adams County staff and other appropriate individuals would be included.
3. Commissioners to set goals and guidelines in line with the mission statement from which the taskforce will operate.
 - * Examples include suggestions as to the research needed to determine what may be of most benefit to Adams County residents, opportunity analysis, possible economic impact, funding sources, inventory of existing organizations and facilities, etc.
4. A budget be created and funds be allocated for use by the Task Force.
5. Engagement of a paid professional to lead the task force (possibly an experienced public arts consultant) to identify other entities that have engaged in similar processes, learn from their experiences and incorporate best practices in recommendation for Adams County.
6. An Adams County Commissioner be designated champion for this project to serve as a liaison to and to oversee the efforts of the Task Force.
 - * As per the way in which the Open Space vision was spearheaded by former Adams County Commissioner Elaine Valente.



4430 S. Adams County Pkwy., Brighton, CO 80601

STAY CONNECTED

 /AdamsCountyGov  @AdamsCountyGov  /AdamsCountyCo  /AdamsCountyCOGovernment
Adcogov.org



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Concert Production for the Adams County Fair
FROM: Raymond H. Gonzales, County Manager Patti Duncan, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a proposal award to Big Paulie Productions LLC for Concert Production Services at the Adams County Fair

BACKGROUND:

On October 27, 2017 Adams County issued a formal Request for Proposal (RFP) on the Rocky Mountain ePurchasing System seeking a qualified contractor to provide concert production services for the Adams County Fair. The outsourcing of these services will make the process of booking national touring musical acts a more efficient process for the County due to the difficulty that can be experienced when trying to reach contract terms with national touring musical acts. Proposals were opened on November 16, 2017 with one firm, Big Paulie Productions LLC submitting a proposal.

Proposals were evaluated based on the following criteria: producer's qualifications, current and former clients, experience with events of this size and scope, producer's connections within the Front Range festival scene, producer's proposed service plan and producer's fees. After a thorough evaluation of the proposal received, it was determined that Big Paulie Productions LLC met all requirements of the RFP and was recommended to receive the contract award for these services.

The estimated budget for these services and entertainment acts for the 2018 Adams County Fair is \$190,000.00. As part of their agreement, Big Paulie Productions LLC will be responsible for contracting all non-local musical acts and production equipment independently from Adams County. Once musical acts and required production equipment have been contracted, Big Paulie Productions LLC will be reimbursed by the County for the value of those agreements and paid commission fees for these agreements at the following rates: 10% for entertainment contracts (non-local musical acts), 5% for artist contract fees and 5% for production costs. Total commission fees are estimated to be around \$9,000.00. Big Paulie Productions LLC will work in conjunction with the Adams County Fair and Special Events Manager during the entire process and will require approval from the Parks and Open Space Department before any decisions regarding entertainment are finalized or any payments are made.

It is recommended that the Board of County Commissioners approves an agreement with Big Paulie Productions LLC for concert production services for the Adams County Fair to be paid by earned commission fees or reimbursement in the estimated amount of \$190,000.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Parks and Open Space Department

ATTACHED DOCUMENTS:

Resolution
Evaluation Score Summary Sheet

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 5010

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8676.101		\$360,062
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u> </u> <u>\$360,062</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AWARDING AN AGREEMENT BETWEEN ADAMS COUNTY AND BIG
PAULIE PRODUCTIONS LLC FOR CONCERT PRODUCTION SERVICES

WHEREAS, on November 16, 2017, Big Paulie Productions LLC (Contractor) submitted a proposal to provide Concert Productions Services for the Adams County Fair; and,

WHEREAS, after a thorough evaluation it was deemed that Contractor was the most responsive and responsible proposer; and,

WHEREAS, Contractor will work in conjunction with the Adams County Parks and Open Space Department regarding creative and operational direction of concerts; and,

WHEREAS, Contractor will enter into agreements with musical acts and production equipment providers independently from Adams County; and,

WHEREAS, Contractor agrees to be reimbursed by the County for the value of the independent entertainment and production equipment agreements once fully executed; and,

WHEREAS, Contractor agrees to provide Concert Productions Services for the Adams County Fair at the commission rates of 10% of total for entertainment contracts, 5% of total for artist contract fees and 5% for production costs.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the award be made to Big Paulie Productions LLC to provide Concert Production Services for the Adams County Fair.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the agreement with Big Paulie Productions LLC after negotiation and approval as form is completed by the County Attorney's Office.

RFP #2017.160 - CONCERT PRODUCTION EVALUATION SUMMARY SHEET

CONTRACTOR: BIG PAULIE PRODUCTIONS LLC

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2						CATEGORY TOTALS	COST
QUALIFICATIONS	25	23	23						46	*see note below
CURR/FORMER CLIENTS	10	9	9						18	
EVENT SIZE/SCOPE	15	14	14						28	
FRONT RANGE FESTIVALS	20	18	18						36	
SERVICE PLAN	10	9	9						18	
FEES	20	18	19						37	
TOTALS:	100	91	92						183	

TOTAL SCORE: 183

TOTAL AVG. SCORE: 91.5

NOTE:

Big Paulie Productions LLC will be reimbursed by the County for the value of the approved agreements and paid commission fees at the following rates: 10% for entertainment contracts (non-local musical acts), 5% for artist contract fees and 5% for production costs. Commission fees are estimated to be around \$9,000.00 total.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Design Services for Twin Lakes Park
FROM: Raymond H. Gonzales, County Manager; Patti Duncan, Deputy County Manager; Benjamin Dahlman, Finance Director; Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON: September 26, 2017 and January 2, 2018
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the agreement with Stream Design LLC, for additional Design Services, Construction Oversight and Materials Testing for the Twin Lakes Park Renovation Project

BACKGROUND:

Twin Lakes Park was developed in the 1970’s and is in need of major renovations including: a complete replacement of the irrigation system, stabilization of the eroding lakeshore, addition of pedestrian bridges, replacement of concrete trails, addition of shelters, landscaping and replacement of restroom and playground equipment.

In 2015, Stream Design LLC, was awarded an agreement to provide Design Services for the Twin Lake Park Renovation Project, for an original agreement price of \$72,208.00.

Two public meetings were held in March and May of 2016 to discuss the project with the Community. Formal design of the park renovations began in the fall of 2016 with a significantly increased scope of work due to input and recommendations from; the Community, the Sheriff’s Office, and the State Engineer’s Office regarding a non-compliant water rights issue, and recommendations from the consultant team.

The additional items for the scope of work included:

1. Outlet structure to regulate/control the water level of the lake per a request from the Water Commissioner (State Engineer’s Office) to comply with state water law
2. Rip-rap armoring of the entire shoreline of the lake to address long-term erosion problems (Community request and consultant recommendation)
3. Pipe to drain cottonwood grove/low spot in park (Community request – requires an open cut of the Lower Clear Creek Ditch)
4. Pedestrian bridge over LCC Ditch and crusher fines loop trail around smaller lake (Community request)
5. Replacement and expansion of play equipment instead of just replacement (Community request)
6. Lighting for the parking lot to improve security (Sheriff’s Office request)

7. Changing from the current plumbed restroom to a port-a-let enclosure for security reasons created a need to abandon the sanitary sewer line and an opportunity to add a drinking fountain (Sheriff's Office and community request)

Based on the above requested changes, the County issued Amendment One to the agreement with Stream Design LLC, in the amount of \$24,994.00 for additional design and engineering services, bringing the agreement total to \$97,202.00.

In the 2017 budget an additional \$1,500,000.00 was approved for construction of this project. Due to the significantly increased complexity of the project and the additional civil and electrical engineering required, the Parks and Open Space Department is requesting to amend the design contract adding Construction Oversight and Materials Testing Services to the existing agreement. Not only is the Design firm's expertise vital to the success of the project, the County has a very small window in which to get some of the critical work completed before the March 15th deadline of the Lower Clear Creek Ditch Company; which does not allow enough time to perform another solicitation for the additional services. Stream Design LLC, has offered to provide Construction Oversight and Materials Testing along with additional needed Engineering Services in the amount of \$90,558.00 bringing the contract total to \$187,760.00. The proposed amount for the planning, design, materials testing and construction oversight of 9.7% is well within industry norms for a construction project of this size.

Original Agreement	Design Services	\$72,208.00
Amendment One	Additional Design Services	\$24,994.00
Amendment Two	Construction Oversight, Additional Engineering Services	\$90,558.00
	Total Agreement Price	\$187,760.00

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Parks and Open Space Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 24
Cost Center: 6021

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9110	60211301W	\$209,832.00
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN ADAMS
COUNTY AND STREAM DESIGN LLC, FOR ADDITIONAL SERVICES

WHEREAS, on November 16, 2015, the Adams County awarded an agreement to Stream Design LLC, for the Design Services for the Twin Lakes Park Renovations; and,

WHEREAS, Amendment Two of the agreement will add Construction Oversight and Materials Testing Services, along with additional needed Engineering Services; and,

WHEREAS, Stream Design LLC, has agreed to provide the additional Construction Oversight Services, Materials Testing and Engineering Services in the amount of \$90,558.00, bringing the contract total to \$187,760.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the agreement between Adams County and Stream Design LLC, for the additional services be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Two with Stream Design LLC, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: January 9, 2018
SUBJECT: Twin Lakes Park Improvements and Clear Creek Trail Replacement
FROM: Raymond H. Gonzales, County Manager Patti Duncan, Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a bid award to Energes Services LLC, for the Twin Lakes Park Improvements and Clear Creek Trail Replacement Projects.

BACKGROUND:

Twin Lakes Park was developed in the 1970's and is in need of major renovations including: a complete replacement of the irrigation system, stabilization of the eroding lakeshore, addition of pedestrian bridges, replacement of concrete trails, addition of shelters, landscaping and replacement of restroom and playground equipment.

In addition to the renovation at Twin Lakes Park, a segment of Clear Creek Trail near Twin Lakes Park is in immediate need of replacement. The trail shoulders are severely eroded and in many locations there are steep drop-offs to either side of the concrete trail. These are two separate projects with separate budgets with open space grants. Due to their geographic proximity, timing, and similar nature of work staff elected to combine these two projects for bidding purposes.

A formal Invitation to Bid was solicited through the Rocky Mountain ePurchasing System (BidNet). The County received the following bids:

Vendor	Twin Lakes Park	Clear Creek Trail
Energes Services LLC	\$1,924,971.00	\$187,206.00
American Civil Constructors	\$2,248,906.00	\$301,250.00
Arrow J. Landscape & Design, Inc.	\$2,372,739.00	\$280,154.00

After a thorough review of the bids, extensive reference checks and a meeting to ensure the contractor had a full understanding with the scopes of work, it was determined that Energes Services LLC, was the lowest, most responsive and responsible bidder.

The recommendation is that Energes Services LLC, be awarded an agreement for Twin Lakes Park Improvements in the not to exceed amount of \$1,924,971.00 and an agreement for Clear Creek Trail

Replacement in the not to exceed amount of \$187,206.00, for a total not to exceed amount of \$2,112,177.00 for the two projects.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Parks and Open Space Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 27
Cost Center: 6107

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9110	61071704W	\$1,500,000
	6107	61071604W	\$450,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$1,950,000*</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

*A budget amendment will be requested in the near future

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AWARDING AN AGREEMENT BETWEEN ADAMS COUNTY AND
ENERGES SERVICES LLC, FOR THE TWIN LAKES PARK IMPROVEMENTS AND
CLEAR CREEK TRAIL REPLACEMENT

WHEREAS, Energes Services LLC, submitted a bid on November 14, 2017, for the Twin Lakes Park Improvements and Clear Creek Trail Replacement; and,

WHEREAS, it was deemed that Energes Services LLC, was the lowest, most responsive, and responsible bidder; and,

WHEREAS, Energes Services LLC, agrees to provide construction services for the Twin Lakes Park Improvements in the not to exceed amount of \$ 1,924,971.00 and for the Clear Creek Trail Replacement in the not to exceed amount of \$187,206.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the award be made to Energes Services LLC, for the Twin Lakes Park Improvements and Clear Creek Trail Replacement Projects.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the agreements with Energes Services LLC, after negotiation and approval as to form is completed by the County Attorney's Office.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: RCU2017-00032

CASE NAME: OAK LEAF HUDSON

TABLE OF CONTENTS

EXHIBIT 1 – BoCC Staff Report

EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map
- 2.4 Simple Map

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Site Plan

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (Bennett Fire)
- 4.3 Referral Comments (Colorado Dept. of Natural Resources)
- 4.4 Referral Comments (FAA)
- 4.5 Referral Comments (TCHD)
- 4.6 Referral Comments (Xcel)

EXHIBIT 5- Citizen Comments

None

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Certificate of Posting



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

January 9, 2018

CASE No.: RCU2017-00032	CASE NAME: Oak Leaf Hudson
--------------------------------	-----------------------------------

Owner's Name:	L&S Capital, Ltd.
Applicant's Name:	Oak Leaf Solar XXIII, LLC
Applicant's Address:	2645 E. 2 nd Street, Suite 206, Denver CO 80206
Location of Request:	2,000 feet northeast of the intersection of East 56 th Avenue and Hudson Road.
Nature of Request:	A conditional use permit to allow a solar garden facility
Zone Districts:	Agriculture-3 (A-3) with Overlay
Comprehensive Plan:	Mixed-Use Employment
Site Size:	35 acres
Proposed Uses:	Solar Garden
Existing Use:	Vacant
Hearing Date(s):	PC: December 14, 2017 / 6:00 p.m.
	BOCC: January 9, 2018 /9:30 a.m.
Report Date:	November 27, 2017
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL with 8 Findings-of-Fact and 9 Conditions.

SUMMARY OF APPLICATION

Background

Oak Leaf Solar XXIII, LLC, the applicant, is requesting a conditional use permit (CUP) to allow a solar garden facility on the subject property. The proposed solar garden facility is in cooperation with Xcel Energy, which is mandated by Colorado law (Amendment 37 and SB 252) to provide 30% renewable energy as part of its electric generation by the year 2020. According to the applicant, the project is part of Xcel's Solar Rewards Community program. This program allows utility customers to purchase, or lease, interests in solar-generating facilities to offset their home or business electricity consumption with their share of the solar credit.

The proposed solar garden facility would occupy approximately twelve (12) acres of a thirty-five (35) acre parcel. The site plan shows the solar panels are proposed to be arranged in rows and will be constructed in four clusters of approximately 6,000 solar panels each (see Exhibit 3.2). The maximum height of the panels is proposed to be ten feet. There is also a proposed eight-foot high chain-link fence to be constructed along the perimeter of the facility. No landscaping is proposed with the development of the site. The applicant is proposing an access easement agreement with the adjacent property owner to access the site from Hudson Road. Both the subject site and the adjoining property are under a single ownership. In addition, the property owner wishes to consolidate access to the two properties by allowing a joint access between the two properties.

Site Characteristics:

Currently, the property is vacant. The proposed solar garden facility conditional use (CUP) will be located on a portion of a larger 35 acre property. The CUP will cover 12 acres of the 35 acre property. There is a producing oil and gas well located on the northwestern section of the 35 acre property, and specifically located to the west of the CUP. There are also overhead electrical lines located on the eastern perimeter of the property. Hudson Road is located to the west of the site.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for a solar garden facility in the Agriculture-3 (A-3) zone district. In addition, Section 4-03-03-02-10 of the County's Development Standards and Regulations outlines performance standards for solar garden facilities. These performance standards regulate height and setbacks for solar panels. In the standards, the maximum allowed height for a solar panel is 15 feet. According to the applicant, the proposed solar panels will not exceed ten (10) feet in height. In addition, the panels will conform to all setback requirements of the A-3 zone district, which include a 50-foot front setback, a 10-foot side setback, and a 20-foot rear setback. The site plan submitted with the application materials shows the panels will conform to all required setbacks. Per Section 4-16-19-01 of the County's Development Standards, landscaping may be required. However, because the solar panels are located a distance away from the closest right-of-way and coupled with limited availability of water for irrigation, the applicant is requesting to develop the site without landscaping. The solar panels are proposed to be over 900 feet from the closest right-of-way and hardly visible from the right-of-way.

The subject property is located within four overlay districts: (1) the Airport Influence Zone (AIZ); (2) the Airport Height Overlay (AHO); (3) the Airport Noise Overlay (ANO); and (4) the Natural Resources Conservation Overlay (NRCO). The purpose of the AIZ district is to prohibit development activity that encourages wildlife and interferes with aviation. Per Section 3-33-05-04 of the County's Development Standards, an aircraft activity covenant is required to be recorded prior to the issuance of building permits for development within the AIZ overlay district. Staff has included a condition of approval to ensure compliance with this requirement. The purpose of the ANO district is to protect development from prolonged exposure to airport noise. The purpose of the AHO district is to ensure structure heights do not interfere with aircraft approach, landing, or takeoff. The proposed solar garden facility development does not include occupied structures and will unlikely attract wildlife to the property or interfere with aviation

uses. The applicant submitted an aeronautical study, which has been reviewed and approved by Denver International Airport and the Federal Aviation Administration confirming the proposed development of the site as a solar facility will not cause disruptions to aviation activities.

The purpose of the NRCO district is to protect natural, wildlife, agricultural, and cultural resources. Development in the NRCO district requires a site-specific resources review to determine if a specific conservation action is required. As part of the subject request, staff reviewed a site-specific resource report submitted with the application and determined no conservation action was required.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, Mixed-Use Employment designated areas are intended to allow a mixture of employment uses, including offices, retail, and clean, indoor manufacturing, distribution, warehousing, and airport and technology uses. Mixed-Use Employment areas are in locations that will have excellent transportation access and visibility, but are not suitable for residential uses. In addition, a primary objective of the Mixed-Use Employment designation is to accommodate a range of employment and supporting uses to serve employment needs; and to increase employment, and contribute to the County’s tax base.

A majority of properties surrounding Denver International Airport, Front Range Airport, and the I-70 corridor are designated as Mixed-Use Employment. This is to preserve future long-term opportunities for employment growth in the area, but any future development in the area should be phased and concentrated around where urban services and infrastructure are most readily available. The request to use the property for a solar generating facility is consistent with the Comprehensive Plan designation of Mixed-Use Employment. The use of the property would not prevent future development of the site when adequate public facilities become available. Additionally, the production of energy from the property may be used to support future development of the surrounding areas.

Surrounding Zoning Designations and Existing Use Activity:

Northwest Aurora – NE Plains Vacant	North A-3 Agriculture/Solar Garden	Northeast A-3 Agriculture
West Aurora – NE Plains Vacant/Oil & Gas Well	Subject Property A-3 Vacant/Oil & Gas Well	East A-3 Vacant
Southwest Aurora – NE Plains Vacant	South A-3 Vacant	Southeast A-3 Single-Family Residential

Compatibility with the Surrounding Land Uses:

A majority of the surrounding properties to the site are zoned Agricultural-3 (A-3) and are currently vacant. There are two grain silo structures located north of the property. On October 31, 2017, the Board of County Commissioners approved a conditional use permit to allow a solar garden facility on the adjacent property to the north. The conditional use permit allowed a solar garden facility development on 20 acres of the site.

The subject request to allow the use of the property as a solar garden will be compatible with the surrounding area and will not cause significant off-site impacts such as traffic, air pollution, noise, or lighting to the surrounding properties. There will be initial construction traffic during installation of the solar panels; however, this traffic volume will drastically reduce to de minimus after completion of construction.

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on December 14, 2017. Mr. Kyle Sundman, the applicant’s representative, spoke at the meeting and had no concerns with the staff report or presentation. The Planning Commission, specifically Ms. Garner, asked the applicant to explain how energy generated from the proposed solar garden would connect to a power grid system. The applicant’s representative informed the PC that the project would connect to overhead power lines located west of the site. Mr. Jalil asked the applicant if they have previous experience with developing solar gardens in the area. Mr. Sundman stated that Oak Leaf has completed more projects in Xcel’s Solar Rewards Community program than any of their competitors, and was awarded 13 projects last year.

There was no one from the public to speak in favor or in opposition to the request. The Planning Commission voted (7-0) to recommend approval of the request.

Staff Recommendation:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact and 9 conditions.

RECOMMENDED FINDINGS-OF-FACT FOR CONDITIONAL USE:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.

7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

RECOMMENDED CONDITIONS OF APPROVAL:

1. This conditional use permit shall expire on January 9, 2039.
2. Prior to issuance of a building permit, the applicant shall file an Aircraft Activity Covenant with Disclosure with the Adams County Clerk & Recorder.
3. Prior to issuance of a building permit, the applicant shall provide documentation showing an access easement agreement to allow use of the adjoining property for access.
4. The applicant shall comply with all of the requirements of the Bennett Fire District provided in their letter dated August 9, 2017, including measures for weed control, International Fire Code compliance, and emergency responder access to the site.
5. Prior to issuance of building permit, the applicant shall document compliance with all of the requirements of the Colorado Department of Natural Resources provided in their letter dated July 25, 2017, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls and obtaining approval for mitigation measures for any identified species. Documentation of this requirement shall be required if installation of the panels occurs between March 15th and July 31st of the year. Alternatively, the applicant may provide a signed affidavit that no installation will occur during the time period noted by the Colorado Dept. of Natural Resources.
6. The applicant shall comply with all of the requirements of the Tri-County Health Department provided in their letter dated August 8, 2017, including the use of portable toilets and trash enclosures during construction.
7. A building permit shall be required for construction of any fence associated with the site.
8. No landscaping is required with development of the site for a solar garden.
9. The solar panels on-site shall be removed when the conditional use permit expires, unless an extension or renewal is granted by the Board of County Commissioners.

RECOMMENDED CONDITION PRECEDENT:

1. The applicant shall be required to submit documentation and proof of surveying the property, if installation of the solar panels occurs between March 15 and July 31. If species are identified as referenced in the July 25, 2017 letter from the Colorado Department of Natural Resources, then the applicant shall provide documentation to the Colorado Parks and Wildlife, and obtain an approval of mitigation measures from the department. Otherwise, the applicant shall provide a signed affidavit that no installation will occur during these dates.

PUBLIC COMMENTS

Property Owners Notified	Number of Responses
10	0

Property owners within a ½ mile (2,640 feet) were notified of the subject request. As of writing this report, staff has received no comments from the public regarding the request.

COUNTY AGENCY COMMENTS

During the review of the request, staff informed the applicant that Hudson Road is located within the City of Aurora’s jurisdiction; therefore the applicant shall be required to obtain access permit from the City. Staff also informed the applicant that an access easement recorded with the County’s Clerk and Recorder shall be required for the proposed access on the property.

REFERRAL AGENCY COMMENTS

Staff sent the request to various referral agencies and received no objections to the request. A number of the agencies recommended implementing certain precautionary measures, such as installation of temporary facilities for sanitation during panel installation, weed management practices, and surveying for wildlife at particular times of year. The Colorado Department of Natural Resources requested that the applicant survey the property for prairie dogs, burrowing owls, and swift foxes, if installation occurs between March 15th and July 31st. The Bennett Fire District requested that the applicant provide a vegetation management plan demonstrating how development of the site will not increase the threat of wildfire. Staff has recommended several conditions of approval to ensure compliance with the precautionary measures.

Responding with Concerns:

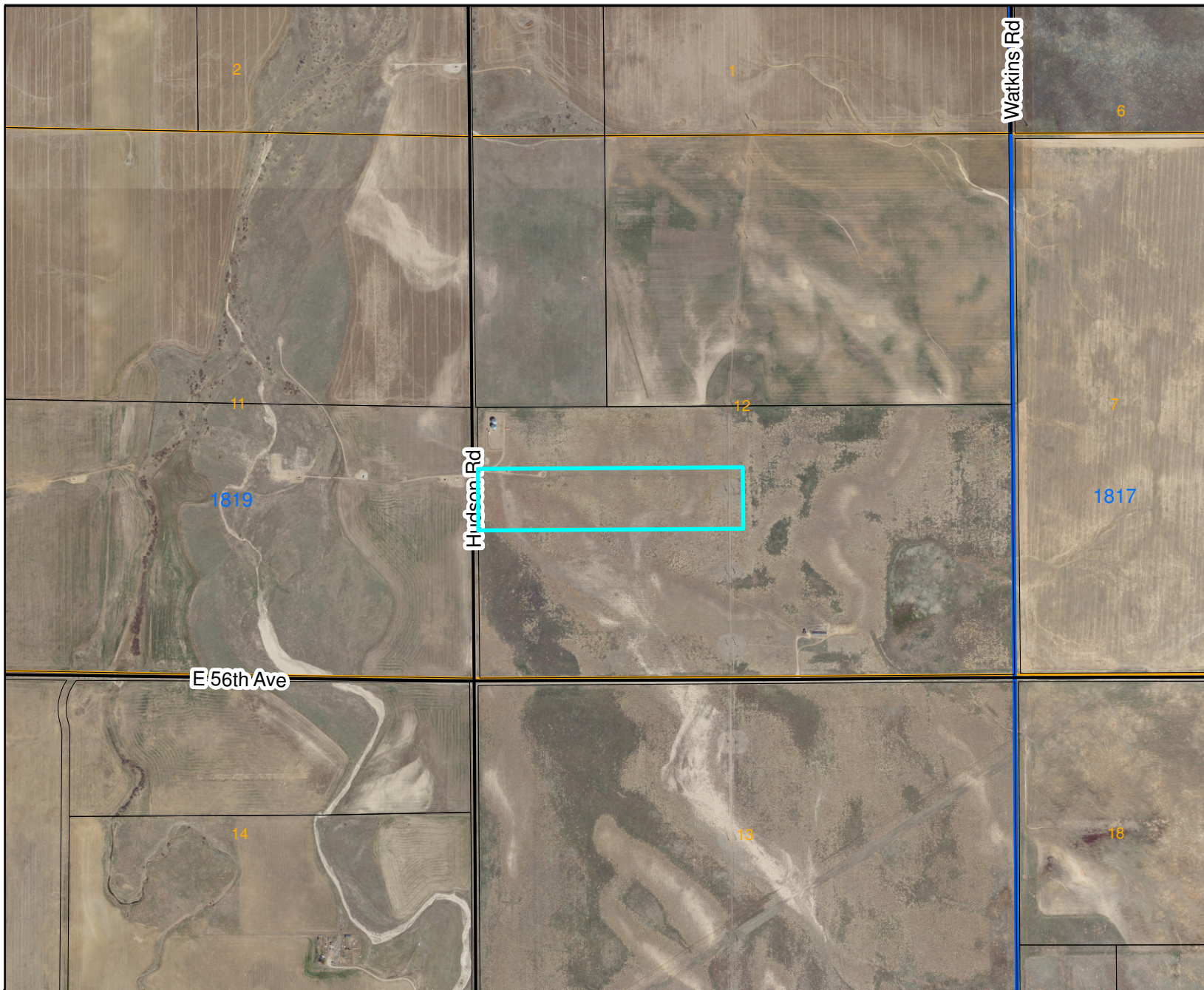
Bennett Fire
Colorado Department of Wildlife
Tri-County Health Department
Xcel Energy

Responding without Concerns:

































Denver International Airport
Federal Aviation Administration

Notified but not Responding / Considered a Favorable Response:

Bennett Park & Recreation District
Bennett School District 29J
Box Elder Water & Sanitation District
Brighton School District 27J
CDPHE
Century Link
City of Aurora
Comcast
Metro Wastewater Reclamation
RTD



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

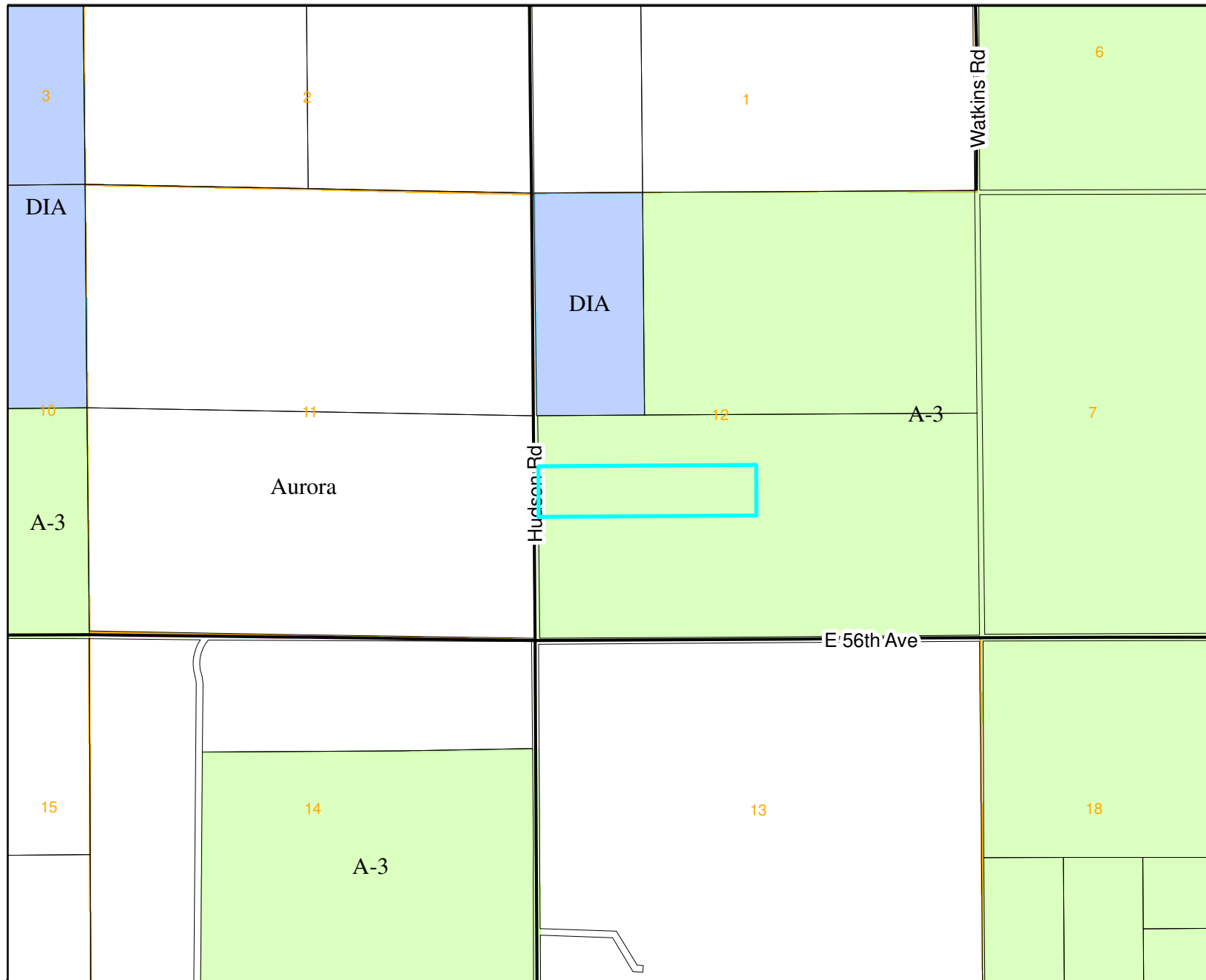
Oak Leaf Hudson
RCU2017-00032



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

- Special Zoning Conditions
- Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Airport Noise Overlay

Hill
RCU2017-00037

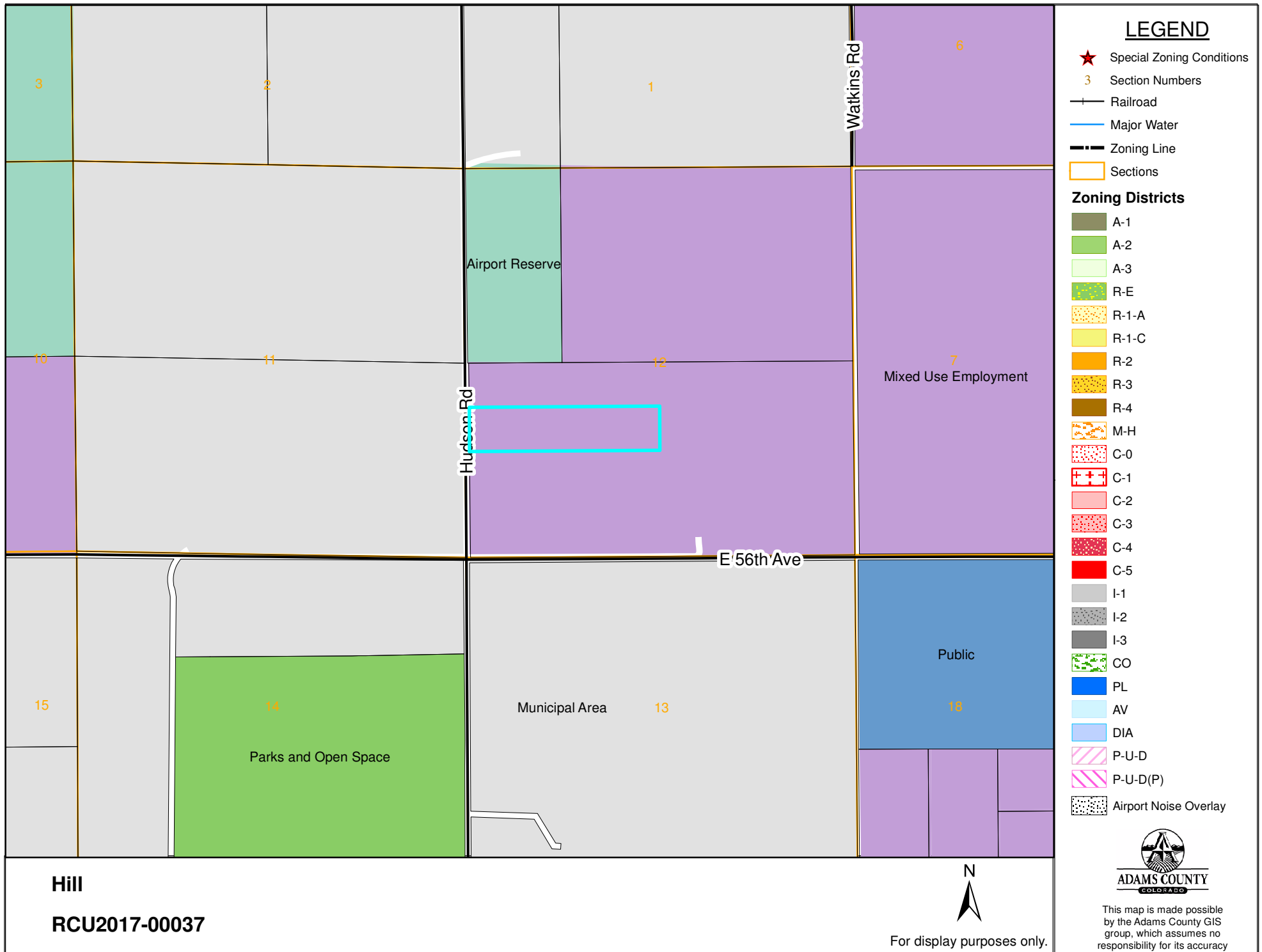


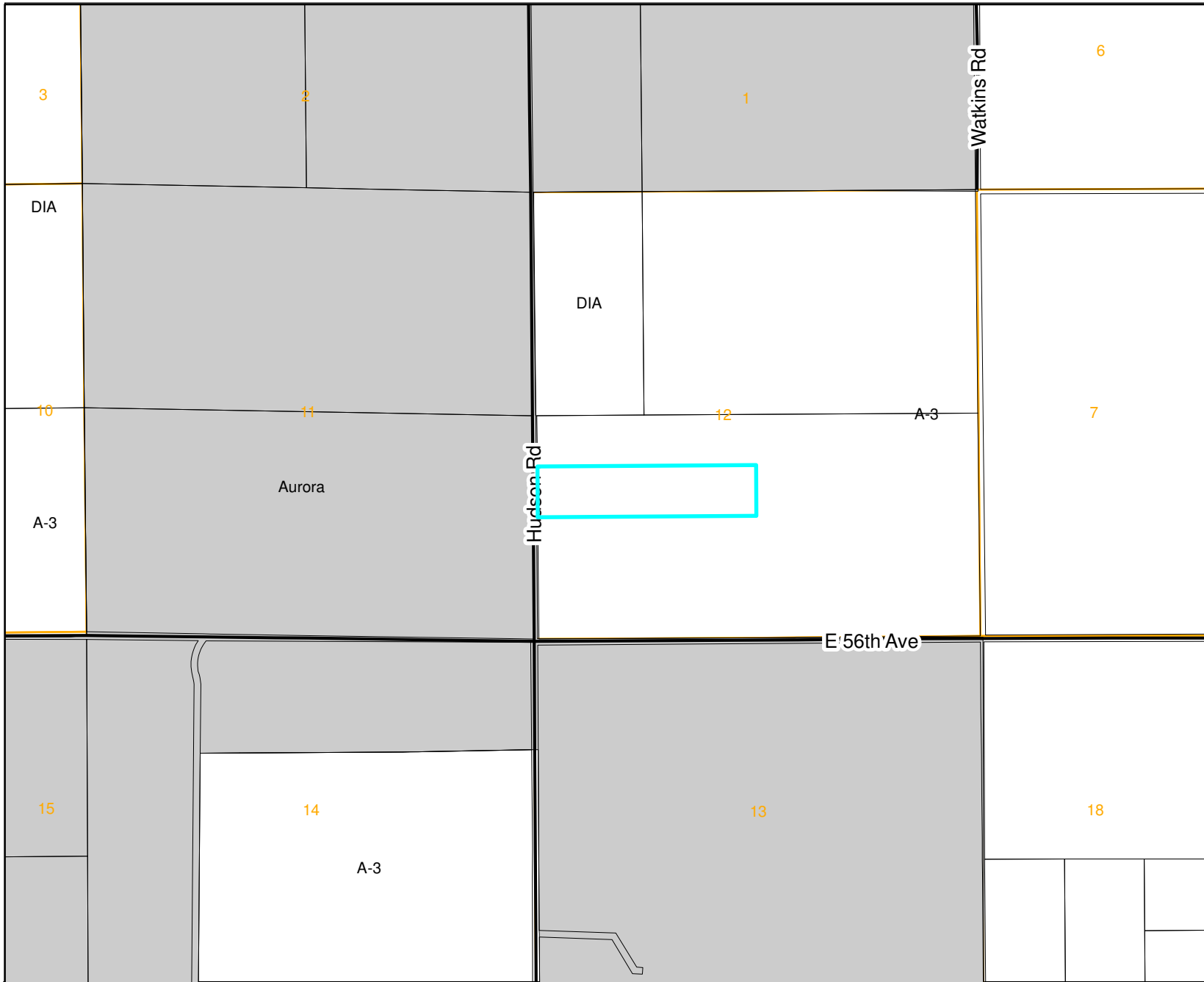
For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

2.3 Future Land Use





LEGEND

- Special Zoning Conditions
- Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Airport Noise Overlay

Hill

RCU2017-00037



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

Conditional Use Permit Application – Oak

Oak Leaf Energy Partners Conditional Use Permit Application **Oak Leaf Solar – Linnebur Solar Garden Project:**

1. Legal Description:

SECT,TWN,RNG:12-3-65 DESC: S2 EXC RD (REC NO 2016000079782) 316/54162A

2. Written Description of Project

Our company, Oak Leaf Energy Partners, on behalf of the property owner, L&S Capital Ltd. is proposing a community solar garden project within unincorporated Adams County. The project is located at 5950 Hudson Mile Road, approximately .4 miles north of East 56th Avenue in Watkins Colorado, Parcel ID #0181-9-000-000-27. The project will utilize 10-12 acres (approximately 484,000 square feet) that is currently zoned and leased for agriculture. The project site will reside south of and adjacent to a solar garden site already permitted by the County for SunShare. Oak Leaf and the land owner will be surveying off a 35-acre parcel as delineated in the attached site plan and survey. This surveyed parcel will be recorded with the county and allows Oak Leaf to comply with the Xcel rules pertaining to co-locating solar garden projects.

Oak Leaf is proposing to develop a 2-megawatt solar garden project through Xcel Energy's community solar garden program. This solar array will be comprised of approximately 6000 solar panels mounted on a fixed racking system on approximately 10–12 acres. The project profile and fence height are provided in the site plan attached. We expect the height to be less than 10 feet with an 8-foot chain-link security fence. The array will interconnect directly to the Xcel 3-phase powerline running along Hudson Road. Oak Leaf has done interconnection engineering and confirmed that the line has capacity to accommodate the Oak Leaf project. Xcel awarded Oak Leaf this community solar project in December 2016 and is required to complete the project by June of 2018.

The project site boundary will be set back approximately 900 feet from Hudson Road at its nearest point. Access is to be provided directly from Hudson Road along the Northern boundary of the Oak Leaf site. Oak Leaf expects only a minimum amount of grading and civil work will be necessary for the project.

We are including a traffic letter from our engineer attesting to the limited nature of the projects' traffic impact and that the car traffic emanating from the project will be far below the 20 cars per day threshold and thus not require a traffic study.



Conditional Use Permit Application – Oak

Additionally, we are including an FAA Glare study we conducted for the project – indicating that we are not in the prohibited zone relative to DIA, and thus do not require any further FAA consents or permits.

The project will be set back approximately 900 feet from Hudson Road and largely shielded by terrain, thus we are not anticipating the need for any landscape cover for the project.

The title commitment requested by Marissa is part and the basis of the ALTA survey document attached. We are also providing the actual title commitment document itself.



Linnebur Solar Development

1.5 MW Solar Project Adams County, Colorado Civil Permitting Plans

Legal Description

The South 1/4 of Section 12, Township 3 South, Range 65 West of the 6th P.M., EXCEPT that portion conveyed to the City of Aurora, Colorado, a municipal corporation, in Warranty Deed recorded September 23, 2016 at Reception No. 201600079782, County of Adams, State of Colorado.

Project Description

1.5 MW-AC Fixed-Tilt Solar Project

Project Contact Information			
Consultant	Company	Name	Phone No.
Developer	Oakleaf Energy Partners	John Hereford	(720)-839-1390
Civil Engineer	Westwood Professional Services	Jack Hays	(972) 265-4871

Data Set Information			
Base File	File Name	Provider	Date
PV Array	0011139.06PVSITE.dwg	Westwood	06/20/2017
Topo	0011139.06ECON.dwg	Westwood	06/12/2017

Sheet Index	
Dwg. No.	Sheet Title
T.100	Cover Sheet
C.100	Parent Parcel
C.101	Overall Site Plan
C.102	Existing Conditions
C.103	Civil Site Plan
C.104	Drainage Plan
C.200	Construction Details

Project Quantities	
Item	Quantity
Access Road Centerline Length	1,763 LF
Permanent Security Fence Length	3,442 LF
20' Gate	1 EA.
Silt Fence Length	1,449 LF

Disturbance Limits	
Item	Area
Clearing & Grubbing	493,947 SQ FT

Designed:	DAB	
Checked:	JNH	
Drawn:	SR	
Record Drawing by/date:		
Revisions:		
#	DATE	DESCRIPTION
0	06/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



**2645 East 2nd Avenue, Suite 206
Denver, Colorado, 80206**

Regional Map



SOURCE: MAP DATA ©2017 GOOGLE (NOT TO SCALE)

Vicinity Map



SOURCE: MAP DATA ©2017 GOOGLE (NOT TO SCALE)




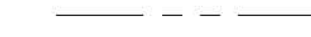
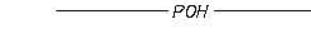

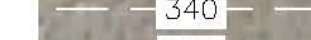

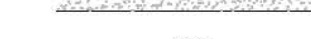






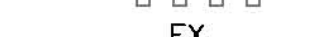

Linnebur Solar Development
Adams County, Colorado

Cover

Issued for Permit

Date: 08/17/17
Drawing No: T.100

LEGEND & ABBREVIATIONS

	EX. NWI WETLAND LINE
	EX. FEMA FLOODPLAIN LINE
	EX. RIGHT-OF-WAY LINE
	EX. SECTION LINE
	EX. OVERHEAD POWERLINE
	EX. GAS LINE
	EX. INDEX CONTOUR LINE
	EX. INTERVAL CONTOUR LINE
	EX. PAVED ROAD
	PROPOSED COLLECTION LINE
	PROPOSED DISTURBANCE LIMITS
	PROPOSED SECURITY FENCE LINE
	PROPOSED SETBACK LINE
	PROPOSED ACCESS ROAD
	PROPOSED PARCEL LINE
	PROPOSED SOLAR ARRAY
	EXISTING

GENERAL NOTE:

1. ALL PROPOSED CABLE FROM PANELS TO INVERTERS AND INVERTERS TO METER ARE PROPOSED TO BE UNDERGROUND.

Designed: DAB

Checked: JNH

Drawn: SR

Record Drawing by/date:

Revisions:

#	DATE	DESCRIPTION
0	06/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

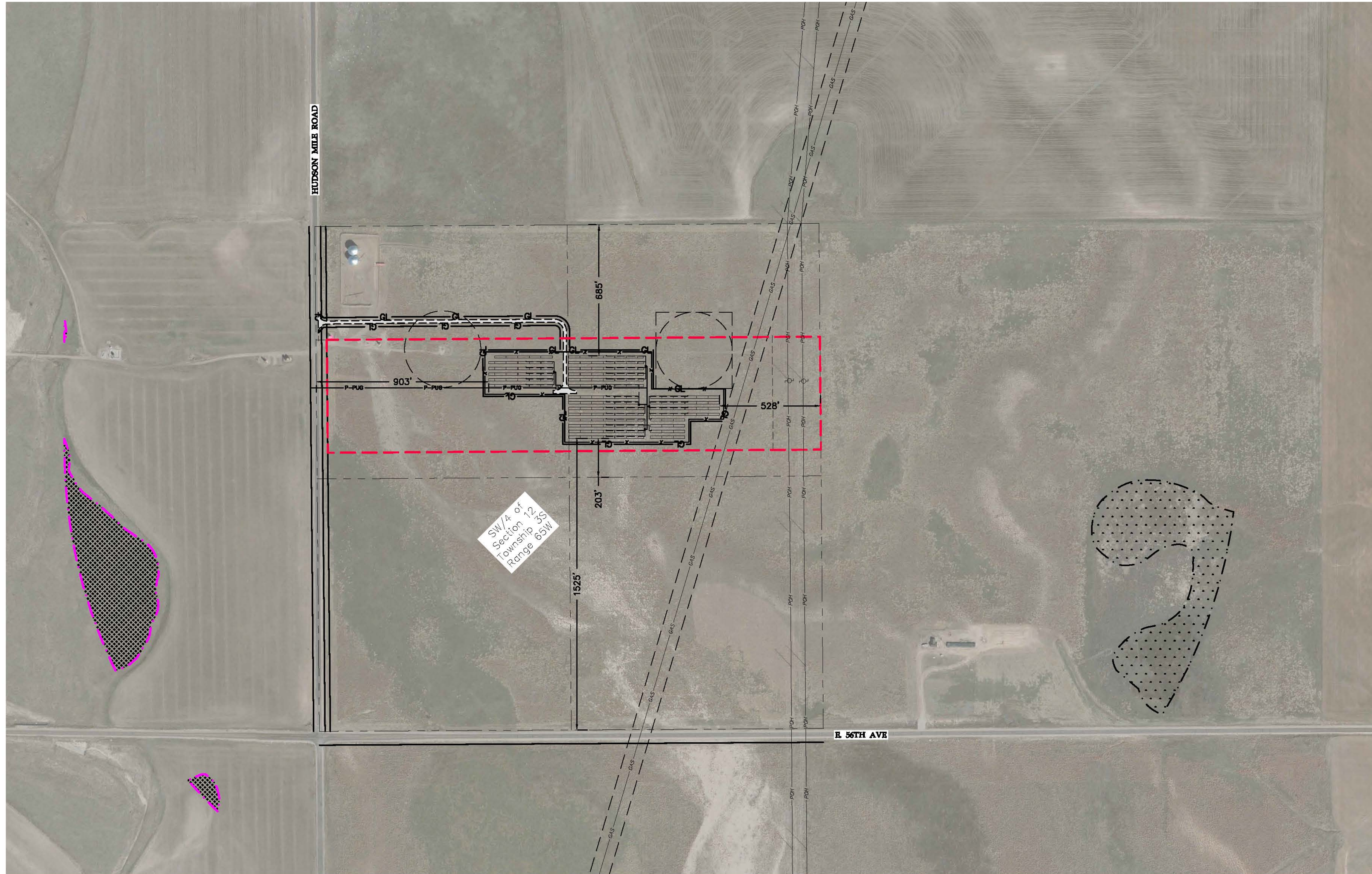
Prepared for:



2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206

Building Setbacks	
East - Rear Yard	20'
North - Side Yard	10'
West - Front Yard	50'

Per Adams County Zoning Ordinance,
 Zone - Agricultural-3 District



Linnebur Solar Development
 Adams County, Colorado


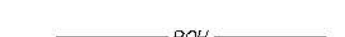
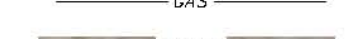








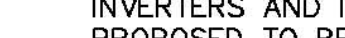




Parent Parcel

Issued for Permit

Date: 08/17/17

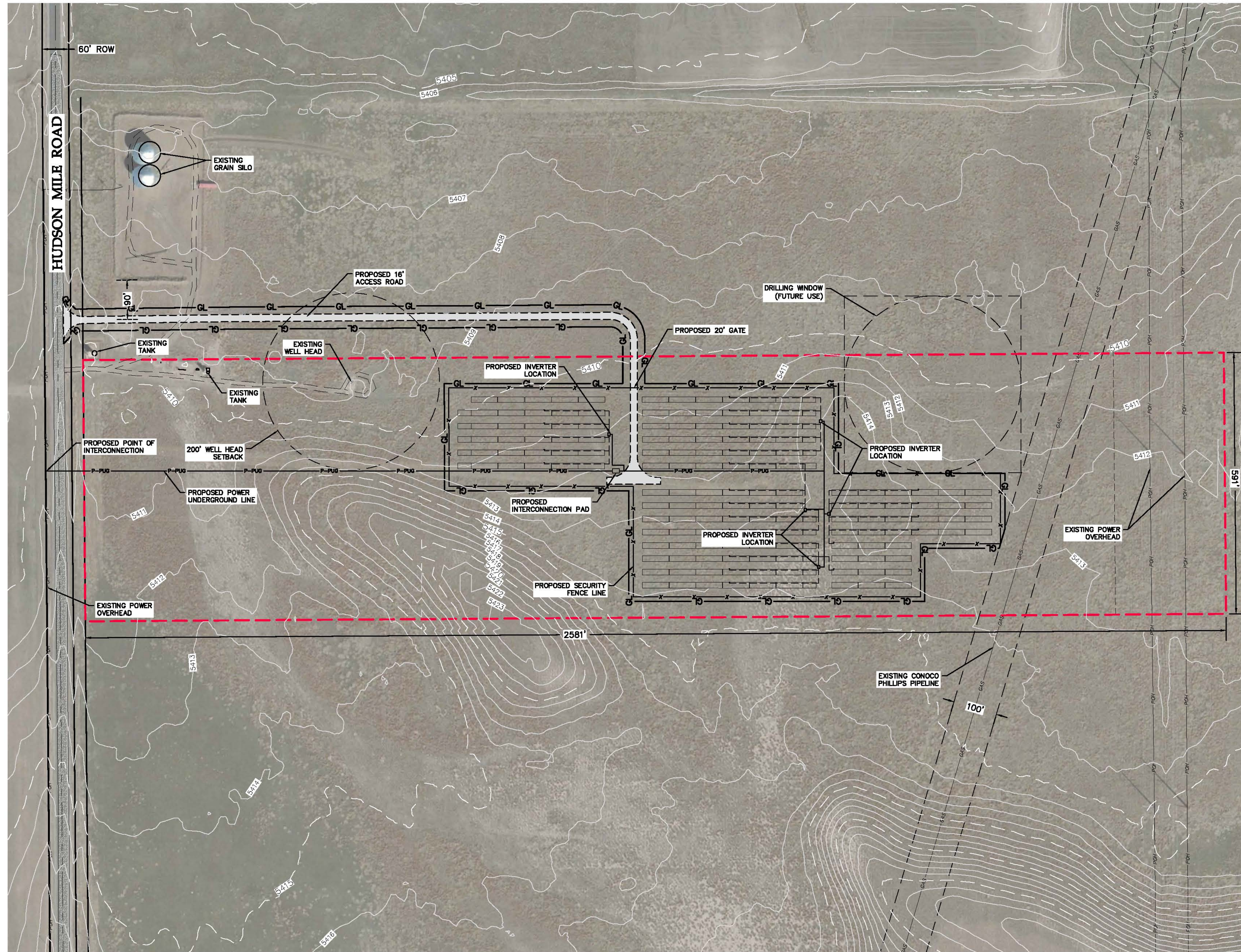
Drawing No: C.100

LEGEND & ABBREVIATIONS

-  EX. RIGHT-OF-WAY LINE
-  EX. FENCE LINE
-  EX. OVERHEAD POWERLINE
-  EX. GAS LINE
-  EX. INDEX CONTOUR LINE
-  EX. INTERVAL CONTOUR LINE
-  EX. PAVED ROAD
-  EX. GRAVEL ROAD
-  PROPOSED COLLECTION LINE
-  PROPOSED DISTURBANCE LIMITS
-  PROPOSED SECURITY FENCE LINE
-  PROPOSED SETBACK LINE
-  PROPOSED ACCESS ROAD
-  PROPOSED PARCEL LINE
-  PROPOSED SOLAR ARRAY
-  EX. EXISTING

GENERAL NOTE:

1. ALL PROPOSED CABLE FROM PANELS TO INVERTERS AND INVERTERS TO METER ARE PROPOSED TO BE UNDERGROUND.



Designed:	DAB	
Checked:	JNH	
Drawn:	SR	
Record Drawing by/date:		
Revisions:		
#	DATE	DESCRIPTION
0	06/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206

Linnebur Solar Development

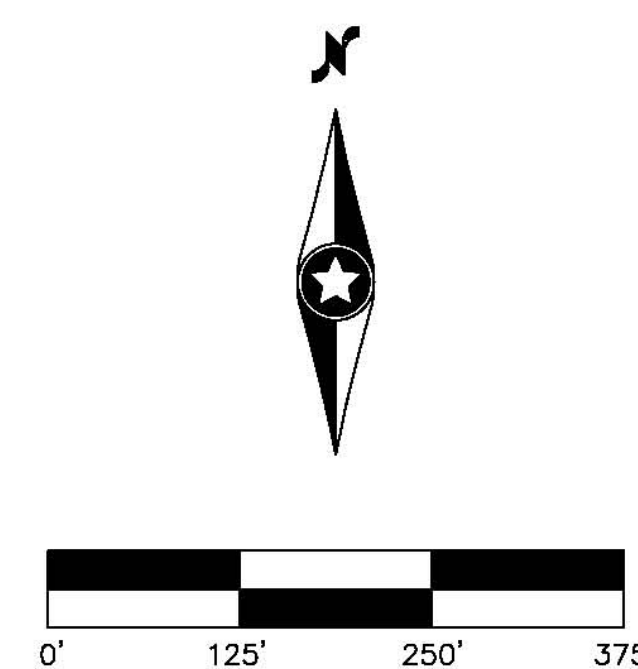
Adams County, Colorado

Overall Site Plan

Issued for Permit

Date: 08/17/17

Drawing No: C.101



LEGEND & ABBREVIATIONS

	EX. SECTION LINE
	EX. EASEMENT LINE
	EX. INDEX CONTOUR LINE
	EX. INTERVAL CONTOUR LINE
	EX. PAVED ROAD
	EX. GRAVEL ROAD
	EX. GROUND SLOPE
	EX. SOIL BOUNDARY LINE
	PROPOSED PARCEL LINE
	EXISTING

Existing Land Use of Project Area	
Agriculture	100%

Site Soil Description	
Bt - Blakeland - Truckton Association	15.90%
TtB - Truckton Loamy Sand, 0%-3% Slope	53.50%
TuB - Truckton Sandy Loam, 1%-3% Slope	18.02%

*From USDA-NRCS

Designed:	DAB	
Checked:	JNH	
Drawn:	SR	
Record Drawing by/date:		
Revisions:		
#	DATE	DESCRIPTION
0	06/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206

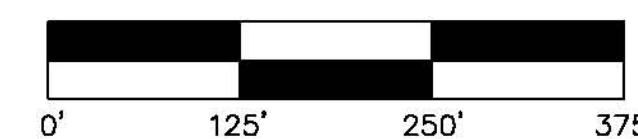
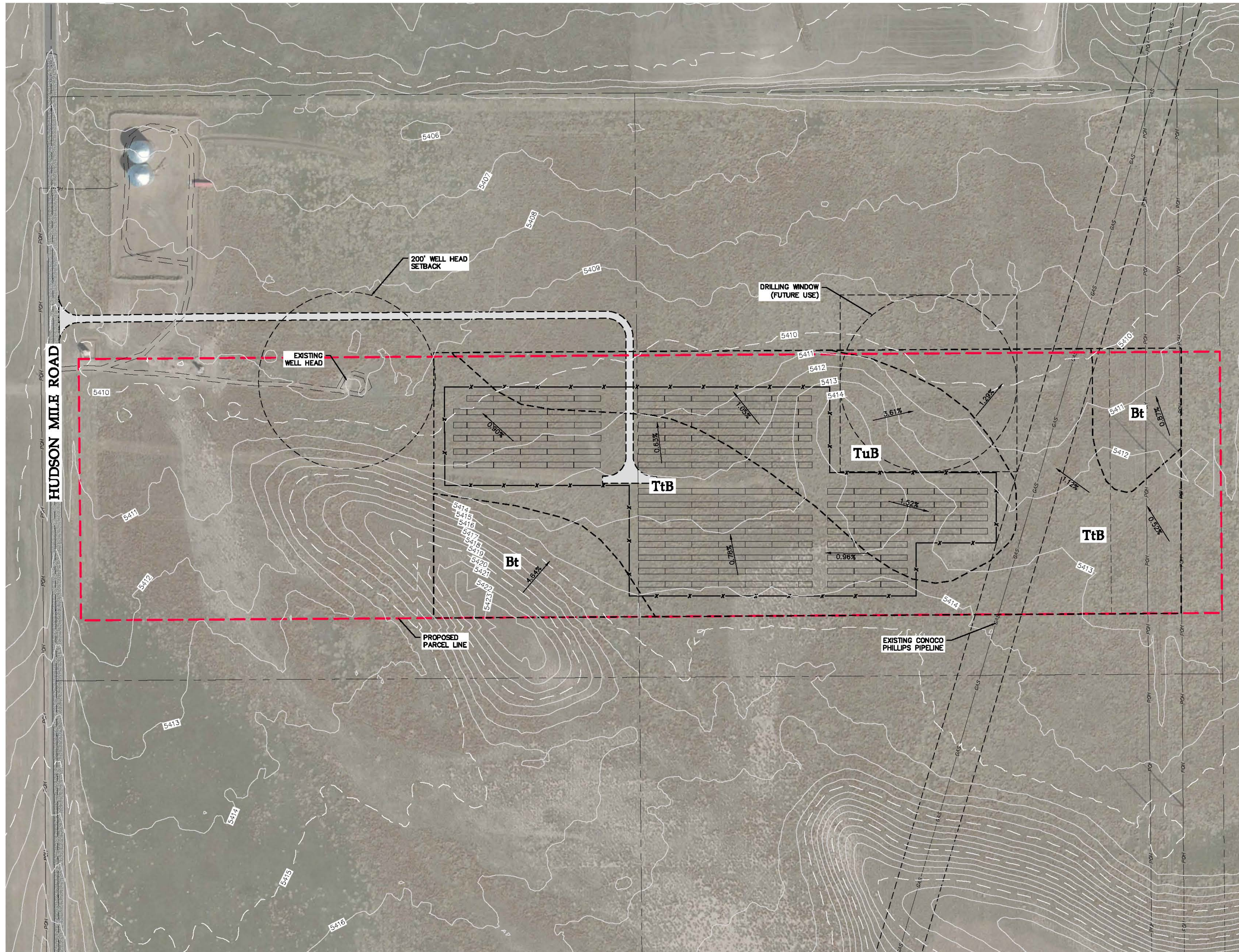
Linnebur Solar Development

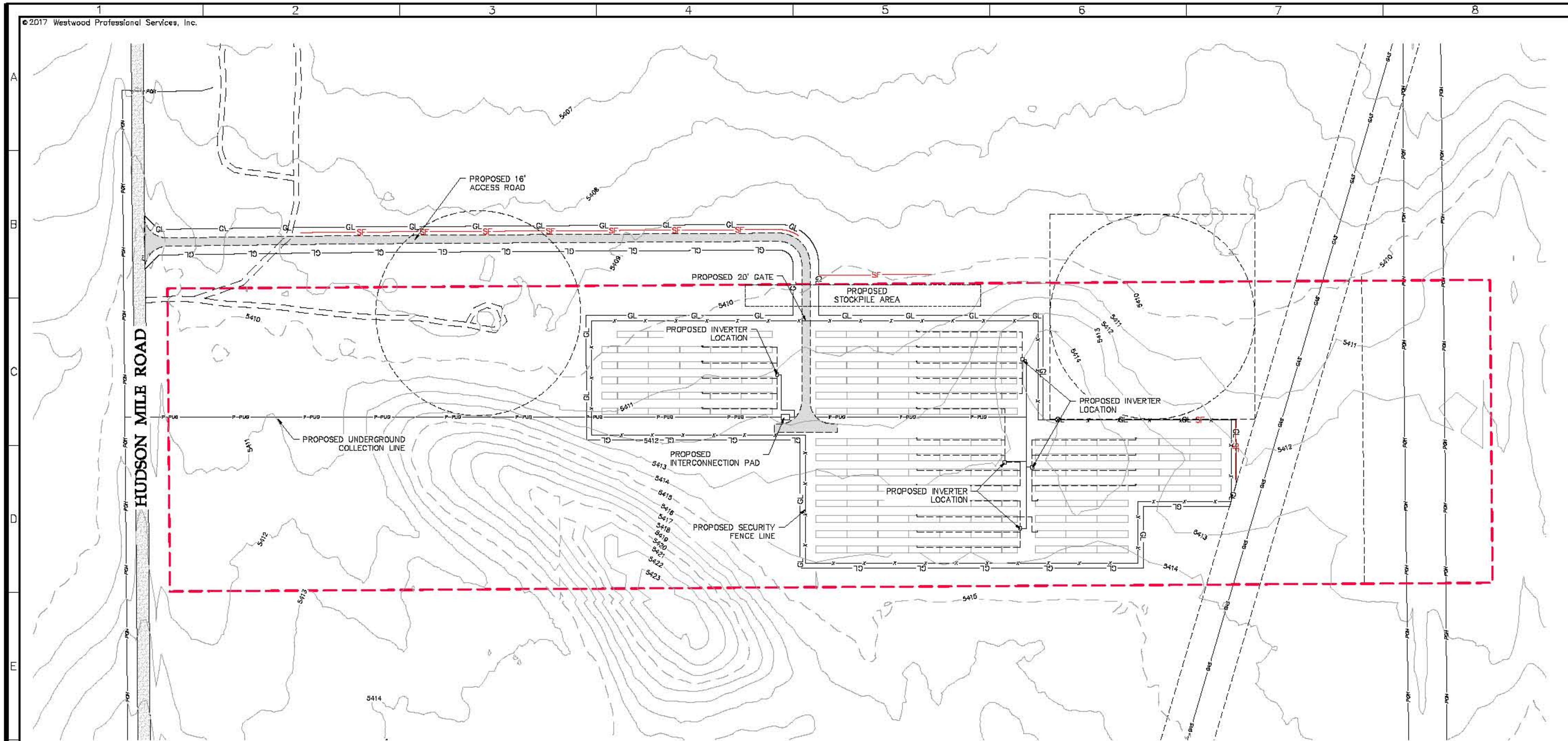
Adams County, Colorado

Existing Conditions

Issued for Permit

Date: 08/17/17
 Drawing No: C.102





Designed:	DAB	
Checked:	JME	
Drawn:	SR	
Record Drawing by/date:		
Revisions:		
#	DATE	DESCRIPTION
0	08/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



**2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206**

LEGEND & ABBREVIATIONS

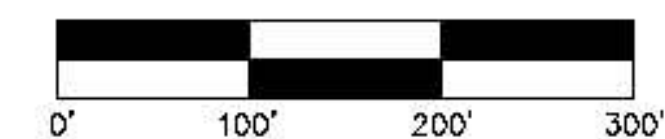
- 340 --- EX. INDEX CONTOUR LINE
- 341 --- EX. INTERVAL CONTOUR LINE
- ==== EX. PAVED ROAD
- --- EX. GRAVEL ROAD
- --- PROPOSED PARCEL LINE
- x-x- PROPOSED SECURITY FENCE LINE
- GL PROPOSED DISTURBANCE LIMITS
- --- PROPOSED SETBACK LINE
- SF --- PROPOSED SILT FENCE LINE
- --- PROPOSED ACCESS ROAD
- ||||| PROPOSED SOLAR ARRAY
- EX. EXISTING

GENERAL NOTES:

1. CONTRACTOR SHALL INSTALL ALL PERIMETER EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO UPSLOPE DISTURBANCE ACTIVITIES.
2. SITE PREPARATION OUTSIDE OF WETLAND AREA INCLUDES BUT IS NOT LIMITED TO CLEARING/GRUBBING, MINOR GRADING, COMPACTION, MOWING OF VEGETATION, AND RESTABILIZATION OF DISTURBED AREA.
3. INTERNAL ROADS WILL BE CONSTRUCTED TO MATCH THE SURROUNDING EXISTING GROUND ELEVATIONS TO ALLOW EXISTING DRAINAGE PATTERNS TO PERSIST.
4. OVERALL DRAINAGE PATTERNS WILL NOT BE ALTERED WITH SOLAR DEVELOPMENT.
5. THE GROUND BENEATH THE RAISED SOLAR PANELS ALLOWS RUNOFF TO INFILTRATE, THE AREA BENEATH THE PANELS IS NOT CONSIDERED IMPERVIOUS.
6. ALL PROPOSED CABLE FROM PANELS TO INVERTERS AND INVERTERS TO METER ARE PROPOSED TO BE UNDERGROUND.
7. SURFACE DATA OUTSIDE OF PROJECT BOUNDARY IS FOR REFERENCE ONLY. OBTAINED FROM USDA PUBLICLY AVAILABLE 3m DATA.
8. WETLANDS AND FLOOD PLAINS ARE OUTSIDE OF PROJECT AREA.

Disturbance Limits

Item	Area
Clearing & Grubbing	493,947 SQ FT



**Linnebur Solar
 Development**

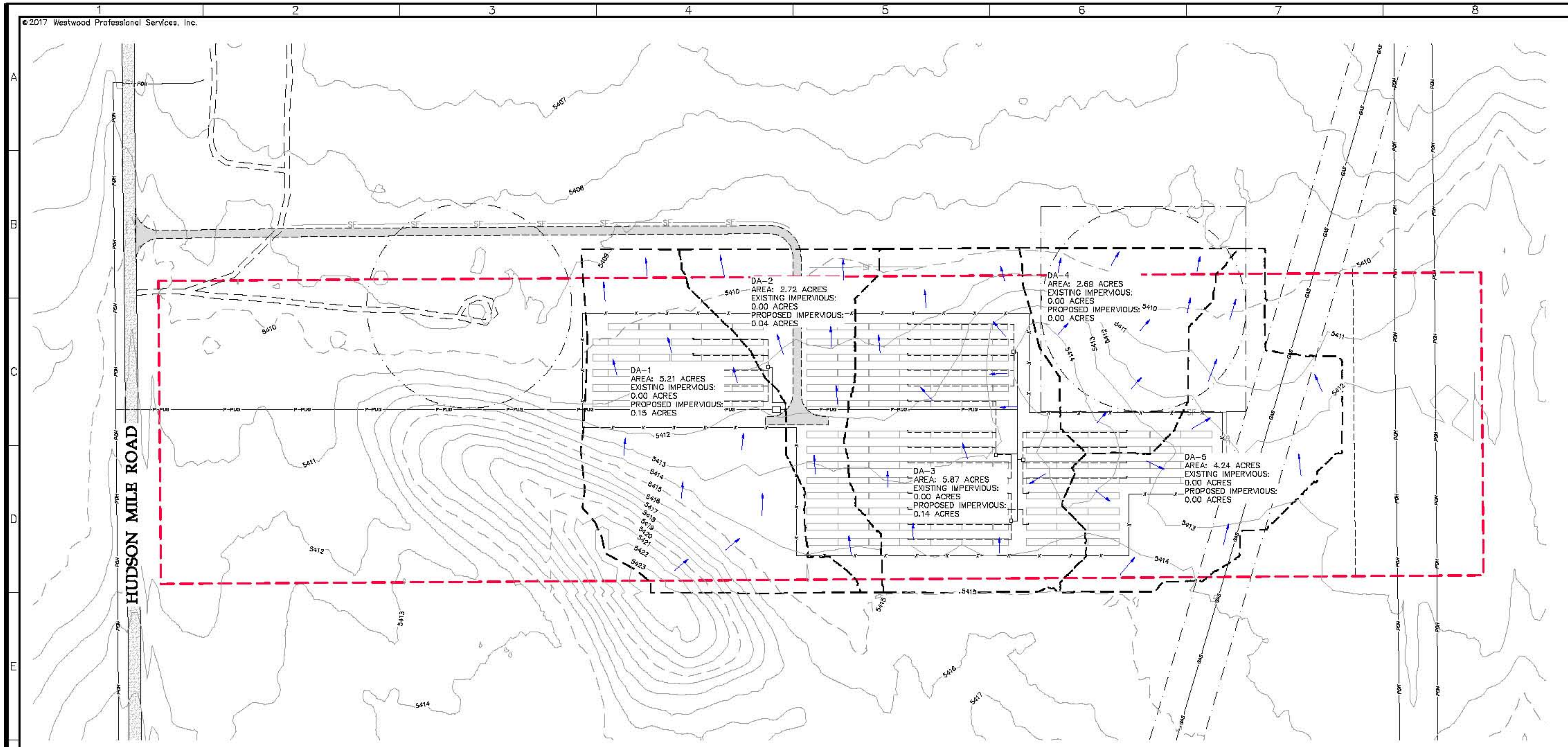
Adams County, Colorado

Civil Site Plan

Issued for Permit

Date: 08/17/17

Drawing No: C.103



Designed: DAB

Checked: JME

Drawn: SR

Record Drawing by/date:

Revisions:

#	DATE	DESCRIPTION
0	08/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206

LEGEND & ABBREVIATIONS

	EX. INDEX CONTOUR LINE
	EX. INTERVAL CONTOUR LINE
	EX. PAVED ROAD
	EX. GRAVEL ROAD
	PROJECT PARCEL LINE
	PROPOSED SECURITY FENCE LINE
	PROPOSED SETBACK LINE
	PROPOSED SILT FENCE LINE
	PROPOSED ACCESS ROAD
	DRAINAGE BOUNDARY LINE
	EXISTING
	SHEET FLOW

NOTES:

- OVERALL DRAINAGE PATTERNS WILL NOT BE ALTERED WITH SOLAR DEVELOPMENT.
- THE GROUND BENEATH THE RAISED SOLAR PANELS ALLOWS RUNOFF TO INFILTRATE, THE AREA BENEATH THE PANELS IS NOT CONSIDERED IMPERVIOUS.

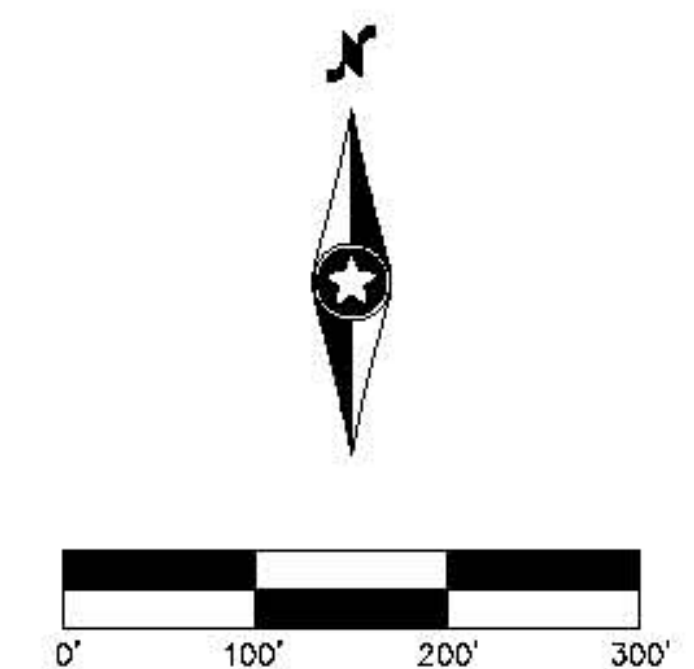
Linnebur Solar Development
 Adams County, Colorado

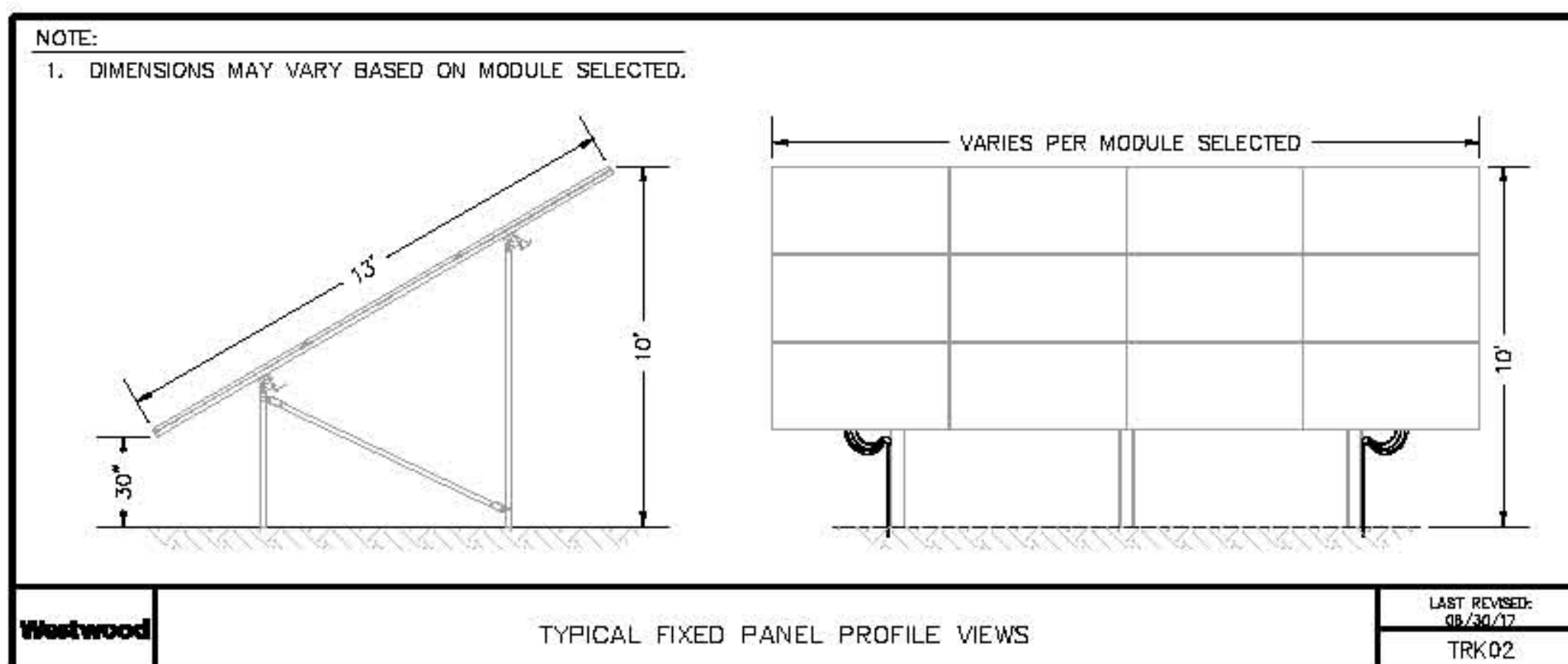
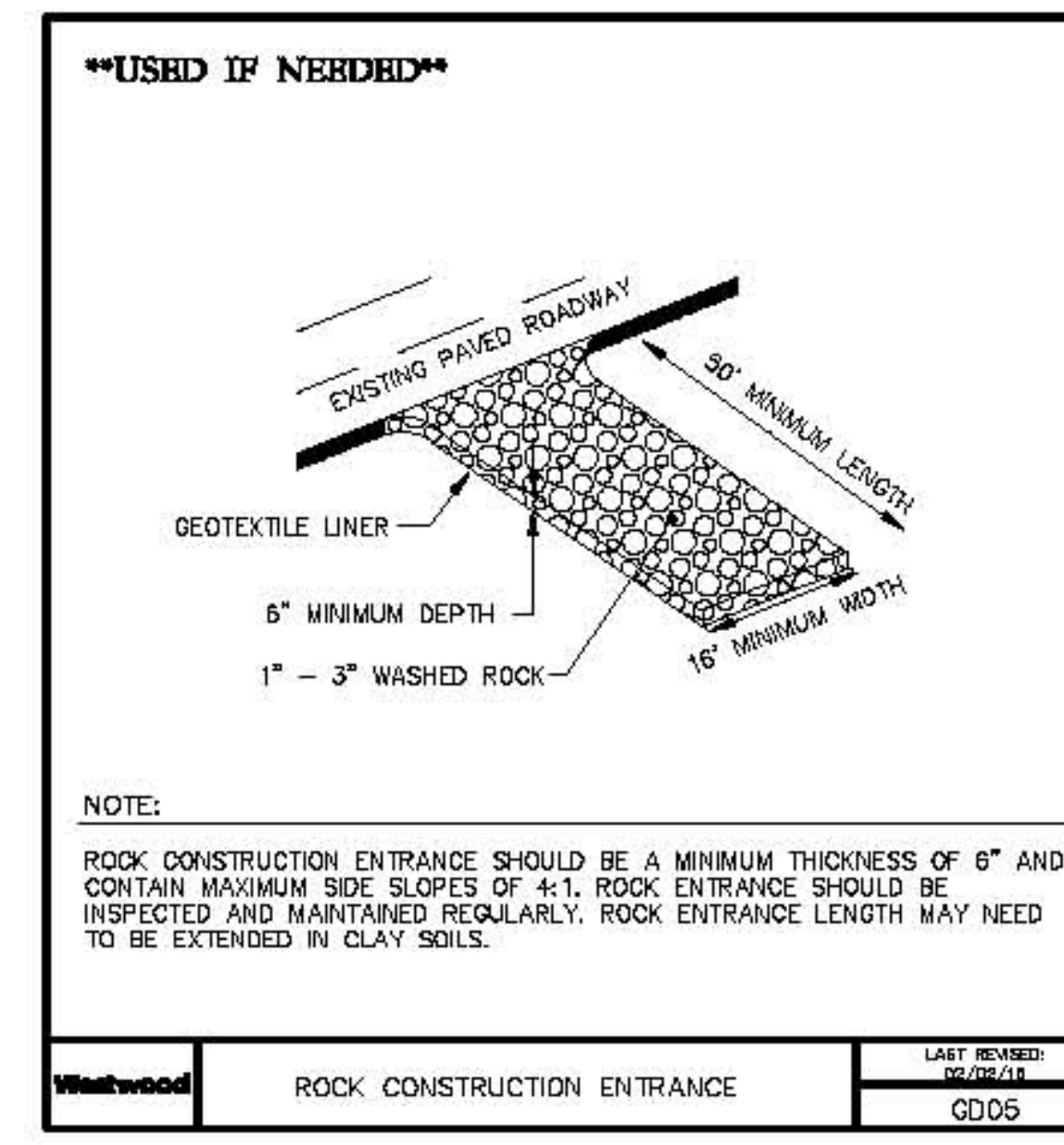
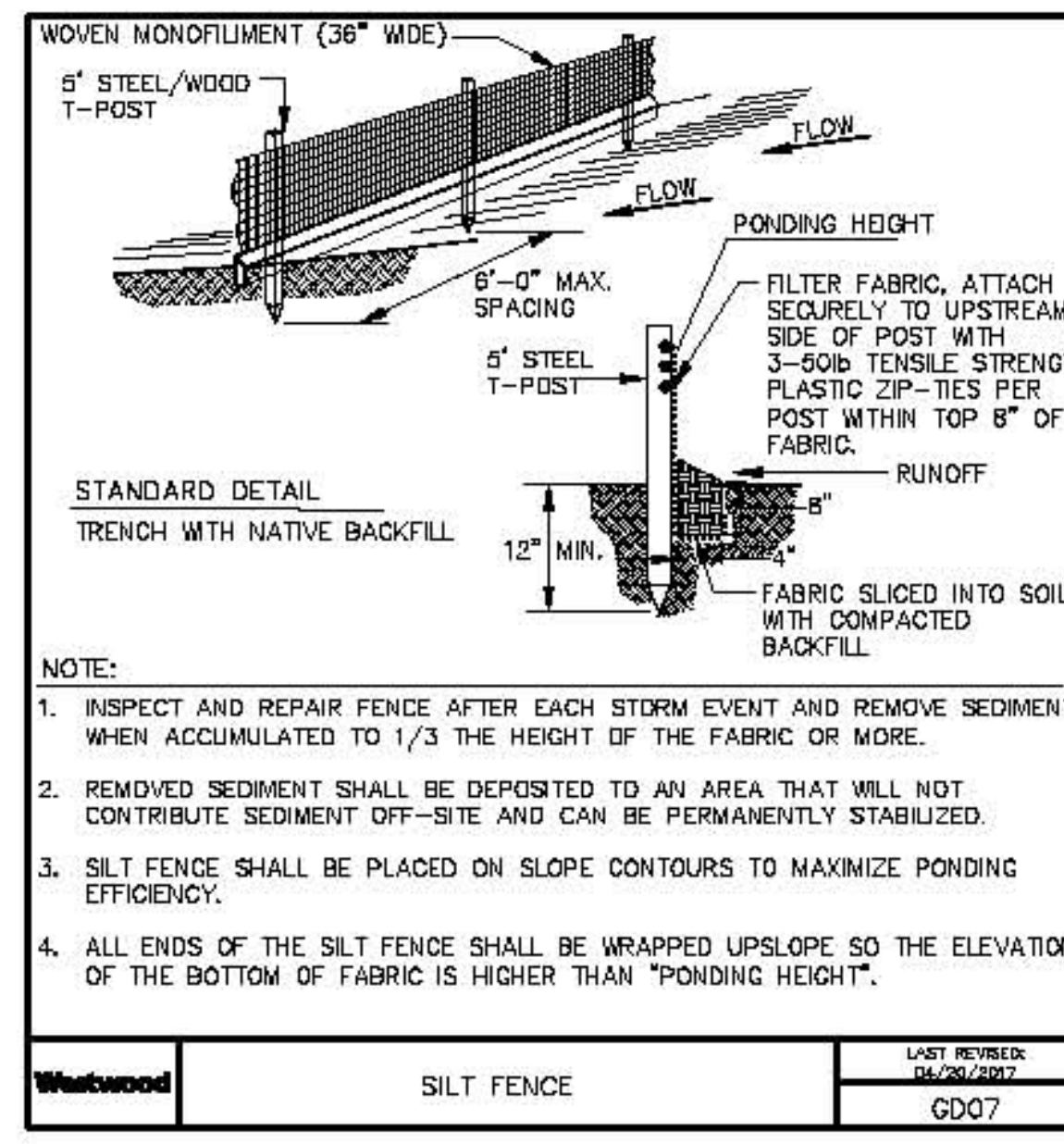
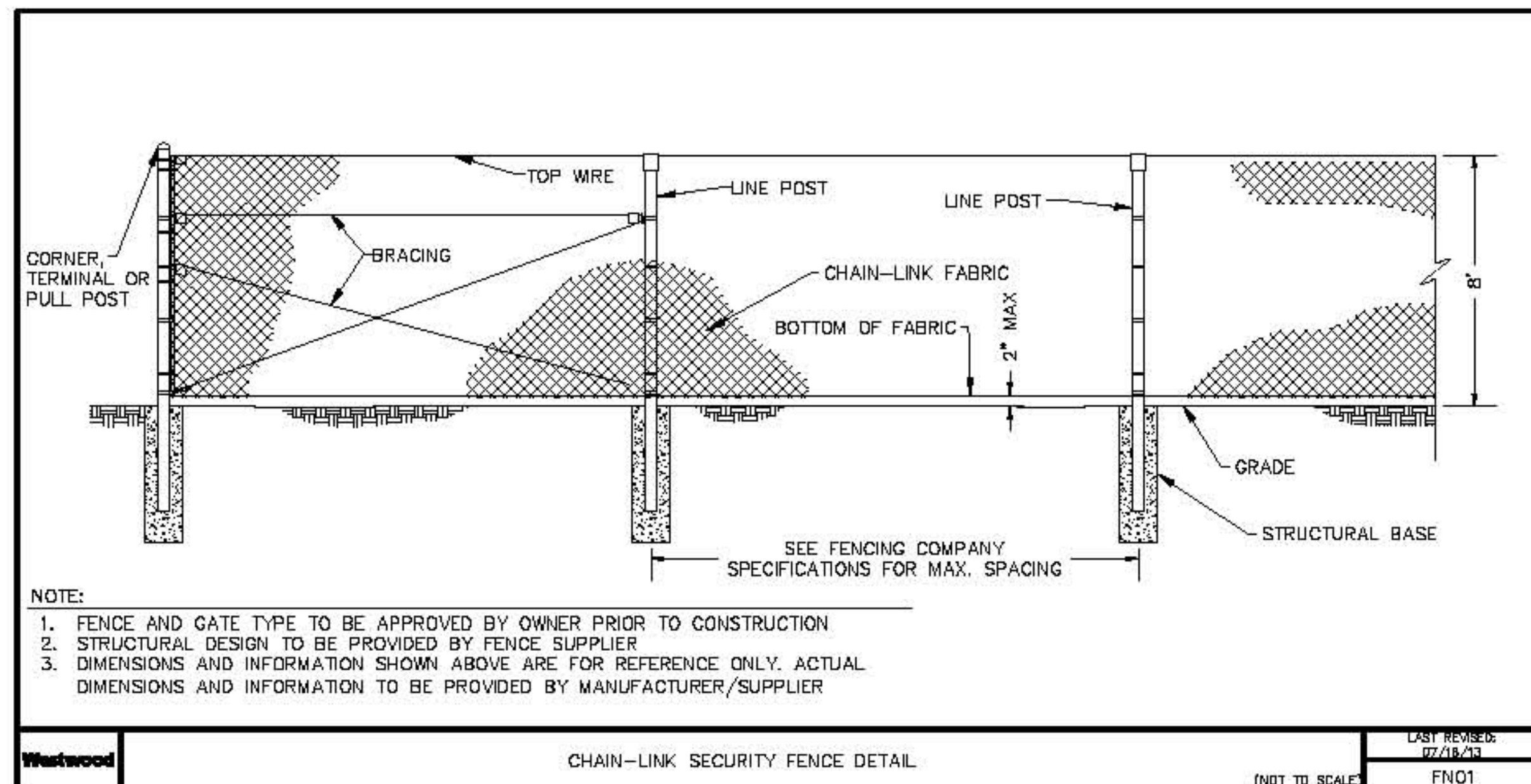
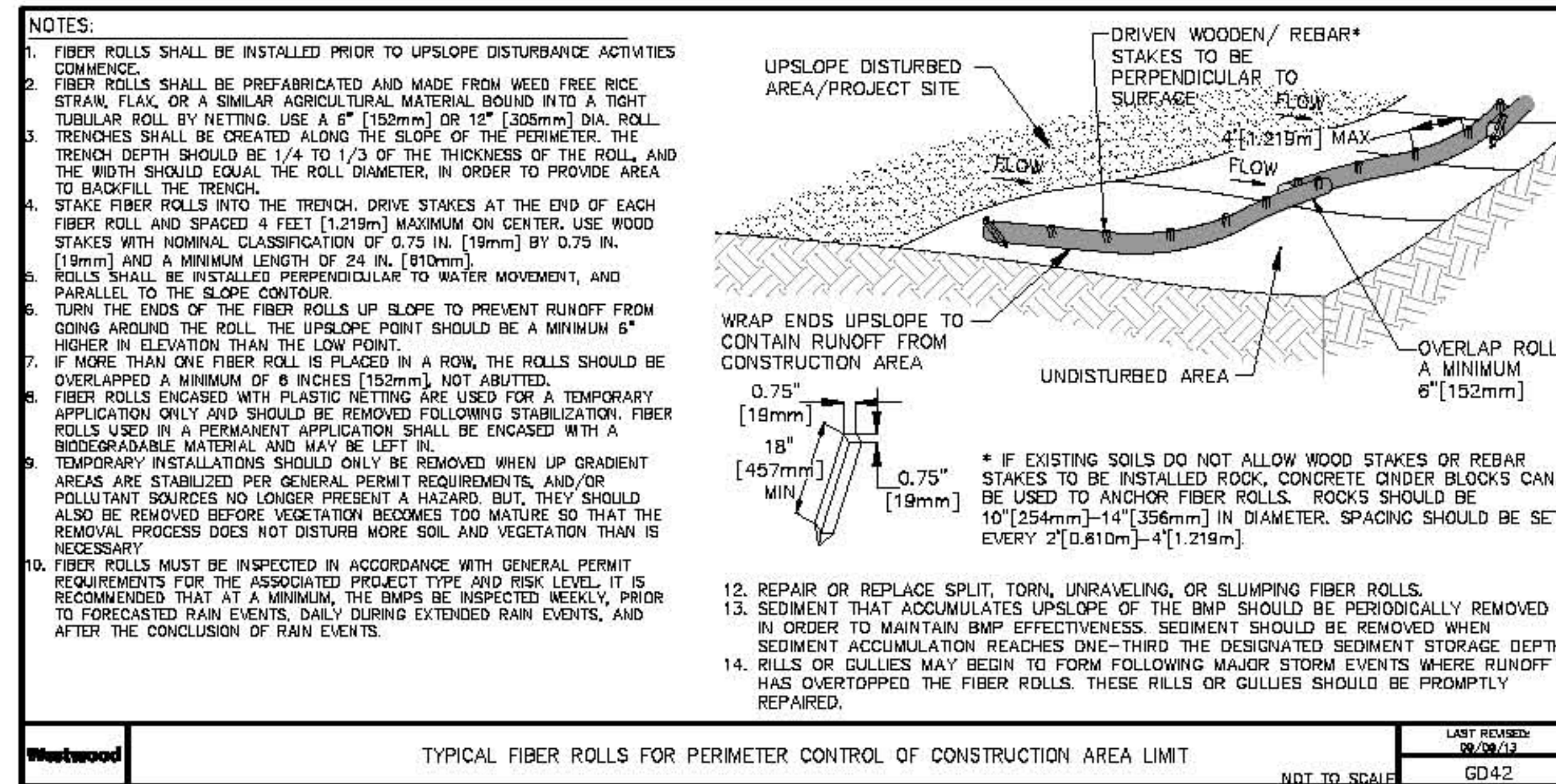
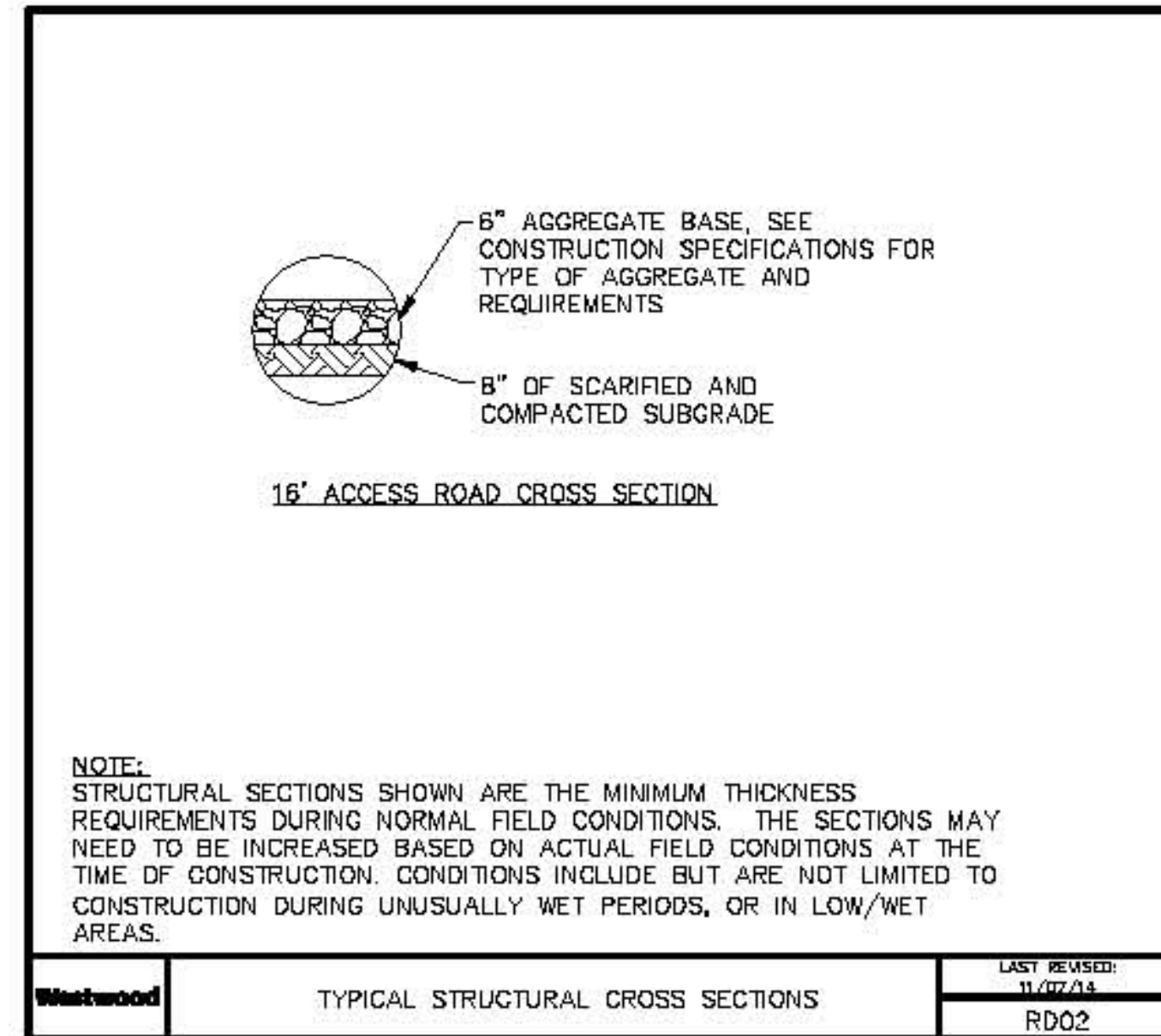
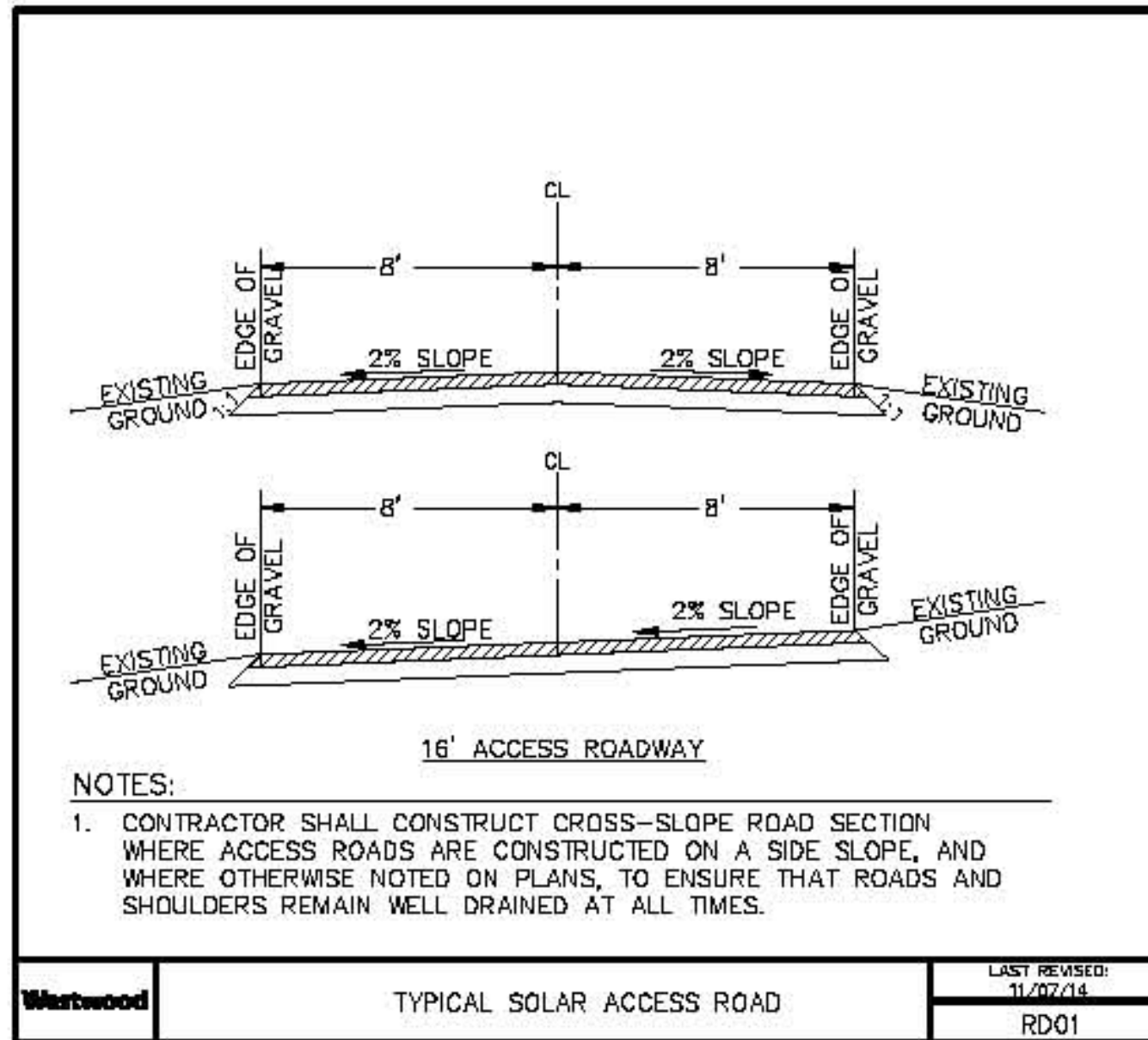
Drainage Plan

Issued for Permit

Date: 08/17/17

Drawing No: C.104





Designed:	DAB
Checked:	JME
Drawn:	SR

Record Drawing by/date:

Revision #	DATE	DESCRIPTION
0	08/30/17	ISSUED FOR PERMIT
1	07/07/17	ACCESS ROAD SHIFT
2	08/17/17	UPDATE PER COUNTY COMMENTS

Prepared for:



2645 East 2nd Avenue, Suite 206
 Denver, Colorado, 80206

**Linnebur Solar
 Development**

Adams County, Colorado

Construction Details

Issued for Permit

Date: 08/17/17

Drawing No: C200

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 8/9/2017

Project Number: RCU2017-00032

Project Name: Oak Leaf Hudson Site

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conditional Use Permit application. At this time, staff is requesting more information. Please return the requested information or changes, and include the attached resubmittal form. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 07/17/2017

Email: jblair@adcogov.org

No Comment

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 08/09/2017

Email: glabrie@adcogov.org

Complete

ENG01: The applicant must provide a copy of the access approval document onto Hudson Road from the City of Aurora.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 07/14/2017

Email: jrutter@adcogov.org

No Comment

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 07/13/2017

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 08/09/2017

Email: gibarnes@adcogov.org

Resubmittal Required

PLN01: The subject property is approximately 300 acres, and is zoned Agricultural-3 (A-3). The use of the property for solar gardens can be approved conditionally by the Board of County Commissioners in this zone district.

PLN02: The request for a solar garden is located in the northeastern corner of the 300 acre parcel. This portion of the parcel is also zoned for Airport Influence Zone, Airport Noise Overlay, and Airport Height Overlay Zones. These designations require an aeronautical study, FAA approval of the use, restrict residential development, and incorporate noise reduction measures for commercial and industrial uses. These uses are also expected to avoid creation of glare and attraction to wildlife. The proposal for solar gardens on the property allows the property owner use of the property that may meet all of these requirements.

PLN03: Per Section 4-03-03-02-10, the maximum height of solar panels is 15 feet. The proposal indicates that panel height will be 10 feet.

PLN04: Per Sections 3-10-07-03 and 4-03-03-02-10, all panels must meet the required setbacks of the A-3 zone district. Please provide an illustration of proposed setback of panels from the property lines.

PLN05: Is there a recorded easement for access on the property to the north?

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 08/07/2017

Email: mhillje@adcogov.org

Resubmittal Required

ROW01: Please record an easement over the new access road and show reception number on site plan. Please send Adams County a copy of the recorded access easement.

ROW02: Please show all applicable recordings on site plan. This is to ensure that no structures are encroaching other parties interests.

ROW03: There is a well shown on the site plan that is approximately 200 ft from the site plan boundary.

ROW04: Right-of-way Dedication: E 56th Ave. is a City of Aurora Rd and is classified as a 6-lane arterial road which requires 144ft wide (72ft for your half). The services of a licensed Professional Land Surveyor should be secured to create the legal description and exhibit of the right-of-way dedication.

ROW05: Right-of-way Dedication: Hudson Rd. is a City of Aurora Rd and is classified as a 4-lane arterial which requires 114ft wide (57' for your half). The existing half right-of-way width is 57ft (rec#2016000079782).

ROW06: Section line setbacks: E 56th Ave & Hudson Rd, are section lines, as per Adams County Standards, structures in A-3 zoning must be 120' away from section line.

ROW07: Please send a copy of the title commitment with active links, if possible.



Development Review Team Comments

Date: 9/5/2017

Project Number: RCU2017-00032

Project Name: Oak Leaf Hudson Site

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 07/17/2017

Email: jblair@adcogov.org

No Comment

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 09/05/2017

Email: glabrie@adcogov.org

Complete

ENG01: The applicant must obtain access approval onto Hudson Road from the City of Aurora.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 07/14/2017

Email: irutter@adcogov.org

No Comment

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 07/13/2017

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 09/05/2017

Email: gibarnes@adcogov.org

Resubmittal Required

PLN01: Completion of the FAA study must occur prior to scheduling this case for public hearing.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 08/22/2017

Email: mhillje@adcogov.org

Complete

ROW1: An easement over the new access road will be recorded and reception number shown on the site plan with the building permit application.

ROW2: No other comments or concerns.



BENNETT FIRE PROTECTION DISTRICT #7

DISTRICT OFFICE: 303-644-3572 FAX: 303-644-3401

EMAIL: LIFESAFETY@BENNETTFIRERESCUE.ORG

"Striving to Preserve Life and Property"

August 9th, 2017

Greg Barnes
Adams County Planning & Development
4430 South Adams County Parkway
1st Floor - Suite W2000A
Brighton, CO 80601-8216

Re: Oak Leaf Hudson Site – RCU2017-00032

Planner Barnes,

In regards to the Oak Leaf Hudson Site – RCU2017-00032, Bennett Fire Protection District is providing this letter of comments for Adams County as follows:

- Bennett Fire Protection District has requirements for the applicant to meet including roadway access, KNOX fire department access, etc. The applicant should contact Bennett Fire Protection District directly to engage in this process.
- Bennett Fire Protection District will require the applicant to address the facility's wildfire interface exposure to surrounding wildland area. There is some concern that if native vegetation is allowed to grow in and around the arrays that the equipment can be exposed to fire or vice versa an equipment malfunction can cause a fire which extends through vegetation outside the facility. A vegetation management plan will be required for this facility.
- The proposed facility shall comply with the Bennett Fire Protection District's and Adams County's adopted fire code, International Fire Code 2012 ed, and should be conducted through the normal fire district plan review process.
- Bennett Fire Protection has no objections to the facility being constructed at the proposed location as long as applicable fire code requirements are met and any/all fire district requirements are addressed.

If you have any other questions or concerns, please feel free to contact me. Thanks!

Thank You

Captain Caleb J. Connor
Life Safety Division
Bennett Fire Protection District
303-644-3572 - Headquarters / 303-532-7733 - Direct
www.BennettFireRescue.org

Greg Barnes

From: Olson - DNR, Justin [justin.olson@state.co.us]
Sent: Tuesday, July 25, 2017 5:51 PM
To: Greg Barnes
Cc: Liza Hunholz; Joe Padia
Subject: Adams County Land Use: Oak Leaf Hudson Site (Case No: RCU2017-00032)

Mr. Barnes-

Thank you for the opportunity to comment on the Oak Leaf Hudson Solar Garden site. Our goal in responding to land use proposals such as this project is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

Upon review of the proposed referral request and an internal review of this parcel, Colorado Parks and Wildlife has four recommendations for this application to move forward as planned for approval:

- 1) Conduct surveys for grassland nesting birds if initial site disturbance occurs March 15 to July 31. If an active nest is observed, then the project proponent should contact CPW for how to proceed.
- 2) Conduct a pre-construction burrow survey for prairie dogs (potential burrowing owl habitat) and swift foxes (use dens 7-8 inches in diameter). If either species (or their potential burrows) are observed, then the project proponent should contact CPW for how to proceed.
- 3) Conduct surveys for any nesting raptors within the project vicinity if initial site disturbance occurs March 15 to July 31. If an active nest is observed, then the project proponent should contact CPW for how to proceed.
- 4) If any fencing is to be used to exclude the project area from wildlife, please consider wildlife-friendly fencing options and the use of a smooth wire strand around the top perimeter of the fencing. CPW can provide further information on fencing options if requested.

Please continue to reach out to us for comment on future applications, as we strive for responsible land development while protecting sensitive habitats.

If you have any further questions, please feel free to contact me.

Justin Olson
District Wildlife Manager
Littleton District - Area 5



COLORADO
Parks and Wildlife

Department of Natural Resources

P 303.291.7131 | F 303.291.7114
6060 Broadway, Denver, CO 80216

justin.olson@state.co.us | www.cpw.state.co.us

Greg Barnes

From: Olson - DNR, Justin [justin.olson@state.co.us]
Sent: Wednesday, August 23, 2017 1:35 PM
To: Greg Barnes
Subject: Re: For Review: Resubmittal of Oak Leaf Hudson (RCU2017-00032)

Hello Greg-

Per review of this new proposal, our initial comments stand, and we have nothing new to add. Thank you.

Justin Olson

Justin Olson
District Wildlife Manager
Littleton District - Area 5



COLORADO

Parks and Wildlife

Department of Natural Resources

P 303.291.7131 | F 303.291.7114

6060 Broadway, Denver, CO 80216

justin.olson@state.co.us | www.cpw.state.co.us

On Tue, Aug 22, 2017 at 9:13 AM, Greg Barnes <GJBarnes@adcogov.org> wrote:

The following case has been resubmitted to Adams County. Please look over the attached material. If your comments have been unresolved, resolved, or have changed, please let me know before noon on September 5, 2017. If your comments Thank you!

Greg Barnes
Planner II, Community and Economic Development
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
O: [720-523-6853](tel:720-523-6853) | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: Howes, Brandon - DEN [Brandon.Howes@flydenver.com]
Sent: Thursday, July 27, 2017 3:52 PM
To: Greg Barnes
Cc: Reed, Tom - DEN; Poole, William - DEN; Choi, Cullen - DEN
Subject: DEN Comments on Adams County Case # RCU2017-00032

Mr. Barnes

The Denver International Airport (DEN) Planning Office has received the Adams County Planning Commission's Request for Comments, dated July 18, 2017 regarding a request for a Conditional Use Permit for a new 10-12 acre (1.5-2 megawatt) Solar Facility located at the southeast corner of east 56th Avenue and Hudson Road, Case # RCU2017-00032.

We offer the following comments:

1. The proposed development site is located approximately 12,385 ft. (2.34 miles) southeast of the south end of existing Runway 35R; and, 11,655 ft. (2.2 miles) south of the future Runway 36 threshold and within the future Runway 36 approach surface at DEN. The proposed solar array site is also located approximately 690 ft. south of the Airport property line. The location falls within the Title 14 CFR Part 77 Navigable Airspace Surfaces associated with DEN. As such, the Proponent may be required to provide Notice to the FAA via the FAA Form 7460-1 process. The FAA Obstruction Evaluation website is: <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>. Please have the Proponent use the "Notice Criteria Tool" found on this website to determine the requirement to file Notice with the FAA.
2. The applicant has indicated than an FAA Glare study was conducted for the project and was provided to Adams County. Could you please forward the DEN Planning Office a copy of the glare study associated with this project, to ensure that the future runway was taken into consideration in their analysis.
3. Should any pilots or air traffic controllers complain of any glare or reflection issues subsequent to project completion, the problem will be required to be mitigated immediately.

Thank you for the opportunity to comment on this proposal. Should you or the proponent have any questions regarding our comments, please contact the DEN Planning Office.



BRANDON HOWES, AICP
PRINCIPAL PLANNER, LANDSIDE PLANNING

Denver International Airport
Planning and Design
Airport Office Building | 7th Floor
8500 Peña Boulevard | Denver, CO 80249-6340
(303) 342-4661 | (352)316-6413
BRANDON.HOWES@FLYDENVER.COM | WWW.FLYDENVER.COM
[Click here](#) to visit DEN on social media

Greg Barnes

From: Marsha.Hofer@faa.gov
Sent: Wednesday, August 16, 2017 8:20 AM
To: Greg Barnes
Subject: FW: For Review: RCU2017-00032 Oak Leaf Hudson
Attachments: RFC.pdf; Simple Zoning Map.pdf; Full Application Packet 170712.pdf

The Federal Aviation Administration (FAA) reviews planning and construction proposals through the submittal of FAA Form 7460-1, Notice of Proposed Construction or Alteration. If any portion of the proposal is located within 20,000 feet of a public use runway (and breaks a 100:1 plane coming off the nearest point of the nearest runway); or, is more than 200 feet above ground level at any location, the FAA requires the project's proponent to file a Form 7460-1. If the proposal does not meet any of the criteria above, it may still be necessary to file a Form 7460-1 if the structure requires an FCC license or there is a potential for navigational equipment interference. The FAA uses information provided on this form to conduct an aeronautical review to determine if the proposal will pose an aeronautical hazard and to minimize the adverse effects to aviation. FAA Form 7460-1 can be filed electronically at www.oaaaa.faa.gov. Please use the notice criteria tool on this website to determine whether or not the proponent is required to file.

Marsha Hofer
Program Specialist
Denver Airports District Office

From: Greg Barnes
Sent: Tuesday, July 18, 2017 12:09 PM



August 8, 2017

Greg Barnes
Adams County
Community and Economic Development Department
4430 South Adams County Parkway W2000A
Brighton, CO 80601

RE: Oak Leaf Hudson Site, RCU 2017-00032
TCHD Case No. 4497

Dear Mr. Barnes:

Thank you for the opportunity to review and comment on the Conditional Use Permit for a solar facility located on the 5950 Hudson Mile Road. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

Renewable Energy

TCHD commends the applicant for bringing renewable energy generation to the community. Alternative energy supplies generally do not contribute to air and water pollution and can have a positive impact on the environment

Wastewater for Construction Sites

Sewage has the potential to carry illness-causing organisms and must be handled properly to avoid spreading disease. The application does not specify how wastewater services will be provided during the construction for onsite employees. We anticipate that portable toilets will be necessary during construction. TCHD has no objection to the use of portable toilets, provided the units are properly cleaned and maintained. TCHD recommends that the applicant address these, in terms of numbers, locations, and vendor and provide a portable hand sink near the restrooms.

Solid Waste

Rodents, such as mice and rats, carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. As rodents are attracted to trash, TCHD strongly recommends that all trash dumpsters on site during construction are equipped with a closeable lid and with regular collection and disposal at an approved landfill.

Oak Leaf Hudson Site
TCHD Case No. 4497
August 8, 2017
Page 2 of 2

Please feel free to contact me at 720-200-1580 for any questions.

Sincerely,

A handwritten signature in black ink, consisting of a large, stylized loop at the top, followed by a vertical stroke that crosses itself, and a long horizontal line extending to the right.

Vanessa Fiene

Environmental Health Specialist IV

CC: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

July 18, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Oak Leaf Hudson Site, Case # RCU2017-00032

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use permit documentation for **Oak Leaf Hudson Site**, and, in conjunction with the *SunShare Hudson Site project (RCU2017-00031)*, the property owner/developer/contractor must contact **Lynette Muncy**, Siting and Land Rights Agent at (303) 571-7286 for development plan review.

Please be aware PSCo owns and operates existing natural gas and electric distribution facilities within the subject property. Should the project require any new gas or electric service or modification to existing facilities, the property owner/developer/contractor must complete the **application process** via FastApp, Fax, Email, or USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

August 30, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

**Re: Oak Leaf Hudson Site – 2nd referral
Case # RCU2017-00032**

Public Service Company of Colorado's Right of Way & Permits Referral Desk advises the property owner/developer/contractor to continue working with all Xcel Energy personnel involved with **Oak Leaf Hudson Site**

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Greg Barnes

From: Muncy, Lynette L [Lynette.Muncy@xcelenergy.com]
Sent: Thursday, September 14, 2017 1:53 PM
To: Greg Barnes
Cc: john@oakleafep.com; George, Donna L
Subject: RE: Re: Case No. RCU2017-00032 - Oak Leaf Linnebur Solar Project - Req for conditional use permit to allow a solar garden facility

Dear Mr. Barnes:

Good afternoon to you.

The above referenced Case No. RCU2017-00032 for a conditional use permit application to allow a solar garden facility, submitted and revised on August 17, 2017, has been reviewed and Public Service Company has no objections at this time relative to our Electric Transmission Line and Easement which runs along east line of the SW1/4 of Section 12.

We submit our Transmission Line Clearance Standards. In review of the documents submitted by for Oak Leaf Solar XXIII LLC it appears that the project will be located on the West side of PSCo's transmission line easement. Should site plans change for any reason in the area of our Transmission Lines, we will need to be notified immediately and may require a license.

Thank you,

Lynette Muncy
Contract Siting and Land Rights Agent III
1800 Larimer St., Suite 400
Denver, CO 80202
303-571-7286
Lynette.muncy@xcelenergy.com

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name: Oak Leaf Hudson Site
Case Number: RCU2017-00032

July 18, 2017

The Adams County Planning Commission is requesting comments on the following request:
Conditional use permit application to allow a solar garden facility in the A-3 zone district.

This request is located at 5950 Hudson Road. The Assessor's Parcel Number is 0181900000027.

Applicant Information: Oak Leaf Solar XXIII LLC
JOHN HEREFORD
2645 E 2nd St, Suite 206
Denver, CO 80206

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A, Brighton, CO 80601-8216, or call (720) 523-6800 by 08/09/2017 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager

Community & Economic
Development Department
Development Services Division

www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Oak Leaf Hudson
Case Number:	RCU2017-00032
Planning Commission Hearing Date:	12/14/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date:	01/09/2018 at 9:30 a.m.

November 20, 2017

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: **conditional use permit to allow a solar garden facility in the A-3 zone district.**

The proposed use will be for a solar garden. This request is located approximately 2,000 feet northeast of the intersection of East 56th Avenue and Hudson Mile Road on 35 acres. The Assessor's Parcel Number is 0181912300001. The legal description of the site is: *THE SOUTH ½ OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE 6th P.M., EXCEPT THAT PORTION CONVEYED TO THE CITY OF AURORA, COLORADO, A MUNICIPAL CORPORATION, IN WARRANTY DEED RECORDED SEPTEMBER 23, AT RECEPTION NO. 2016000079782, COUNTY OF ADAMS, STATE OF COLORADO.*

Applicant Information: Oak Leaf Solar XXIII, LLC, John Hereford, 2645 E. 2nd St., Ste. 206, Denver, CO 80206

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S. Adams County Parkway, Brighton, CO 80601, (720) 523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

Oak Leaf Hudson Site

Case Number: RCU2017-00032
Planning Commission Hearing Date: 12/14/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date: 01/09/2018 at 9:30 a.m.

Request: Request for conditional use permit to allow a solar garden facility in the A-3 zone district.

Location: 5950 HUDSON RD

Parcel Number(s): 0181900000027

Case Manager: Greg Barnes

Case Technician: Rayleen Swarts

Applicant: OAK LEAF SOLAR XXIII LLC

JOHN HEREFORD

303-333-1339

2645 E 2ND ST
SUITE 206
DENVER, CO 80206

Owner: L AND S CAPITAL LTD
800 US HIGHWAY 36
BYERS, CO 801039700

Legal Description: THE SOUTH ½ OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 65 WEST OF THE 6th P.M., EXCEPT THAT PORTION CONVEYED TO THE CITY OF AURORA, COLORADO, A MUNICIPAL CORPORATION, IN WARRANTY DEED RECORDED SEPTEMBER 23, AT RECEPTION NO. 2016000079782, COUNTY OF ADAMS, STATE OF COLORADO.



Referral Listing
Case Number RCU2017-00032
Oak Leaf Hudson Site

Agency	Contact Information
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
BENNETT FIRE DISTRICT #7	CHIEF EARL CUMELY 825 SHARIS CT BENNETT CO 80102 303-644-3434 ecumley941@aol.com
BENNETT FIRE DISTRICT #7	Captain Caleb J Connor 825 SHARIS CT BENNETT CO 80102 303-532-7733 CalebConnor@BennettFireRescue.org 303-644-3572
BENNETT PARK AND RECREATION	Chris Raines PO BOX 379 455 S. 1ST ST. BENNETT CO 80102-0379 303-644-5041 Director@bennettrec.org
BENNETT SCHOOL DISTRICT 29J	Robin Purdy 615 7TH ST. BENNETT CO 80102 303-644-3234 Ext: 8203 robinp@bsd29j.com
BOX ELDER WATER AND SANITATION DISTRICT	BARBARA VANDER WALL c/o Collins, Cockrel, & Cole P.C. 390 Union Boulevard, Suite 400 Lakewood CO 80228 303 770-2700
BRIGHTON SCHOOL DISTRICT 27J	Kerrie Monti 18551 E. 160TH AVE. BRIGHTON CO 80601 303-655-2984 kmonti@sd27j.org
CDPHE - AIR QUALITY	Richard Coffin 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303.692.3127 richard.coffin@state.co.us

Agency

Contact Information

CDPHE - WATER QUALITY PROTECTION SECT

Patrick Pfaltzgraff
4300 CHERRY CREEK DRIVE SOUTH
WQCD-B2
DENVER CO 80246-1530
303-692-3509
patrick.j.pfaltzgraff@state.co.us

CDPHE SOLID WASTE UNIT

Andy Todd
4300 CHERRY CREEK DR SOUTH
HMWMD-CP-B2
DENVER CO 80246-1530
303.691.4049
Andrew.Todd@state.co.us

Century Link, Inc

Brandyn Wiedrich
5325 Zuni St, Rm 728
Denver CO 80221
720-578-3724 720-245-0029
brandyn.wiedrich@centurylink.com

CITY OF AURORA - WATER AND SAN. DEPT.

PETER BINNEY
15151 E ALAMEDA PKWY #3600
AURORA CO 80012
303-739-7370
pbinney@ci.aurora.co.us

CITY OF AURORA ATTN: PLANNING DEPARTMENT

Porter Ingrum
15151 E ALAMEDA PKWY 2ND FLOOR
AURORA CO 80012
(303) 739-7227 303.739.7000
pingrum@auroragov.org

Code Compliance Supervisor

Eric Guenther
eguenther@adcogov.org
720-523-6856
eguenther@adcogov.org

COLORADO DIVISION OF WILDLIFE

JOSEPH PADIA
6060 BROADWAY
DENVER CO 80216
303-291-7132
joe.padia@state.co.us

COLORADO DIVISION OF WILDLIFE

Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000
303-291-7454
eliza.hunholz@state.co.us

COMCAST

JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260
303-603-5039
thomas_lowe@cable.comcast.com

COUNTY ATTORNEY- Email

Christine Francescani
CFrancescani@adcogov.org
6884

Agency

Contact Information

Engineering Department - ROW

Transportation Department
PWE - ROW
303.453.8787

Engineering Division

Transportation Department
PWE
6875

ENVIRONMENTAL ANALYST

Jen Rutter
PLN
6841

METRO WASTEWATER RECLAMATION

CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229
303-286-3338
CSIMMONDS@MWRD.DST.CO.US

NS - Code Compliance

Gail Moon
gmoon@adcogov.org
720.523.6833
gmoon@adcogov.org

Parks and Open Space Department

Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org
(303) 637-8000
nmosley@adcogov.org

REGIONAL TRANSPORTATION DIST.

CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202
303-299-2439
chris.quinn@rtd-denver.com

SHERIFF'S OFFICE: SO-HQ

MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcogov.org
snielson@adcogov.org
(303) 654-1850
aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org

Sheriff's Office: SO-SUB

SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org
720-322-1115
smiller@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT

Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111
720-200-1571
landuse@tchd.org

TRI-COUNTY HEALTH DEPARTMENT

MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022
(303) 288-6816
mdeatrich@tchd.org

Agency

Contact Information

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

6.5 Public Notification List

56TH AND HUDSON LLC 94% INT ET AL
5600 S QUEBEC ST STE 110A
GREENWOOD VILLAGE CO 80111-2205

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY 5TH FLOOR
BRIGHTON CO 80601-8222

CHELSEA INVESTMENTS LLC
6501 S FIDDLERS GREEN CIRCLE SUITE 110
GREENWOOD VILLAGE CO 80111

CITY AND COUNTY OF DENVER
ATTN REAL ESTATE DEPT
8500 PENA BLVD
DENVER CO 80249-6340

EDRI DAVID
367 SANTANA HTS UNIT 4031
SAN JOSE CA 95128-2025

L AND S CAPITAL LTD
800 US HIGHWAY 36
BYERS CO 80103-9700

PROPERTY RESERVE INC
C/O LDS TAX DIVISION
PO BOX 511196
SALT LAKE CITY UT 84151-1196

RICHARDSON HARRY D
5555 S MONACO ST
ENGLEWOOD CO 80111-1536

SHANNON ANN C AND CARLSON CURTIS W AND
CARLSON DEAN W
4531 REED ST
WHEAT RIDGE CO 80033-3521

WESTERN TRANSPORT LLC UND 58.76% AND TRE
LP UND 21.24% AND COLORADO MAVERICK COMP
625 E MAIN ST STE 1028-303
ASPEN CO 81611-1935

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at

5900 Hudson Road

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

J. Gregory Barnes

Oak Leaf Hudson

RCU2017-00032

5900 Hudson Road

January 9, 2018

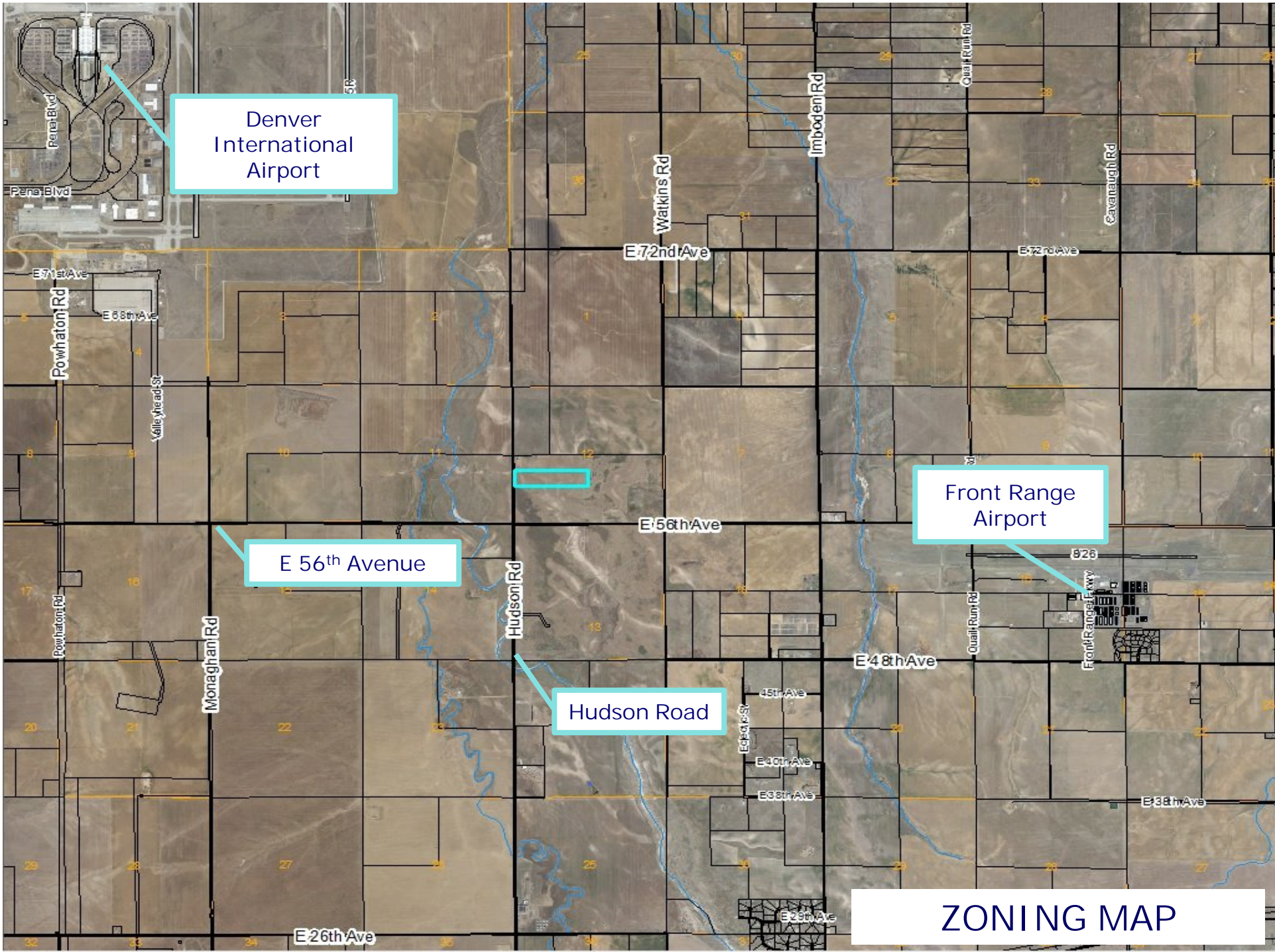
Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes



Request

Conditional Use Permit to allow a solar garden facility in the Agricultural-3 (A-3) zone district.



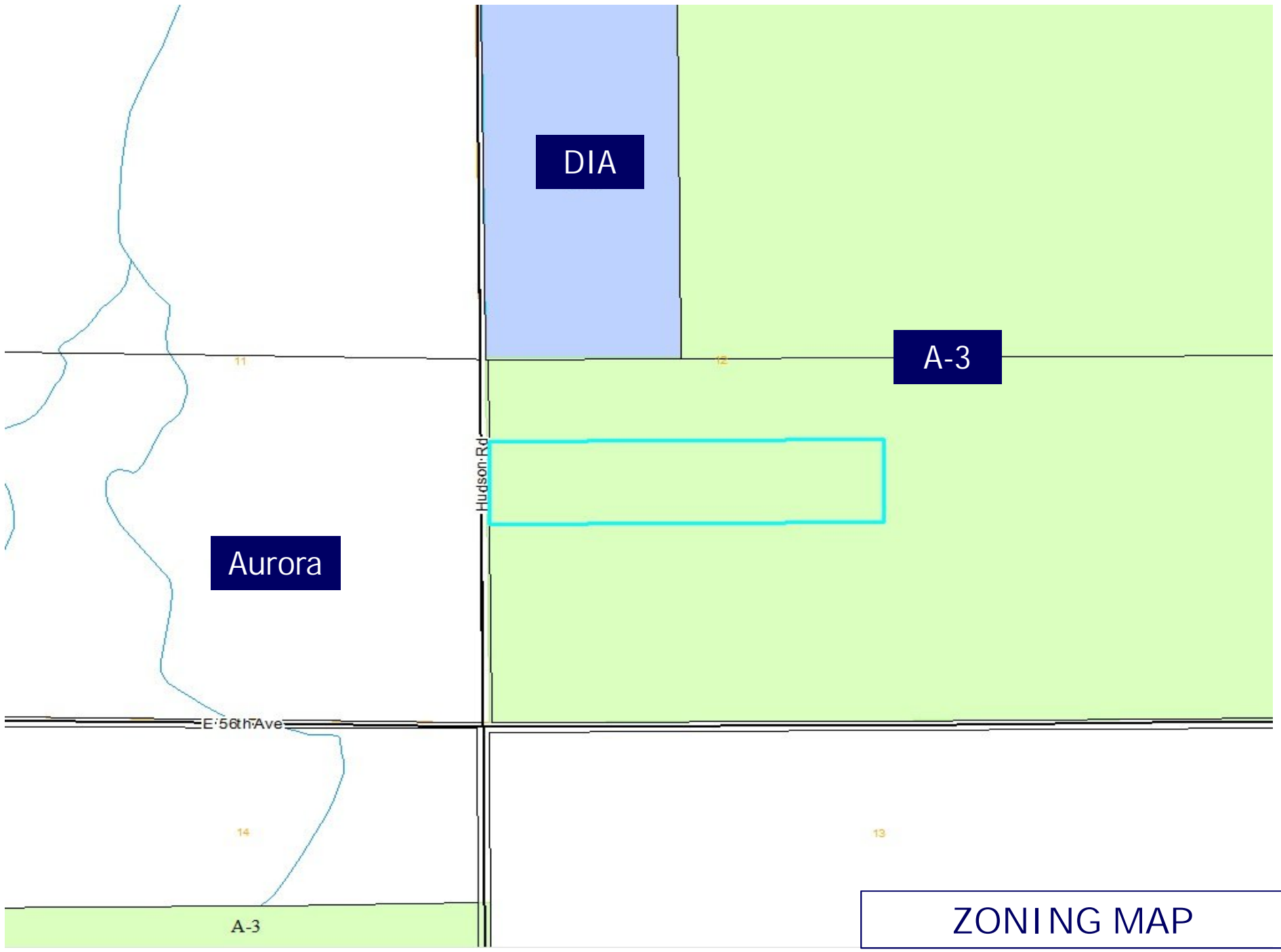
Denver International Airport

Front Range Airport

E 56th Avenue

Hudson Road

ZONING MAP



DIA

A-3

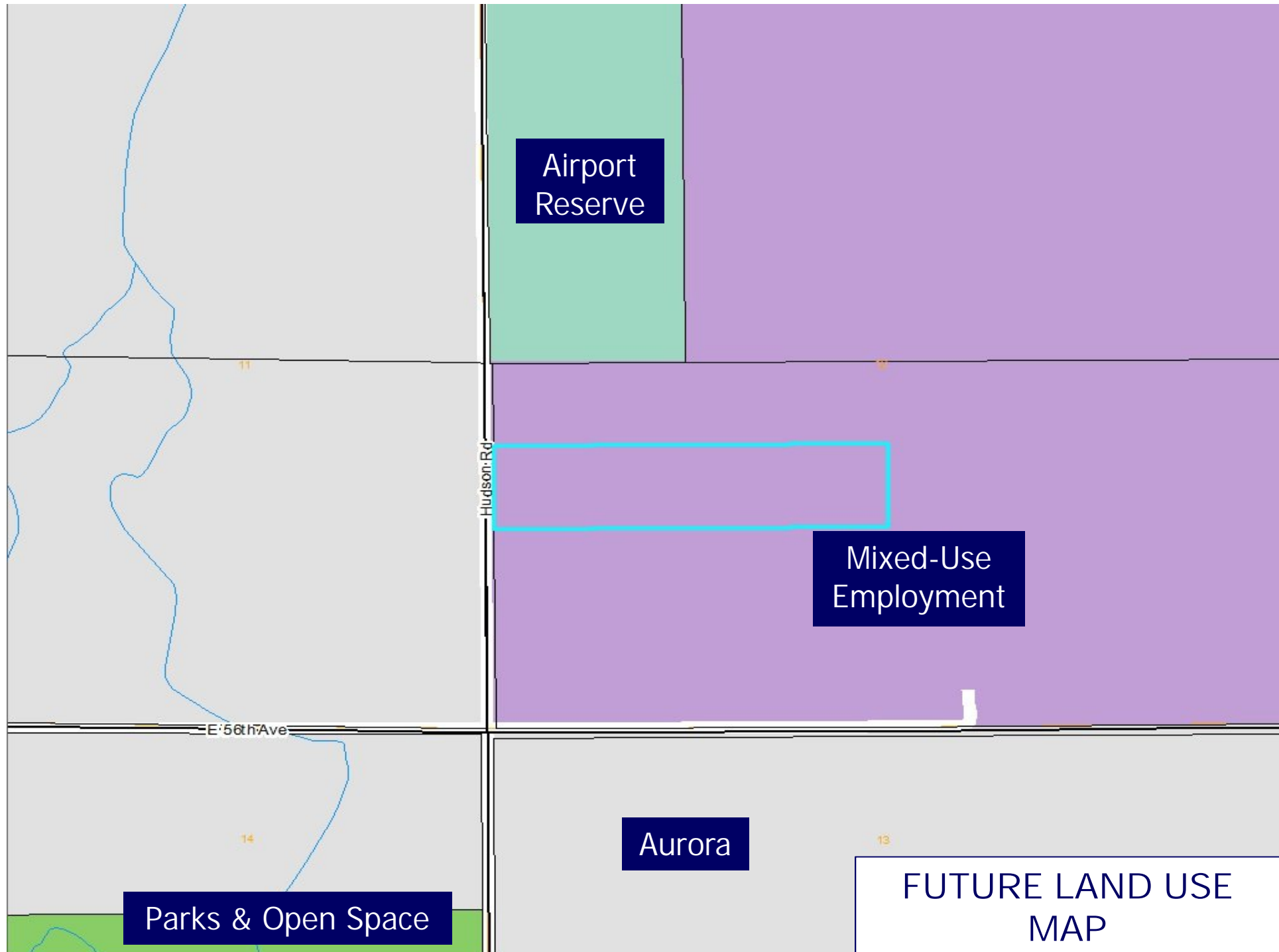
Aurora

Hudson Rd

E 56th Ave

A-3

ZONING MAP

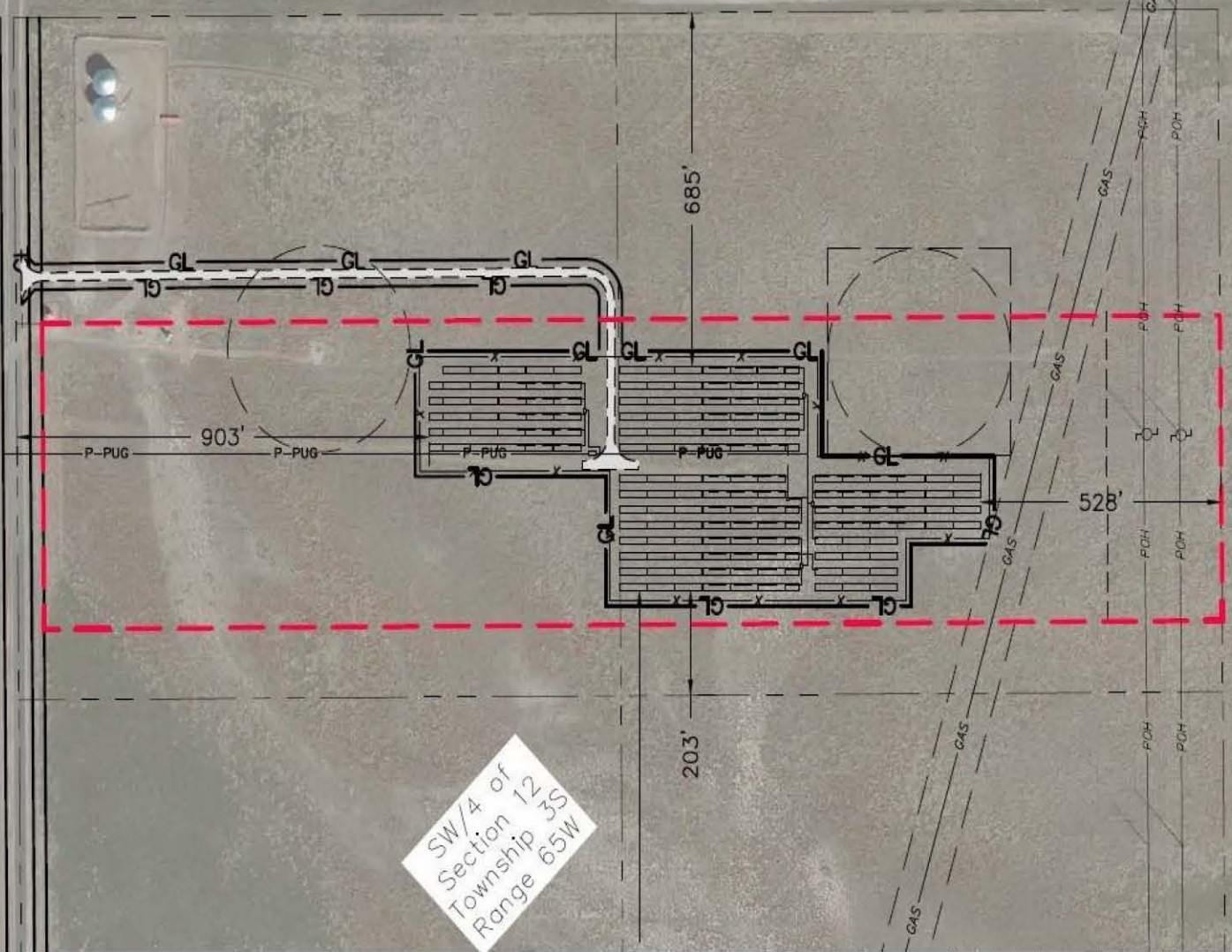


Criteria for Conditional Use

Section 2-02-08-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

HUDSON MILE ROAD



SW/4 of
Section 12
Township 35S
Range 65W













Referral Period

Notices sent to property owners*	# of Comments Received
10	0

* Property owners within a half-mile were notified

No unfavorable comments

PC Update

- Public Hearing: Dec. 14, 2017
- No members of the public present
- Recommended Approval (7-0)

Recommendation

Approval of the proposed Conditional Use Permit (RCU2017-00032 – Oak Leaf Hudson) with 8 Findings-of-Fact and 9 Conditions.

Recommended Conditions

1. This conditional use permit shall expire on January 9, 2039.
2. Prior to issuance of a building permit, the applicant shall file an Aircraft Activity Covenant with Disclosure with the Adams County Clerk & Recorder.
3. Prior to issuance of a building permit, the applicant shall provide documentation showing an access easement agreement to allow use of the adjoining property for access.
4. The applicant shall comply with all of the requirements of the Bennett Fire District provided in their letter dated August 9, 2017, including measures for weed control, International Fire Code compliance, and emergency responder access to the site.
5. The applicant shall comply with all of the requirements of the Colorado Division of Natural Resources provided in their letter dated July 25, 2017, including surveying the site for nesting birds, swift foxes, prairie dogs, and burrowing owls if installation of panels occurs between March 15th and July 31st of the year.

Recommended Conditions

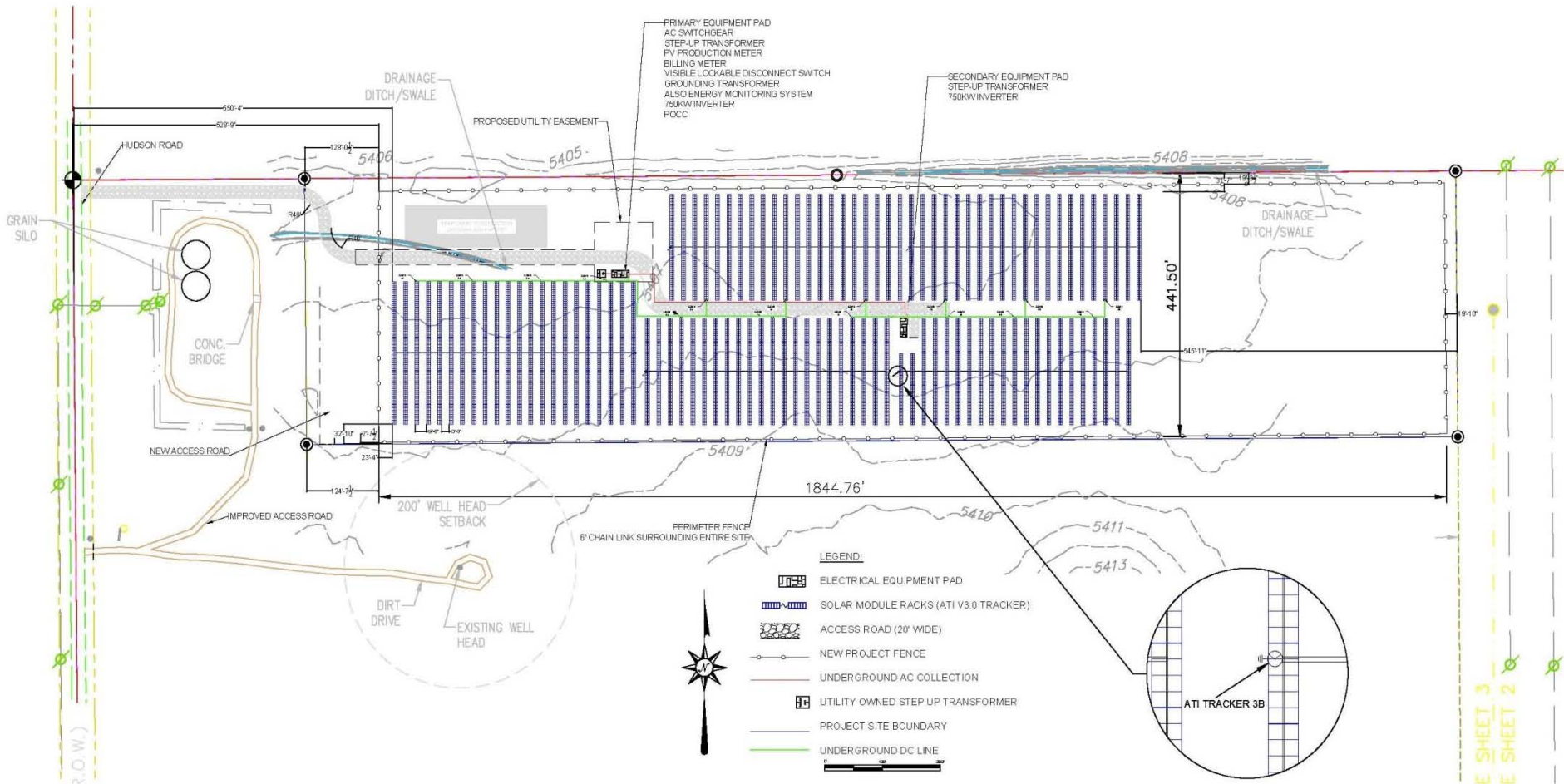
6. The applicant shall comply with all of the requirements of the Tri-County Health Department provided in their letter dated August 8, 2017, including the use of portable toilets and trash enclosures during construction.
7. A building permit shall be required for any fence associated with the site.
8. No landscaping is required with development of the site for a solar garden.
9. The solar panels on-site shall be removed when the conditional use permit expires, unless an extension or renewal is granted by the Board of County Commissioners.

Findings-of-Fact

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Findings-of-Fact

5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.



1 SITE PLAN
SCALE IN LEGEND

2 VICINITY MAP
SCALE: NTS



E SHEET 3
E SHEET 2



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: RCU2017-00037

CASE NAME: HILL REZONING

TABLE OF CONTENTS

EXHIBIT 1 – BoCC Staff Report

EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map
- 2.4 Simple Map

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Site Plan

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (CDOT)
- 4.3 Referral Comments (CDPHE)
- 4.4 Referral Comments (MWRD)
- 4.5 Referral Comments (TCHD)
- 4.6 Referral Comments (Xcel)

EXHIBIT 5- Public Comments

- 5.1 Public Comments (Barr-Kuhn)
- 5.2 Public Comments (Brett)
- 5.3 Public Comments (Jones)
- 5.4 Public Comments (Kottenstette)
- 5.5 Public Comments (Romero)

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Certificate of Posting



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

January 9, 2018

CASE No.: RCU2017-00037	CASE NAME: Hill Rezoning
Owner's Name:	Kellee Brauntz, Matt Hill, & Matt Dendorfer
Applicant's Name:	Matt Hill
Applicant's Address:	5001 Quitman Street, Denver, CO 80212
Location of Request:	5318 Lowell Blvd.
Nature of Request:	Rezone to Residential-2 (R-2)
Zone District:	Residential-1-C (R-1-C)
Future Land Use:	Urban Residential
Site Size:	0.29 acres
Proposed Use:	Two-Family Dwelling
Existing Use:	Vacant
Hearing Date(s):	PC: December 14, 2017/ 6:00 pm
	BoCC: January 9, 2018/ 9:30 am
Report Date:	November 27, 2017
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL with 4 Findings-of-Fact

SUMMARY OF PREVIOUS APPLICATIONS

The subject property is located in the Berkeley Gardens No.1 subdivision recorded on December 21, 1916.

The property was previously developed with a single-family dwelling and accessory structure built in 1951.

On April 7, 2017, the County approved a demolition permit to allow removal of existing structures on the property. As of writing this report, only a 900 square foot accessory structure remains on the property.

SUMMARY OF APPLICATION

Background:

The applicant, Mr. Matt Hill, is requesting to rezone the subject property from Residential-1-C (R-1-C) to Residential-2 (R-2). Mr. Hill intends to develop a two-family dwelling on the property, which is a permitted use in the R-2 zone district. Currently, the R-1-C district prohibits two-family dwellings. The property is approximately 12,500 square feet and currently vacant. However, the County's records show the property had been used in the past as a single-family dwelling.

Development Standards and Regulations:

Section 2-02-13-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. The criteria include: consistency with the County's Comprehensive Plan and purpose of the Development Standards, compatible and harmonious with the surrounding area, and not detrimental to future development of the area.

The property is designated as R-1-C. Per Section 3-13-01 of the County's Development Standards and Regulations, the purpose of the R-1-C zoning is to serve exclusively as a single-family dwelling district. The property is located approximately 600 feet north of Regis University, and also surrounded by lots designated as R-2 and developed with two-family dwellings. Because of the location of the property and surrounding development, rezoning the property to allow two-family dwellings will conform to the intent of the R-2 district and also compatible with the surrounding uses. In addition, the request to rezone the property is also consistent with the criteria for rezoning outline in the Development Standards and Regulations. Per Section 3-14-01 of the County's Development Standards and Regulations, the purpose of the R-2 zone district is to provide for development of single-family and two-family dwellings.

The request conforms to the dimensional requirements for the R-2 zone district. Per Section 3-14-07 of the County's Development Standards and Regulations, the minimum lot size required for two-family lots in the R-2 zone district is 4,500 square feet per dwelling unit. Thus, a minimum of nine-thousand (9,000) square feet is required for development of a two-family dwelling. The minimum lot width required in the R-2 district for construction of a two-family dwelling built on a single lot is ninety (90 ft) feet. The subject property is 12,500 square feet and has one-hundred (100) feet of frontage along Lowell Boulevard. These dimensions conform to the required development standards for lot size and width in the R-2 zone district.

Future Land Use Designation/Comprehensive Plan:

The subject property is designated as Urban Residential in the County's Comprehensive Plan future land use map. Per Chapter 5 of the County's Comprehensive Plan, Urban Residential areas are designated for a variety of housing types at urban densities with adequate urban services and transportation facilities. The request to rezone the property to R-2 with the intent of developing a two-family dwelling is consistent with the goals of the Comprehensive Plan. In addition, rezoning the property will also provide options for the property owner to develop the property as a single-family or two-family dwelling.

Site Characteristics:

The subject property was previously developed with a single-family home. Currently, the property is vacant, except for one remaining accessory structure, which the applicant has indicated will be demolished upon redevelopment of the lot. The property has direct access on Lowell Boulevard to the west. The property to the immediate north and south are designated as R-1-C, however, a majority of the surrounding properties to the west, east and north are designated as R-2 and developed as two-family dwellings.

Surrounding Zoning Designations and Existing Use Activity:

Northwest R-2 School	North R-1-C Single-Family Dwelling	Northeast R-2 Two-Family Dwelling
West R-2 School	Subject Property R-1-C Vacant	East R-2 Two-Family Dwelling
Southwest R-2 School	South R-1-C Single-Family Dwelling	Southeast R-2 Two-Family Dwelling

Compatibility with the Surrounding Area:

The properties to the north and south are designated as R-1-C and developed with single-family dwellings. The properties directly east of the subject site are designated as R-2 and developed with two-family dwellings. The majority of the surrounding properties are also designated as R-2 and developed as two-family dwellings. Additionally, the subject property is located 600 feet north of Regis University. The location of the property, in close proximity to Regis University, makes it suitable for developing as a two-family lot to support rising demand for housing in the area. There are also a number of property in the surrounding area of the site currently been developed as two-family dwellings. Overall, rezoning the property to R-2 and developing as two-family will be consistent with the surrounding development.

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on December 14, 2017. Mr. Matt Hill, the applicant, spoke at the meeting and had no concerns with the staff report or presentation. He explained to the PC that his intention is to develop the property as a duplex, and sell them. The Planning Commission, specifically Mr. Thompson, asked staff if two access points would be allowed on the property. Staff informed the PC that two driveways will not be allowed, and both dwelling units would be required to share a single driveway. Mr. Thompson also asked staff to explain if the property can be subdivided to allow each dwelling unit of the duplex on its own lot. Staff confirmed that if the rezoning is approved, the applicant can subdivide the existing lot under current development standards.

There was no one from the public to speak in favor or in opposition to the request. The Planning Commission voted (7-0) to recommend approval of the request.

Staff Recommendation:

Based upon the application, the criteria for a rezoning approval, and a recent site visit, staff recommends Approval of this request with 4 findings-of-fact:

RECOMMENDED FINDINGS-OF-FACT FOR REZONING

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

CITIZEN COMMENTS

Notifications Sent	Comments Received
143	5

All property owners within 750 feet of the subject property were notified of the request. As of writing this report, staff has received five responses. Two of those who responded are in support of the request, and the other three are in opposition. The three expressing opposition stated that allowing the proposed rezoning to permit a mix of dwelling units will be undesirable for the area and will likely result in traffic congestion and zoning violations..

COUNTY AGENCY COMMENTS

Staff reviewed the request and had no concerns with the proposed rezoning.

REFERRAL AGENCY COMMENTS

Colorado Department of Public Health and Environment, the Colorado Department of Transportation, the Metro Wastewater Reclamation District, the Tri-County Health Department, and Xcel Energy reviewed the request and had no concerns.

Responding with Concerns:

None

Responding without Concerns:

































Colorado Department of Transportation
Colorado Department of Public Health and Environment
Metro Wastewater Reclamation District
Tri-County Health Department
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Berkeley Neighborhood Association
Berkeley Water & Sanitation District
Century Link
Colorado Department of Natural Resources
Comcast
Hyland Hills Park & Recreation District
Regional Transportation District
Westminster School District #50



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Hill

RCU2017-00037

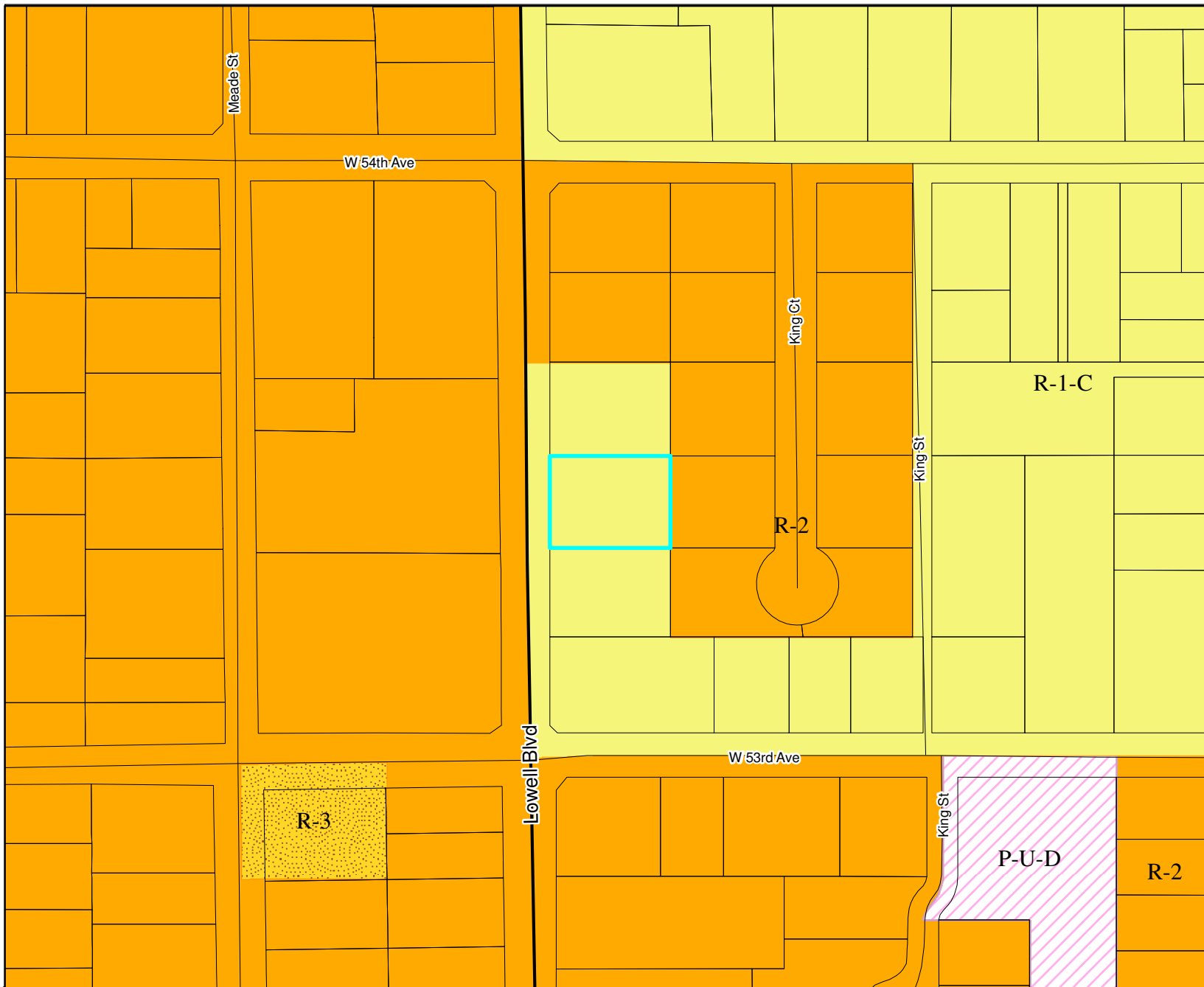


For display purposes only.



































ADAMS COUNTY
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

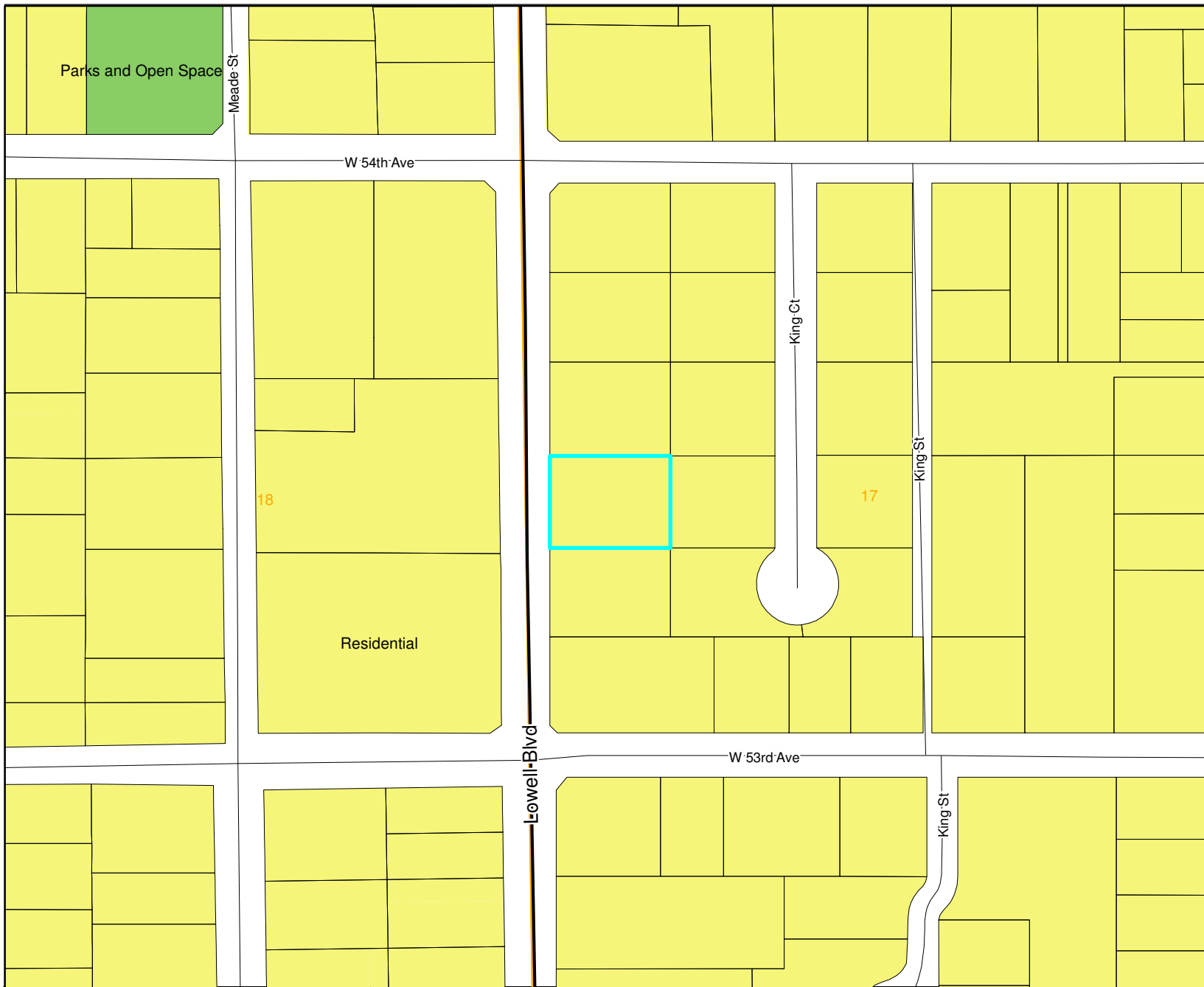
Hill
RCU2017-00037



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

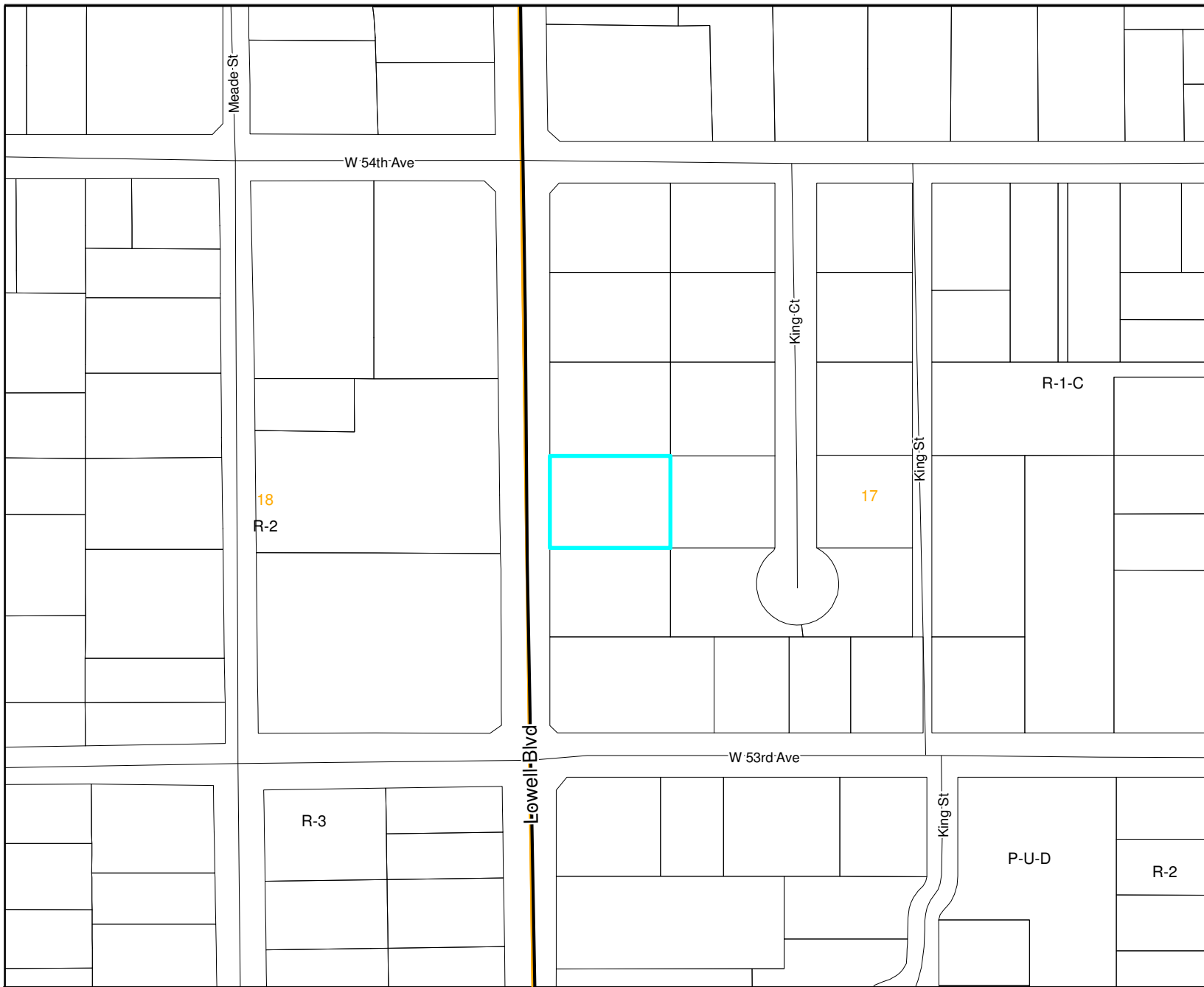
Hill
RCU2017-00037



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Hill

RCU2017-00037



For display purposes only.



ADAMS COUNTY
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

7/13/17

RE: 5318 Lowell Blvd. Denver, CO 80221

Parcel # 0182517212014

Project Explanation

The plan for this lot is to demo the existing building and construct a new duplex that fits within all of the existing guidelines and requirements for a duplex building form in Adams County.

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 9/15/2017

Project Number: RCU2017-00037

Project Name: Hill Property at 5318

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 08/16/2017

Email: jblair@adcogov.org

No Comment

Commenting Division: Environmental Analyst Review

Name of Reviewer: Jen Rutter

Date: 08/15/2017

Email: irutter@adcogov.org

Complete

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 08/23/2017

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 09/14/2017

Email: gibarnes@adcogov.org

Resubmittal Required

PLN01: The application for rezoning must follow the requirements set forth by Section 2-02-13 of the Adams County Development Standards and Regulations (DSR). These requirements include a process for two public hearings, one before the Planning Commission and another before the Board of County Commissioners.

PLN02: The Adams County Comprehensive Plan has indicated a future land use designation of Urban Residential for this property. Urban Residential areas are expected to include a mix of single- and multi-family residential uses at a greater density than one dwelling per acre.

PLN03: R-2 zoned lots are expected to meet standards of Section 3-14-07 of the DSR. The existing lot is 12,500 square feet, which exceeds the minimum lot size for the zone district.

PLN04: I want to provide you useful feedback regarding the setbacks for the R-2 zone district. If you scrape and rebuild as proposed, you will be expected to comply with these standards (Section 3-14-07).

PRIMARY DWELLING: Front setback - 60 feet from the front property line and 100 feet from the section line along Lowell Boulevard; Side setback – 17 feet on one side of the structure and 5 feet on the other, except no setback is required along the common wall of a duplex structure; Rear setback – 15 feet. The maximum height is 25 feet. The minimum floor area is 1,250 sq ft for single-family and 1,000 sq ft each per dwelling for multi-family. **ACCESSORY STRUCTURE:** Front setback - 60 feet from the front property line and 100 feet from the section line along Lowell Boulevard; Side setback –5 feet; Rear setback – 5 feet. The maximum height is 16 feet. The maximum floor area shall be 900 square feet for single-family and 450 sq ft each per dwelling unit for multi-family. Please note that Chapter r4 also restricts garages to no more than 30% of the rear yard area.

PLN05: The surrounding area includes a mix of single-family and multi-family structures. R-2 zoning has already been introduced into the block.

PLN06: An improved conceptual site plan of the new duplex and accessory structure is required. The Planning Commission and the Board of County Commissioners should be able to identify the following features from your conceptual site plan: building footprints of accessory and primary structures, that the proposed structures would meet the required setbacks for the proposed zone district, access points and driveways, if any landscaping or building elevations have been designed. The current site plan contains confusing illustrations that are unlabeled. I believe these patterns may represent the building envelope. Please revise for clarity.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 09/12/2017

Email: mhillje@adcogov.org

Complete

ROW1: No ROW comments for rezoning.

ROW2: Lowell Blvd is a minor arterial road.

ROW3: Lowell Blvd is also a section line.

Greg Barnes

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Monday, September 11, 2017 10:10 AM
To: Greg Barnes
Subject: RCU2017-00037, Hill Property at 538 Lowell

Greg,

I have reviewed the referral named above requesting a rezoning of a property located at 5318 Lowell Blvd. and have no objections. This will have minimal impact to any state highway in the area.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

Greg Barnes

From: Kuster - CDPHE, Kent [kent.kuster@state.co.us]
Sent: Wednesday, September 06, 2017 10:39 AM
To: Greg Barnes
Subject: Case No. RCU2017-00037

September 6, 2017

Greg Barnes, Case Manager

Community and Economic Development Department

4430 South Adams County Parkway, Suite W2000

Brighton, CO 80601-8204

Re: Case No. RCU2017-00037

Dear Mr. Barnes,

The Colorado Department of Public Health and Environment has the following comments for Case No. RCU2017-00037. In Colorado, land development construction activities (earth moving) that are greater than **25 acres** or more than **six months in duration** require an Air Pollutant Emissions Notice (APEN) from the Division and may be required to obtain an air permit depending on estimated emissions. In addition, a start-up notice must be submitted thirty days prior to beginning a land development project.

Please refer to the website <https://www.colorado.gov/pacific/cdphe/air-permits> for information on land use APENs and permits forms. Click on Construction Permit and APEN forms, and then click on the “Specialty APENs” to access the land development specific APEN form.

Asbestos, Lead-Based Paint, and CFCs

In Colorado there are regulations regarding the appropriate removal and handling of asbestos, lead-based paint, and chlorofluorocarbons (CFCs) as part of a demolition, renovation or remodeling project. These regulations are presented in AQCC Number 8 (asbestos), Number 19 (lead-based paint), and Number 15 (CFCs) which can be found at www.colorado.gov/cdphe/aqcc-regs.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards prior to renovation or demolition. In the case of lead-based paint hazards, notification to building occupants is required for all renovations in target housing performed for compensation. The Division must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos and any business involved with CFCs in any way (repair, maintenance, service or disposal of equipment containing CFCs, air conditioning and refrigeration service, recycling or recovery of ozone depleting compound refrigerants, etc.) must notify the Division annually and may have to register their equipment. Further, any CFCs present must be recovered prior to the demolition of a structure or any activity that would release refrigerant into the atmosphere.

For additional guidance on these regulations and lists of certified companies and individuals please visit www.colorado.gov/cdphe/asbestos for asbestos, www.colorado.gov/cdphe/leadpaint for lead-based paint or www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/cfcs for CFCs.

If you have any questions about Colorado's asbestos, lead-based paint, and CFC regulations or are unsure whether you are subject to them please call the Indoor Environment Program at [303-692-3100](tel:303-692-3100).

Sincerely,

Kent Kuster

Environmental Specialist

Colorado Department of Public Health and Environment

--

Kent Kuster

Environmental Protection Specialist

Colorado Department of Public Health and Environment

4300 Cherry Creek Drive South

Denver, CO 80246-1530

303-692-3662 | kent.kuster@state.co.us

Greg Barnes

From: Gloria Perez [owensperez@gmail.com]
Sent: Wednesday, August 30, 2017 5:18 AM
To: Greg Barnes
Cc: Simmonds, Craig
Subject: Case Number: RCU2017-00037 - 5318 Lowell Blvd.

Mr. Barnes,

Regarding the above referenced project, MWRD staff will need to review and approve the utility drawing for the proposed construction, when available .

Please let me know if you have any questions.

David Owens



September 12, 2017

Greg Barnes
Adams County Community and Economic Development Department
4430 South Adams County Parkway, 1st Floor, Suite W2000
Brighton, CO 80601-8204

RE: Hill, 5318 Lowell Boulevard, RCU2017-00037
TCHD Case No. 4567

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the application to rezone the property at 5318 Lowell Boulevard from Residential-1-C to Residential-2. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Building Demolition

Vector

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, saliva, or through rodent bites. If there is an infestation of rodents in the building proposed for demolition, the infestation should be eliminated prior to demolition to prevent the spread of rodents to neighboring properties. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control> .

Fugitive Dust

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, heart disease, and low birth weight. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. The application indicates that the existing building on the site will be demolished. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If such fibers are present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

Hill
September 12, 2017
TCHD Case No. 4567
Page 2 of 2

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions on TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line extending to the right.

Kathy Boyer, REHS
Environmental Health Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

September 11, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Hill Property Rezone, Case # RCU2017-00037

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Hill Property Rezone**. Please be advised that PSCo has existing electric distribution facilities within the areas indicated in this proposed rezone. Public Service Company has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

As the project progresses, the property owner/developer/contractor must complete the **application process** for any new gas or electric service, or modification to existing facilities via FastApp-Fax-Email-USPS (go to: https://www.xcelenergy.com/start_stop_transfer/new_construction_service_activation_for_builders). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Greg Barnes

From: rose barr [rose_barr@hotmail.com]
Sent: Thursday, September 21, 2017 12:54 PM
To: Greg Barnes
Subject: 5318 Lowell Blvd

Follow Up Flag: Follow up
Flag Status: Completed

Dear Greg -

We hope that you are still able to take into account our comments regarding 5318 Lowell Blvd. We mistakenly thought we had 30 days to reply which seems standard so we were disappointed to realized that it was 3 weeks.

We have several concerns with the proposed conversion of this property. As homeowners in this neighborhood we have seen many smaller single-family homes demolished and replaced with massive multi-family residences. These properties have increased the traffic Lowell Blvd as well as the amount of cars parked on Lowell Blvd. Lowell Blvd is not equipped to handle this increase in traffic flow and the parked cars along the street are making it unsafe for driving as visibility for cars trying to cross Lowell is greatly reduced. We struggle to get out of the driveway at times as it is with both poor visibility from the parked cars and the increase in traffic flow. The city will need to put in traffic lights if they are going to continue to allow this traffic pattern to increase and create limitations on the street parking.

We would like to believe that the proposal would be for two single-family homes and two families would buy the properties but we know what they are hoping to build would be a monstrosity like was built at 5241/5245 Lowell Blvd that rents out single room “studios” to college students and would pack a minimum of 8 adults with vehicles in the space. By doing this we are bringing more noise and less concern for the property onto the street. This property is directly across the street from an elementary school and there are children crossing the street during the day. Again, the increase in traffic flow and the addition of 6-8 cars plus cars from company will present a safety concern but this time to children.

We have seen large parties happen in this area and been to neighborhood meetings where the residents and homeowners in this community are concerned about having the college students in the houses. There is litter (beer bottles and cans primarily) everywhere we walk the dogs. There has been spray paint on the streets. There is furniture in the yards. There are unkempt yards with weeds sometimes 12-18” tall. Again, if we knew that this property was targeted to families we would think differently, but we have no trust that this will happen after seeing what was built at 5241/5245 Lowell Blvd. Everything has turned into making a buck and there is plenty of new housing being built. The massive houses block the sun so it takes longer for the snow and ice to melt. That used to matter when getting permits to build but apparently no longer matters. This is a neighborhood with families and in this case when we are looking at a house directly across the street from an elementary school we feel like it can stay as a single- family residence and still be profitable for the landowners.

We object to the rezoning of this property from R-1-C to R2.

Thank you,

Ariella Barr, DVM

Lindsey Kuhn

Greg Barnes

From: Chris LaRue
Sent: Friday, September 01, 2017 8:37 AM
To: Greg Barnes
Subject: RCU2017-00037 5318 Lowell

Greg:

Brett (720-593-0555), who owns property at 5340 Julian St left me a message today. He stated support for the rezoning case you are processing.

Thank you,



Christopher C. LaRue

Senior Planner, *Community & Economic Development Department*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, W2000A

Brighton, CO 80601

o: 720.523.6858 | clarue@adcogov.org

www.adcogov.org

Planning Commission

RE: Hill property @ 5318 Lowell

RCU 2017-0037

It is not in the best interest of this small community to vary the ZONING. Mr Hill is asking for a R-2 property in a R-1 Zone. The founding neighbors set up the zoning to stop too many people in any area. You keep letting these "Duplex" developers put in a two family home on a lot that ends up with 12-20 people living in a 2 family area. This must stop. And you must see what these developers are doing by cheating the system.

Colleen
5330 Julian
Dent CO 80221

Greg Barnes

From: joe@jointpyramid.com
Sent: Tuesday, September 12, 2017 2:09 PM
To: Greg Barnes
Subject: comments on case # RCU2017-00037

Dear Mr. Barnes

I live in Adams County at 5425 Lowell Boulevard near the property subject to rezoning. I want to indicate my support for rezoning this property.

Frankly, I am very surprised that it is not already zoned R-2. This property is bordered by a duplex on the east side and the King Street culdesac has 10 duplexes on it. Also, the 2nd site south of 54th on Lowell, just one house away, is a duplex. This location is dominated by duplexes. It seems unfair to prevent this property owner from the right to build a duplex when almost all the properties closest to this site have been given this privilege.

I would like to know what type of zoning the property at 5441 Lowell has, as this is developed and marketed as a student housing complex with 14 bedrooms and almost as many bathrooms.

Thank you for your attention and consideration.

Sincerely,

Joe Kottenstette
5425 Lowell Blvd.
303-638-4480

Ref info

The Adams County Planning Commission is requesting comments on the following request:

Rezoning of a property from Residential-1-C (R-1-C) to Residential-2 (R-2).

This request is located at 5318 Lowell Blvd. The Assessor's Parcel Number is 0182517212014. The legal description of the lot is: Berkeley Gardens Number One Desc: W 125 Ft Of Plot 4

Applicant Information: MATT HILL

5001 QUITMAN ST
DENVER, CO 80212



Virus-free. www.avast.com

Greg Barnes

From: Greg Barnes
Sent: Monday, August 28, 2017 10:15 AM
To: Greg Barnes
Subject: Telephone Comment - RCU2017-00037

Opposed to rezoning

Dorothy Romero
303-480-0736

Density concern
Property line dispute
Fire safety



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name: Hill Property at 5318 Lowell
Case Number: RCU2017-00037

August 23, 2017

The Adams County Planning Commission is requesting comments on the following request:

Rezoning of a property from Residential-1-C (R-1-C) to Residential-2 (R-2).

This request is located at 5318 Lowell Blvd. The Assessor's Parcel Number is 0182517212014. The legal description of the lot is: Berkeley Gardens Number One Desc: W 125 Ft Of Plot 4

Applicant Information: MATT HILL
5001 QUITMAN ST
DENVER, CO 80212

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Pkwy., Ste. W2000A, Brighton, CO 80601-8216; or call (720) 523-6800 by 09/14/2017 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Public Hearing Notification

Case Name:	Hill Rezoning
Case Number:	RCU2017-00037
Planning Commission Hearing Date:	12/14/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date:	01/09/2018 at 9:30 a.m.

November 20, 2017

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Re-zone the property from Residential-1-C (R-1-C) to Residential-2 (R-2).

The proposed use will be residential. This request is located at 5318 Lowell Boulevard on 0.29 acres. The Assessor's Parcel Number is 0182517212014. The legal description of the site is: *THE WEST 125 FEET OF PLOT 4, BERKELEY GARDENS NUMBER ONE, COUNTY OF ADAMS, STATE OF COLORADO.*

Applicant Information: Matt Hill, 5001 Quitman Street, Denver, CO 80212

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601-8216. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at (720) 523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date.

For further information regarding this case, please contact the Community and Economic Development Department, 4430 S. Adams County Parkway, Brighton, CO 80601, (720) 523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Doriso
DISTRICT 4

Mary Hodge
DISTRICT 5

PUBLICATION REQUEST

Hill Property at 5318 Lowell

Case Number: RCU2017-00037
Planning Commission Hearing Date: 12/14/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date: 01/09/2018 at 9:30 a.m.

Request: Re-zone the property from Residential-1-C (R-1-C) to Residential-2 (R-2)

Location: 5318 LOWELL BLVD

Parcel Number(s): 0182517212014

Case Manager: Greg Barnes

Case Technician: Megan Ulibarri

Applicant:

MATT HILL

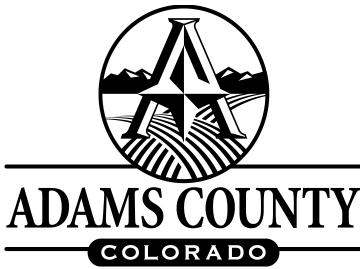
303-859-3720

**5001 QUITMAN ST
DENVER, CO 80212**

Owners: **BRAUNTZ, KELLEEE; HILL, MATT;
AND DENDORFER, MATT
7444 EMPIRE DR
BOULDER, CO 803035008**

Representative:

Legal Description: *THE WEST 125 FEET OF PLOT 4, BERKELEY GARDENS NUMBER ONE, COUNTY OF ADAMS, STATE OF COLORADO.*



Referral Listing
Case Number RCU2017-00037
Hill Property at 5318 Lowell

Agency	Contact Information
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Chris Wilder 8055 N. WASHINGTON ST. DENVER CO 80229 (303) 289-4683 cwilder@acfpd.org
BERKELEY NEIGHBORHOOD ASSOC.	GLORIA RUDDEN 4420 W 52ND PL. DENVER CO 80212 (303) 433-7653 seminoegrandma@gmail.com (303) 477-9669
BERKELEY WATER & SAN DISTRICT	SHARON WHITEHAIR 4455 W 58TH AVE UNIT A ARVADA CO 80002 (303) 477-1914 berkeleywater@gmail.com
CDPHE - AIR QUALITY	Paul Lee 4300 CHERRY CREEK DRIVE SOUTH DENVER CO 80246-1530 303-692-3127 paul.lee@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 patrick.j.pfaltzgraff@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 Andrew.Todd@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com

Agency

Contact Information

Code Compliance Supervisor

Eric Guenther
eguenther@adcogov.org
720-523-6856
eguenther@adcogov.org

COLORADO DEPT OF TRANSPORTATION

Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222
303-757-9891
steven.loeffler@state.co.us

COLORADO DIVISION OF WILDLIFE

Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000
303-291-7454
eliza.hunholz@state.co.us

COLORADO DIVISION OF WILDLIFE

JOSEPH PADIA
6060 BROADWAY
DENVER CO 80216
303-291-7132
joe.padia@state.co.us

COMCAST

JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260
303-603-5039
thomas_lowe@cable.comcast.com

COUNTY ATTORNEY- Email

Christine Francescani
CFrancescani@adcogov.org
6884

Engineering Department - ROW

Transportation Department
PWE - ROW
303.453.8787

Engineering Division

Transportation Department
PWE
6875

ENVIRONMENTAL ANALYST

Jen Rutter
PLN
6841

Hyland Hills Park & Recreation District

Terry Barnhart
8801 Pecos St
Denver CO 80260
303-650-7507 303-650-7507
tbarnhart@hylandhills.org

METRO WASTEWATER RECLAMATION

CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229
303-286-3338
CSIMMONDS@MWRD.DST.CO.US

Agency

Contact Information

NS - Code Compliance

Andy San Nicolas
asannicolas@adcogov.org
720.523.6831
asannicolas@adcogov.org

Parks and Open Space Department

Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org
(303) 637-8000
nmosley@adcogov.org

REGIONAL TRANSPORTATION DIST.

CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202
303-299-2439
chris.quinn@rtd-denver.com

SHERIFF'S OFFICE: SO-HQ

MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcogov.org
snielson@adcogov.org
(303) 654-1850
aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org

Sheriff's Office: SO-SUB

SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org
720-322-1115
smiller@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT

Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111
720-200-1571
landuse@tchd.org

TRI-COUNTY HEALTH DEPARTMENT

MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022
(303) 288-6816
mdeatrich@tchd.org

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org
.

WESTMINSTER SCHOOL DISTRICT #50

Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030
720-542-5100
jpeterson@adams50.org

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

Agency

Contact Information

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

6.5 Property Owner Notification List

3434 LLC
159 PEAKVIEW RD
BOULDER CO 80302-9416

ATS REAL PROPERTIES
20810 E WEAVER PL
AURORA CO 80016-1119

3500 WEST 53RD AVENUE LLC
2750 S LINCOLN ST
ENGLEWOOD CO 80113-1539

AYERS RONALD P
3445 W 54TH AVE
DENVER CO 80221-6507

5241 LOWELL STREET LLC
PO BOX 12227
DENVER CO 80212-0227

BACHER TROY DANIEL AND BACHER AMY L
5310 NEWTON ST
DENVER CO 80221

5251 MEADE LLC
3010 W 111TH DR
WESTMINSTER CO 80031-6832

BACHICHA ESEQUEL A AND
BACHICHA MARY H
5491 LOWELL BLVD
DENVER CO 80221-7315

ABERLY SCOTT THOMAS AND
ABERLY SYLVIA
8017 SUNRISE COURT
ERIE CO 80516

BACHMANN VENTURES LLC
C/O ANDREW M BACHMANN
4397 13TH ST
BOULDER CO 80304-0848

ADAMSON TROY L AND
ADAMSON KAROL
5288 NEWTON ST
DENVER CO 80221-7328

BARE FAMILY TRUST
7300 EVERETT ST
ARVADA CO 80005-4253

AJR PROPERTIES LLC
640 PLAZA DR STE 130
HIGHLANDS RANCH CO 80129-2508

BARNHART JAMES M AND
BARNHART LOIS L
3445 W 53RD AVE
DENVER CO 80221-6569

ALENGI NADINE
6452 W 78TH AVE
ARVADA CO 80003

BARR ARIELLA AND
KUHN LINDSEY
5501 LOWELL BLVD
DENVER CO 80221-7317

ALLISON EDWARD J AND
ALLISON SHERRI L
3790 W 54TH AVE
DENVER CO 80221-7309

BARTHOLOMAI STANLEY R AND
BARTHOLOMAI BETTY
PO BOX 686
WESTMINSTER CO 80036

ARCHULETA GARY L AND
ARCHULETA SHIRLEY A
5221 JULIAN ST
DENVER CO 80221-6516

BERGHOFF THOMAS C AND
BERGHOFF JULIE M
7444 EMPIRE DR
BOULDER CO 80303-5008

BG BUILDING CORPORATION
7255 IRVING ST
WESTMINSTER CO 80030-4907

COE JASON
5235 LOWELL BLVD
DENVER CO 80221

BG BUILDING CORPORATION
5302 LOWELL BLVD
DENVER CO 80221-7314

COLORADO LUCKY BOB LLC
1938 PEARL ST STE 200
BOULDER CO 80302-4422

BLOMBERG ANNA J
5326 LOWELL BLVD
DENVER CO 80221-7314

CONDE ALMA VANESA
3785 W 54TH AVE
DENVER CO 80221-7308

BOONE JOE E
BOONE WENDY L
5401 NEWTON ST
DENVER CO 80221-7326

CORDOVA FAMILY TRUST THE
13122 W 29TH AVE
GOLDEN CO 80401-1689

BRITT NICHOLAS AND
SHOEMAKER LINDSEY M
5302 NEWTON ST
DENVER CO 80221-7330

CORNETT LORETTA M
5281 KING ST
DENVER CO 80221-6532

BROOKS PAUL J AND
BROOKS YUKIKO
5291 MEADE STREET
DENVER CO 80221

CORNETT LORETTA M
5271 KING ST
DENVER CO 80221-6532

BROWN MATTHEW C
PO BOX 101172
DENVER CO 80250-1172

CRAVEN JOHN
3774 QUITMAN ST
DENVER CO 80212-1932

BRUNKEN SHERYL LIVING TRUST
6983 TELLER CT
ARVADA CO 80003-3431

CREAGER RHONDA A
9361 APACHE RD
LONGMONT CO 80504-5415

BUCKINGHAM MARK M
6359 S VAN GORDON STREET
LITTLETON CO 80127

CROFT MICHAEL
5312 LOWELL BLVD
DENVER CO 80221-7314

CAMPBELL JAMES C
5454 LOWELL BLVD
DENVER CO 80221-7316

CUSHING MARY ANN LIVING TRUST THE
1356 E 101ST AVE
THORNTON CO 80229-3970

D AMBROSIA STEPHEN AND
NELSON KATHLEEN
3428 W 55TH AVE
DENVER CO 80221-6524

FLAHIVE DRENNAN
624 LAFAYETTE ST
DENVER CO 80218-3610

DANIELS SCOTT
5350 JULIAN ST
DENVER CO 80221

FOX BARBARA J
5320 KING COURT
DENVER CO 80221

DAUBE STEPHANIE
5320 NEWTON ST
DENVER CO 80221-7330

FULLER ROBERT L AND
FULLER SHERRY A
6826 POPPY CT
ARVADA CO 80007-7068

DEMARCO ADRIAN AND
DEMARCO DARLENE
5356 NEWTON STREET
DENVER CO 80221

GARCIA ANDREW PHILLIP
5390 KING ST
DENVER CO 80221-6559

DEMICHELIS DAVID
5323 MEADE ST
DENVER CO 80221-7322

GARCIA GEORGE
5300 LOWELL BLVD
DENVER CO 80221

DOPKINS DALE A
13N390 FRENCH RD
HAMPSHIRE IL 60140

GAVIT STEPHAN C AKA
GAVIT STEPHAN
5247 LOWELL BLVD
DENVER CO 80221-7312

DOUGHERTY DEVON D
3520 W 55TH AVE
DENVER CO 80221

GAZVODA EDWARD A AND CHAPMAN MYRA LOUISE
LARSON MARJORIE W AND LARSON HERBERT E
5383 JULIAN ST
DENVER CO 80221-6554

EQUITY TRUST COMPANY CUSTODIAN FBO
PATRICK M HERNANDEZ IRA
1237 BIRCH ST
DENVER CO 80220-2425

GONZALES RACHEL VANESSA AND
GONZALES JOHN PATRICK
3430 W 54TH AVE
DENVER CO 80221-6508

ESTES PLACE LLC
11170 FLATIRON DR
LAFAYETTE CO 80126

HANA ELIMA LLC
3699 LOWELL BLVD
DENVER CO 80211-2763

ESTRICH BENJAMIN AND
COOKISH JULIE
5411 JULIAN ST
DENVER CO 80221-6556

HARTNETT HOLLY K
5233 LOWELL BLVD
DENVER CO 80221

HODGES MARIE ROSE
5460 LOWELL BLVD
DENVER CO 80221-7316

KONRADE ROBERT L AND
KONRADE HELEN M
5367 JULIAN ST
DENVER CO 80221-6554

HOEFLER MATTHEW G AND
GOMEZ ROSA A
3589 W 54TH AVE
DENVER CO 80221-6509

KOPTISH TIFFANY AND
KOPTISH KURT
5370 KING CT
DENVER CO 80221-6561

HOLLAND DAVID T AND
HOLLAND CASSANDRA L
5353 NEWTON ST
DENVER CO 80221

KOTTENSTETTE JOSEPH T
KOTTENSTETTE EILEEN S
5425 LOWELL BLVD
DENVER CO 80221-7315

HOPPES CHARLES
1743 S GRANT ST
DENVER CO 80210-3119

KOTTENSTETTE JOSEPH T AND
KOTTENSTETTE EILEEN S
5425 LOWELL BLVD
DENVER CO 80221-7315

HYLAND HILLS PARK AND
RECREATION DISTRICT
8801 N PECOS ST
FEDERAL HEIGHTS CO 80260

KOTTENSTETTE JOSEPH T AND
KOTTENSTETTE EILEEN S
5495 LOWELL BLVD
DENVER CO 80221

JBG III-XFT LLC
14501 S FIGUEROA ST
GARDENA CA 90248-1713

KOTTENSTETTE JOSEPH T AND
KOTTENSTETTE EILEEN S
5425 LOWELL BLVD
DENVER CO 80221

JDI PROPERTIES LLC
5204 S PRESCOTT ST
LITTLETON CO 80120-1013

KRUSE THERESA L
5421 JULIAN ST
DENVER CO 80221-6556

JIMENEZ JOSE A AND
JIMENEZ ROSITA
5402 MEADE ST
DENVER CO 80221-7325

LADWIG ARNOLD J AND LADWIG LU ANN (JT) U
LADWIG BONNIE S UND 1/2 INT
5231 MEADE ST
DENVER CO 80221-7321

JONES CARL LEE AND
JONES ALICIA C
5330 JULIAN STREET
DENVER CO 80221

LEFKOWITZ ADAM AND
LEFKOWITZ LESLEY
5316 JULIAN ST
DENVER CO 80221-6555

KNIGHT DEBORAH L
5274 MEADE ST UNIT A
DENVER CO 80221-1077

LENZ JOSHUA D
3570 W 55TH AVE
DENVER CO 80221-6594

LOMBARDI ANTONIO AND
LOMBARDI CLELIA
6545 NEWTON ST
ARVADA CO 80003-6450

MARTINEZ PEDRO M AND
MARTINEZ MARICELA
3430 W 55TH AVE
DENVER CO 80221

LOMBARDI EDILIA
15885 W 71ST PL
ARVADA CO 80007-7025

MASON KATHERINE
5353 MEADE ST
DENVER CO 80221-7322

LOMBARDI LARA N AND
LOMBARDI GINO F
10063 W 100TH PL
BROOMFIELD CO 80021-5206

MATISSEN MARITA M AND
MATISSEN BERT
3501 W 53RD AVE
DENVER CO 80221-6571

LOPEZ JOE J AND
FLOREZ CAMELITA M
5272 NEWSTON STREET
DENVER CO 80221

MC INTOSH SEAN AND
BATCHELOR BROOKE
5255 LOWELL BLVD
DENVER CO 80221-7312

LOWELL HOLDINGS LLC
17454 W 67TH AVE
ARVADA CO 80007-6848

MED AND KLD LIVING TRUST
5363 JULIAN ST
DENVER CO 80221

LUCERO JUDY
5333 MEADE ST
DENVER CO 80221-7322

MEDINA EDWIN A
4530 KING ST
DENVER CO 80211-1328

MACKAY PETER AND
MACKAY ALEXANDER
PO BOX 177
EVERGREEN CO 80437

MEDINA ENRIQUE AND
MEDINA VANESSA
5365 NEWTON ST
DENVER CO 80221-7329

MALLETTE SHANNON L
3455 W 53RD AVE
DENVER CO 80221-6569

MERRIMAN PAIGE REVOCABLE TRUST THE
5480 LOWELL BLVD
DENVER CO 80221-7316

MARR MICHAEL K
8260 W 63RD AVE
ARVADA CO 80004-3416

MILLIARD ISABELLE G
5355 NEWTON STREET
DENVER CO 80221

MARTIN ANNETTE N AND
MARTIN LUKE E
5333 JULIAN ST
DENVER CO 80221-6554

MILLS NIKOLAS CHARLES
5299 NEWTON STREET
DENVER CO 80221

MOLNAR AMY AND
REL FORD CHRISTOPHER JOHN
5305 MEADE ST
DENVER CO 80221-7322

POPICK STEVEN C
5383 MEADE ST
DENVER CO 80221-7322

MONTOYA JENNIE P
3540 W 54TH AVE
DENVER CO 80221-6510

PRESCOTT PHILIP D AND
PRESCOTT KIM B
8608 WINDHAVEN DR
PARKER CO 80134-2734

MORALES SAMUEL R AND
MORALES KRISTINE L
3460 W 55TH AVE
DENVER CO 80221-6524

QUENZER BARTH
5371 JULIAN ST
DENVER CO 80221-6554

NEAL JENNIFER L
3490 W 54TH AVE
DENVER CO 80221-6508

RAFFERTY JANETT KAY
3555 W 54TH AVE
DENVER CO 80221-6509

NEILL DIANE D
5315 MEADE ST
DENVER CO 80221-7322

RANGER REALTY PARTNERS IV LLC
2511 MOUNT ROYAL DR
CASTLE ROCK CO 80104-2771

O BRIEN NATHAN
3435 W 53RD AVE
DENVER CO 80221-6569

REGIS JESUIT HOLDING INC
3333 REGIS BLVD
DENVER CO 80221-1154

O HAIRE BRIAN WILLIAM
5497 LOWELL BLVD
DENVER CO 80221-7315

REGIS UNIVERSITY
3333 REGIS BLVD MAIL CODE B-4
DENVER CO 80221-1099

ORME LEONARD G AND ORME PAMELA C
SLIZ SHAUNA L
684 POORMAN RD
BOULDER CO 80302-9723

REGIS UNIVERSITY
3333 REGIS BLVD MAIL CODE A 20
DENVER CO 80221-1099

PERA REAL ESTATE MANAGEMENT LLC
PO BOX 351782
WESTMINSTER CO 80035-1782

REHFELD RONALD LEE
5395 NEWTON STREET
DENVER CO 80221

PIERCE KRISTEN
5390 KING CT
DENVER CO 80221-6561

RESOURCE DYNAMICS CORPORATION
910 PEARL ST
DENVER CO 80203-3214

RITZ RHONDA ANN
9361 APACHE RD
LONGMONT CO 80504-5415

SKARIE ALLAN N AND
SKARIE KELLY A
5371 JULIAN ST
DENVER CO 80221-6554

ROBBINS GENE D
3380 W 53RD AVE
DENVER CO 80221-6566

SMITH MYRNA LOU
3405 W 53RD AVE
DENVER CO 80221-6569

ROCKY MOUNTAIN HIGH LLC AND
BLUE SPRUCE LLC
PO BOX 674
SEDALIA CO 80135-0674

SOLANO LUIS
5340 KING COURT
DENVER CO 80221

RODRIGUEZ CESARIO F AND
RODRIGUEZ STELLA J
5343 JULIAN ST
DENVER CO 80221-6554

STOAKES GLENN H
5330 LOWELL BLVD
DENVER CO 80221-7314

ROMERO JOE AND DOROTHY REVOCABLE LIVING
TRUST
5415 LOWELL BLVD
DENVER CO 80221-7315

TAPIA HOWARD
5280 NEWTON ST
DENVER CO 80221-7328

RUFF DAVID G AND RUFF MARTHA C
4605 HOPE CIR
BROOMFIELD CO 80023-8497

TOLMAN LANI NIELSON
5281 MEADE ST
DENVER CO 80221-7321

SALAZAR JACQUELINE D
3421 W 54TH AVE
DENVER CO 80221-6507

US CENTRAL AND SOUTHERN PROVINCE
SOCIETY OF JESUS
4511 W PINE BLVD
ST LOUIS MO 63108-2109

SECOR STEPHEN G
185 SNOWBERRY WAY
DILLON CO 80435-8356

VAN SICKEL CHRISTOPHER
5395 MEADE ST
DENVER CO 80221-7322

SETZER JEFFREY SCOTT AND
SETZER ANNETTE SUE
5401 LOWELL BLVD
DENVER CO 80221-7315

VASQUEZ SAMUEL JR AND
STONE RAQUEL
3415 W 53RD AVE
DENVER CO 80221-6569

SEXTON STEPHANIE AND
COE JASON
5235 LOWELL BLVD
DENVER CO 80221-7312

WALKER STEPHEN J/MARGARET A CO-TRUSTEES
OF THE WALKER FAMILY TRUST U/A
1345 ISABELL ST
GOLDEN CO 80401-3024

WEHRLEY SCOTT E
5360 KING CT
DENVER CO 80221-6561

WIEDERSPAHN ELLEN K
5335 NEWTON ST
DENVER CO 80221-7329

WILCOX AUSTIN AND
WILCOX BETHANY
5231 LOWELL BLVD
DENVER CO 80221-7312

ZAKHEM CHARLES S
3770 W 54TH AVE
DENVER CO 80221-7309

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at

5318 Lowell Boulevard

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

J. Gregory Barnes

Hill Rezoning

RCU2017-00037

5318 Lowell Boulevard

January 9, 2018

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes

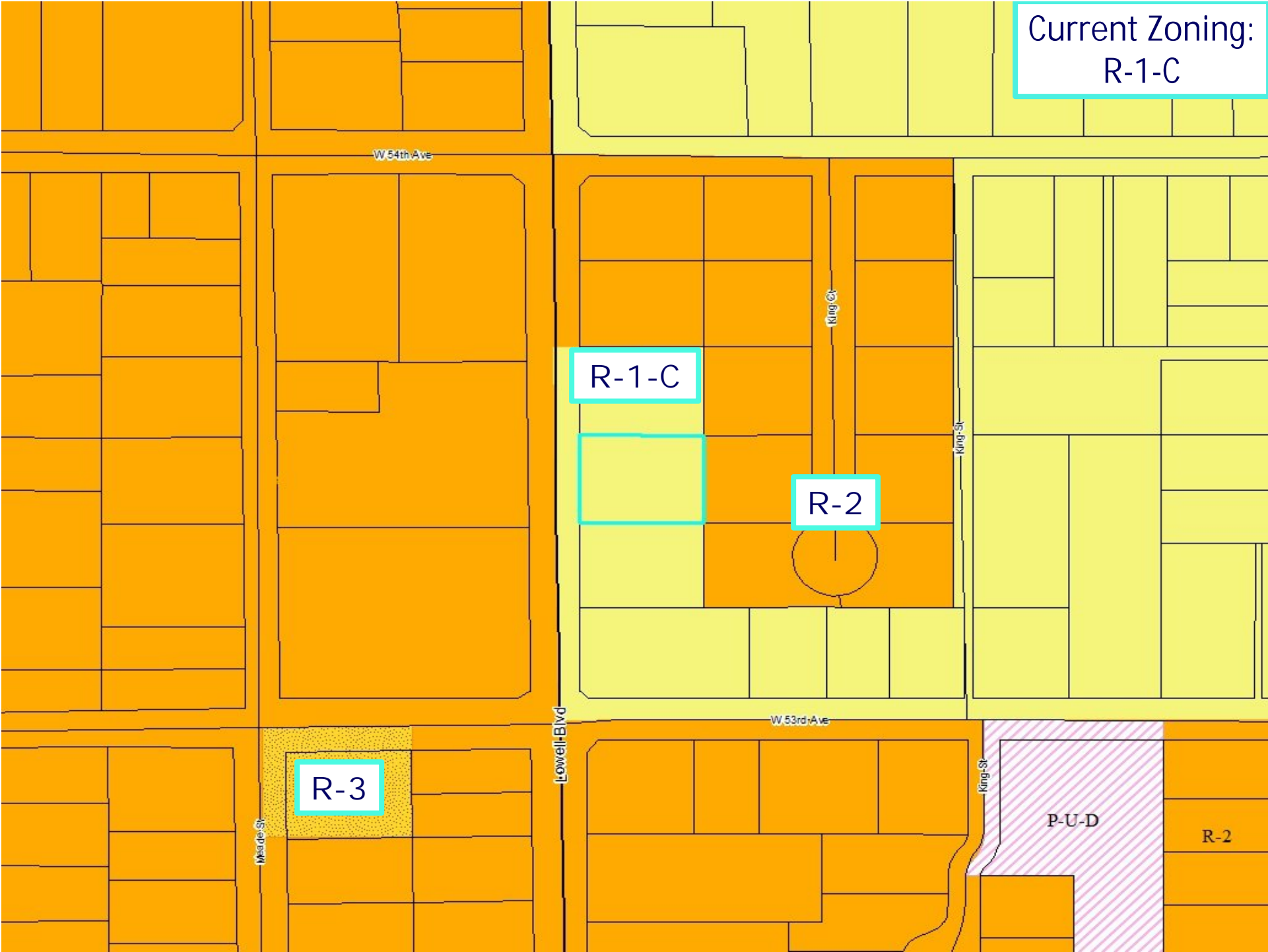


Request

Rezoning - 0.29 acre lot

- Current zoning: Residential-1-C (R-1-C)
- Proposed zoning: Residential-2 (R-2)

Current Zoning:
R-1-C



R-1-C

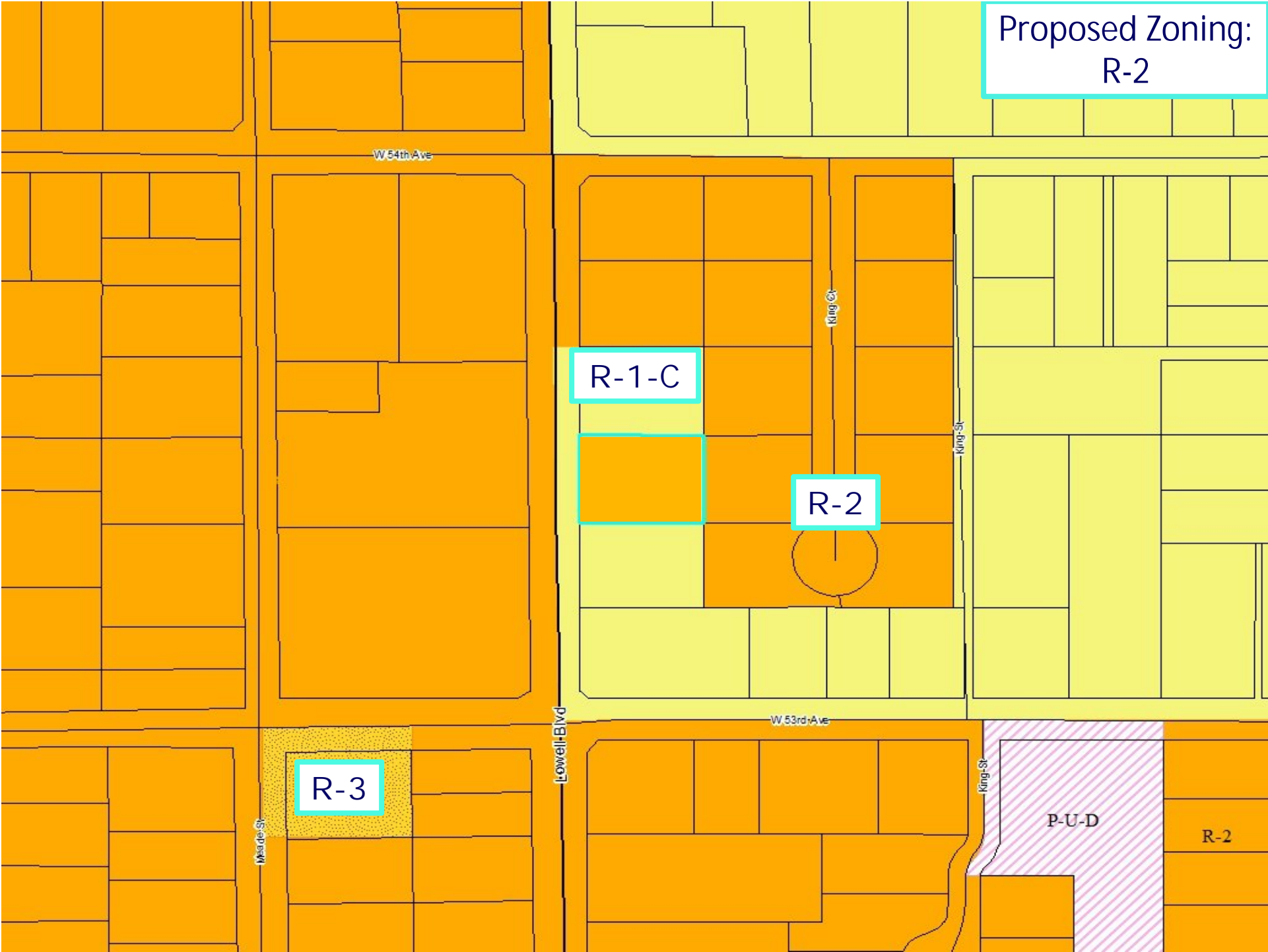
R-2

R-3

P-U-D

R-2

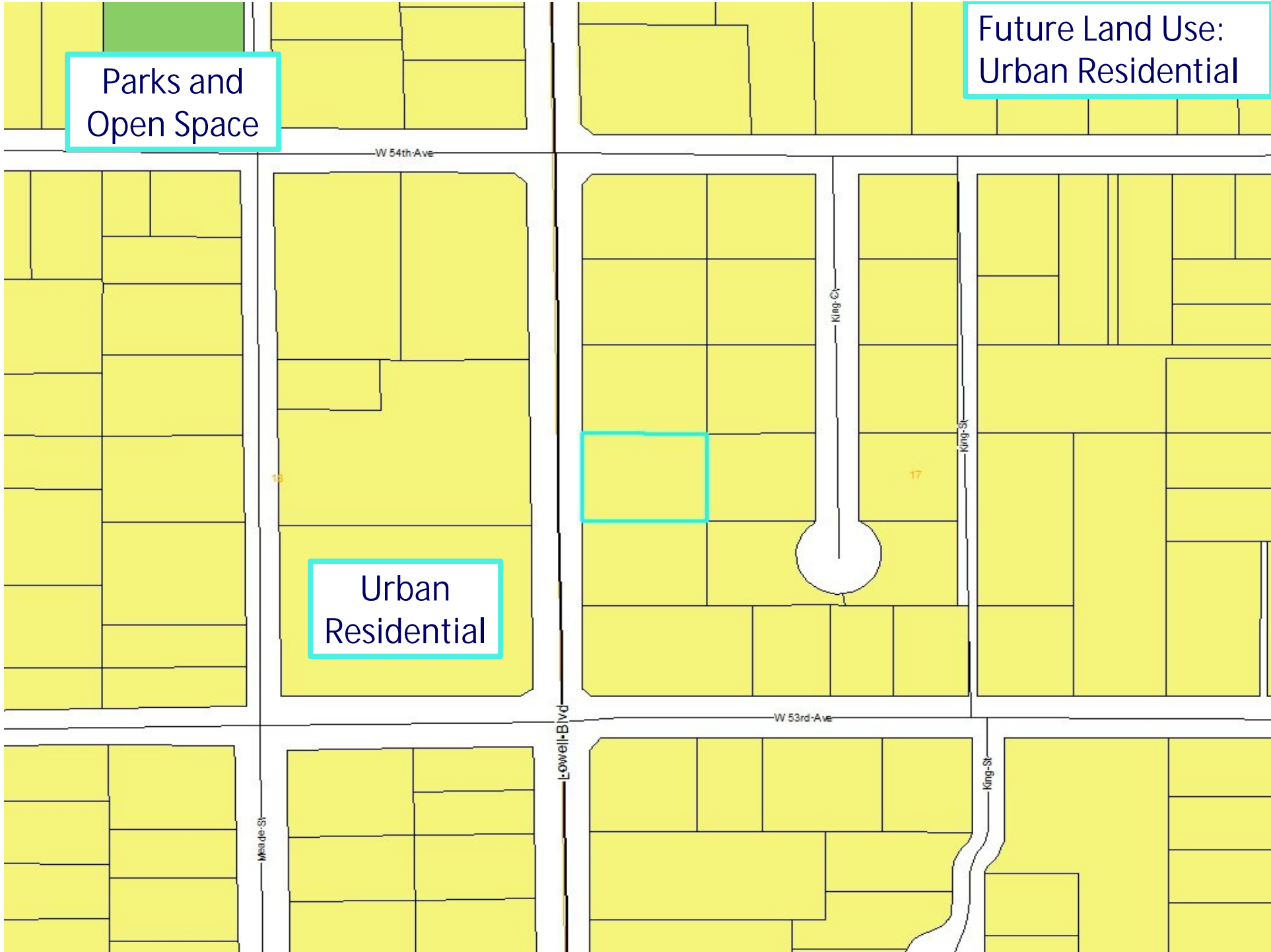
Proposed Zoning:
R-2



Parks and
Open Space

Future Land Use:
Urban Residential

Urban
Residential



Criteria for Rezoning Approval

Section 2-02-13-06-02

1. Consistent with Comprehensive Plan
2. Consistent with Development Standards
3. Complies to Development Standards
4. Harmonious & Compatible

Development Standards

Residential-2 Zone District

Minimum Lot Size (Two-Family Lot):

- Required: 9,000 sq. ft. (12,500 sq. ft. provided)

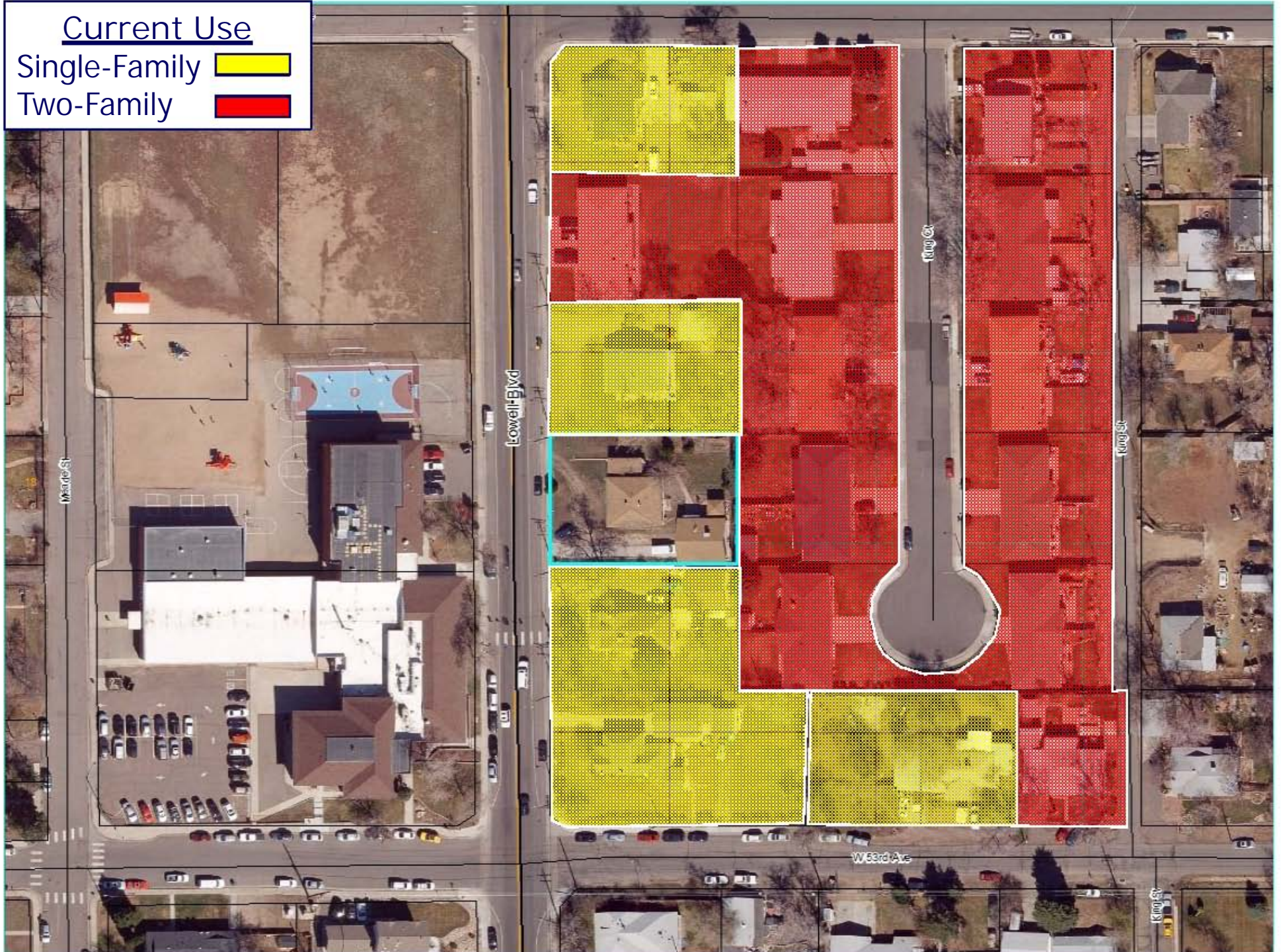
Minimum Lot Width (Two-Family Lot):

- Required: 90 ft. (100 ft. provided)

Current Use

Single-Family 

Two-Family 



Analysis

- Water & Sewer:
 - Berkeley Water & Sanitation
- Electric Service:
 - Provided by Xcel













Referral Period

Notices Sent	Comments Received
143	5

750 foot referral distance

Public comment: Compatibility, Traffic, Zoning Violations

External Referral Agencies: No Objections

PC Update

- Public Hearing: Dec. 14, 2017
- No members of the public present
- Recommended Approval (7-0)

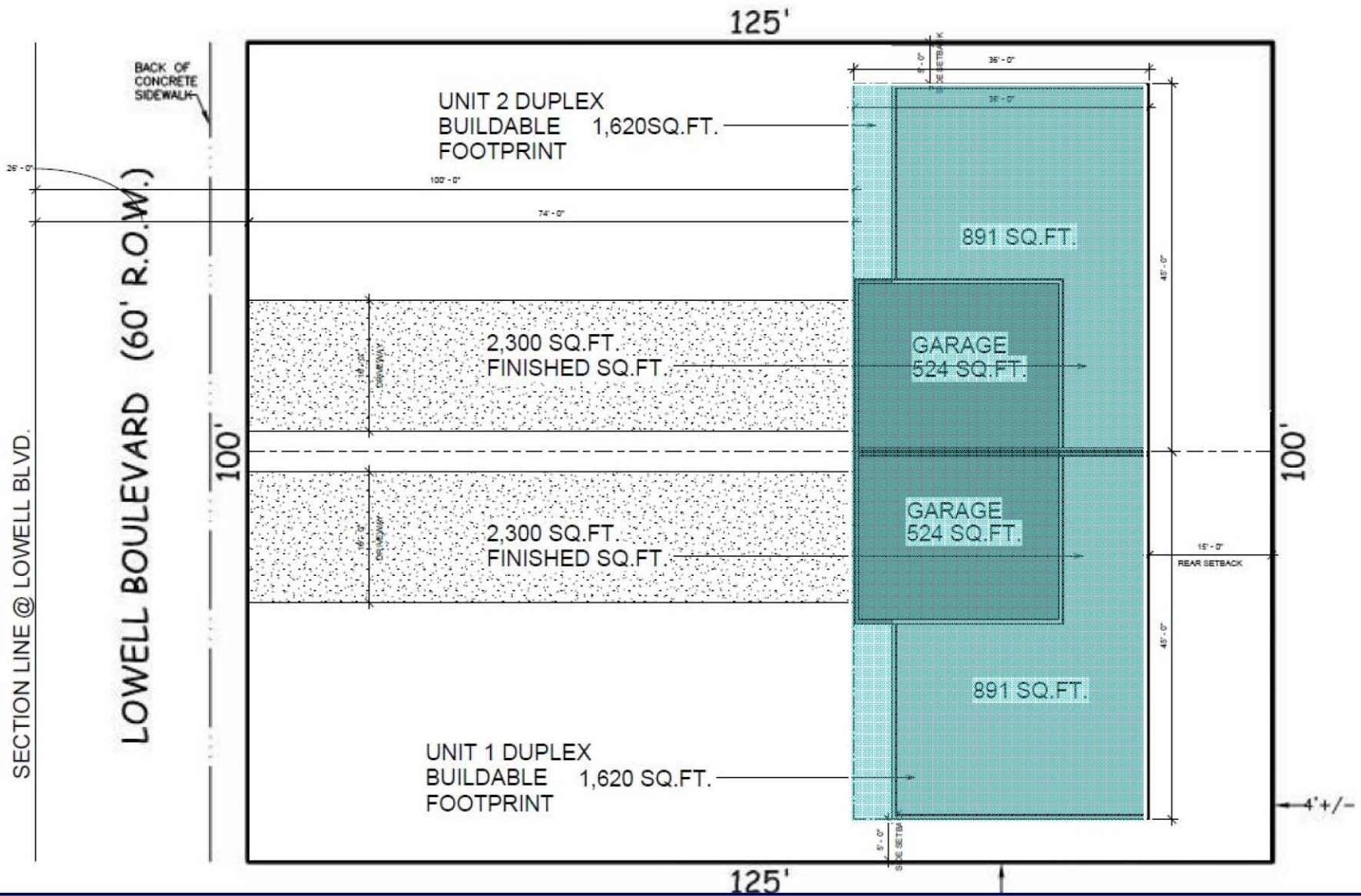
Staff Recommendation

- Consistent with Comprehensive Plan
- Compliant with Development Standards
- Compatible with surrounding area

Approval of the rezoning (RCU2017-00037 – Hill Property) with 4 findings-of-fact.

Recommended Findings-of-Fact

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.



Minimum Setbacks:

Section Line: 100 ft.

Side: 5 ft.

Rear: 15 ft.

Aerial View



Lowell Blvd.

Ricardo Flores
Magon Academy

W. 54th Ave.

W. 53rd Ave.



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT

CASE NO.: PRC2017-00007

CASE NAME: Midtown 3rd Amendment to PDP

TABLE OF CONTENTS

EXHIBIT 1 – BOCC Staff Report

EXHIBIT 2- Maps (Aerial, Zoning, Comprehensive Plan)

- 2.1 PDP Amendment
- 2.2 Filing 6
- 2.3 Filing 9
- 2.4 Filing 10
- 2.4 School Site

EXHIBIT 3- Applicant Information

- 3.1 Written Explanation
- 3.2 Amended Preliminary Development Plan Site Plan
- 3.3 Filing 6 FDP
- 3.4 Filing 6 Final Plat and SIA
- 3.5 Filing 9 FDP
- 3.6 Filing 9 Final Plat and SIA
- 3.7 Filing 10 FDP
- 3.8 Filing 10 Final Plat and SIA
- 3.9 School Site FDP
- 3.10 School Site Final Plat and SIA
- 3.11 Vesting Rights Development Agreement

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (PDP Amendment)
- 4.2 Referral Comments (Filing 6)
- 4.3 Referral Comments (Filing 9)
- 4.4 Referral Comments (Filing 10)
- 4.5 Referral Comments (School Site)

EXHIBIT 5- Citizen Comments

- 5.1 PDP Amendment (Compiled)
- 5.2 Filing 6 (none)
- 5.3 Filing 9 (Compiled)
- 5.4 Filing 10 (none)
- 5.5 School Site (Compiled)

EXHIBIT 6- Associated Case Materials

- 6.1 Public Hearing Notification (All Requests)
- 6.2 Newspaper Publication (All Requests)
- 6.3 PDP Amendment
- 6.4 Filing 6
- 6.5 Filing 9
- 6.6 Filing 10
- 6.6 School Site

Board of County Commissioners

January 9, 2018

Case No (s): PRC2017-00007, PRC2016-00012, PRC2016-00018, PRC2016-00017, PRC2017-00002	
Case Name (s): Midtown 3rd Amendment to the PDP, Filing 6, Filing 9, Filing 10, School Site FDP	
Owner's Name:	Midtown, LLC.
Applicant's Name	Midtown, LLC.
Applicant's Address:	6465 S. Greenwood Plaza Blvd., Suite 700, Centennial, CO 80111
Location of Request:	6701 Pecos St.
Nature of Request:	PRC2017-00007: Third Amendment to the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations on approximately 51 acres.
	PRC2016-00012: 1) Final Development Plan (FDP) to allow 57 lots on approximately 52 acres; a) Major Subdivision (final plat); b)Subdivision Improvements Agreement (SIA) for Filing 6; c) Vacate a portion of Zuni Street right-of-way
	PRC2016-00018: 1) FDP to allow 57 lots on approximately 5 acres; a) Major Subdivision (final Plat); b) SIA for Filing 9
	PRC2016-00017: 1) FDP to allow 39 lots on approximately 4 acres; a) Major Subdivision (final plat); b) SIA for Filing 10
	PRC2017-00002: 1) FDP to allow development of a school site on approximately 5.32 acres; a) Minor Subdivision (final plat) to create one lot; b)SIA for Midtown School Site; c) Vacate a portion of Zuni St. and W. 67 th Ave. right-of-way
Site Size:	51.128 acres +/-
Zone District:	Planned Unit Development (PUD)
Future Land Use:	Urban Residential
Proposed Use:	Open Space, Residential, Commercial (Mixed Use)
Existing Use:	Vacant, Residential and Commercial
Hearing Date(s):	PC: December 14, 2017/ (6:00 pm)
	BOCC: January 9, 2018/ (9:30 am)
Hearing Location:	4430 S. Adams County Parkway, Brighton, CO 80601 / Public Hearing Room 1 st Floor
Report Date:	December 26, 2017
Case Manager:	Emily Collins
Staff Recommendation:	Approval, with 18 Findings-of-Fact, and 4 conditions

SUMMARY OF PREVIOUS APPLICATIONS

On February 25, 2008, the Board of County Commissioners approved a Preliminary Development Plan (PDP) for the Midtown at Clear Creek Development. This PDP allowed for a mixed-use development with a maximum of 1,608 dwelling units including single-family detached, attached, and apartment multi-family, and associated parks and open space including a minimum 43-acre park, 10 acres of commercial/mixed-use, and a 5-acre school site. Overall, this development plan showed approximately 31.5 percent open space provided.

On February 25, 2012, the Board of County Commissioners approved a first amendment to the PDP. This amendment allowed for a reduction in residential lot sizes and building setbacks, a reduction in the commercial area from 10 acres to 6.7 acres, and an updated site plan illustrating a traditional grid street network. The amendment also included a site plan showing layout of residential, commercial, and open space areas. Overall, this development plan showed approximately 44 percent open space provided.

On July 8, 2012, the Board of County Commissioners approved a second amendment to the PDP. This amendment revised the site plan to allow various residential designs and types, modifications to street cross-sections, and relocation of a 5-acre school site from approximately W. 67th Ave. and Pecos St to W. 68th Ave. and Zuni St. within the development. Overall, this development plan showed approximately 44 percent open space in the development.

To-date, the Board of County Commissioners has approved filings 1, 2, 3, 4, 5, 7, and 8 for a total of 669 residential lots within the development. Approval of filings 6, 9, 10, and the school site are part of the subject request.

SUMMARY OF APPLICATION

Background

The applicant, Midtown, LLC, has been unable to obtain development approvals for the remaining filings in the Midtown at Clear Creek Planned Unit Development (PUD). This is due to on-going remediation activities on the previously proposed 43-acre park within the PUD and its correlation with provision of adequate amenities to support the development. For the past one year, staff and the applicant have been discussing ways to provide required amenities to support the Midtown PUD while the park property is still undergoing remediation. Currently, there is no set date to complete remediation activities on the park property. However, staff and the applicant reviewed the County's standard requirements for open space for planned unit developments as well as the standard created for the Midtown PUD and, after several discussions and evaluation, determined a modification to the PDP is necessary to relocate sections of the open space areas to other locations within the PUD. This is to allow current development of open space areas to support current and immediate future filings without relying on completing remediation activities on the 43-acre property.

The subject request is to amend the PDP to allow modifications to the overall site plan to redistribute locations of open space areas in the PUD, as well as modification to locations of the

residential areas. Overall, the specific areas within the PUD that are affected by the proposed PDP amendment is approximately 51.1 acres. Exhibit 3.2 of this report shows the two specific areas directly affected by the proposed request. The locations are the westernmost section of the property previously designated as a 43-acre park, and the section of the easternmost property previously designated as residential. Overall, 50 percent of open space shall be provided in the PUD with the proposed amendment. Open space areas provided in the previous PDP was 44 percent. In addition to the PDP amendment, the applicant is also requesting approvals for final development plans (FDP) and plats for filing 6, 9, 10, and the school site. The FDP and final plat request are described in the report below.

Development Standards and Regulations:

Preliminary Development Plan:

Per Section 2-01-10-02 of the County's Development Standards and Regulations, amendments to any approved development plan not determined by the Director of Community and Economic Development to be a minor amendment under the criteria set forth in Section 2-01-10-01 of the County's Development Standards shall be deemed as a major amendment. Section 2-01-10-01 of the Development Standards outlines changes to a PDP that can be reviewed administratively as a minor amendment. Because of the significant changes to the PDP to redistribute the previously approved open spaces areas, staff determined the request to be a major amendment. Per Section 2-01-10-02 of the County's Development Standards, major amendments to a PUD shall be reviewed and processed in the same manner as the original PDP; which requires review and recommendation of the Planning Commission and approval of the Board of County Commissioners.

A Preliminary Development Plan (PDP) is the first of two approvals required to establish a Planned Unit Development (PUD) district. Per Section 2-02-10-03-01 of the Development Standards, the purpose of a PDP is to establish proposed land uses, layout of landscaping, circulation, architectural elevations, and buildings in a PUD. Approval of a PDP establishes vested rights to develop a property in accordance with the plan; however, it does not allow for construction.

The second approval required for a PUD is the FDP, which is a site-specific plan that describes and establishes the type and intensity of uses for a specific parcel of land. Approval of an FDP also requires approvals of associated final plat and development agreement for all public improvements in the proposed development.

Per Section 2-02-10-03-05 of the Development Standards and Regulations, a PDP shall be consistent with the standards and regulations, compatible with existing land uses adjacent to the site, conform to the County's Master Transportation Plan, and shall be in general conformity with the Adams County Comprehensive Plan. In addition, a proposed PDP shall be consistent with approved Overall Development Plan (ODP) for the property.

The proposed third amendment to the Midtown PDP complies with the approved ODP for the property which established general land uses, residential and commercial area layout, and park and open space locations. Per Section 2-02-10-02-02 of the County's Development Standard, an

ODP shall be required for any property intended for development over time in two (2) or more separate PDP plan submittals. The subject property obtained approval for one PDP for development of the site, and not multiple, separate PDPs. Although there have been two amendments to the PDP, the overall character of development of the PUD has not changed and is consistent with the PUD requirements. In addition, the amendment does not propose any new land uses outside those approved with the ODP. The proposed amendment also conforms to the County's Master Transportation Plan and Comprehensive Plan for the area. The Developer has also constructed required public improvements for the developed areas of the property such as local streets, alleys, curb, gutter, sidewalk, drainage, trails, and landscaping. In addition, a traffic signal required at 67th and Pecos to support the development has been installed.

Below is the summary of the proposed third amendment to the PDP, including density, location and open space requirements, and changes to proposed residential areas:

Location and Percentage of Open Space:

The Midtown PDP was approved to provide an approximately 44 percent of open space areas in the development. This included the 43-acre park. However, the proposed 43-acre park on the western portion of the development is still undergoing remediation activities due to presence of contaminants resulting from past industrial uses on the property. The site requires both soil and groundwater remediation to remove the contaminants. The Colorado Department of Public Health and Environment (CDPHE) issued a No Further Action (required) letter on February 13, 2007 for all soil remediation activities on the property. However, ground water remediation activities are still being conducted on the property and the duration for completion is unknown. Due to the inability to fully predict timing of the remediation activities, the full 43-acre park site cannot be constructed until all the remediation activities have been completed.

Currently, according to CDPHE, a section of the 43-acre park can be developed as a park. A majority of the area that is now released and can be use for recreational purposes is included as open space areas in the proposed PDP. A portion of the open space area initially planned as part of the 43-acre park area has been redistributed to the easternmost part of the subject development. Specifically, the proposed PDP shows redistribution of the 43-acre park area to create two major parks consisting of an east park and west park. The east park is proposed to be approximately 5.2 acres and the west park is approximately 32.5 acres. The location of the parks also creates equal distance for residents to access the two parks. The purpose of this redistribution is also to meet the overall open space required for the development while sections of the areas previously designated as 43-acre park is still undergoing remediation.

The proposed amendment is also required to, at a minimum; comply with the current PUD open space and active recreation areas outlined in the County's Development Standards. Per Section 3-30-03-05-06 of the Development Standards, a minimum of 30 percent of open space is required for Planned Unit Developments. Per Section 3-30-03-05-03 of the Development Standards, at least 25 percent of the open space areas are required to be designated for active recreation purposes. Currently, 97 acres of the PUD have been developed with approximately forty-two percent designated as open space (i.e. 41 acres); including thirty percent as active recreation open space (i.e. 9 acres). The active open space areas include a 2 acre "home plate" park located in filing 4, a 1.2 acre pocket park located in filing 7, and a 1.28 acre community

garden and pocket park located in filing 1. Overall, open space areas provided in the PUD exceeds the County's PUD requirements, which is 30 percent of open space areas with 25 percent designated for active recreation.

The proposed third amendment to the PDP shows a total of 50 percent open space, which equates to approximately 88 acres, exceeding the County requirements as well as the previously approved PDP. Also, with the proposed amendment to the PDP, all future filings shall be required to comply with, at a minimum, the County's open space requirements for PUDs. Final design and installation of the park areas would occur prior to approval of a final plat and final development plans.

Density and Location of Residential Uses:

The PDP also shows an overall reduction in the approved number of residential dwelling units. The PDP approved in 2008 allowed for a maximum of 1,608 dwelling units. The proposed amendment reduces residential density to a maximum of 1,208 units. There are no changes to the approved housing types, lot sizes, building sizes, setbacks, height, or architectural standards.

The site plan provided with the PDP also shows future residential and commercial development on approximately 11 acres on the northwestern section of the property that was previously designated as a park. This intended use is to absorb some of the shift in open space areas to the eastern section of the development. All future development for residential uses, however, shall require approval from CDPHE. In addition, any development in the area would also require review and approval of a final plat and final development plan. The FDP would determine site specific layout of uses, including circulation, parking, architectural design, and landscaping.

Final Development Plan:

The applicant is also requesting approval of final development plans and plats. Specifically, for filing 6, 9, 10, and the school site. Per Section 2-02-10-04, a final development plan (FDP) is a site-specific development plan which describes and establishes the type and intensity of uses for a specific parcel of land. Per Section 2-02-10-04 of the Adams County Development Standards and Regulations, a final plat and development agreement are required to be submitted with a final development plan. All final plats shall conform to the criteria for approval outlined in Section 2-02-17-04-05 of the County's Development Standards. These criteria include conformance to the subdivision design standards, proof of adequate water, sanitation, and drainage facilities, and proof of adequate public infrastructure to support the development. A subdivision improvements agreement (SIA), with sufficient collateral, has also been submitted for each proposed filing.

Filing No. 6:

This filing is for development of 56 single-family detached lots and one lot designated for drainage, open space, and amenities that includes a dog park, on approximately 52.4 acres. The filing is generally located south and west of W. 68th Avenue and Zuni Street (see Exhibit 2.2). There are three home types proposed in the filing:

- **Single Family Detached / Rear-Loaded Homes:** This consists of homes designed for residents who desire a small area of outdoor space to maintain and are on lots with rear alley-loaded garages with fronts of the homes facing a street. The proposed lot sizes in

the filing vary in width and depth with home sizes that range from 1,650 to 2,850 square feet. Overall, the applicant is proposing 14 units for this housing type in this FDP.

- Single-Family Detached / Rear-Load Green Court Homes: This consists of homes designed for young families or first-time buyers and proposed to be on lots with detached and rear alley-loaded garages with fronts of the homes facing a landscaped pedestrian area. The proposed lot sizes vary in width and depth with the size of homes ranging from 1,650 to 2,850 square feet. Overall, the applicant is proposing 28 units for this housing type in the FDP.
- Single-Family Detached / Front-Loaded Homes: This consists of homes designed for residents who desire a small private rear yard area. The proposed lots vary in sizes. The units in this housing type will have front-loaded garages with size of homes ranging from 1,900 square feet to 3,000 square feet. Overall, the applicant is proposing 14 units of this housing type in the FDP.

All front, side and rear setbacks proposed is consistent with the approved Second Amendment to the PDP. Per the approved PDP, front yard setback shall be 10 feet, side setback shall be 5 feet, and rear yard setbacks shall be 8 feet. Per the plan, the applicant has included side yard use easements along common side lot lines between adjacent properties. The easement allows limited improvements such as decks, patios, and landscape on the grantee property. It also allows an adjacent property owner (grantor) some limited access for repair and maintenance of their home.

Parking:

The parking plan proposed with the FDP shows a minimum of 3.6 parking spaces per dwelling unit. Overall, a total of 203 parking spaces are proposed for the 56 units in the FDP. Eighty-three of the overall parking spaces will be on-street and one hundred and twenty (120) will be a garage and alley parking. The FDP also alleys will be used to access garages and parking for most of the homes. The rear-loaded homes within the development will have a minimum of two off-street parking spaces. No parallel parking shall be permitted on dead-end alleys, or other alleys. Parallel parking shall only be allowed between garages and alleys if there are adequate spaces for such parking. The FDP shows all proposed homes will have access to on-street parking along local streets within the development.

Common Areas:

Common areas in the proposed FDP include streetscape landscape areas, landscaped tracts, an open space trail, a 0.542-acre landscaped promenade, and a 0.401-acre linear pedestrian trail. All common areas will be maintained by the Metropolitan District (i.e. Clear Creek Station Metropolitan District). Proposed private home landscaping in the development will be installed by homeowners or builders and maintained by each individual homeowner. The County shall not be responsible for operation and maintenance of parks and open space within the development. Responsibility and enforcement of all landscape maintenance shall be the function of the Metropolitan District. Per the PDP documents, a Design Review Committee will review all private open space design in the development for compatibility. Removal of snow, ice, debris, or other obstructions from sidewalks will be a responsibility of homeowners.

Midtown Filing No. 9

This proposed filing 9 is the third amendment to an approved FDP (i.e the West 67th Avenue Amenity FDP). The Board of County Commissioners previously approved the Amenity FDP on March 13, 2013 to allow a commercial/ mixed-use area, including residential uses, within the development. The proposed amendment includes 53 single-family attached (townhome) lots and 4 commercial lots on approximately 5.907 acres. The proposed commercial lots were previously developed with parking areas, garden areas, and neighborhood amenities, such as a coffee shop and brewery. The filing is generally located southwest of the intersection of W. 68th Avenue and Pecos Street (see Exhibit 2.3). Only one design resident type is proposed:

- **Single Family Attached Townhome:** This consists of multiple houses that share one (1) or two (2) walls with an adjoining home. The sizes of building vary in square footage and range from 1,400 to 2,300 square feet. Overall, the applicant is proposing 53 units for this housing type in this FDP.

All front, side and rear setbacks will be consistent with the approved Second Amendment to the PDP. Per the approved plans, front yard setback shall be 10 feet, side setback shall be 5 feet, and rear yard setbacks shall be 8 feet.

Parking

The parking plan proposed with the FDP shows a minimum of 2.42 parking spaces per dwelling unit. Overall, a total of 128 parking spaces are proposed for the 53 units. Twenty-six of the overall parking will be on-street and one hundred and two will be garage parking. The FDP shows alleys will be used to access garages and parking for all of the homes. No parallel parking shall be permitted on dead-end alleys, or other alleys. The FDP also shows all proposed homes will have access to on-street parking along local streets within the development. The commercial portion of the development can utilize the existing eighty-nine (89) spaces located on proposed Block 2, Lot 1.

Common Areas

Common areas in the proposed FDP include streetscape landscape tracts and an existing community garden located behind the amenity buildings in the development. All common areas, including tree lawns that are adjacent to Pecos Street, will be maintained by the Metropolitan District. The County shall not be responsible for operation and maintenance of open space areas within the development. Responsibility and enforcement of landscape maintenance shall be the function of the Metropolitan District. Alleys and private streets within the development shall also be maintained by the District.

Midtown Filing No. 10

This filing includes 39 single-family detached lots on approximately 4.105 acres. The filing is generally located south and east of W. 68th Avenue and Zuni Street (see Exhibit 2.4). One home design type is proposed:

- **Single Family Detached Tea Light Home:** This will consist of homes designed for young families or first-time buyers and are on lots with detached, rear alley-loaded garages or automobile courtyards. The proposed lot sizes vary in width and depth that range from 1,201 to 1,356 square feet.

All front, side and rear setbacks will be consistent with the approved Second Amendment to the Preliminary Development Plan. Per the approved Development Plan, front yard setback shall be 10 feet, side setback shall be 5 feet, and rear yard setbacks shall be 8 feet. Per the plan, the applicant has included side yard use easements along common side lot lines between adjacent properties. This easement allows limited improvements such as decks, patios, and landscape on the grantee property and allows an adjacent property owner (grantor) some limited access for repair and maintenance of their home.

Parking

The parking plan proposed with the FDP shows a minimum of 3.0 parking spaces per dwelling unit. Overall, a total of 117 parking spaces are proposed for the 39 units in the filing. Seventeen of the overall parking will be on-street and one hundred will be garage and alley parking. The FDP also shows alleys will be used to access garages and parking for most of the homes. Rear-loaded homes within the development will have a minimum of two off-street parking spaces. No parallel parking shall be permitted on dead-end alleys, or other alleys. Parallel parking shall only be allowed between garages and alleys if there is adequate space for such parking. The FDP shows all proposed homes will have access to on-street parking along local streets within the development.

Common Areas

Common areas in the proposed FDP include streetscape landscape areas, landscaped tracts, and a 0.097-acre landscaped pedestrian trail. The filing is also adjacent to an existing 1.184-acre pocket park developed with filing 7 of the development. Filing 7 is located to the east. All common areas proposed in the filing will be maintained by the Metropolitan District. All private home landscaping will be installed by homeowners or builders and maintained by each homeowner. Adams County shall not be responsible for operation and maintenance of parks and open space within the development. Responsibility and enforcement of landscape maintenance shall be the function of the Metropolitan District. According to the FDP documents, a Design Review Committee will review all private open space design in the development for compatibility. Removal of snow, ice, debris, or other obstructions from sidewalks will be a responsibility of homeowners.

Midtown School Site

This filing includes one lot on approximately 5.32 acres and is specifically intended to fulfill the Developer's obligation and requirements for Public Land Dedication. The site is generally located at the southwestern intersection of W. 68th Avenue and Zuni Street (see Exhibit 2.5).

Mapleton School District, in coordination with the Developer, has submitted conceptual site plans showing development of the site with school buildings, play areas, and parking areas. The Department of Local Affairs (DOLA) and Department of Regulatory Agencies (DORA) have the ultimate authority to review; issue building permits for developments of the school, as well as conducting building inspections. The proposed FDP does not depict exact uses or locations of buildings as those are subject to review by the State agencies.

On-street parking is shown on local streets adjacent to the property, including W. 68th Avenue, Morrison Drive, and W. 67th Place. The landscape plan in the FDP shows installation of tree lawns along all public right-of-ways adjacent to the site. These tree lawns will be maintained by the Metropolitan District.

Major Subdivision (Final Plat):

Per Section 2-02-17-04 of the County’s Development Standards and Regulations, the applicant is requesting a major subdivision (final plat) for the proposed filings 6, 9, and 10 and a minor subdivision (final plat) for the proposed school site. Overall, the proposed plats will create 148 residential lots, 4 commercial lots, 1 lot for development of the school, and associated tracts for private alleys, open space, and drainage facilities.

The final plats are in conformance with the County’s subdivision design standards. In addition, the applicant has provided a letter of intent from Crestview Water and Sanitation District of their ability to provide services to all of the proposed developments, thus satisfying evidence of adequate water and sanitation facilities. All proposed drainage facilities in the development have been reviewed and approved by the County’s Development Services Engineering. There is also documentation showing adequate public infrastructure to support the development, as well as all required construction plans have been reviewed by the Development Services Engineering.

Subdivision Improvements Agreement:

Per Section 5-02-05 of the Adams County Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required with each proposed development. The agreement is required to address the manner and timing of the completion of all subdivision improvements and responsibility for payment of the costs of improvements associated with the development.

The current applications for final development plans and final plats include an SIA for each proposed filing. The SIAs outline the Developer’s obligation for required construction and collateral for all public improvements. The SIAs also include two phases for the public improvements. Phase One improvements consist of grading, storm sewer, street paving (initial layer), street lighting, and street signage. Phase Two improvements consist of concrete sidewalks and final top layer of asphalt on roads within each filing.

The proposed SIA for filing 6 includes a cash-in-lieu payment for required public improvements along W. 70th Avenue and Zuni Street rights-of-way that is adjacent to the development. The County intends to upgrade the existing infrastructure and the roadway to current cross-section standards. The improvements will include additional lanes, curb, gutter, and ADA compliant sidewalk. These plans are intended for a Capital Improvement Project in the next five years, and the Developer has agreed to pay the required cost of the improvements to the County in-lieu of construction.

Development Agreement:

In accordance with Section 24-68-101 of the Colorado Revised Statute and Section 1-07 of the County’s Development Standards and Regulations, the applicant is requesting to continue the vesting rights created by the approval of a site specific development plan. Per Section 11-02-495 of

the County's regulations, a site specific development plan is defined as a land use approval that grants vested rights in accordance with C.R.S. 24-68-103. Preliminary and final development plans are included in the definition of "site specific development plans."

Per Section 1-07-05 of the County's Development Standards and Regulations, a vested right shall remain in effect for three years from its effective date or by some other specified time period as adopted by the Board of County Commissioners. The County may enter into development agreements with the applicant to provide for vesting periods greater than three years where the longer vesting period is warranted in light of all relevant circumstances such as the size and phasing of the development, economic cycles, and market conditions. On July 8, 2014, the Board of County Commissioners approved a fifteen (15) year vesting of the PUD with the approval of the second amendment to the preliminary development plan. This approval granted vesting of the PUD until July 8, 2029. The applicant is requesting to continue the vesting term which expires in 2029. Staff has reviewed the proposed Development Agreement and determined it conforms to the County's development standards.

Comprehensive Plan:

The subject property is designated as Urban Residential in the County's future land use map. Per Chapter 5 of the Comprehensive Plan, Urban Residential areas are designated for single and multiple-family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents. The proposed third amendment to the PDP is consistent with the goals of the Comprehensive Plan to provide higher density housing near existing urban services and transportation facilities. In addition, the proposed redistribution of park and open space areas within the development will increase evenly access to various open spaces areas in the development, as well as reducing the need for residents to cross Pecos Street to utilize amenities in the development.

The requests for residential lots for filing 6, 9, and 10 also conform to the goals of the Comprehensive Plan by providing a mix of single and multiple family housing near major transportation corridors. The request for the school site also conforms to the goals of the Comprehensive Plan to provide supporting neighborhood uses, such as schools and parks.

Site Characteristic:

Currently, the specific areas affected by the PDP amendment and proposed filing 6, 9, 10, and school site are vacant. These undeveloped areas about the previously approved residential and commercial/mixed use filings within the development.

Surrounding Zoning Designations and Existing Use Activity:

Northwest PUD Single and Multi-Family	North City of Westminster Single Family	Northeast R-1-C Single Family
West PUD Single and Multi-Family	Subject Property PUD Vacant	East I-1 Vacant
Southwest R-2 Single and Multi-Family	South PUD Commercial	Southeast I-2 Commercial

Compatibility with the Surrounding Land Uses:

The uses surrounding the site consist of single and multi-family residential and commercial uses. The subject request for a PDP amendment, FDP approval and final plats is consistent with the existing surrounding developments and the future land use designation of Urban Residential.

Planning Commission Update:

The Planning Commission (PC) considered this case on December 14, 2017 and recommended unanimous approval of the requests. At the hearing, the PC expressed support for the revised PDP and layout showing distribution of parks and amenities in the development. The PC commended the applicant and staff for the improved layout of the development. The PC inquired about the status of the ground water remediation on the 43-acre parcel. Dave Walker from the Colorado Department of Public Health and Environment (CDPHE) informed the PC that the remediation activities have been on-going for the past ten years and is in its last stage of completion; however, there is no date certain for the completion. He also informed the PC that the equipment used in the ground water cleanup, a system of monitoring wells and pipes, cannot currently be removed, and the site will require at least one year of monitoring after the equipment is removed to ensure the contamination has been fully remediated.

The PC asked the applicant to explain the reason for reduction of the overall residential density of the development. The applicant explained that areas on the eastern side of the development had originally been designated for higher density residential such as apartments; however, those areas have now been designated for single-family residential development. The PC also requested the applicant to provide a brief summary of their response to the residents’ requests regarding design of the remaining park areas. The applicant stated they have conducted neighborhood meetings and preference surveys and will continue to work with the residents for the final designs for the park areas and also continue to work with the residents to provide the requested amenities including a dog park on the east side of the development.

During the public testimony section of the hearing, five people spoke on the requests. Four residents who also reside in the Midtown development spoke in favor of the revised PDP site plan and requested specific amenities, such as a dog park, and adult-oriented recreational uses such as volleyball or tennis courts, to be provided on the east side of the community. In addition, one person who spoke expressed concerns with limited parking spaces within the development,

especially at existing community center. She informed the PC that retail uses in the development are attracting more visitors from outside the neighborhood and creating parking issues outside the designated parking areas. The applicant responded and informed the PC that they are working with members of the Metropolitan District and the management company hired by the Metro District to address parking policies within the development.

Jim Merlino, a Midtown resident and developer of the adjacent Pomponio PUD, and his legal counsel also spoke on the subject proposal and requested the Planning Commission to consider requiring the applicant to provide connectivity and an appropriate buffer between the Midtown Development and the adjacent developments. Specifically, they requested the PC to require a one-hundred foot pedestrian and landscape buffer on the western edge of the 43-acre parcel. Mr. Merlino stated the one-hundred foot buffer would create connectivity between the developments, allowing all residents adjacent to the site to access the parks, open space, and new school within the Midtown development. The PC expressed support for the connectivity and stated connecting developments always creates healthy neighborhoods. The PC recommended the applicant to incorporate such connectivity in their final development plan for the area. The applicant responded and informed the PC that they have not completed design of the proposed residential area on the northwestern portion of the 43-acre parcel. However, they believe a one-hundred foot buffer may be too restrictive. Staff has proposed a recommended condition of approval to require the applicant to provide connectivity as part of any final development plan for the area.

Referral Comments:

The Colorado Department of Transportation (CDOT), State Division of Water Resources, Xcel Energy, Urban Drainage and Flood Control District, Colorado Geological Survey, Tri-County Health Department, and West Adams Conservation District reviewed the subject application and expressed no concerns with the proposed residential development or proposed PDP amendments.

Tri-County Health Department reviewed the request and stated the existing environmental covenant on the western portion of the PDP will require modification and approval from the Colorado Department of Public Health and Environment prior to any future development for commercial or residential uses.

Perl Mack Neighborhood Organization reviewed the request and expressed a desire to see additional commercial area designated within the development to accommodate the growing population of the area. They also expressed a desire for the re-alignment of 70th Avenue as was previously shown in the 2008 PDP site plan.

The proposed amendment shows potential commercial/mixed-use development as well as residential uses on the western portion of the development. From the application documents, the current alignment of W. 70th Avenue and Zuni Street will remain; however, the County has a proposed capital improvement project (CIP) for re-development of the alignment. The CIP will improve the street to current urban roadway standards that include curb, gutter, and sidewalk from the intersection of 68th Ave. and Zuni Street west to the intersection of Zuni Street and Federal Boulevard. In addition, the applicant has agreed to pay fee-in-lieu for required public improvements along section of the property abutting W. 70th Ave and Zuni St.

STAFF RECOMMENDATION:

Based upon the application, the criteria for approval for a Preliminary Development Plan, Final Development Plan, Major Subdivision Final Plat, and Subdivision Improvement Agreement, and a recent site visit, staff recommends Approval of this request with 18 findings-of-fact, and four conditions.

RECOMMENDED FINDINGS OF FACT

Preliminary Development Plan:

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any approved ODP for the property.
 - a. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by: Incorporating natural physical features into the development
 - b. design and providing sufficient open spaces considering the type and intensity of use;
 - c. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - d. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - e. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
 - f. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and

- g. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

Final Development Plan:

8. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
9. The FDP conforms to the P.U.D. standards.
10. The FDP is consistent with any approved PDP for the property.
11. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Major Subdivision Final Plat:

12. The final plat is consistent and conforms to the approved preliminary plat.
13. The final plat is in conformance with the subdivision design standards.
14. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
15. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
16. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
17. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
18. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Recommended Conditions of Approval:

1. Prior to approval of FDPs, each proposed plan shall show and demonstrate conformance with overall required open space for the development.
2. Prior to requesting preliminary approval of the public improvements within the Zuni street right-of-way, the developer must deliver to the County a 'No Further Action' letter from the Colorado Department of Public Health and Environment (CDPHE) for the Zuni street right-of-way.
3. The facility parcel (previously designated as a 43-acre park area) shall be developed with, at a minimum, 32 acres of open space.

4. There shall be a bike and pedestrian trail connection within the PA-11 Open Space/Park lot that provides a connection into the County’s regional trail system. This trail connection shall run from 70th Ave, along the western boundary of the Midtown subdivision, to the Little Dry Creek trail within the PA-11 Open Space/Park lot. The exact location shall be determined at the time of FDP for the residential portion of PA-11.

CITIZEN COMMENTS

PRC2017-00007: PDP Amendment

Notifications Sent	Comments Received
808	43

Notices were sent to all property owners within the Midtown development as well as within 700-foot radius of the site. Staff received forty-two comments. The major concerns expressed include provision of adequate drainage infrastructure, providing adequate recreational amenities such as a dog park, tennis courts to support the development. Other concerns expressed include inadequate parking within the development and likely reduction of open space within the development. The property owner directly adjacent to the west of the development (Pomponio Terrace Holdings, LLC) commented that the proposed amendment is not consistent with the approved Overall Development Plan and the proposed future residential uses on the western section of the development would be incompatible with the planned single-family development within the Pomponio PUD.

The proposed PDP only establishes general uses and layouts within the development. Per the County’s Development Standards, site specific plans and details, such as types of amenities, parking, landscape, and circulation, will be determined at the time of Final Development Plan (FDP) approval, especially for the remaining undeveloped areas within Midtown. The proposed amendment to redistribute open space areas and designation of certain areas for commercial and residential development are compatible with existing and proposed development adjacent to the site.

PRC2016-00012: Filing 6

Notifications Sent	Comments Received
403	0

*1,000 ft buffer

PRC2016-00018: Filing 9

Notifications Sent	Comments Received
287	40

As of writing this report, staff has received forty comments from the notifications sent to property owners within 750 feet of the filing. The majority of comments expressed opposition to the proposed townhomes and requests for additional commercial development as depicted in the PDP and Midtown marketing materials. The comments also included concerns for lack of adequate parking for the proposed townhome units and removal of a temporary dog park located

within the filing. A majority of those that responded to the comments also requested a neighborhood meeting to review the proposal with the Developer.

The applicant held a neighborhood meeting on April 13, 2017 to discuss the townhome proposal and also to survey the residents for their preference to open space and parks amenities future filings. Staff attended the meeting and informed the residents that proposed residential uses shown with the filing were previously permitted in the Second Amendment to the Preliminary Development Plan. In addition, the FDP and parking plan for filing 9 conforms to the minimum parking requirements for the development as outlined in the PDP

PRC2016-00017: Filing 10

Notifications Sent	Comments Received
188	0

*750 ft buffer

PRC2017-00002: School Site

Notifications Sent	Comments Received
457	1

*1,000 ft buffer

As of writing this report, staff has received one comment from the notifications sent to property owners within 1,000 feet of the subject site. This person expressed concerns with the proposed location of the school site as it is adjacent to a property undergoing soil and groundwater remediation.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

None.

Responding without Concerns:

Colorado Department of Transportation
 Division of Water Resources
 Colorado Geological Survey
 Perl Mack Neighborhood Organization
 Tri-County Health Department
 Urban Drainage and Flood Control District
 Xcel Energy

































Notified but not Responding / Considered a Favorable Response:

Adams County Fire Protection District
 Century Link
 City of Westminster
 Colorado Division of Wildlife
 Colorado Division of Mining Reclamation
 Comcast
 Crestview Water and Sanitation

Goat Hill
Hyland Hills Park and Recreation District
Mapleton School District
Metro Wastewater Reclamation
RTD
Westminster Fire Department
Westminster School District 50



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Midtown Filing No. 9

PRC2016-00018

Exhibit 2.3



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- ⊠ Airport Noise Overlay

Midtown Filing 10
 PRC2016-00017

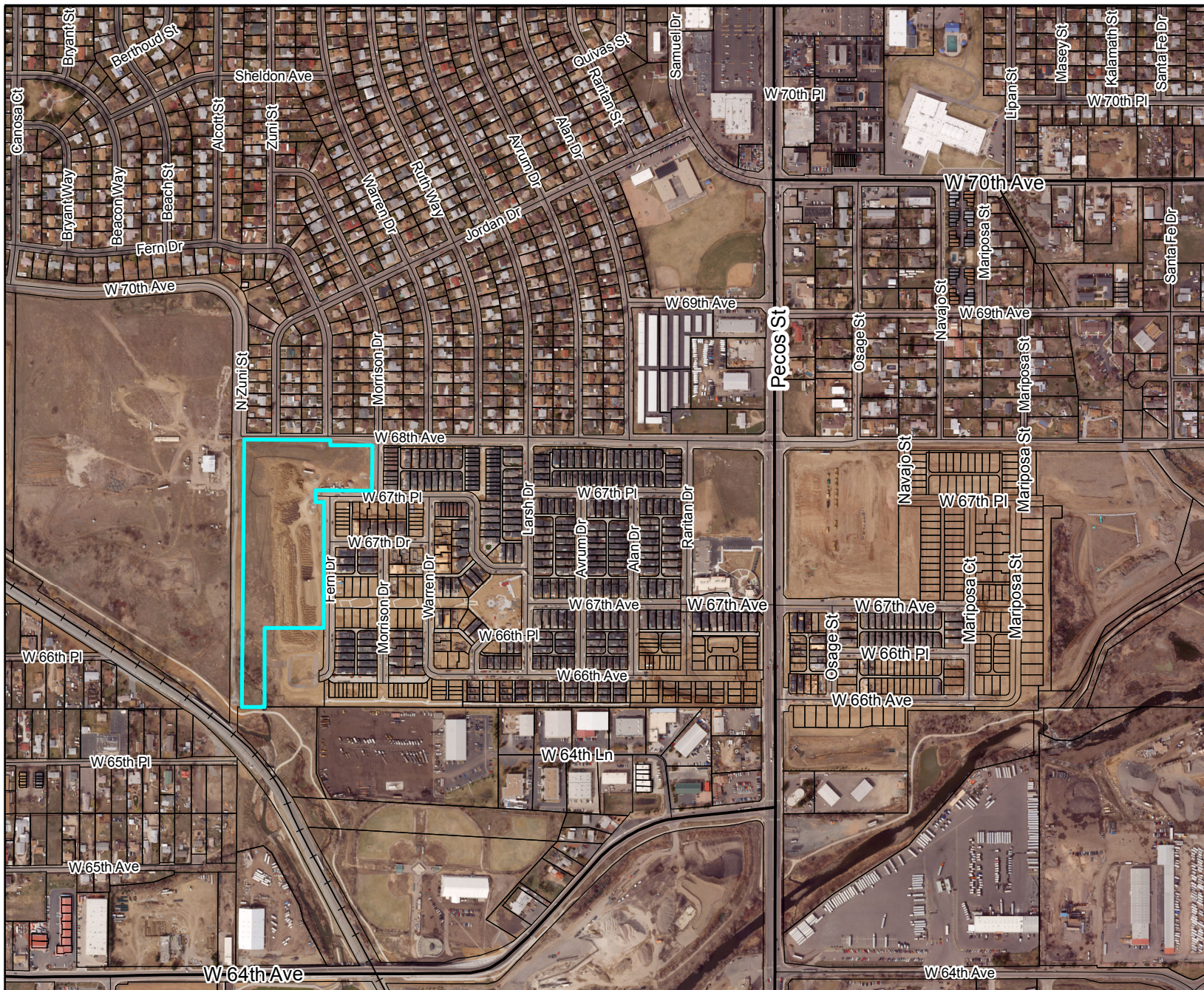
Exhibit 2.4



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

PRC2017-00002

MIDTOWN SCHOOL PARCEL

Exhibit 2.5



For display purposes only.



ADAMS COUNTY
COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

WRITTEN STATEMENT

This application is for the third amendment of the approved Preliminary Development Plan for the Midtown at Clear Creek Property. A summary of history of the Midtown PDP is as follows:

- Midtown at Clear Creek Preliminary Development Plan
 - The original PDP, Case PRJ2007-00024 was approved by the Board of County Commissioners on February 25, 2008.
 - The Overall Development Plan and PDP provided for single-family detached, attached, and apartment residential products and associated parks and open spaces as well as a 5-acre school site
- Midtown at Clear Creek –Preliminary Development Plan Amendment No. 1
 - The 1st PDP Amendment, Case PRC2012-00001 and PRC2012-00007 was approved by the Board of County Commissioners on July 25, 2012 and recorded at Reception No. 2012000060630.
 - The PDP Amendment was to allow reduced lot sizes and setbacks, and an updated site plan based on market demands.
- Midtown at Clear Creek –Preliminary Development Plan Amendment No. 2
 - The 2nd PDP Amendment, Case PUD2013-00010 was approved by the Board of County Commissioners on July 8, 2014 and recorded at Reception No. 2014000046992.
 - The primary purpose for this amendment was to relocate the school site to 68th Avenue
 - Additional updates were made to update the plan to include new residential products, additional street sections, and an updated site plan based on market demands.
- Midtown at Clear Creek –Preliminary Development Plan Amendment No. 3
 - This 3rd Amendment to the PDP is to redistribute the parks, open spaces, and residential densities across Midtown.
 - With the approval of a residential PUD to the west, residential uses have shifted to the western edges of Midtown, still maintaining a +/-27 acre park.
 - A +/-5 acre park is included on the eastern edge of Midtown to increase access to parks and open space across the community.
 - Reduction in total unit count from 1,608 to 1,208.

Third Amendment to the Preliminary Development Plan

It is the Applicant's intent to amend the approved Second Amendment to the Preliminary Development Plan for the Midtown at Clear Creek Property. This amendment would supersede portions of the Second Amendment to the Preliminary Development Plan approved and recorded on July 18, 2014 and would be referred to as the Third Amendment to the Preliminary Development Plan (PDP Amendment No.3).

This Third Amendment to the PDP is intended to reallocate residential and park and open space uses across the site. The overall residential density is reduced by approximately 25% from 1,608 units to 1,208 units. A residential parcel has been added to the western edge of Midtown abutting the residential PUD known as Pomponio Terrace. This residential parcel is intended to frame the "PA-11 Open Space Park" as a Midtown amenity. The PA-11 Open Space Park remains a prominent site feature at +/-27-acres. In addition, this Amendment includes a reduction in residential area within the Future Phase PA-7 on the eastern end of Midtown. Additional open space has been added to increase park access across the site. This is shown on the PDP Amendment map as "PA-7 Open Space Park". All

Midtown improvements west of Zuni Street will require clearance from the Colorado Department of Health and Environment (CDPHE).

The Midtown at Clear Creek PDP Amendment No. 3 continues to meet the following criteria, as outlined by Adams County:

1. The PDP is consistent with the Adams County Comprehensive Plan and any available area plan.

Land use designations in the 2012 Adams County Comprehensive Plan are Urban Residential on the west and east sides of Pecos Street. The proposed land uses in the PDP Amendment No. 3 remain consistent with those designations. Proposed changes in land use are to add residential and mixed uses within PA-11 and to reduce residential within Future Phase PA-7, with the addition of the PA-7 Open Space Park.

The proposed residential and mixed use land uses in the PDP Amendment No.3, help to establish a positive connection to existing and planned adjacent land uses and defining a land use pattern that will be consistent with the character of Midtown.

2. The PDP is consistent with the purposes of these standards and regulations.

The proposed Midtown at Clear Creek PDP Amendment No 3 is consistent with the County's standards and regulations and carries the intent of those standards forward while proposing additional standards to proactively address various land use and design situations that are not covered in current County standards.

3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.

The plan for Midtown at Clear Creek PDP Amendment No. 3 is designed to bring complementary uses together. The northern property boundary of the PA-11 residential area includes new single family homes that orient fronts of these homes towards 70th Avenue and the PA-11 Open Space Park. These homes help frame the park, enabling safer recreational uses with Midtown homes fronting the Midtown open spaces. This change would also help to balance the open spaces across the site, potentially reducing pedestrian crossings across Pecos Street. Where proposed residential uses meet nonresidential uses, landscape buffers have been incorporated as transitions.

4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.

The proposed Midtown at Clear Creek PDP Amendment No.3 conforms to the Adams County Transportation Plan and will have minimal impacts in the area. Roadway improvements have been designed within Midtown to sufficiently handle residential and commercial traffic. Additionally, design for 70th and Zuni Streets is currently underway for future improvements by the County. These improvements will be completed by Adams County in the future and the developer will be contributing cash-in-lieu.

5. The PDP is consistent with any applicable drainage plans.

The proposed Midtown at Clear Creek PDP Amendment No.3 is consistent with applicable drainage plans that are available for the surrounding area. Proposed improvements take into account the FAHD Study Urban Drainage prepared in 2005 for Clear Creek as well as LOMR's and other available floodplain information (FIRM's, etc.) from FEMA. Filing 6 will be constructed consistent with the approved CLOMR.

6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific concerns.

The proposed Midtown at Clear Creek PDP Amendment No.3 includes regulations to create a vision and framework for future site plans, open space and architectural character. These regulations allow for future design development decisions to be made at Final Development Plan and Final Plat to ensure Midtown continues to develop in order to meet community needs and market demands.

7. The PDP is consistent with any approved ODP for the property.

The proposed Midtown at Clear Creek PDP Amendment No.3 is consistent with the ODP approved for this project which allows a maximum of 1,608 residential dwelling units, as well as the other supporting land uses included in the PDP. This Amendment reduces the maximum amount of residential dwelling units to 1,208.

8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:

- a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
- b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
- c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and
- f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

In addition to the above criteria, natural features are also incorporated in the neighborhood design through a series of open spaces that provide local parks, recreation and open space benefits to Midtown residents. Implementation of the County's plans is also established through connection to existing residential neighborhoods, industrial businesses and future transit-oriented development projects nearby. Providing a plan that adequately transitions these land uses is a positive outcome for existing and future residents alike. The Midtown at Clear Creek PDP Amendment No. 3 plan also increases pedestrian connection to regional trails, particularly through the future planned programming of the PA-11 and PA-7 Open Space Parks and the site is located less than a mile from an RTD commuter rail / bus regional transit site.

To help develop and confirm appropriate programming of the PA-11 and PA-7 Open Space Parks, Brookfield engaged the community with a survey to help define the open space recreational uses most desired by the existing residents. The recreational uses proposed are consistent with the results of that survey.

The conceptual design for the PA-11 Open Space Park includes a dog park, picnic shelter, picnic tables, and a running trail loop as a first phase. The plan for future phase at PA-11 Open Space Park includes multi-use recreational fields, an outdoor amphitheater, additional running and walking trails, as well as a playground area and picnic shelter. The future phase will be completed as areas of West Open Space Park are released by CDPHE.

The recreational programming of the PA-7 Open Space Park will include additional trails, and trail connections, dog park, picnic shelter, and picnic tables, and open lawn area.

An overall plan will be included in the proposed PDP Amendment No. 3 application addressing any proposed modifications to land uses and their corresponding acreages, project phasing, development standards, design of the streetscape through cross-sections, intended design character for residential architecture and various landscaping areas, and other character elements. The information provided in the proposed PDP Amendment No. 3 establishes a framework and development standards to ensure the character of Midtown is carried forward into future filings as the site is built out. All necessary additional detail will be provided at the Final Development Plan and Final Plat stage of the review and approval process in the County as each future phase is designed, engineered, and constructed.

MIDTOWN

AT CLEAR CREEK

IN THE COUNTY OF ADAMS, COLORADO

THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN NARRATIVE

NARRATIVE

A. Explanation of the Characteristics of the PUD and its Potential Impact on the Surrounding Area
Midtown at Clear Creek PUD is comprised of approximately 182 acres that has been historically known as the Hamilton Sundstrand property. It is bordered by Clear Creek and industrial land to the south, existing residential to the north, a residential PUD to the extreme west- with Pecos Street bisecting the property.

Midtown at Clear Creek is envisioned as a traditional neighborhood community with mixed-use infill land uses that will invigorate this part of southwest Adams County. Incorporated into the community will be a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks, and trails. The property is located near I-76 to the south, I-25 to the east, US 36 to the north and is bisected by Pecos Street. Access points located along 68th Avenue have been minimized to help deflect traffic away from the existing neighborhoods located to the north of the site. Much of the Midtown at Clear Creek traffic is planned to primarily access West 67th Avenue which has a signalized intersection funneling traffic onto Pecos Street. Future transit/rail opportunities are planned south of the property near 72nd Avenue and Federal Boulevard by RTD under the FasTracks program. The community will have convenient access to major transportation corridors in the Denver Metro Area.

Midtown at Clear Creek resides on the former Hamilton Sundstrand property and adjacent parcels. Previous industrial practices caused groundwater contamination on the former Hamilton Sundstrand property, as well as on adjacent parcels to the east. On February 13, 2007, the Colorado Department of Health and Environment determined TCE and other chlorinated solvents in the groundwater beneath parcels east of the Hamilton Sundstrand property are not a threat to human health and environment. Conditions of these parcels are suitable for unrestricted use and occupancy, including single family residential uses without any restrictions or limitations. Current cleanup activities on the former Hamilton Sundstrand property is the continued cleanup of the main contaminant source area, construction of additional cleanup systems to address remaining contaminant hotspots, and the construction of expanded cleanup systems at the remote facility. Final cleanup will be followed by an extended period of post-cleanup monitoring. As of 2017, clean up and monitoring activity continues within the facility parcel west of the Zuni Street right of way. All other areas within Midtown have been given clearance with a No Further Action [required] by Colorado Department of Public Health an Environment (CDPHE).

B. Expected Densities and Land Coverage

The approved Midtown at Clear Creek ODP allowed for 1,608 units. Per the Third Amendment to the Midtown at Clear Creek PDP, the overall number of allowable residential units for the Midtown at Clear Creek development is reduced to 1,208 units with a gross density of approximately 6.6 dwelling units / acre. Densities of residential homes will generally be higher towards Pecos Street and may generally become lower moving away from the Pecos Street corridor.

The proposed density is appropriate for this infill site. This community will provide open space areas consistent with this type of urban infill development and exceeds the Adams County standards for open space requirements. Prototypical housing types and development standards have been included in this submittal package indicating setbacks and residential unit/lot configurations.

C. Number, Type, and Size of Buildings or Units

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section C: Single Family Detached Homes, Green Court Homes/Single Family Detached, Rear-Loaded Cottage Home/Single Family Detached, Townhome or Duplex Homes/Single Family Attached.

D. Provisions for Parking

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section D.

E. Circulation and Road Patterns

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section D.

F. Ownership and Maintenance of Common Areas

Tract ownership and maintenance can be found on the plat documents (as they may be amended) or through contact with the Metro District.

All common areas will be maintained by the Metro District. The Metro District is responsible for the enforcement of landscape maintenance requirements. Through the Metro District, a DRC (Design Review Committee) will review private open space design for compatibility. Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). Maintenance of the tree lawn between front property line and street shall be the primary responsibility of the homeowner in most circumstances under the requirements of the Metro District covenants. Adams County is not responsible for repairing or maintaining landscaping that is damaged as a result of roadway maintenance activities, including but not limited to de-icing chemicals and street repairs.

G. Type, Location, Examples of Copy and Construction Signs

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section G.

H. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown at Clear Creek is to create a mixed use infill community that includes a variety of home types including single family detached homes, single family attached homes, duplexes, townhomes, condominiums and apartments, and commercial/mixed-use. This local commercial/mixed-use site is envisioned to have potential neighborhood service retail uses and/or other community-oriented uses, as well as residences. Auto repair/sales and other "industrial" type uses will not be allowed. Up to 3.0 acres of commercial mixed use is permitted in PA-11 adjacent to 70th Avenue and Zuni Street. Home occupations are allowed pursuant to the Declaration of Easements and Master Architectural and Maintenance Standards for Midtown.

I. Location and Types of Landscaping and Maintenance Provisions

The infill community of Midtown at Clear Creek proposes a variety of parks and open spaces strategically located throughout the community. These parks, open spaces, landscaped water quality areas and tree lawns on all public streets are proposed to be maintained by the Metro District, or private lot owners. Common areas are subdivided and shown as tracts on each of the plats for Midtown at Clear Creek Crossing.

A Conceptual Landscape Plan has been included as part of this submittal that demonstrates the general intent in the key landscaped spaces within the community. Detailed designs will be prepared during the Final Development Plan stage of County approval for these areas as they are Final Platted. Open space and active open space lands within Midtown will meet and exceed County requirements as stated in the Adams County Development Standards and Regulations. The minimum open space that shall be provided is 30 percent of the total Midtown acreage.

As an integral part of the landscape for Midtown at Clear Creek, the detention ponds will be incorporated into various open space areas. These detention ponds shall allow retaining walls to be constructed inside of the pond as part of the grading design solution. Retaining walls cannot be placed in a manner that would make them a safety hazard to the public, or a possible maintenance obstruction to the drainage facilities. Walls will be complementary to the other site design and landscape elements and specific wall design and materials will be identified with each Final Development Plan application.

J. Description of Building Envelopes Including Square Footage and/or Number of Units, Minimum Setbacks, Height, General External Characteristics

The approved PDP document and this Third Amendment to the Preliminary Development Plan indicate a variety of housing types. A maximum of 1,208 residential units is planned, with residential units on the commercial/mixed-use site. Residential lots are planned for a wide variety of home types, including single-family detached, single-family attached and multi-family units. Street-loaded and alley-loaded garages/driveways are anticipated for these homes. All detached residences shall have a covered porch and all other residential structures shall have a covered stoop or equivalent covered area on all ground floors. Final lot design and layouts will be prepared with future Final Development Plan and Final Plat land use applications in the County. Future applications will meet PDP, Third Amendment to the Preliminary Development Plan and County requirements as necessary. The lot diagrams included on sheets 6-10 in the Second Amendment to the Preliminary Development Plan are intended to depict general layout information but do not address every potential lot layout that may be proposed.

Setbacks and building heights are consistent with other similar urban infill types of communities occurring within the Front Range. Development standards have been included on sheet 6 of 7 in this Third Amendment to the Preliminary Development Plan. The Midtown Design Guidelines allow for incorporation of a variety of architectural styles from contemporary to more regional styles such as craftsman or prairie (please see architectural standard sheets included in this Third Amendment to the Preliminary Development Plan). Design of the homes will be created utilizing community-wide guidelines, Declaration of Easements and Master Architectural and Maintenance Standards for Midtown. All community development on the property should comply with these standards when they are adopted by the Design Review Committee.

In order to transition into the existing neighborhood fabric, the Midtown plan has considered adjacent land uses, form, and intensity. Midtown's gridded layout ties into existing streets to the north allowing vehicular and pedestrian connectivity among existing and proposed neighborhoods. Midtown embraces the existing residential community to the north by applying predominately single family detached homes which front onto 68th Avenue, bringing neighbors face-to-face. This northern edge for Midtown also incorporates an enhanced landscape buffer that generally mirrors building setbacks in the existing neighborhood located across 68th Avenue. Proposed homes along this edge address roofline compatibility through the use of front porch canopies that respond socially and architecturally in scale to the adjacent ranch style homes. Architectural compatibility in the transition area has been addressed through developing the architecture for Midtown homes, permitting traditional styles, colors and materials. The use of compatible materials and strong color palettes also respond similarly to the bold color of the adjacent brick homes.

K. Covenants to be Imposed on the PUD

Architectural and landscape design guidelines have been developed for the Midtown community. All builders and homeowners will be required to go through the DRC (Design Review Committee). The County shall not approve a building permit until DRC approval is obtained. Development standards for setbacks, unit/lot configurations and other controlling provisions have been included in the approved PDP and this Third Amendment to the Preliminary Development Plan.

L. Additional Controls such as Architectural Control Committee of a Property Owner's Association

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section L.

M. Utilization and Location of any Outdoor Signage

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section M.

N. Utility Service Providers

The Crestview Water and Sanitation District, serving the area located west of Pecos, and the North Pecos Water and Sanitation District, serving the area located east of Pecos Street, have indicated that they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. The Metro District shall maintain the sanitary sewer east of Pecos Street, as well as the alleys east and west of Pecos Street. Midtown Subdivision Improvement Agreements outline the full ownership and maintenance responsibilities.

O. Estimated Timetable for Development

The estimated length of time for build-out is approximately five (5) to fifteen (15) years.

P. Any other Pertinent Factors Concerning the Development

Formerly, two (2) fire departments served this property, the North Washington Fire District and the Southwest Adams County Fire District. These have merged into one fire department, Adams County Fire Rescue, which services the entire Midtown development.

Q. Vesting Rights

This Midtown at Clear Creek Third Amendment to the Preliminary Development Plan is approved by Adams County as a site specific development plan pursuant to C.R.S. Section 24-68-101, et seq., as amended, and the Adams County Development Standards and Regulations, creating vested property rights to develop the property in the manner contemplated by the approved Overall Development Plan and Preliminary Development Plan. Subsequent approvals in connection with the development contemplated by the Preliminary Development Plan, Second Amendment to the Preliminary Development Plan, and Third Amendment to the Preliminary Development Plan, if and when properly approved in due course by Adams County, shall likewise be vested for the balance of the Term as defined herein. Pursuant to Section 24-68-101, et Seq., C.R.S., approval of this Second Amendment to the Preliminary Development Plan creates vested property rights. The Term of the statutory vested rights shall be fifteen (15) years, commencing on approval date of this Second Amendment to the Preliminary Development Plan. The Term is warranted in light of all relevant circumstances, including, but not limited to, the size and phasing of the development, economic factors, and market and environmental conditions.

R. General Provisions

The Midtown at Clear Creek Preliminary Development Plan, as amended by the Second Amendment to Preliminary Development Plan and as amended by this Third Amendment to Preliminary Development Plan (collectively, the "Midtown PDP") sets forth the permitted zoning and land uses for the property legally described on sheet 1 hereof. If there is a conflict between the Midtown PDP and the Adams County Code (as in effect on May 6, 2011), the Midtown PDP shall control. Matters not addressed in the Midtown PDP shall be governed by the Adams County Code (as in effect on May 6, 2011).

S. Definitions

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Section S.

The following restrictions apply to the Side Yard Use Easements:

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Sections A. through G.

The following restrictions apply to the shared driveway easement:

Refer to the Midtown Second Amendment to the Preliminary Development Plan, Reception No. 2014000046992 for approved Sections A. through F.

Sheet Title

WRITTEN
NARRATIVE

Sheet Number

2 OF 7

**Brookfield
Residential**

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO, 80111
303-706-9451

REDLAND
Where Great Places Begin
1000 17th Street, Suite 1000
Denver, Colorado 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

MIDTOWN AT CLEAR CREEK

THIRD AMENDMENT TO THE
PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date

10/06/2017

Revision Date

11/13/2017

12/14/2017

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO
THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
NARRATIVE / PHASING PLAN / PDP HISTORY

PHASING

Phasing Plan

Phasing for the Midtown at Clear Creek community will occur in a logical and cost effective manner based on infrastructure extension and market conditions. The project is expected to be built in several phases over several years. This project will be completed in multiple phases and will generally begin adjacent to Pecos Street and move west and east over time. Final park designs will be approved with a Final Development Plan. Other phases will be identified by the Developer. Additional Final Development Plan applications where included acreage, unit counts and the various types of improvement areas will be quantified.

Due to the overall size of the project, each phase identified within Midtown at Clear Creek may be constructed concurrently with any other phase. Previously identified phases do not require completion prior to another phase beginning construction. Phases may be combined during the construction process, as determined by the Developer. The PA-11 Park will be developed with PA-11. The PA-7 Open Space Park will be developed with PA-7.

PRELIMINARY DEVELOPMENT PLAN HISTORY

1. Midtown at Clear Creek Preliminary Development Plan

a. The original PDP, Case PRJ2007-00024 was approved by the Board of County Commissioners on February 25, 2008.

b. The Overall Development Plan and PDP provided for single-family detached, attached, and apartment residential products and associated parks and open spaces as well as a 5-acre school site.



2. Midtown at Clear Creek - PDP Amendment No. 1

a. The 1st PDP Amendment, Case PRC2012-00001 and PRC2012-00007 was approved by the Board of County Commissioners on February 25, 2012 and recorded at Reception No. 2012000060630.

b. The PDP Amendment was to allow reduced lot sizes and setbacks, and an updated site plan based on market demands.



3. Midtown at Clear Creek - PDP Amendment No. 2

a. The 2nd PDP Amendment, Case PUD2013-00010 was approved by the Board of County Commissioners on July 8, 2014 and recorded at Reception No. 2014000046992.

b. The primary purpose for this amendment was to relocate the school site to 68th Avenue.

c. Additional updates were made to revise the plan to include new residential products, additional street sections, and an updated site plan based on market demands.



4. Midtown at Clear Creek - PDP Amendment No. 3

a. This 3rd amendment to the PDP is to redistribute the parks, open spaces, and residential densities across Midtown. With the approval of a residential PUD to the west, residential uses have shifted to the western edges of Midtown, still maintaining a +/- 32.5 acre open space/park.

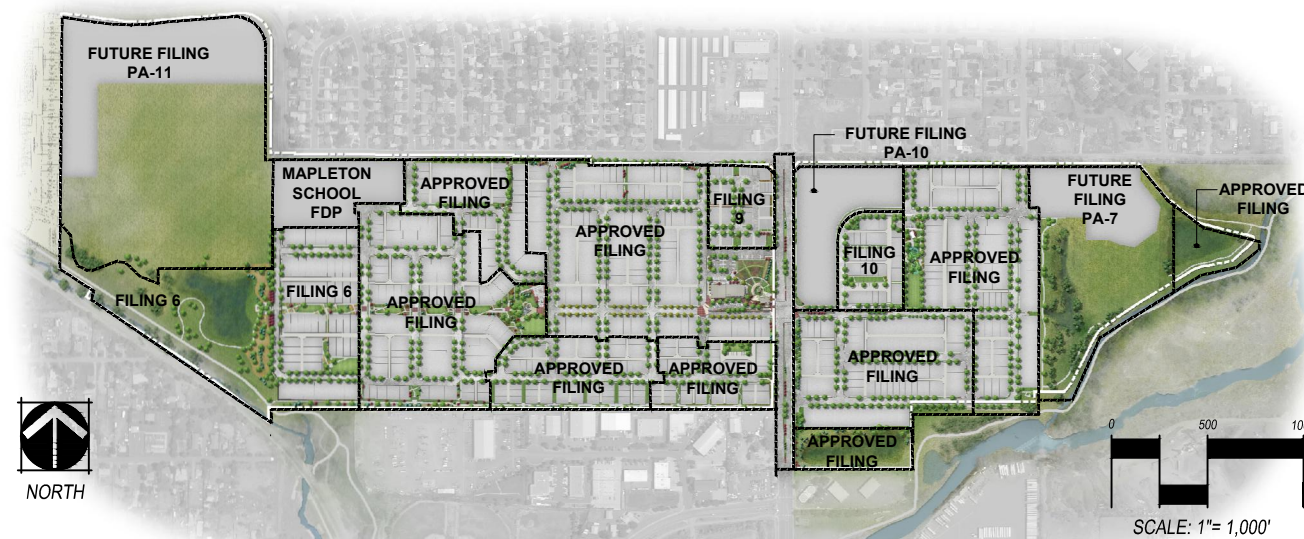
b. A +/- 5 acre park is included on the eastern edge of Midtown to increase access to parks and open space across the community.

c. A reduction in total unit count from 1,608 to 1,208.

d. The 70th and Zuni road rights of way will remain in their current alignment (Alignment B from PDP Amendment No. 2).



PHASING MAP



Note: Filing 6, Filing 9 and Filing 10 shall be subject to the requirements and standards of the Midtown at Clear Creek Preliminary Development Plan as amended by the Second Amendment to Preliminary Development Plan.

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO
THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
SITE PLAN

Sheet Title

SITE
PLAN

Sheet Number

4 OF 7

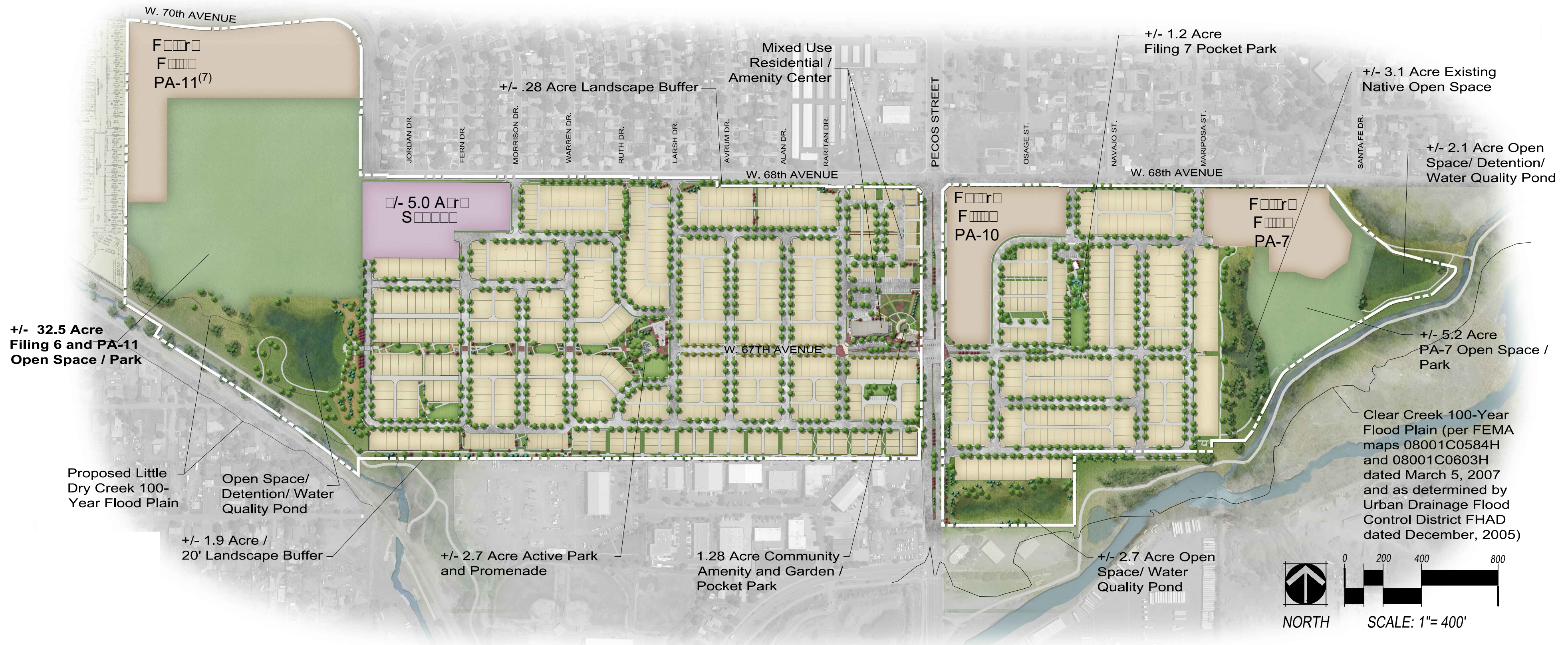
Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com



LEGEND

USE	ACRES	DENSITY	F.A.R
COMMERCIAL/ MIXED USE	UP TO 8.2 ACRES		.25
SCHOOL	5.0 ACRES		
RESIDENTIAL	80.2 ACRES	VARIES	
PARK/OPEN SPACE/ DETENTION/ LANDSCAPE BUFFER/ GREEN COURT/ ROAD RIGHT OF WAY	88.4 ACRES		
TOTAL:	181.8 ACRES		

- EXISTING RESIDENTIAL
- PROPOSED / FUTURE FILING RESIDENTIAL
- SCHOOL
- EXISTING PARKS AND OPEN SPACE
- PROPOSED / FUTURE PARKS AND OPEN SPACE

NOTES:

- Boundaries of the project are shown on the site plan. The project boundaries are shown on the site plan.
- All proposed roads and access points are shown on the site plan. Final access points and road classifications will be determined through the Development Plan / Final Plat approval process.
- Drainage facilities for this project may be served by one (1) or more temporary detention ponds. Permanent drainage infrastructure will be provided in the future. It is understood that areas within the limits of a temporary detention pond will not develop until permanent drainage infrastructure is constructed. Final drainage facility locations shall be determined at the time of FDP for the residential portion.
- Water quality ponds are shown on the site plan. Final water quality pond locations shall be determined at the time of FDP for the residential portion.
- Road construction shall be completed prior to the start of residential construction. Final road construction shall be completed within 10 months of the start of residential construction.
- Proposed roads shall be constructed to meet the standards of the City of Clear Creek. Final road construction shall be completed within 10 months of the start of residential construction.
- Construction of the proposed roads shall be completed prior to the start of residential construction.
- A generally mid-Park will be required. Further, a generally mid-Park will be required. The exact locations shall be determined at the time of FDP for the residential portion of the PA-11.

Grading: 6.6 DU / Acre
 Boundaries: 181.8 Acres
 30' Open Space/Residential: 54.57 Acre
 25' Open Space/Residential: 13.64 Acre
 Open Space/Park: 88.4 Acres

MIDTOWN AT CLEAR CREEK
THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
 ADAMS COUNTY, COLORADO

Issue Date

10/06/2017

Revision Date

11/13/2017

12/14/2017

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO
THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
OPEN SPACE SITE PLAN

Sheet Title

OPEN SPACE
SITE PLAN

Sheet Number

5 OF 7

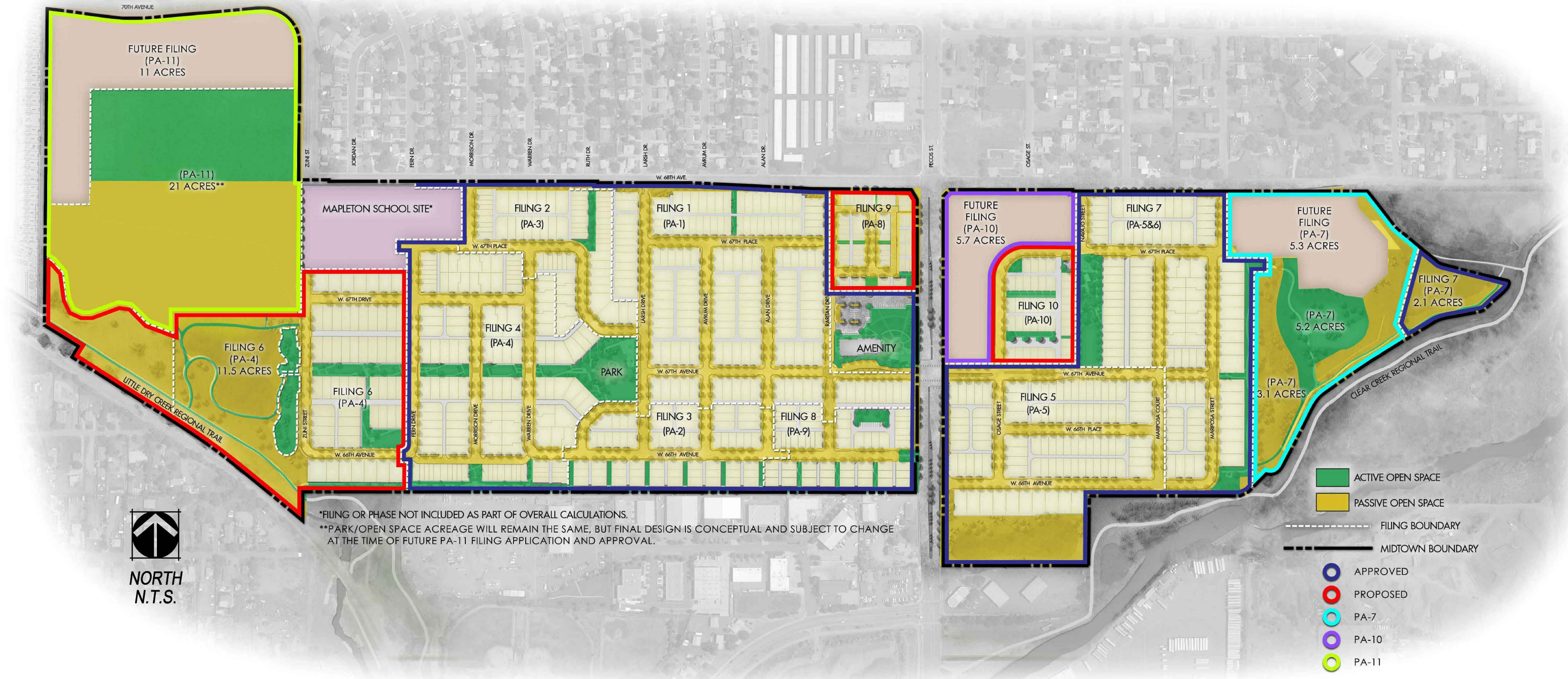
Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
222 28th Street
Denver, Colorado 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com



*FILING OR PHASE NOT INCLUDED AS PART OF OVERALL CALCULATIONS.
**PARK/OPEN SPACE ACREAGE WILL REMAIN THE SAME, BUT FINAL DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE AT THE TIME OF FUTURE PA-11 FILING APPLICATION AND APPROVAL.

MIDTOWN ACTIVE/PASSIVE OPEN SPACE PER FILING

	FILING/PA ACREAGE (SEE NOTE 1)	PROVIDED OPEN SPACE (AC) (SEE NOTES 1,2)	OPEN SPACE AS PERCENTAGE OF FILING/PA ACREAGE	ACTIVE (AC)	% OF MIN. REQUIRED OPEN SPACE THAT IS ACTIVE
APPROVED FILINGS (1, 2, 3, 4, 5, 7, 8, AMENITY)	97.4	41.0	42.1%	9.0	30.7%
PROPOSED FILINGS (6, 9, 10)	28.0	16.5	58.8%	3.8	45.2%
PA-7	13.6	8.3	61.0%	2.0	49.0%
PA-10	5.7	1.7	30.0%	0.4	25.0%
PA-11	32.0	21.0	65.7%	4.8	50.0%
TOTAL:	176.6	88.4	50.1%	20.0	37.7%

NOTES:
1. CALCULATIONS ARE NOT INCLUSIVE OF MAPLETON SCHOOL SITE.
2. CALCULATED AS A PERCENTAGE OF MIDTOWN PROJECT TOTAL ACREAGE LESS 5.0 ACRE SCHOOL DEDICATION.
3. CALCULATED AS A PERCENTAGE OF TOTAL MINIMUM REQUIRED OVERALL OPEN SPACE.
4. ALL CALCULATIONS ARE BASED ON ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS WHICH REQUIRE A MINIMUM OPEN SPACE THAT IS 30 PERCENT OF THE TOTAL ACREAGE AND THAT 25 PERCENT OF THE MINIMUM OPEN SPACE BE ACTIVE.
5. PROVIDED ACREAGES ARE BASED ON CONCEPTUAL DESIGNS AND ARE SUBJECT TO CHANGE. MINIMUM OPEN SPACE REQUIREMENTS WILL BE MET AT TIME OF PLATTING.

MIDTOWN AT CLEAR CREEK

THIRD AMENDMENT TO THE
PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date

10/06/2017

Revision Date

11/13/2017

12/14/2017

MIDTOWN

AT CLEAR CREEK

IN THE COUNTY OF ADAMS, COLORADO

THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN DEVELOPMENT STANDARDS

Sheet Title

DEVELOPMENT
STANDARDS

Sheet Number

6 OF 7

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
1200 Broadway
Denver, Colorado 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Branding
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

USE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH <small>See Notes: 13, 14</small>	MAXIMUM LOT COVERAGE <small>See Note: 9</small>	MAXIMUM DENSITY	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:		MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE <small>See Note: 4, 8, 10, 11, 12</small>	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE <small>See Note: 4, 8, 10, 11</small>	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES <small>See Note: 8, 5</small>	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES <small>See Note: 8</small>	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES		MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES		MAXIMUM BUILDING HEIGHT <small>See Note: 7</small>	MAXIMUM ACCESSORY STRUCTURE HEIGHT
					ARTERIAL <small>See Note: 2,3</small>	COLLECTOR <small>See Note: 6</small>					13' ALLEY	24' ALLEY	13' ALLEY	24' ALLEY		
Single Family Detached Home with Rear Loaded Garage	2,000 SF	30'	70%	12 DU / ACRE	20'	15'	10'	10'	5'	15'	8'	4.5'	8'	4.5'	45'	28'
Single Family Detached Home with Front loaded Garage	3,600 SF	40'	70%	8 DU / ACRE	20'	15'	10'	10'	5'	10'	3' NO ALLEY		N/A	N/A	45'	28'
Single Family Attached Duplex Home with Rear Loaded Garage	900 SF	15'	70%	16 DU / ACRE	20'	15'	10'	10'	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	8'	4.5'	45'	28'
Single Family Attached Townhome with Rear loaded Garage	900 SF	15'	80%	16 DU / ACRE	20'	15'	10'	10'	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	8'	4.5'	45'	28'
Multi-Family	N/A	N/A	N/A	30 DU / ACRE	20'	15'	10'	15'	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	8'	4.5'	50'	28'
Non - Residential	5,000 SF	N/A	70%	0.25 FAR	0'	0'	0'	N/A	5' EXTERIOR WALL 0' COMMON WALL	15'	8'	4.5'	8'	4.5'	50'	28'

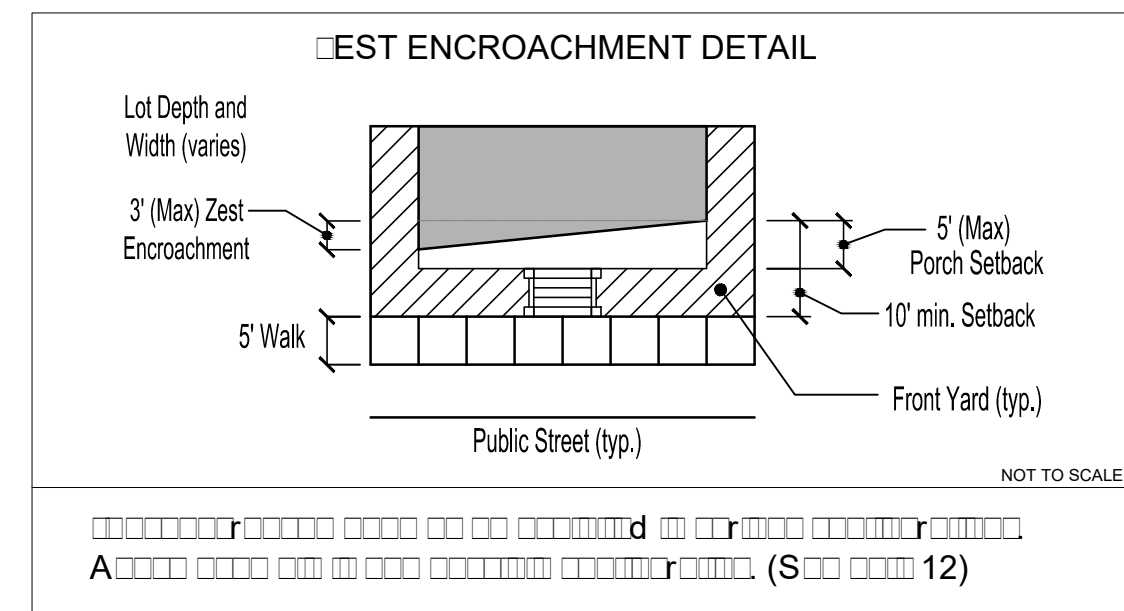
1,208 Max Units
See Note: 1

NOTES:

- Maximum number of units will be 1,208.
- No direct access to arterial streets for individual residences is permitted.
- Setback is measured from arterial right-of-way to building.
- The garage door face for the lot shall be at least 18' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Setbacks will follow local street standards on West 67th Avenue.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Lot coverage is defined as the area covered by the buildings and accessory buildings.
- Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of way or transportation and utility easements.
- The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
- Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).
- Measurement of lot width dimension for lots with Z-shaped lot line(s) is based on an average of the measurement of the front and rear lot width.
- Flag lots are permitted with a frontage of 30'.

GENERAL NOTES:

- When necessary, tread of first entry step may be located immediately adjacent to public sidewalk.
- Use easements are permitted generally as depicted on sheet 6, 7, 8, 9, and 10 of Architectural Standards in this Second Amendment to the Preliminary Development Plan. Improvements including but not limited to decks, patios, landscaping, walls, fences, rails, furniture, driveways and similar elements not exceeding 30' in height are permitted within the defined use easement.
- Principal Structures do not include attached or detached garages or other accessory structures.
- A tandem garage configuration is calculated the same way as a garage with standard configuration for meeting residential parking requirements.
- For residential lots with multiple street frontages, all sides of the home facing the street must follow the setbacks for "Min. Front Yard Setback for Principal Structure" and "Min. Front Yard Setback for all structures adjacent to an Arterial Street".
- All setbacks are measured to right-of-way/property line and are exclusive of transportation and utility easements.
- Roof overhangs are permitted in the building setback and are not included as a part of lot coverage. In no instance may an encroachment cross the property line or be located less than six-feet from the building face of the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements. All building components such as roof overhangs, decks, sidewalk bump-out, chimneys, that are less than 5' from a property line must meet all current building code requirements. Roof overhangs shall not exceed 12" into the areas where openings are prohibited as noted in current building code.
- Minimum floor area of dwellings shall be according to Adams County standards.
- All detached residences shall have a covered porch and all other residential structures shall have a covered stoop or equivalent covered area on all ground floors.
- The maximum height of the two story residential units shall be 35 feet along 68th Avenue and the maximum height within the development shall not exceed 4 stories or fifty feet, whichever is less. 35 foot height restriction is applicable to 50 feet adjacent to 68th Avenue right-of-way. Mixed Use and Multi-Family Buildings greater than three-stories are subject to the International Building Code (IBC). The maximum height of a single family residence shall not exceed 3 stories in height when constructed of V-B materials (combustible) per Table 503 of the 2006 IBC. A maximum of 4 stories is permitted for a single family residence if using a construction type of IV, III, II per Table 503 of the IBC.
- All accessory units above detached garages shall not exceed 27 feet measured from garage finish floor to roof mid-point. A maximum of 30% of the single family homes shall be allowed to have an accessory unit (mother-in-law/carriage unit).
- Homes along 68th Avenue will respond to adjacent architectural character by minimizing "zest" components as defined in this Second Amendment to the Preliminary Development Plan Home designs shall be approved by Midtown Design Review Committee / Metro District.
- Habitable space permitted over garage structure shall meet the requirements of the then current IRC and IECC and amendments within the governing municipality.
- 24' alleys for fire access are not necessary if all portions of structure is within 150' of a parked fire truck from adjacent street.



ARCHITECTURE

Rear Yard Setback: 15' (Principal Structure), 15' (Garage)
 Front Yard Setback: 10' (Principal Structure), 10' (Garage)
 Side Yard Setback: 5' (Principal Structure), 5' (Garage)
 Minimum Floor Area: 900 SF (Single-Family), 900 SF (Townhome), 900 SF (Duplex)
 Maximum Height: 45' (Single-Family), 50' (Multi-Family)
 Maximum Density: 12 DU / Acre (Single-Family), 30 DU / Acre (Multi-Family)
 Minimum Lot Size: 2,000 SF (Single-Family), 3,600 SF (Townhome), 900 SF (Duplex)
 Minimum Lot Width: 30' (Single-Family), 40' (Townhome), 15' (Duplex)
 Maximum Lot Coverage: 70% (Single-Family), 80% (Townhome), 70% (Duplex)
 Minimum Front Yard Setback for Principal Structure: 10' (Single-Family), 10' (Townhome), 10' (Duplex)
 Minimum Front Yard Setback for Garage Structure: 10' (Single-Family), 10' (Townhome), 10' (Duplex)
 Minimum Side Yard Setback for All Structures: 5' (Single-Family), 5' (Townhome), 5' (Duplex)
 Minimum Rear Yard Setback for Principal Structures Excluding Garages: 15' (Single-Family), 15' (Townhome), 15' (Duplex)
 Minimum Rear Yard Setback for Detached Accessory Structures: 8' (Single-Family), 4.5' (Townhome), 8' (Duplex)
 Minimum Rear Yard Setback to Garage Door Face for Alley Load Homes: 8' (Single-Family), 4.5' (Townhome), 8' (Duplex)
 Maximum Building Height: 45' (Single-Family), 50' (Multi-Family)
 Maximum Accessory Structure Height: 28' (Single-Family), 28' (Townhome), 28' (Duplex)

STREET SECTIONS, PARKING AND EASEMENTS

Rear Yard Setback: 15' (Principal Structure), 15' (Garage)
 Front Yard Setback: 10' (Principal Structure), 10' (Garage)
 Side Yard Setback: 5' (Principal Structure), 5' (Garage)
 Minimum Floor Area: 900 SF (Single-Family), 900 SF (Townhome), 900 SF (Duplex)
 Maximum Height: 45' (Single-Family), 50' (Multi-Family)
 Maximum Density: 12 DU / Acre (Single-Family), 30 DU / Acre (Multi-Family)
 Minimum Lot Size: 2,000 SF (Single-Family), 3,600 SF (Townhome), 900 SF (Duplex)
 Minimum Lot Width: 30' (Single-Family), 40' (Townhome), 15' (Duplex)
 Maximum Lot Coverage: 70% (Single-Family), 80% (Townhome), 70% (Duplex)
 Minimum Front Yard Setback for Principal Structure: 10' (Single-Family), 10' (Townhome), 10' (Duplex)
 Minimum Front Yard Setback for Garage Structure: 10' (Single-Family), 10' (Townhome), 10' (Duplex)
 Minimum Side Yard Setback for All Structures: 5' (Single-Family), 5' (Townhome), 5' (Duplex)
 Minimum Rear Yard Setback for Principal Structures Excluding Garages: 15' (Single-Family), 15' (Townhome), 15' (Duplex)
 Minimum Rear Yard Setback for Detached Accessory Structures: 8' (Single-Family), 4.5' (Townhome), 8' (Duplex)
 Minimum Rear Yard Setback to Garage Door Face for Alley Load Homes: 8' (Single-Family), 4.5' (Townhome), 8' (Duplex)
 Maximum Building Height: 45' (Single-Family), 50' (Multi-Family)
 Maximum Accessory Structure Height: 28' (Single-Family), 28' (Townhome), 28' (Duplex)

MIDTOWN AT CLEAR CREEK

THIRD AMENDMENT TO THE
PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date

10/06/2017

Revision Date

11/13/2017

12/14/2017

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO
THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN
LANDSCAPE PLAN

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO, 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com



NOTES:

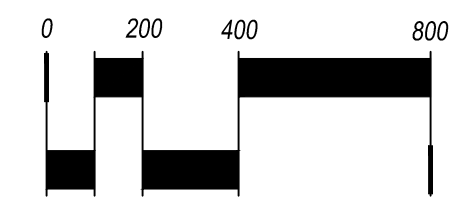
1. T... / ... / ...
2. P... / ... / ...
3. T... / ... / ...
4. A... / ... / ...
5. T... / ... / ...
6. A... / ... / ...

CONCEPTUAL LANDSCAPE PLAN

T... L... P... / ... / ... PDP and F... S... A... P... D... P... G... E... A... F... T... C... L... P... PDP and F... S... A... P... D...



NORTH



SCALE: 1"= 400'

MIDTOWN AT CLEAR CREEK

THIRD AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN

ADAMS COUNTY, COLORADO

Issue Date

10/06/2017

Revision Date

11/13/2017




12/14/2017

midtown

MIDTOWN FILING SIX CONCEPTUAL SITE PLAN

Exhibit 3.3

LEGEND

QTY.	I.D.	UNIT TYPE
14		FRONT-LOADED HOMES
42		REAR-LOADED HOMES
		LIMIT OF WORK

W 70TH AVENUE

LOT 2, BLOCK 4
FUTURE PARK AREA

LOT 3, BLOCK 4
POTENTIAL SCHOOL
USE / OPEN SPACE

LOT 1, BLOCK 4
FUTURE SCHOOL
SITE

LIMIT OF WORK

W 67TH DRIVE

TRACT A

TRACT B

TRACT C

TRACT D

W 66TH AVENUE

LIMIT OF WORK

W 67TH PLACE

W 67TH DRIVE

FILING FOUR

LIMIT OF FILING 6 AREA

LIMIT OF FILING 6 AREA

LIMIT OF WORK

TRACT F

TRACT G

ZUNI ST.

JORDAN DR.

FERN DR.

LIMIT OF FILING 6 AREA

W 68TH AVENUE

MORRISON DR.

CIVIL ENGINEER:



DEVELOPER:



PLANNER/LANDSCAPE ARCHITECT:



AUGUST 30, 2016



0 40' 80' 160'

SCALE: 1" = 80'

AT A 24" X 36" SHEET SIZE

PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE. FUTURE PHASE AREAS ARE CONCEPTUAL AND WILL BE FINALIZED DURING THE FDP AND FINAL PLAT PROCESS.

CERTIFICATE OF OWNERSHIP

Midtown, LLC, being an owner of Midtown at Clear Creek - Filing No.6, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20_____.

Notary Public _____

My commission expires: _____

B.P.I. Westminster, LLC, being an owner of Midtown at Clear Creek - Filing No.6, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20_____.

Notary Public _____

My commission expires: _____

Clear Creek Station Metropolitan District No. 1, being an owner of Midtown at Clear Creek - Filing No.6, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20_____.

Notary Public _____

My commission expires: _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of Commissioners this _____ day of _____ 20_____.

 Eva J. Henry, Chair

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20_____.

 County Clerk and Recorder

By Deputy: _____

The Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado on the day of _____ 20_____ File No. _____, Map No. _____, Reception No. _____.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

MIDTOWN

AT CLEAR CREEK
 IN THE COUNTY OF ADAMS, COLORADO

Case No.: PRC2016-00012

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING SIX

LAND OWNERS		APPLICANT	PREPARERS	PREPARERS
B.P.I Westminster 2880 Broadway Denver, CO 80211	Midtown, LLC 6465 S. Grand Blvd. Suite 700 Denver, CO 80111 303-706-9451	Midtown, LLC 6465 S. Grand Blvd. Suite 700 Denver, CO 80111 303-706-9451	ENGINEER: Redland 1500 West Colfax Denver, CO 80120 720-283-6783	PLANNER: Norris Design 1101 Broadway Denver, CO 80204 303-892-1166

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4 ALL IN TOWNSHIP 3 SOUTH RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1 BLOCK 1 AND A PORTION OF JUNI STREET OF SUNDRAND SUBDIVISION AS RECORDED AT RECEPTION NO. A026880 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE. TRACT O AND A PORTION OF FERN DRIVE OF THE PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 201400076746 IN SAID RECORDS. TOGETHER WITH A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4. COUNTY OF ADAMS. STATE OF COLORADO. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4. TOWNSHIP 3 SOUTH RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SOUTHWEST CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

BEGINNING AT THE SOUTH SOUTHWEST CORNER OF SAID SECTION 4 AND SECTION 5;

THENCE ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 5, SOUTH 00°26'28" WEST A DISTANCE OF 112.05 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF C & S RAILROAD ALSO BEING ON THE SOUTHERLY BOUNDARY OF SAID SUNDRAND SUBDIVISION AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 6551.57 FEET THE RADIUS POINT OF SAID CURVE BEARS SOUTH 39°31'32" WEST.

THENCE DEPARTING SAID EAST LINE ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°05'10" AN ARC LENGTH OF 810.27 FEET;
2. TANGENT TO SAID CURVE NORTH 57°33'37" WEST A DISTANCE OF 404.92 FEET;
3. NORTH 32°26'23" EAST A DISTANCE OF 50.00 FEET;
4. NORTH 57°33'37" WEST A DISTANCE OF 177.22 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID LOT 1;

THENCE ALONG THE WESTERLY, NORTHERLY AND EASTERLY BOUNDARY OF SAID LOT 1 THE FOLLOWING SEVEN (7) COURSES:

1. DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY, NORTH 00°34'23" EAST A DISTANCE OF 1349.53 FEET;
2. SOUTH 83°07'30" EAST A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1063.39 FEET;
3. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46" AN ARC LENGTH OF 215.53 FEET;
4. TANGENT TO SAID CURVE NORTH 85°15'44" EAST A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
5. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44" AN ARC LENGTH OF 267.94 FEET;
6. TANGENT TO SAID CURVE SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET;
7. SOUTH 00°26'28" WEST, A DISTANCE OF 1119.83 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 77.50 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY OF LOT 1, SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 76°56'59", AN ARC LENGTH OF 104.08 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF JUNI STREET AS DESCRIBED IN BOOK 856 AT PAGE 61 IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 811.38 FEET TO THE SOUTHERLY BOUNDARY OF LOT 1. MIDTOWN AT CLEAR CREEK SCHOOL SITE RECORDED UNDER RECEPTION NO. _____ IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY BOUNDARY, SOUTH 89°43'26" EAST, A DISTANCE OF 404.02 FEET TO THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. SOUTH 00°16'34" WEST, A DISTANCE OF 744.93 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 21.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 33.77 FEET;
3. NON-TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 49.75 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 74.50 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 00°16'34" EAST;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°02'33", AN ARC LENGTH OF 27.36 FEET TO THE NORTHERLY EXTENSION OF THE EASTERLY BOUNDARY OF SAID TRACT O;

THENCE NON-TANGENT TO SAID CURVE ALONG SAID NORTHERLY EXTENSION AND THE EASTERLY BOUNDARY OF SAID TRACT O, SOUTH 00°16'34" WEST, A DISTANCE OF 137.45 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'26" WEST A DISTANCE OF 432.01 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 52.356 ACRES (2,280,634 SQUARE FEET) MORE OR LESS.

STAFF REVIEW

Approved as to form by: _____

Community and Economic Development _____

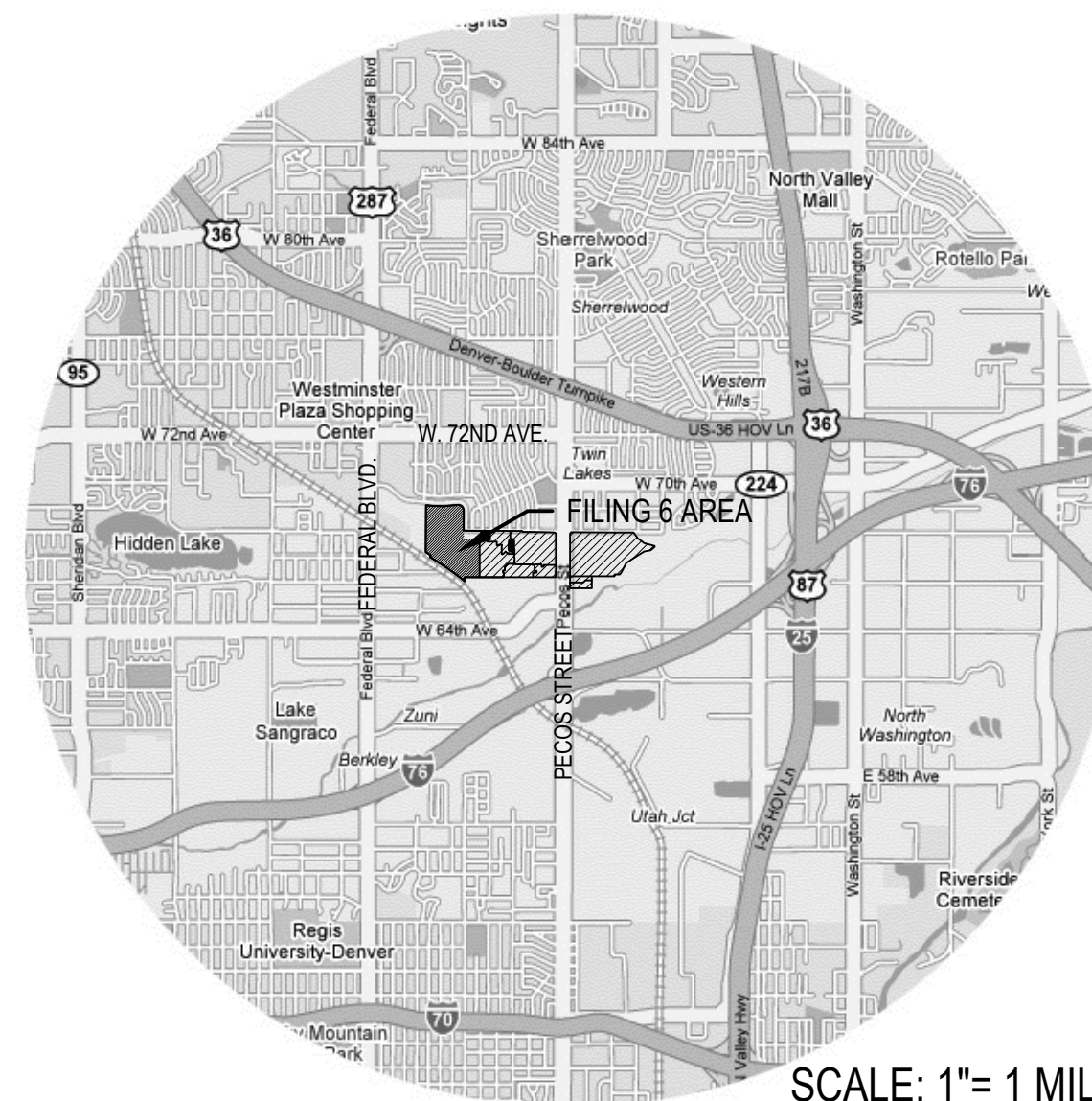
County Attorney _____

Filing No.: _____

Map No.: _____

Reception No.: _____

VICINITY MAP



SCALE: 1" = 1 MILE

SHEET INDEX - PUD-FDP

- SHEET 1: COVER SHEET
- SHEET 2: WRITTEN NARRATIVE
- SHEET 3: WRITTEN NARRATIVE
- SHEET 4: CONTEXT MAP
- SHEET 5: SITE PLAN
- SHEET 6: LANDSCAPE SITE PLAN
- SHEET 7: LANDSCAPE SITE PLAN
- SHEET 8: LANDSCAPE SITE PLAN
- SHEET 9: LANDSCAPE SITE PLAN
- SHEET 10: LANDSCAPE SITE PLAN
- SHEET 11: LANDSCAPE SITE PLAN
- SHEET 12: LANDSCAPE SITE PLAN
- SHEET 13: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 14: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 15: LANDSCAPE TYPICALS
- SHEET 16: LANDSCAPE TREE LAWNS
- SHEET 17: LANDSCAPE PLANT LIST
- SHEET 18: LANDSCAPE PLANT LIST
- SHEET 19: ARCHITECTURAL STANDARDS
- SHEET 20: ARCHITECTURAL STANDARDS
- SHEET 21: DETAILS
- SHEET 22: DETAILS
- SHEET 23: DETAILS
- SHEET 24: DETAILS

Sheet Title

COVER SHEET

Sheet Number

1 OF 24

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
 Centennial, CO 80111
 303-706-9451

REDLAND

Where Great Places Begin

Logo for Norris Design

NORRIS DESIGN
 Planning | Landscape Architecture | Project Presentation

1101 Barnock Street
 Denver, CO 80204
 P 303.882.1186

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR CONSTRUCTION

NARRATIVE

N. Utilization and Location of any Outdoor Signage

All proposed temporary signage will be submitted for approval and meet County signage standards and ordinances. Refer to section H in this narrative for monumentation signage.

O. Utility Services

Crestview Water and Sanitation District has indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Filing Six Subdivision Final Plat.

P. Estimated Time Table for Development

The estimated length of time for build-out of the Filing Six residential area of Midtown is one (1) year, beginning Fall 2017. Full build-out for the Midtown neighborhoods, including the final improvements of the open space / park, is approximately five (5) to fifteen (15) years.

Q. Any other Pertinent Factors Concerning the Development

Southwest Adams County Fire District will service the Midtown property west of Pecos Street, including the Filing Six FDP area. Refer to the Filing Six plat notes for any other development factors pertinent to Filing Six.

R. Definitions

Alley Loaded / Rear Loaded Garage: A garage with the vehicular door access located onto an alley located at the rear (or sometimes side) of the lot.

Front Loaded Garage: A garage with the vehicular door access located onto street Right of Way located at the front of the lot.

Side Yard Use Easements are hereby granted along all common side lot lines within all detached home lots.

Side Yard Use Easements:

Side Yard Use Easements occur from front property line to rear property line and extend from the Grantor's building foundation to the lot line between the Grantor's and Grantee's parcels that shall be granted to the easement Grantee per the restrictions outlined below. Refer to Figure 1 on this sheet for a graphic representation of the Side Yard Use Easement.

The following restrictions apply to the Side Yard Use Easements:

- a. Easement Grantee shall have full access and enjoyment of the easement including construction of improvements, use, and maintenance of the space included in the easement. Fences and walls used as privacy screens may not encroach into the front and rear setback. Improvements including but not limited to decks, patios, landscaping, walls, fences, rails, furniture and similar elements are permitted within the defined side yard use easement. Decks, patios and walls, other than privacy screens, in excess of 30-inches in height (as measured from finished grade) are not permitted in side yard use easements. Only landscaping, hardscape, and irrigation improvements are permitted within front and rear setbacks. Side Yard Use Easement procedures and policies shall be managed by the CCSMD. No improvements may be implemented at the detriment of the Grantor's ability to maintain their home.
- b. Side Yard Use Easements are permitted on detached single family lots only.
- c. All improvements by Grantee located within the Side Yard Use Easement shall be maintained by the easement Grantee.

- d. Easement Grantor is ensured of access within this easement for maintenance and repair of the principal structure located on the easement Grantor's lot and for no other purpose. The Design Review Committee of the CCSMD approves all plot plans before authorizing application to Adams County for issuance of building permit. For issue resolution the CCSMD is granted access into this easement.
- f. All principal structures, including garages, owned by easement Grantor shall be maintained by easement Grantor.
- g. Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- h. Grantee shall not alter finished grade and/or drainage patterns on the Grantor's property without the written approval of the Design Review Committee. Altering drainage patterns may also require approval and permits from Adams County.

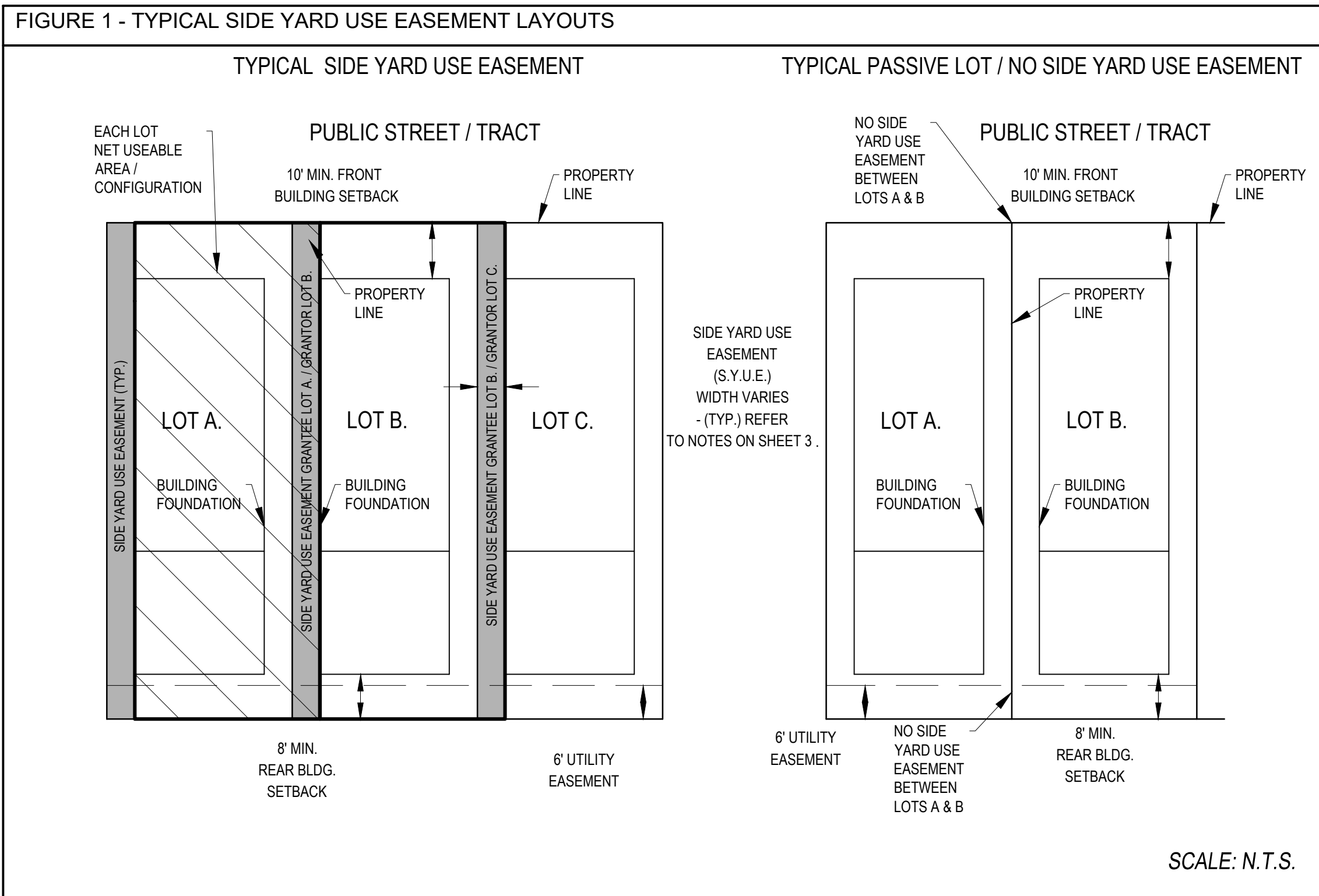
Definitions:

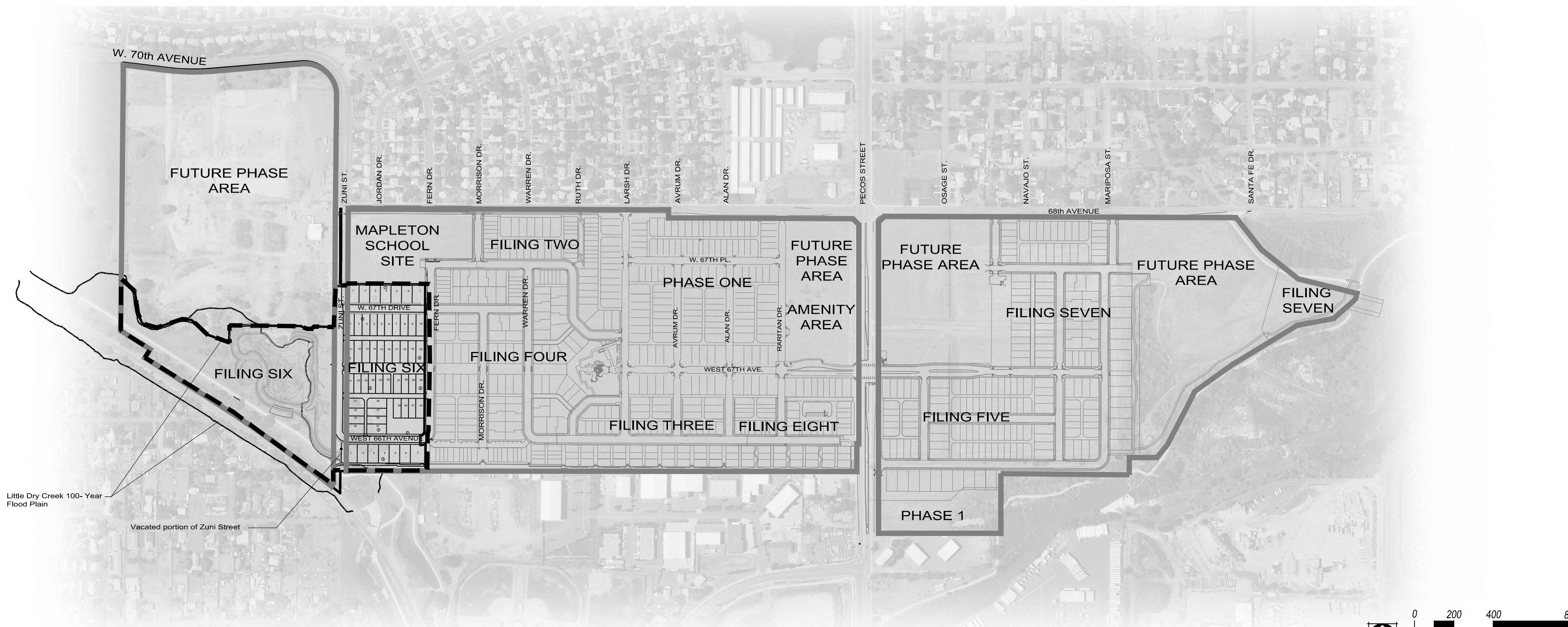
Easement Grantor: the lot owner granting side yard area to adjacent lot owner for use.

Easement Grantee: the lot owner gaining side yard area from adjacent lot owner for use.

S. Staging:

The residential lots and related landscape tracts are planned to be constructed in two (2) stages. Stage one (1) includes the pond area, the dog park, and residential lots. Future stages will include the remainder of the open space / park landscape north of the detention pond. Anticipated stage areas are general and subject to change.





MIDTOWN AT CLEAR CREEK SITE PLAN - CONTEXT MAP



LEGEND

- MIDTOWN PROPERTY BOUNDARY
- FILING SIX AREA

DEVELOPMENT AREA

FILING SIX	20.377 ACRES	
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES	1,608 MAX UNITS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

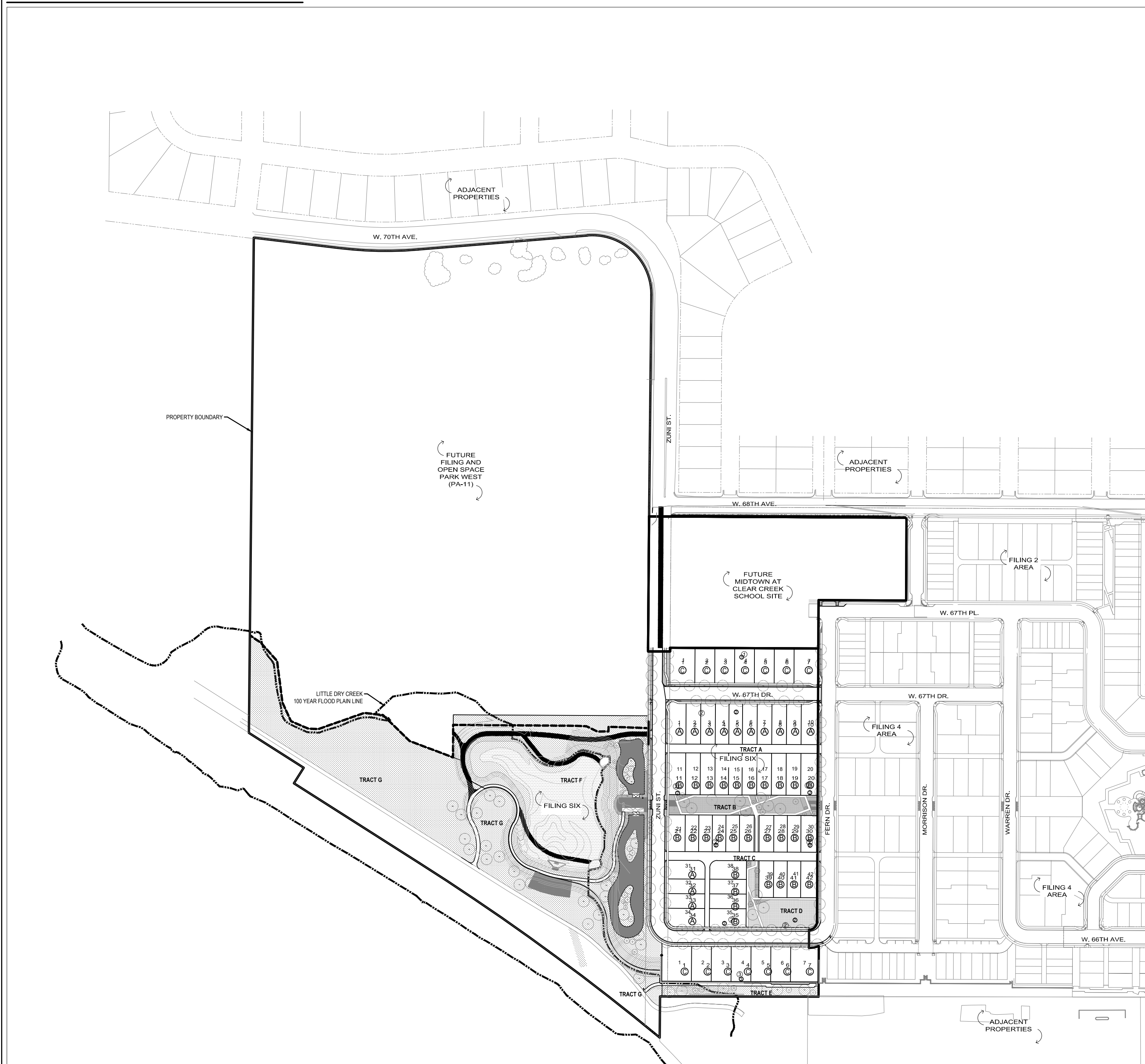
6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR CONSTRUCTION

FILING SIX - SITE PLAN



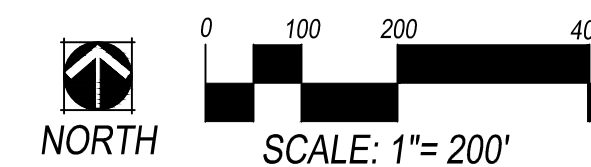
FILING SIX LOT BREAKDOWN

LOT TYPE	QUANTITY
(A) SINGLE FAMILY DETACHED REAR-LOADED LOT	14
(B) SINGLE FAMILY DETACHED GREEN COURT LOT	28
(C) SINGLE FAMILY DETACHED FRONT-LOADED LOT	14
TOTAL	56

- NOTES:
- HOUSING VARIETIES: REFER TO SHEET 19 FOR LOT TYPE DETAILS.
 - THESE ARE THE ANTICIPATED LOT QUANTITIES. FINAL PRODUCT WILL BE PROVIDED AT TIME OF BUILDING PERMIT.

FILING SIX PARKING COUNT

DESCRIPTION	LOTS & BLOCKS	QUANTITY
SINGLE FAMILY DETACHED REAR-LOADED LOT 24' ALLEY	LOTS 1-30: BLOCK 2 LOTS 39-42: BLOCK 2 (34 UNITS)	68 SPACES (2 PARKING SPACES ONLY)
SINGLE FAMILY DETACHED REAR-LOADED LOT 13' ALLEY	LOTS 31-39: BLOCK 2 (8 UNITS)	24 SPACES (3 PARKING SPACES ONLY)
SINGLE FAMILY DETACHED FRONT-LOADED LOT	LOTS 1-7: BLOCK 1 LOTS 1-7: BLOCK 3 (14 UNITS)	28 SPACES (2 SPACES/UNIT)
ON STREET PARKING SPACES		83 SPACES
TOTAL PARKING COUNTS		203 SPACES
SPACES / UNIT		3.63



MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

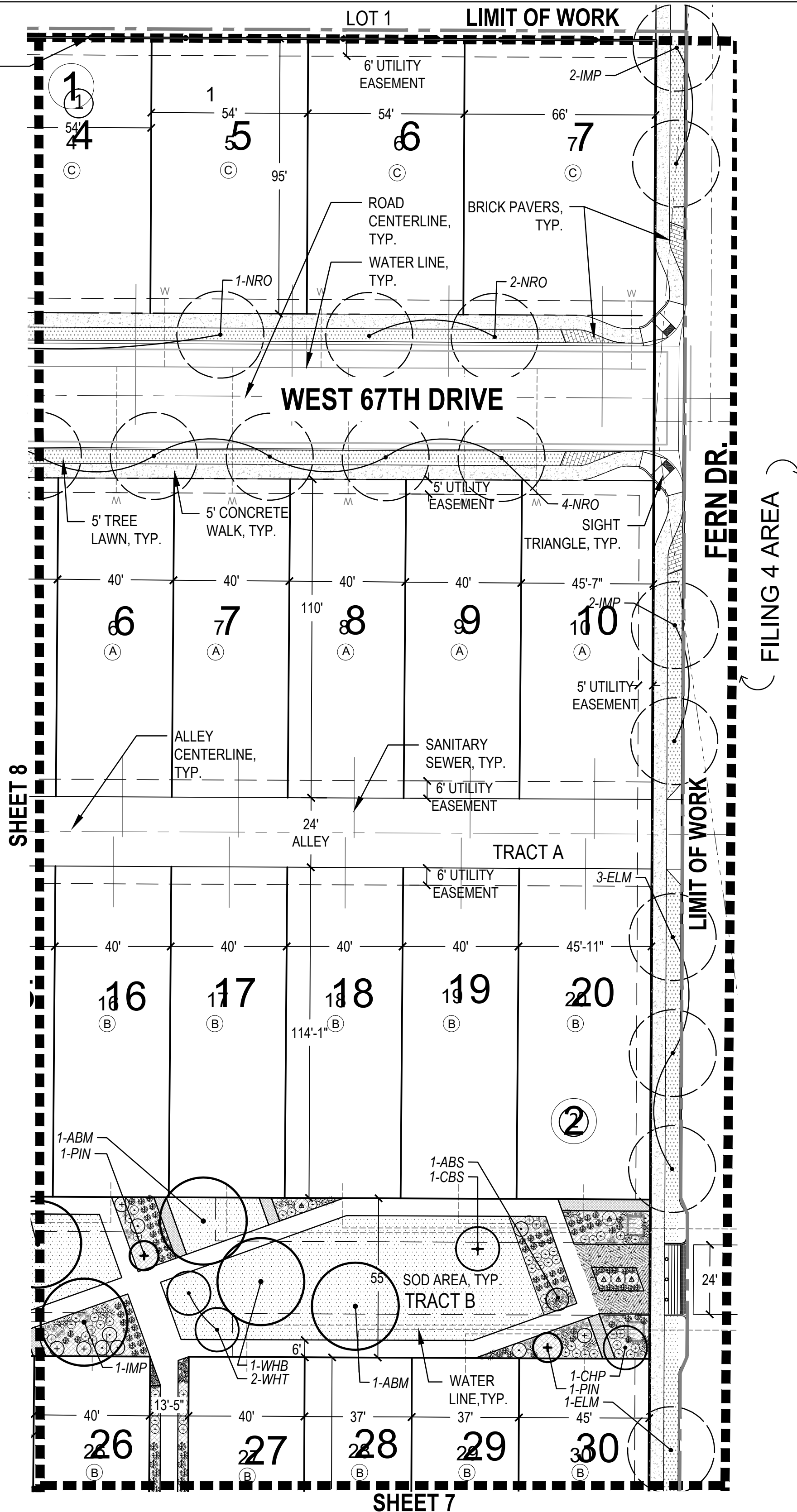
6 / 6 / 2017

7 / 19 / 2017

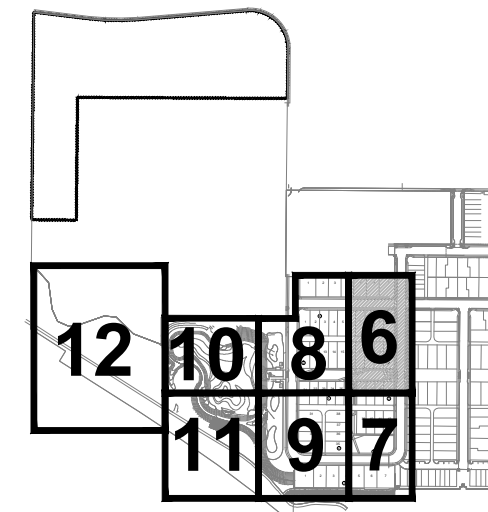
12 / 11 / 2017

NOT FOR CONSTRUCTION

SOLID FENCE - HORIZONTAL WOOD
FENCE. REFER TO DETAIL 2 ON SHEET 21



KEY



LEGEND

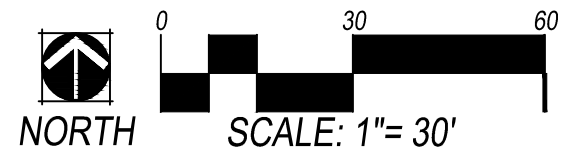
	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

NOTES:

- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:

- (A) SFD REAR-LOADED LOT PRODUCT (TYP.)
- (B) SFD GREEN COURT LOT PRODUCT (TYP.)
- (C) SFD FRONT-LOADED LOT PRODUCT (TYP.)



Sheet Title

LANDSCAPE
SITE PLAN

Sheet Number

6 OF 24

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO. 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Project Presentation

1101 Barnock Street
Denver, CO 80204
P 303.882.1186

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

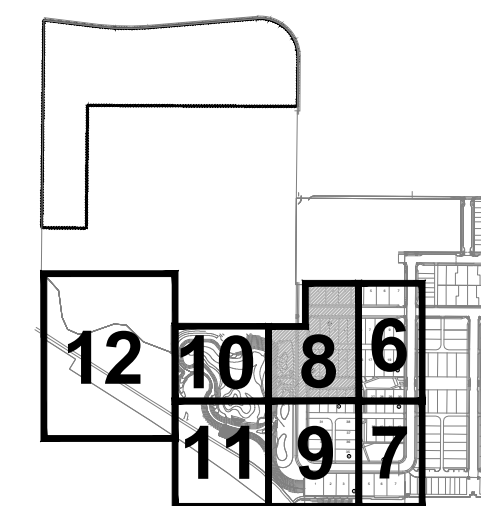
6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR
CONSTRUCTION

KEY



LEGEND

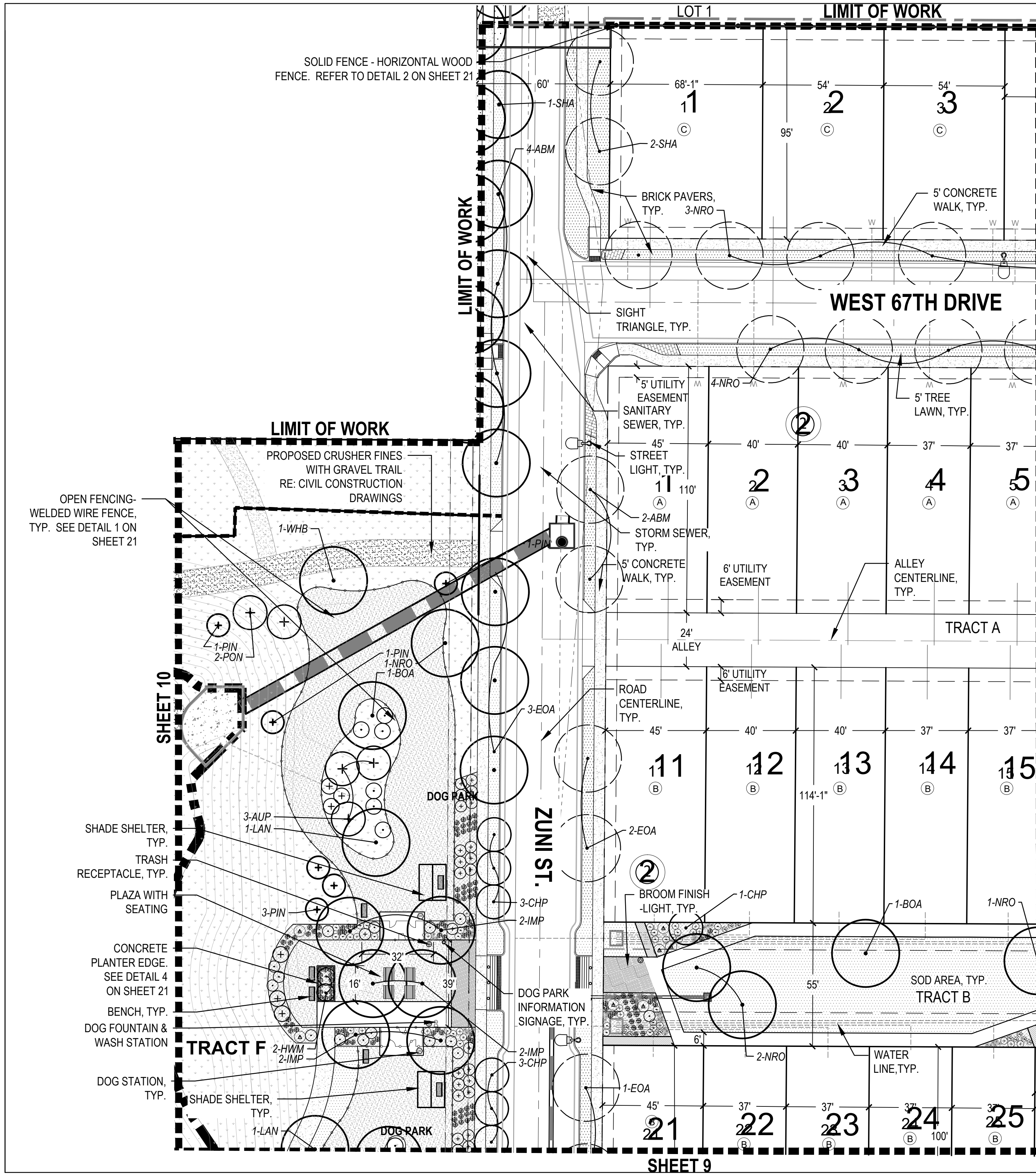
	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

NOTES:

- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:

- (A) SFD REAR-LOADED LOT PRODUCT (TYP.)
- (B) SFD GREEN COURT LOT PRODUCT (TYP.)
- (C) SFD FRONT-LOADED LOT PRODUCT (TYP.)



SOLID FENCE - HORIZONTAL WOOD FENCE. REFER TO DETAIL 2 ON SHEET 21

LIMIT OF WORK

LIMIT OF WORK

PROPOSED CRUSHER FINES WITH GRAVEL TRAIL RE: CIVIL CONSTRUCTION DRAWINGS

OPEN FENCING- WELDED WIRE FENCE, TYP. SEE DETAIL 1 ON SHEET 21

SHADE SHELTER, TYP.
TRASH RECEPTACLE, TYP.
PLAZA WITH SEATING

CONCRETE PLANTER EDGE. SEE DETAIL 4 ON SHEET 21
BENCH, TYP.
DOG FOUNTAIN & WASH STATION

DOG STATION, TYP.
SHADE SHELTER, TYP.

SHEET 10

ZUNI ST.

SHEET 6

SHEET 9

LOT 1 LIMIT OF WORK

WEST 67TH DRIVE

TRACT A

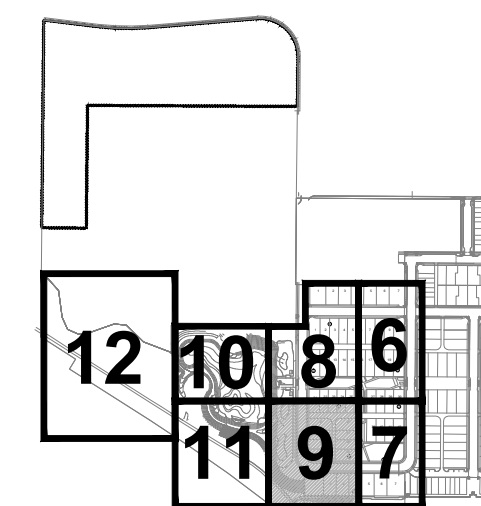
SOD AREA, TYP. TRACT B

TRACT F

21 22 23 24 25

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO

KEY



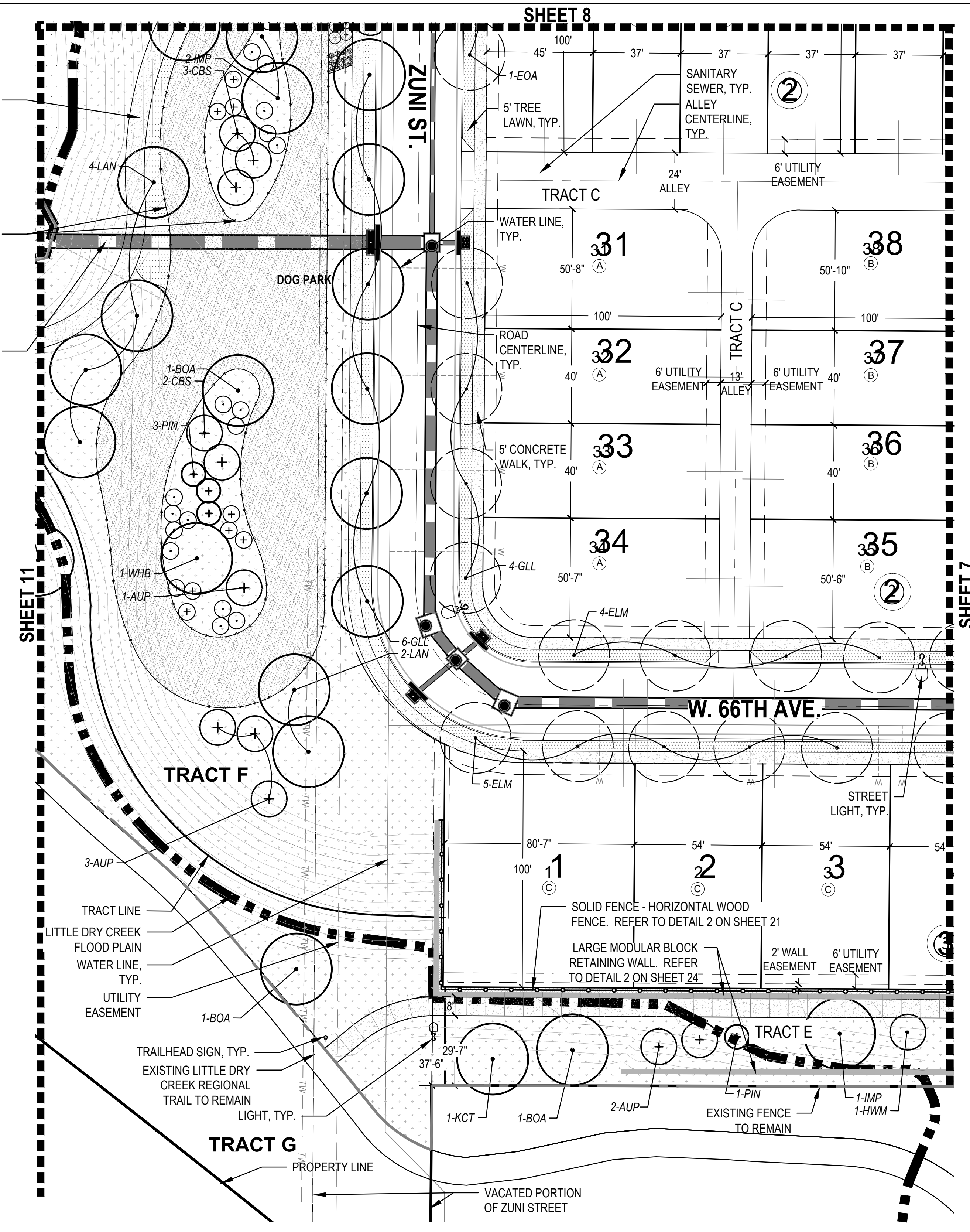
LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

NOTES:

- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:
 - (A) SFD REAR-LOADED LOT PRODUCT (TYP.)
 - (B) SFD GREEN COURT LOT PRODUCT (TYP.)
 - (C) SFD FRONT-LOADED LOT PRODUCT (TYP.)

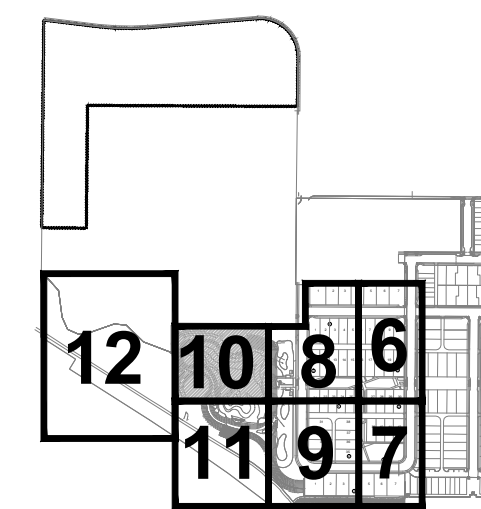


SHEET 11

SHEET 7

SHEET 8

KEY



LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/ HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

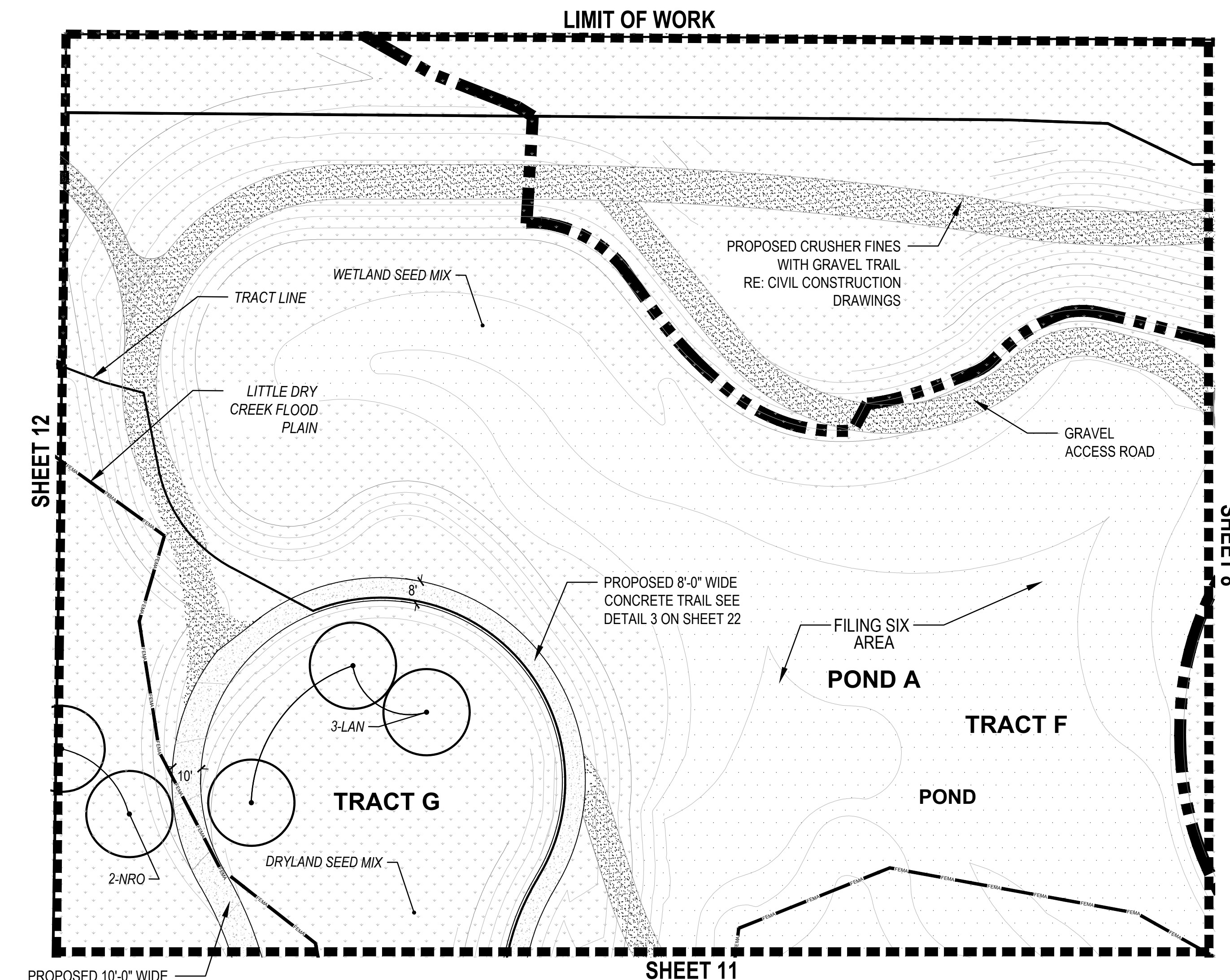
* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

NOTES:

1. ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
2. TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
3. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.

NOTES:

1. DESIGNED IMPROVEMENTS WILL COMPLIMENT EXISTING NATIVE LANDSCAPE.

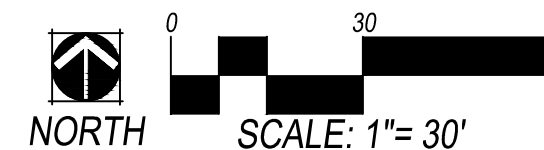


PROPOSED 10'-0" WIDE
CONCRETE TRAIL
RE: CIVIL CONSTRUCTION
DRAWINGS

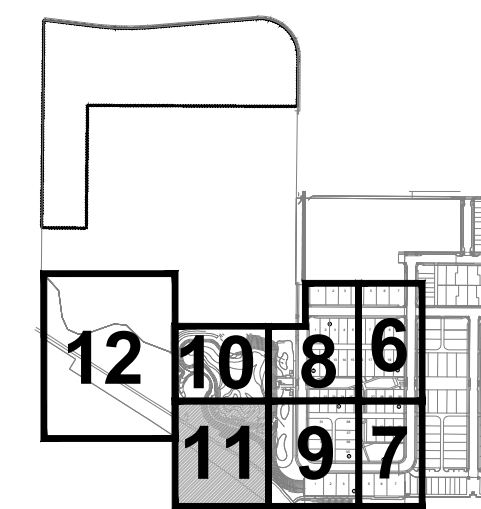
SHEET 11

SHEET 8

SHEET 12



KEY



LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/ HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

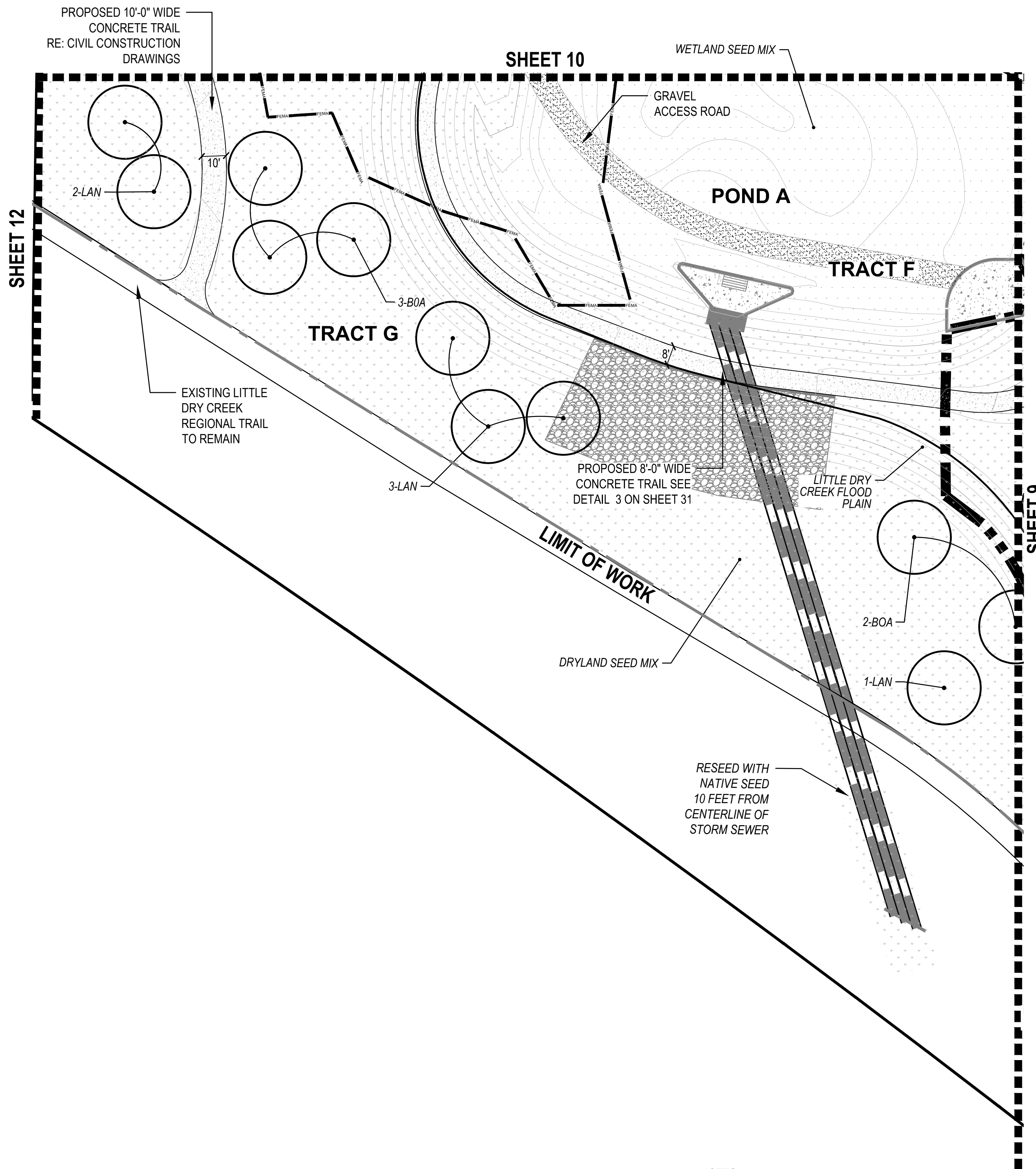
* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

NOTES:

1. ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
2. TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
3. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.

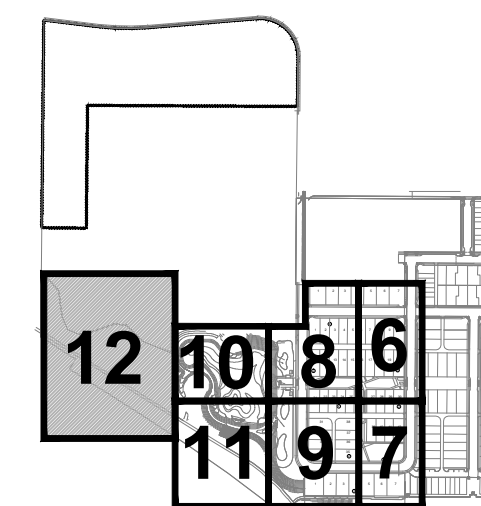


SCALE: 1"= 30'



- NOTES:
1. DESIGNED IMPROVEMENTS WILL COMPLIMENT EXISTING NATIVE LANDSCAPE.

KEY



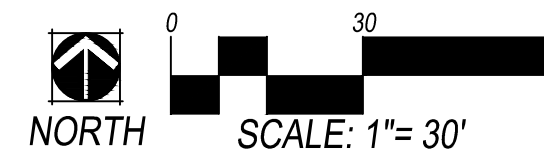
LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER/HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	DRYLAND SEED
	WETLAND SEED
	CRUSHER FINES
	CONCRETE
	ENHANCED BROOM FINISH CONCRETE
	PLANTING BED

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 17 & 18 FOR LANDSCAPE PLANT LIST.

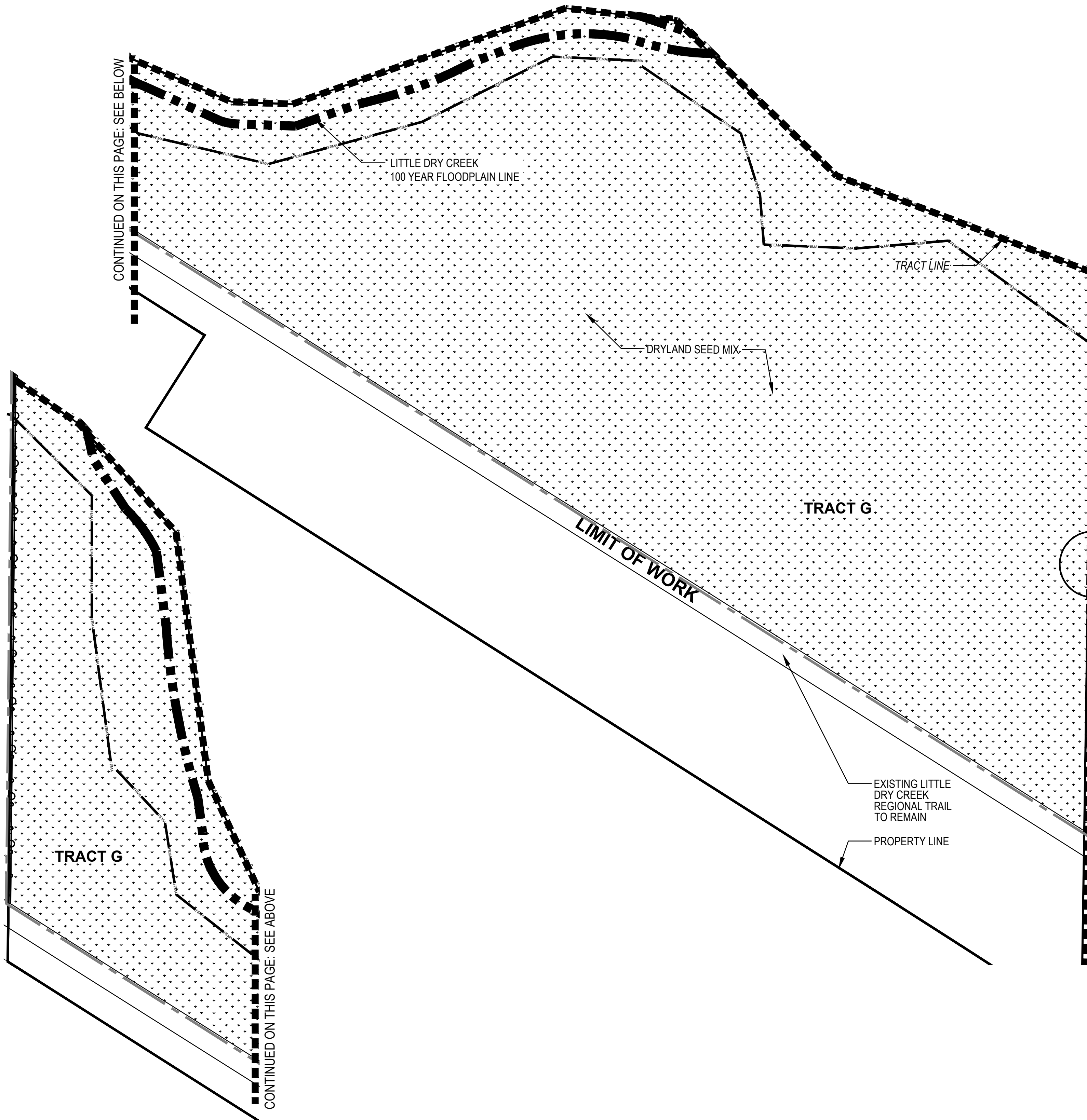
NOTES:

1. ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
2. TREES AND STREET LIGHTS MAY SHIFT WHEN DRIVEWAY LOCATIONS ARE IDENTIFIED ON THE FRONT-LOADED PRODUCT.
3. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.



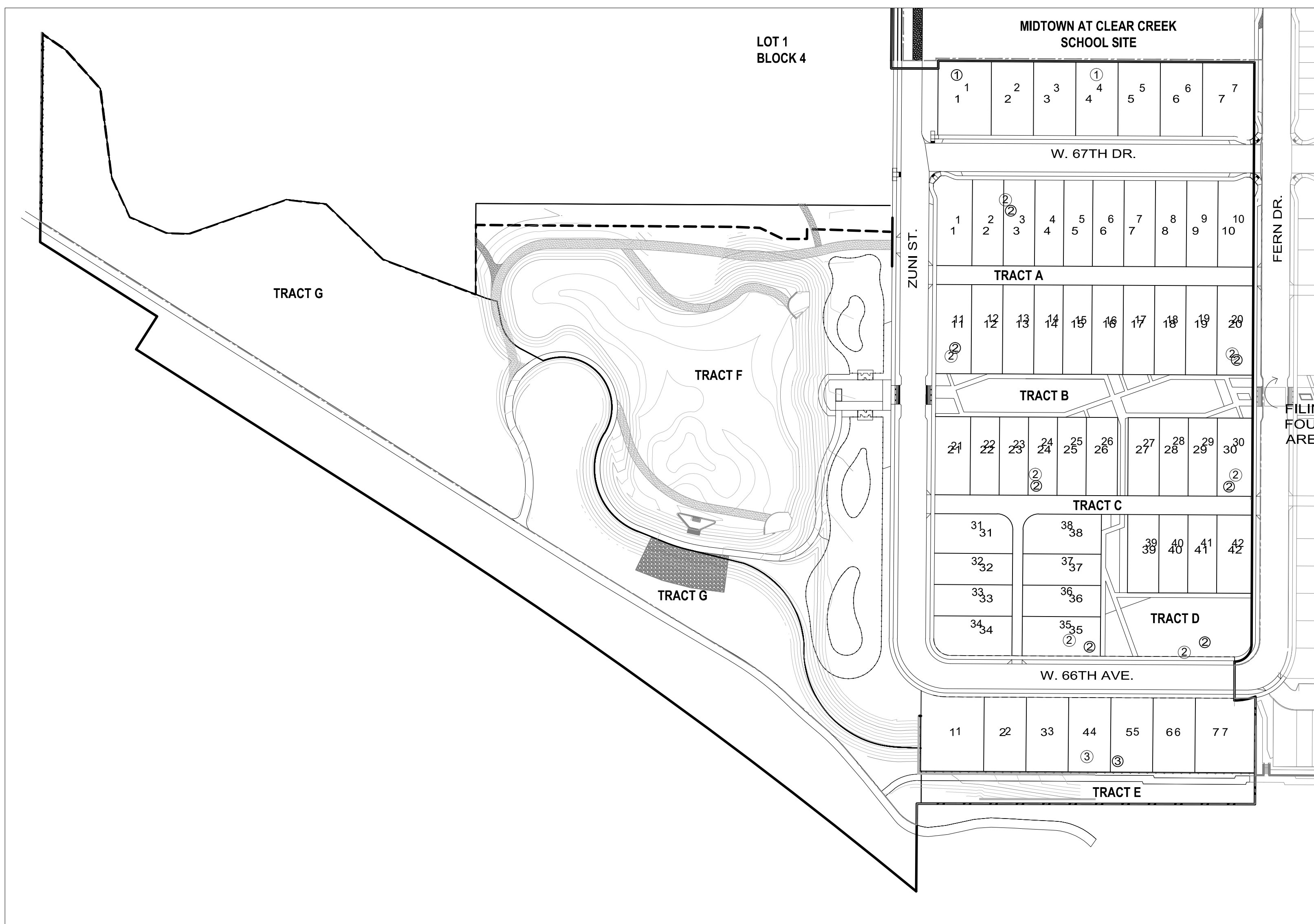
CONTINUED ON THIS PAGE: SEE BELOW

CONTINUED ON THIS PAGE: SEE ABOVE

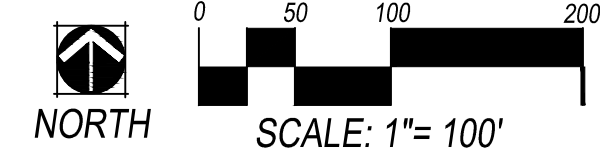


INSTALLATION CHART

	Responsible Party	
	Installation	Maintenance
Entire Tracts:		
A	Builder	CCSMD
B	CCSMD	CCSMD
C	Builder	CCSMD
D	CCSMD	CCSMD
E	CCSMD	CCSMD
F	CCSMD	CCSMD
G	CCSMD	CCSMD
Tree Lawns Adjacent to:		
Tract		
B	CCSMD	CCSMD
F	CCSMD	CCSMD
D	CCSMD	CCSMD
Block 1		
Lot 1	Builder	Homeowner
Lot 2	Builder	Homeowner
Lot 3	Builder	Homeowner
Lot 4	Builder	Homeowner
Lot 5	Builder	Homeowner
Lot 6	Builder	Homeowner
Lot 7	Builder	Homeowner
Responsible Party		
	Installation	Maintenance
Tree Lawns Adjacent to:		
Block 2		
Lot 1	Builder	Homeowner
Lot 2	Builder	Homeowner
Lot 3	Builder	Homeowner
Lot 4	Builder	Homeowner
Lot 5	Builder	Homeowner
Lot 6	Builder	Homeowner
Lot 7	Builder	Homeowner
Lot 8	Builder	Homeowner
Lot 9	Builder	Homeowner
Lot 10	Builder	Homeowner
Lot 11	Builder	Homeowner
Lot 20	Builder	Homeowner
Lot 21	Builder	Homeowner
Lot 30	Builder	Homeowner
Lot 31	Builder	Homeowner
Lot 32	Builder	Homeowner
Lot 33	Builder	Homeowner
Lot 34	Builder	Homeowner
Lot 35	Builder	Homeowner
Lot 42	Builder	Homeowner
Block 3		
Lot 1	Builder	Homeowner
Lot 2	Builder	Homeowner
Lot 3	Builder	Homeowner
Lot 4	Builder	Homeowner
Lot 5	Builder	Homeowner
Lot 6	Builder	Homeowner
Lot 7	Builder	Homeowner
Block 4 (Zuni frontage south of school site)		
Lot 1	CCSMD	CCSMD



FILING SI AREA ENLARGEMENT



LANDSCAPE INSTALLATION AND MAINTENANCE NOTES:

- REFER TO THE INSTALLATION AND MAINTENANCE CHART AND DIAGRAMS ON THIS SHEET 13 FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
- TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY. THIS CHART AND DIAGRAMS ON THIS SHEET AND SHEET 13 SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEOWNER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. CCSMD).
- OTHER COMMON AREA LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS ARE ALSO SHOWN ON THE CHART LOCATED ON THIS SHEET.
- THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUND COVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
- ONCE THE LANDSCAPING IS INSTALLED AND COMPLETED, THE DISTRICT WILL REVIEW THE INSTALLATION FOR COMPLETENESS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF MAINTAINING THE LANDSCAPES FOR THE AREAS SPECIFIED ON THIS SHEET. MAINTENANCE OF OTHER COMPLETED LANDSCAPE AREAS WILL BECOME THE RESPONSIBILITY OF THE PARTIES IDENTIFIED ON THIS SHEET.
- IF THE CCSMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN IN THE INSTALLATION CHART ON THIS SHEET.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE CCSMD ACCEPTS RESPONSIBILITY.
- MAINTAINING LANDSCAPES INCLUDES THE MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.
- REFER TO THE SIA FOR FURTHER INFORMATION AND A VISUAL DEPICTION OF THE AREAS IDENTIFIED ABOVE.

Sheet Title
LANDSCAPE
INSTALLATION AND
MAINTENANCE

Sheet Number
13 OF 24

Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO, 80111
303-706-9451

REDLAND
Where Great Places Begin
12345 Redland Way
Denver, CO 80202
www.redland.com

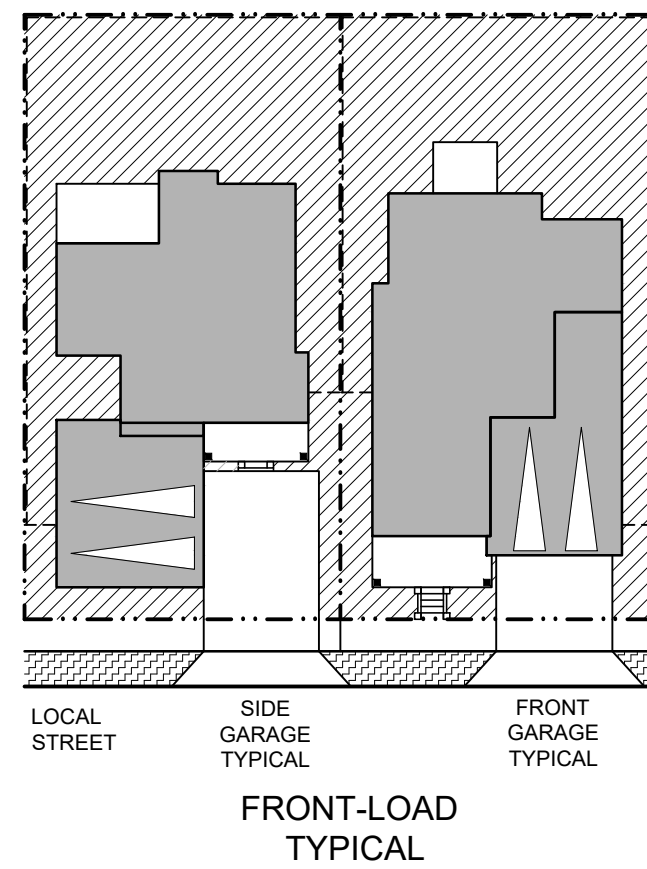
NORRIS DESIGN
Planning | Landscape Architecture | Project Presentation
1101 Barnock Street
Denver, CO 80204
P 303.882.1188
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

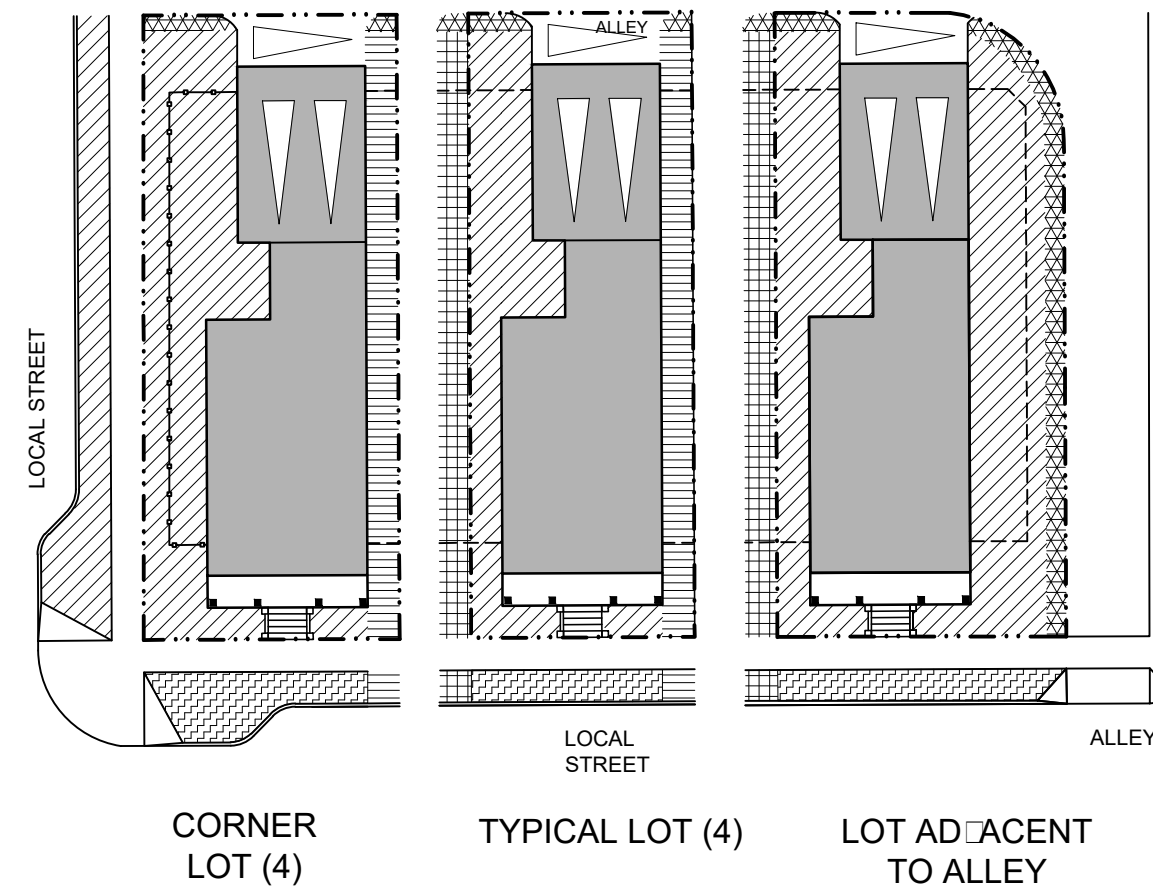
Issue Date	8/30/2016
Revision Date	11/21/2016 6/6/2017 7/19/2017 12/11/2017
NOT FOR CONSTRUCTION	

TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

FRONT-LOAD CONDITION



REAR-LOAD CONDITION



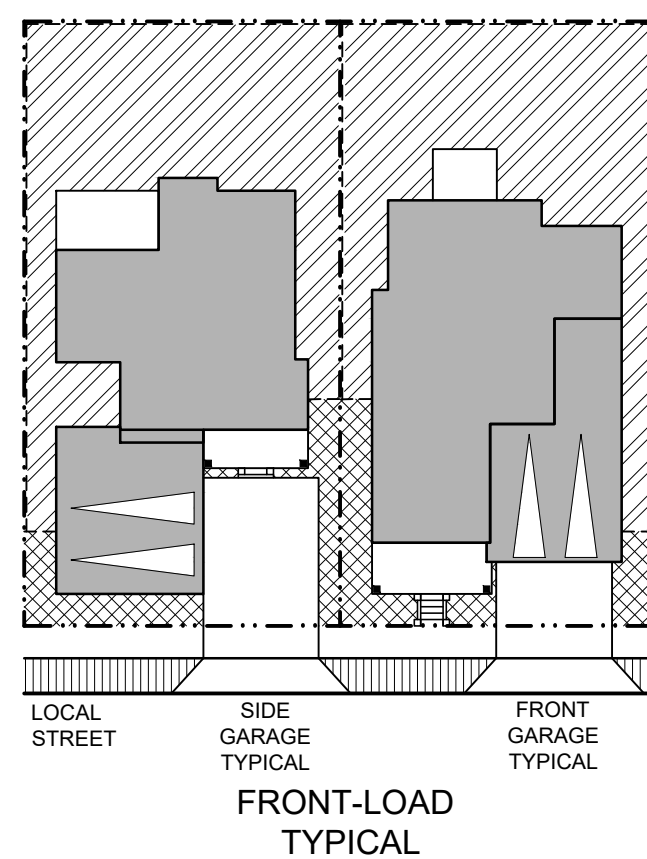
LEGEND

	PROPERTY LINE
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY HOMEOWNER
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY HOMEOWNER
	SIDE YARD USE EASEMENT TO BE INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY HOMEOWNER
	SIDE YARD USE EASEMENT TO BE INSTALLED BY BUILDER OR ADJACENT HOMEOWNER AND MAINTAINED BY ADJACENT HOMEOWNER
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY DISTRICT
	OPEN FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER
	SOLID FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER

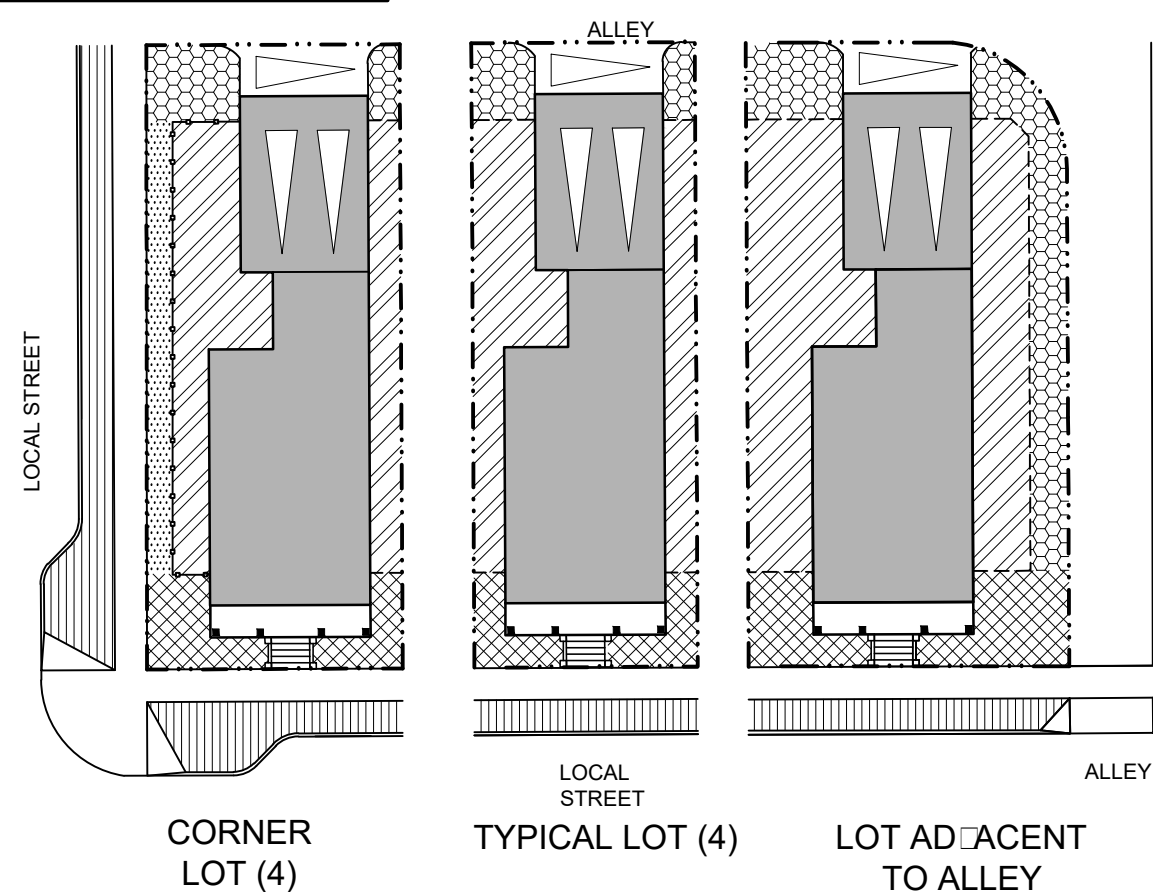
TYPICAL LOT - LANDSCAPE AREA DEFINITIONS

LANDSCAPE INSTALLED BY HOMEOWNER

FRONT-LOAD CONDITION



REAR-LOAD CONDITION



LEGEND

	PROPERTY LINE
	FRONT YARD
	ALLEY
	STREET SIDE YARD
	TREE LAWN
	PRIVATE YARD
	OPEN FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER
	SOLID FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER

GENERAL NOTES:

1. OPEN FENCING, SEE DETAIL 1, SHEET 21 IN THIS DOCUMENT.
2. SOLID FENCING, SEE DETAIL 2, SHEET 21 IN THIS DOCUMENT.
3. DRC MAY APPROVE LANDSCAPE SCREENING AS ALTERNATIVE TO SOLID AND OPEN FENCING OPTIONS.
4. SFD GREEN COURT HOMES SHALL HAVE THE SAME LANDSCAPE INSTALLATION, MAINTENANCE AND LANDSCAPE AREA DEFINITIONS FOR ALL SIDE YARD USE EASEMENTS AND LANDSCAPE INSIDE THE PROPERTY LINES.



Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

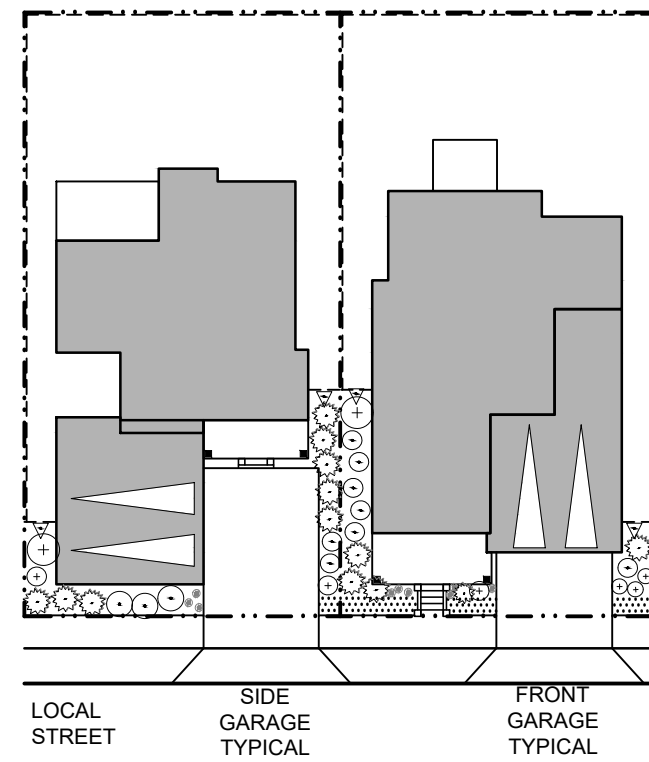
7 / 19 / 2017

12 / 11 / 2017

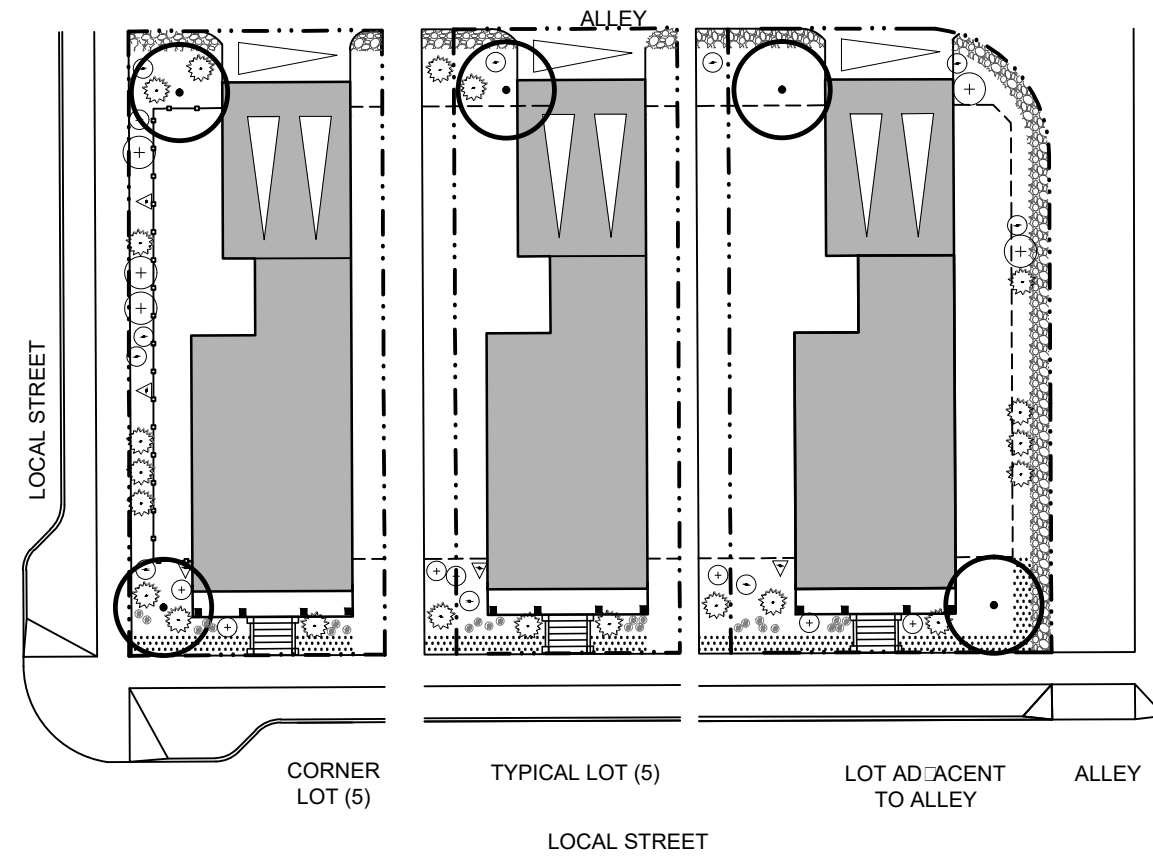
NOT FOR
CONSTRUCTION

LANDSCAPE TYPICALS

**LANDSCAPE INSTALLED BY HOMEOWNER
FRONT-LOAD CONDITION**



REAR-LOAD CONDITION



LEGEND

	PROPERTY LINE
	OPEN FENCING
	SOLID FENCING
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	VINES
	PERENNIAL
	SOD
	ROCK MULCH
	CRUSHER FINES

FRONT LOAD LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION
MATERIAL	TYPICAL LOT
ORNAMENTAL TREE	0
EVERGREEN SHRUB	3
DECIDUOUS SHRUB	3
ORNAMENTAL GRASSES	3
PERENNIALS	6
VINES	1
SOD	NONE

SEE SHEET 23 FOR FRONT YARD AREA DIAGRAM FRONT LOAD LOT TYPICAL

REAR LOAD 40' + LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			TYPICAL LOT		LOT ADJACENT TO ALLEY	
	FRONT YARD	ALLEY	SIDE YARD	FRONT YARD	ALLEY	FRONT YARD	ALLEY
ORNAMENTAL TREE	1	1	0	0	1	1	1
EVERGREEN SHRUB	2	0	3	2	1	3	2
DECIDUOUS SHRUB	2	1	3	2	1	2	3
ORNAMENTAL GRASSES	3	2	4	3	2	3	4
PERENNIALS	10	0	0	10	0	11	0
VINES	1	0	3	1	0	1	0
SOD	NONE	NONE	NONE	NONE	NONE	NONE	NONE

SEE SHEET 12 FOR FRONT YARD, ALLEY AND SIDE YARD LANDSCAPE AREA DIAGRAM 40'+ LOT TYPICAL. SEE SHEET 6-9 FOR LOT WIDTHS.

REAR LOAD 35' - 39.9' LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION						
	CORNER LOT			TYPICAL LOT		LOT ADJACENT TO ALLEY	
	FRONT YARD	ALLEY	SIDE YARD	FRONT YARD	ALLEY	FRONT YARD	ALLEY
ORNAMENTAL TREE	1	1	0	0	1	1	1
EVERGREEN SHRUB	2	0	3	2	0	3	2
DECIDUOUS SHRUB	1	1	3	1	1	1	3
ORNAMENTAL GRASSES	3	2	4	3	2	3	4
PERENNIALS	8	0	0	8	0	9	0
VINES	1	0	2	1	0	1	0
SOD	NONE	NONE	NONE	NONE	NONE	NONE	NONE

SEE SHEET 12 FOR FRONT YARD, ALLEY AND SIDE YARD LANDSCAPE AREA DIAGRAM 35'- 39.9' LOT TYPICAL. SEE SHEET 6-9 FOR LOT WIDTHS.

NOTES:

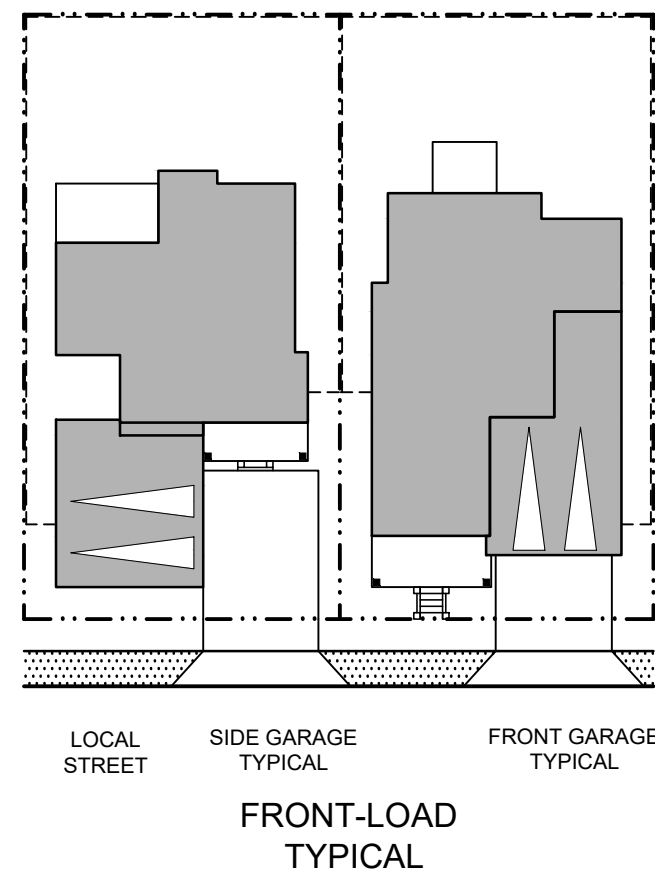
- MATERIAL IS INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY HOMEOWNER.
- PRIVATE YARD TO BE INSTALLED AND MAINTAINED BY HOMEOWNER.
- LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.
- SFD GREEN COURT HOMES SHALL HAVE THE SAME LANDSCAPE REQUIREMENTS AS HOMES THAT FRONT AND SIDE ON LOCAL STREETS.
- ALTERNATIVE LANDSCAPE DESIGNS MAY BE APPROVED BY THE DRC.

MINIMUM LANDSCAPE REQUIREMENTS

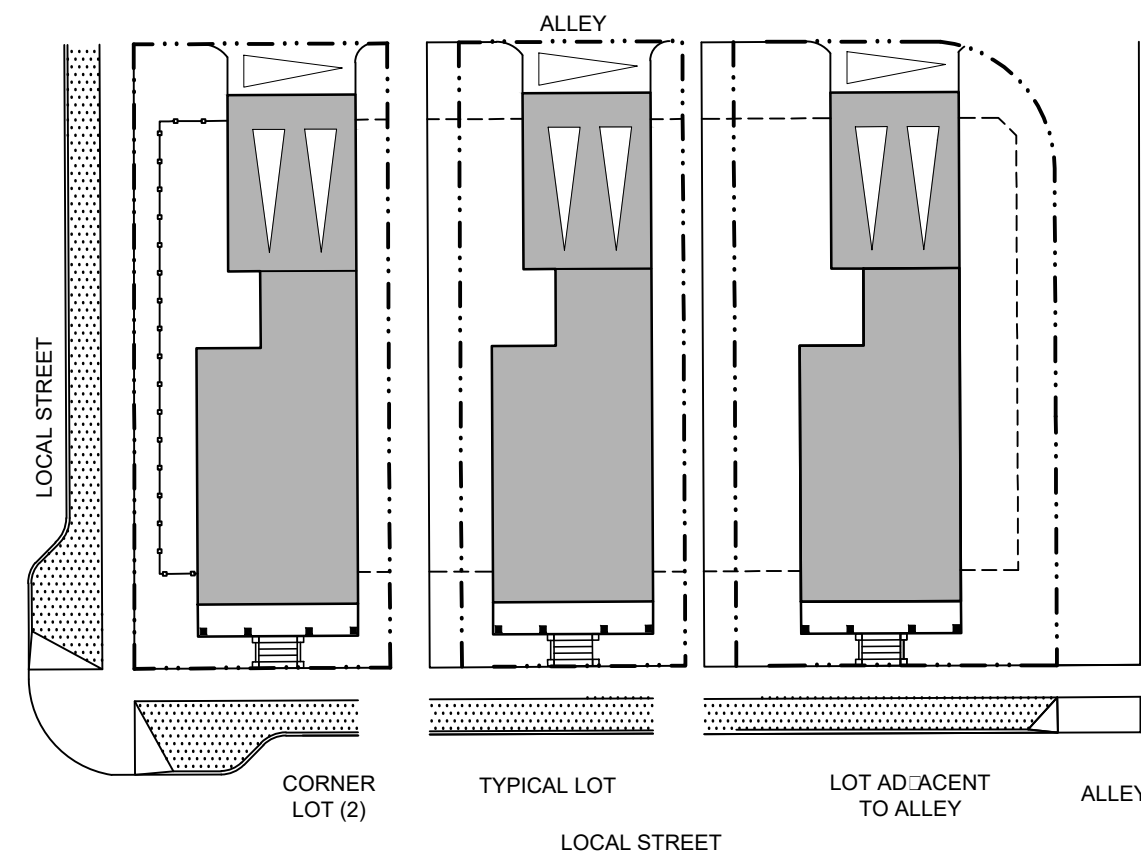
LANDSCAPE TREE LAWN TYPICALS - OPTION 1

LANDSCAPE INSTALLED BY HOMEOWNER OR BUILDER
REFER TO SHEETS 6 THROUGH 9 FOR STREET TREE LOCATIONS

FRONT-LOAD CONDITION



REAR-LOAD CONDITION



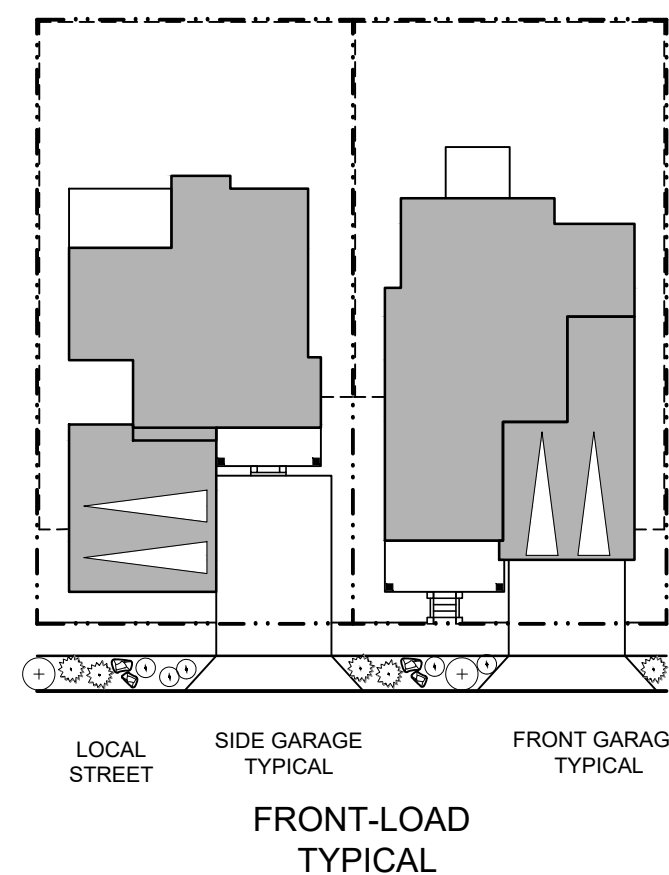
OPTION 1:

- HOME OWNER OR BUILDER TO PLANT SOD IN TREE LAWN. IN GROUND IRRIGATION IS REQUIRED FOR SOD.
- SFD GREEN COURT HOMES THAT SIDE ON A LOCAL STREET SHALL BE REQUIRED TO PLANT SOD IN THE TREE LAWN ADJACENT TO THEIR PROPERTY. LANDSCAPE IN THE GREEN COURT WILL BE INSTALLED AND MAINTAINED BY THE METRO DISTRICT

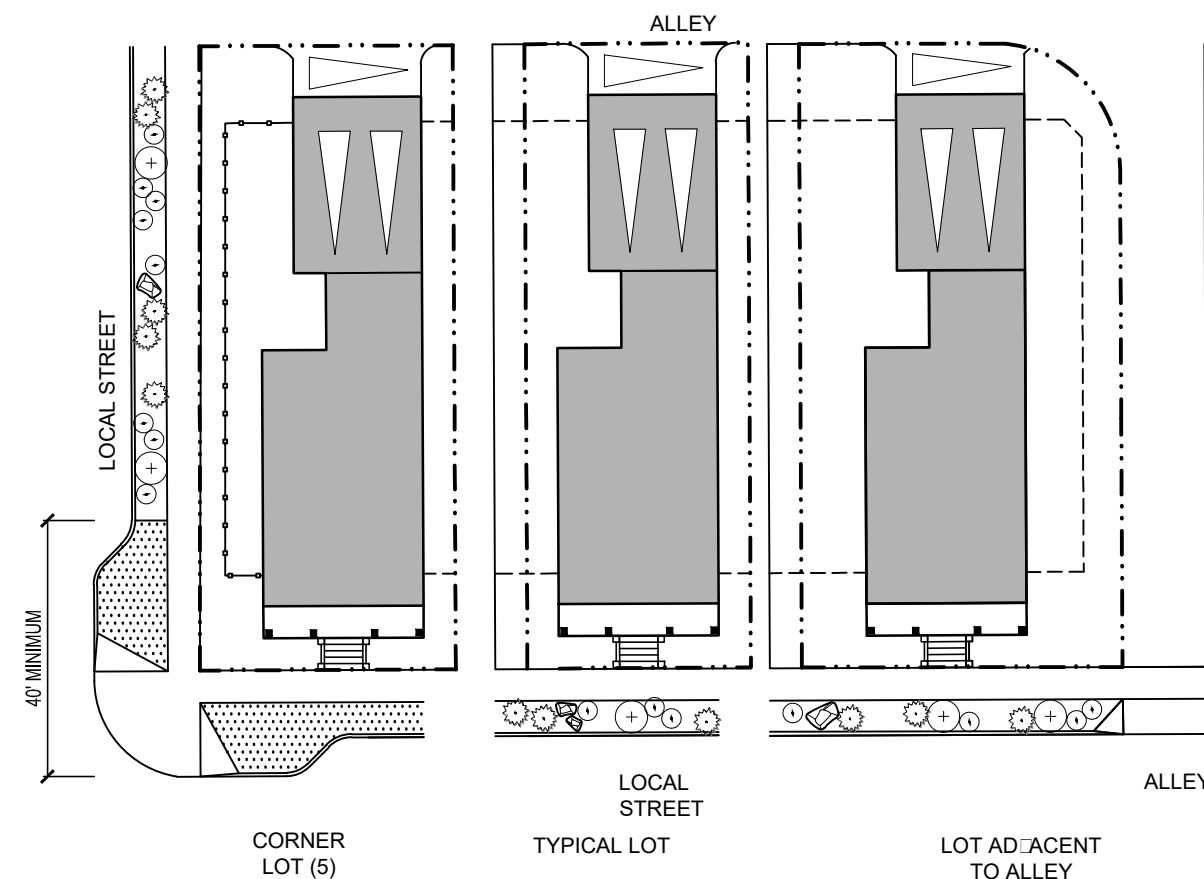
LANDSCAPE TREE LAWN TYPICALS - OPTION 2

LANDSCAPE INSTALLED BY HOMEOWNER OR BUILDER
REFER TO SHEETS 5 THROUGH 10 FOR STREET TREE LOCATIONS

FRONT-LOAD CONDITION



REAR-LOAD CONDITION



LEGEND	
	PROPERTY LINE
	OPEN FENCING
	SOLID FENCING
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	VINES
	PERENNIAL
	SOD
	ROCK MULCH
	CRUSHER FINES

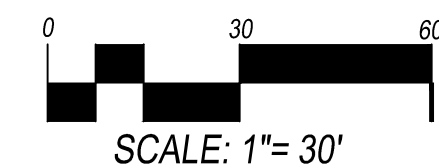
OPTION 2:

- MINIMUM 2 PLANTS PER 10 LINEAR FEET. REQUIRED VARIETY: MINIMUM 1 EVERGREEN SHRUB, 2 SMALL DECIDUOUS SHRUBS, AND 2 GRASSES.
- MINIMUM 1 ACCENT BOULDER PER HOME.
- TREE LAWNS TO BE MULCHED WITH 3/4" WASHED RIVER GRAVEL (BLACK) OR CRUSHER FINES (TAN). RIVER GRAVEL (BLACK) TO BE APPLIED AT 3" - 4" DEPTH OVER WEED CONTROL FABRIC. CRUSHER FINES (TAN) TO BE APPLIED AT 4" DEPTH COMPACTED OVER WEED CONTROL FABRIC.
- SOD REQUIRED FOR CORNER LOT TREE LAWNS ALONG FRONT AND A MINIMUM OF 40' MEASURED FROM FACE OF CURB ALONG SIDE TREE LAWN.
- SFD GREEN COURT HOMES THAT SIDE ON A LOCAL STREET SHALL BE REQUIRED TO INSTALL AND MAINTAIN LANDSCAPE IN THE TREE LAWN ADJACENT TO THEIR PROPERTY. LANDSCAPE IN THE GREEN COURT SHALL BE INSTALLED AND MAINTAINED BY THE METRO DISTRICT.

GENERAL NOTES:

- OPEN FENCING, SEE DETAIL 1, SHEET 21 IN THIS DOCUMENT.
- SOLID FENCING, SEE DETAIL 2, SHEET 21 IN THIS DOCUMENT.
- MATERIAL IS INSTALLED BY HOMEOWNER OR BUILDER AND IS MAINTAINED BY HOMEOWNER.
- HOMEOWNER MAY INSTALL ONE 4' WIDE CONCRETE WALK IN TREE LAWN.
- PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWNS AND LANDSCAPE TRACTS. TOWNHOME LANDSCAPE TO BE INSTALLED BY BUILDER AND MAINTAINED BY THE DISTRICT.
- ALTERNATIVE LANDSCAPE DESIGNS MAY BE APPROVED BY THE DRC.

MINIMUM LANDSCAPE TREE LAWN REQUIREMENTS



LANDSCAPE PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES			
(UNLESS OTHERWISE NOTED)			
ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2 1/2" CAL. B&B
FFH	FRANS FONTAINE HORNBEAM	CARPINUS BETULUS 'FRANS FONTAINE'	2 1/2" CAL. B&B
WHB	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. B&B
GBI	GINKGO	GINKGO BILOBA (MALE VARIETIES ONLY)	2 1/2" CAL. B&B
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2 1/2" CAL. B&B
SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	2 1/2" CAL. B&B
KCT	KENTUCKY COFFEETREE, ESPRESSO	GYMNOCLADUS DIOICUS 'ESPRESSO'	2 1/2" CAL. B&B
LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	2 1/2" CAL. B&B
LPT	LONDON PLANETREE	PLATANUS ACERIFOLIA 'BLOODGOOD'	2 1/2" CAL. B&B
BOA	BUR OAK	QUERCUS MACROCARPA	2 1/2" CAL. B&B
EOA	ENGLISH OAK	QUERCUS ROBUR	2 1/2" CAL. B&B
NRO	NORTHERN RED OAK	QUERCUS RUBRA	2 1/2" CAL. B&B
GLL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL. B&B
ELM	FRONTIER ELM	ULMUS X 'FRONTIER'	2 1/2" CAL. B&B

EVERGREEN TREES

CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. MIN
PIN	PINON PINE	PINUS EDULIS	6' HT. MIN
AUP	AUSTRIAN PINE	PINUS NIGRA	8' HT. MIN
PON	PONDEROSA PINE	PINUS PONDEROSA	8' HT. MIN

DECIDUOUS ORNAMENTAL TREES

HWM	PATTERN PERFECT MAPLE	ACER TATARICUM 'PATTERN PERFECT'	8' CLUMP, B&B
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP, B&B
WHT	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	2" CAL., B&B
PRF	RADIANT CRABAPPLE	MALUS 'RADIANT'	2" CAL., B&B
CHP	CHANTICLEER PEAR	PYRUS CALLERYANA	2" CAL., B&B
EOC	ENGLISH COLUMNAR OAK	QUERCUS ROBUR 'FASTIGIATA'	2" CAL., B&B
LTC	JAPANESE TREE LILAC	SYRINGA RETICULATA	8' CLUMP, B&B

DECIDUOUS SHRUBS

CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	#5 CONTAINER
SLF	SILVER FOUNTAIN BUTTERFLY BUSH	BUDDLEIA ALTERNIFOLIA 'ARGENTEA'	#5 CONTAINER
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	#5 CONTAINER
FRB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	#5 CONTAINER
RDW	DWARF BABY BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOUS 'DW. BLUE'	#5 CONTAINER
GCE	GROUND COTONEASTER	COTONEASTER HORIZONTALIS PERPUSILLUS	#5 CONTAINER
SGB	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANISH GOLD'	#5 CONTAINER
APL	APACHE PLUME	FALLUGIA PARADOXA	#5 CONTAINER
DRS	DWARF RUSSIAN SAGE	PEROVSKIA ARTIPLICIFOLIA 'LITTLE SPIRE'	#5 CONTAINER
MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONTAINER
PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	#5 CONTAINER
FLI	FINE LINE BUCKTHORNE	RHAMNUS FRANGULA 'RON WILLIAMS'	#5 CONTAINER
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	#5 CONTAINER
YFC	YELLOW FLOWERING CURRANT	RIBES AUREUM	#5 CONTAINER
KNO	KNOCK OUT ROSE - RED	ROSA X 'RADRAZZ'	#5 CONTAINER
KNS	SUNNY KNOCK OUT	ROSA X 'RADSUNNY'	#5 CONTAINER
SBB	SILVER BUFFALOBERRY	SHEPHERDIA ARGENTEA	#5 CONTAINER
HCB	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	#5 CONTAINER
MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONTAINER
PGL	PRESIDENT GREVY LILAC	SYRINGA VULGARIS 'PRESIDENT GREVY'	#5 CONTAINER

EVERGREEN SHRUBS

BRJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	#5 CONTAINER
BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5 CONTAINER
GLS	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	#5 CONTAINER
MAN	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS	#5 CONTAINER
MUG	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONTAINER
ITY	IVORY TOWER YUCCA	YUCCA FILAMENTOSA 'IVORY TOWER'	#5 CONTAINER
BNS	BIRDS NEST SPRUCE	PICEA ABIES 'NIDIFORMIS'	#5 CONTAINER
RHM	R.H. MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H. MONTGOMERY'	#5 CONTAINER
ICJ	ICEE BLUE JUNIPER	JUNIPERUS HORIZONTALIS 'MONBER'	#5 CONTAINER

UPRIGHT EVERGREEN SHRUBS

SKR	SKYROCKET JUNIPER	JUNIPERUS VIRGINIANA 'SKYROCKET'	4' HT. MIN
COJ	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	4' HT. MIN

COMMON NAME	BOTANICAL NAME	SIZE & COND.
GRASSES		
(UNLESS OTHERWISE NOTED)		
FRG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
KFG	KOREAN FEATHER REED GRASS	CALAMAGROSTIS BRACHYTRICA
BSG	THE BLUES LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'
AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS
GSR	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'
MFG	MEXICAN FEATHER GRASS	NASELLA (STIPA) TENUISSIMA
HMS	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'
PAH	HARDY PAMPAS, PLUME GRASS	ERIANTHUS RAVENNAE

PERENNIALS

AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	#1 CONTAINER
BES	BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'	#1 CONTAINER
CFL	CONEFLOWER	ECHINACEA PURPUREA	#1 CONTAINER
CJT	JETHRO TULL COREOPSIS	C. GRANDIFLORA 'JETHRO TULL'	#1 CONTAINER
CMT	WALKER'S LOW CATMINT	NEPETA FAASSENII 'WALKER'S LOW'	#1 CONTAINER
DDY	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	#1 CONTAINER
DSD	SNOW LADY SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'SNOW LADY'	#1 CONTAINER
ELV	ENGLISH MUNSTEAD LAVENDER	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	#1 CONTAINER
GAI	BURGUNDY BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'BURGUNDY'	#1 CONTAINER
HBJ	HIMALAYAN BORDER JEWEL POLYGONUM	PERSICARIA AFFINIS 'HIMALAYAN BORDER JEWEL'	#1 CONTAINER
IPY	YELLOW ICE PLANT	DELOSPERMA NUBIGENUM	#1 CONTAINER
JBG	JOHNSON'S BLUE/ CRANESBILL GERANIUM	GERANIUM X 'JOHNSON'S BLUE'	#1 CONTAINER
LAM	LAMB'S EAR	STACHYS BYZANTINA	#1 CONTAINER
MY	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE'	#1 CONTAINER
PIR	MISSOURI EVENING PRIMROSE	OENOTHERA MACROCARPA	#1 CONTAINER
PLP	PINELEAF PENSTEMON RED	PENSTEMON PINIFOLIUS	#1 CONTAINER
POM	WINECUPS (POPPY MALLOW)	CALLIRHOE INVOLUCRATA	#1 CONTAINER
SIS	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM	#1 CONTAINER
SSH	SUNSET HYSSOP	AGASTACHE RUPESTRIS	#1 CONTAINER
VAL	RED VALERIAN/ JUPITER'S BEARD	CENTRANTHUS RUBER	#1 CONTAINER
WBF	GAURA/ WHIRLING BUTTERFLIES	GAURA LINDHEIMERI	#1 CONTAINER
HOB	BLUE GIANT HOSTA	H. SIEBOLDIANA 'ELEGANS'	#1 CONTAINER
HOV	VARIEGATED HOSTA	H. UNDULATA MEDIOVARIEGATA	#1 CONTAINER

GROUND COVER / VINES

GH	GOLDFLAME HONEYSUCKLE	LONICERA HECKROTTII	#1 CONTAINER
HH	HALL'S HONEYSUCKLE	LONICERA JAPONICA 'HALLIANA'	#1 CONTAINER
ENG	VIRGINIA CREEPER	PARTHENOCISSUS QUINQUEFOLIA ENGELMANNII	#1 CONTAINER
ETV	CLEMATIS ETOILE VIOLETTE (BLUE)	CLEMATIS HYBRID	#1 CONTAINER
FST	CLEMATIS FRAGRANT STAR (WHITE)	CLEMATIS HYBRID	#1 CONTAINER

LANDSCAPE NOTES:

- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.

Sheet Title

LANDSCAPE
PLANT LIST

Sheet Number

17 OF 24

Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO. 80111
303-706-9451

REDLAND
Where Great Places Begin
10000 Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

NORRIS DESIGN
Planning | Landscape Architecture | Project Presentation

1101 Bannock Street
Denver, CO 80204
P 303.882.1188

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

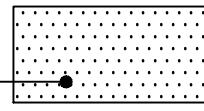
7 / 19 / 2017

12 / 11 / 2017

NOT FOR
CONSTRUCTION

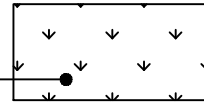
SEED AND SOD MIXES

TURF GRASS BLEND: SOD



COMMON NAME	% OF TOTAL
90 /10 FESCUE - BLUEGRASS BLEND	100%
90 FESCUE	90%
10 BLUEGRASS	10%
TOTAL	100%

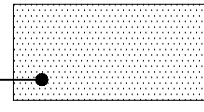
DRYLAND SEED MIX



BY ARKANSAS VALLEY SEED CO (877-907-3337), OR APPROVED EQUAL

COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS/ACRE
COMMON WHEATGRASS	TRITICUM AESTIVUM	20%	6.00
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS	15%	4.50
MEADOW FESCUE	FESTUCA PRATENSIS	10%	3.00
PUBESCENT WHEATGRASS	AGROPYRON TRICHOPHORUM	10%	3.00
HARD FESCUE	FESTUCA BREVIPILOSA	10%	3.00
CANADA BLUEGRASS	POA COMPRESSA	10%	3.00
INDIANGRASS	SORGHASTRUM NUTANS	8%	2.40
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	7%	2.10
BLUE GRAMA	BOUTELOUA GRACILIS	5%	1.50
SWITCHGRASS	PANICUM VIRGATUM	5%	1.50
TOTAL		100%	30 LBS.

WET AREA SEED MIX



COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
CANADA WILD RYE	(ELYMUS CANADENSIS)	21%	3.0 LBS
SLENDER WHEATGRASS	(ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS)	14%	2.0 LBS
SAND BLUESTEM	(ANDROPOGON HALLII)	21%	3.0 LBS
SIDEOATS GRAMA	(BOUTELOUA CURTIPENDULA)	14%	2.0 LBS
PRAIRIE SANDREED	(CALAMOVILFA LONGIFOLIA)	7%	1.0 LBS
SWITCHGRASS	(PANICUM VIRGATUM)	6%	0.75 LBS
SAND DROPSEED	(SPOROBOLUS CRYPTANDRUS)	1%	0.05 LBS
ANALOGUE SEDGE	(CAREX SIMULATA)	1%	0.10 LBS
AWLFRUIT SEDGE	(CAREX STIPATA)	1%	0.10 LBS
INLAND SALTGRASS	(DISTICHLIS SPICATA)	7%	1.0 LBS
CALIFORNIA POPPY	(ESCHSCHOLZIA CALIFORNICA)	7%	1.0 LBS
TOTAL		100%	14 LBS / ACRE

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
- SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/4" ANGULAR ROCK MULCH OR CRUSHER FINES OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY EITHER 3/16" MIN. THICK METAL EDGER OR SPADE DUG EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.

Sheet Title

LANDSCAPE
PLANT LIST

Sheet Number

18 OF 24

Brookfield
Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO. 80111
303-706-9451

REDLAND
Where Great Places Begin
1000 West Colfax Street
Denver, CO 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Project Presentation
1101 Bannock Street
Denver, CO 80204
P 303.882.1186
www.norris-design.com

1101 Bannock Street
Denver, CO 80204
P 303.882.1186

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR
CONSTRUCTION

MIDTOWN ARCHITECTURE CHARACTER

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR FRONT RANGE RESIDENTIAL. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE AND FARMHOUSE ROOTS, WILL EVOLVE INTO "FRESH STYLE" EXPRESSIONS FOR THE NEW NEIGHBORHOOD. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE AFFORDABLE AND DISTINCTIVE HOMES, ADDING "ZEST" TO THE STREET SCENE APPEAL.

THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEW ARE REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM, FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL AND GARAGE ORIENTATION MAY VARY.

ELEVATIONS CANNOT BE REPEATED MORE THAN ONCE EVERY THIRD LOT, OR ON LOTS DIRECTLY ACROSS THE STREET. ANY EXCEPTIONS MUST BE APPROVED BY THE DRC.

SQUARE FOOTAGE RANGE

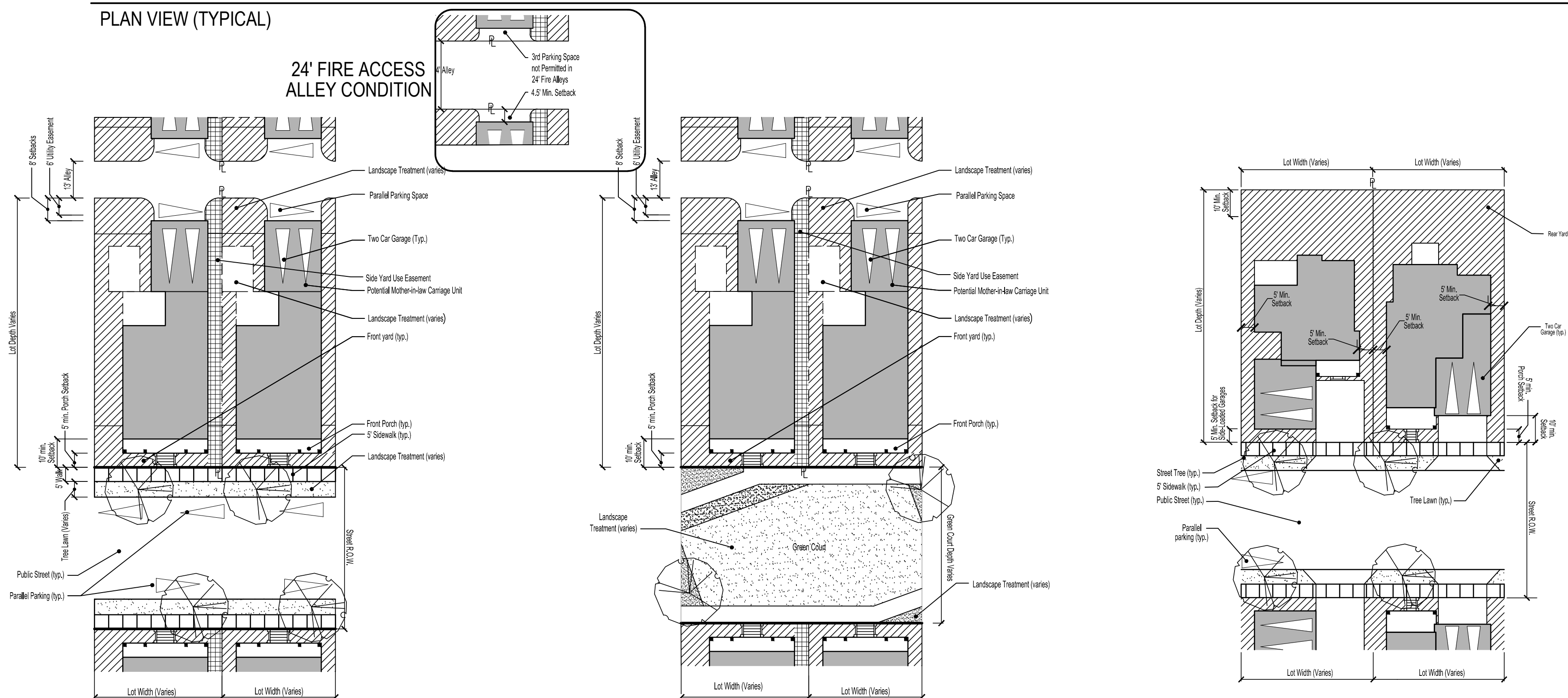
HOUSING PRODUCT	SQUARE FOOTAGE
(A) SINGLE FAMILY DETACHED REAR-LOADED HOME	1,650 - 2,850 SF
(B) SINGLE FAMILY DETACHED GREEN COURT HOME	1,650 - 2,850 SF
(C) SINGLE FAMILY DETACHED FRONT-LOADED HOME	1,900 - 3,000 SF

SQUARE FOOT RANGES ARE INTENDED TO ENCOMPASS A MAJORITY OF HOMES IN EACH HOUSING PRODUCT TYPE. A MINIMAL AMOUNT OF HOMES MAY VARY FROM DEFINED RANGES DURING FURTHER ARCHITECTURE DESIGN DEVELOPMENT AND CONSTRUCTION.

TYPICAL PRODUCT IMAGE



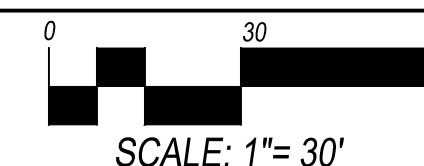
PLAN VIEW (TYPICAL)



A SINGLE FAMILY DETACHED REAR-LOADED HOME

B SINGLE FAMILY DETACHED REAR-LOADED GREEN COURT HOME

C SINGLE FAMILY DETACHED FRONT-LOADED HOME



MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR CONSTRUCTION

SETBACK AND HEIGHT RESTRICTIONS CHART

USE	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES		MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES		MAXIMUM BUILDING HEIGHT	MAXIMUM ACCESSORY STRUCTURE HEIGHT
						13' ALLEY	20' ALLEY	13' ALLEY	20' ALLEY		
	COLLECTOR SECTION 6									See Note: 7	
Single Family Detached Home with Rear Loaded Garage	15'	10'	10'	5'	15'	8'	4.5'	8'	4.5'	45'	28'
Single Family Detached Home with Front Loaded Garage	15'	10'	10'	5'	10'	3' NO ALLEY		N/A	N/A	45'	28'

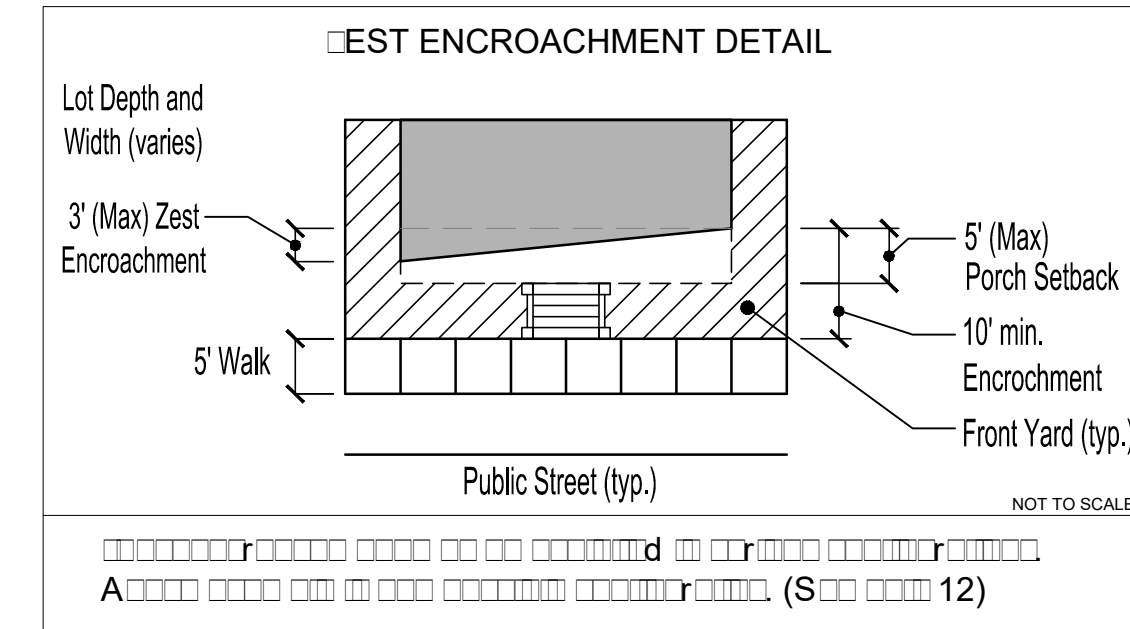
The proposed setback and height restrictions are consistent with the Second Amendment to the PDP for the Midtown Clear Creek PUD. Refer to the Second Amendment to the PDP for full list of notes.

NOTES:

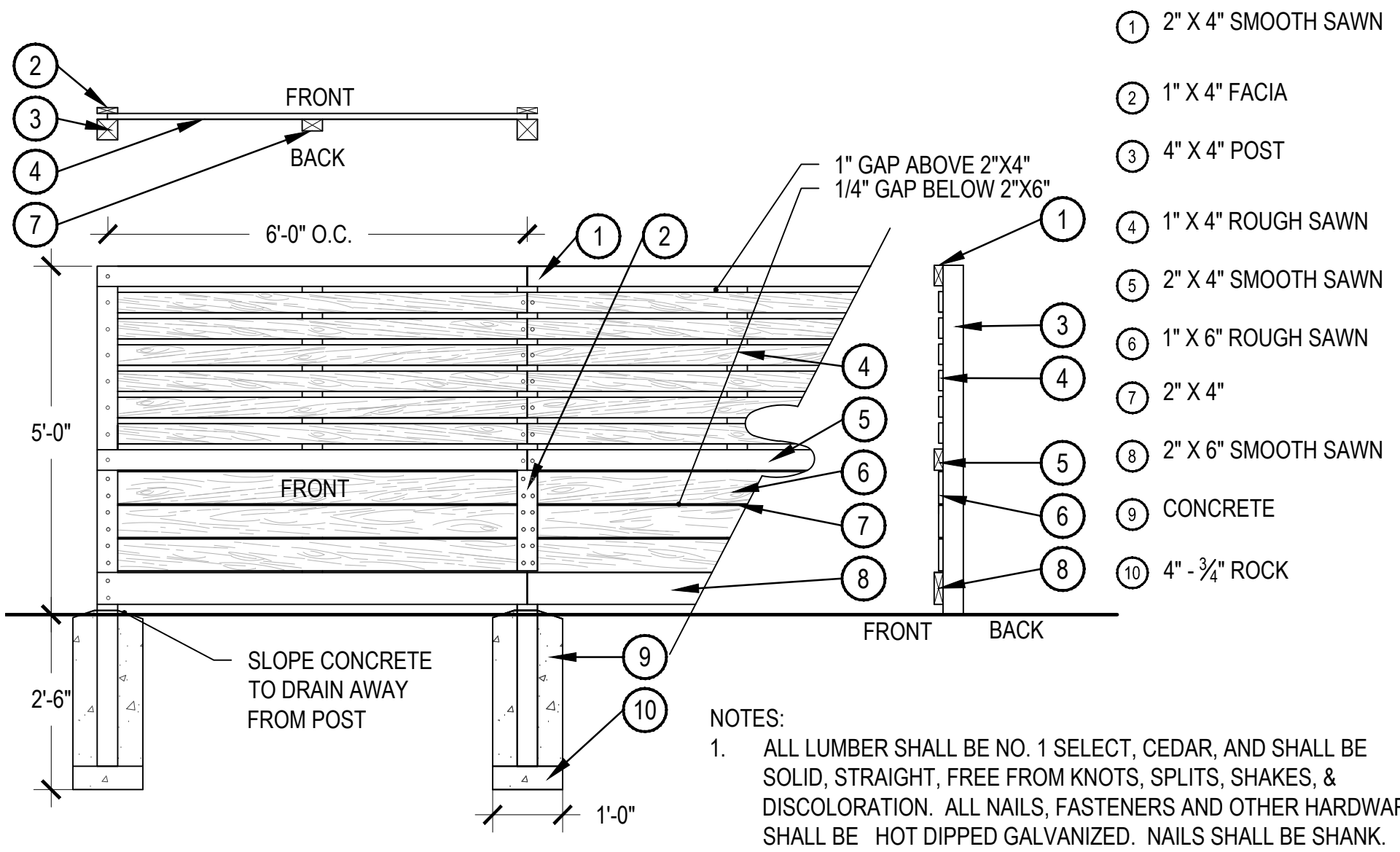
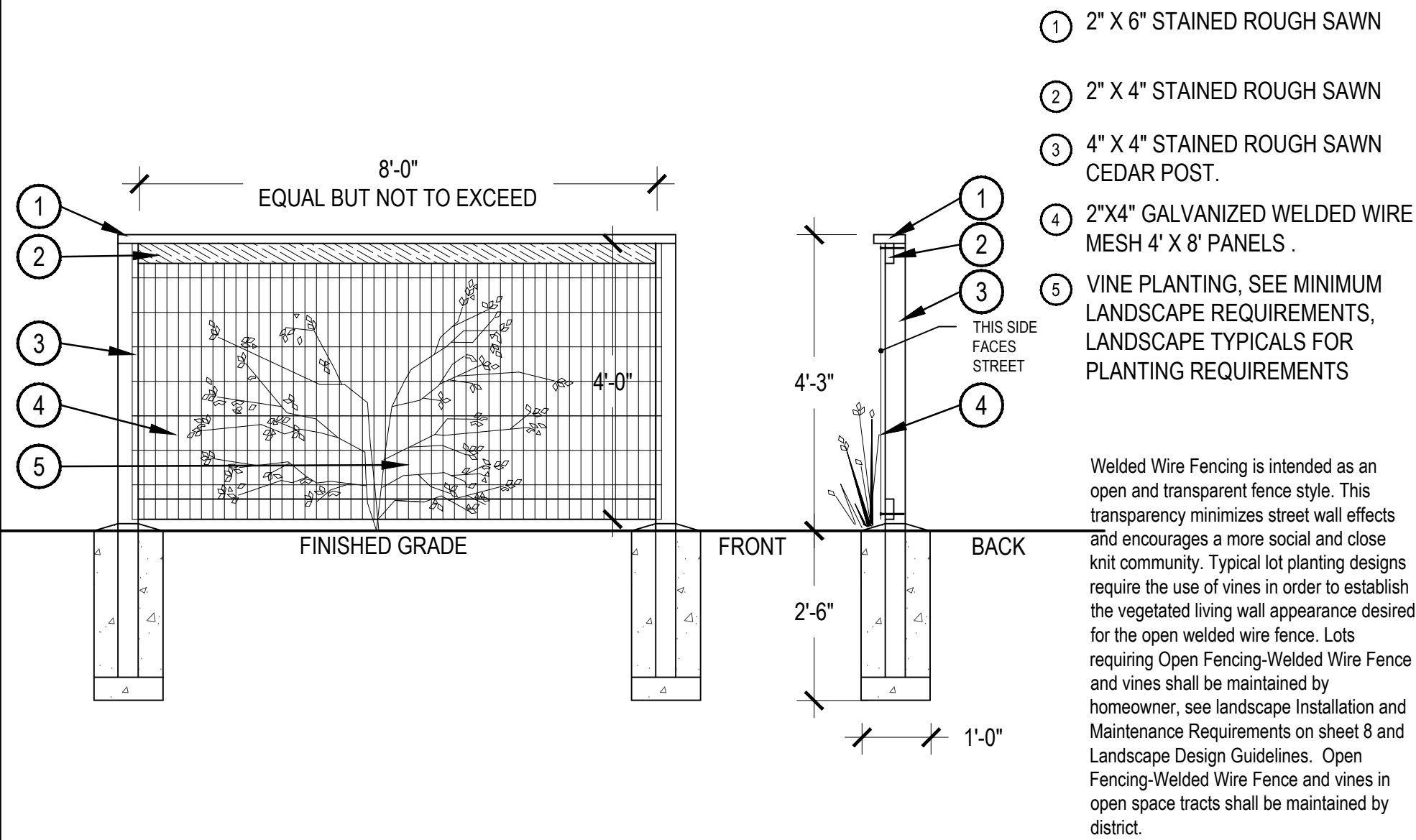
(References copied from the Second Amendment to the PDP)

- The garage door face for the lot shall be at least 18' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Setbacks will follow local street standards on West 67th Avenue.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.

- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Lot coverage is defined as the area covered by the buildings and accessory buildings.
- Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of way or transportation and utility easements.



- The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
- Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).

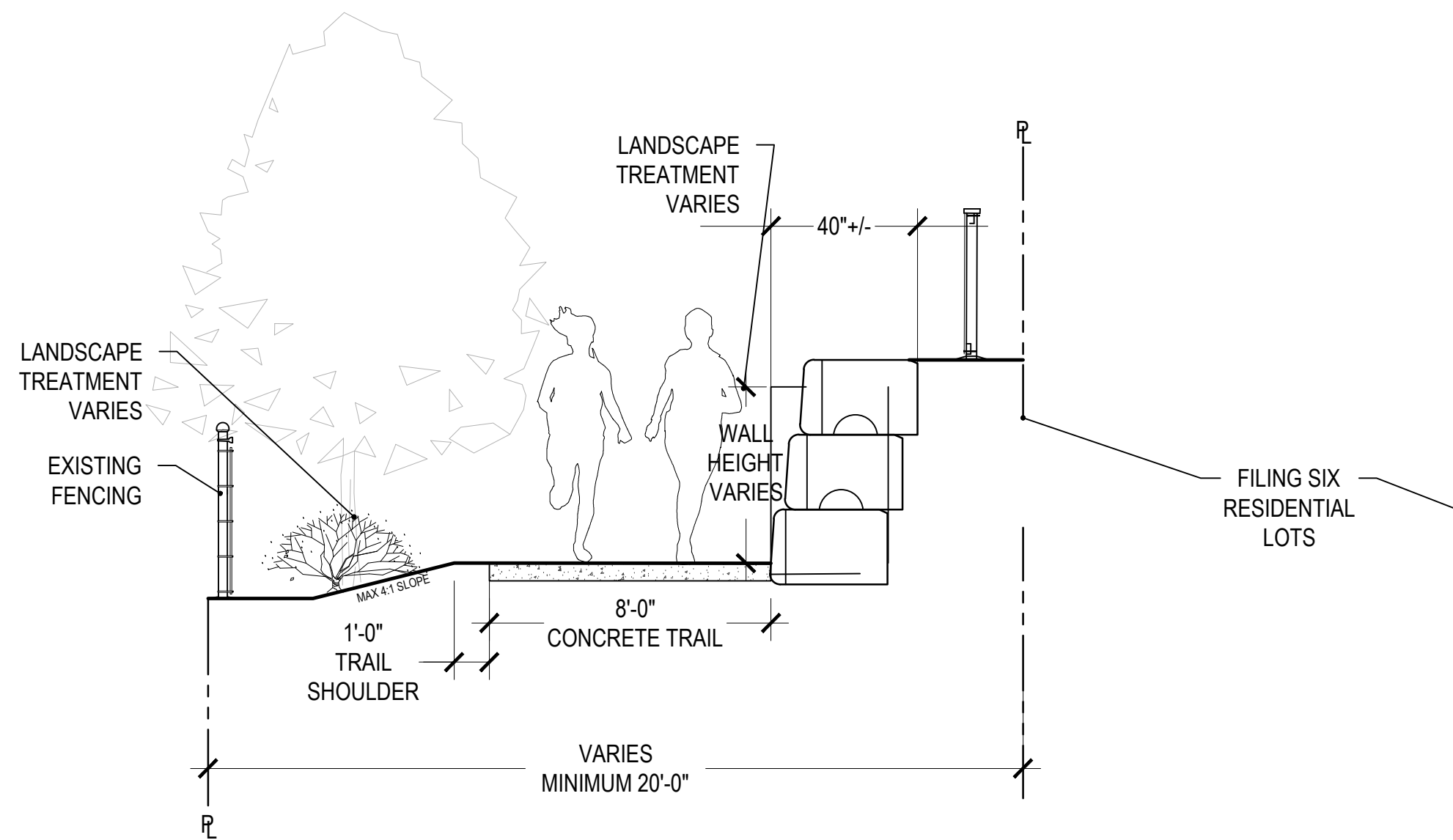


1 OPEN FENCING - WELDED WIRE FENCE

SCALE: 1/2" = 1'

2 SOLID FENCE - HORIZONTAL WOOD FENCE

SCALE: 1/2" = 1'



3 TRAIL TYPICAL

SCALE: 1/4" = 1'-0"

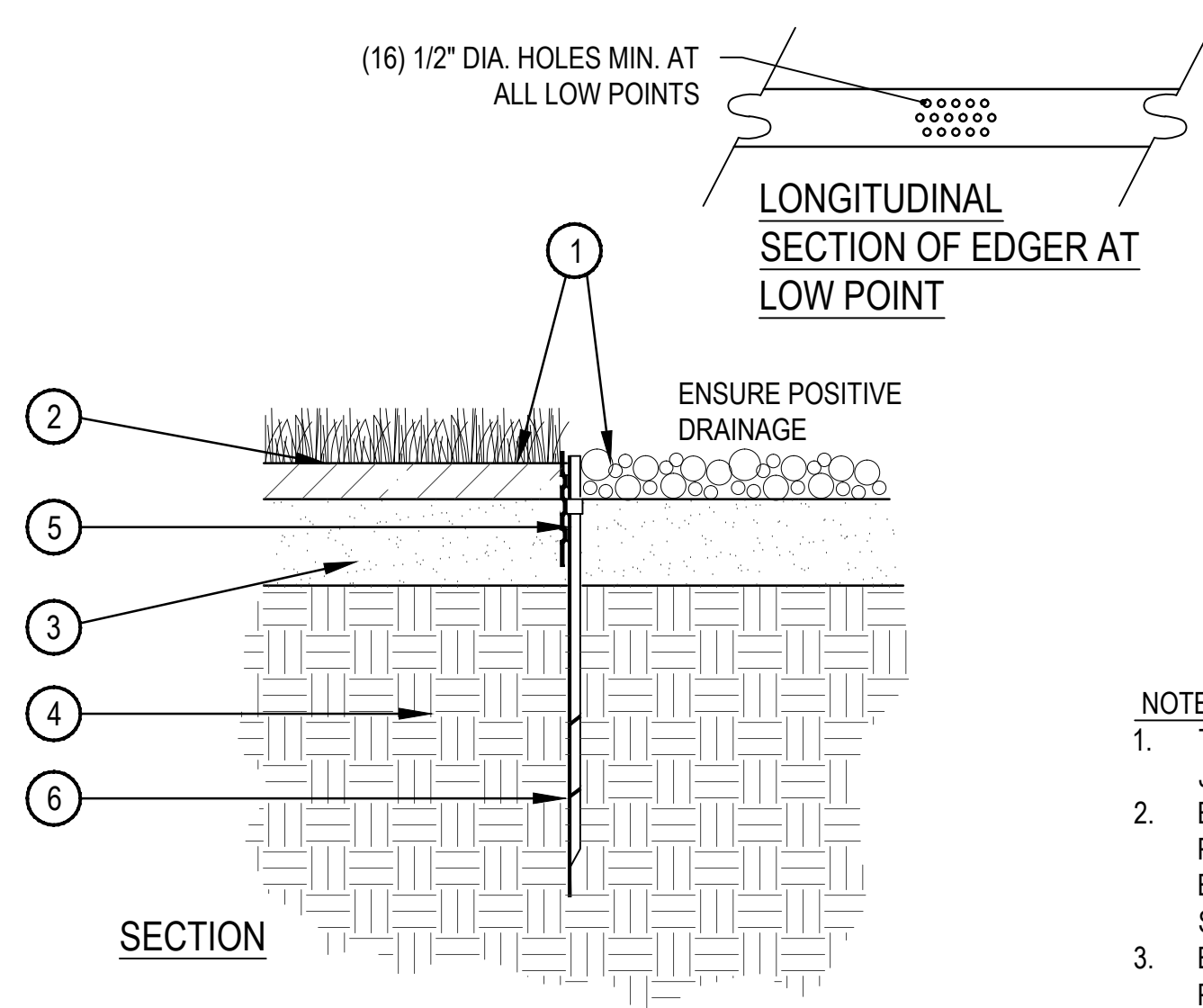
4 CONCRETE PLANTER EDGE

SCALE: 1" = 1'-0"

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO



- NOTES:
1. SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
 2. SIGN HEIGHTS PER ADDAMS COUNTY AND CDOT STANDARDS



- 1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- 2 TURF THATCH
- 3 AMENDED SOIL PER SPECIFICATIONS
- 4 SUBGRADE
- 5 METAL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- 6 EDGER STAKE

NOTES:

1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. EDGER SHALL BE SET AS STRAIGHT AS POSSIBLE, ANY BENDS OR KINKS WHERE EDGER IS SUPPOSED TO FOLLOW A STRAIGHT LINE WILL BE REJECTED.
3. EDGER CORNERS SHALL BE AS TIGHT AS POSSIBLE.
4. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

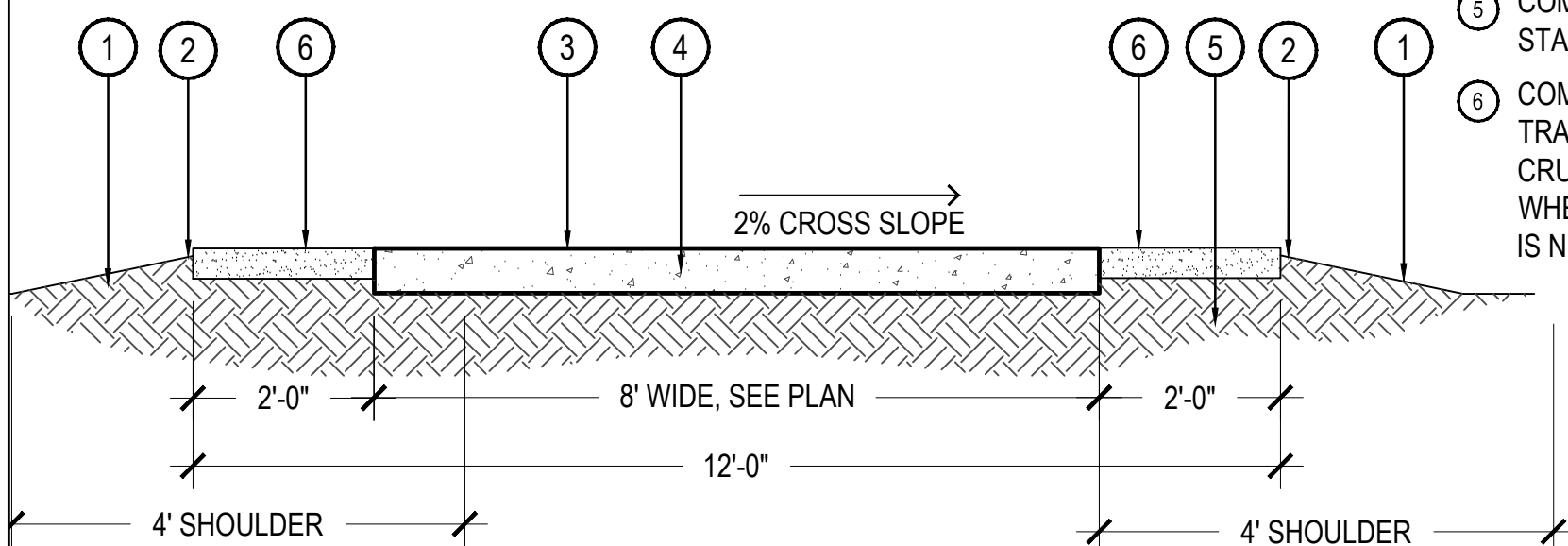
1 MIDTOWN STREET SIGNAGE

SCALE: NTS

2 METAL EDGER DETAIL

SCALE: 1" = 1'-0"

- 1 FINISH GRADE
- 2 FINISH GRADE TO BE 1" BELOW CONCRETE AFTER COMPACTION
- 3 SAW CUT CONTROL JOINTS, 8' O.C. TYPICAL
- 4 CONCRETE TRAIL PER ADAMS COUNTY STANDARDS
- 5 COMPACT SUBGRADE TO 95% STANDARD PROCTER
- 6 COMPACTED CRUSHER FINES TRAIL WITH STABILIZER. CRUSHER FINES ONLY LOCATED WHERE UTILITY TRUCK ACCESS IS NEEDED



3 CONCRETE TRAIL

SCALE: 1/2" = 1'-0"

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

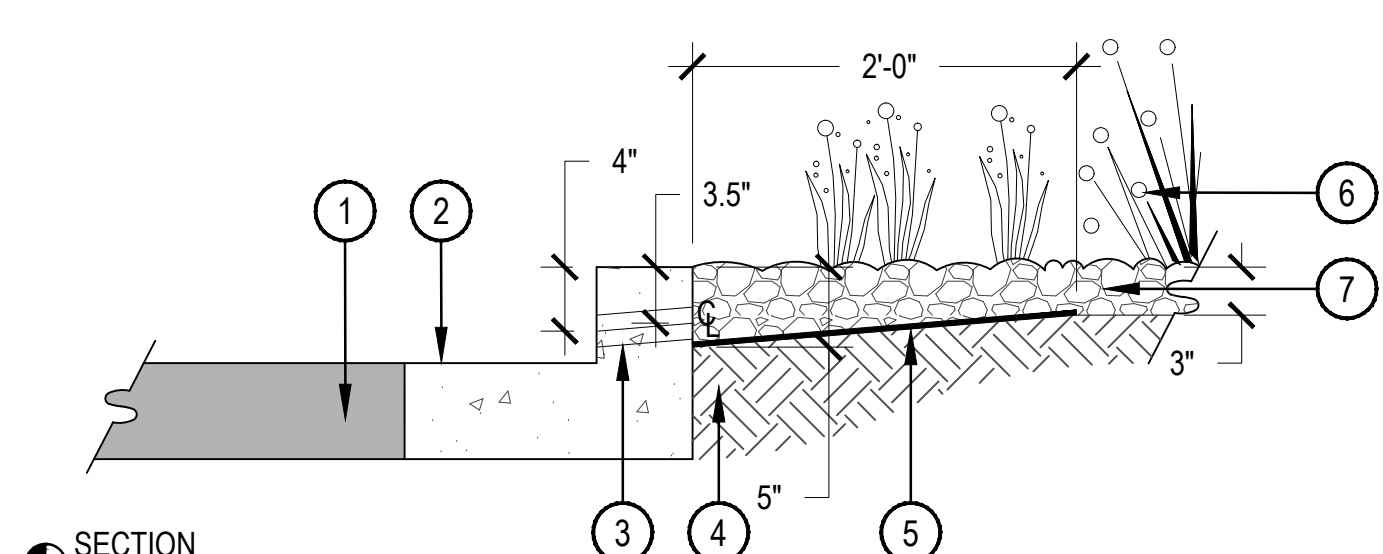
11 / 21 / 2016

6 / 6 / 2017

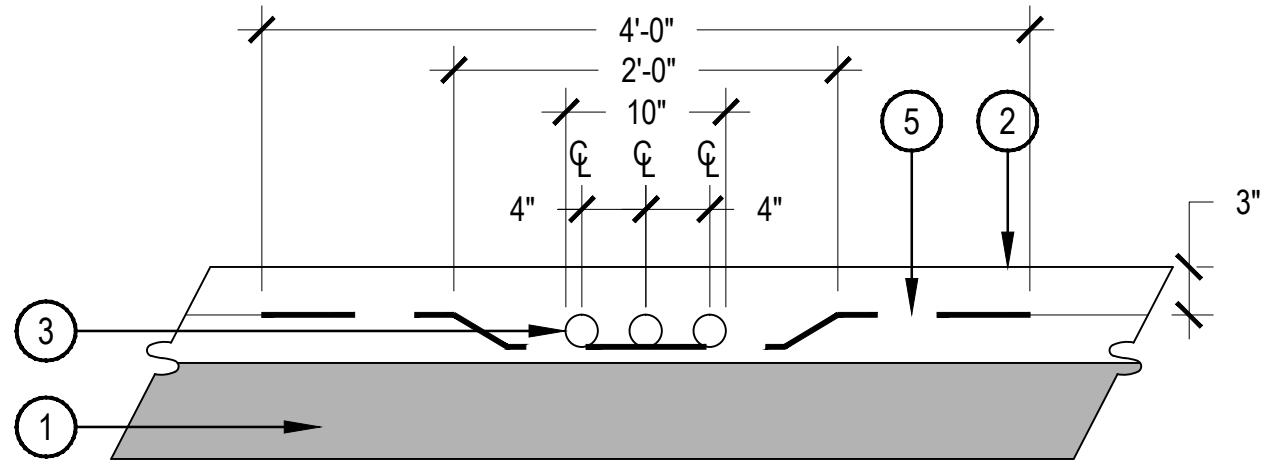
7 / 19 / 2017

12 / 11 / 2017

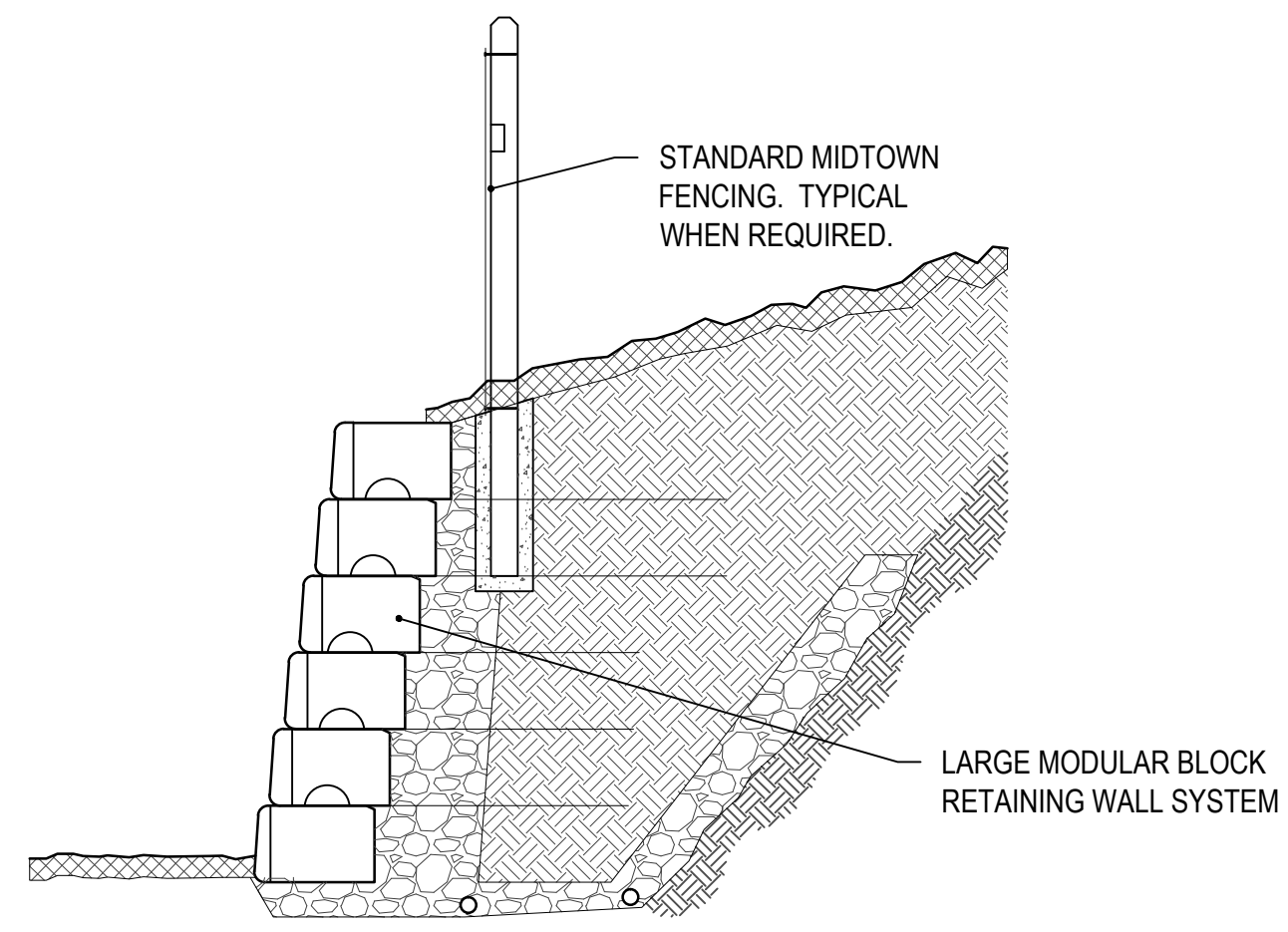
NOT FOR CONSTRUCTION



- ① ROADWAY
- ② CONCRETE CURB
- ③ 2" DIAMETER DRAINAGE HOLES
- ④ COMPACTED SUBGRADE
- ⑤ 2' x 4' PVC WATERPROOF MEMBRANE
- ⑥ PLANT MATERIAL (RE: PLANS)
- ⑦ MULCH



NOTE: IF JURISDICTION DOES NOT ALLOW CORE DRILLING, USE MULCH BED AT LOW POINT ADJACENT TO CURB DETAIL 3 ON SHEET 30.



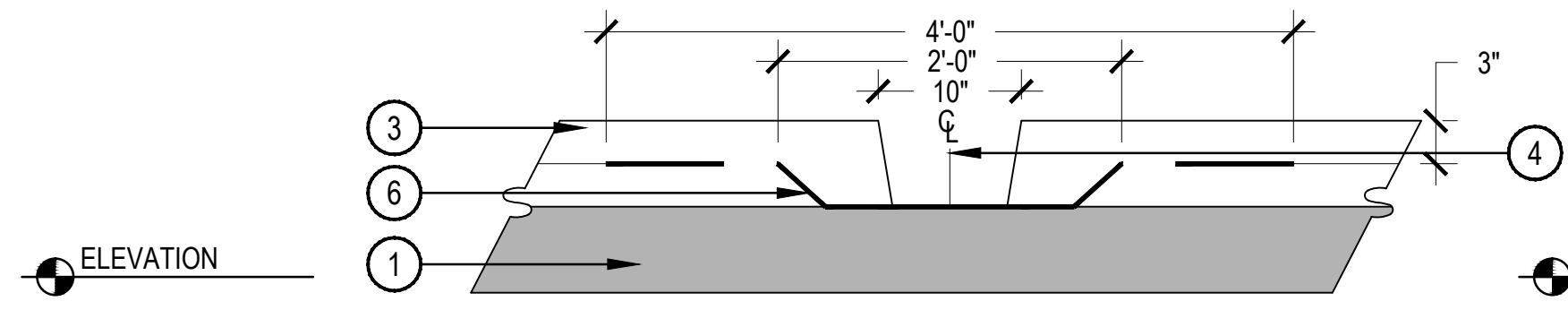
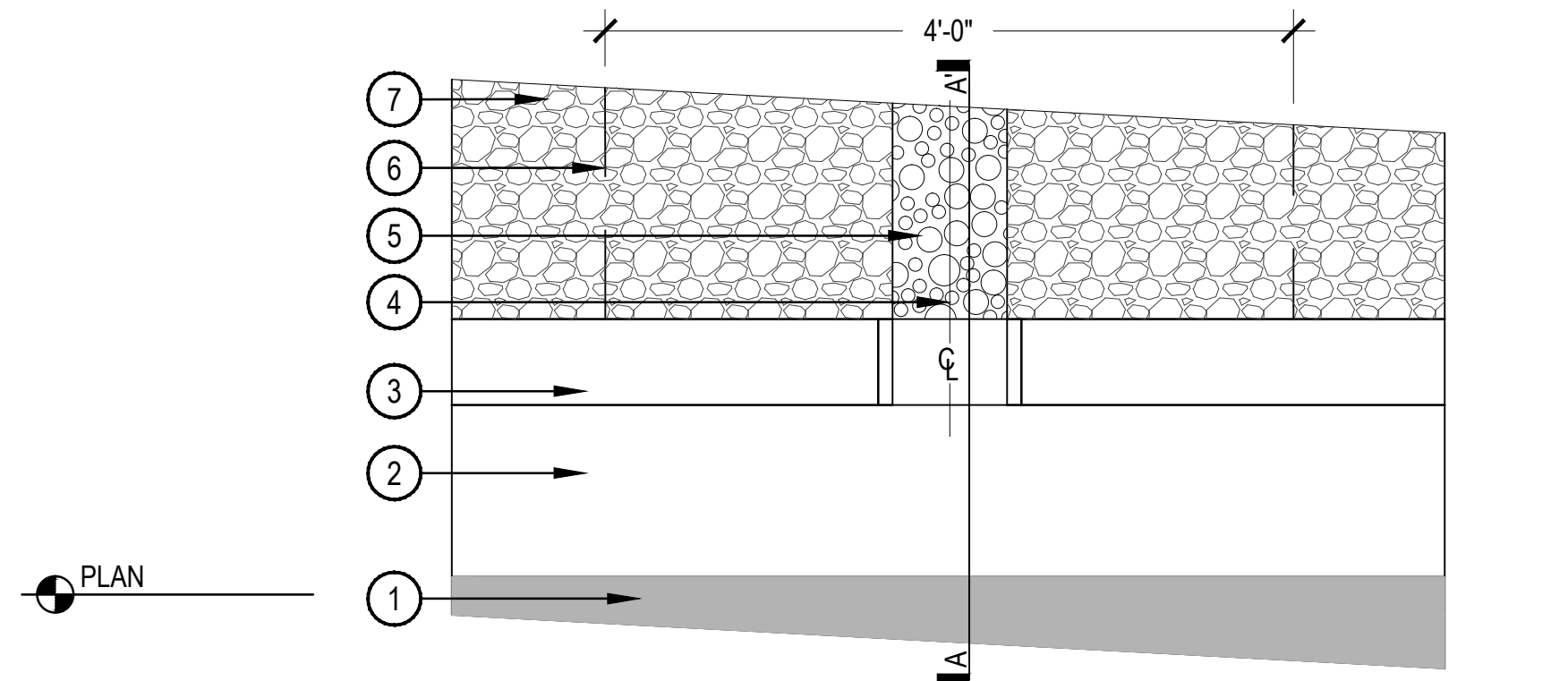
- NOTES:
1. LARGE MODULAR BLOCK RETAINING WALL SYSTEM OR APPROVED EQUAL. MANUFACTURER TO SUBMIT DETAILED DRAWING AND STRUCTURAL DESIGN PRIOR TO CONSTRUCTION.
 3. REFER TO CIVIL CONSTRUCTION DOCUMENTS FOR WALL ELEVATIONS.
 4. LARGE MODULAR BLOCK RETAINING WALL IS ONLY SPECIFIED FOR USE IN THE FILING SIX FDP IN TRACT E. REFER TO CIVIL CONSTRUCTION DOCUMENTS FOR FURTHER DETAILS.

1 MULCH BED AT LOW POINT ADJACENT TO CURB

SCALE: 1" = 1'-0"

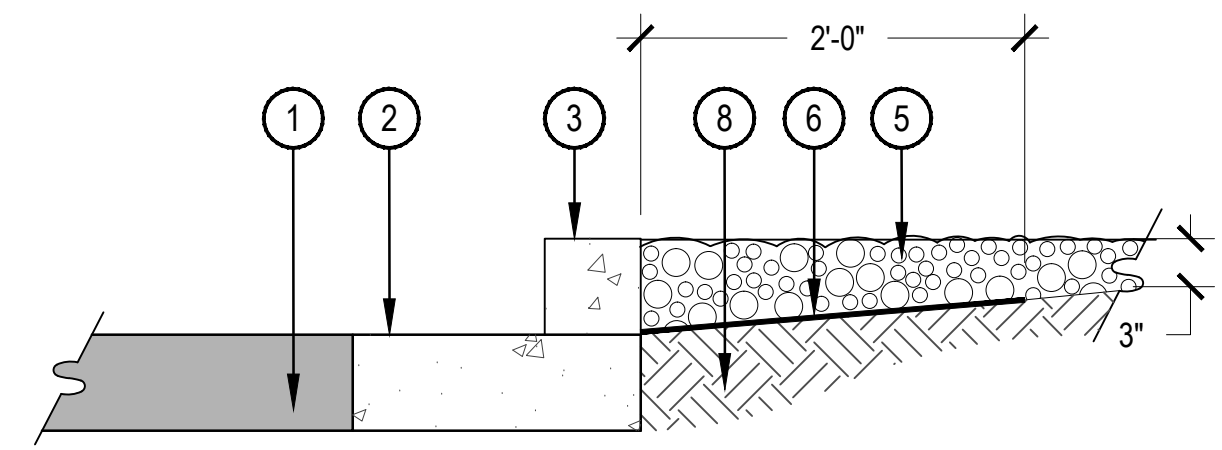
2 LARGE MODULAR BLOCK RETAINING WALL

NOT TO SCALE



3 MULCH BED AT LOW POINT ADJACENT TO CURB

SCALE: 1" = 1'-0"



- ① ROADWAY
- ② CONCRETE GUTTER
- ③ CONCRETE CURB
- ④ CENTERLINE OF DRAINAGE NOTCH
- ⑤ 1 1/2" COBBLE MULCH
- ⑥ 2' x 4' PVC WATERPROOF MEMBRANE
- ⑦ MULCH
- ⑧ SUBGRADE

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN - FILING SIX
 ADAMS COUNTY, COLORADO

Issue Date

8 / 30 / 2016

Revision Date

11 / 21 / 2016

6 / 6 / 2017

7 / 19 / 2017

12 / 11 / 2017

NOT FOR CONSTRUCTION

MIDTOWN AT CLEAR CREEK – FILING NO. 6

CASE NO. PRC
2016-00012

A REPLAT OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, TRACT 0 AND A PORTION OF FERN DRIVE, MIDTOWN AT CLEAR CREEK – FILING NO. 4 AND A PORTION OF THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 6

OWNERSHIP AND DEDICATION CERTIFICATE:

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4 ALL IN TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 1 AND A PORTION OF ZUNI STREET OF SUNDSTRAND SUBDIVISION AS RECORDED AT RECEPTION NO. A026680 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TRACT 0 AND A PORTION OF FERN DRIVE OF THE PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS, TOGETHER WITH A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

BEGINNING AT THE SOUTH SIXTEENTH CORNER OF SAID SECTION 4 AND SECTION 5;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 5, SOUTH 00°26'28" WEST A DISTANCE OF 112.05 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF C & S RAILROAD, ALSO BEING ON THE SOUTHERLY BOUNDARY OF SAID SUNDSTRAND SUBDIVISION AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 6551.57 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 39°31'32" WEST.

THENCE DEPARTING SAID EAST LINE, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°05'10" AN ARC LENGTH OF 810.27 FEET;
2. TANGENT TO SAID CURVE NORTH 57°33'37" WEST A DISTANCE OF 404.92 FEET;
3. NORTH 32°26'23" EAST A DISTANCE OF 50.00 FEET;
4. NORTH 57°33'37" WEST A DISTANCE OF 177.22 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID LOT 1;

THENCE ALONG THE WESTERLY, NORTHERLY AND EASTERLY BOUNDARY OF SAID LOT 1 THE FOLLOWING SEVEN (7) COURSES:

1. DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY, NORTH 00°34'23" EAST A DISTANCE OF 1349.53 FEET;
2. SOUTH 83°07'30" EAST A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1063.39 FEET;
3. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46" AN ARC LENGTH OF 215.53 FEET;
4. TANGENT TO SAID CURVE NORTH 85°15'44" EAST A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
5. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44" AN ARC LENGTH OF 267.94 FEET;
6. TANGENT TO SAID CURVE SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET;
7. SOUTH 00°26'28" WEST, A DISTANCE OF 1119.83 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 77.50 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY OF LOT 1, SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 76°56'59", AN ARC LENGTH OF 104.08 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN BOOK 856 AT PAGE 61, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 811.38 FEET TO THE SOUTHERLY BOUNDARY OF LOT 1, MIDTOWN AT CLEAR CREEK SCHOOL SITE RECORDED UNDER RECEPTION NO. _____, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY BOUNDARY, SOUTH 89°43'26" EAST, A DISTANCE OF 404.02 FEET TO THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. SOUTH 00°16'34" WEST, A DISTANCE OF 744.93 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 21.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 33.77 FEET;
3. NON-TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 49.75 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 74.50 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 00°16'34" EAST;

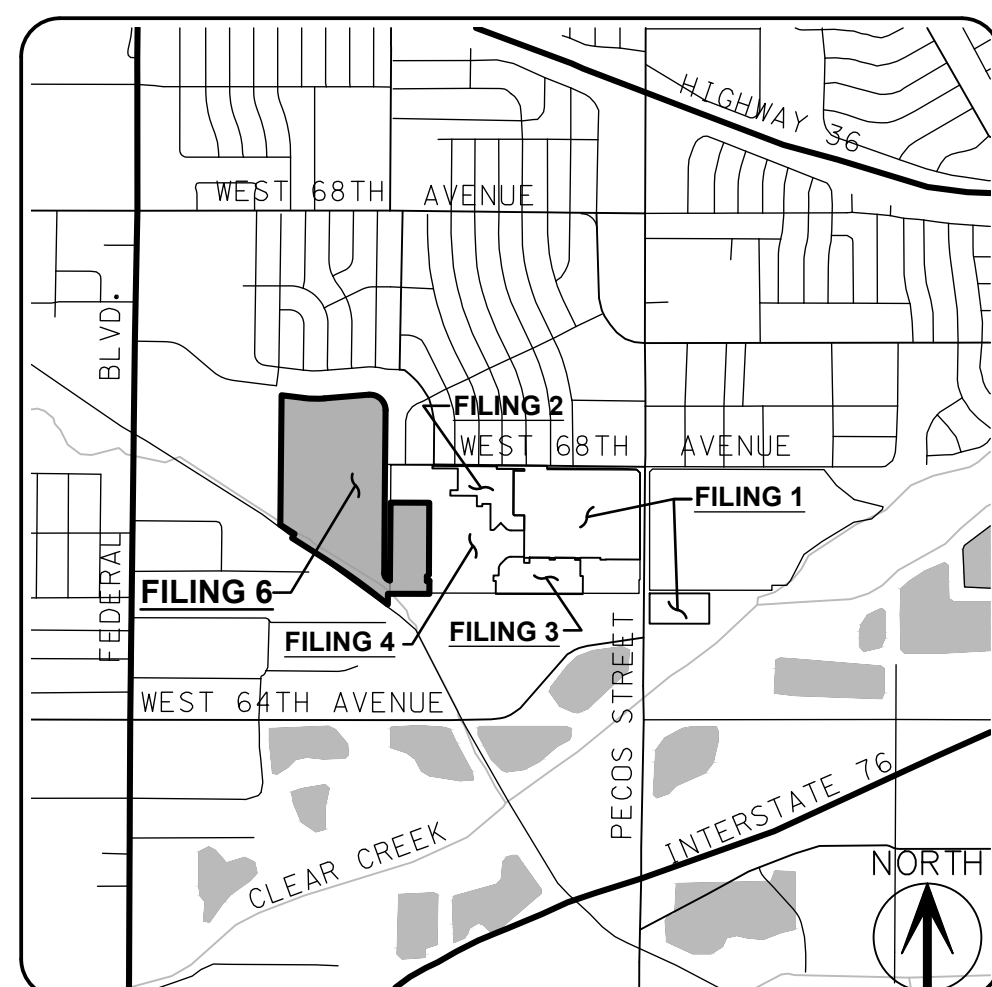
THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°02'33", AN ARC LENGTH OF 27.36 FEET TO THE NORTHERLY EXTENSION OF THE EASTERLY BOUNDARY OF SAID TRACT 0;

THENCE NON-TANGENT TO SAID CURVE, ALONG SAID NORTHERLY EXTENSION AND THE EASTERLY BOUNDARY OF SAID TRACT 0, SOUTH 00°16'34" WEST, A DISTANCE OF 137.45 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'26" WEST A DISTANCE OF 432.01 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 52.356 ACRES, (2,280,634 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK – FILING NO. 6** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN (EXCLUDING THOSE GRANTED AND DEDICATED TO CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 HEREIN), FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.



VICINITY MAP
NOT TO SCALE

OWNERSHIP AND DEDICATION CERTIFICATE—CONTINUED:
AS TO: NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4

EXECUTED THIS ____ DAY OF _____ A.D., 20____
BY: MIDTOWN, LLC

NAME AS TITLE

ACKNOWLEDGEMENT
BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY
STATE OF COLORADO }
COUNTY OF _____ }SS
THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____
DAY OF _____ A.D. 20____
BY _____ AS _____ OF MIDTOWN, LLC, A
COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
MY ADDRESS IS: _____
WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

ACKNOWLEDGEMENT AND ACCEPTANCE BY CRESTVIEW WATER AND SANITATION DISTRICT

I, _____ AS DISTRICT MANAGER OF CRESTVIEW WATER AND SANITATION DISTRICT, WHICH HAS AN ADDRESS OF 7145 MARIPOSA STREET, DENVER, CO 80221, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF NON-EXCLUSIVE WATER EASEMENTS AS SHOWN WITHIN TRACTS B, D, F & G OF **MIDTOWN AT CLEAR CREEK – FILING NO. 6**, COUNTY OF ADAMS, STATE OF COLORADO.
BY: _____ AS DISTRICT MANAGER
DATE: _____

ACKNOWLEDGEMENT AND ACCEPTANCE BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1

I, _____ AS DISTRICT MANAGER OF CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, WHICH HAS AN ADDRESS OF 188 INVERNESS DRIVE W, SUITE 150, ENGLEWOOD, CO 80112, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF THE PARK AND OPEN SPACE EASEMENT OVER TRACT F AND TRACT G AND THE RETAINING WALL EASEMENTS AS SHOWN WITHIN LOTS 1, 2, 3 AND 4, BLOCK 3 OF **MIDTOWN AT CLEAR CREEK – FILING NO. 6**, COUNTY OF ADAMS, STATE OF COLORADO.

BY: _____ DATE: _____
DISTRICT MANAGER

OWNERSHIP AND DEDICATION CERTIFICATE—CONTINUED:
AS TO: LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION & THAT PART OF VACATED ZUNI STREET WITHIN SECTION 5

EXECUTED THIS ____ DAY OF _____ A.D., 20____
BY: BPI WESTMINSTER, LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME AS TITLE

ACKNOWLEDGEMENT
STATE OF COLORADO }
COUNTY OF _____ }SS
THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ A.D. 20____, BY _____ AS _____ OF BPI WESTMINSTER, LLC, A COLORADO LIMITED LIABILITY COMPANY
NOTARY PUBLIC
MY COMMISSION EXPIRES: _____
MY ADDRESS IS: _____
WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, DEREK S. BROWN, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

DEREK S. BROWN
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38064
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898



NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, A.D., 20____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, A.D., 20____

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____ M. ON THE ____ DAY OF _____ A.D., 20____

COUNTY CLERK AND RECORDER
BY: _____ DEPUTY
RECEPTION NO. _____

300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.:54816-31

DATE OF PREPARATION:	2016-08-10	3	ADDED NOTE AND R/W EASEMENTS	2017-06-06	TP	DSB	6	DISTR. COMMENTS	2017-11-30	TP	DSB
SCALE:	N/A	2	REMOVED SCHOOL SITE FROM BNDY.	2017-03-24	TP	DSB	5	CNTY. COMMENTS	2017-09-14	TP	DSB
SHEET 1 OF 6		1	UPDATED RIGHT-OF-WAY/BOUNDARY	2016-11-09	DLL	DSB	4	CNTY. COMMENTS	2017-07-14	TP	DSB
		NO.	REVISION	DATE	BY	CHK	NO.	REVISION	DATE	BY	CHK

MIDTOWN AT CLEAR CREEK – FILING NO. 6

CASE NO. PRC
2016-00012

A REPLAT OF LOT 1, BLOCK 1, SUNDBRAND SUBDIVISION, TRACT 0 AND A PORTION OF FERN DRIVE, MIDTOWN AT CLEAR CREEK – FILING NO. 4 AND A PORTION OF THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 6

NOTES

1. BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.
2. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
4. AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION BINDER ORDER NUMBER ABC70448208 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE JULY 26, 2016 AT 5:00 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.
5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
6. 6-FOOT WIDE UTILITY EASEMENTS AS SHOWN HEREON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. PUBLIC SERVICE COMPANY REQUESTS THESE UTILITY EASEMENTS BE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEE, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEE, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PCSO AN EASEMENT ON ITS STANDARD FORM. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.
7. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 (CCSMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE CCSMD COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
8. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 4, 2007. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD" AND A PORTION LIES WITHIN ZONE AE, BEING DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD" SAID ZONE AE LIMITS AS SHOWN HEREON. CONDITIONAL LETTER OF MAP REVISION (CLOMR) WAS ISSUED FOR THE FLOODPLAIN BOUNDARIES OF THE BASE FLOOD ON APRIL 2, 2015, CASE NO. 14-08-1140R. FLOODPLAIN BOUNDARIES ARE ILLUSTRATED ON SHEET 4, 5, 6 AND 7.
9. SIDE YARD USE EASEMENTS ARE HEREBY GRANTED ALONG ALL COMMON SIDE LOT LINES WITHIN ALL DETACHED HOME LOTS.

SIDE YARD USE EASEMENTS OCCUR FROM FRONT PROPERTY LINE TO REAR PROPERTY LINE AND EXTEND FROM THE GRANTOR'S BUILDING FOUNDATION TO THE LOT LINE BETWEEN THE GRANTOR'S AND GRANTEE'S PARCELS. THAT SHALL BE GRANTED TO THE EASEMENT GRANTEE PER THE RESTRICTIONS OUTLINED BELOW. REFER TO DETAIL A FOR A GRAPHIC REPRESENTATION OF THE SIDE YARD USE EASEMENT.

THE FOLLOWING RESTRICTIONS APPLY TO THE SIDE YARD USE EASEMENTS:

- A. EASEMENT GRANTEE SHALL HAVE FULL ACCESS AND ENJOYMENT OF THE EASEMENT INCLUDING CONSTRUCTION OF IMPROVEMENTS, USE, AND MAINTENANCE OF THE SPACE INCLUDED IN THE EASEMENT. FENCES AND WALLS USED AS PRIVACY SCREENS MUST BE OUTSIDE FRONT AND REAR SETBACK. IMPROVEMENTS INCLUDING BUT NOT LIMITED TO DECKS, PATIOS, LANDSCAPING, WALLS, FENCES, RAILS, FURNITURE AND SIMILAR ELEMENTS ARE PERMITTED WITHIN THE DEFINED SIDE YARD USE EASEMENT. DECKS, PATIOS AND WALLS, OTHER THAN PRIVACY SCREENS, IN EXCESS OF 30-INCHES IN HEIGHT ARE NOT PERMITTED. ONLY LANDSCAPING, HARDSCAPE, AND IRRIGATION IMPROVEMENTS ARE PERMITTED WITHIN FRONT AND REAR SETBACKS. SIDE YARD USE EASEMENT PROCEDURES AND POLICIES SHALL BE MANAGED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. NO IMPROVEMENTS MAY BE IMPLEMENTED AT THE DETRIMENT OF THE GRANTOR'S ABILITY TO MAINTAIN THEIR HOME.
- B. SIDE YARD USE EASEMENTS ARE PERMITTED ON DETACHED SINGLE FAMILY LOTS ONLY.
- C. ALL IMPROVEMENTS BY GRANTEE LOCATED WITHIN THE SIDE YARD USE EASEMENT SHALL BE MAINTAINED BY THE EASEMENT GRANTEE.
- D. EASEMENT GRANTEE IS ENSURED OF ACCESS WITHIN THIS EASEMENT FOR MAINTENANCE AND REPAIR OF THE PRINCIPAL STRUCTURE LOCATED ON THE EASEMENT GRANTOR'S LOT AND FOR NO OTHER PURPOSE. THE DESIGN REVIEW COMMITTEE OF THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 APPROVES ALL PLOT PLANS BEFORE AUTHORIZING APPLICATION TO ADAMS COUNTY FOR ISSUANCE OF BUILDING PERMIT. FOR ISSUE RESOLUTION THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 IS GRANTED ACCESS INTO THIS EASEMENT.
- E. ALL PRINCIPAL STRUCTURES, INCLUDING GARAGES, OWNED BY EASEMENT GRANTOR SHALL BE MAINTAINED BY EASEMENT GRANTOR.
- F. GRANTEE SHALL NOT ALTER FINISHED GRADE AND/OR DRAINAGE PATTERNS ON THE GRANTOR'S PROPERTY WITHOUT THE WRITTEN APPROVAL OF THE DESIGN REVIEW COMMITTEE.

DEFINITIONS:

EASEMENT GRANTOR: THE LOT OWNER GRANTING SIDE YARD AREA TO ADJACENT LOT OWNER FOR USE.

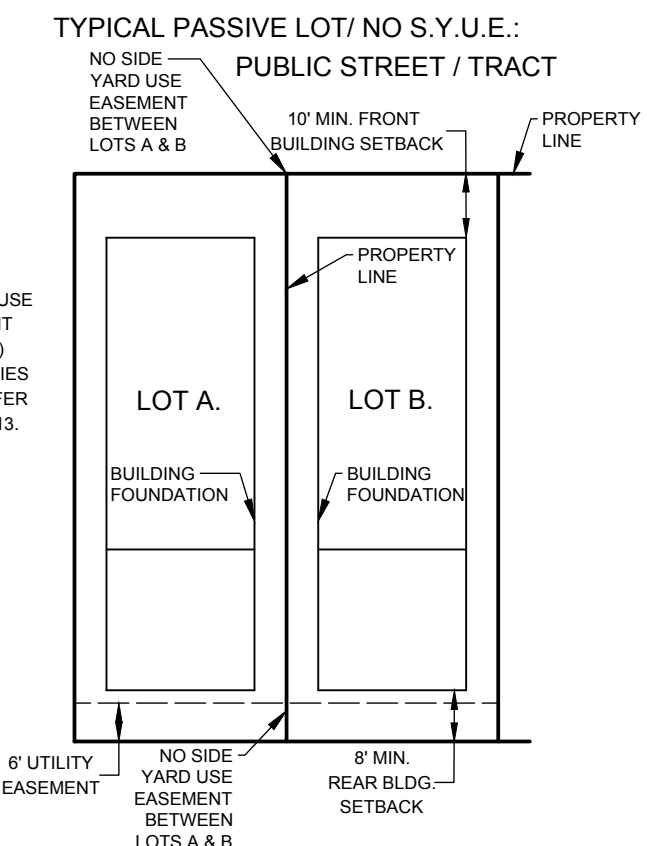
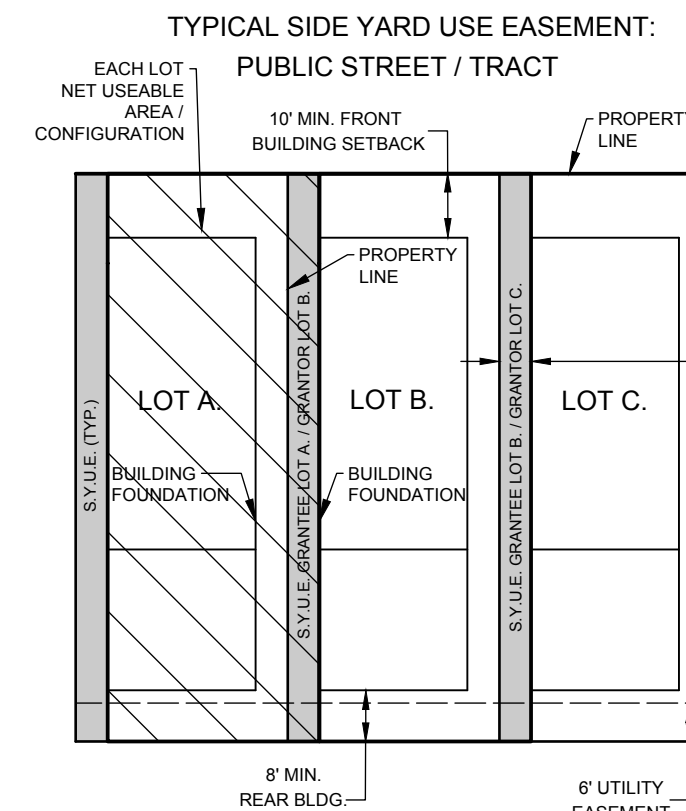
EASEMENT GRANTEE: THE LOT OWNER GAINING SIDE YARD AREA FROM ADJACENT LOT OWNER FOR USE.

10. A PORTION OF THIS PLAT IS SUBJECT TO AN ENVIRONMENTAL COVENANT AS RECORDED AUGUST 10, 2007, UNDER RECEPTION NO. 2007000077016.

11. LOTS 1-3, BLOCK 3 AND LOTS 32-35, BLOCK 2 WILL NOT BE ISSUED A BUILDING PERMIT UNTIL A LETTER OF MAP REVISION (LOMR) HAS BEEN ISSUED.

NOTES (CONTINUED)

12. A NON-EXCLUSIVE ACCESS AND WATER EASEMENT OVER THE WATER EASEMENTS AS SHOWN WITHIN TRACTS B AND D OF MIDTOWN AT CLEAR CREEK – FILING NO. 6 IS HEREBY GRANTED TO THE ADJACENT LOT OWNERS AND CRESTVIEW WATER AND SANITATION DISTRICT FOR THE PURPOSE OF ACCESSING, INSPECTING, MAINTAINING, AND REPAIRING PRIVATE WATER FACILITIES IN THE EVENT THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, ITS SUCCESSORS, AND ASSIGNS FAILS TO SATISFACTORILY MAINTAIN OR REPAIR SAID FACILITIES. THE ABOVE MENTIONED ADJACENT LOT OWNERS ARE GRANTED ACCESS ACROSS THE ENTIRETY OF THE ABOVE MENTIONED TRACT FOR THE PURPOSE OF ACCESSING, INSPECTING, MAINTAINING, AND REPAIRING PRIVATE WATER FACILITIES.
13. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.
14. HEREBY RESERVING AN EASEMENT FOR THE USE OF EXISTING SEWER, GAS, WATER AND SIMILAR PIPELINES AND APPURTENANCES, AND FOR ELECTRIC, TELEPHONE AND SIMILAR LINES AND APPURTENANCES WITHIN THE VACATED PORTIONS OF ZUNI STREET.
15. A NON-EXCLUSIVE PARK AND OPEN SPACE EASEMENT OVER TRACT F AND TRACT G IS HEREBY GRANTED AND DEDICATED TO CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF CONSTRUCTION, MAINTENANCE, OPERATION, REPAIR AND REPLACEMENT OF PARK AND OPEN SPACE IMPROVEMENTS, AND FOR THE USE OF THE PUBLIC FOR PASSIVE RECREATION ACTIVITIES.
16. A NON-EXCLUSIVE DRAINAGE EASEMENT OVER TRACT F IS HEREBY GRANTED AND DEDICATED TO CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, ITS SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF CONSTRUCTION, MAINTENANCE, OPERATION, REPAIR AND REPLACEMENT OF DRAINAGE FACILITIES IMPROVEMENTS.
17. THE CRESTVIEW WATER AND SANITATION DISTRICT IS HEREBY GRANTED ACCESS TO THOSE TEN-FOOT WIDE CONCRETE AND TWELVE-FOOT WIDE ROAD BASE TRAILS TO BE LOCATED WITHIN TRACTS F AND G.
18. SEE OPERATIONS AND MAINTENANCE MANUAL RECORDED AT RECEPTION NO. 2017000109137 REGARDING MAINTENANCE OF THE DETENTION POND THAT SERVICES THIS SITE.



TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	9,715	0.223	PRIVATE ALLEY/ACCESS	CCSMD NO. 1
B	23,622	0.542	LS/DRAINAGE/PA	CCSMD NO. 1
C	12,260	0.281	PRIVATE ALLEY/ACCESS	CCSMD NO. 1
D	18,987	0.436	LS/DRAINAGE/PA	CCSMD NO. 1
E	17,476	0.401	LS/DRAINAGE/PA	CCSMD NO. 1
F	219,826	5.047	OPEN SPACE, DRAINAGE	CCSMD NO. 1
G	281,189	6.455	OPEN SPACE	CCSMD NO. 1
TOTAL TRACT AREA	583,075	13.385		
TOTAL LOT AREA	1,653,903	37.969		
ROW DEDICATION (INTERNAL STREETS)	43,656	1.002		
TOTAL SITE AREA	2,280,634	52.356		

CCSMD NO. 1 - CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1
LS/DRAINAGE/PA = LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS

ADDRESS TABLE

BLOCK 1		BLOCK 2	
LOT	ADDRESS	LOT	ADDRESS
1	2387 W. 67TH DR.	28	6651 FERN DR.
2	2365 W. 67TH DR.	29	6673 FERN DR.
3	2343 W. 67TH DR.	30	6685 FERN DR.
4	2321 W. 67TH DR.	31	6638 ZUNI ST.
5	2295 W. 67TH DR.	32	6624 ZUNI ST.
6	2283 W. 67TH DR.	33	6612 ZUNI ST.
7	2271 W. 67TH DR.	34	6600 ZUNI ST.
		35	2315 W. 66TH AVE.
		36	2327 W. 66TH AVE.
		37	2339 W. 66TH AVE.
		38	2343 W. 66TH AVE.
		39	6637 FERN DR.
		40	6625 FERN DR.
		41	6613 FERN DR.
		42	6601 FERN DR.
BLOCK 2		BLOCK 3	
LOT	ADDRESS	LOT	ADDRESS
1	6747 FERN DR.	1	2376 W. 66TH AVE.
2	6741 FERN DR.	2	2354 W. 66TH AVE.
3	6739 FERN DR.	3	2332 W. 66TH AVE.
4	6733 FERN DR.	4	2310 W. 66TH AVE.
5	6728 ZUNI ST.	5	2294 W. 66TH AVE.
6	6732 ZUNI ST.	6	2282 W. 66TH AVE.
7	6736 ZUNI ST.	7	2270 W. 66TH AVE.
8	6738 ZUNI ST.		
9	6742 ZUNI ST.	BLOCK 4	
10	6746 ZUNI ST.	LOT	ADDRESS
11	6702 ZUNI ST.	1	6701 ZUNI ST.
12	6708 ZUNI ST.		
13	6712 ZUNI ST.		
14	6716 ZUNI ST.		
15	6720 ZUNI ST.		
16	6724 ZUNI ST.		
17	6719 FERN DR.		
18	6713 FERN DR.		
19	6707 FERN DR.		
20	6701 FERN DR.		
21	6650 ZUNI ST.		
22	6658 ZUNI ST.		
23	6670 ZUNI ST.		
24	6678 ZUNI ST.		
25	6684 ZUNI ST.		
26	6694 ZUNI ST.		
27	6649 FERN DR.		



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

AZTEC
CONSULTANTS, INC.
300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.:54816-31

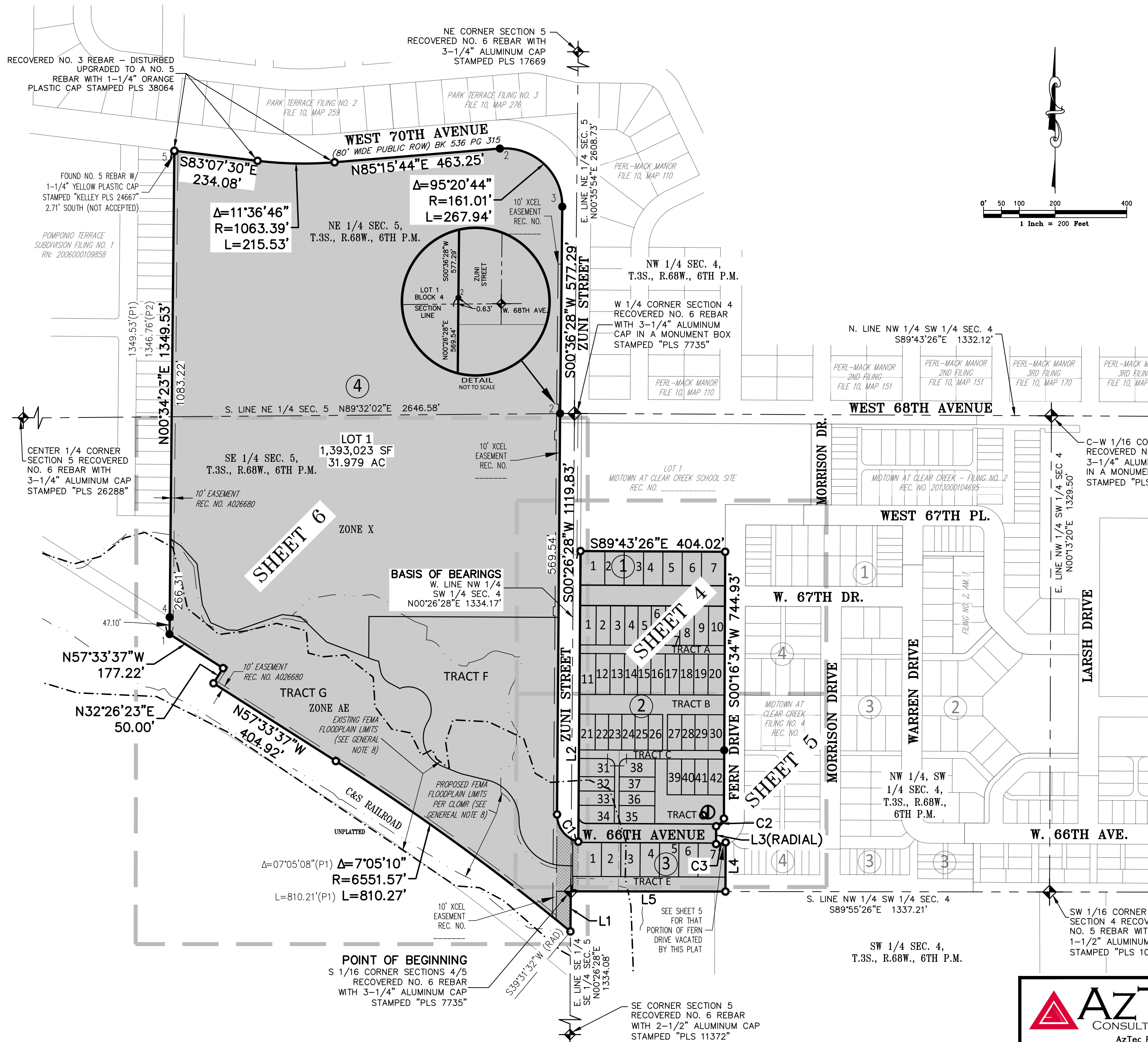
DATE OF PREPARATION:	2016-08-10
SCALE:	N/A
SHEET 2 OF 6	

MIDTOWN AT CLEAR CREEK – FILING NO. 6

CASE NO. PRC
2016-00012

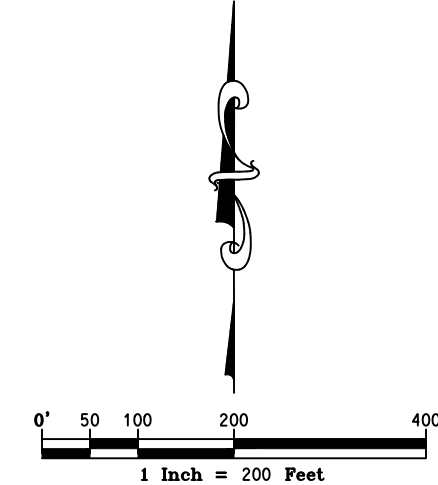
A REPLAT OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, TRACT 0 AND A PORTION OF FERN DRIVE, MIDTOWN AT CLEAR CREEK – FILING NO. 4 AND A PORTION OF THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 3 OF 6



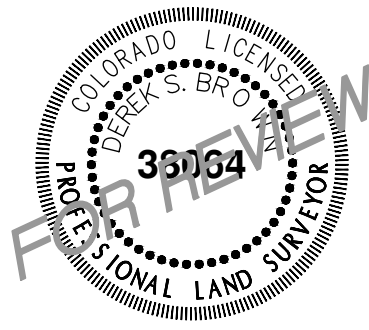
LEGEND

- ◆ RECOVERED P.L.S.S. CORNER STAMPED AS NOTED
- SET NO. 5 REBAR WITH ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- 1 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "V3 PLS 28688"
- 2 ● RECOVERED NO. 3 REBAR
- 3 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "ENGINEERING SER CO" (ILLEGIBLE PLS #)
- 4 ● RECOVERED NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP STAMPED "CDOT"
- 5 ● RECOVERED NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "KELLEY PLS 24667"
- (RAD) RADIAL BEARING
- S.M.E. SIDEWALK MAINTENANCE EASEMENT
- ROW RIGHT-OF-WAY
- (M) MEASURED
- (P1) PLAT OF SUNDSTRAND SUBDIVISION (FILE 14 MAP 94)
- (P2) PLAT OF POMPONIO TERRACE SUBDIVISION FILING NO. 1 (REC. NO. 2016000109858)
- ▨ PORTION ZUNI STREET RIGHT-OF-WAY BEING VACATED BY THIS PLAT



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	76°56'59"	77.50'	104.08'	S38°02'02"E, 96.44'
C2	90°00'00"	21.50'	33.77'	S45°16'34"W, 30.41'
C3	21°02'33"	74.50'	27.36'	N79°45'17"E, 27.21'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°26'28"W	112.05'
L2	N00°26'28"E	811.38'
L3	S00°16'34"W	49.75'
L4	S00°16'34"W	137.45'
L5	N89°55'26"W	432.01'



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.:54816-31

DATE OF PREPARATION:	2016-08-10
SCALE:	1"=200'
SHEET 3 OF 6	

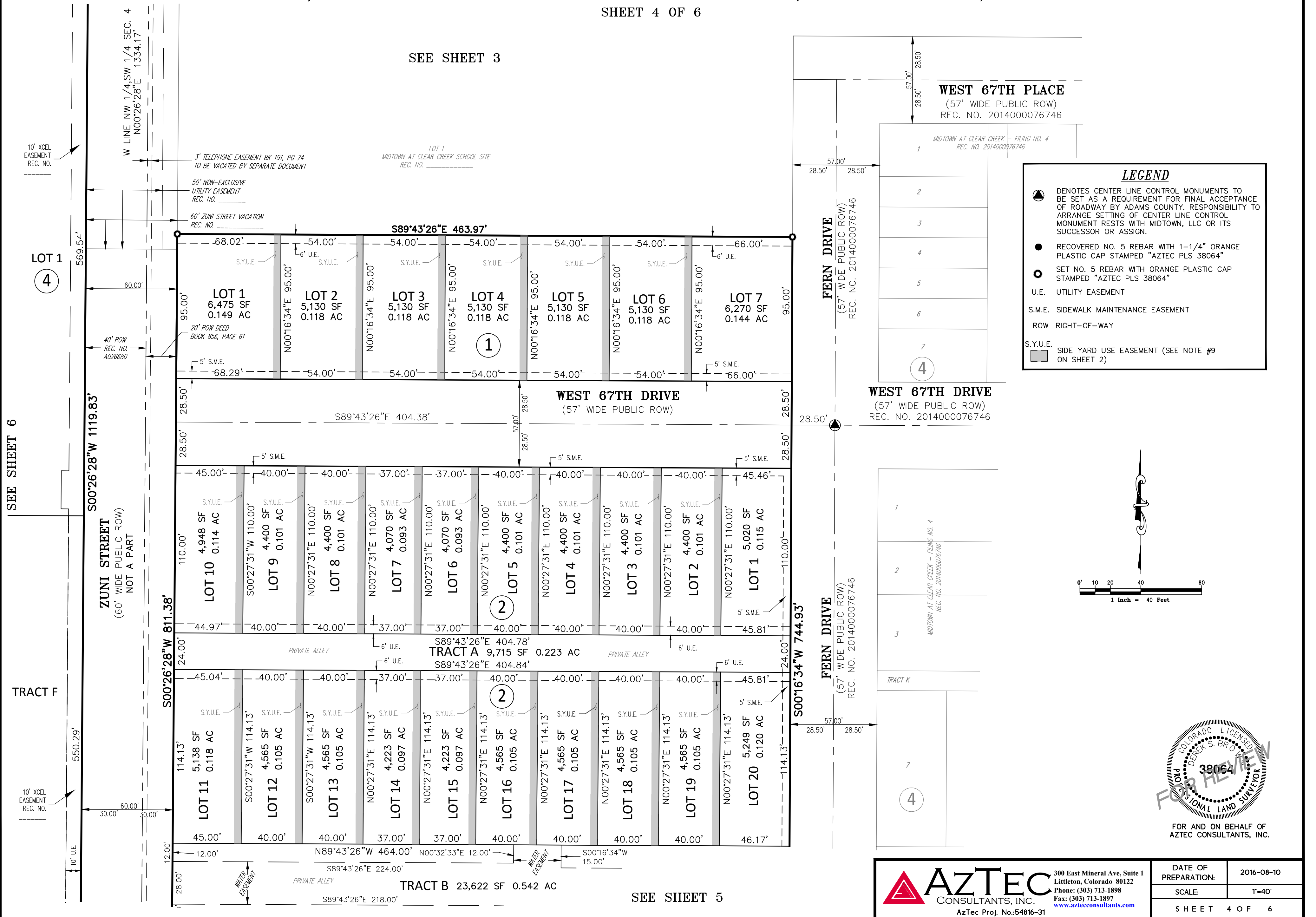
MIDTOWN AT CLEAR CREEK – FILING NO. 6

CASE NO. PRC
2016-00012

A REPLAT OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, TRACT O AND A PORTION OF FERN DRIVE, MIDTOWN AT CLEAR CREEK – FILING NO. 4 AND A PORTION OF THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 6

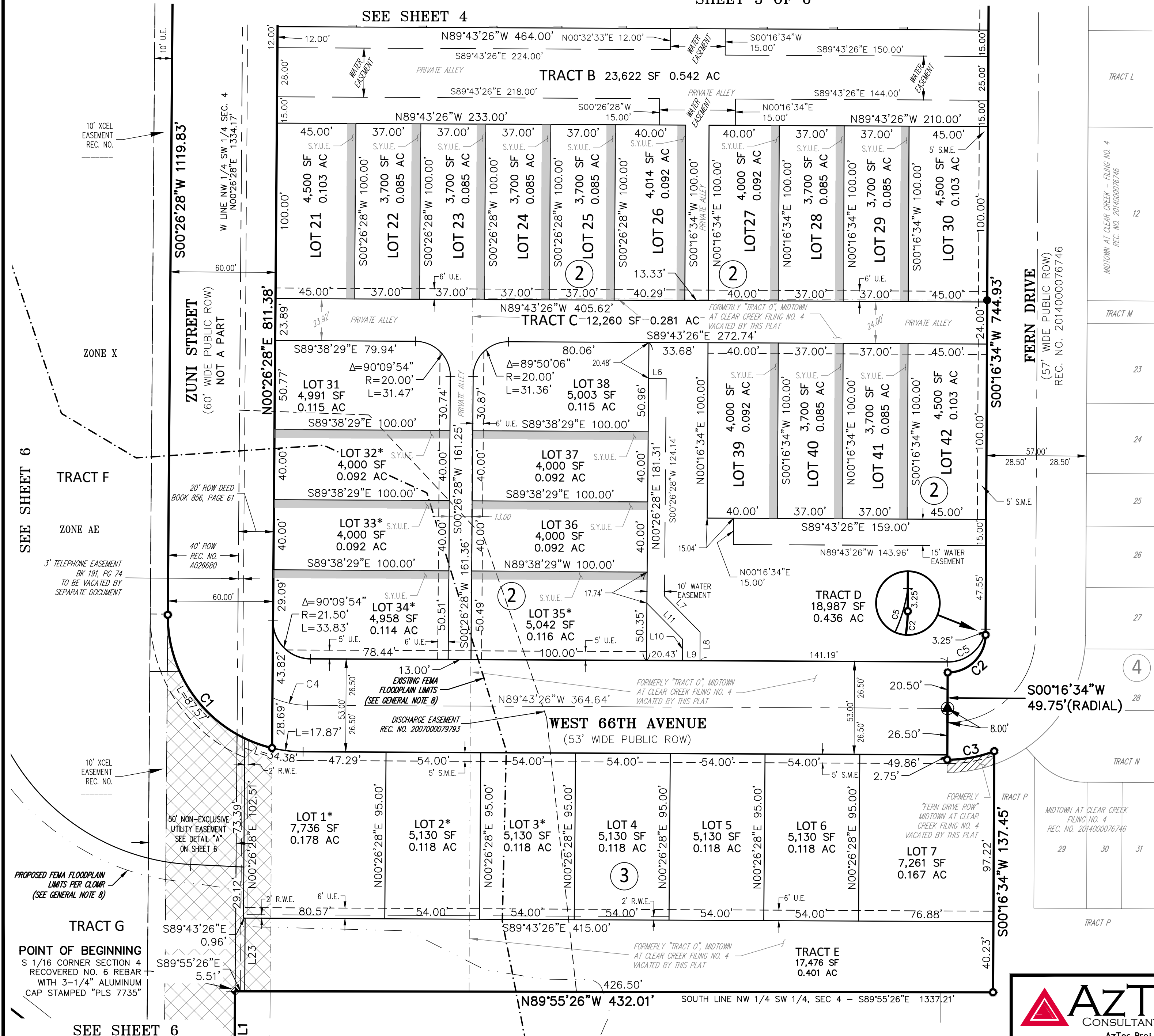
SEE SHEET 3



MIDTOWN AT CLEAR CREEK - FILING NO. 6

CASE NO. PRC
2016-00012

A REPLAT OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION, TRACT 0 AND A PORTION OF FERN DRIVE, MIDTOWN AT CLEAR CREEK - FILING NO. 4 AND A PORTION OF THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 6



LEGEND

- DENOTES CENTER LINE CONTROL MONUMENTS TO BE SET AS A REQUIREMENT FOR FINAL ACCEPTANCE OF ROADWAY BY ADAMS COUNTY. RESPONSIBILITY TO ARRANGE SETTING OF CENTER LINE CONTROL MONUMENT RESTS WITH MIDTOWN, LLC OR ITS SUCCESSOR OR ASSIGN.
- RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- SET NO. 5 REBAR WITH ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- U.E. UTILITY EASEMENT
- S.M.E. SIDEWALK MAINTENANCE EASEMENT
- R.W.E. RETAINING WALL EASEMENT
- (RAD) RADIAL BEARING
- ROW RIGHT-OF-WAY
- * SUBJECT TO FLOODPLAIN RESTRICTIONS (SEE NOTE 11)
- S.Y.U.E. SIDE YARD USE EASEMENT (SEE NOTE #9 ON SHEET 2)

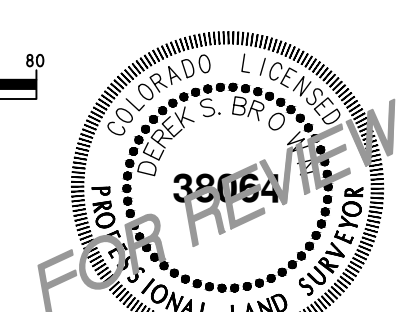
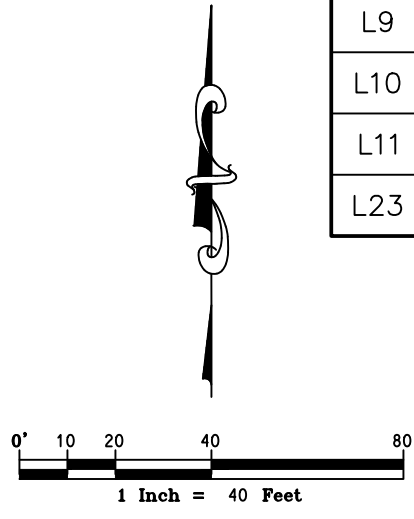
▨ PORTION ZUNI STREET RIGHT-OF-WAY BEING VACATED BY THIS PLAT

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	76°56'59"	77.50'	104.08'	S38°02'02"E, 96.44'
C2	90°00'00"	21.50'	33.77'	N45°16'34"E, 30.41'
C3	21°02'33"	74.50'	27.36'	N79°45'17"E, 27.21'
C4	23°42'36"	50.07'	20.72'	S77°50'09"E, 20.57'
C5	83°07'24"	21.50'	31.19'	N49°11'04"E, 28.53'

LINE TABLE

LINE	BEARING	LENGTH
L1	N00°26'28"E	112.05'
L6	N90°00'00"E	10.00'
L7	S44°43'26"E	28.87'
L8	S00°16'34"W	16.31'
L9	N89°43'26"W	10.00'
L10	S00°16'34"W	12.17'
L11	S44°43'26"E	28.88'
L23	N00°16'34"E	41.72'



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

AZTEC
CONSULTANTS, INC.

300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No. 54816-31

DATE OF PREPARATION:	2016-08-10
SCALE:	1"=40'
SHEET 5 OF 6	

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK FILING 6**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner or contract purchaser of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within the "construction completion date," which is December 31, 2019. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$2,001,618.05, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described as "Phase One" in Exhibit "B" have been preliminarily accepted by the Department of Public Works. No certificates of occupancy shall be issued until the improvements described as "Phase Two" in Exhibit "B" have been preliminarily accepted by the Department of Public Works.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated “public” on Exhibit “B” shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.
7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit “A” attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. Improvements.

Public Improvements:

West 66th Avenue, West 67th Drive, Zuni Street, Fern Drive and County of Adams storm sewer. See Exhibit “B” for description, estimated quantities and estimated construction costs.

Private Improvements:

All other improvements set forth on Exhibit “B” not indicated as “public improvements” above.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and not later than the “construction completion date,” which is December 31, 2019.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement and the final plat for the development known as Midtown at Clear Creek Filing No. 6 by the Board of County Commissioners, the Developer hereby agrees to convey by final plat or special warranty deed to the County of Adams the following described land for right-of-way purposes:

West 66th Avenue, West 67th Drive, Zuni Street and Fern Drive.

9. **Zuni Street and 70th Avenue.** The parties acknowledge that certain portions of existing Zuni Street and existing 70th Avenue (collectively, the “Right-of-Way”) abutting certain portions of the Midtown property and certain property adjacent to Midtown are not constructed to current County standards. The County desires that the Right-of-Way be reconstructed to County standards as set forth in the Midtown at Clear Creek: 70th Avenue and Zuni Street Civil Construction Documents for the Right-of-Way prepared by Redland as on file with the County (“Plans”) as a future project under the County’s Capital Improvement Program (“CIP”), and the Developer desires to participate in the costs of such reconstruction by payment to the County in amount equal to fifty percent (50%) of the estimated total cost of such construction as set forth in the engineer’s opinion of probable cost estimate therefor in Exhibit “C” attached hereto, which amount is \$748,505.00 (“Cash-in-Lieu Amount”). The County hereby accepts the Plans and agrees that Developer’s payment of the Cash-in-Lieu Amount shall fully satisfy Developer’s obligations relating to the Right-of-Way and Developer shall have no other obligation or liability with respect to the Right-of-Way, including without limitation, reconstruction of the Right-of-Way or any portion thereof. Developer shall pay the Cash-in-Lieu Amount to the County contemporaneously with the issuance of the first (1st) building permit for construction of a

residential dwelling unit within any portion of the real property as described in Exhibit "A" attached hereto.

10. Dog Park. The installation of the improvements for the future dog park to be constructed west of Zuni Street and east of "Pond A" (as depicted on Exhibit "B" attached hereto) shall be completed in accordance with plans approved by the County and completed prior to issuance of the first (1st) Certificate of Occupancy in any portion of the real property as described in Exhibit "A" attached hereto.

11. Superseding Effect. This Agreement supersedes and replaces in its entirety that certain Subdivision Improvements Agreement for Midtown at Clear Creek Filing 6 between the Developer and the County approved by resolution of the Board of County Commissioners at the meeting of October 24, 2017, recorded at Reception No. 2017000101388, and such agreement is hereby terminated and of no further force or effect.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____

By: _____

Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____, 20__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK FILING NO. 6

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4 ALL IN TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 1 AND A PORTION OF ZUNI STREET OF SUNDSTRAND SUBDIVISION AS RECORDED AT RECEPTION NO. A026680 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TRACT O AND A PORTION OF FERN DRIVE OF THE PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS, TOGETHER WITH A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

BEGINNING AT THE SOUTH SIXTEENTH CORNER OF SAID SECTION 4 AND SECTION 5;

THENCE ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 5, SOUTH 00°26'28" WEST A DISTANCE OF 112.05 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF C & S RAILROAD, ALSO BEING ON THE SOUTHERLY BOUNDARY OF SAID SUNDSTRAND SUBDIVISION AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 6551.57 FEET THE RADIUS POINT OF SAID CURVE BEARS SOUTH 39°31'32" WEST.

THENCE DEPARTING SAID EAST LINE, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°05'10" AN ARC LENGTH OF 810.27 FEET;
2. TANGENT TO SAID CURVE NORTH 57°33'37" WEST A DISTANCE OF 404.92 FEET;
3. NORTH 32°26'23" EAST A DISTANCE OF 50.00 FEET;
4. NORTH 57°33'37" WEST A DISTANCE OF 177.22 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID LOT 1;

THENCE ALONG THE WESTERLY, NORTHERLY AND EASTERLY BOUNDARY OF SAID LOT 1 THE FOLLOWING SEVEN (7) COURSES:

1. DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY, NORTH 00°34'23" EAST A DISTANCE OF 1349.53 FEET;
2. SOUTH 83°07'30" EAST A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1063.39 FEET;
3. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46" AN ARC LENGTH OF 215.53 FEET;
4. TANGENT TO SAID CURVE NORTH 85°15'44" EAST A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
5. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44" AN ARC LENGTH OF 267.94 FEET;
6. TANGENT TO SAID CURVE SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET;

7. SOUTH 00°26'28" WEST, A DISTANCE OF 1119.83 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 77.50 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY OF LOT 1, SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 76°56'59", AN ARC LENGTH OF 104.08 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN BOOK 856 AT PAGE 61, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 811.38 FEET TO THE SOUTHERLY BOUNDARY OF LOT 1, MIDTOWN AT CLEAR CREEK SCHOOL SITE RECORDED UNDER RECEPTION NO. _____, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY BOUNDARY, SOUTH 89°43'26" EAST, A DISTANCE OF 404.02 FEET TO THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. SOUTH 00°16'34" WEST, A DISTANCE OF 744.93 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 21.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 33.77 FEET;
3. NON-TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 49.75 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 74.50 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 00°16'34" EAST;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°02'33", AN ARC LENGTH OF 27.36 FEET TO THE NORTHERLY EXTENSION OF THE EASTERLY BOUNDARY OF SAID TRACT O;

THENCE NON-TANGENT TO SAID CURVE, ALONG SAID NORTHERLY EXTENSION AND THE EASTERLY BOUNDARY OF SAID TRACT O, SOUTH 00°16'34" WEST, A DISTANCE OF 137.45 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'26" WEST A DISTANCE OF 432.01 FEET TO THE **POINT OF BEGINNING.**

EXHIBIT "B"

Midtown Filing 6 (W 66th Avenue)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

		QUANTITY	UNIT	UNIT PRICE	TOTAL COST	
Grading						
	Import Fill	7,904	CY	\$6.00	\$47,424.60	
	Strip and Respread (Topsoil)	425	CY	\$4.53	\$1,925.25	
Grading Subtotal					\$49,349.85	
Storm Sewer						
	18" RCP (0-8' depth)	35	LF	\$74.58	\$2,610.30	
	48" RCP (0-8' depth)	603-01480	440	LF	\$259.50	\$114,180.00
	100" x 86" CDOT Box Base Manhole	604-31010	1	EA	\$17,000.00	\$17,000.00
	86" x 86" CDOT Box Base Manhole		1	EA	\$12,500.00	\$12,500.00
	6' Dia. Manhole	604-30015	1	EA	\$8,218.80	\$8,218.80
	5' Type 'R' Inlet	604-19105	2	EA	\$5,500.00	\$11,000.00
	Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$168,509.10	
Street Improvements						
Concrete						
	Alley Curb Cut / Approach	1	EA	\$2,000.00	\$2,000.00	
	6" Vertical Curb and Gutter (2' Pan)	609-21020	835	LF	\$24.18	\$20,190.30
Paving						
	Subgrade Prep	306-01000	1,300	SY	\$2.11	\$2,743.00
	Aggregate Basecourse (5" Class 6 Road Base)		1,300	SY	\$8.00	\$10,400.00
	Asphalt (Full depth - 6" section)	202-00037	1,135	SY	\$21.00	\$23,835.00
	Adjust Manhole to Grade	210-04010	6	EA	\$825.65	\$4,953.90
	Adjust Valves to Grade	210-04050	3	EA	\$416.37	\$1,249.11
	Sweep Streets	637-00100	1,135	SY	\$0.60	\$681.00
Signage and Striping						
	Street Signs	3	EA	\$1,500.00	\$4,500.00	
Dry Utilities						
	Street Light (Local)	2	EA	\$6,400.00	\$12,800.00	
Street Subtotal					\$83,352.31	
Demolition						
	Remove Riprap	202-00027	296	CY	\$15.58	\$4,611.68
	Remove Cut Off Wall		1	LS	\$3,000.00	\$3,000.00
	Remove 18" RCP	202-00035	93	LF	\$27.09	\$2,519.37
	Remove 48" RCP	202-00035	108	LF	\$45.00	\$4,860.00
	Remove 18" FES	202-00037	1	EA	\$384.48	\$384.48
	Remove 48" FES	202-00037	1	EA	\$500.00	\$500.00
	Remove 6' Dia. Manhole	202-00021	1	EA	\$756.78	\$756.78
	Remove Type C Inlet	202-00019	1	EA	\$1,148.36	\$1,148.36
	Remove and Replace Curb and Gutter	202-00203	140	LF	\$30.97	\$4,335.80
	Remove and Replace Asphalt (6" Section)	202-00220	331	SY	\$42.00	\$13,902.00
	Remove and Replace Concrete Walk (6" Thick)	202-00200	79	SY	\$58.50	\$4,621.50
Demolition Subtotal					\$40,639.97	
W. 66th Ave. - Phase One Improvements Total					\$341,851.23	

Midtown Filing 6 (W 67th Drive)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Grading					
	Cut to Fill	28	CY	\$2.35	\$65.80
	Strip and Respread (Topsoil)	468	CY	\$4.53	\$2,120.04
				Grading Subtotal	\$2,185.84
Street Improvements					
		CDOT	QUANTITY	UNIT PRICE	TOTAL COST
Concrete					
	6" Vertical Curb and Gutter (2' Pan)	609-21020	825	LF \$24.18	\$19,948.50
	8' Concrete Crossspan (Pavement)		64	SY \$80.00	\$5,120.00
	Curb Return w/ Handicap Ramp (15' Radius:608-00010		4	EA \$1,750.00	\$7,000.00
Paving					
	Subgrade Prep	306-01000	1,700	SY \$2.11	\$3,587.00
	Aggregate Basecourse (5" Class 6 Road Base)		1,700	SY \$8.00	\$13,600.00
	Asphalt (Full depth - 6" section)	202-00037	1,512	SY \$21.00	\$31,752.00
	Adjust Valves to Grade	210-04050	2	EA \$416.37	\$832.74
	Sweep Streets	637-00100	1,512	SY \$0.60	\$907.20
Signage and Striping					
	Street Signs		3	EA \$1,500.00	\$4,500.00
Dry Utilities					
	Street Light (Local)		1	EA \$6,400.00	\$6,400.00
				Street Subtotal	\$93,647.44
				W. 67th Dr. - Phase One Improvements Total	\$95,833.28

Midtown Filing 6 (Zuni Street)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Grading		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		1,048	CY	\$2.35	\$2,463.27
Import Fill		4,189	CY	\$6.00	\$25,131.00
Strip and Respread (Topsoil)		815	CY	\$4.53	\$3,691.95
Grading Subtotal					\$31,286.22

Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
18" RCP (0-8' depth)	603-01180	197	LF	\$74.58	\$14,692.26
48" RCP (0-8' depth)	603-01480	180	LF	\$259.50	\$46,710.00
4' Dia. Manhole	604-30005	1	EA	\$3,714.85	\$3,714.85
100" x 86" CDOT Box Base Manhole	604-31010	3	EA	\$17,000.00	\$51,000.00
5' Type 'R' Inlet	604-19105	3	EA	\$5,500.00	\$16,500.00
10' Type 'R' Inlet	604-19110	1	EA	\$6,669.23	\$6,669.23
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$142,286.34

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach	0	3	EA	\$2,000.00	\$6,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	1,615	LF	\$24.18	\$39,050.70
Mid-Block Ramp	608-00010	2	EA	\$3,500.00	\$7,000.00
Paving					
Subgrade Prep	306-01000	3,230	SY	\$2.11	\$6,815.30
Aggregate Basecourse (5" Class 6 Road Base)		3,230	SY	\$8.00	\$25,840.00
Asphalt (Full depth - 6" section)	202-00037	2,871	SY	\$21.00	\$60,291.00
Adjust Manhole to Grade	210-04010	6	EA	\$825.65	\$4,953.90
Adjust Valves to Grade	210-04050	1	EA	\$416.37	\$416.37
Sweep Streets	637-00100	2,871	SY	\$0.60	\$1,722.60
Signage and Striping					
Street Signs	0	4	EA	\$1,500.00	\$6,000.00
Bollards	622-00270	6	EA	\$580.00	\$3,480.00
Traffic Delineator (OM2-1V)	0	2	EA	\$250.00	\$500.00
Dry Utilities					
Street Light (Local)	0	1	EA	\$6,400.00	\$6,400.00
Street Subtotal					\$168,469.87

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove 60" RCP	202-00035	455	LF	\$55.00	\$25,025.00
Demolition Subtotal					\$25,025.00

Zuni Street - Phase One Improvements Total \$367,067.43

Midtown Filing 6 (Fern Drive)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach	0	2	EA	\$2,000.00	\$4,000.00
Street Subtotal					\$4,000.00
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove and Replace Curb and Gutter	202-00203	60	LF	\$30.97	\$1,858.20
Remove and Replace Asphalt (6" Section)	202-00220	75	SY	\$42.00	\$3,150.00
Remove and Replace Concrete Walk (6" Thick)	202-00200	35	SY	\$58.50	\$2,047.50
Demolition Subtotal					\$7,055.70
Fern Drive - Phase One Improvements Total					\$11,055.70

Midtown Filing 6 (Pond A)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Grading		QUANTITY	UNIT	PRICE	COST	
Cut to Fill for Pond		11,970	CY	\$2.35	\$28,129.50	
Grading Subtotal					\$28,129.50	
Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST	
36" RCP (0-8' depth)		603-01360	774	LF	\$171.99	\$133,120.26
34" x 60" Elliptical RCP (0-8' depth)		603-01600	162	LF	\$286.67	\$46,440.54
66" RCP (0-8' depth)		603-01660	163	LF	\$337.05	\$54,939.15
123" x 123" CDOT Box Base Manhole		604-31000	1	EA	\$19,000.00	\$19,000.00
Triple Type 'C' Inlet (Outlet Structure)		604-00315	1	EA	\$85,000.00	\$85,000.00
Concrete Micropool			1	EA	\$35,000.00	\$35,000.00
Forebay Structure			2	EA	\$25,000.00	\$50,000.00
Type 'M' Rip Rap		506-00212	472	CY	\$117.80	\$55,601.60
Gravel Acces Road (6" Thickness) for Pond			410	SY	\$16.00	\$6,560.00
Gravel Acces Road (9" Thickness) for Pond			953	SY	\$24.00	\$22,864.00
Concrete Trail/Access (Around Pond)			850	SY	\$45.00	\$38,250.00
Concrete Headwall			1	EA	\$15,000.00	\$15,000.00
Storm Sewer Subtotal					\$561,775.55	
Pond A - Phase 1 Improvements Total					\$589,905.05	

Midtown Filing 6 (Summary)

Phase One Improvements
Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Grading	CDOT	QUANTITY	UNIT	PRICE	COST
Cut to Fill		1,076	CY	\$2.35	\$2,529.07
Import Fill		12,093	CY	\$6.00	\$72,555.60
Strip and Respread (Topsoil)		1,708	CY	\$4.53	\$7,737.24
Cut to Fill fo Pond		11,970	CY	\$2.35	\$28,129.50
Grading Subtotal					\$110,951.41

Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
18" RCP (0-8' depth)		232	LF	\$74.58	\$17,302.56
36" RCP (0-8' depth)		774	LF	\$171.99	\$133,120.26
48" RCP (0-8' depth)	603-01480	620	LF	\$259.50	\$160,890.00
66" RCP (0-8' depth)		163	LF	\$337.05	\$54,939.15
34" x 60" Elliptical RCP (0-8' depth)	603-01600	162	LF	\$286.67	\$46,440.54
4' Dia. Manhole	604-30005	1	EA	\$3,714.85	\$3,714.85
86" x 86" CDOT Box Base Manhole		1	EA	\$12,500.00	\$12,500.00
100" x 86" CDOT Box Base Manhole		4	EA	\$17,000.00	\$68,000.00
123" x 123" CDOT Box Base Manhole	604-31000	1	EA	\$19,000.00	\$19,000.00
6' Dia. Manhole	604-30015	1	EA	\$8,218.80	\$8,218.80
5' Type 'R' Inlet	604-19105	5	EA	\$5,500.00	\$27,500.00
10' Type 'R' Inlet	604-19110	1	EA	\$6,669.23	\$6,669.23
Connect to Existing		2	EA	\$3,000.00	\$6,000.00
Triple Type 'C' Inlet		1	EA	\$85,000.00	\$85,000.00
Concrete Micropool		1	EA	\$35,000.00	\$35,000.00
Forebay Structure		2	EA	\$25,000.00	\$50,000.00
Type 'M' Rip Rap	506-00212	472	CY	\$117.80	\$55,601.60
Gravel Acces Road (6" Thickness) for Pond		410	SY	\$16.00	\$6,560.00
Gravel Acces Road (9" Thickness) for Pond		953	SY	\$24.00	\$22,864.00
Concrete Trail/Access (Around Pond)		850	SY	\$45.00	\$38,250.00
Concrete Headwall		1	EA	\$15,000.00	\$15,000.00
Storm Sewer Subtotal					\$872,570.99

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach		6	EA	\$2,000.00	\$12,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	3,275	LF	\$24.18	\$79,189.50
8' Concrete Crosspan (Pavement)	412-00800	64	SY	\$80.00	\$5,120.00
Mid-Block Ramp	608-00010	2	EA	\$3,500.00	\$7,000.00
Curb Return w/ Handicap Ramp (15' Radius)	608-00010	4	EA	\$1,750.00	\$7,000.00
Paving					
Subgrade Prep	306-01000	6,230	SY	\$2.11	\$13,145.30
Aggregate Basecourse (5" Class 6 Road Base)		6,230	SY	\$8.00	\$49,840.00
Asphalt (Full depth - 6" section)	202-00037	5,518	SY	\$21.00	\$115,878.00
Adjust Manhole to Grade	210-04010	12	EA	\$825.65	\$9,907.80
Adjust Valves to Grade	210-04050	6	EA	\$416.37	\$2,498.22
Sweep Streets	637-00100	5,518	SY	\$0.60	\$3,310.80
Signage and Striping					
Street Signs		10	EA	\$1,500.00	\$15,000.00
Bollards	622-00270	6	EA	\$580.00	\$3,480.00
Traffic Delineator (OM2-1V)		2	EA	\$250.00	\$500.00
Dry Utilities					
Street Light (Local)		4	EA	\$6,400.00	\$25,600.00
Street Subtotal					\$349,469.62

Midtown Filing 6 (Summary)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Riprap	202-00027	296	CY	\$15.58	\$4,611.68
Remove Cut Off Wall	202-00150	1	LS	\$3,000.00	\$3,000.00
Remove 18" RCP	202-00035	93	LF	\$27.09	\$2,519.37
Remove 48" RCP	202-00035	108	LF	\$45.00	\$4,860.00
Remove 60" RCP	202-00035	455	LF	\$55.00	\$25,025.00
Remove 18" FES	202-00037	1	EA	\$384.48	\$384.48
Remove 48" FES	202-00037	1	EA	\$500.00	\$500.00
Remove 6" Dia. Manhole	202-00021	1	EA	\$756.78	\$756.78
Remove Type C Inlet	202-00019	1	EA	\$1,148.36	\$1,148.36
Remove and Replace Curb and Gutter	202-00203	200	LF	\$30.97	\$6,194.00
Remove and Replace Asphalt (6" Section)	202-00220	406	SY	\$42.00	\$17,052.00
Remove and Replace Concrete Walk (6" Thick)	202-00200	114	SY	\$58.50	\$6,669.00

Demolition Subtotal \$72,720.67

Summary - Phase One Improvements Subtotal \$1,405,712.69

Additional 20% Administration \$281,142.54

5% Inflation per Year \$84,342.76

5% Inflation per Year Two \$88,559.90

Phase One Improvements Total \$1,859,757.89

Midtown Filing 6 (W 66th Avenue)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.14

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	416	SY	\$2.11	\$877.76
5' Concrete Walk (6" Thick)	608-00006	3,745	SF	\$5.20	\$19,474.00
				Street Subtotal	\$20,351.76
				W. 66th Ave. - Phase Two Improvements Total	\$20,351.76

Midtown Filing 6 (W. 67th Drive)

Phase Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	472	SY	\$2.11	\$995.92
5' Concrete Walk (6" Thick)	608-00006	4,250	SF	\$5.20	\$22,100.00
				Street Subtotal	\$23,095.92
				W 67th Dr. - Phase Two Improvements Total	\$23,095.92

Midtown Filing 6 (Zuni Street)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.14

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	862	SY	\$2.11	\$1,818.82
5' Concrete Walk (6" Thick)	608-00006	7,760	SF	\$5.20	\$40,352.00
Concrete Walk (Decorative Colored at Intersection)	202-00037	72	SY	\$68.00	\$4,896.00
				Street Subtotal	\$47,066.82
				Zuni St. - Phase Two Improvements Total	\$47,066.82

Midtown Filing 6 (Fern Drive)

Phase Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Street Improvements	CDOT	QUANTIT'	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	342	SY	\$2.11	\$721.62
5' Concrete Walk (6" Thick)	608-00006	3,075	SF	\$5.20	\$15,990.00
				Street Subtotal	\$16,711.62
				Fern Dr. - Phase Two Improvements Total	\$16,711.62

Midtown Filing 6 (Summary)

Phase Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	2,092	SY	\$2.11	\$4,414.12
5' Concrete Walk (6" Thick)	608-00006	18,830	SF	\$5.20	\$97,916.00
Concrete Walk (Decorative Colored at Intersection)	202-00037	72	SY	\$68.00	\$4,896.00
				Street Subtotal	\$107,226.12
				Summary - Phase Two Improvements Subtotal	\$107,226.12
				Additional 20% Administration	\$21,445.22
				5% Inflation per Year	\$6,433.57
				5% Inflation per Year Two	\$6,755.25
				Phase Two Improvements Total	\$141,860.16

Midtown Filing 6 (Summary)

Phase One & Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Grading	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		1,076	CY	\$2.35	\$2,529.07
Import Fill		12,093	CY	\$6.00	\$72,555.60
Strip and Respread (Topsoil)		1,708	CY	\$4.53	\$7,737.24
Cut to Fill fo Pond		11,970	CY	\$2.35	\$28,129.50
Grading Subtotal					\$110,951.41

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
18" RCP (0-8' depth)		232	LF	\$74.58	\$17,302.56
36" RCP (0-8' depth)		774	LF	\$171.99	\$133,120.26
48" RCP (0-8' depth)	603-01480	620	LF	\$259.50	\$160,890.00
66" RCP (0-8' depth)		163	LF	\$337.05	\$54,939.15
34" x 60" Elliptical RCP (0-8' depth)	603-01600	162	LF	\$286.67	\$46,440.54
4' Dia. Manhole	604-30005	1	EA	\$3,714.85	\$3,714.85
86" x 86" CDOT Box Base Manhole		1	EA	\$12,500.00	\$12,500.00
100" x 86" CDOT Box Base Manhole		4	EA	\$17,000.00	\$68,000.00
123" x 123" CDOT Box Base Manhole	604-31000	1	EA	\$19,000.00	\$19,000.00
6' Dia. Manhole	604-30015	1	EA	\$8,218.80	\$8,218.80
5' Type 'R' Inlet	604-19105	5	EA	\$5,500.00	\$27,500.00
10' Type 'R' Inlet	604-19110	1	EA	\$6,669.23	\$6,669.23
Connect to Existing		2	EA	\$3,000.00	\$6,000.00
Triple Type 'C' Inlet		1	EA	\$85,000.00	\$85,000.00
Concrete Micropool		1	EA	\$35,000.00	\$35,000.00
Forebay Structure		2	EA	\$25,000.00	\$50,000.00
Type 'M' Rip Rap	506-00212	472	CY	\$117.80	\$55,601.60
Gravel Access Road (6" Thickness) fo Pond		410	SY	\$16.00	\$6,560.00
Gravel Access Road (9" Thickness) for Pond		953	SY	\$24.00	\$22,864.00
Concrete Trail/Access (Around Pond)		850	SY	\$45.00	\$38,250.00
Concrete Headwall		1	EA	\$15,000.00	\$15,000.00
Storm Sewer Subtotal					\$872,570.99

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach		6	EA	\$2,000.00	\$12,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	3,275	LF	\$24.18	\$79,189.50
8' Concrete Crosspan (Pavement)	412-00800	64	SY	\$80.00	\$5,120.00
Subgrade Prep - Concrete Walk	306-01000	2,092	SY	\$2.11	\$4,414.12
5' Concrete Walk (6" Thick)	608-00006	18,830	SF	\$5.20	\$97,916.00
Concrete Walk (Decorative Colored at Intersector	202-00037	72	SY	\$68.00	\$4,896.00
Mid-Block Ramp	608-00010	2	EA	\$3,500.00	\$7,000.00
Curb Return w/ Handicap Ramp (15' Radius)	608-00010	4	EA	\$1,750.00	\$7,000.00
Paving					
Subgrade Prep	306-01000	6,230	SY	\$2.11	\$13,145.30
Aggregate Basecourse (5" Class 6 Road Base)		6,230	SY	\$8.00	\$49,840.00
Asphalt (Full depth - 6" section)	202-00037	5,518	SY	\$21.00	\$115,878.00
Adjust Manhole to Grade	210-04010	12	EA	\$825.65	\$9,907.80
Adjust Valves to Grade	210-04050	6	EA	\$416.37	\$2,498.22
Sweep Streets	637-00100	5,518	SY	\$0.60	\$3,310.80
Signage and Striping					
Street Signs		10	EA	\$1,500.00	\$15,000.00
Bollards	622-00270	6	EA	\$580.00	\$3,480.00
Traffic Delineator (OM2-1V)		2	EA	\$250.00	\$500.00
Dry Utilities					
Street Light (Local)		4	EA	\$6,400.00	\$25,600.00
Street Subtotal					\$456,695.74

Midtown Filing 6 (Summary)

Phase One & Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.14

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Riprap	202-00027	296	CY	\$15.58	\$4,611.68
Remove Cut Off Wall	202-00150	1	LS	\$3,000.00	\$3,000.00
Remove 18" RCP	202-00035	93	LF	\$27.09	\$2,519.37
Remove 48" RCP	202-00035	108	LF	\$45.00	\$4,860.00
Remove 60" RCP	202-00035	455	LF	\$55.00	\$25,025.00
Remove 18" FES	202-00037	1	EA	\$384.48	\$384.48
Remove 48" FES	202-00037	1	EA	\$500.00	\$500.00
Remove 6' Dia. Manhole	202-00021	1	EA	\$756.78	\$756.78
Remove Type C Inlet	202-00019	1	EA	\$1,148.36	\$1,148.36
Remove and Replace Curb and Gutter	202-00203	200	LF	\$30.97	\$6,194.00
Remove and Replace Asphalt (6" Section)	202-00220	406	SY	\$42.00	\$17,052.00
Remove and Replace Concrete Walk (6" Thick)	202-00200	114	SY	\$58.50	\$6,669.00
				Demolition Subtotal	\$72,720.67
				Summary - Subtotal	\$1,512,938.81
				Additional 20% Administration	\$302,587.76
				5% Inflation per Year	\$90,776.33
				5% Inflation per Year Two	\$95,315.15
				Total	\$2,001,618.05

EXHIBIT "C"

Midtown

70th Avenue Improvements

Opinion of Probable Cost Estimate

Date: 6/6/2017

JN: 10015.14

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Mobilization					
Mobilization (grading, utilities, streets)	626-00000	1	LS	\$15,000.00	\$15,000.00
Mobilization Subtotal					\$15,000.00
Earthwork					
Estimated Cut		1,780	CY	\$2.35	\$4,183.00
Earthwork Subtotal					\$4,183.00
Erosion Control					
Silt Fence	208-00020	2,150	LF	\$1.65	\$3,548.00
Inlet Protection	208-00053	2	EA	\$302.08	\$604.00
Erosion Control Subtotal					\$4,152.00
Storm Sewer					
CDOT Box Base Manhole	604-31015	3	EA	\$20,516.66	\$61,549.98
15' Type 'R' Inlet	604-19115	2	EA	\$10,000.00	\$20,000.00
42" RCP (0-8' depth)	603-01425	47	LF	\$182.67	\$8,585.49
60" RCP (0-8' depth)	603-01480	205	LF	\$390.00	\$79,950.00
Connect to Existing		1	EA	\$5,000.00	\$5,000.00
Storm Sewer Subtotal					\$175,085.47
Street Improvements					
Concrete					
6" Vertical Curb and Gutter (2' Pan)	608-21020	2,150	LF	\$26.68	\$57,362.00
Curb Return w/ Handicap Ramp (25' Radius)	608-00010	0	EA	\$2,500.00	\$0.00
Mid-Block Ramp	608-00010	1	EA	\$1,500.00	\$1,500.00
Subgrade Prep - Concrete Walk	306-01000	2,508	SY	\$2.63	\$6,596.04
5' Detached Concrete Walk (6" Thick)	608-00006	10,750	SF	\$6.00	\$64,500.00
5.5' Attached Concrete Walk (6" Thick)	608-00006	11,825	SF	\$5.75	\$67,993.75
Paving					
Aggregate Basecourse (5" Class 6 Road Base)		5,015	SY	\$9.50	\$47,642.50
Asphalt (9" section)	403-33841	5,015	SY	\$36.00	\$180,540.00
Adjust Manhole to Grade	210-04010	3	EA	\$877.50	\$2,632.50
Subgrade Prep	306-01000	5,015	SY	\$2.00	\$10,030.00
Adjust Valves to Grade	210-04050	3	EA	\$490.00	\$1,470.00
Signage and Striping					
Street Signs		2	EA	\$1,500.00	\$3,000.00
4" Solid White Striping		1,095	LF	\$7.00	\$7,665.00
4" Solid White with Skip Stripe	630-80510	2,190	LF	\$7.00	\$15,330.00
Dry Utilities					
Street Light (Local)	614-81130	10	EA	\$12,198.34	\$121,983.40
Sleeving		1	LS	\$5,000.00	\$5,000.00
Street Improvements Subtotal					\$593,245.19
Demolition					
Remove 24" CMP	202-00035	285	LF	\$25.83	\$7,361.55
Remove 56" RCP	202-00034	0	LF	\$25.83	\$0.00
Remove Type C Inlet	202-00019	0	EA	\$600.00	\$0.00
Remove Grated Inlet		0	EA	\$2,000.00	\$0.00
Remove Fence	202-01000	560	LF	\$2.34	\$1,310.40
Remove Asphalt (9" Section)	202-00220	5,375	SY	\$13.83	\$74,336.25

Midtown
70th Avenue Improvements
Opinion of Probable Cost Estimate
Date: 6/8/2017
JN: 10015.14

Remove Power Pole	202-00858	1	EA	\$1,500.00	\$1,500.00
				Demolition Subtotal	\$84,508.20
				70th Ave. Improvements Subtotal	\$876,180.00

Midtown
Zuni Street Improvements
 Opinion of Probable Cost Estimate
 Date: 6/6/2017
 JN: 10015.14

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Mobilization					
Mobilization (grading, utilities, streets)	626-00000	1	LS	\$15,000.00	\$15,000.00
Mobilization Subtotal					\$15,000.00
Earthwork					
Estimated Cut		4,260	CY	\$2.35	\$10,011.00
Earthwork Subtotal					\$10,011.00
Erosion Control					
Silt Fence	208-00020	1,480	LF	\$1.65	\$2,442.00
Inlet Protection	208-00053	5	EA	\$302.08	\$1,510.00
Erosion Control Subtotal					\$3,952.00
Storm Sewer					
CDOT Box Base Manhole	604-31015	1	EA	\$20,516.66	\$20,516.66
15' Type 'R' Inlet	604-19115	2	EA	\$10,000.00	\$20,000.00
42" RCP (0-8' depth)	603-01425	47	LF	\$182.67	\$8,585.49
60" RCP (0-8' depth)	603-01600	0	LF	\$390.00	\$0.00
Connect to Existing		1	EA	\$5,000.00	\$5,000.00
Storm Sewer Subtotal					\$54,102.15
Street Improvements					
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	1,480	LF	\$26.68	\$39,486.40
Curb Return w/ Handicap Ramp (25' Radius)	608-00010	1	EA	\$2,500.00	\$2,500.00
Mid-Block Ramp	608-00010	1	EA	\$1,500.00	\$1,500.00
Subgrade Prep - Concrete Walk	306-01000	1,726	SY	\$2.63	\$4,539.38
5' Detached Concrete Walk (6" Thick)	608-00006	3,700	SF	\$6.00	\$22,200.00
5.5' Attached Concrete Walk (6" Thick)	608-00006	4,070	SF	\$5.75	\$23,402.50
Paving					
Aggregate Basecourse (5" Class 6 Road Base)		3,460	SY	\$9.50	\$32,870.00
Asphalt (9" section)	403-33841	3,460	SY	\$36.00	\$124,560.00
Adjust Manhole to Grade	210-04010	2	EA	\$877.50	\$1,755.00
Subgrade Prep	306-01000	3,460	SY	\$2.00	\$6,920.00
Adjust Valves to Grade	210-04050	3	EA	\$490.00	\$1,470.00
Signage and Striping					
Street Signs	0	6	EA	\$1,500.00	\$9,000.00
4" Solid White Striping	0	685	LF	\$7.00	\$4,795.00
4" Solid White with Skip Stripe	630-80510	1,370	LF	\$7.00	\$9,590.00
Relocate Street Signs		7	EA	\$750.00	\$5,250.00
Dry Utilities					
Street Light (Local)	614-81130	6	EA	\$12,198.34	\$73,190.04
Sleeving		1	LS	\$5,000.00	\$5,000.00
Street Improvements Subtotal					\$368,028.32
Demolition					
Remove 24" CMP	202-00035	0	LF	\$25.83	\$0.00
Remove 56" RCP	202-00034	113	LF	\$25.83	\$2,918.79
Remove Type C Inlet	202-00019	2	EA	\$600.00	\$1,200.00
Remove Grated Inlet		1	EA	\$2,000.00	\$2,000.00
Remove Fence	202-01000	609	LF	\$2.34	\$1,425.06

Midtown
Zuni Street Improvements
Opinion of Probable Cost Estimate
Date: 6/6/2017
JN: 10015.14

Remove Asphalt (9" Section)	202-00220	4,825	SY	\$13.83	\$66,729.75
Remove Power Pole	202-00858	0	EA	\$1,500.00	\$0.00
				Demolition Subtotal	\$74,273.60
				Zuni Street Improvements Subtotal	\$525,370.00

Midtown
Summary - 70th & Zuni Improvements

Opinion of Probable Cost Estimate
 Date: 6/6/2017
 JN: 10015.14

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Mobilization					
Mobilization (grading, utilities, streets)	626-00000	2	LS	\$15,000.00	\$30,000.00
Mobilization Subtotal					\$30,000.00
Earthwork					
Estimated Cut		6,040	CY	\$2.35	\$14,194.00
Earthwork Subtotal					\$14,194.00
Erosion Control					
Silt Fence	208-00020	3,630	LF	\$1.65	\$5,990.00
Inlet Protection	208-00053	7	EA	\$302.08	\$2,115.00
Erosion Control Subtotal					\$8,105.00
Storm Sewer					
CDOT Box Base Manhole	604-31015	4	EA	\$20,516.66	\$82,066.64
15' Type 'R' Inlet	604-19115	4	EA	\$10,000.00	\$40,000.00
36" RCP (0-8' depth)	603-01360	94	LF	\$130.00	\$12,220.00
60" RCP (0-8' depth)	603-01600	205	LF	\$390.00	\$79,950.00
Connect to Existing		2	EA	\$5,000.00	\$10,000.00
Storm Sewer Subtotal					\$224,236.64
Street Improvements					
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	3,630	LF	\$26.68	\$96,848.40
Curb Return w/ Handicap Ramp (25' Radius)	608-00010	1	EA	\$2,500.00	\$2,500.00
Mid-Block Ramp	608-00010	2	EA	\$1,500.00	\$3,000.00
Subgrade Prep - Concrete Walk	306-01000	4,234	SY	\$2.63	\$11,135.42
5' Detached Concrete Walk (6" Thick)	608-00006	14,450	SF	\$6.00	\$86,700.00
5.5' Attached Concrete Walk (6" Thick)	608-00006	15,895	SF	\$5.75	\$91,396.25
Paving					
Aggregate Basecourse (5" Class 6 Road Base)		6,475	SY	\$9.50	\$60,512.50
Asphalt (9" section)	403-33841	6,475	SY	\$36.00	\$305,100.00
Adjust Manhole to Grade	210-04010	5	EA	\$877.50	\$4,387.50
Subgrade Prep	306-01000	6,475	SY	\$2.00	\$16,950.00
Adjust Valves to Grade	210-04050	6	EA	\$400.00	\$2,400.00
Signage and Striping					
Street Signs	0	8	EA	\$1,500.00	\$12,000.00
Relocate Street Signs	0	7	EA	\$750.00	\$5,250.00
Traffic Control	0	1	LS	\$10,000.00	\$10,000.00
4" Solid White Striping	0	1,780	LF	\$7.00	\$12,460.00
4" Solid White with Skip Stripe	630-80510	3,560	LF	\$7.00	\$24,920.00
Dry Utilities					
Street Light (Local)	614-81130	16	EA	\$12,198.34	\$195,173.44
Sleeving		2	LS	\$5,000.00	\$10,000.00
Dry Utility Relocates		1	LS	\$10,000.00	\$10,000.00
Street Improvements Subtotal					\$981,273.51
Demolition					
Remove 24" CMP	202-00035	285	LF	\$25.83	\$7,361.55
Remove 56" RCP	202-00034	113	LF	\$25.83	\$2,918.79
Remove Type C Inlet	202-00019	2	EA	\$600.00	\$1,200.00

Midtown
Summary - 70th & Zuni Improvements

Opinion of Probable Cost Estimate
 Date: 6/6/2017
 JN: 10015.14

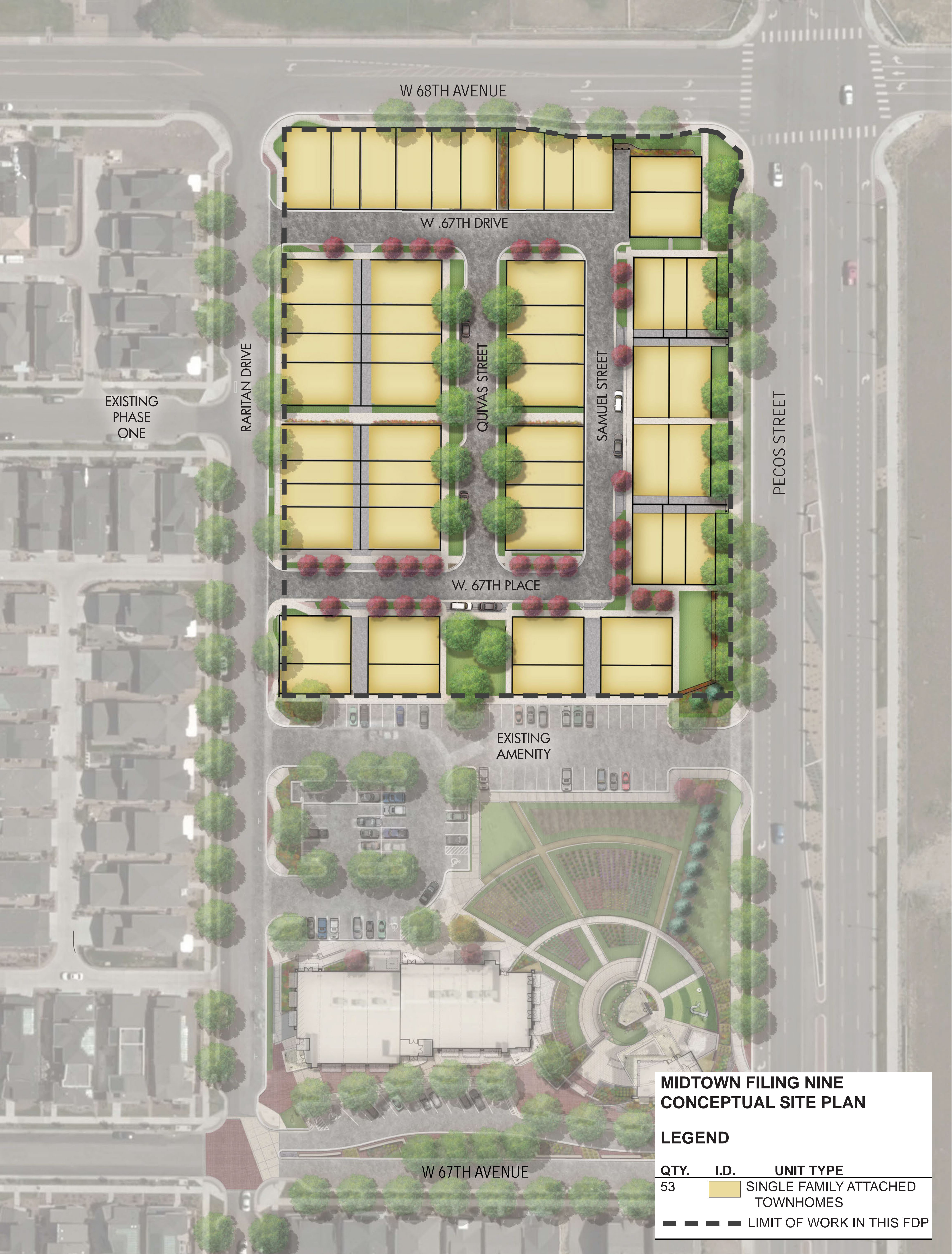
Remove Grated Inlet		1	EA	\$2,000.00	\$2,000.00
Remove Fence	202-01000	1,169	LF	\$2.34	\$2,735.46
Remove Asphalt (9" Section)	202-00220	10,200	SY	\$13.83	\$141,066.00
Remove Power Pole	202-00858	1	EA	\$1,500.00	\$1,500.00
				Demolition Subtotal	\$158,781.80

Soft Costs	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Soil Testing	0	1	%	1.00%	\$14,165.91
Survey	0	1	%	1.50%	\$21,248.86
Engineering Design Costs	0	1	LS	\$45,000.00	\$45,000.00
				Soft Cost Subtotal	\$80,414.77

Summary of Improvements Total	\$1,497,010.00
Applicant's - Cash-in-lieu (50%) - Total	\$748,505.00
Adams County - Cost Participation (50%) - Total	\$748,505.00

Notes:

- 1.) Costs do not include landscaping and irrigation
- 2.) Dry utility costs are not included
- 3.) Average Cut/Fill within R.O.W. was assumed to be 1-foot.
- 4.) Per Adams County direction, the Minor Collector street section was requested to be used for design.
- 5.) The existing storm in Zuni Street will be utilized for these improvements.
- 6.) CDOT Cost Data Book 2017 was used where possible for costing purposes.
- 7.) Per Adams County, the above cost will be split 50/50 between applicant and County.
 Applicant shall provide their portion of fees via cash-in-lieu to the County.



**MIDTOWN FILING NINE
CONCEPTUAL SITE PLAN**

LEGEND

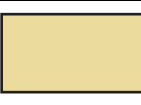

QTY.	I.D.	UNIT TYPE
53		SINGLE FAMILY ATTACHED TOWNHOMES
		LIMIT OF WORK IN THIS FDP

Exhibit 3.5

midtown

FILING 9 CONCEPTUAL SITE PLAN
DECEMBER 23, 2016

DEVELOPER: **Brookfield Residential**
 LANDSCAPE ARCHITECT: **NORRIS DESIGN**
 CIVIL ENGINEER: **REDLAND**
Where Great Places Begin
100 West Canal Street, Littleton, Colorado 80120



0 15' 30' 60'
SCALE 1"=30'

NOTE: PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO

Case Number: PRC2016-00017

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING NINE THIRD AMENDMENT TO W. 67TH AVENUE AMENITY

Sheet Title

COVER
SHEET

Sheet Number

1 OF 11

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite #700
Centennial, CO 80111
303-706-9451



NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

LAND OWNERS

Midtown, LLC.
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Chris Petro
303-706-9451

APPLICANT

Midtown, LLC.
6465 S. Greenwood Plaza Blvd.
Suite 700
Centennial, CO 80111
Contact: Chris Petro
303-706-9451

PREPARERS

ENGINEER:
Redland
1500 West Canal Court,
Littleton, CO 80120
Contact: Mike Pietschmann
720-283-6783

PREPARERS

LANDSCAPE ARCHITECT:
Norris Design
1101 Bannock Street
Denver, CO 80204
Contact: Eva Mather / John Norris
303-892-1166

CERTIFICATE OF OWNERSHIP

Midtown, LLC, being the owner of Midtown at Clear Creek, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20____.

Notary Public _____

My commission expires: _____

LEGAL DESCRIPTION

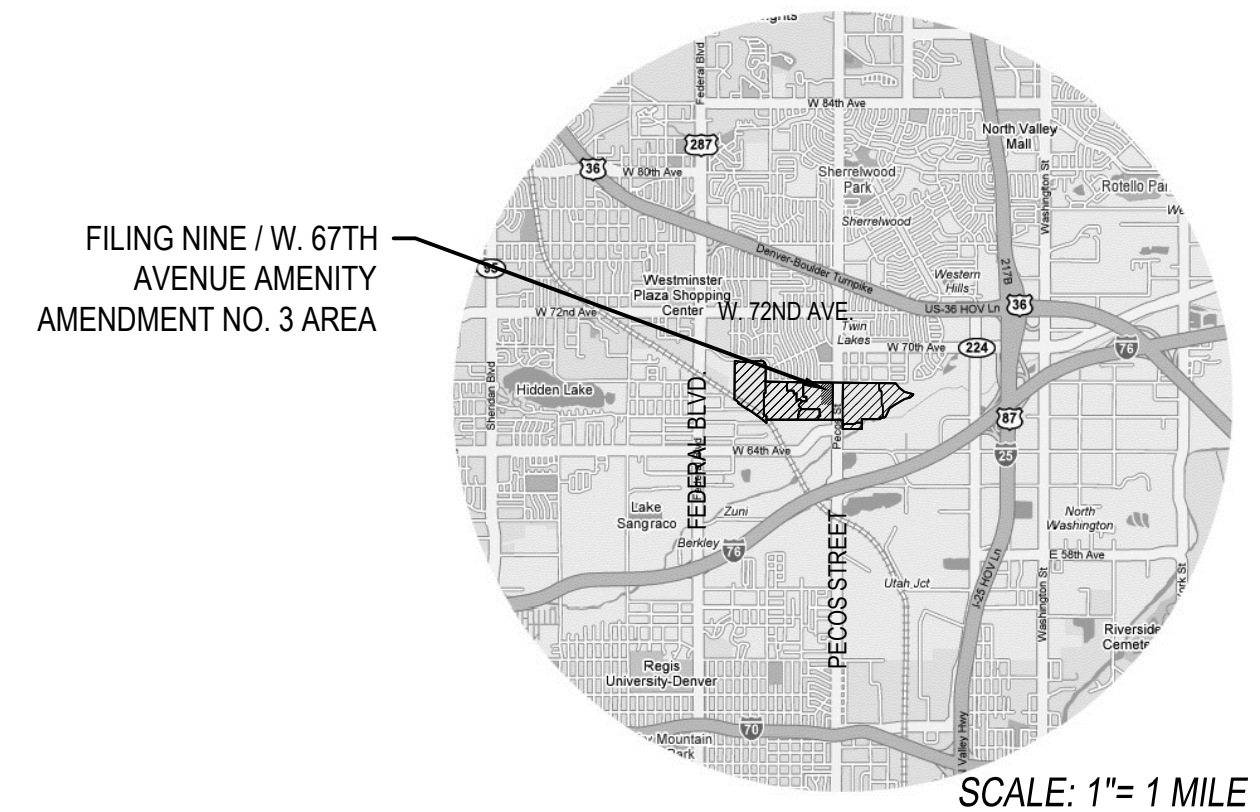
A PARCEL OF LAND BEING ALL OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED AT RECEPTION NO. 2013000055576 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LOCATED WITHIN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 5.907 ACRES, (257,321 SQUARE FEET), MORE OR LESS.

SHEET INDEX-FDP

- SHEET 1: COVER SHEET
- SHEET 2: WRITTEN NARRATIVE
- SHEET 3: SITE PLAN
- SHEET 4: LANDSCAPE SITE PLAN
- SHEET 5: LANDSCAPE SITE PLAN
- SHEET 6: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 7: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 8: LANDSCAPE PLANT LIST
- SHEET 9: ARCHITECTURAL STANDARDS
- SHEET 10: DETAILS
- SHEET 11: DETAILS

VICINITY MAP



BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of Commissioners this _____ day of _____ 20____.

Eva J. Henry, Chair

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20____.

County Clerk and Recorder _____

By Deputy: _____

The Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado on the day of _____ 20____ File No. _____, Map No. _____, Reception No. _____.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

STAFF REVIEW

Approved as to form by:

Director of Community & Economic Development

County Attorney

File Number: _____

Map Number: _____

Reception Number: _____

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
 ADAMS COUNTY, COLORADO

Issue Date

08 / 14 / 2015

Revision Date

08 / 28 / 2015

09 / 29 / 2015

07 / 07 / 2017

10 / 13 / 2017

11 / 09 / 2017

NOT FOR
CONSTRUCTION

NARRATIVE

A. Explanation of the Characteristics of the PUD

The Filing Nine Final Development Plan (FDP) area at Midtown at Clear Creek is comprised of approximately 5.907 acres, consisting of 3.47 acres residential area and 2.437 acres commercial. The residential area will include 53 single family residential homes. The intent of the Filing Nine FDP is to entitle single-family attached residential homes.

The open space improvements in this FDP include streetscapes and tracts that facilitate passive uses and gathering spaces.

This FDP is located on the west side of Pecos Street, south of W. 68th Avenue, east of Raritan Drive, and north of the Amenity. Primary access to this FDP area is on W. 67th Avenue, W. 68th Avenue, and Raritan Drive. The Filing Nine area is an extension of the established block structure, vehicular circulation and landscape treatment approved and constructed in Phase One, Filing Two, Filing Three, Filing Four, Filing Five, Filing Seven, Filing Eight, and proposed Filing Six and Filing Ten.

B. Potential Impact or Proposed Mitigation on the Surrounding Area

This FDP is generally consistent with the approved Second Amendment to the Preliminary Development Plan. The complete Midtown at Clear Creek PUD is comprised of approximately 181.8 acres. Incorporated into the overall community vision is a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks and trails which includes an open space area. As future transit / rail opportunities are implemented by RTD and the FasTracks programs, the community will have even more convenient access to major transportation corridors in the Denver Metro Area.

C. Contemplated Intensity and Density of Land Use

Fifty-three (53) single family attached lots and four (4) commercial lots are proposed in the Filing Nine FDP and the corresponding Final Plat. The proposed density, land coverage and permitted uses are consistent with the Second Amendment to the Preliminary Development Plan for the Midtown at Clear Creek PUD.

Per the approved PDP for Midtown at Clear Creek, the overall number of allowable residential units is 1,608, with a gross density of approximately 8.7 dwelling units per acre. Based on planned build-out, the Midtown community will provide open space areas consistent with this type of urban infill development which exceed the Adams County standards for open space requirements.

D. Number, Type, and Size of Buildings and/or Units

Fifty-three (53) single family residential lots and four (4) commercial lots are proposed in the Filing Nine FDP and the corresponding Final Plat. One rear-loaded home type is proposed in the Filing Nine FDP; refer to Sheet 9 for lot typicals. The homes in the Filing Nine FDP are based on a home type fully described in the Second Amendment to the Preliminary Development Plan as follows:

Single Family Attached Townhome

Consists of multiple residences that share one (1) or two (2) walls with an adjoining home. Sizes of residences vary in square footage. Refer to Detail A on Architectural Standards Sheet 9.

E. Provisions for Parking

The parking plan shall accommodate a minimum of 2.5 parking spaces per dwelling unit across the Midtown community overall. Overall quantity of parking spaces in the Midtown community exceed this minimum parking requirement. On-street parking is permitted on the private and local streets in this FDP. All streets and alleys in this FDP are private and shall be maintained by the Metro District. The internal private streets are designed to work in concert with the public streets approved in previous filings. Alleys will be used to access garages and parking for all of the homes in this filing. Thirteen foot (13') wide alleys are for passenger vehicles and garbage truck access only, and allow for alley-accessed garages. 24-foot wide fire access alleys are for passenger vehicles, garbage truck access, fire access and allow for alley-accessed garages. Parallel parking is not permitted on dead end alleys. Refer to Architectural Standards on Sheet 9. The parking summary is located on Sheet 3.

Each rear-loaded home will provide a minimum of one to two (1-2) off-street parking spaces. Rear-loaded homes are permitted one (1) additional parallel parking space

between the garage and paved alley surface, when lot width permits. Parallel parking is not allowed between the garage and paved alley in fire access alleys.

A 25' utility easement and access easement for the installation, replacement, maintenance and public access purposes is hereby granted to Clear Creek Station Metropolitan District No. 1 as shown on Lots 12 thru 21 and lots 30 thru 45 of Block 1, Tract F and Tract G.

F. Circulation and Road Patterns

To help ensure a pedestrian-friendly environment, the planned circulation patterns allow for distribution and disbursement of internal traffic through the development. The vehicular road pattern for the Midtown community will integrate the existing and proposed roadway systems. A signalized intersection at West 67th Avenue (when warrants are met) is planned to move motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue. All streets meet the standards included in Second Amendment to the Preliminary Development Plan.

G. Ownership and Maintenance of Common Areas

All common areas will be maintained by the Clear Creek Station Metropolitan District No. 1 ("CCSMD"). CCSMD is responsible for the enforcement of landscape maintenance requirements. Through the CCSMD, a DRC (Design Review Committee) will review private open space design for compatibility. Maintenance of the tree lawns within and adjacent to Filing Nine along Pecos St. will be maintained by the CCSMD. The County, its successor or assigns shall be responsible for maintaining all local streets, collector streets, and arterial streets (Pecos Street) after dedication, construction, and acceptance has been granted. Alleys and private streets shall be privately maintained by CCSMD.

H. Type, Location, Examples of Copy and Construction of Signs

Entry Monuments at Midtown are located at key intersections and crossings. This FDP does not include any new entry monumentation.

I. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown at Clear Creek is to create a mixed use infill community that includes a variety of home types. This FDP area includes single family attached homes. In keeping with the Traditional Neighborhood Development concept, the Filing Nine FDP area layout has a grid form and includes rear-loaded product types. This FDP also includes open space tracts and landscaped tree lawns.

J. Location and Types of Landscaping and Maintenance Provisions

The approved Midtown at Clear Creek PUD includes a variety of parks and open spaces strategically located throughout the community. This FDP includes streetscape landscape areas and various landscape tracts. Tree lawns will be installed by homeowner or builder and maintained by the Metropolitan District. Refer to landscape installation and maintenance sheets 5 and 6 for additional information.

K. Description of Building Envelopes Including Square Footage and/or Number of Units, Minimum Building Setback(s), Height, and General External Characteristics

Building setbacks are based on development standards included in the Second Amendment to the Preliminary Development Plan. Sheet 9 of this FDP further describes lot and building standards.

Typical lot sizes for this FDP range between 1,059 sf to 2,293 sf. These are anticipated ranges and actual lots may be constructed that fall slightly outside of this estimated range to respond to final design of homes.

Architectural design allows for incorporation of a variety of architectural styles from contemporary to more regional styles. Please refer to Sheet 9, Architectural Standards in this FDP, the architectural standard sheets included in the approved Second Amendment to the Preliminary Development Plan and the Design Guidelines. All community development on the property should comply with these standards when they are adopted by the Design Review Committee.

Multi-Family and Commercial Buildings adjacent to Pecos Street and 68th Avenue shall have a minimum of 30% masonry (defined as stone, stucco, brick, concrete block, or accent corrugated metal), excluding windows and doors, on the street side facades adjacent to these rights of way.

L. Covenants to be Imposed on the PUD

Architectural and landscape design guidelines have been developed for Midtown. All builders and homeowners will be required to go through the DRC. The County shall not approve a building permit until DRC approval is obtained. Development standards for setbacks, unit / lot configurations, and other controlling provisions have been included in the approved Second Amendment to the Preliminary Development Plan and this FDP.

M. Additional Controls such as an Architectural Control Committee of a Property Owner's Association

The community will have a Metropolitan District that will create a Design Review Committee (DRC) that will enforce design standards through Declaration of Easements and Master Architectural and Maintenance Standards for Midtown. All architectural styles of proposed buildings shall require approval by the Design Review Committee overseen by the CCSMD and shall be consistent with the design guidelines for this community, subject to planning director approval for overall architectural intent.

N. Utilization and Location of any Outdoor Signage

All proposed marketing / temporary signage will be submitted for approval and meet County signage standards and ordinances.

O. Utility Services

Crestview Water and Sanitation District have indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Filing Nine Subdivision Final Plat.

P. Estimated Time Table for Development

The estimated length of time for build-out of the Filing Nine FDP area of Midtown is one (1) year, beginning Fall 2017. Full build-out for the Midtown neighborhoods is approximately five (5) to fifteen (15) years.

Q. Any other Pertinent Factors Concerning the Development

Southwest Adams County Fire District will service Midtown property west of Pecos Street, including the Filing Nine FDP area. Refer to the Filing Nine plat notes for any other development factors pertinent to Filing Nine.

R. Definitions

Alley Loaded / Rear Loaded Garage: A garage with the vehicular door access located onto an alley located at the rear (or sometimes side) of the lot.

S. Staging:

The residential lots in this FDP are planned to be constructed in one (1) stage.

T. Amendment Description:

Filing Nine is the third amendment to the Amenity FDP, originally platted with Phase One. This Amenity FDP amendment No. 3 is to further subdivide the Midtown Amenity parcel, Final Plat Filing No. 1, Block 10, Lot 1 into Block 1, Lots 1-53 and Block 2, Lots 1-4. Minor landscape changes to the new Block 2, Lot 1 add a handicap ramp from the Amenity parking lot into Filing Nine and shift the landscape to accommodate the handicap ramp.

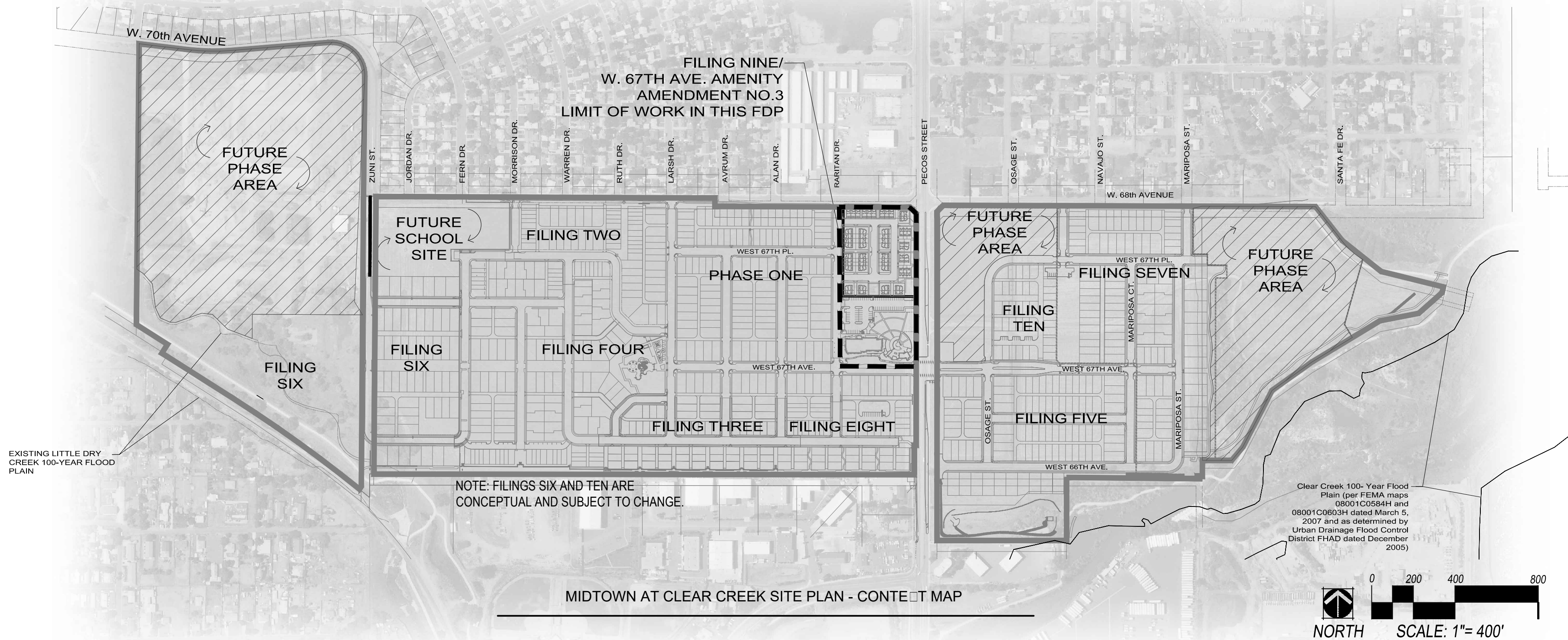
Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite #700
Centennial, CO 80111
303-706-9451



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
ADAMS COUNTY, COLORADO



LEGEND

- MIDTOWN PROPERTY BOUNDARY
- LIMIT OF WORK IN THIS FDP

DEVELOPMENT AREA

FILING NINE	5.907 ACRES	
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES	1 608 MA ² UNITS

LOT SUMMARY

LOT TYPE	QUANTITY
SINGLE FAMILY ATTACHED TOWNHOME	53
COMMERCIAL LOTS	4
TOTAL	57

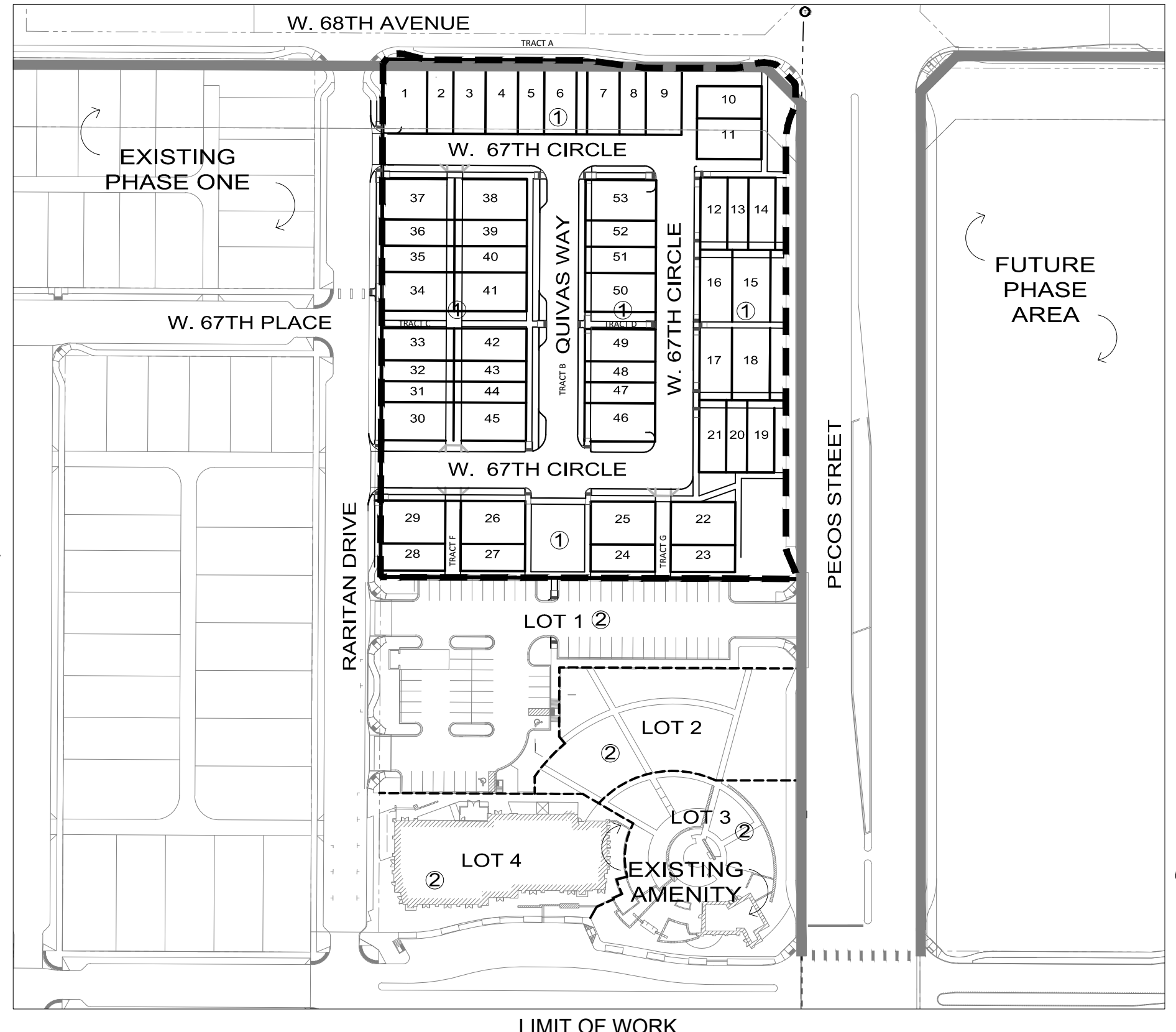
NOTES:
1. HOUSING VARIETIES: REFER TO SHEETS 9 FOR LOT TYPE DETAILS.

PARKING COUNT-SINGLE FAMILY ATTACHED TOWNHOME

DESCRIPTION	LOTS & BLOCK	QUANTITY
SINGLE FAMILY ATTACHED TOWNHOME - 2 CAR GARAGE - 13' ALLEY	LOTS 30-33-34-42-45 BLOCK 1	36 SPACES (3 SPACES/UNIT)
SINGLE FAMILY ATTACHED TOWNHOME - 2 CAR GARAGE - 13' ALLEY DEAD END ALLEY	LOTS 10-11-15-18-22-25-26-29 BLOCK 1	20 SPACES (2 SPACES/UNIT)
SINGLE FAMILY ATTACHED TOWNHOME - 1 CAR GARAGE - 13' ALLEY	LOTS 12-14-19-21-23-24-27-28-31-32-43-44 BLOCK 1	14 SPACES (1 SPACE/UNIT)
SINGLE FAMILY ATTACHED TOWNHOME - 2 CAR GARAGE - 24' ALLEY	LOTS 1-9-46-49-53 BLOCK 1	30 SPACES (2 SPACES/UNIT)
SINGLE FAMILY ATTACHED TOWNHOME - 1 CAR GARAGE - 24' ALLEY	LOTS 47-48 BLOCK 1	2 SPACES (1 SPACE/UNIT)
ON STREET PARKING SPACES		26 SPACES
TOTAL PARKING COUNTS		128 SPACES
SPACES / UNIT (THIS FDP)		2.42
GROSS PARKING RATIO IN MIDTOWN (INCLUDES PHASE 1, FILINGS 2, 3, 4, 5, 7, 8, & PROPOSED FILINGS 6 & 10)		4.02 SPACES/UNIT

PARKING COUNT-COMMERCIAL

LOCATION	HANDICAP PARKING STALL	PARKING STALL
WEST 67TH AVENUE PARKING	2	10
WEST 67TH AVENUE PARKING	2	73
WEST 67TH AVENUE PARKING	0	6
TOTAL	4	89



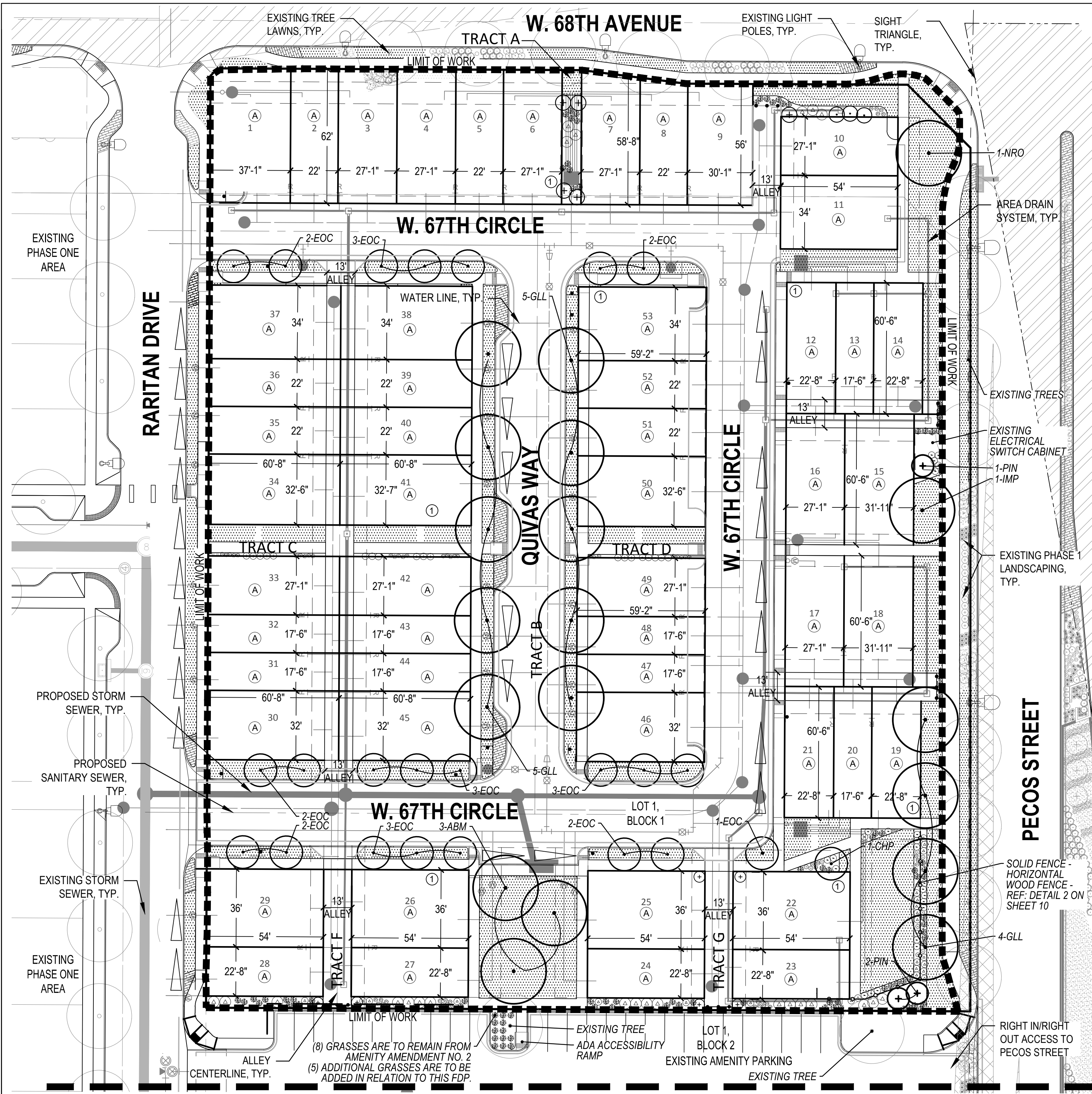
LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER / HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	ROCK MULCH
	BRICK PAVERS /

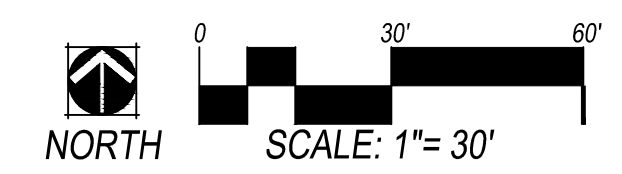
* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 8 FOR LANDSCAPE PLANT LIST.

NOTES:

- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- GARBAGE VEHICLES ARE NOT PERMITTED IN DEAD END ALLEYS
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:
Ⓐ SFA TOWNHOME



MATCHLINE: SEE SHEET 5 OF 11



MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
ADAMS COUNTY, COLORADO

Issue Date

08 / 14 / 2015

Revision Date

08 / 28 / 2015

09 / 29 / 2015

07 / 07 / 2017

10 / 13 / 2017

11 / 09 / 2017

NOT FOR CONSTRUCTION

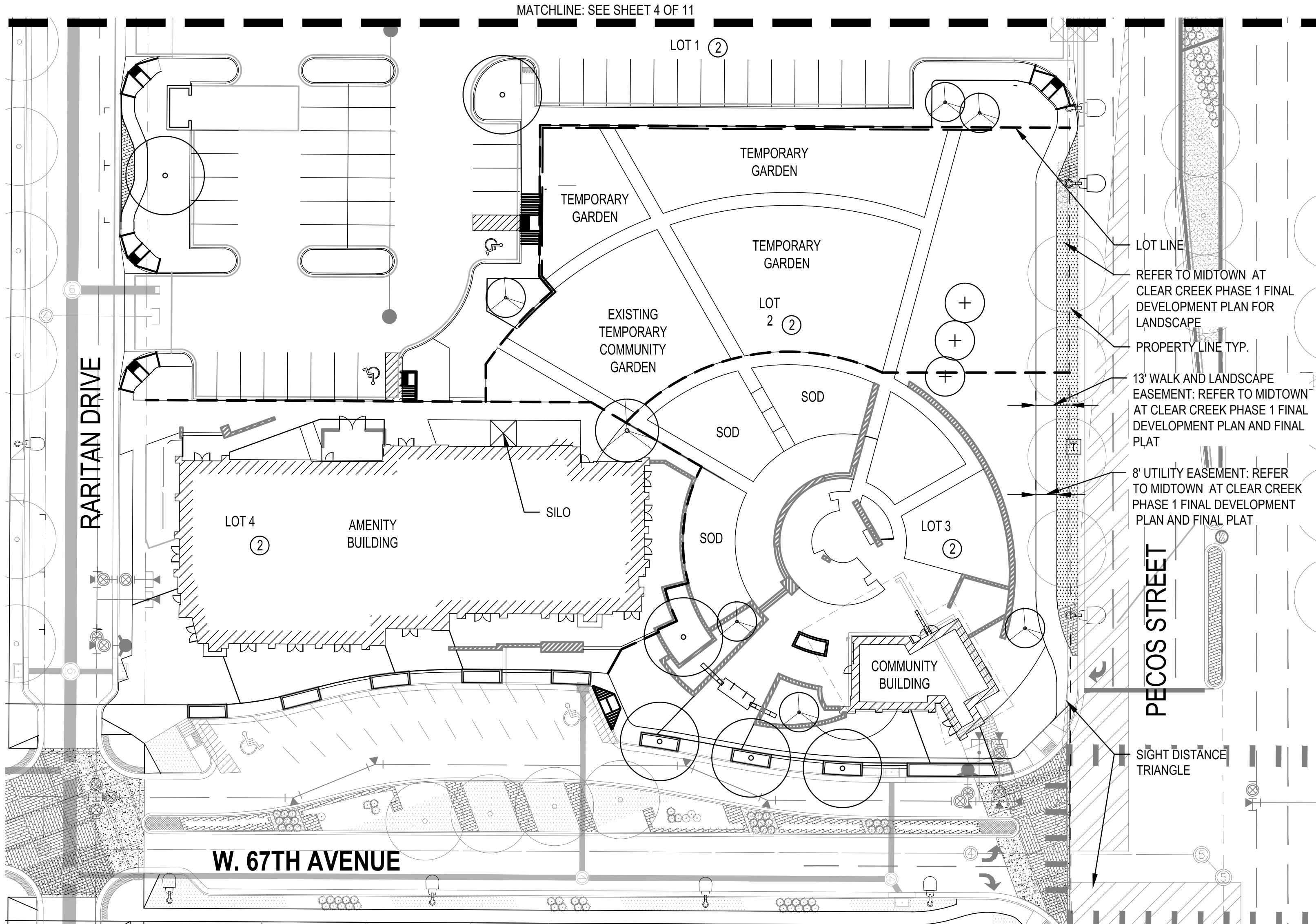
LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER / HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	ROCK MULCH
	BRICK PAVERS /

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEET 8 FOR LANDSCAPE PLANT LIST.

NOTES:

1. ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
2. GARBAGE VEHICLES ARE NOT PERMITTED IN DEAD END ALLEYS
3. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
4. HOUSING PRODUCT VARIETIES:
Ⓐ SFA TOWNHOME



NOTE

1. Filing Nine is the Third Amendment to the Amenity FDP, originally platted with Phase One.
2. This Amenity FDP amendment No. 3 is to further subdivide the Midtown amenity parcel, Final Plat Filing No. 1, Block 10, Lot 1 into Block 1, Lots 1-53 and Block 2, Lots 1-4. Minor landscape changes to the new Block 2, Lot 1 add a handicap ramp from the Amenity parking lot into Filing Nine and shift the landscape to accommodate the handicap ramp.
3. No other revisions are proposed to the approved and constructed Amenity plans.



Issue Date

08 / 14 / 2015

Revision Date

08 / 28 / 2015

09 / 29 / 2015

07 / 07 / 2017

10 / 13 / 2017

11 / 09 / 2017

NOT FOR
CONSTRUCTION

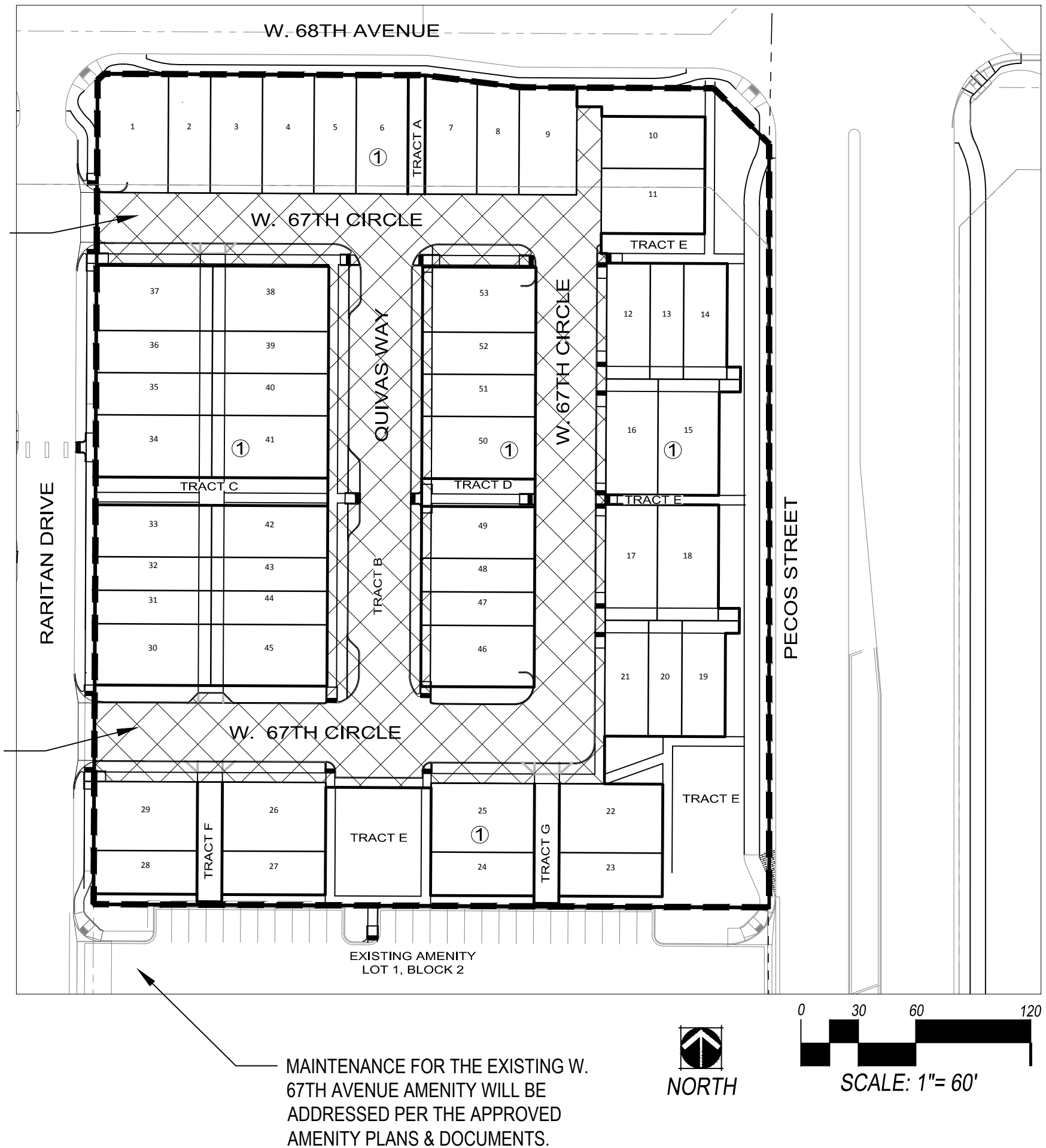
TRACT & TREE LAWN & TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

	Responsible Party		Block 1		
	Installation	Maintenance			
Entire Tracts:					
A	Builder/CCSMD	CCSMD	Lot 25	Builder	CCSMD*
B	Builder/CCSMD	CCSMD	Lot 26	Builder	CCSMD*
C	Builder/CCSMD	CCSMD	Lot 28	Builder	CCSMD*
D	Builder/CCSMD	CCSMD	Lot 29	Builder	CCSMD*
E	Builder/CCSMD	CCSMD	Lot 30	Builder	CCSMD*
F	Builder/CCSMD	CCSMD	Lot 31	Builder	CCSMD*
G	Builder/CCSMD	CCSMD	Lot 32	Builder	CCSMD*
Tree Lawns (and non-hatched areas of Tract B) Adjacent to:					
Tract					
A	CCSMD	CCSMD	Lot 34	Builder	CCSMD*
C	CCSMD	CCSMD	Lot 35	Builder	CCSMD*
D	CCSMD	CCSMD	Lot 36	Builder	CCSMD*
E	CCSMD	CCSMD	Lot 37	Builder	CCSMD*
Block 1					
Lot 1	Builder	CCSMD	Lot 38	Builder	CCSMD*
Lot 2	Builder	CCSMD	Lot 39	Builder	CCSMD*
Lot 3	Builder	CCSMD	Lot 40	Builder	CCSMD*
Lot 4	Builder	CCSMD	Lot 41	Builder	CCSMD*
Lot 5	Builder	CCSMD	Lot 42	Builder	CCSMD*
Lot 6	Builder	CCSMD	Lot 43	Builder	CCSMD*
Lot 7	Builder	CCSMD	Lot 44	Builder	CCSMD*
Lot 8	Builder	CCSMD	Lot 45	Builder	CCSMD*
Lot 9	Builder	CCSMD	Lot 46	Builder	CCSMD*
Lot 12	Builder	CCSMD*	Lot 47	Builder	CCSMD*
Lot 16	Builder	CCSMD*	Lot 48	Builder	CCSMD*
Lot 17	Builder	CCSMD*	Lot 49	Builder	CCSMD*
Lot 21	Builder	CCSMD*	Lot 50	Builder	CCSMD*
Lot 22	Builder	CCSMD*	Lot 51	Builder	CCSMD*
Lot 2	Builder	CCSMD*	Lot 52	Builder	CCSMD*
Lot 3	Builder	CCSMD*	Lot 53	Builder	CCSMD*

*Landscape currently maintained by CCSMD, but may revert to property owner at future date if not appropriated for.

THIS PORTION OF TRACT B AND PRIVATE RIGHT-OF-WAY WILL BE BUILT BY BUILDER AND MAINTAINED BY CCSMD.

THIS PORTION OF TRACT B AND PRIVATE RIGHT-OF-WAY WILL BE BUILT BY BUILDER AND MAINTAINED BY CCSMD.

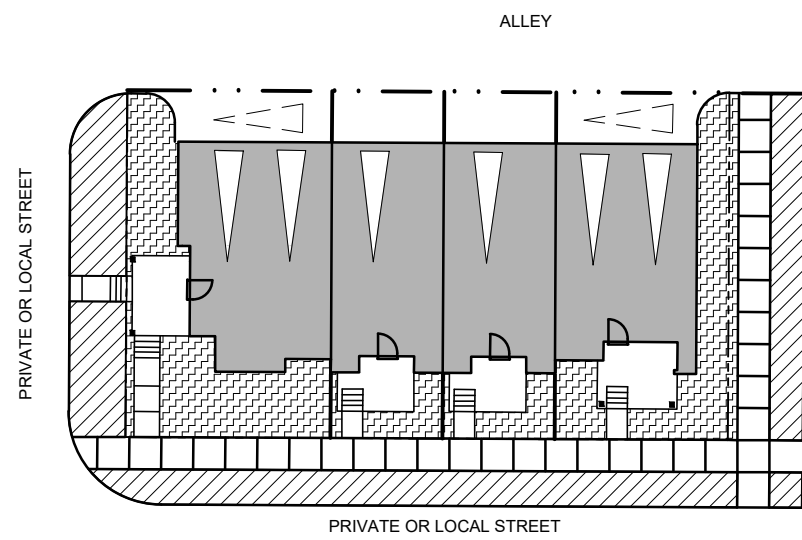


LANDSCAPE INSTALLATION AND MAINTENANCE NOTES:

- REFER TO THE INSTALLATION AND MAINTENANCE CHART AND DIAGRAMS ON SHEET 6 FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
- TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY AND TRACT B. THIS CHART AND DIAGRAMS ON SHEET 6 SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEBUILDER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. THE CCSMD).
- OTHER COMMON AREA LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS ARE ALSO SHOWN ON THE CHART LOCATED ON THIS SHEET.
- THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUND COVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
- ONCE THE LANDSCAPING IS INSTALLED AND COMPLETED, THE DISTRICT WILL REVIEW THE INSTALLATION FOR COMPLETENESS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF MAINTAINING THE LANDSCAPES FOR THE AREAS SPECIFIED ON THIS SHEET. MAINTENANCE OF OTHER COMPLETED LANDSCAPE AREAS WILL BECOME THE RESPONSIBILITY OF THE PARTIES IDENTIFIED ON THIS SHEET.
- IF THE CCSMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN IN THE INSTALLATION CHART ON THIS SHEET.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE THE CCSMD ACCEPTS RESPONSIBILITY.
- MAINTAINING LANDSCAPES INCLUDES THE MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.
- REFER TO THE SIA FOR FURTHER INFORMATION AND A VISUAL DEPICTION OF THE AREAS IDENTIFIED ABOVE.

TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS N.T.S.

TOWNHOME CONDITION



TYPICAL FRONT CORNER LOT ENTRY TOWNHOME

LEGEND

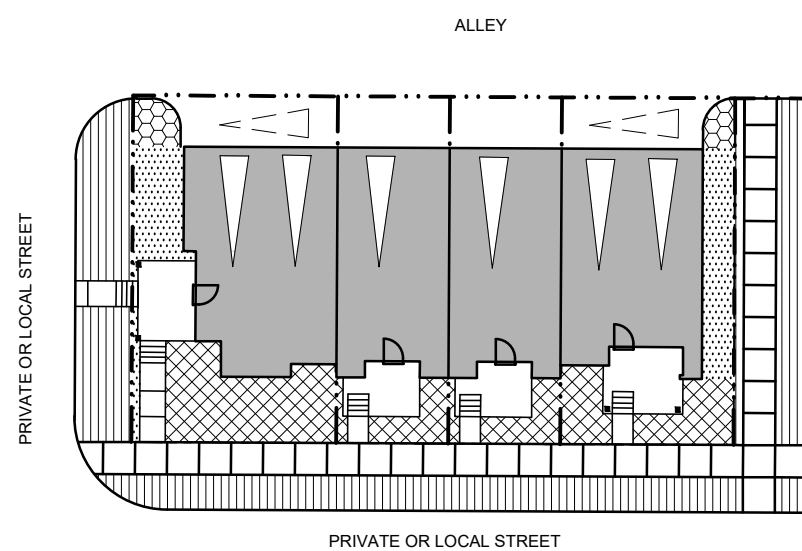
	PROPERTY LINE
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY CCSMD*
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY HOMEOWNER

* LANDSCAPE CURRENTLY MAINTAINED BY CCSMD, BUT MAY REVERT TO PROPERTY OWNER AT FUTURE DATE IF NOT APPROPRIATED FOR.

TYPICAL LOT - LANDSCAPE AREA DEFINITIONS N.T.S.

LANDSCAPE INSTALLED BY BUILDER

TOWNHOME CONDITION



TYPICAL FRONT CORNER LOT ENTRY TOWNHOME

LEGEND

	PROPERTY LINE
	FRONT YARD
	ALLEY
	STREET SIDE YARD
	TREE LAWN OR TRACT

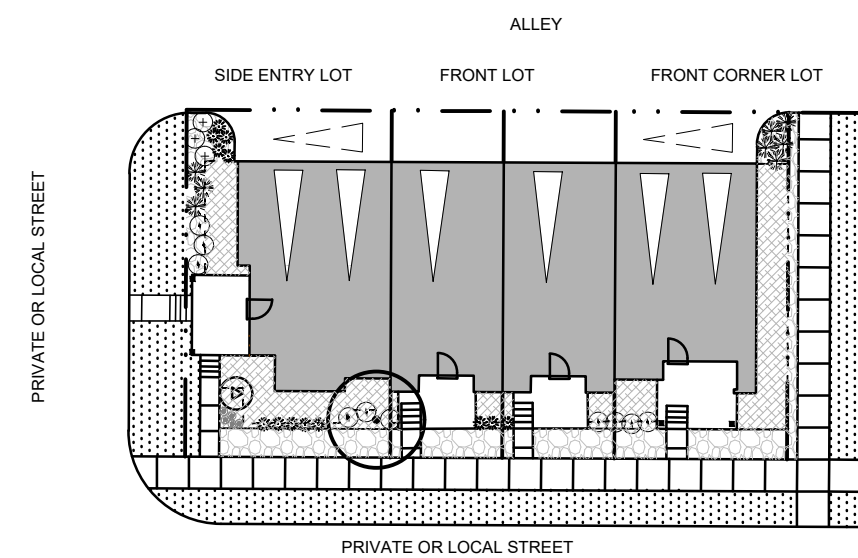
GENERAL NOTES:

1. LANDSCAPE ADJACENT TO TOWNHOMES SHALL BE MAINTAINED BY THE DISTRICT.

LANDSCAPE TYPICALS

LANDSCAPE INSTALLED BY BUILDER

TOWNHOME CONDITION



TYPICAL FRONT CORNER LOT ENTRY TOWNHOME

LEGEND

	PROPERTY LINE
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	SOD
	ROCK MULCH
	WOOD MULCH

TOWNHOME LOT TYPICAL	REQUIRED QUANTITIES BY LOT TYPE AND LOCATION							
	SIDE ENTRY LOT			FRONT LOT		FRONT CORNER LOT		
MATERIAL	FRONT YARD	SIDE YARD	ALLEY	FRONT YARD	ALLEY	FRONT YARD	SIDE YARD	ALLEY
ORNAMENTAL OR EVERGREEN TREE	1	0	0	0	0	0	0	0
DECIDUOUS / EVERGREEN SHRUBS	3	3	3	1	0	3	0	0
ORNAMENTAL GRASSES	5	3	5	1	0	0	0	5
PERENNIALS	5	0	0	0	0	0	0	0
TURF	3' MIN.	NONE	NONE	3'	NONE	3'	NONE	NONE

SEE THIS SHEET FOR FRONT YARD, ALLEY AND SIDE YARD LANDSCAPE AREA DIAGRAM TOWNHOME LOT TYPICAL

NOTES:

1. MATERIAL IS INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY THE DISTRICT.
2. LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

NOTE: TOWNHOME TYPICAL LOTS FRONTING RIGHT OF WAY REQUIRE A MINIMUM OF 3' TURF AREA. TOWNHOME TYPICAL LOTS LANDSCAPE TRACTS REQUIRE PLANT MATERIAL; ORNAMENTAL EVERGREENS, DECIDUOUS SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS. LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

Sheet Title

LANDSCAPE INSTALLATION AND MAINTENANCE

Sheet Number

7 OF 11

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite #700
Centennial, CO 80111
303-706-9451



NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN
 FILING NINE /
 THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
 ADAMS COUNTY, COLORADO

Issue Date

08 / 14 / 2015

Revision Date

08 / 28 / 2015

09 / 29 / 2015

07 / 07 / 2017

10 / 13 / 2017

11 / 09 / 2017

NOT FOR CONSTRUCTION

LANDSCAPE PLANT LIST

SYM. COMMON NAME	BOTANICAL NAME	SIZE & COND.
------------------	----------------	--------------

DECIDUOUS CANOPY TREES

(UNLESS OTHERWISE NOTED)		
ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED' 2 1/2" CAL. B&B
FFH	FRANS FONTAINE HORNBEAM	CARPINUS BETULUS 'FRANS FONTAINE' 2 1/2" CAL. B&B
WHB	WESTERN HACKBERRY	CELTIS OCCIDENTALIS 2 1/2" CAL. B&B
GBI	GINKGO	GINKGO BILOBA (MALE VARIETIES ONLY) 2 1/2" CAL. B&B
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' 2 1/2" CAL. B&B
SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' 2 1/2" CAL. B&B
KCT	KENTUCKY COFFEETREE, ESPRESSO	GYMNOCLADUS DIOICUS 'ESPRESSO' 2 1/2" CAL. B&B
LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA 2 1/2" CAL. B&B
LPT	LONDON PLANETREE	PLATANUS ACERIFOLIA 'BLOODGOOD' 2 1/2" CAL. B&B
BOA	BUR OAK	QUERCUS MACROCARPA 2 1/2" CAL. B&B
EOA	ENGLISH OAK	QUERCUS ROBUR 2 1/2" CAL. B&B
NRO	NORTHERN RED OAK	QUERCUS RUBRA 2 1/2" CAL. B&B
GLL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE' 2 1/2" CAL. B&B
ELM	FRONTIER ELM	ULMUS X 'FRONTIER' 2 1/2" CAL. B&B

EVERGREEN TREES

SKY	SKYROCKET JUNIPER	JUNIPERUS VIRGINIANA 'SKYROCKET' 4' HT. MIN
COJ	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN' 4' HT. MIN
CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS 8' HT. MIN
PIN	PINON PINE	PINUS EDULIS 6' HT. MIN
AUP	AUSTRIAN PINE	PINUS NIGRA 8' HT. MIN
PON	PONDEROSA PINE	PINUS PONDEROSA 8' HT. MIN

DECIDUOUS ORNAMENTAL TREES

HWM	PATTERN PERFECT MAPLE	ACER TATARICUM 'PATTERN PERFECT' 8' CLUMP, B&B
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' 8' CLUMP, B&B
WHT	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM 2" CAL., B&B
PRF	RADIANT CRABAPPLE	MALUS 'RADIANT' 2" CAL., B&B
CHP	CHANTICLEER PEAR	PYRUS CALLERYANA 2" CAL., B&B
EOC	ENGLISH COLUMNAR OAK	QUERCUS ROBUR 'FASTIGIATA' 2" CAL., B&B
LTC	JAPANESE TREE LILAC	SYRINGA RETICULATA 8' CLUMP, B&B

DECIDUOUS SHRUBS

CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA' #5 CONTAINER
SLF	SILVER FOUNTAIN BUTTERFLY BUSH	BUDDLEIA ALTERNIFOLIA 'ARGENTEA' #5 CONTAINER
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS #5 CONTAINER
FRB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM #5 CONTAINER
RDW	DWARF BABY BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOUS 'DW. BLUE' #5 CONTAINER
SGB	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANISH GOLD' #5 CONTAINER
APL	APACHE PLUME	FALLUGIA PARADOXA #5 CONTAINER
DRS	DWARF RUSSIAN SAGE	PEROVSKIA ARTIPLICIFOLIA 'LITTLE SPIRE' #5 CONTAINER
MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE' #5 CONTAINER
FLI	FINE LINE BUCKTHORNE	RHAMNUS FRANGULA 'RON WILLIAMS' #5 CONTAINER
YFC	YELLOW FLOWERING CURRANT	RIBES AUREUM #5 CONTAINER
KNO	KNOCK OUT ROSE - RED	ROSA X 'RADRAZZ' #5 CONTAINER
KNS	SUNNY KNOCK OUT	ROSA X 'RADSUNNY' #5 CONTAINER
SBB	SILVER BUFFALO BERRY	SHEPHERDIA ARGENTEA #5 CONTAINER
HCB	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK' #5 CONTAINER
MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM' #5 CONTAINER
PGL	PRESIDENT GREVY LILAC	SYRINGA VULGARIS 'PRESIDENT GREVY' #5 CONTAINER

EVERGREEN SHRUBS

BRJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR' #5 CONTAINER
BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP' #5 CONTAINER
GLS	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA' #5 CONTAINER
MAN	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS #5 CONTAINER
MUG	MOPS MUGO PINE	PINUS MUGO 'MOPS' #5 CONTAINER
ITY	IVORY TOWER YUCCA	YUCCA FILAMENTOSA 'IVORY TOWER' #5 CONTAINER
RHM	R.H. MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H. MONTGOMERY' #5 CONTAINER

GRASSES

FRG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' #1 CONTAINER
KFG	KOREAN FEATHER REED GRASS	CALAMAGROSTIS BRACHYTRICA #1 CONTAINER
AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS #1 CONTAINER
GSR	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH' #1 CONTAINER
MFG	MEXICAN FEATHER GRASS	NASSELLA (STIPA) TENUISSIMA #1 CONTAINER
HMS	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL' #1 CONTAINER
PAH	HARDY PAMPAS, PLUME GRASS	ERIANTHUS RAVENNAE #1 CONTAINER

GROUND COVER / VINES

GH	GOLDFLAME HONEYSUCKLE	LONICERA HECKROTTII #1 CONTAINER
----	-----------------------	----------------------------------

COMMON NAME	BOTANICAL NAME	SIZE & COND.
-------------	----------------	--------------

PERENNIALS

(UNLESS OTHERWISE NOTED)		
AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY' #1 CONTAINER
BES	BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM' #1 CONTAINER
CFL	CONEFLOWER	ECHINACEA PURPUREA #1 CONTAINER
CJT	JETHRO TULL COREOPSIS	C. GRANDIFLORA 'JETHRO TULL' #1 CONTAINER
CMT	WALKER'S LOW CATMINT	NEPETA FAASSENII 'WALKER'S LOW' #1 CONTAINER
DDY	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO' #1 CONTAINER
DSD	SNOW LADY SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'SNOW LADY' #1 CONTAINER
ELV	ENGLISH MUNSTEAD LAVENDER	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' #1 CONTAINER
GAI	BURGUNDY BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'BURGUNDY' #1 CONTAINER
HBJ	HIMALAYAN BORDER JEWEL POLYGONUM	PERSICARIA AFFINIS 'HIMALAYAN BORDER JEWEL' #1 CONTAINER
IPY	YELLOW ICE PLANT	DELOSPERMA NUBIGENUM #1 CONTAINER
JBG	JOHNSON'S BLUE/ CRANESBILL GERANIUM	GERANIUM X 'JOHNSON'S BLUE' #1 CONTAINER
LAM	LAMB'S EAR	STACHYS BYZANTINA #1 CONTAINER
MY	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE' #1 CONTAINER
PIR	MISSOURI EVENING PRIMROSE	OENOTHERA MACROCARPA #1 CONTAINER
PLP	PINELEAF PENSTEMON RED	PENSTEMON PINIFOLIUS #1 CONTAINER
POM	WINECUPS (POPPY MALLOW)	CALLIRHOE INVOLUCRATA #1 CONTAINER
SIS	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM #1 CONTAINER
SSH	SUNSET HYSSOP	AGASTACHE RUPESTRIS #1 CONTAINER
VAL	RED VALERIAN/ JUPITER'S BEARD	CENTRANTHUS RUBER #1 CONTAINER
WBF	GAURA/ WHIRLING BUTTERFLIES	GAURA LINDHEIMERI #1 CONTAINER
HOB	BLUE GIANT HOSTA	H. SIEBOLDIANA 'ELEGANS' #1 CONTAINER
HOV	VARIEGATED HOSTA	H. UNDLATA MEDIOVARIEGATA #1 CONTAINER

SOD MIX

TURF GRASS BLEND: SOD

COMMON NAME	% OF TOTAL
90 /10 FESCUE MIX	100%
90 FESCUE	90%
10 BLUEGRASS	10%
TOTAL	100%

LANDSCAPE NOTES:

- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
- SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/4" ANGULAR ROCK MULCH AND/OR WOOD MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
- SHRUB BEDS ARE TO BE CONTAINED BY 3/16" MIN. THICK METAL EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.

Sheet Title

LANDSCAPE PLANT LIST

Sheet Number

8 OF 11

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite #700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
700 14th Street
1000 West 14th Street
Littleton, Colorado 80120

NORRIS DESIGN
Planning | Landscape Architecture | Branding

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
ADAMS COUNTY, COLORADO

Issue Date

08 / 14 / 2015

Revision Date

08 / 28 / 2015

09 / 29 / 2015

07 / 07 / 2017

10 / 13 / 2017

11 / 09 / 2017

NOT FOR CONSTRUCTION

SETBACK AND HEIGHT RESTRICTIONS CHART

USE	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES EXCLUDING GARAGES	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES	MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES	MAXIMUM BUILDING HEIGHT	MAXIMUM ACCESSORY STRUCTURE HEIGHT		
	COLLECTOR SECTION 6	SECTION 4.8.10.11.12	SECTION 4.8.10.11	SECTION 8.5	SECTION 8	13' ALLEY	20' ALLEY	13' ALLEY	20' ALLEY	See Note: 7	
Single Family Attached Townhome with Rear loaded Garage	15'	10'	10'	5' Exterior Wall 0' Common Wall	15'	8'	4.5'	8'	4.5'	45'	28'

The proposed setback and height restrictions are consistent with the Second Amendment to the PDP for the Midtown Clear Creek PUD. Refer to the Second Amendment to the PDP for full list of notes.

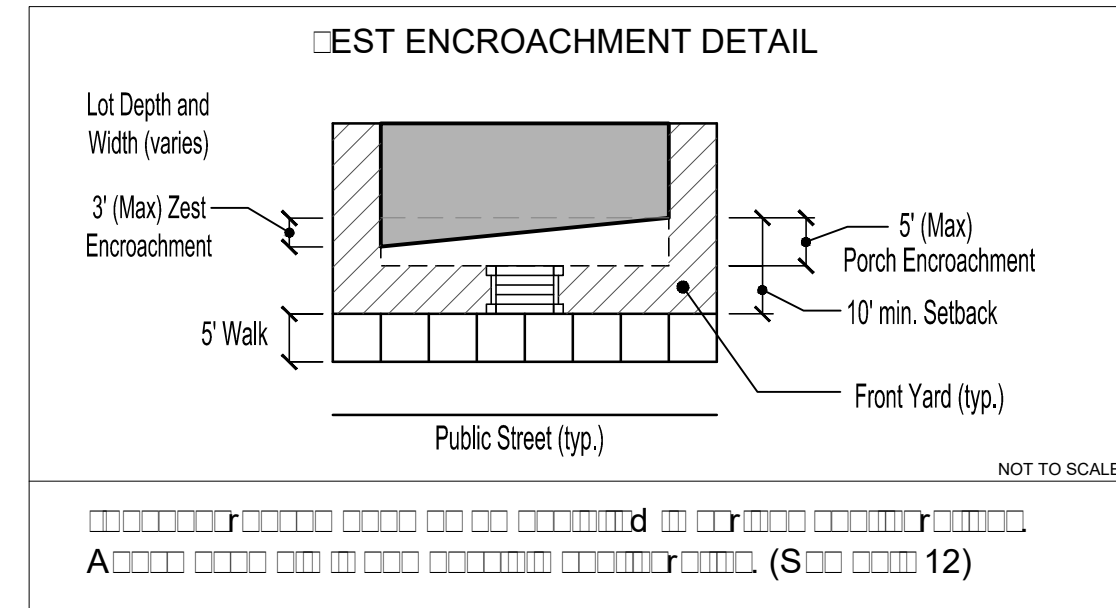
NOTES:

(References copied from the Second Amendment to the PDP)

- The garage door face for the lot shall be at least 18' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Setbacks will follow local street standards on West 67th Avenue.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.

- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Lot coverage is defined as the area covered by the buildings and accessory buildings.
- Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of way or transportation and utility easements.

- The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
- Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).



PLAN VIEW (TYPICAL)

N.T.S.

SQUARE FOOTAGE RANGE

HOUSING PRODUCT	SQUARE FOOTAGE
(A) SINGLE FAMILY ATTACHED TOWNHOME	1,400 - 2,300 SF

SQUARE FOOT RANGES ARE INTENDED TO ENCOMPASS A MAJORITY OF HOMES IN EACH HOUSING PRODUCT TYPE. A MINIMAL AMOUNT OF HOMES MAY VARY FROM DEFINED RANGES DURING FURTHER ARCHITECTURE DESIGN DEVELOPMENT AND CONSTRUCTION.

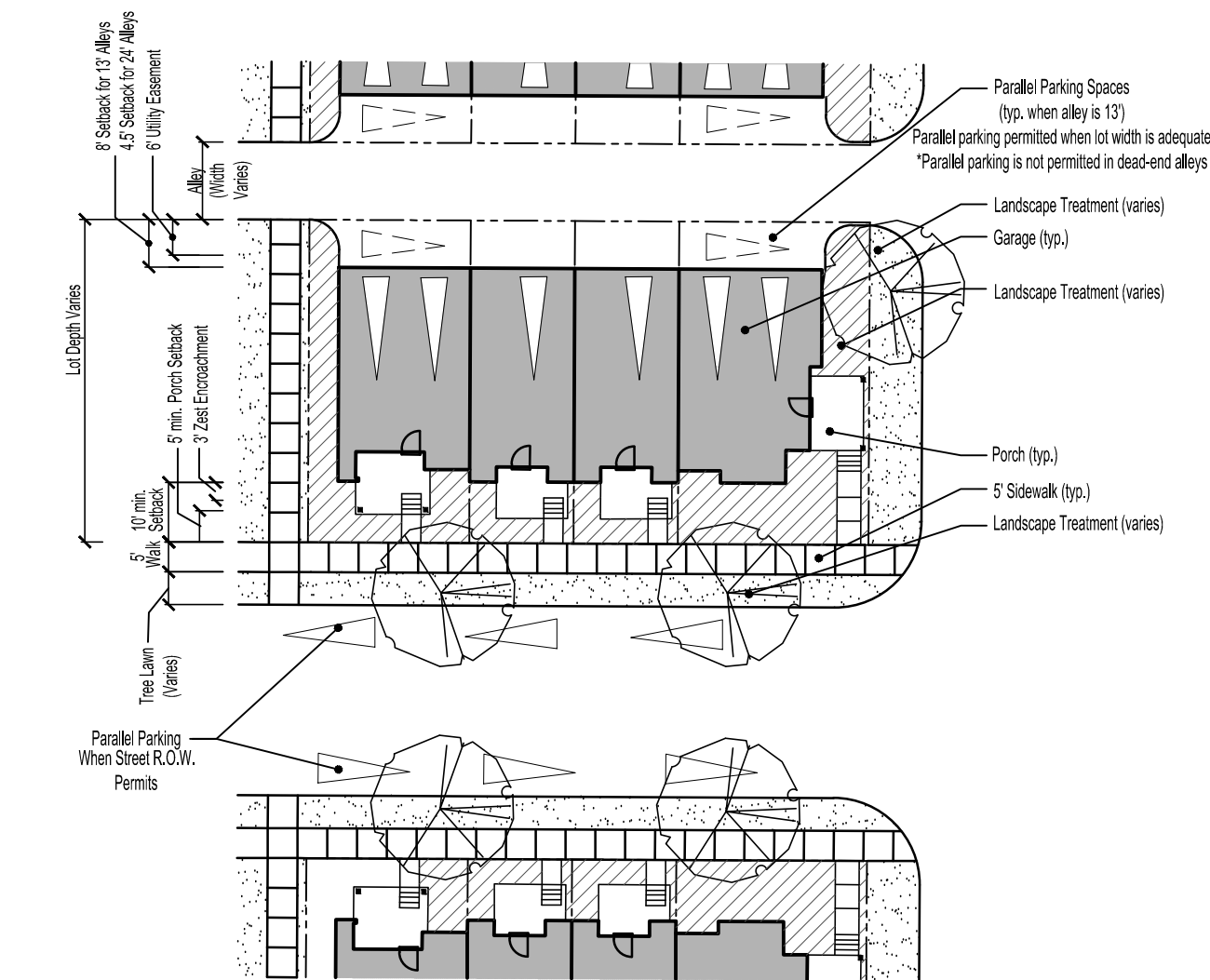
TYPICAL PRODUCT IMAGE



MIDTOWN ARCHITECTURE CHARACTER

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR FRONT RANGE RESIDENTIAL. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE AND FARMHOUSE ROOTS, WILL EVOLVE INTO "FRESH STYLE" EXPRESSIONS FOR THE NEW NEIGHBORHOOD. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE AFFORDABLE AND DISTINCTIVE HOMES, ADDING "ZEST" TO THE STREET SCENE APPEAL.

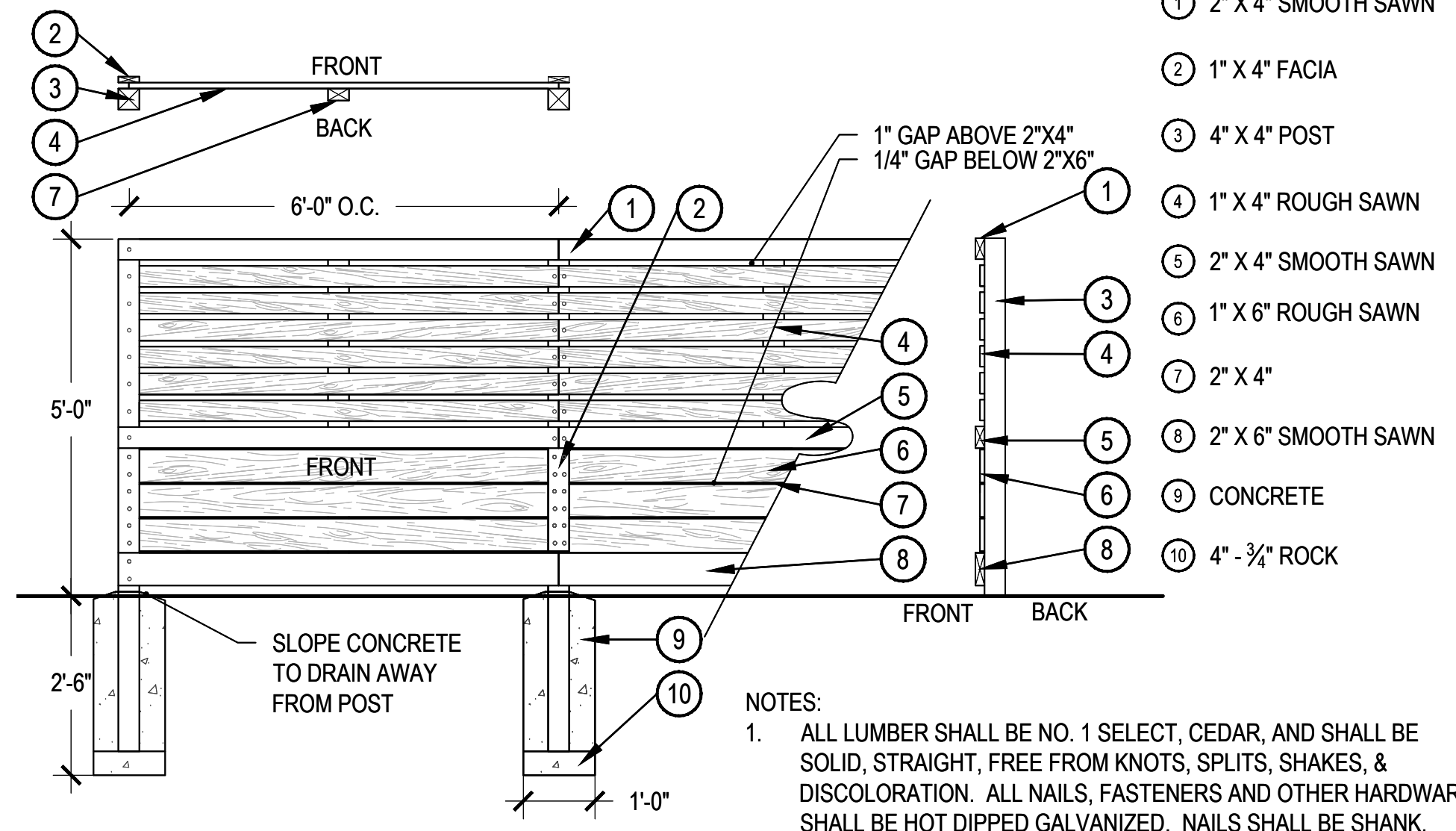
THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEW ARE REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM, FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL AND GARAGE ORIENTATION MAY VARY.



(A) SINGLE FAMILY ATTACHED TOWNHOME



- NOTES:
- SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
 - SIGN HEIGHTS PER ADAMS COUNTY AND CDOT STANDARDS

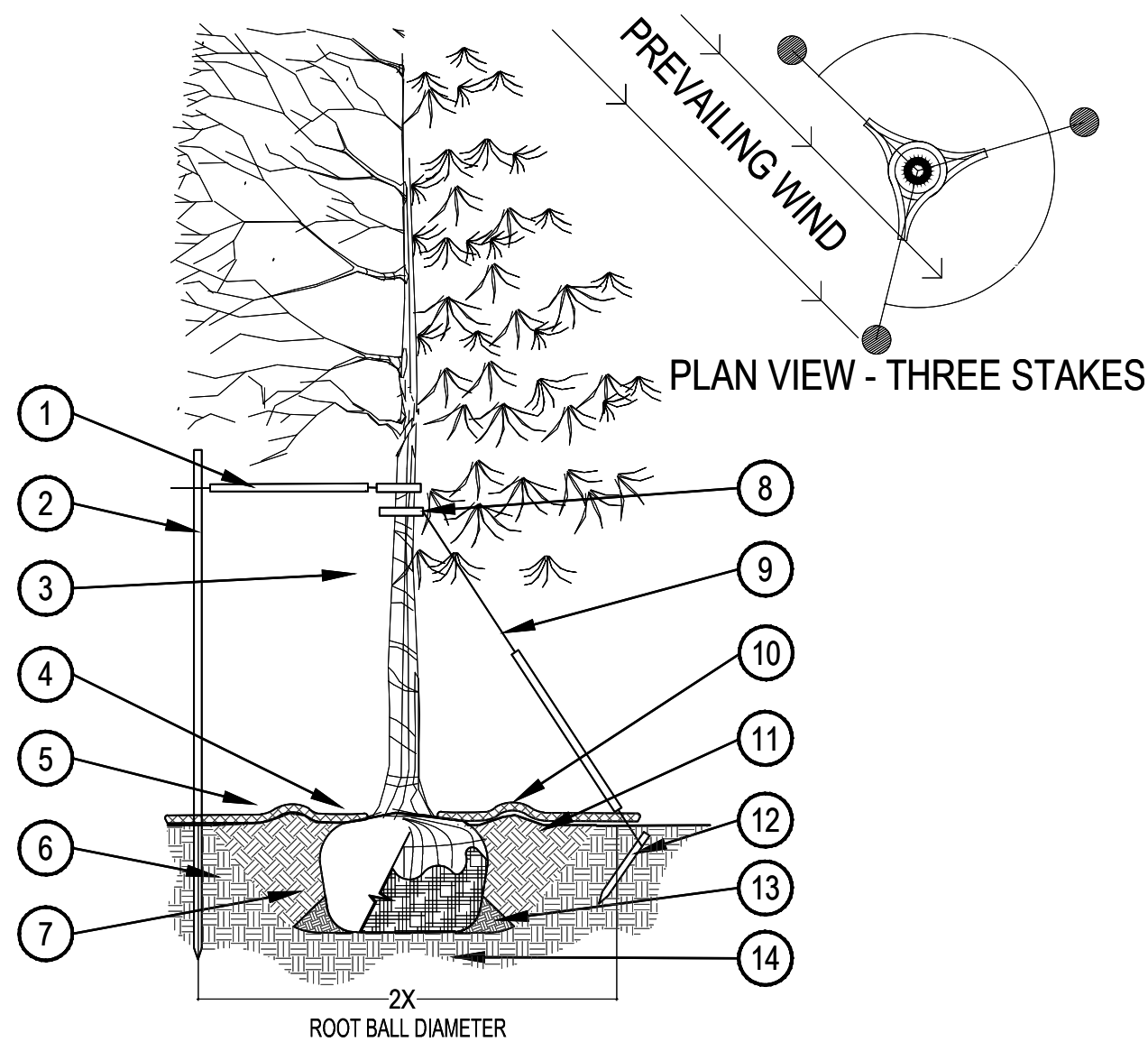


1 MIDTOWN STREET SIGNAGE

SCALE: NTS

2 SOLID FENCE - HORIZONTAL WOOD FENCE

SCALE: 1/2" = 1'



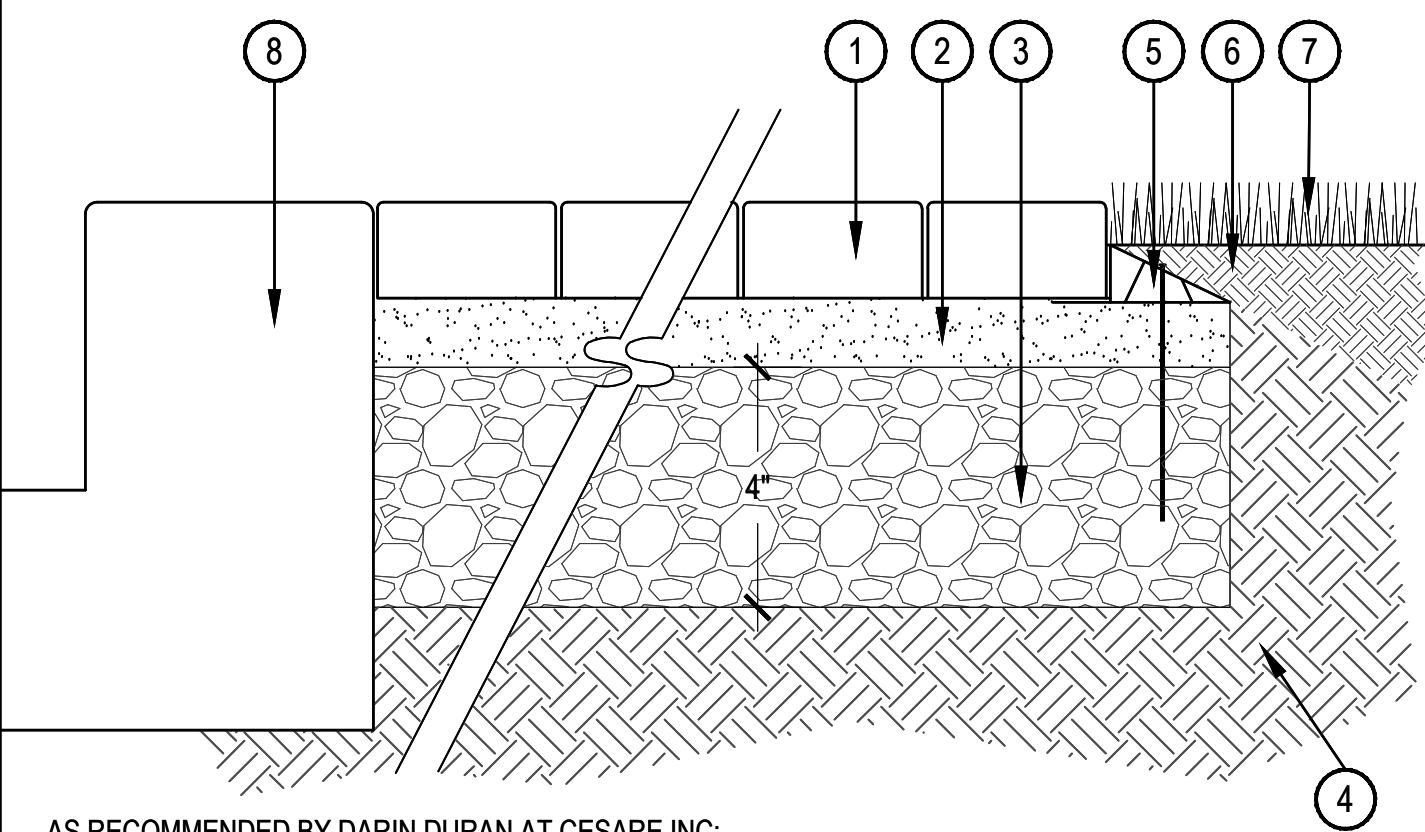
- PRUNING NOTES:
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

3 TREE PLANTING DETAIL

SCALE: NTS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
ADAMS COUNTY, COLORADO



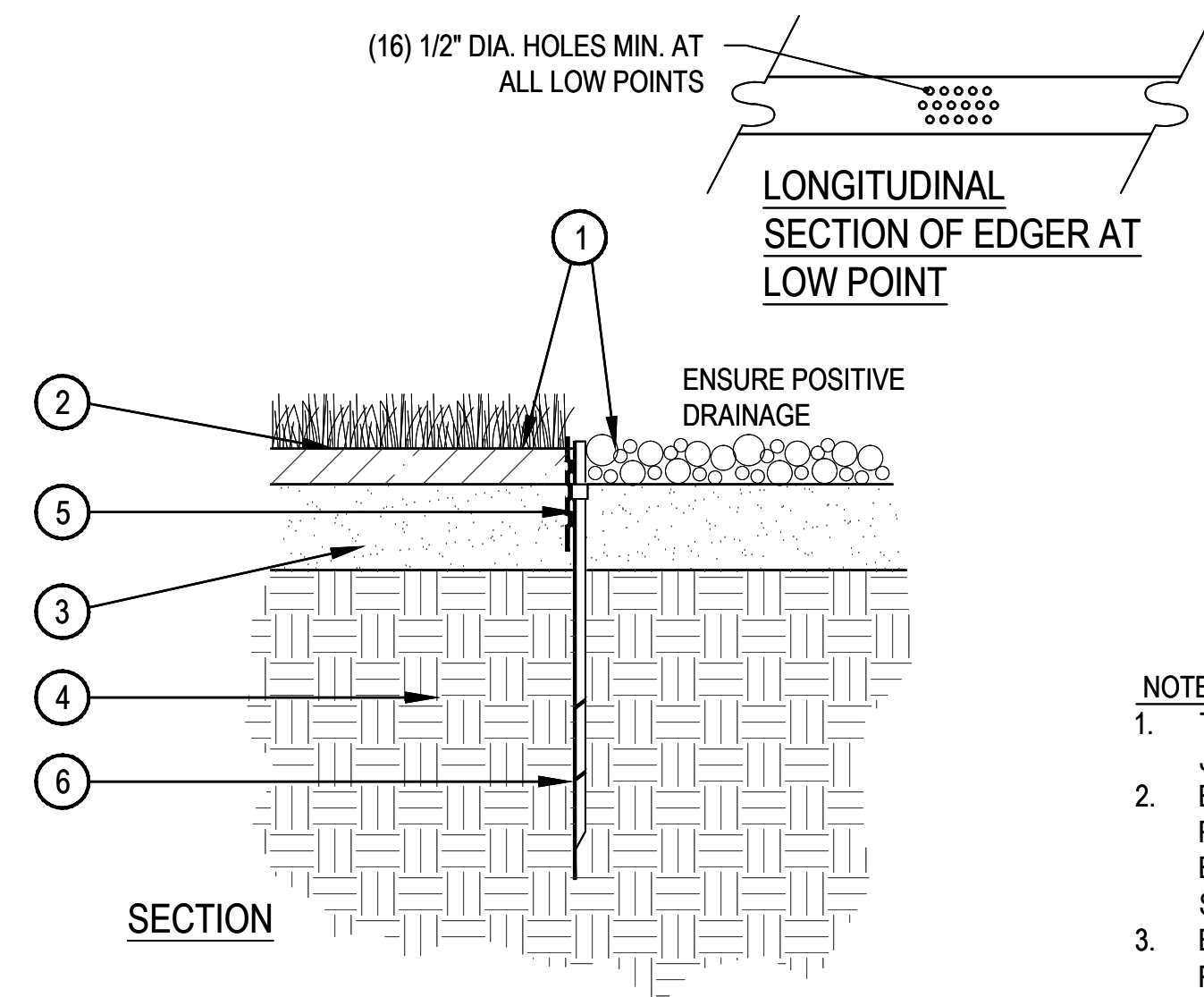
AS RECOMMENDED BY DARIN DURAN AT CESARE INC:
PEDESTRIAN PAVERS

- 1-1.5" OF SAND BASE
- 4" OF AGGREGATE (BENEATH SAND)
- SUBGRADE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 WITHIN 0 TO 2 PERCENT OF OPTIMUM MOISTURE CONTENT. THE AGGREGATE BASE COURSE SHOULD CONSIST OF CDOT CLASS 6 AND BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DENSITY AS DETERMINED BY ASTM D1557.

- 1 2 ¼"x 4" x 8" SAND SET BRICK PAVER BY INTERSTATE BRICK, 1/16" GAPS TYP. WITH SAND-FILLED ANGULAR JOINT SAND THAT COMPLIES WITH ASTM C33. RUNNING BOND PATTERN ALWAYS SET AT 20° FROM TRUE NORTH AS INDICATED BY THE HATCH PATTERN ON THE PLANS. CROWN BRICK PAVING IN MEDIANS SO THERE IS APPROXIMATELY A 4% SLOPE TO THE CURB.
- 2 WASHED SAND SETTING BED 1"-1.5" DEPTH, PER GEOTECH RECOMMENDATIONS
- 3 AGGREGATE 4" DEPTH, PER GEOTECH RECOMMENDATIONS
- 4 PREPARE SUBGRADE PER GEOTECH RECOMMENDATIONS
- 5 PAVESTONE EDGEPRO PAVER RESTRAINT SYSTEM OR APPROVED EQUAL www.pavestone.com
- 6 AMENDED TOPSOIL
- 7 SOD
- 8 CURB AND GUTTER

1 BRICK PAVERS - PEDESTRIAN

SCALE: 3" = 1'-0"



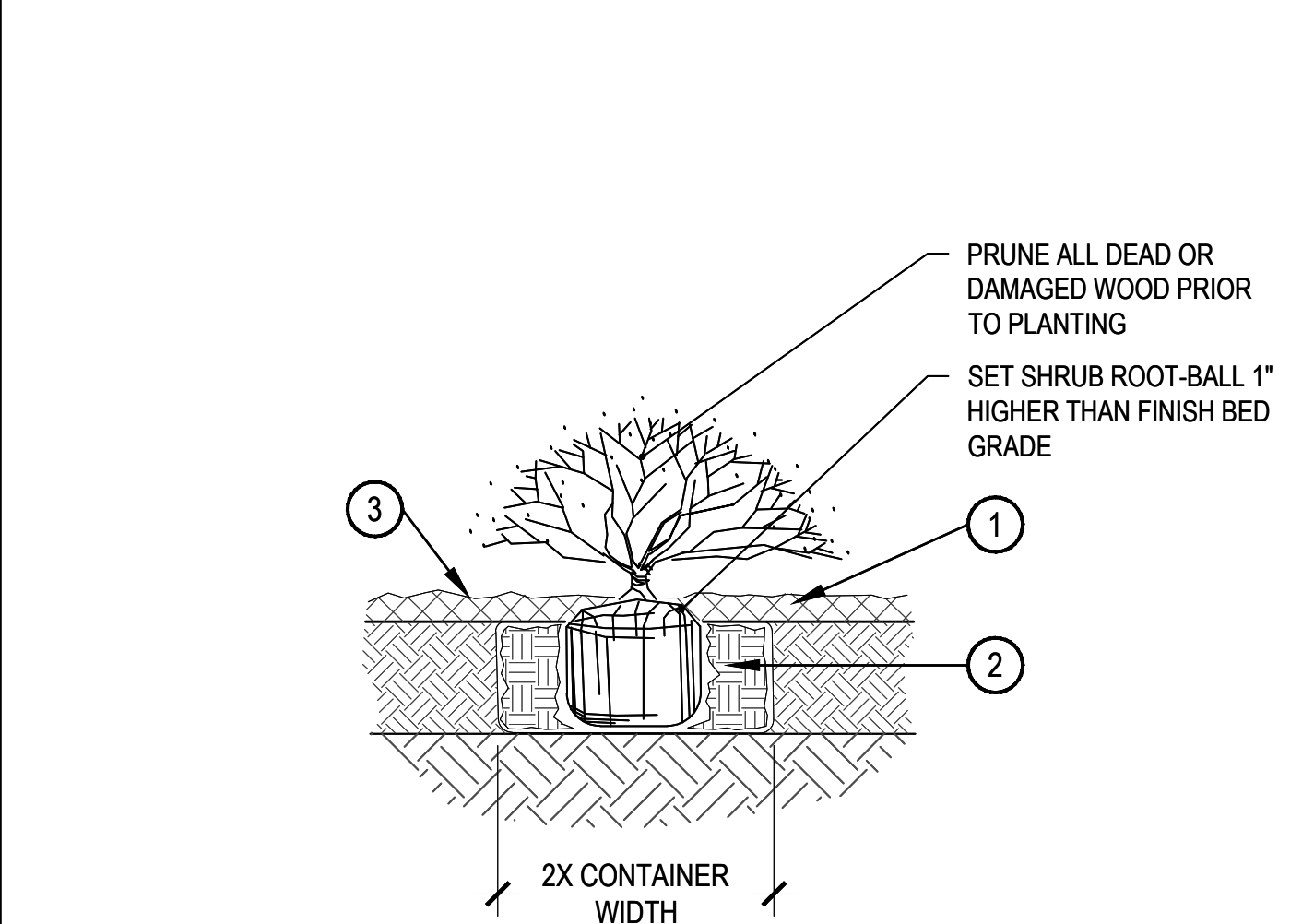
- 1 FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- 2 TURF THATCH
- 3 AMENDED SOIL PER SPECIFICATIONS
- 4 SUBGRADE
- 5 METAL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- 6 EDGER STAKE

NOTES:

1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
2. EDGER SHALL BE SET AS STRAIGHT AS POSSIBLE, ANY BENDS OR KINKS WHERE EDGER IS SUPPOSED TO FOLLOW A STRAIGHT LINE WILL BE REJECTED.
3. EDGER CORNERS SHALL BE AS TIGHT AS POSSIBLE.
4. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

2 METAL EDGER DETAIL

SCALE: 1" = 1'-0"



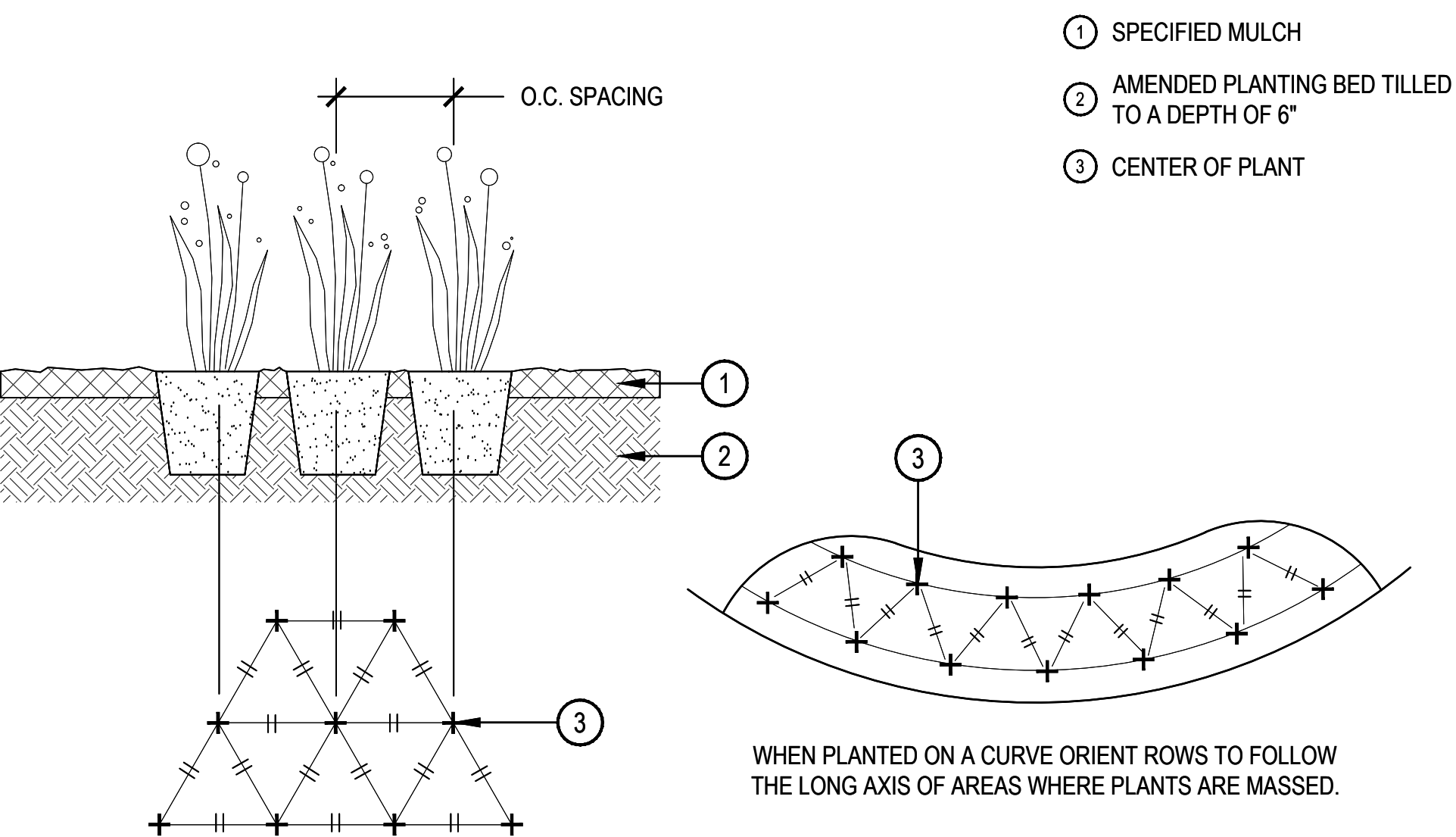
- 1 SPECIFIED MULCH
- 2 AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
- 3 FINISH GRADE (TOP OF MULCH)

NOTE:

1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER

3 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



- 1 SPECIFIED MULCH
- 2 AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- 3 CENTER OF PLANT

4 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING NINE /
THIRD AMENDMENT TO W. 67TH AVENUE AMENITY
ADAMS COUNTY, COLORADO

MIDTOWN AT CLEAR CREEK—FILING NO. 9

PRELIMINARY / FINAL PLAT

CASE NO. PRC
2016-00018

A REPLAT OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK – FILING NO. 1 PLAT CORRECTION
LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 6

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND LYING IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING ALL OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED AT RECEPTION NO. 201300055576 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LOCATED WITHIN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 5.907 ACRES, (257,321 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO PRIVATE DRIVES, LOTS, TRACTS, AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF MIDTOWN AT CLEAR CREEK—FILING NO. 9 AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE EASEMENTS AS SHOWN, FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS ____ DAY OF _____ A.D., 20__.

BY: MIDTOWN, LLC

____ AS _____
NAME TITLE

BY: MIDTOWN, LLC

____ AS _____
NAME TITLE

ACKNOWLEDGEMENT

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
COUNTY OF _____)SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ A.D. 201__.

BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

AND

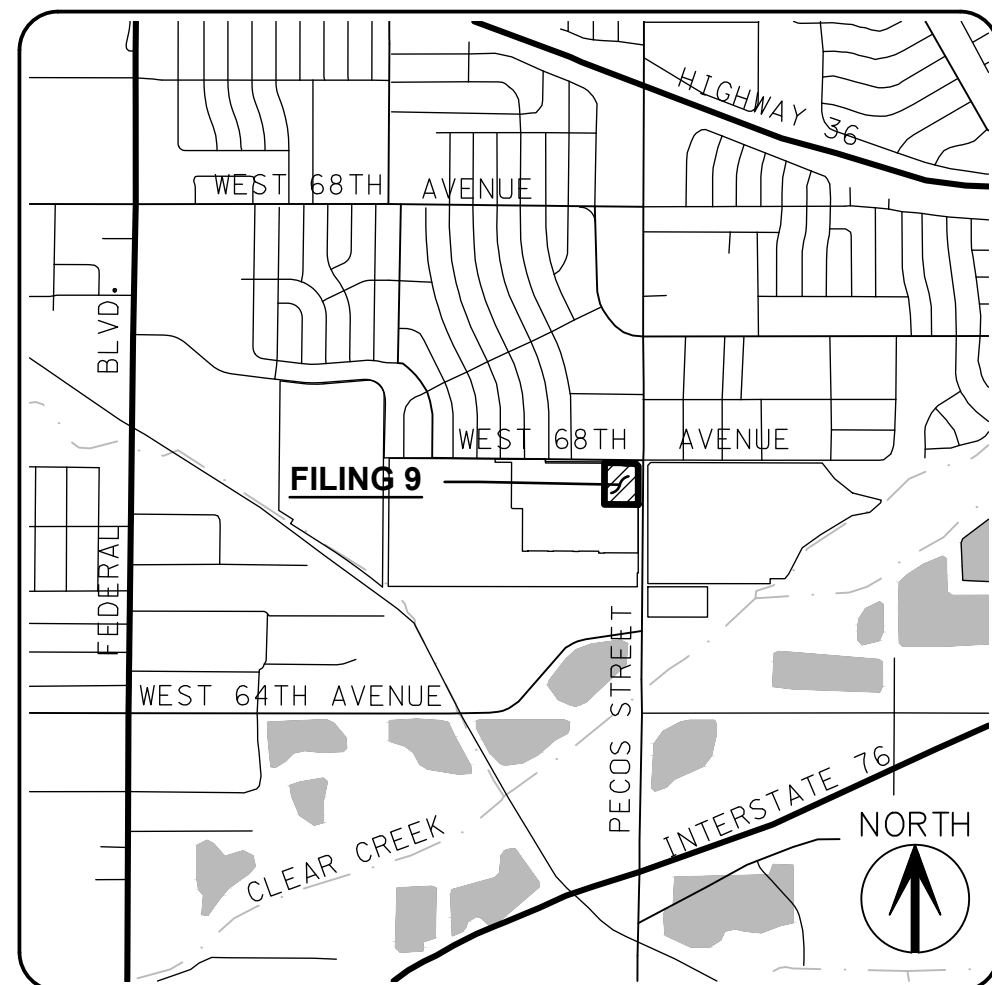
BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC



VICINITY MAP
NOT TO SCALE

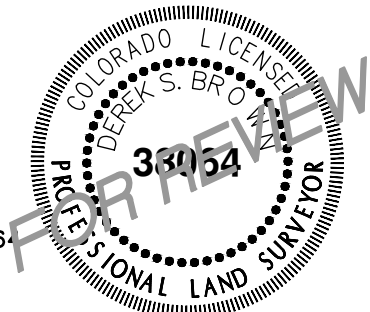
TRACT SUMMARY TABLE				
TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	552	0.013	LS/DRAINAGE/PA	CCSMD NO. 1
B	43,034	0.988	PRIVATE ALLEY/ACCESS/UTILITY	CCSMD NO. 1
C	1,759	0.040	PRIVATE ALLEY/ACCESS/UTILITY	CCSMD NO. 1
D	858	0.020	LS/DRAINAGE/PA	CCSMD NO. 1
E	20,812	0.478	LS/DRAINAGE/PA	CCSMD NO. 1
F	812	0.019	PRIVATE ALLEY/ACCESS/UTILITY	CCSMD NO. 1
G	813	0.019	PRIVATE ALLEY/ACCESS/UTILITY	CCSMD NO. 1
TOTAL TRACT AREA	68,640	1.576		
TOTAL LOT AREA	188,681	4.331		
TOTAL SITE AREA	257,321	5.907		

CCSMD NO. 1 - CLEAR CREEK STATION
METROPOLITAN DISTRICT NO. 1

LS/DRAINAGE/PA =
LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS

SURVEYOR'S CERTIFICATE

I, DEREK S. BROWN, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.



DEREK S. BROWN
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 3806
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVENUE, SUITE 1
LITTLETON, CO. 80122
(303) 713-1898

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____ A.D., 20__.

CHAIRPERSON _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____ A.D., 20__.

EVA J. HENRY, CHAIR _____

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT ____ M. ON THE ____ DAY OF _____, A.D., 20__.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

RECEPTION NO. _____

AZTEC CONSULTANTS, INC.
300 E. Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 54816-48

DATE OF PREPARATION:	2016-12-16
SCALE:	N/A
SHEET 1 OF 6	

MIDTOWN AT CLEAR CREEK—FILING NO. 9

CASE NO. PRC
2016-00018

PRELIMINARY / FINAL PLAT

A REPLAT OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK – FILING NO. 1 PLAT CORRECTION
LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 6

NOTES

- BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4 BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 23519", AND AT THE CENTER QUARTER CORNER OF SAID SECTION 4 BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 28664". SAID LINE BEARS NORTH 00°00'15" EAST, A DISTANCE OF 1324.85 FEET.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND OR WITHIN EASEMENTS OR AS DEFINED BY LICENSE AGREEMENTS PROVIDED FOR SAID STORM DRAINAGE FACILITIES, UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS THEIR SUCCESSORS OR ASSIGNS.
- ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
- AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION BINDER ORDER NUMBER ABC 70519416 PREPARED BY LAND TITLE GUARANTEE COMPANY DATED SEPTEMBER 18, 2017, FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- DRY UTILITY EASEMENTS AS SHOWN HERE ON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THESE UTILITY EASEMENTS ARE FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION CABLE AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS ARE HEREBY GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS AND ALLEYS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE INTERFERING OBJECTS AT NO COST TO GRANTEE, INCLUDING, WITHOUT LIMITATION, VEGETATION. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES. CLEAR CREEK METROPOLITAN DISTRICT NO. 1 WILL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE WITHIN THE 6' DRY UTILITY EASEMENTS.
- THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 (CCSMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY. MAINTENANCE OF ALL TREE LAWN AREAS WITHIN FILING 9 WILL BE MAINTAINED BY THE CCSMD. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS, COLLECTOR STREETS AND ARTERIAL STREETS (PECOS STREET). HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
- BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007 A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS ... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD".
- ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.
- A BLANKET EASEMENT HAS BEEN GRANTED ACROSS ALL OF TRACT B FOR ACCESS, UTILITY AND DRAINAGE PURPOSES. ALL SURFACE IMPROVEMENTS WITHIN TRACT B SHALL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1.
- WATER EASEMENTS WITHIN BLOCK 1, TRACT A AND TRACT E SHALL BE GRANTED FOR INSTALLATION, REPLACEMENT AND MAINTENANCE PURPOSES OF WATER SERVICES.
- A 25' UTILITY EASEMENT AND ACCESS EASEMENT FOR THE INSTALLATION, REPLACEMENT, MAINTENANCE AND PUBLIC ACCESS PURPOSES IS HEREBY GRANTED TO THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 AS SHOWN ON LOTS 12 THRU 21 AND LOTS 30 THRU 45 OF BLOCK 1, TRACT F AND TRACT G. STRUCTURES ARE NOT PERMITTED WITHIN THIS EASEMENT.
- ALL PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS ARE PRIVATELY OWNED AND MAINTAINED BY MIDTOWN LLC AND CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1.
- THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 2017000109135.

ADDRESS TABLE

BLOCK 1	
LOT	ADDRESS
1	1729 W 67TH CIRCLE
2	1725 W 67TH CIRCLE
3	1719 W 67TH CIRCLE
4	1713 W 67TH CIRCLE
5	1707 W 67TH CIRCLE
6	1701 W 67TH CIRCLE
7	1691 W 67TH CIRCLE
8	1681 W 67TH CIRCLE
9	1671 W 67TH CIRCLE
10	1665 W 67TH CIRCLE
11	1661 W 67TH CIRCLE
12	1651 W 67TH CIRCLE
13	1641 W 67TH CIRCLE
14	1631 W 67TH CIRCLE

BLOCK 1 CONT.	
LOT	ADDRESS
15	1611 W 67TH CIRCLE
16	1621 W 67TH CIRCLE
17	1620 W 67TH CIRCLE
18	1610 W 67TH CIRCLE
19	1630 W 67TH CIRCLE
20	1640 W 67TH CIRCLE
21	1650 W 67TH CIRCLE
22	1660 W 67TH CIRCLE
23	1670 W 67TH CIRCLE
24	1680 W 67TH CIRCLE
25	1690 W 67TH CIRCLE
26	1716 W 67TH CIRCLE
27	1712 W 67TH CIRCLE
28	1720 W 67TH CIRCLE


BLOCK 1 CONT.	
LOT	ADDRESS
29	1724 W 67TH CIRCLE
30	6756 RARITRAN DRIVE
31	6758 RARITRAN DRIVE
32	6760 RARITRAN DRIVE
33	6762 RARITRAN DRIVE
34	6764 RARITRAN DRIVE
35	6768 RARITRAN DRIVE
36	6770 RARITRAN DRIVE
37	6774 RARITRAN DRIVE
38	6769 QUIVAS WAY
39	6767 QUIVAS WAY
40	6765 QUIVAS WAY
41	6763 QUIVAS WAY
42	6761 QUIVAS WAY

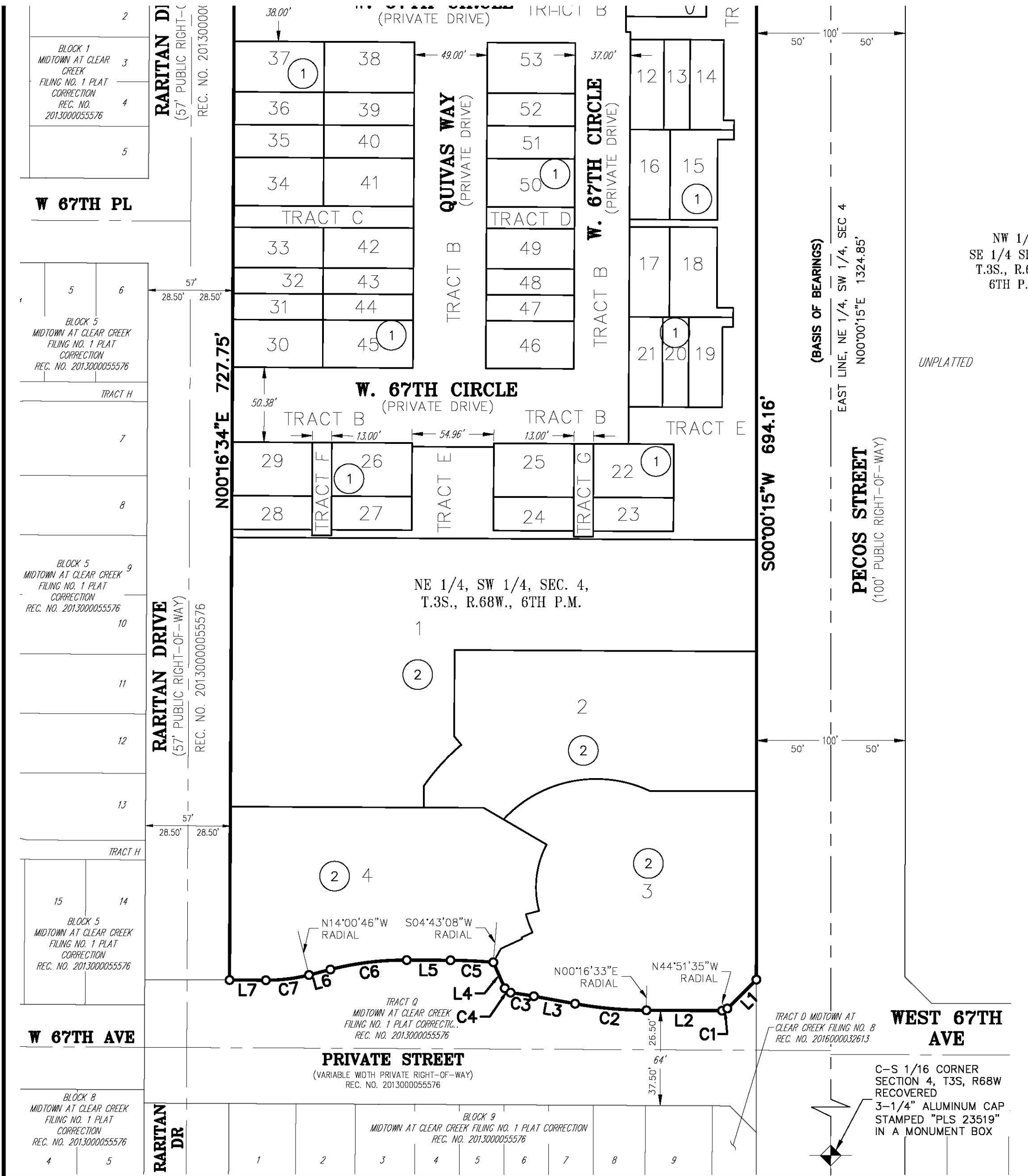
BLOCK 1 CONT.	
LOT	ADDRESS
43	6759 QUIVAS WAY
44	6757 QUIVAS WAY
45	6755 QUIVAS WAY
46	6770 QUIVAS WAY
47	6768 QUIVAS WAY
48	6766 QUIVAS WAY
49	6764 QUIVAS WAY
50	6762 QUIVAS WAY
51	6760 QUIVAS WAY
52	6758 QUIVAS WAY
53	6756 QUIVAS WAY

BLOCK 2	
LOT	ADDRESS
1	1675 W. 67TH AVENUE
2	1675 W. 67TH AVENUE
3	1625 W. 67TH AVENUE
4	1675 W. 67TH AVENUE

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

	300 E. Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	DATE OF PREPARATION: 2016-12-16 SCALE: N/A
	AzTec Proj. No.: 54816-48	SHEET 2 OF 6



NW 1/4
SE 1/4 SEC
T.3S., R.6E
6TH P.M

UNPLATTED

PECOS STREET
(100' PUBLIC RIGHT-OF-WAY)

WEST 67TH AVE

C-S 1/16 CORNER
SECTION 4, T3S, R68W
RECOVERED
3-1/4" ALUMINUM CAP
STAMPED "PLS 23519"
IN A MONUMENT BOX

MIDTOWN AT CLEAR CREEK—FILING NO. 9

CASE NO. PRC
2016-00018

PRELIMINARY / FINAL PLAT

A REPLAT OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK - FILING NO. 1 PLAT CORRECTION
LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 6

WEST 68TH AVENUE
(VARIABLE WIDTH RIGHT-OF-WAY)

LEGEND

- 1 ● RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC LS 38064"
- 2 ● RECOVERED NO. 5 REBAR WITH 1-1/2" ALUMINUM CAP STAMPING ILLEGIBLE
- U.E. UTILITY EASEMENT
- A.E. ACCESS EASEMENT
- W.E. WATER EASEMENT
- D.U.E. DRY UTILITY EASEMENT

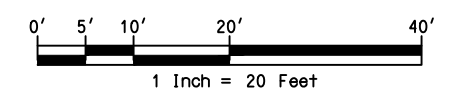
LINE TABLE		
LINE	BEARING	LENGTH
L8	N45°16'34"E	4.80'
L9	S82°38'38"E	48.68'
L10	S89°43'26"E	102.23'
L11	S44°51'35"E	41.11'
L12	N89°43'26"W	7.16'
L13	N00°16'34"E	13.02'
L14	S89°35'54"E	11.00'

NE 1/4, SW 1/4, SEC. 4,
T.3S., R.68W., 6TH P.M.

13' PUBLIC SIDEWALK &
LANDSCAPE EASEMENT
REC. NO. 2013000055576

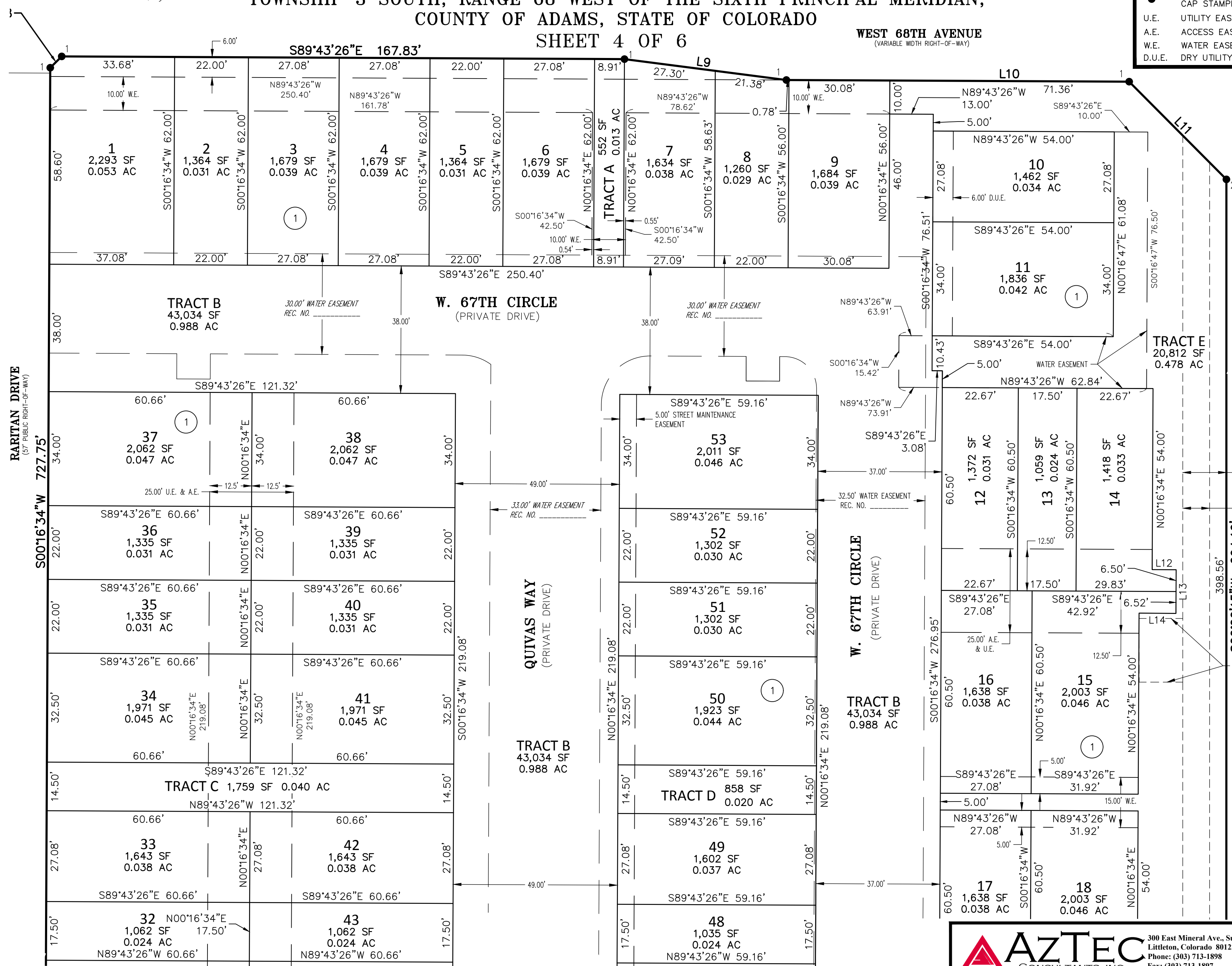
8' UTILITY EASEMENT
REC. NO. 2013000055576

13'x19' UTILITY EASEMENT
REC. NO. 2013000055576



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



SEE SHEET 5

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 54816-48

DATE OF PREPARATION:	2016-12-16
SCALE:	1"=20'
SHEET 4 OF 6	

MIDTOWN AT CLEAR CREEK—FILING NO. 9

CASE NO. PRC
2016-00018

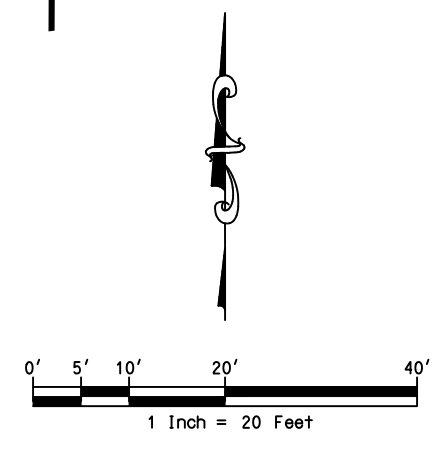
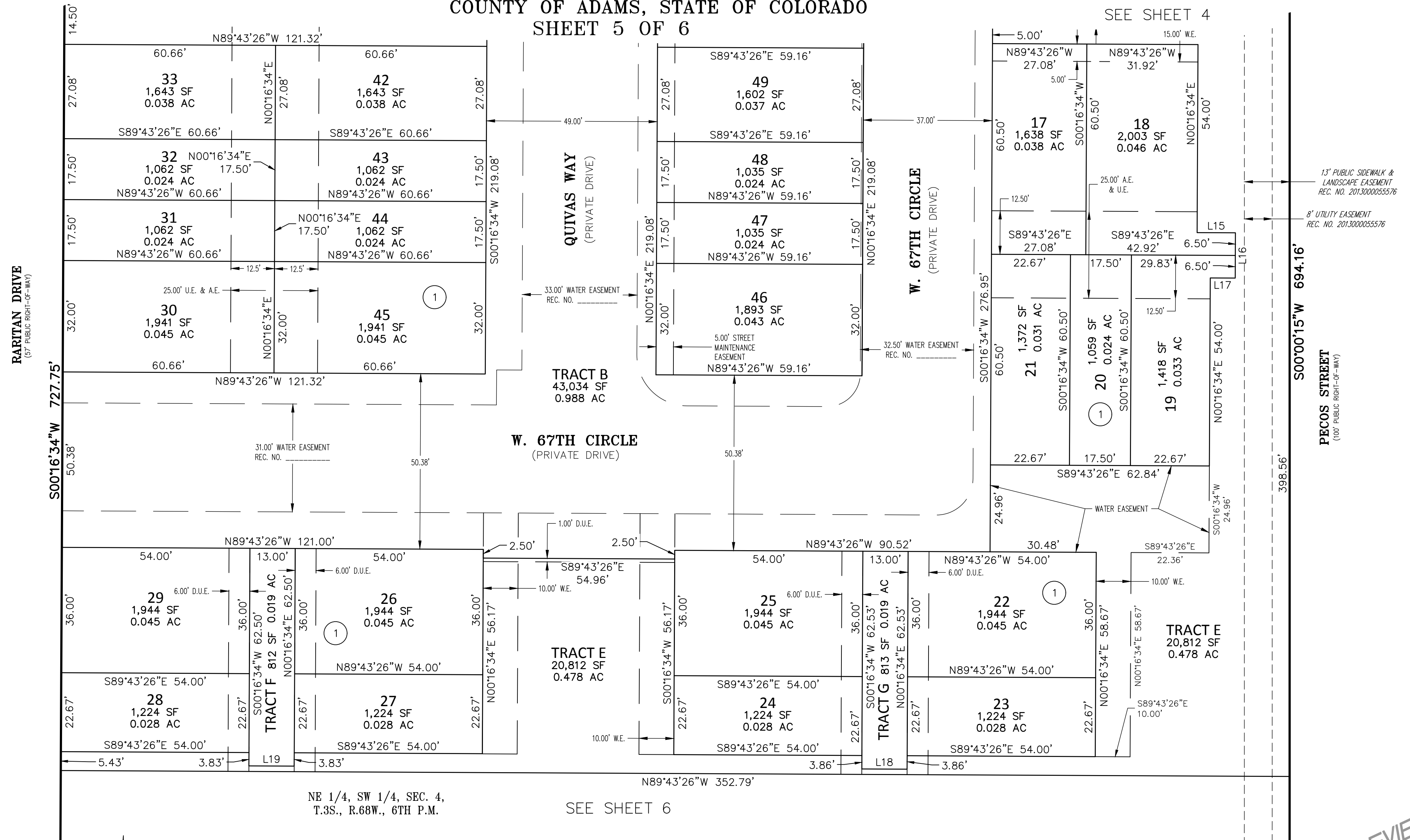
PRELIMINARY / FINAL PLAT

A REPLAT OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK - FILING NO. 1 PLAT CORRECTION
LOCATED IN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SEE SHEET 4

SHEET 5 OF 6

SEE SHEET 4



LEGEND

- U.E. UTILITY EASEMENT
- A.E. ACCESS EASEMENT
- W.E. WATER EASEMENT
- D.U.E. DRY UTILITY EASEMENT

LINE TABLE

LINE	BEARING	LENGTH
L15	N89°43'26"W	11.00'
L16	N00°16'34"E	13.00'
L17	S89°43'26"E	7.16'
L18	S89°43'26"E	13.00'
L19	S89°43'26"E	13.00'

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.: 54816-48

DATE OF PREPARATION:	2016-12-16
SCALE:	1"=20'
SHEET 5 OF 6	

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

BLOCK 5
MIDTOWN AT CLEAR CREEK
FILING NO. 1 PLAT
CORRECTION
REC. NO. 2013000055576

10

11

12

13

TRACT H

15

14

BLOCK 5
MIDTOWN AT CLEAR CREEK
FILING NO. 1 PLAT
CORRECTION
REC. NO. 2013000055576

RARITAN DRIVE
(57' PUBLIC RIGHT-OF-WAY)

REC. NO. 2013000055576

S00°16'34"W 727.75'

181.00'

116.59'

NE 1/4, SW 1/4, SEC. 4,
T.3S., R.68W., 6TH P.M.

1
41,874 SF
0.961 AC

(2)

N00°16'34"E
58.00'

N40°02'54"W
7.48'

N00°00'26"E
14.34'

$\Delta=15^{\circ}21'27''$
 $R=40.75'$
 $L=37.73'$

S40°02'54"E
RADIAL

130.00'

N89°43'26"W 170.34'

15.45'
N59°43'11"W
48.95' (NR)

4
21,390 SF
0.491 AC

(2)

$\Delta=10^{\circ}35'39''$
 $R=70.50'$
 $L=13.04'$

N75°30'27"E
9.17' (NR)

N24°46'59"W
1.00'

S04°43'08"W
RADIAL

N14°00'46"W
RADIAL

$\Delta=14^{\circ}40'25''$
 $R=202.50'$
 $L=51.86'$

L20

C10

N23°47'42"W
19.07'

C9

C8

N79°43'22"
21'

S75°36'43"W 14.85'
TRACT Q
M AT CLEAR CREEK
FILING NO. 1 PLAT CORRECTION
REC. NO. 2013000055576

N89°43'26"W
24.40'

$\Delta=14^{\circ}17'19''$
 $R=117.51'$
 $L=29.30'$

PRIVATE STREET

LINE TABLE		
LINE	BEARING	LENGTH
L20	N89°43'26"W	29.43'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C8	2°48'15"	323.50'	15.83'
C9	58°43'59"	5.00'	5.13'
C10	4°03'40"	406.81'	28.84'

LEGEND

○ SET NO. 5 REBAR WITH 1-1/4" STAMPED "AZTEC LS 38064"

(NR) NON-RADIAL

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK FILING 9**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner or contract purchaser of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within the "construction completion date," which is December 31, 2019. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$96,054.63, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described as "Phase One" in Exhibit "B" have been preliminarily accepted by the Department of Public Works. No certificates of occupancy shall be issued until the improvements described as "Phase Two" in Exhibit "B" have been preliminarily accepted by the Department of Public Works.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated “public” on Exhibit “B” shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.
7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit “A” attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. Improvements.

Public Improvements:

Raritan Drive and County of Adams storm sewer. See Exhibit “B” for description, estimated quantities and estimated construction costs.

Private Improvements:

All other improvements set forth on Exhibit “B” not indicated as “public improvements” above.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and not later than the “construction completion date,” which is December 31, 2019.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement and the final plat for the development known as Midtown at Clear Creek Filing No. 9 by the Board of County Commissioners, the Developer hereby agrees to convey by final plat or special warranty deed to the County of Adams the following described land for right-of-way purposes:

Raritan Drive.

9. **Superseding Effect.** This Agreement supersedes and replaces in its entirety that certain Subdivision Improvements Agreement for Midtown at Clear Creek Filing 9 between the Developer and the County approved by resolution of the Board of County Commissioners at the meeting of October 24, 2017, recorded at Reception No. 2017000101397, and such agreement is hereby terminated and of no further force or effect.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____

By: _____

Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____,
20__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK FILING NO. 9

LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK - FILING NO. 1, IN THE COUNTY OF ADAMS, STATE OF COLORADO, PER FINAL PLAT RECORDED AT RECEPTION NO. 2012000060632 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID COUNTY, SITUATED IN THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE.

EXHIBIT "B"

Midtown Filing 9 (Raritan Drive)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.16

Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
24" RCP (0-8' depth)		25	LF	\$106.63	\$2,665.75
6' Dia. Manhole		1	EA	\$8,218.80	\$8,218.80
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$13,884.55
Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
8' Concrete Crossspan (Pavement)	412-00800	57	SY	\$80.00	\$4,551.11
Directional Handicap Ramp	608-00010	4	EA	\$1,750.00	\$7,000.00
Mid-Block Ramp	608-00010	1	EA	\$3,500.00	\$3,500.00
Paving					
Adjust Manhole to Grade	210-04010	3	EA	\$825.65	\$2,476.95
Adjust Valves to Grade	210-04050	6	EA	\$416.37	\$2,498.22
Street Subtotal					\$20,026.28
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove 42" RCP	202-00035	10	LF	\$42.00	\$420.00
Asphalt Milling / Resurfacing	202-00250	755	SY	\$7.50	\$5,662.50
Remove Curb and Gutter	202-00037	112	LF	\$12.00	\$1,344.00
Remove and Replace Curb and Gutter	202-00203	200	LF	\$30.97	\$6,194.00
Remove and Replace Asphalt (6" Section)	202-00220	108	SY	\$42.00	\$4,554.67
Remove and Replace Concrete Walk (6" T	202-00200	235	SY	\$58.50	\$13,747.50
Demolition Subtotal					\$31,922.67
Raritan Dr. - Phase One Improvements Total					\$65,833.50

Midtown Filing 9 (Summary)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.16

		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Storm Sewer					
24" RCP (0-8' depth)	603-01240	25	LF	\$106.63	\$2,665.75
6' Dia. Manhole	604-30015	1	EA	\$8,218.80	\$8,218.80
Connect to Existing	0	1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$13,884.55

		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Street Improvements					
Concrete					
8' Concrete Crosspan (Pavement)	412-00800	57	SY	\$80.00	\$4,551.11
Mid-Block Ramp	608-00010	1	EA	\$3,500.00	\$3,500.00
Directional Handicap Ramp	608-00010	4	EA	\$1,750.00	\$7,000.00
Paving					
Adjust Manhole to Grade	210-04010	3	EA	\$825.65	\$2,476.95
Adjust Valves to Grade	210-04050	6	EA	\$416.37	\$2,498.22
Street Subtotal					\$20,026.28

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Demolition					
Remove 42" RCP	202-00035	10	LF	\$42.00	\$420.00
Asphalt Milling / Resurfacing	202-00250	755	SY	\$7.50	\$5,662.50
Remove Curb and Gutter	202-00037	112	LF	\$12.00	\$1,344.00
Remove and Replace Curb and Gutter	202-00203	200	LF	\$30.97	\$6,194.00
Remove and Replace Asphalt (6" Section)	202-00220	108	SY	\$42.00	\$4,554.67
Remove and Replace Concrete Walk (6" Thick)	202-00200	235	SY	\$58.50	\$13,747.50
Demolition Subtotal					\$31,922.67

Summary - Phase One Improvements Subtotal	\$65,833.50
Additional 20% Administration	\$13,166.70
5% Inflation per Year	\$3,950.01
5% Inflation per Year Two	\$4,147.51
Phase One Improvements Total	\$87,097.72

Midtown Filing 9 (Raritan Drive)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.16

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	165	SY	\$2.11	\$348.15
5' Concrete Walk (6" Thick)	608-00006	1,235	SF	\$5.20	\$6,422.00
				Street Subtotal	\$6,770.15
				Raritan Dr. - Phase Two Improvements Total	\$6,770.15

Midtown Filing 9 (Summary)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.16

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	165	SY	\$2.11	\$348.15
5' Concrete Walk (6" Thick)	608-00006	1,235	SF	\$5.20	\$6,422.00
				Street Subtotal	\$6,770.15
				Summary - Phase Two Improvements Subtotal	\$6,770.15
				Additional 20% Administration	\$1,354.03
				5% Inflation per Year	\$406.21
				5% Inflation per Year Two	\$426.52
				Phase Two Improvements Total	\$8,956.91

Midtown Filing 9 (Summary)

Phase One & Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.16

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Storm Sewer					
24" RCP (0-8' depth)	603-01240	25	LF	\$106.63	\$2,665.75
6' Dia. Manhole	604-30015	1	EA	\$8,218.80	\$8,218.80
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
				Storm Sewer Subtotal	\$13,884.55
Street Improvements					
Concrete					
8' Concrete Crosspan (Pavement)	412-00800	57	SY	\$80.00	\$4,551.11
Subgrade Prep - Concrete Walk	306-01000	165	SY	\$2.11	\$348.15
5' Concrete Walk (6" Thick)	608-00006	1,235	SF	\$5.20	\$6,422.00
Directional Handicap Ramp	608-00010	4	EA	\$1,750.00	\$7,000.00
Mid-Block Ramp	608-00010	1	EA	\$3,500.00	\$3,500.00
Paving					
Adjust Manhole to Grade	210-04010	3	EA	\$825.65	\$2,476.95
Adjust Valves to Grade	210-04050	6	EA	\$416.37	\$2,498.22
				Street Subtotal	\$26,796.43
Demolition					
Remove 42" RCP	202-00035	10	LF	\$42.00	\$420.00
Asphalt Milling / Resurfacing	202-00250	755	SY	\$7.50	\$5,662.50
Remove Curb and Gutter	202-00037	112	LF	\$12.00	\$1,344.00
Remove and Replace Curb and Gutter	202-00203	200	LF	\$30.97	\$6,194.00
Remove and Replace Asphalt (6" Section)	202-00220	108	SY	\$42.00	\$4,554.67
Remove and Replace Concrete Walk (6" Thick)	202-00200	235	SY	\$58.50	\$13,747.50
				Demolition Subtotal	\$31,922.67
				Summary - Subtotal	\$72,603.65
				Additional 20% Administration	\$14,520.73
				5% Inflation per Year	\$4,356.22
				5% Inflation per Year Two	\$4,574.03
				Total	\$96,054.63

Exhibit 3.7

FUTURE
PHASE
AREA

NAVAJO STREET

W. 67TH PLACE

W. 67TH PLACE

FUTURE
PHASE
AREA



EXISTING
FILING
SEVEN

W. 67TH AVENUE

EXISTING
FILING
FIVE

MIDTOWN FILING TEN CONCEPTUAL SITE PLAN

LEGEND

QTY.	I.D.	UNIT TYPE
39		SINGLE FAMILY DETACHED TEA LIGHT HOME
		LIMIT OF WORK IN THIS FDP

midtown

FILING 10 CONCEPTUAL SITE PLAN

NOVEMBER 2016



0 20' 40' 60'

SCALE: 1" = 20'

AT A 24" X 36" SHEET SIZE

PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.
FUTURE PHASE AREAS ARE CONCEPTUAL AND WILL BE
FINALIZED DURING THE FDP AND FINAL PLAT PROCESS.

DEVELOPER:

Brookfield
Residential

PLANNER/LANDSCAPE ARCHITECT: CIVIL ENGINEER:

NORRIS DESIGN
Planning | Landscape Architecture | Project Promotion

REDLAND
Where Great Places Begin
750-283-6783 Office
1600 West Canal Court
Littleton, Colorado 80120
REDLAND.COM

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO

C 000 N 00 00r: PRC2016-00017

Sheet Title

COVER
SHEET

Sheet Number
1 OF 15

Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451



1101 Bannock Street
Denver, CO 80204
P-303.892.1166
www.norrisdesign.com

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN FILING TEN

LAND OWNERS	APPLICANT	PREPARERS	PREPARERS
Midtown, LLC. 6465 S. Greenwood Plaza Blvd. Suite 700 Centennial, CO 80111 Contact: Chris Petro 303-706-9451	Midtown, LLC. 6465 S. Greenwood Plaza Blvd. Suite 700 Centennial, CO 80111 Contact: Chris Petro 303-706-9451	ENGINEER: Redland 1500 West Canal Court, Littleton, CO 80120 Contact: Mike Pietschmann 720-283-6783	PLANNER: Norris Design 1101 Bannock Street Denver, CO 80204 Contact: Eva Mather 303-892-1166

CERTIFICATE OF OWNERSHIP

Midtown, LLC, being the owner of Midtown at Clear Creek, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20_____.

Notary Public _____

My commission expires: _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of Commissioners this _____ day of _____ 20_____.

Chair _____

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20_____.

County Clerk and Recorder _____

By Deputy: _____

The Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado on the day of _____ 20_____ File No. _____, Map No. _____, Reception No. _____.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

STAFF REVIEW

Approved as to form by:

Director of Community and Economic Development _____

County Attorney _____

LEGAL DESCRIPTION

A PART OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE CENTER-SOUTH CORNER OF SAID SECTION 4 BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1,324.85 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THENCE SOUTH 67°17'53" EAST, A DISTANCE OF 677.99 FEET TO THE WESTERLY BOUNDARY OF MIDTOWN AT CLEAR CREEK - FILING NO.7 PLAT AS RECORDED UNDER RECEPTION NO. 2016000009355 IN SAID COUNTY RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°16'34" WEST, A DISTANCE OF 512.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS SHOWN ON AND DEDICATED BY MIDTOWN AT CLEAR CREEK - FILING NO. 5 PLAT AS RECORDED UNDER RECEPTION NO. 2014000091485 IN SAID COUNTY RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 290.07 FEET;
2. SOUTH 84°33'46" WEST, A DISTANCE OF 68.27 FEET;

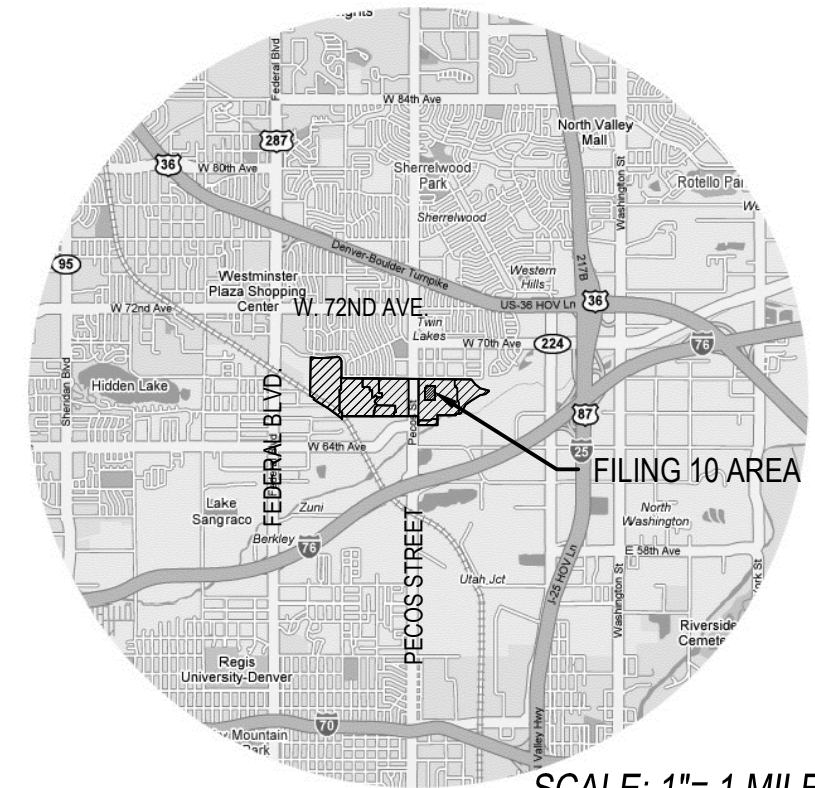
THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°16'34" EAST, A DISTANCE OF 370.30 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;

THENCE TANGENT TO SAID CURVE, SOUTH 89°43'26" EAST, A DISTANCE OF 209.50 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 4.105 ACRES, (178,794 SQUARE FEET), MORE OR LESS.

VICINITY MAP



SHEET INDEX-FDP

- SHEET 1: COVER SHEET
- SHEET 2: WRITTEN NARRATIVE
- SHEET 3: WRITTEN NARRATIVE
- SHEET 4: SITE PLAN
- SHEET 5: LANDSCAPE SITE PLAN
- SHEET 6: LANDSCAPE SITE PLAN
- SHEET 7: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 8: LANDSCAPE INSTALLATION AND MAINTENANCE
- SHEET 9: LANDSCAPE TYPICALS
- SHEET 10: LANDSCAPE TREE LAWNS
- SHEET 11: LANDSCAPE PLANT LIST
- SHEET 12: ARCHITECTURAL STANDARDS
- SHEET 13: ARCHITECTURAL STANDARDS
- SHEET 14: DETAILS
- SHEET 15: DETAILS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
 ADAMS COUNTY, COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

File Number: _____

Map Number: _____

Reception Number: _____

NOT FOR
CONSTRUCTION

NARRATIVE

A. Explanation of the Characteristics of the PUD

The Filing Ten Final Development Plan (FDP) area at Midtown at Clear Creek is comprised of approximately 4.105 acres, consisting of 39 single family residential homes. The intent of the Filing Ten FDP is to entitle 39 single-family detached residential homes.

The open space improvements in this FDP include streetscapes and a pocket park that facilitate passive uses and gathering space.

This FDP is located on the east side of Pecos Street, north of West 67th Avenue, south of West 67th Place and generally west of Filing Seven. Primary access to this FDP area is on West 67th Avenue, W. 67th Place, and Navajo Street. The Filing Ten FDP area is an extension of the established block structure, vehicular circulation and landscape treatment approved and constructed in Phase One, Filing Two, Filing Three, Filing Four, Filing Five, Filing Seven, Filing Eight, and proposed Filing Six and Filing Nine.

B. Potential Impact or Proposed Mitigation on the Surrounding Area

This FDP is generally consistent with the approved Second Amendment to the Preliminary Development Plan. The complete Midtown at Clear Creek PUD is comprised of approximately 181.8 acres. Incorporated into the overall community vision is a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks and trails which includes a dedicated open space area. As future transit / rail opportunities are implemented by RTD and the Fast Tracks programs, the community will have even more convenient access to major transportation corridors in the Denver Metro Area.

C. Contemplated Intensity and Density of Land Use

39 single family detached lots are proposed in the Filing Ten FDP and the corresponding Final Plat. The proposed density and land coverage is consistent with the Second Amendment to the Preliminary Development Plan for the Midtown at Clear Creek PUD.

Per the approved PDP for Midtown at Clear Creek, the overall number of allowable residential units is 1,608, with a gross density of approximately 8.7 dwelling units per acre. This maximum overall residential unit count may also include the commercial/mixed-use area (if it is not developed with retail uses).

Based on planned build-out, the Midtown community will provide open space areas consistent with this type of urban infill development and meets or exceeds the Adams County standards for open space requirements.

D. Number, Type, and Size of Buildings and/or Units

39 single family residential lots are proposed in the Filing Ten FDP and the corresponding Final Plat. One rear-loaded home type is proposed in the Filing Ten FDP, refer to Sheet 12 for the lot typical and refer to Sheet 13 for the setback and building height restriction standards. The homes in the Filing Ten FDP are based on the home type fully described in the Second Amendment to the Preliminary Development Plan. The following description is the home type proposed in the Filing Ten FDP:

Single Family Detached Tea Light Home

Consists of homes designed for young families or first-time buyers and are on lots with detached, rear alley-loaded garages or automobile courtyards. Sizes of residences will vary in width and depth. Refer to Detail A on Architectural Standards Sheet 12. Refer to Sheet 13 for the setback and building height restriction standards as established in the approved Second Amendment to the Preliminary Development Plan.

E. Provisions for Parking

The parking plan shall accommodate a minimum of 2.5 parking spaces per dwelling unit overall. Overall quantity of parking spaces in this FDP exceed this minimum parking requirement. On-street parking is permitted on all local streets in this FDP. The internal local street system is designed to work in concert with the private alleys. Alleys will be used to access garages and parking for most of the homes in the community. 13-foot wide alleys are for passenger vehicles and garbage truck access only, and allow for alley-accessed garages. 24-foot wide fire access alleys are for passenger vehicles, garbage truck access, and fire access only and allow for alley-accessed garages. Parallel parking is not permitted on dead end alleys. Refer to Architectural Standards on sheets 12 and 13. The parking summary is located on Sheet 4.

Each rear-loaded home will provide a minimum of two (2) off-street parking spaces. Rear-loaded homes on a 13' alley are permitted one (1) additional parallel parking space between the garage and paved alley surface on a driveway pad, when lot width permits. Parallel parking is not allowed between the garage and paved alley in fire access alleys.

F. Circulation and Road Patterns

To help ensure a pedestrian-friendly environment, the planned circulation patterns allow for distribution and disbursement of internal traffic through the development. The vehicular road pattern for the Midtown community will integrate the existing and proposed roadway systems. A signalized intersection at West 67th Avenue (when warrants are met) is planned to move motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue. All streets meet the standards included in Second Amendment to the Preliminary Development Plan.

G. Ownership and Maintenance of Common Areas

All common areas will be maintained by the Clear Creek Station Metropolitan District No. 1 ("CCSMD"). CCSMD is responsible for the enforcement of landscape maintenance requirements. Through the CCSMD, a DRC (Design Review Committee) will review private open space design for compatibility. Private lot owners shall be responsible for the maintenance of their property as well as adjacent tree lawn area(s). The County, its successor or assigns shall be responsible for maintaining all local streets, collector streets, and arterial streets (Pecos Street) after dedication, construction, and acceptance has been granted. Homeowner of land abutting a constructed public right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting his property including snow removal for pedestrian access. Alleys shall be privately maintained by CCSMD. Dog stations will be maintained by CCSMD.

H. Type, Location, Examples of Copy and Construction of Signs

Entry Monuments at Midtown are located at key intersections and crossings. This FDP does not include any new entry monumentation. An existing entry monument is located on the northeast corner of W. 67th Avenue and Pecos Street. The existing monumentation can be referenced in the Filing 5 Amendment No. 2 FDP.

I. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown at Clear Creek is to create a mixed use infill community that includes a variety of home types. This FDP area includes single family detached homes. In keeping with the Traditional Neighborhood Development concept, the Filing Ten FDP area layout has a grid form and includes a rear-loaded product type. This FDP also includes open space tracts and landscaped tree lawns.

J. Location and Types of Landscaping and Maintenance Provisions

The approved Midtown at Clear Creek PUD includes a variety of parks and open spaces strategically located throughout the community. This FDP includes streetscape landscape, a pocket park, and various landscape tracts. Landscape Tracts shall be maintained by the CCSMD. Tree lawns adjacent to private lots will be installed by homeowner or builder and maintained by the homeowner.

K. Description of Building Envelopes Including Square Footage and/or Number of Units, Minimum Building Setback(s), Height, and General External Characteristics

Building setbacks are based on development standards included in the Second Amendment to the Preliminary Development Plan. Sheets 12-13 of this FDP further describes lot and building standards.

Typical lot sizes range between 2,100 sf to 2,900 sf. These are anticipated ranges and actual lots may be constructed that fall slightly outside of this estimated range to respond to final design of homes.

Architectural design allows for incorporation of a variety of architectural styles from contemporary to more regional styles such as craftsman or prairie. Please refer to Sheets 12 and 13 in this FDP, the architectural standard sheets included in the approved Second Amendment to the Preliminary Development Plan, and the Design Guidelines for additional information. All community development on the property should comply with these standards when they are adopted by the Design Review Committee.

L. Covenants to be Imposed on the PUD

Architectural and landscape design guidelines have been developed for Midtown. All builders and homeowners will be required to go through the DRC. The County shall not approve a building permit until DRC approval is obtained. Development standards for setbacks, unit / lot configurations, and other controlling provisions have been included in the approved Second Amendment to the Preliminary Development Plan and this FDP.

M. Additional Controls such as an Architectural Control Committee of a Property Owner's Association

The community will have a Metropolitan District that will create a Design Review Committee (DRC) that will enforce design standards through Declaration of Easements and Master Architectural and Maintenance Standards for Midtown. All architectural styles of proposed buildings shall require approval by the Design Review Committee overseen by the CCSMD and shall be consistent with the design guidelines for this community, subject to planning director approval for overall architectural intent.

N. Utilization and Location of any Outdoor Signage

All proposed marketing / temporary signage will be submitted for approval and meet County signage standards and ordinances.

O. Utility Services

North Pecos Water and Sanitation District have indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Filing Ten Subdivision Final Plat.

P. Estimated Time Table for Development

The estimated length of time for build-out of the Filing Ten FDP area of Midtown is two (2) year, beginning Fall 2017. Full build-out for the Midtown neighborhoods is approximately five (5) to fifteen (15) years.

Q. Any other Pertinent Factors Concerning the Development

Southwest Adams County Fire District will service Midtown property east of Pecos Street, including the Filing Ten FDP area.

Sheet Title

WRITTEN
NARRATIVE

Sheet Number
2 OF 15

Brookfield
Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451



11811 Shennock Street
Denver, CO 80204
P 303.892.1188

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

NOT FOR
CONSTRUCTION

NARRATIVE

R. Definitions

Alley Loaded / Rear Loaded Garage: A garage with the vehicular door access located onto an alley located at the rear (or sometimes side) of the lot.

S. Side Yard Use Easements

Side Yard Use Easements are hereby granted along all common side lot lines within all detached home lots.

Side Yard Use Easements:

Side Yard Use Easements occur from front property line to rear property line and extend from the Grantor's building foundation to the lot line between the Grantor's and Grantee's parcels that shall be granted to the easement Grantee per the restrictions outlined below. Refer to detail on this sheet for a graphic representation of the Side Yard Use Easement.

The following restrictions apply to the Side Yard Use Easements:

a. Easement Grantee shall have full access and enjoyment of the easement including construction of improvements, use, and maintenance of the space included in the easement. Fences and walls used as privacy screens may not encroach into the front and rear setback. Improvements including but not limited to decks, patios, landscaping, walls, fences, rails, furniture and similar elements are permitted within the defined side yard use easement. Decks, patios and walls, other than privacy screens, in excess of 30-inches in height (as measured from finished grade) are not permitted in side yard use easements. Only landscaping, hardscape, and irrigation improvements are permitted within front and rear setbacks. Side Yard Use Easement procedures and policies shall be managed by the Clear Creek Station CCSMD. No improvements may be implemented at the detriment of the Grantor's ability to maintain their home.

b. Side Yard Use Easements are permitted on detached single family lots only.

- c. All improvements by Grantee located within the Side Yard Use Easement shall be maintained by the easement Grantee.
- d. Easement Grantor is ensured of access within this easement for maintenance and repair of the principal structure located on the easement Grantor's lot and for no other purpose. The Design Review Committee of the Clear Creek Station CCSMD approves all plot plans before authorizing application to Adams County for issuance of building permit. For issue resolution the CCSMD is granted access into this easement.
- e. All principal structures, including garages, owned by easement Grantor shall be maintained by easement Grantor
- f. Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- g. Grantee shall not alter finished grade and/or drainage patterns on the Grantor's property without the written approval of the Design Review Committee. Any alterations made to the drainage patterns may also require approval and County permits from Adams County.

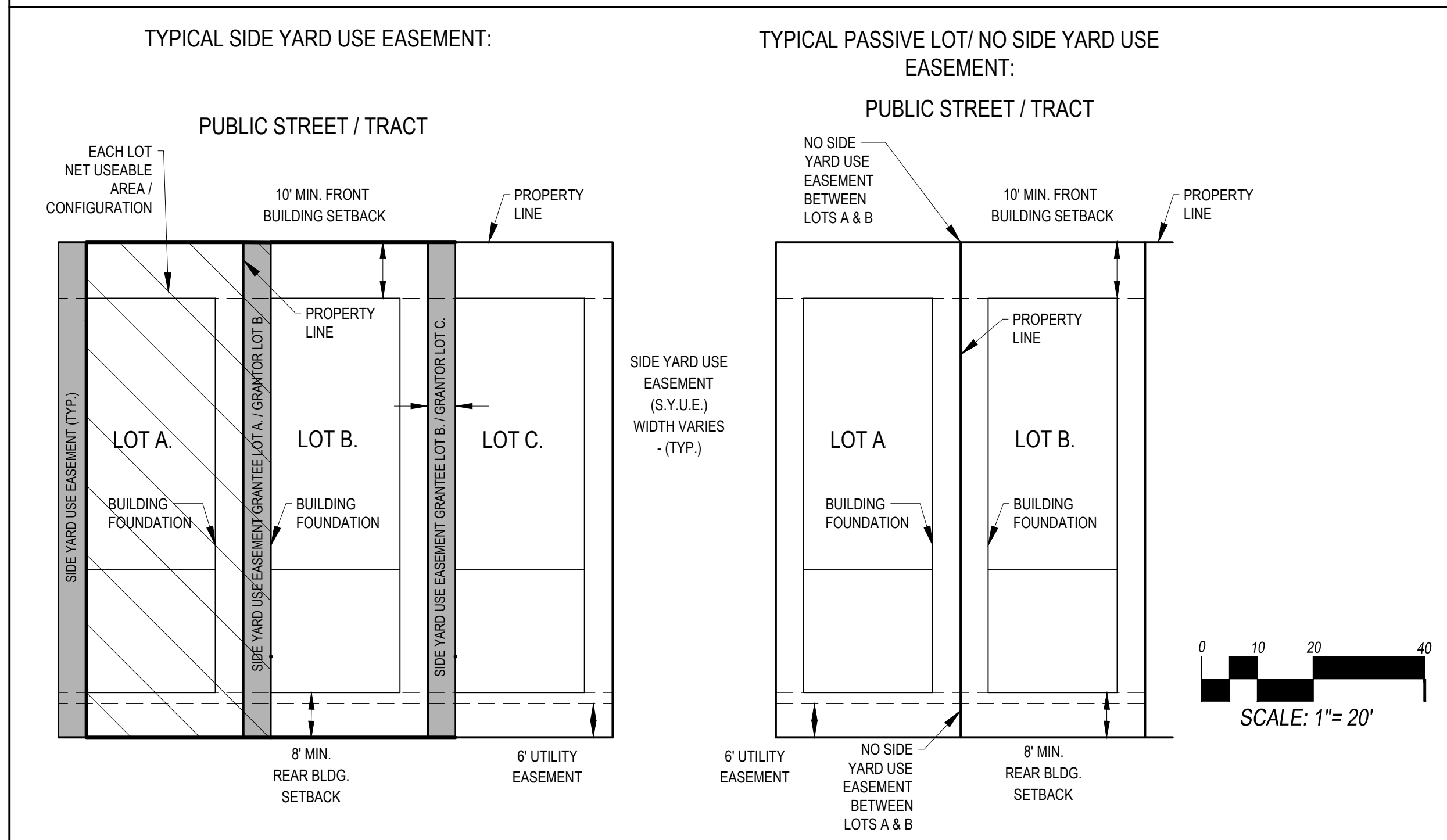
Definitions:

Easement Grantor: the lot owner granting side yard area to adjacent lot owner for use.
Easement Grantee: the lot owner gaining side yard area from adjacent lot owner for use.

T. Staging:

The residential lots in this FDP are planned to be constructed in one (1) stage.

FIGURE 1 - TYPICAL SIDE YARD USE EASEMENT LAYOUTS



MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN
 FILING TEN
 ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017
6 / 06 / 2017

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY, COLORADO

Issue Date

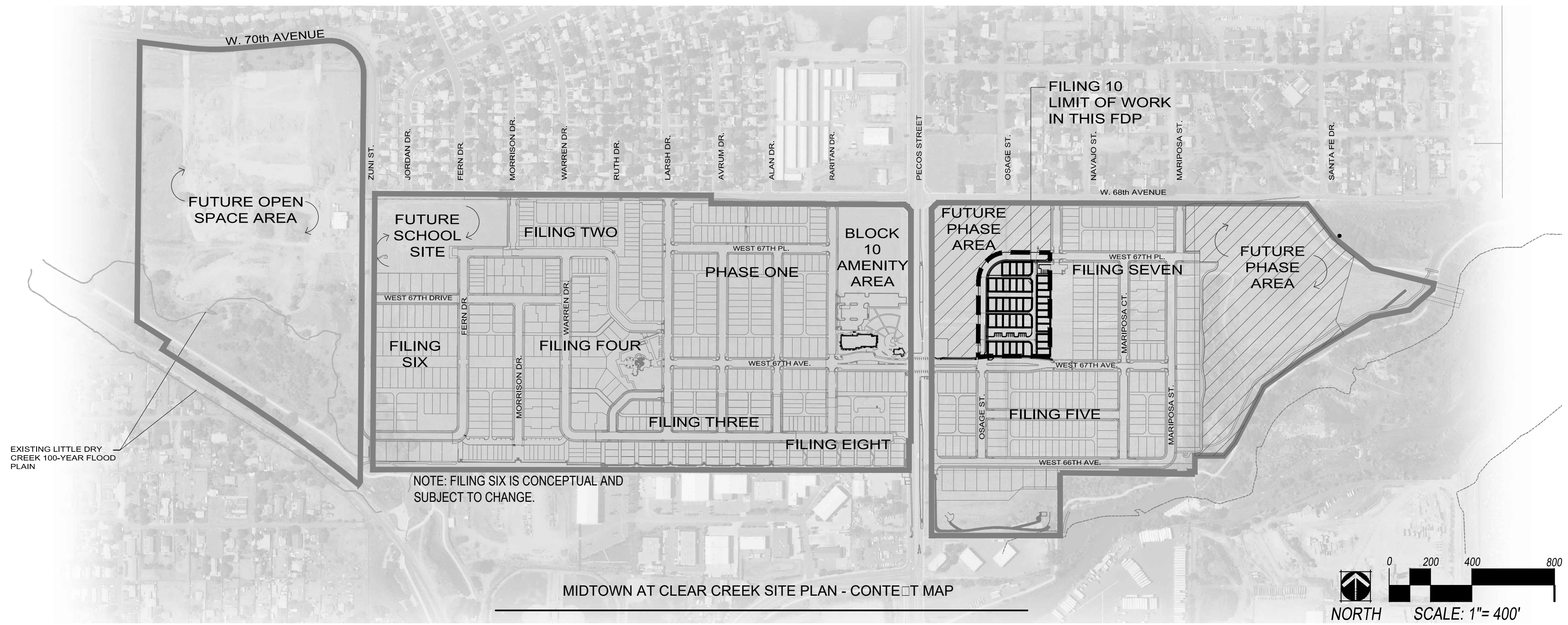
11 / 14 / 2016

Revision Date

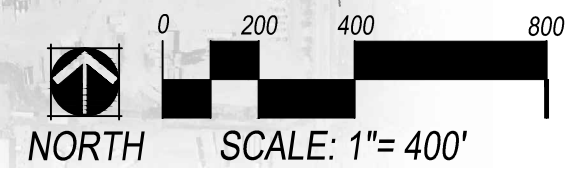
1 / 18 / 2017

6 / 06 / 2017

NOT FOR
CONSTRUCTION



MIDTOWN AT CLEAR CREEK SITE PLAN - CONTEXT MAP



LEGEND

- MIDTOWN PROPERTY BOUNDARY
- LIMIT OF WORK IN THIS FDP

DEVELOPMENT AREA

FILING 10 AREA	4.105 ACRES	
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES	1,608 MA ² UNITS

LOT SUMMARY

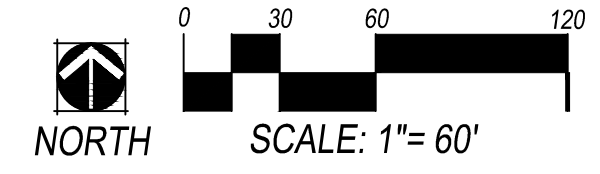
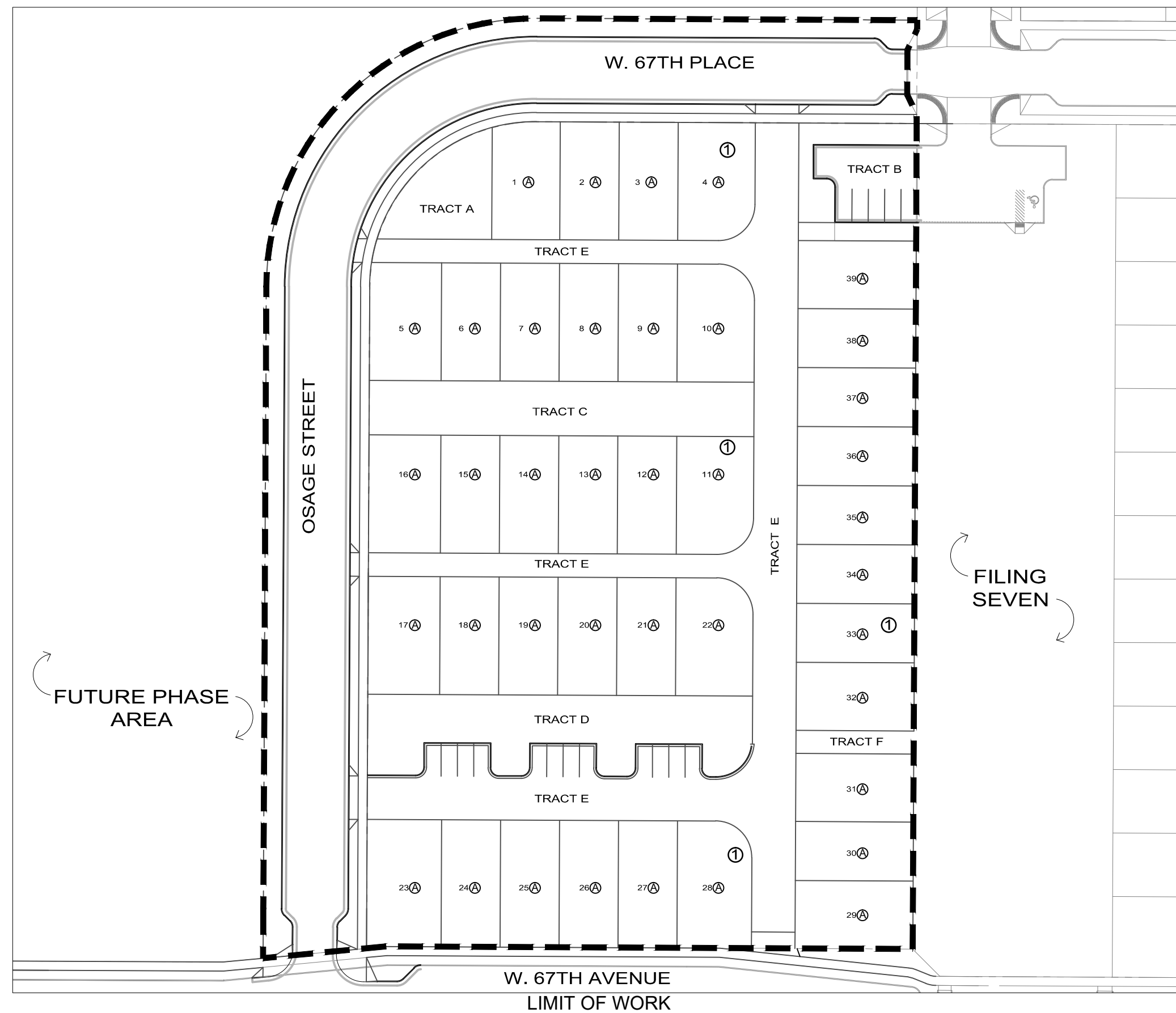
LOT TYPE	QUANTITY
(A) SINGLE FAMILY DETACHED TEA LIGHT HOME	39
TOTAL	39

NOTES:
1. HOUSING VARIETY AND SETBACK DIAGRAMS: REFER TO SHEETS 12-13 FOR LOT TYPE DETAILS.

PARKING COUNT

DESCRIPTION	LOTS & BLOCKS	QUANTITY
13' ALLEY - TEA LIGHT HOMES - FRONTING ON ROW	LOTS 1-4, BLOCK 1 (4 DWELLING UNITS)	12 SPACES (3 SPACES PER UNIT)
13' ALLEY - TEA LIGHT HOMES - FRONTING ON LANDSCAPE TRACT	LOTS 5-22, BLOCK 1 (18 DWELLING UNITS)	54 SPACES (3 SPACES PER UNIT)
24' ALLEY - TEA LIGHT HOMES - FRONTING ON ROW	LOTS 23-28, BLOCK 1 (6 DWELLING UNITS)	12 SPACES (2 SPACES PER UNIT)
24' ALLEY - TEA LIGHT HOMES - FRONTING ON LANDSCAPE TRACT	LOTS 29-39, BLOCK 1 (11 DWELLING UNITS)	22 SPACES (2 SPACES PER UNIT)
TRACT E PARKING SPACES		12 SPACES
TRACT B PARKING SPACES		5 SPACES
TOTAL PARKING COUNTS		117 SPACES
SPACES / UNIT		3.00

NOTES:
1. ON STREET SPACES ON W. 67TH PLACE AND OSAGE STREET HAVE NOT BEEN COUNTED IN THIS FILING AND WILL BE INCLUDED IN THE PARKING ANALYSIS FOR ADJACENT FUTURE PHASE AREA.



KEY



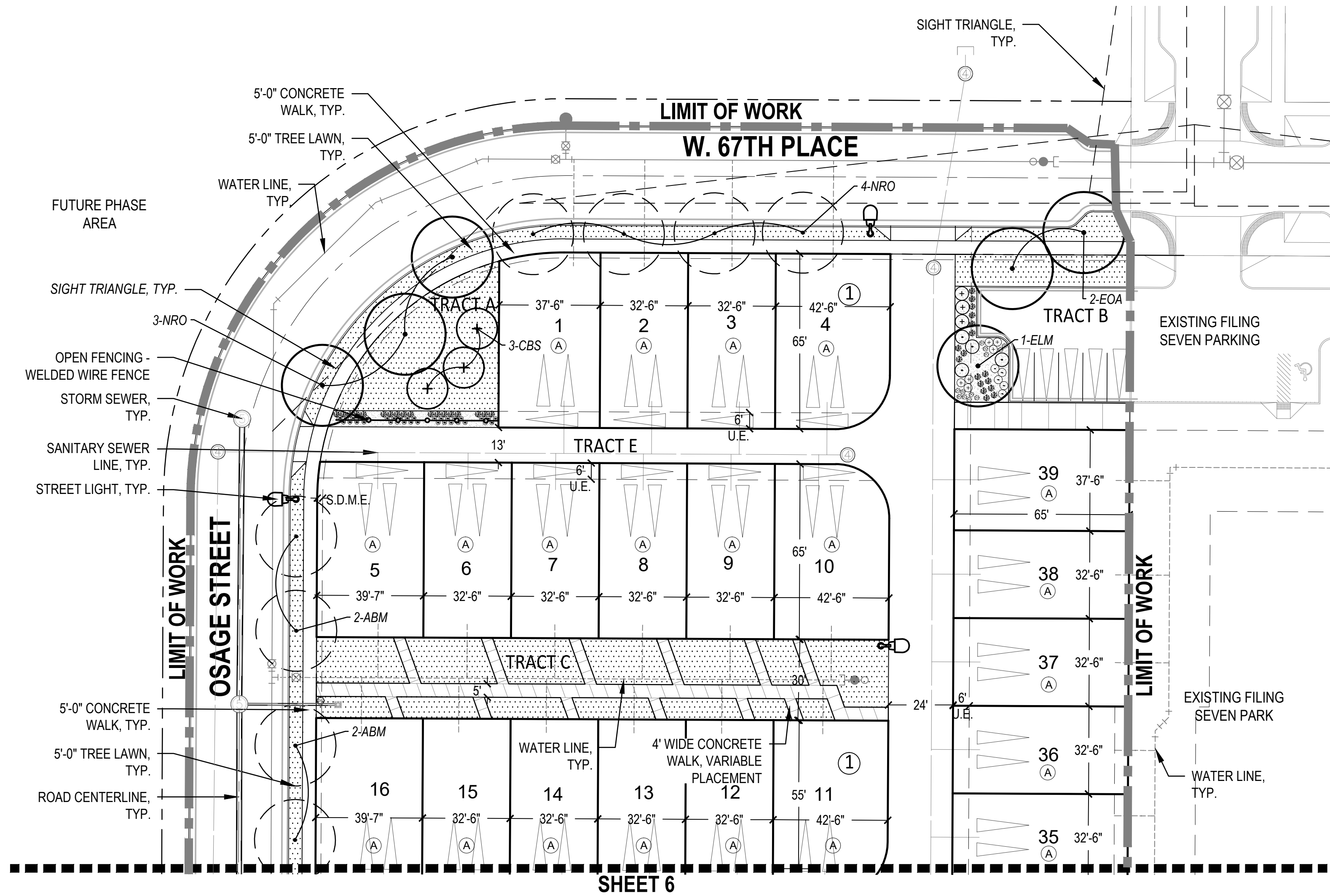
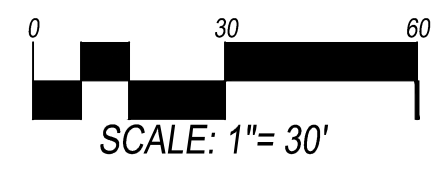
LEGEND

	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER / HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	UPRIGHT EVERGREENS
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	ROCK MULCH

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEETS 11 FOR LANDSCAPE PLANT LIST.

NOTES:

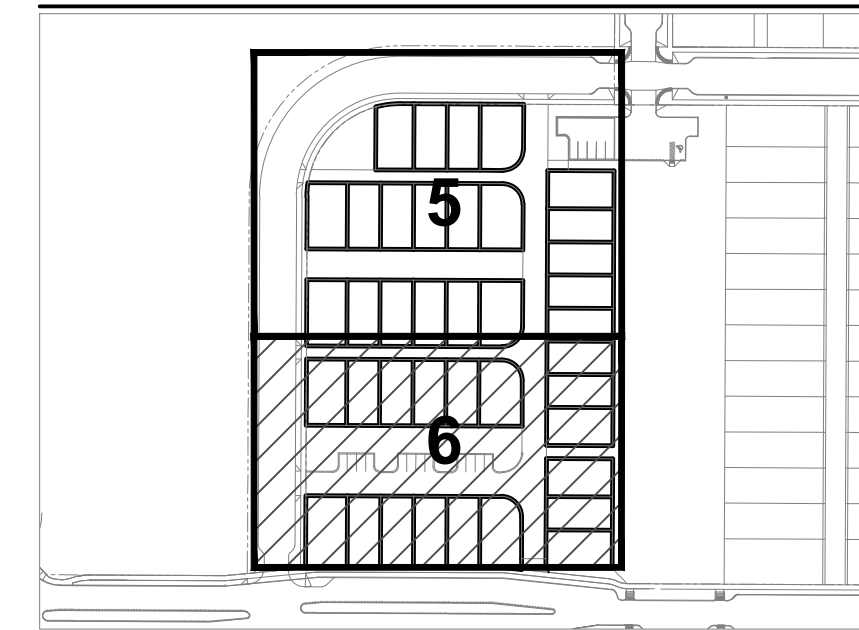
- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- STREET TREE LAYOUT AND QUANTITIES MAY VARY ONCE GARAGE LOCATIONS ARE DETERMINED.
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:
 - (A) SFD TEA LIGHT PRODUCT



SHEET 6

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN
 FILING TEN
 ADAMS COUNTY COLORADO

KEY



LEGEND

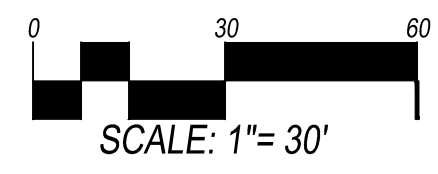
	MATCHLINE
	PROPERTY LINE
	ROAD CENTERLINE
	ALLEY CENTERLINE
	EASEMENT
	STORM SEWER
	WATER LINE
	SANITARY SEWER
	CANOPY TREE BY BUILDER / HOMEOWNER
	CANOPY TREE
	ORNAMENTAL TREE
	EVERGREEN TREE
	UPRIGHT EVERGREENS
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	PERENNIAL
	SOD
	ROCK MULCH

* PLANTS ARE LABELED ACCORDING TO VARIETY USING ITALIC FONT. REFER TO SHEETS 11 FOR LANDSCAPE PLANT LIST.

NOTES:

- ALL LANDSCAPE AREA SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
- STREET TREE LAYOUT AND QUANTITIES MAY VARY ONCE GARAGE LOCATIONS ARE DETERMINED.
- NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.
- HOUSING PRODUCT VARIETIES:

(A) SFD TEA LIGHT PRODUCT



MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

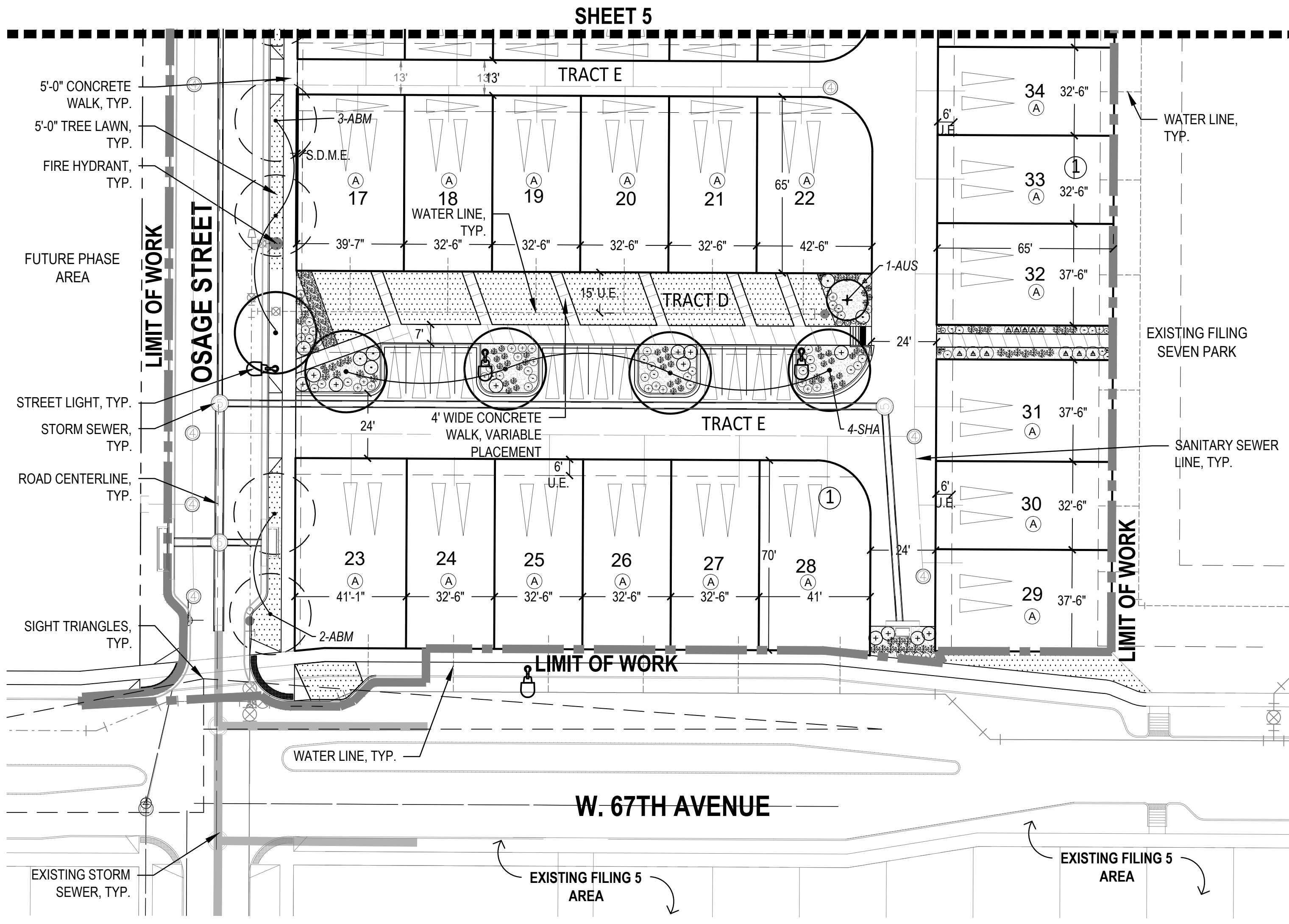
11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

NOT FOR CONSTRUCTION



SHEET 5

W. 67TH AVENUE

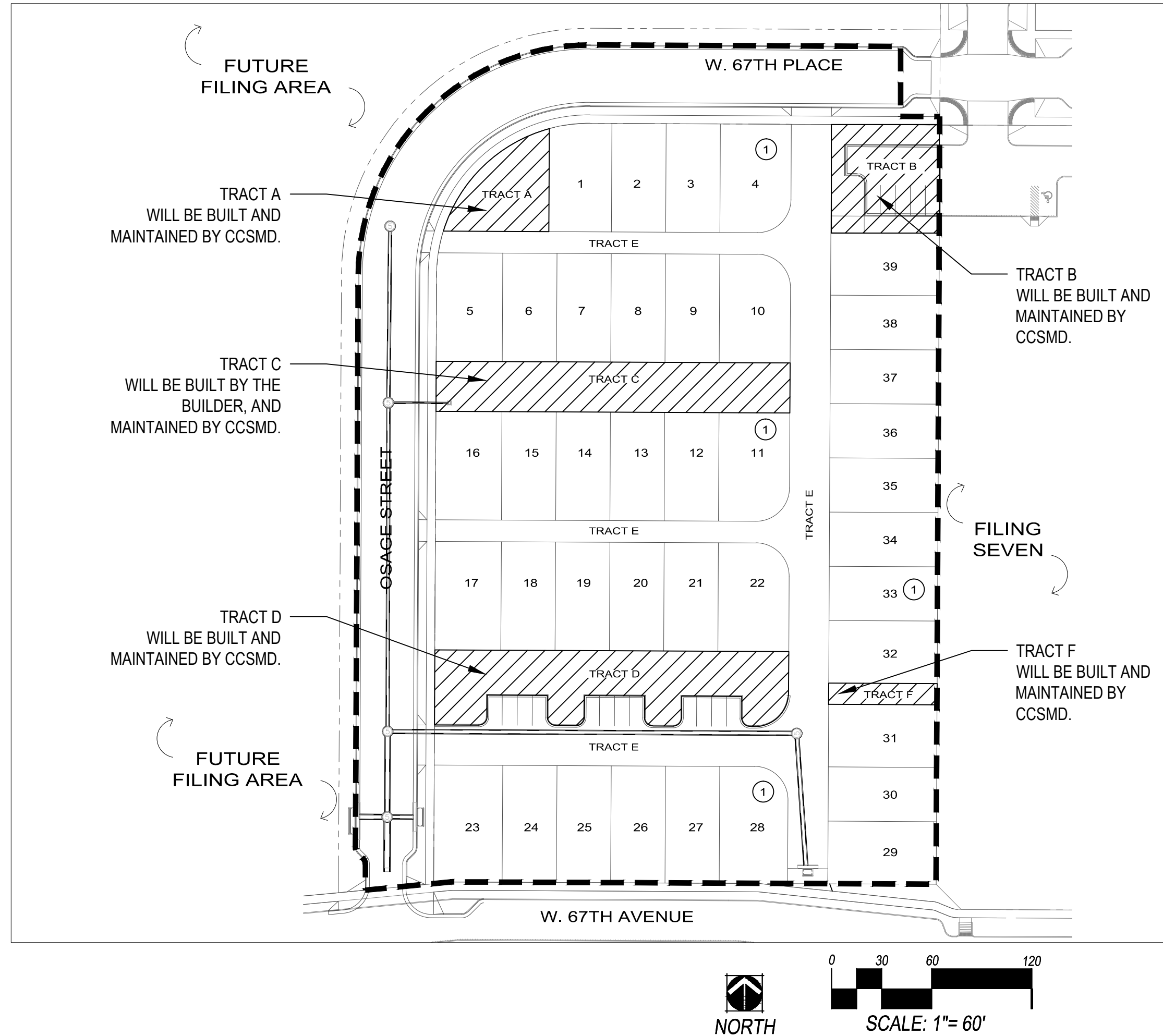
OSAGE STREET

TRACT & TREE LAWN & TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

INSTALLATION CHART

	Responsible Party	
	Installation	Maintenance
Entire Tracts:		
A	CCSMD	CCSMD
B	CCSMD	CCSMD
C	Builder	CCSMD
D	CCSMD	CCSMD
E	Builder	CCSMD
F	CCSMD	CCSMD
Tree Lawns Adjacent to:		
Tract		
A	CCSMD	CCSMD
B	CCSMD	CCSMD
C	CCSMD	CCSMD
D	CCSMD	CCSMD
Block 1		
Lot 1	Builder	Homeowner
Lot 2	Builder	Homeowner
Lot 3	Builder	Homeowner
Lot 4	Builder	Homeowner
Lot 5	Builder	Homeowner
Lot 16	Builder	Homeowner
Lot 17	Builder	Homeowner
Lot 23	Builder	Homeowner
Lot 24	Builder	Homeowner
Lot 25	Builder	Homeowner
Lot 26	Builder	Homeowner
Lot 27	Builder	Homeowner
Lot 28	Builder	Homeowner
Lot 29	Builder	Homeowner

**Tree lawns to be installed by Builder or Homeowner and maintained by homeowner.



LANDSCAPE INSTALLATION AND MAINTENANCE NOTES:

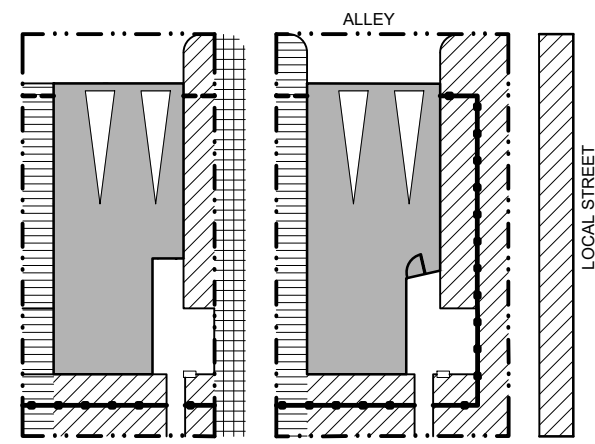
- REFER TO THE INSTALLATION AND MAINTENANCE CHART AND DIAGRAMS ON THIS SHEET AND SHEETS 8 THROUGH 10 FOR A REPRESENTATION OF COMMON AREA INSTALLATION AND MAINTENANCE RESPONSIBILITIES.
- TREE LAWNS ARE LOCATED BETWEEN SIDEWALKS AND ROADWAYS, GENERALLY WITHIN THE RIGHT-OF-WAY. THE CHART AND DIAGRAMS ON THIS SHEET AND SHEETS 8 THROUGH 10 SPECIFY THE PARTIES RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TREE LAWNS. IN MANY CASES, ONE PARTY MAY BE REQUIRED TO INSTALL THE TREE LAWN (E.G. THE HOMEBUILDER) BUT MAINTENANCE WILL BE PERFORMED BY ANOTHER PARTY (E.G. THE CCSMD OR HOMEOWNER). OTHER COMMON AREA LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS ARE ALSO SHOWN ON THE CHART LOCATED ON THIS SHEET.
- THE INSTALLATION OF LANDSCAPING, REGARDLESS OF RESPONSIBLE PARTY OR LOCATION, INCLUDES, AT A MINIMUM, THE COST AND EFFORT TO PROVIDE FOR ALL OF THE FOLLOWING: IRRIGATION WATER TAPS, PLANT MATERIAL, GROUND COVER, OTHER LANDSCAPING ELEMENTS, AND IRRIGATION INSTALLATION AS CALLED FOR ON THE PLANS.
- ONCE THE LANDSCAPING IS INSTALLED AND COMPLETED, THE DISTRICT WILL REVIEW THE INSTALLATION FOR COMPLETENESS. IF APPROVED, THE DISTRICT WILL THEN ACCEPT THE IMPROVEMENTS AND BEGIN THE PROCESS OF MAINTAINING THE LANDSCAPE FOR THE AREAS SPECIFIED ON THIS SHEET. MAINTENANCE OF OTHER COMPLETED LANDSCAPE AREAS WILL BECOME THE RESPONSIBILITY OF THE PARTIES IDENTIFIED ON THIS SHEET.
- IF THE CCSMD DETERMINES THAT THE LANDSCAPE WAS NOT CORRECTLY INSTALLED, THE RESPONSIBILITY FOR ENSURING THAT THE LANDSCAPE IS CORRECTED FALLS TO THE PARTY RESPONSIBLE FOR INSTALLATION, AS SHOWN IN THE INSTALLATION CHART ON THIS SHEET.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED. WARRANTY WORK AND REPAIRS SHALL BE COMPLETED BY THE CONTRACTOR BEFORE THE CCSMD ACCEPTS RESPONSIBILITY.
- MAINTAINING LANDSCAPES INCLUDES THE MOWING OF TURF AREAS, PRUNING TREES AND SHRUBS, WEED CONTROL, AND OTHER MAINTENANCE TASKS.
- REFER TO THE SIA FOR FURTHER INFORMATION AND A VISUAL DEPICTION OF THE AREAS IDENTIFIED ABOVE.

TYPICAL LOT - LANDSCAPE INSTALLATION AND MAINTENANCE REQUIREMENTS

N.T.S.

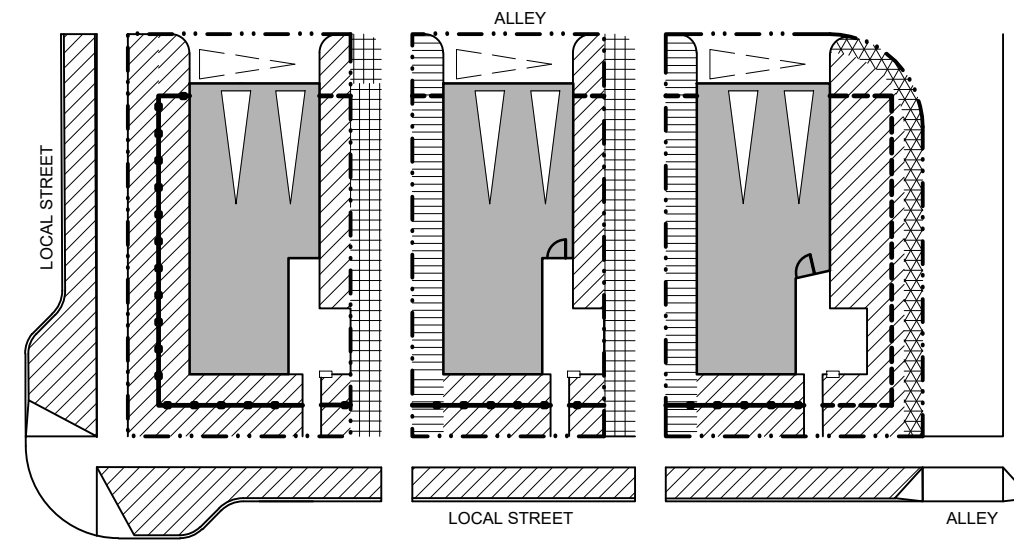
TEA LIGHTS

FRONTING ON LANDSCAPE TRACT



LANDSCAPE TRACT TYPICAL LOT
LANDSCAPE TRACT ADJACENT TO STREET

FRONTING ON R.O.W.



CORNER LOT
TYPICAL LOT
LOT ADJACENT TO ALLEY

LEGEND

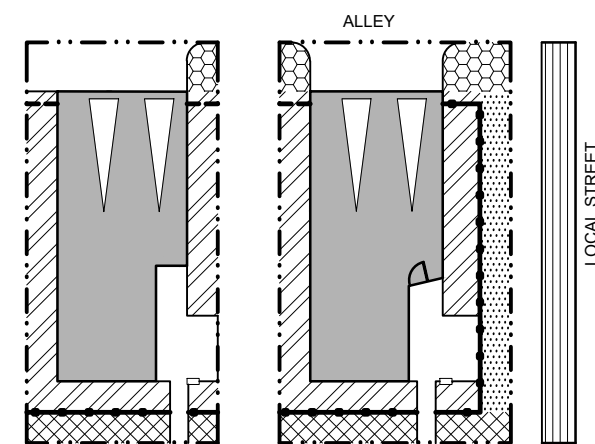
	PROPERTY LINE
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY HOMEOWNER
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY HOMEOWNER
	SIDE YARD USE EASEMENT TO BE INSTALLED BY BUILDER OR HOMEOWNER AND MAINTAINED BY HOMEOWNER
	SIDE YARD USE EASEMENT TO BE INSTALLED BY BUILDER OR ADJACENT HOMEOWNER AND MAINTAINED BY ADJACENT HOMEOWNER
	LANDSCAPE AREA TO BE INSTALLED BY BUILDER AND MAINTAINED BY DISTRICT
	OPEN FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER
	SOLID FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER

TYPICAL LOT - LANDSCAPE AREA DEFINITIONS

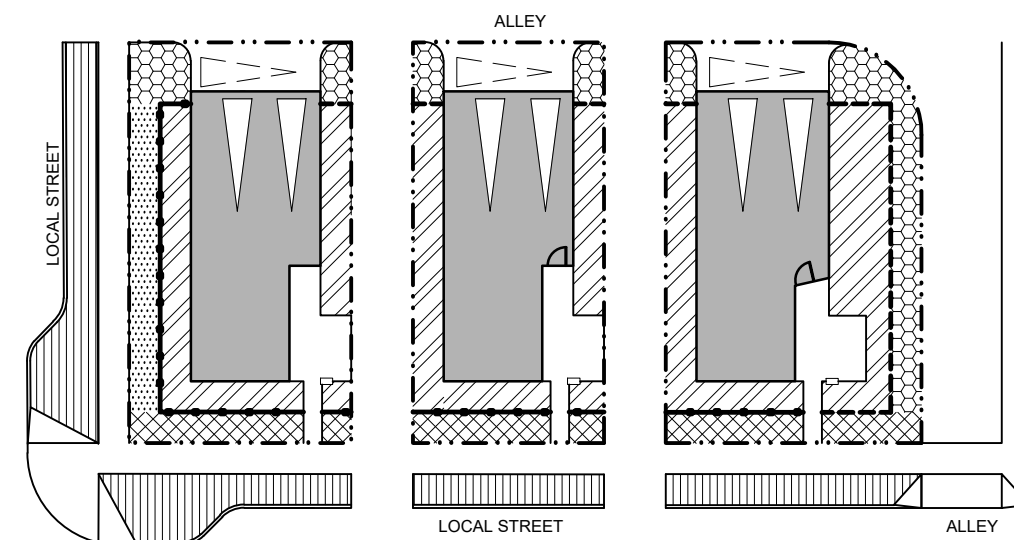
N.T.S.

LANDSCAPE INSTALLED BY HOMEOWNER

TEA LIGHTS



LANDSCAPE TRACT TYPICAL LOT
LANDSCAPE TRACT ADJACENT TO STREET



CORNER LOT
TYPICAL LOT
LOT ADJACENT TO ALLEY

LEGEND

	PROPERTY LINE
	FRONT YARD
	ALLEY
	STREET SIDE YARD
	TREE LAWN
	PRIVATE YARD
	OPEN FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER
	SOLID FENCING TO BE INSTALLED BY BUILDER, MAINTAINED BY HOMEOWNER

GENERAL NOTES:

1. OPEN FENCING, SEE DETAIL 1, SHEET 14 IN THIS DOCUMENT.
2. SOLID FENCING, SEE DETAIL 2, SHEET 14 IN THIS DOCUMENT.
3. DRC MAY APPROVE LANDSCAPE SCREENING AS ALTERNATIVE TO SOLID AND OPEN FENCING OPTIONS.

Sheet Title

LANDSCAPE INSTALLATION AND MAINTENANCE

Sheet Number

8 OF 15

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Engineering

1188 S. Homestead Street
Denver, CO 80204
P: 303.992.1888

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

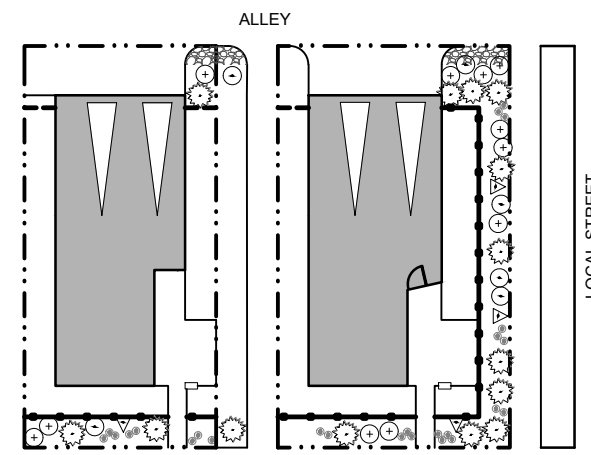
NOT FOR CONSTRUCTION

LANDSCAPE TYPICALS

LANDSCAPE INSTALLED BY HOMEOWNER

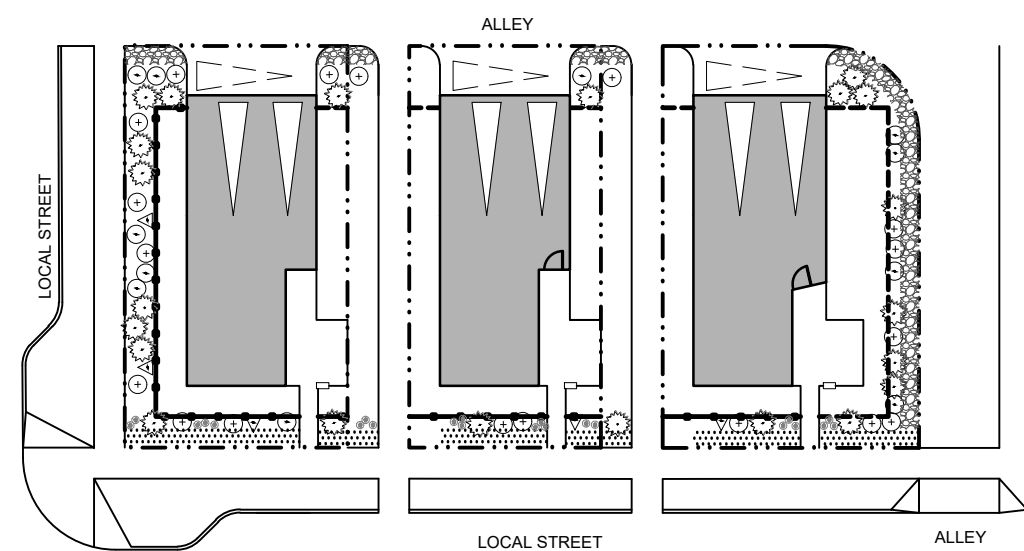
TEALIGHT CONDITION

FRONTING ON LANDSCAPE TRACT



LANDSCAPE TRACT TYPICAL LOT
LANDSCAPE TRACT ADJACENT TO STREET

FRONTING ON R.O.W.



CORNER LOT
TYPICAL LOT
LOT ADJACENT TO ALLEY

NOTES:

1. MATERIAL IS INSTALLED AND MAINTAINED BY HOMEOWNER.
2. PRIVATE YARD TO BE INSTALLED AND MAINTAINED BY HOMEOWNER.
3. LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

LEGEND

	PROPERTY LINE
	OPEN FENCING
	SOLID FENCING
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	VINES
	PERENNIAL
	SOD
	ROCK MULCH

REQUIRED QUANTITIES BY LOT TYPE AND LOCATION							
FRONTING ON LANDSCAPE TRACT	TYPICAL LOT			LOT ADJACENT TO STREET			
	FRONT YARD	ALLEY	SIDE YARD	FRONT YARD	ALLEY	SIDE YARD	
ORNAMENTAL TREE	0	0	0	0	0	0	
EVERGREEN SHRUBS	2	1	3	3	3	3	
DECIDUOUS SHRUBS	1	2	1	1	1	3	
ORNAMENTAL GRASSES	3	2	3	3	3	4	
PERENNIALS	8	0	9	0	0	8	
VINES	1	0	1	0	0	2	
SOD	3'	NONE	3'	NONE	NONE	NONE	

FRONTING ON R.O.W.	CORNER LOT			TYPICAL LOT			LOT ADJACENT TO ALLEY	
	FRONT YARD	ALLEY	SIDE YARD	FRONT YARD	ALLEY	FRONT YARD	ALLEY	
ORNAMENTAL TREE	0	0	0	0	0	0	0	
EVERGREEN SHRUBS	2	3	4	2	2	3	4	
DECIDUOUS SHRUBS	1	2	3	1	2	1	4	
ORNAMENTAL GRASSES	3	3	5	3	2	3	8	
PERENNIALS	8	0	0	8	0	9	0	
VINES	1	0	2	1	0	1	0	
SOD	3'	NONE	NONE	3'	NONE	3'	NONE	

NOTE: TYPICAL LOTS FRONTING RIGHT OF WAY REQUIRE 3' TURF AREA. TYPICAL LOTS FRONTING LANDSCAPE TRACTS REQUIRE PLANT MATERIAL SUCH AS: ORNAMENTAL EVERGREENS, DECIDUOUS SHRUBS, ORNAMENTAL GRASSES AND PERENNIALS. LOTS MAY REQUIRE ADDITIONAL OR REDUCED PLANTING, SUBJECT TO DRC APPROVAL.

MINIMUM LANDSCAPE REQUIREMENTS

N.T.S.

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Design

11661 Denmark Street
Denver, CO 80231
P 303.992.1888

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

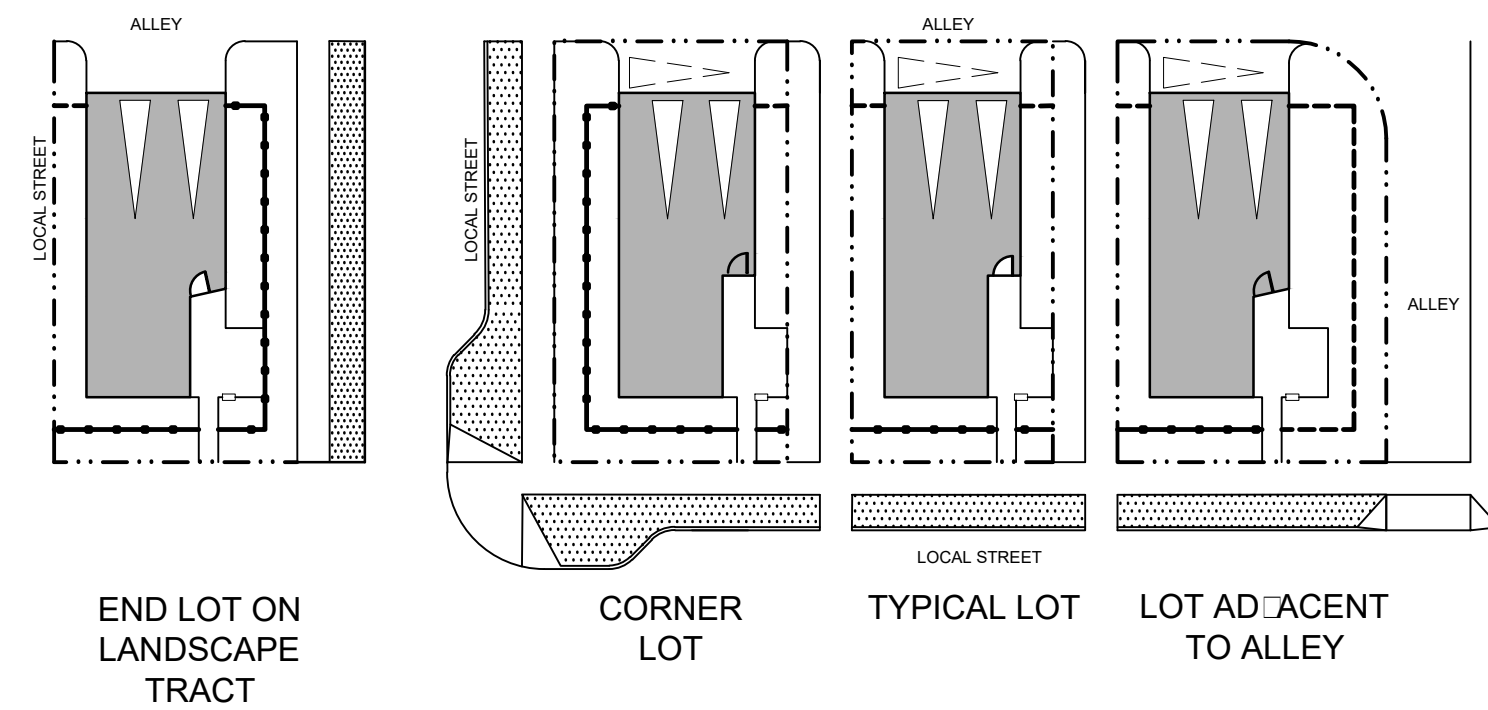
6 / 06 / 2017

NOT FOR
CONSTRUCTION

LANDSCAPE TREE LAWN TYPICALS - OPTION 1

LANDSCAPE INSTALLED BY HOMEOWNER
REFER TO SHEETS 5 THROUGH 6 FOR STREET TREE LOCATIONS

REAR-LOAD CONDITION



LEGEND	
	PROPERTY LINE
	OPEN FENCING
	SOLID FENCING
	ORNAMENTAL TREE
	EVERGREEN SHRUB
	ORNAMENTAL GRASS
	DECIDUOUS SHRUB
	VINES
	PERENNIAL
	SOD
	ROCK MULCH

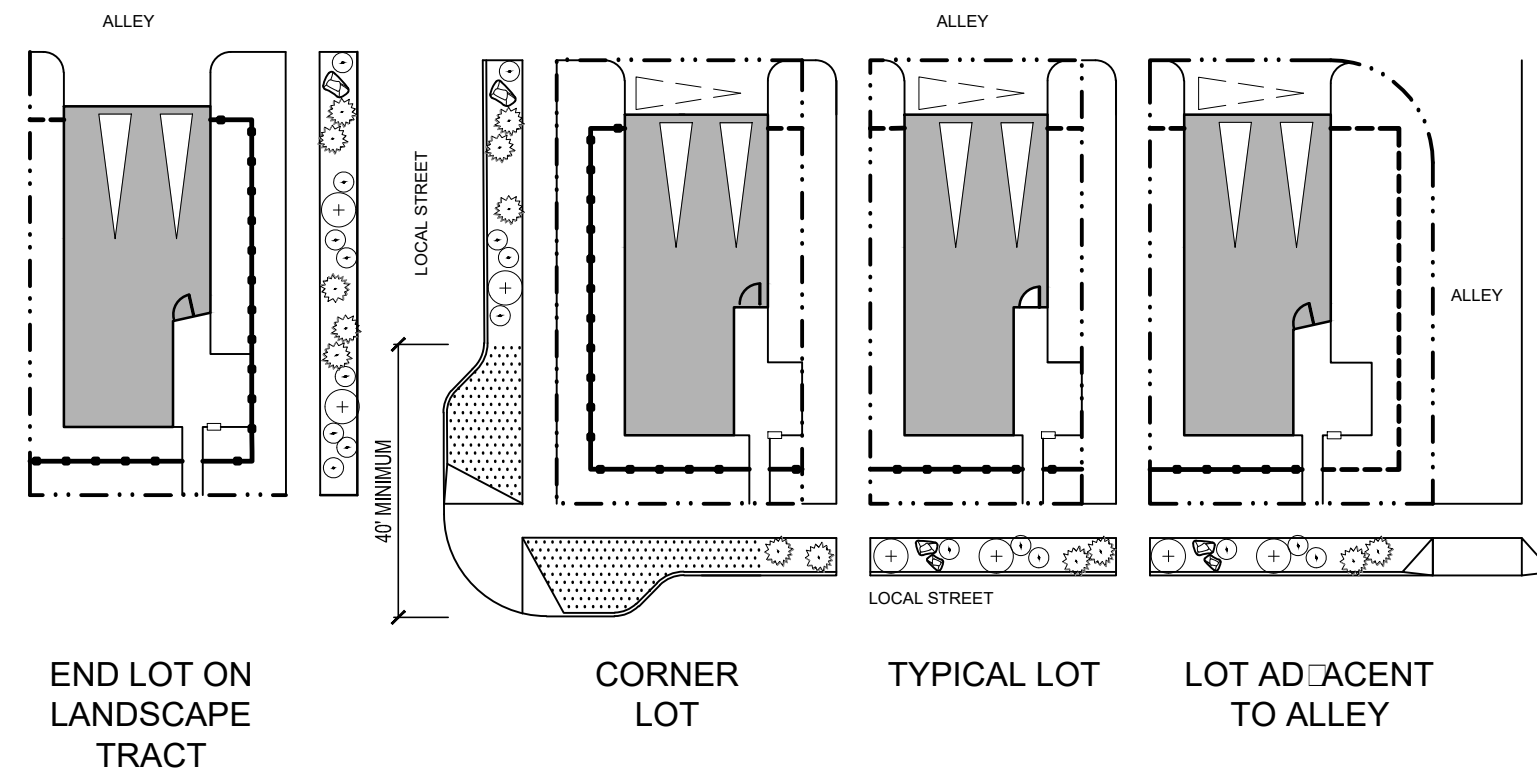
OPTION 1:

- HOMEOWNER TO INSTALL IN GROUND IRRIGATION AND PLANT SOD IN TREE LAWN.

LANDSCAPE TREE LAWN TYPICALS - OPTION 2

LANDSCAPE INSTALLED BY HOMEOWNER
REFER TO SHEETS 5 THROUGH 6 FOR STREET TREE LOCATIONS

REAR-LOAD CONDITION



OPTION 2:

- MINIMUM 2 PLANTS PER 10 LINEAR FEET. REQUIRED VARIETY: MINIMUM 1 EVERGREEN SHRUB, 2 SMALL DECIDUOUS SHRUBS, AND 2 GRASSES.
- MINIMUM 1 ACCENT BOULDER PER HOME.
- TREE LAWNS TO BE MULCHED WITH 3/4" WASHED RIVER GRAVEL(BROWN) OR CRUSHER FINES (TAN). RIVER GRAVEL(BROWN) TO BE APPLIED AT 3" -4" DEPTH OVER WEED CONTROL FABRIC. CRUSHER FINES (TAN) TO BE APPLIED AT 4" DEPTH COMPACTED OVER WEED CONTROL FABRIC.
- SOD REQUIRED FOR CORNER LOT TREE LAWNS ALONG FRONT AND A MINIMUM OF 40' MEASURED FROM FACE OF CURB ALONG SIDE TREE LAWN.

GENERAL NOTES:

- OPEN FENCING, SEE DETAIL 1, SHEET 14 IN THIS DOCUMENT.
- SOLID FENCING, SEE DETAIL 2, SHEET 14 IN THIS DOCUMENT.
- MATERIAL IS INSTALLED AND MAINTAINED BY HOMEOWNER.
- HOMEOWNER MAY INSTALL ONE 4' WIDE CONCRETE WALK IN TREE LAWN.
- PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY FROM THE BACK OF CURB TO THE DETACHED SIDEWALK AS WELL AS ADJACENT TREE LAWNS.

MINIMUM LANDSCAPE TREE LAWN REQUIREMENTS

N.T.S.

Sheet Title

LANDSCAPE
TREE LAWN

Sheet Number
10 OF 15

Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Engineering

1188 Denmark Street
Denver, CO 80204
P 303.992.1888

www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

NOT FOR
CONSTRUCTION

LANDSCAPE PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
(UNLESS OTHERWISE NOTED)			
DECIDUOUS CANOPY TREES			
ABM	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2 1/2" CAL. B&B
FFH	FRANS FONTAINE HORNBEAM	CARPINUS BETULUS 'FRANS FONTAINE'	2 1/2" CAL. B&B
WHB	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	2 1/2" CAL. B&B
GBI	GINKGO	GINKGO BILOBA (MALE VARIETIES ONLY)	2 1/2" CAL. B&B
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2 1/2" CAL. B&B
SHA	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	2 1/2" CAL. B&B
KCT	KENTUCKY COFFEETREE, ESPRESSO	GYMNOCLADUS DIOICUS 'ESPRESSO'	2 1/2" CAL. B&B
LAN	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	2 1/2" CAL. B&B
LPT	LONDON PLANETREE	PLATANUS ACERIFOLIA 'BLOODGOOD'	2 1/2" CAL. B&B
BOA	BUR OAK	QUERCUS MACROCARPA	2 1/2" CAL. B&B
EOA	ENGLISH OAK	QUERCUS ROBUR	2 1/2" CAL. B&B
NRO	NORTHERN RED OAK	QUERCUS RUBRA	2 1/2" CAL. B&B
GLL	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2 1/2" CAL. B&B
ELM	FRONTIER ELM	ULMUS X 'FRONTIER'	2 1/2" CAL. B&B

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
EVERGREEN TREES			
SKY	SKYROCKET JUNIPER	JUNIPERUS VIRGINIANA 'SKYROCKET'	4' HT. MIN
COJ	COLOGREEN JUNIPER	JUNIPERUS SCOPULORUM 'COLOGREEN'	4' HT. MIN
CBS	COLORADO BLUE SPRUCE	PICEA PUNGENS	8' HT. MIN
PIN	PINON PINE	PINUS EDULIS	6' HT. MIN
AUS	AUSTRIAN PINE	PINUS NIGRA	8' HT. MIN
PON	PONDEROSA PINE	PINUS PONDEROSA	8' HT. MIN

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS ORNAMENTAL TREES			
HWM	PATTERN PERFECT MAPLE	ACER TATARICUM 'PATTERN PERFECT'	8' CLUMP, B&B
ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8' CLUMP, B&B
WHT	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	2" CAL., B&B
PRF	RADIANT CRABAPPLE	MALUS 'RADIANT'	2" CAL., B&B
CHP	CHANTICLEER PEAR	PYRUS CALLERYANA	2" CAL., B&B
EOC	ENGLISH COLUMNAR OAK	QUERCUS ROBUR 'FASTIGIATA'	2" CAL., B&B
LTC	JAPANESE TREE LILAC	SYRINGA RETICULATA	8' CLUMP, B&B

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS SHRUBS			
CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	#5 CONTAINER
SLF	SILVER FOUNTAIN BUTTERFLY BUSH	BUDDLEIA ALTERNIFOLIA 'ARGENTEA'	#5 CONTAINER
BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	#5 CONTAINER
FRB	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM	#5 CONTAINER
RDW	DWARF BABY BLUE RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOUS 'DW. BLUE'	#5 CONTAINER
GCE	GROUND COTONEASTER	COTONEASTER HORIZONTALIS PERPUSILLUS	#5 CONTAINER
SGB	SPANISH GOLD BROOM	CYTISUS PURGAN 'SPANISH GOLD'	#5 CONTAINER
APL	APACHE PLUME	FALLUGIA PARADOXA	#5 CONTAINER
DRS	DWARF RUSSIAN SAGE	PEROVSKIA ARTIPLICIFOLIA 'LITTLE SPIRE'	#5 CONTAINER
MCK	MCKAY'S WHITE POTENTILLA	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONTAINER
PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'PAWNEE BUTTES'	#5 CONTAINER
FLI	FINE LINE BUCKTHORNE	RHAMNUS FRANGULA 'RON WILLIAMS'	#5 CONTAINER
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	#5 CONTAINER
YFC	YELLOW FLOWERING CURRANT	RIBES AUREUM	#5 CONTAINER
KNO	KNOCK OUT ROSE - RED	ROSA X 'RADRAZZ'	#5 CONTAINER
KNS	SUNNY KNOCK OUT	ROSA X 'RADSUNNY'	#5 CONTAINER
SBB	SILVER BUFFALOBERRY	SHEPHERDIA ARGENTEA	#5 CONTAINER
HCB	HANCOCK CORALBERRY	SYMPHORICARPOS X CHENAULTII 'HANCOCK'	#5 CONTAINER
MKL	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONTAINER
PGL	PRESIDENT GREVY LILAC	SYRINGA VULGARIS 'PRESIDENT GREVY'	#5 CONTAINER

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
EVERGREEN SHRUBS			
BRJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	#5 CONTAINER
BCH	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	#5 CONTAINER
GLS	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	#5 CONTAINER
MAN	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS	#5 CONTAINER
MUG	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONTAINER
ITY	IVORY TOWER YUCCA	YUCCA FILAMENTOSA 'IVORY TOWER'	#5 CONTAINER
RHM	R.H. MONTGOMERY SPRUCE	PICEA PUNGENS 'R.H. MONTGOMERY'	#5 CONTAINER
ICJ	ICEE BLUE JUNIPER	JUNIPERUS HORIZONTALIS 'MONBER'	#5 CONTAINER

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
GRASSES			
FRG	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONTAINER
KFG	KOREAN FEATHER REED GRASS	CALAMAGROSTIS BRACHYTRICA	#1 CONTAINER
BSG	THE BLUES LITTLE BLUESTEM GRASS	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	#1 CONTAINER
AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	#1 CONTAINER
GSR	SHENANDOAH SWITCH GRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1 CONTAINER
MFG	MEXICAN FEATHER GRASS	NASSELLA (STIPA) TENUISSIMA	#1 CONTAINER
HMS	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	#1 CONTAINER
PAH	HARDY PAMPAS, PLUME GRASS	ERIANTHUS RAVENNAE	#1 CONTAINER

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
GROUND COVER / VINES			
BOS	BOSTON IVY	PARTHENOCISSUS TRICUSPIDATA	#1 CONTAINER
GH	GOLDFLAME HONEYSUCKLE	LONICERA HECKROTTII	#1 CONTAINER
HH	HALL'S HONEYSUCKLE	LONICERA JAPONICA 'HALLIANA'	#1 CONTAINER
ENG	VIRGINIA CREEPER	PARTHENOCISSUS QUINQUEFOLIA ENGELMANNII	#1 CONTAINER
ETV	CLEMATIS ETOILE VIOLETTE (BLUE)	CLEMATIS HYBRID	#1 CONTAINER
FST	CLEMATIS FRAGRANT STAR (WHITE)	CLEMATIS HYBRID	#1 CONTAINER

COMMON NAME	BOTANICAL NAME	SIZE & COND.
(UNLESS OTHERWISE NOTED)		
PERENNIALS		
AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'
BES	BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'
CFL	CONEFLOWER	ECHINACEA PURPUREA
CJT	JETHRO TULL COREOPSIS	C. GRANDIFLORA 'JETHRO TULL'
CMT	WALKER'S LOW CATMINT	NEPETA FAASSENII 'WALKER'S LOW'
DDY	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'
DSD	SNOW LADY SHASTA DAISY	LEUCANTHEMUM X SUPERBUM 'SNOW LADY'
ELV	ENGLISH MUNSTEAD LAVENDER	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'
GAI	BURGUNDY BLANKET FLOWER	GAILLARDIA X GRANDIFLORA 'BURGUNDY'
HBJ	HIMALAYAN BORDER JEWEL POLYGONUM	PERSICARIA AFFINIS 'HIMALAYAN BORDER JEWEL'
IPY	YELLOW ICE PLANT	DELOSPERMA NUBIGENUM
JBG	JOHNSON'S BLUE/ CRANESBILL GERANIUM	GERANIUM X 'JOHNSON'S BLUE'
LAM	LAMB'S EAR	STACHYS BYZANTINA
MY	MOONSHINE YARROW	ACHILLEA X 'MOONSHINE'
PIR	MISSOURI EVENING PRIMROSE	OENOTHERA MACROCARPA
PLP	PINELEAF PENSTEMON RED	PENSTEMON PINIFOLIUS
POM	WINECUPS (POPPY MALLOW)	CALLIRHOE INVOLUCRATA
SIS	SNOW-IN-SUMMER	CERASTIUM TOMENTOSUM
SSH	SUNSET HYSSOP	AGASTACHE RUPESTRIS
VAL	RED VALERIAN/ JUPITER'S BEARD	CENTRANTHUS RUBER
WBF	GAURA/ WHIRLING BUTTERFLIES	GAURA LINDHEIMERI
HOB	BLUE GIANT HOSTA	H. SIEBOLDIANA 'ELEGANS'
HOV	VARIEGATED HOSTA	H. UNDLATA MEDIOVARIEGATA

SOD MIX:

TURF GRASS BLEND: SOD

COMMON NAME	% OF TOTAL
90 /10 FESCUE MIX	100%
90 FESCUE	90%
10 BLUEGRASS	10%
TOTAL	100%

LANDSCAPE NOTES:
 1. NO ASH TREE VARIETIES (FRAXINUS SPECIES) ARE RECOMMENDED ON THIS SITE. ALL USE OF ASH VARIETIES ARE DISCOURAGED.

- LANDSCAPE NOTES:
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
 - SHRUB BEDS ARE TO BE MULCHED WITH 3" MIN. DEPTH 3/4" ANGULAR ROCK MULCH OR CRUSHER FINES OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
 - SHRUB BEDS ARE TO BE CONTAINED BY EITHER 3/16" MIN. THICK METAL EDGER OR SPADE DUG EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
 - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
 - DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
 - CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
 - LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.

Brookfield Residential
 6465 S. Greenwood Plaza Blvd., Suite 700
 Centennial, CO 80111
 303-706-9451

REDLAND
 Where Great Places Begin

NORRIS DESIGN
 Planning | Landscape Architecture | Engineering

11881 Shavanoq Street
 Denver, CO 80204
 P 303.962.1888
 www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
 ADAMS COUNTY COLORADO

Issue Date
 11 / 14 / 2016

Revision Date
 1 / 18 / 2017
 6 / 06 / 2017

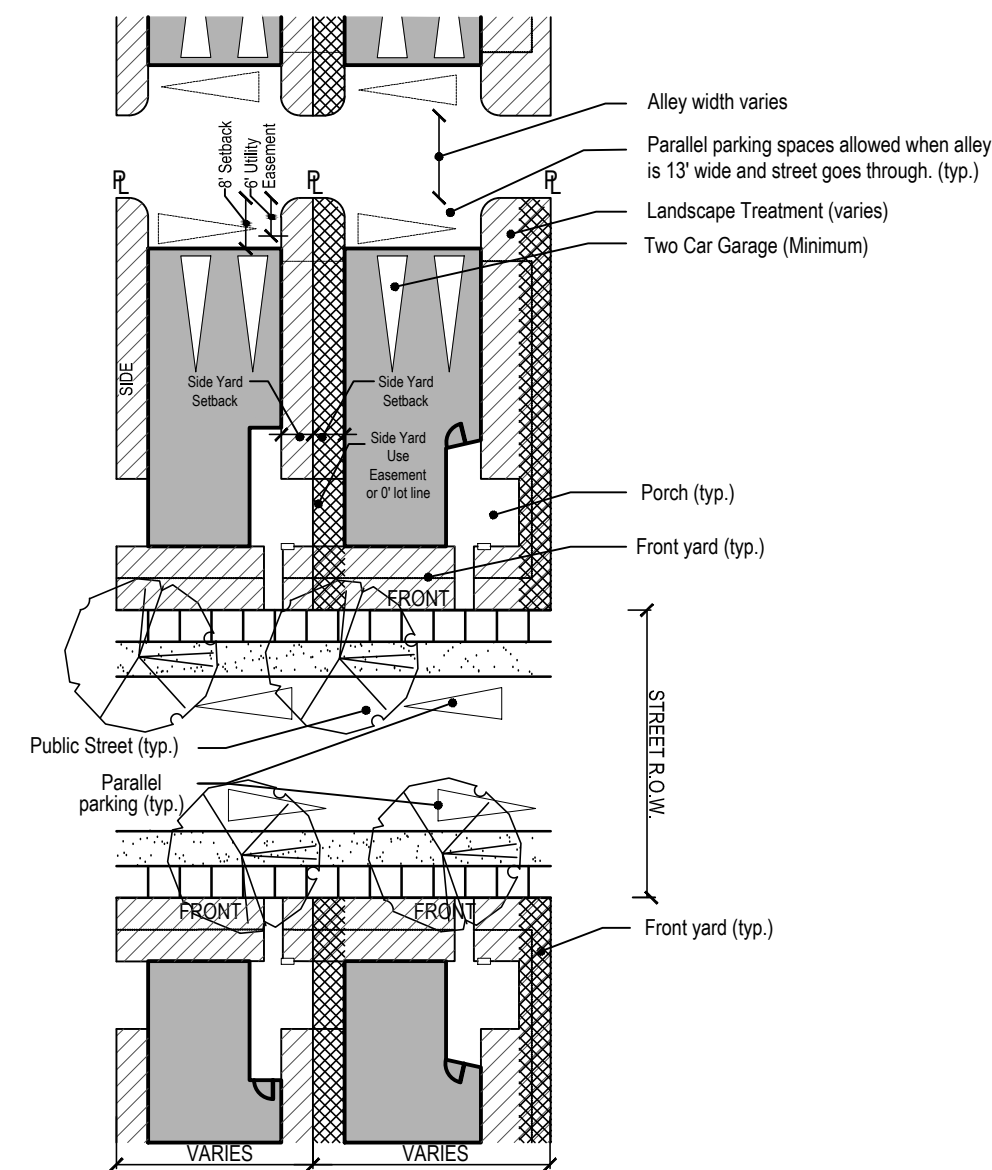
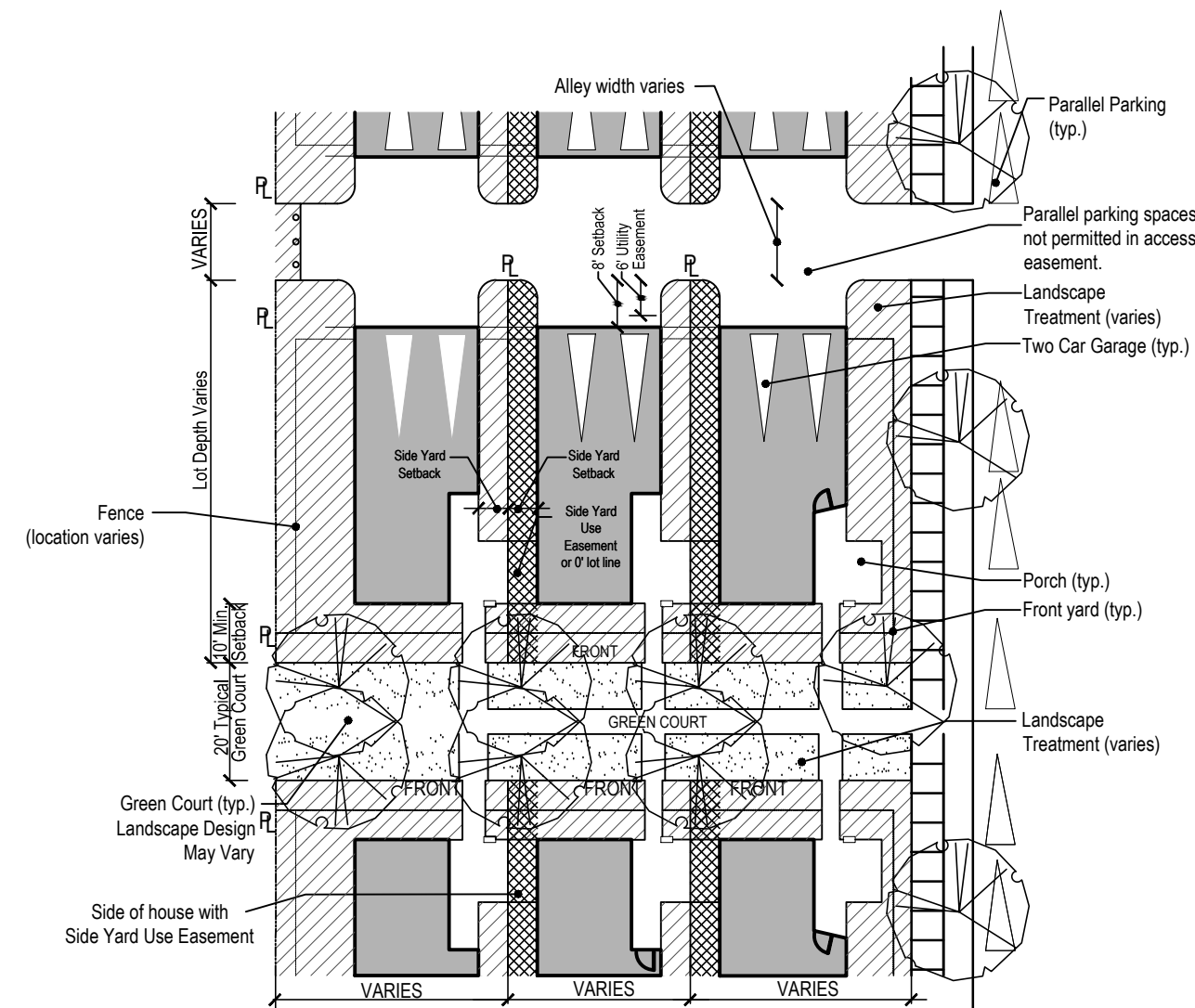
NOT FOR CONSTRUCTION

TYPICAL PRODUCT IMAGE



PLAN VIEW (TYPICAL)

N.T.S.



SQUARE FOOTAGE RANGE

HOUSING PRODUCT	SQUARE FOOTAGE
(A) SINGLE FAMILY DETACHED TEA LIGHT HOME	1,201 - 1,356 SF

SQUARE FOOT RANGES ARE INTENDED TO ENCOMPASS A MAJORITY OF HOMES IN EACH HOUSING PRODUCT TYPE. A MINIMAL AMOUNT OF HOMES MAY VARY FROM DEFINED RANGES DURING FURTHER ARCHITECTURE DESIGN DEVELOPMENT AND CONSTRUCTION.

MIDTOWN ARCHITECTURE CHARACTER

MIDTOWN WILL PROVIDE A "FRESH ARCHITECTURAL CHARACTER" FOR FRONT RANGE RESIDENTIAL. HARNESSING OUR "FREE-RANGE SPIRIT", THE TRADITIONAL CRAFTSMAN, PRAIRIE AND FARMHOUSE ROOTS, WILL EVOLVE INTO "FRESH STYLE" EXPRESSIONS FOR THE NEW NEIGHBORHOOD. SIMPLE FORMS, RICH COLORS, AND ARTFUL DETAILS WILL COMBINE TO CREATE AFFORDABLE AND DISTINCTIVE HOMES, ADDING "ZEST" TO THE STREET SCENE APPEAL. REFERENCE THE APPROVED SECOND AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR FURTHER INFORMATION.

THE FOLLOWING ARE THE PRODUCT TYPES PROPOSED IN THIS FDP. TYPICAL PRODUCT IMAGE AND PLAN VIEW ARE REPRESENTATION OF ARCHITECTURE CHARACTER AND FORM, FINAL ARCHITECTURE MAY VARY. LOT LAYOUT IS CONCEPTUAL AND GARAGE ORIENTATION MAY VARY.

(A) SINGLE FAMILY DETACHED TEA LIGHT HOME

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
FILING TEN
ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

NOT FOR CONSTRUCTION

SETBACK AND HEIGHT RESTRICTIONS CHART (AS APPROVED IN THE 2ND AMENDMENT TO THE PDP)

USE	MINIMUM FRONT YARD SETBACK FOR ALL STRUCTURES ADJACENT TO:	MINIMUM FRONT YARD SETBACK FOR PRINCIPAL STRUCTURE SECTION: 4, 8, 10, 11, 12	MINIMUM FRONT YARD SETBACK FOR GARAGE STRUCTURE SECTION: 4, 8, 10, 11	MINIMUM SIDE YARD SETBACK FOR ALL STRUCTURES SECTION: 8, 5	MIN. REAR YARD SETBACK FOR PRINCIPAL STRUCTURES EXCLUDING GARAGES SECTION: 8	MIN. REAR YARD SETBACK FOR DETACHED ACCESSORY STRUCTURES		MIN. REAR YARD SETBACK TO GARAGE DOOR FACE FOR ALLEY LOAD HOMES		MAXIMUM BUILDING HEIGHT See Note: 7	MAXIMUM ACCESSORY STRUCTURE HEIGHT
						13' ALLEY	20' ALLEY	13' ALLEY	20' ALLEY		
Collector SECTION: 6											
Single Family Detached Home with Rear Loaded Garage	15'	10'	10'	5'	15'	8'	4.5'	8'	4.5'	45'	28'

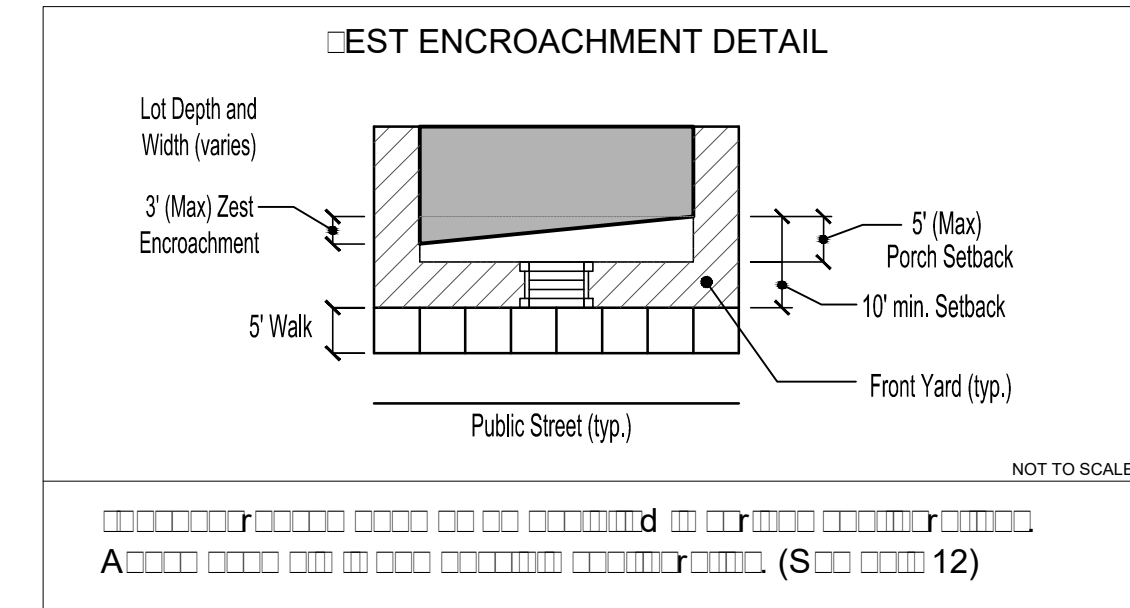
The proposed setback and height restrictions are consistent with the Second Amendment to the PDP for the Midtown Clear Creek PUD. Refer to the Second Amendment to the PDP for full list of notes.

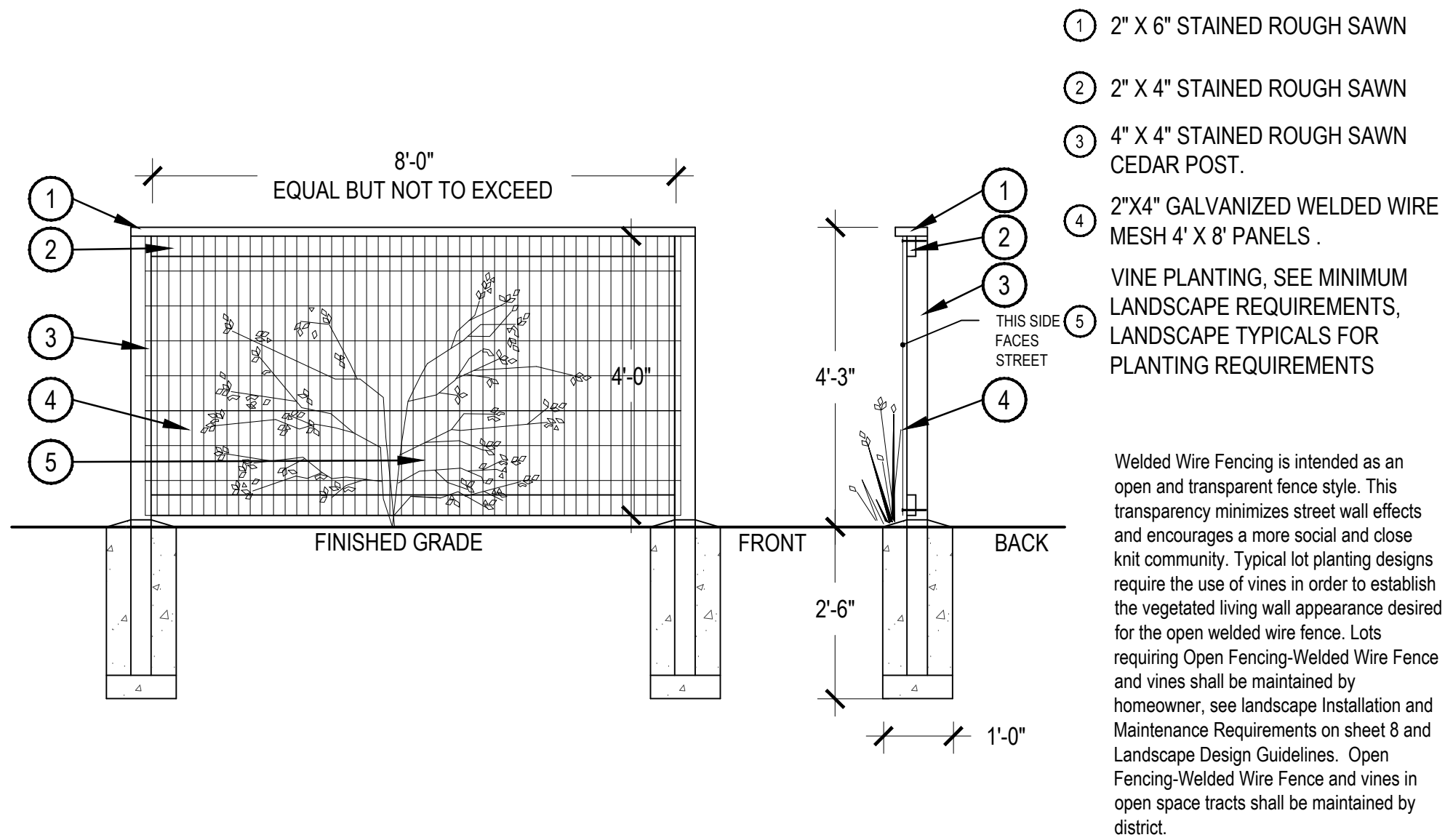
NOTES:

(References copied from the Second Amendment to the PDP)

- The garage door face for the lot shall be at least 18' from the back of the public sidewalk.
- Side setbacks may be reduced to no less than 3' as measured from the finished material of the exterior wall to the property line. When reduced to less than 5' as measured from the finished material of the exterior wall to the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.
- Setbacks will follow local street standards on West 67th Avenue.
- Building height excludes parapets and other architectural treatments that screen rooftop mechanical equipment from view. These items are subject to height limitations as deemed appropriate during the development review process.
- Bay windows, cantilevers, chimneys, exterior posts/columns, solar panels, mechanical equipment, light fixtures, balconies, stairs and other similar architectural features are allowed to extend outward from the principal structure in front, side and rear yards. In no instance may an encroachment cross the property line or be located less than six-feet from the finished material of the encroachment to the adjacent property. When an encroachment is less than 5' from the property line, the then current IBC and/or IRC code requirements and amendments within the governing municipality will be enforced with regard to exterior wall fire-resistant rating and minimum fire-separation distance requirements.

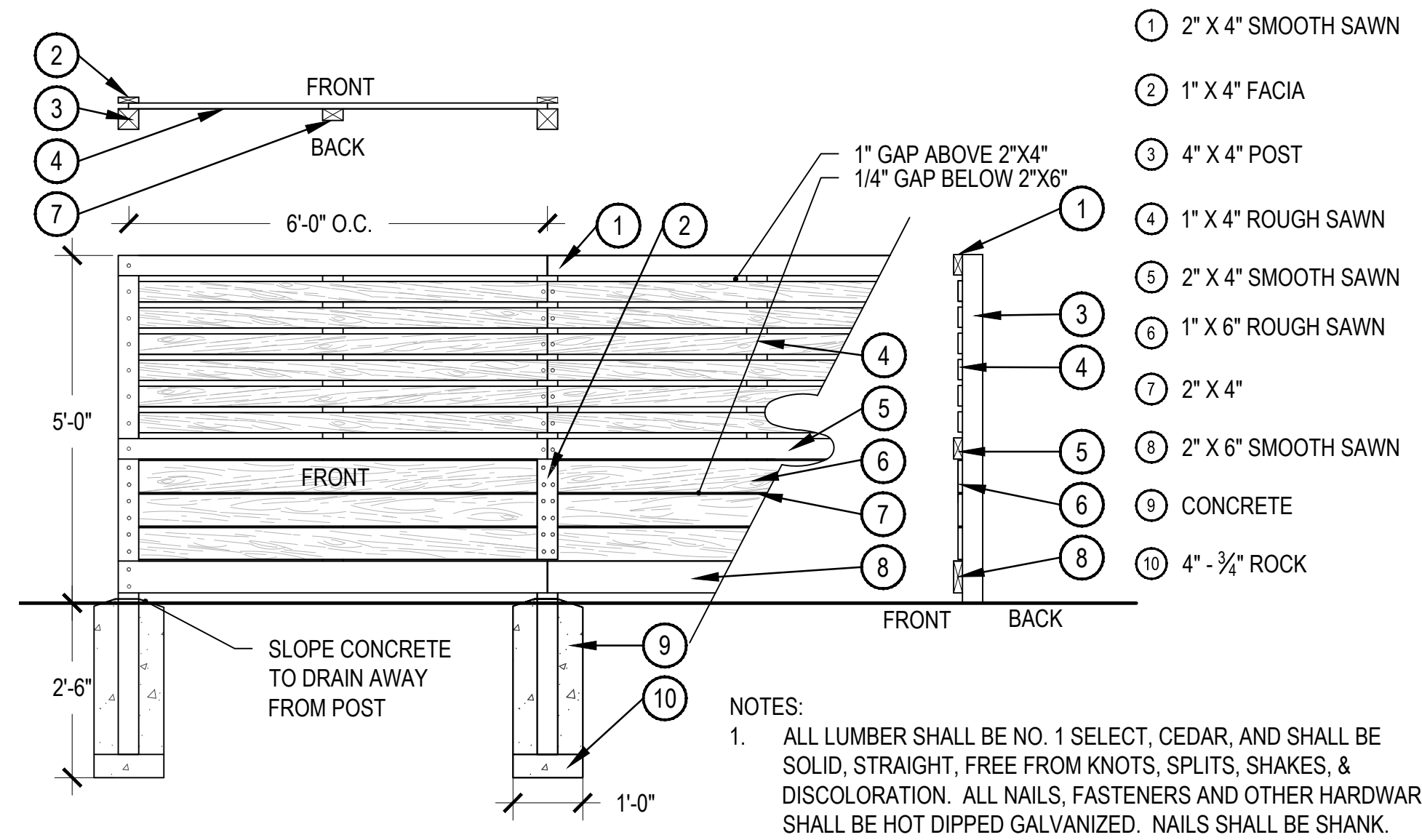
- Lot coverage is defined as the area covered by the buildings and accessory buildings.
- Setback measured from right-of-way/property line to the building plane of the livable space, commercial space or other non-garage door side of a building. Side loaded garages and non-livable spaces such as covered porches and courtyards can encroach into a setback up to 5' provided the encroachment is not within the public right-of way or transportation and utility easements.
- The minimum setback of a side loaded garage is defined from the right-of-way/property line to the street-facing building plane.
- Portions of the foundations and corresponding elevations for fronts of homes designed to achieve the desired "zest" character are permitted to encroach into the front setback area up to 3'. "Zest" character may be achieved by angling portion of the building foundation, projecting a portion of the building foundation or a change in the material in the building facade. (See Zest Encroachment Detail).





1 OPEN FENCING - WELDED WIRE FENCE

SCALE: 1/2" = 1'



2 SOLID FENCE - HORIZONTAL WOOD FENCE

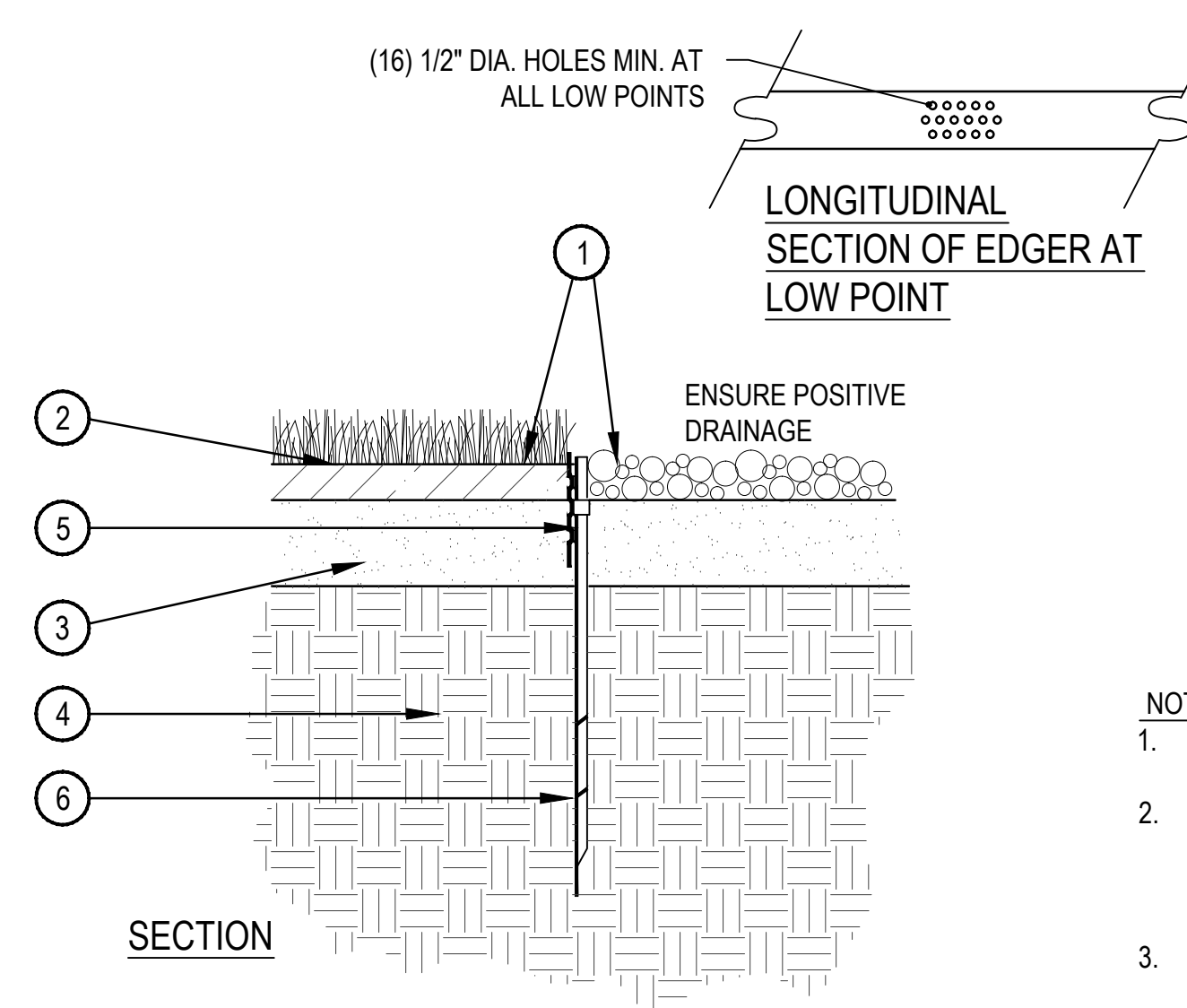
SCALE: 1/2" = 1'



- NOTES:
- SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
 - SIGN HEIGHTS PER ADAMS COUNTY AND CDOT STANDARDS

3 MIDTOWN STREET SIGNAGE

SCALE: NTS

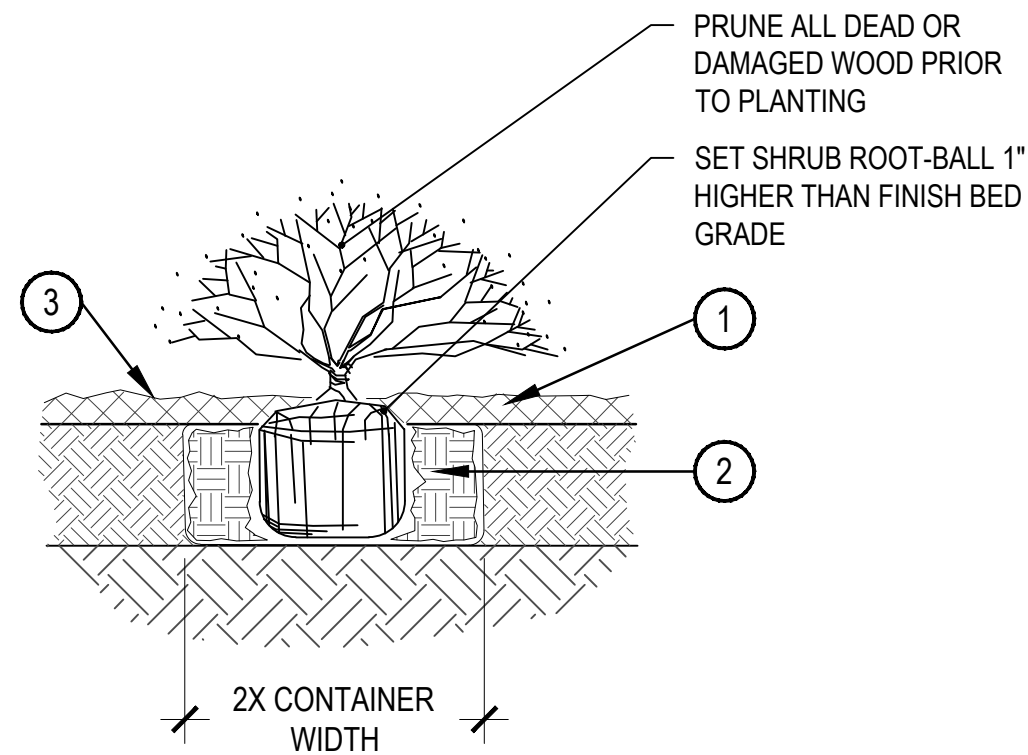


4 METAL EDGER DETAIL

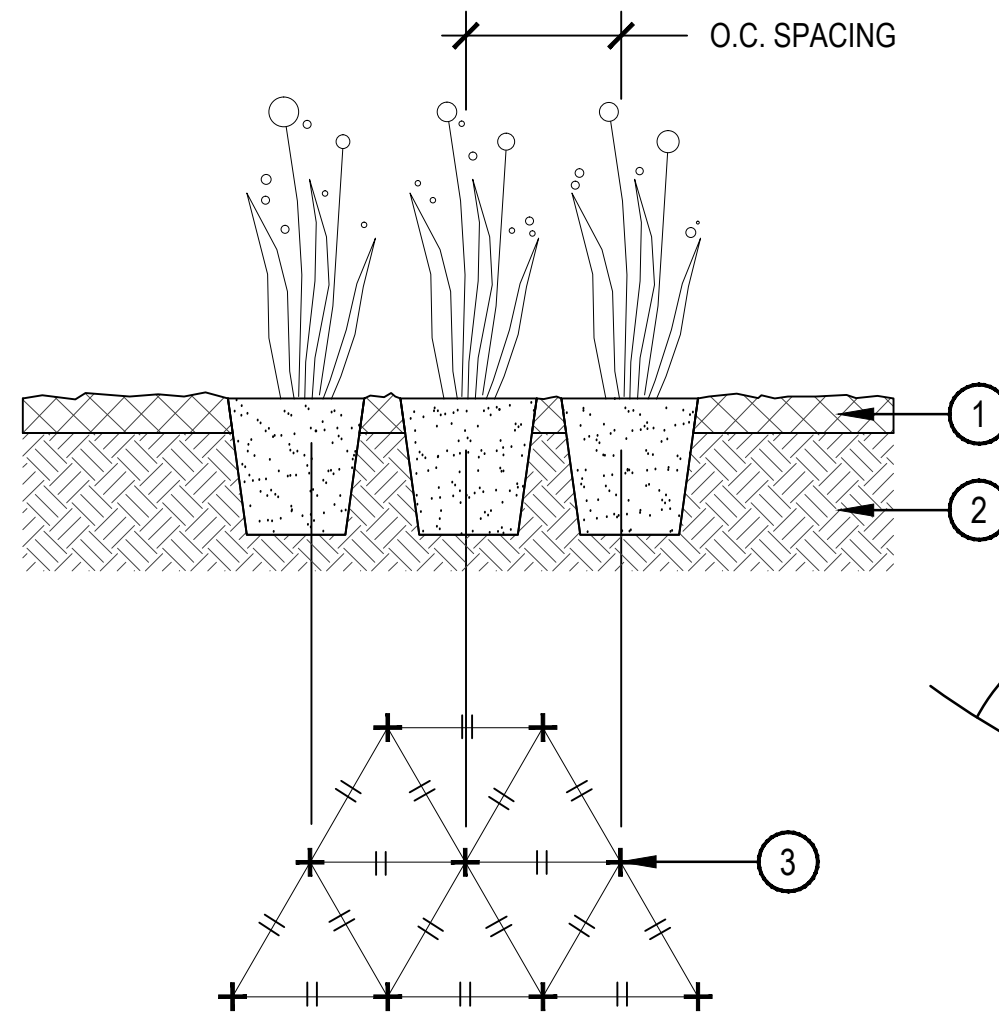
SCALE: 1" = 1'-0"

- NOTES:
- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
 - EDGER SHALL BE SET AS STRAIGHT AS POSSIBLE, ANY BENDS OR KINKS WHERE EDGER IS SUPPOSED TO FOLLOW A STRAIGHT LINE WILL BE REJECTED.
 - EDGER CORNERS SHALL BE AS TIGHT AS POSSIBLE.
 - CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

- ① SPECIFIED MULCH
- ② AMENDED SOIL IN PLANTING BED PER SPECIFICATIONS. TILL SOIL TO A DEPTH OF EIGHT INCHES.
- ③ FINISH GRADE (TOP OF MULCH)



- NOTE:**
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER
 3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER
 4. DIG PLANT PIT TWICE AS WIDE AND HIGH AS THE CONTAINER



- ① SPECIFIED MULCH
- ② AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- ③ CENTER OF PLANT

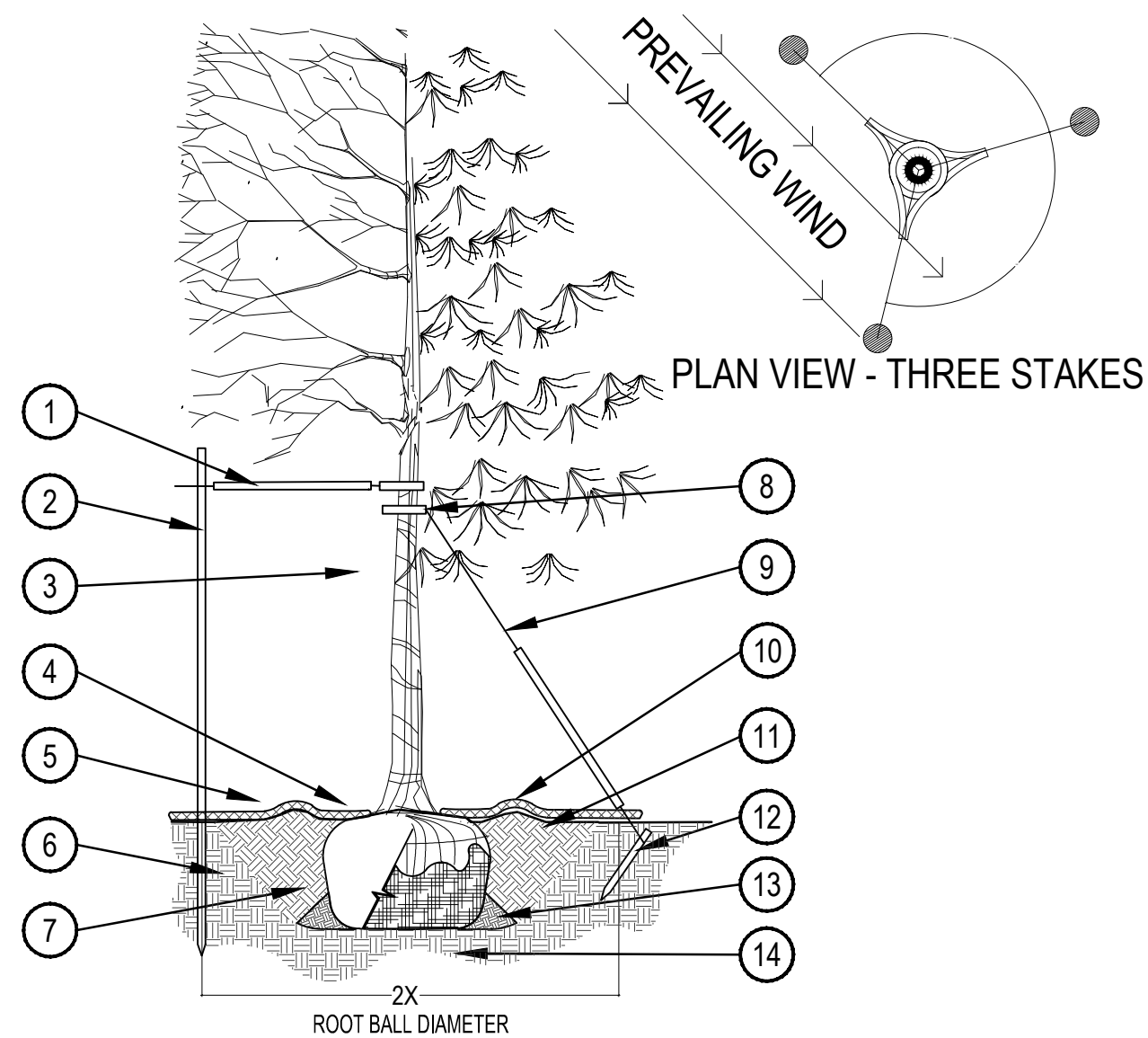
WHEN PLANTED ON A CURVE ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSSED.

① SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"

② PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"



- PRUNING NOTES:**
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
1. STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:
 - 1.1. 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1.2. 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 1.3. 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
 2. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- ① PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- ② 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- ③ TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- ④ PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- ⑤ 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- ⑥ 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- ⑦ REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- ⑧ GROMMETED NYLON STRAPS
- ⑨ GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- ⑩ 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- ⑪ BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- ⑫ 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- ⑬ PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- ⑭ PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

③ TREE PLANTING DETAIL

SCALE: NTS

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN
 FILING TEN
 ADAMS COUNTY COLORADO

Issue Date

11 / 14 / 2016

Revision Date

1 / 18 / 2017

6 / 06 / 2017

NOT FOR
CONSTRUCTION

MIDTOWN AT CLEAR CREEK—FILING NO. 10

CASE NO. PRC
2016-00017

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 5

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PART OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4 BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1,324.85 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THENCE SOUTH 67°17'53" EAST, A DISTANCE OF 677.99 FEET TO THE WESTERLY BOUNDARY OF MIDTOWN AT CLEAR CREEK - FILING NO.7 PLAT AS RECORDED UNDER RECEPTION NO. 2016000009355 IN SAID COUNTY RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°16'34" WEST, A DISTANCE OF 512.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS SHOWN ON AND DEDICATED BY MIDTOWN AT CLEAR CREEK - FILING NO. 5 PLAT AS RECORDED UNDER RECEPTION NO. 2014000091485 IN SAID COUNTY RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 290.07 FEET;
2. SOUTH 84°33'46" WEST, A DISTANCE OF 68.27 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°16'34" EAST, A DISTANCE OF 370.30 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;

THENCE TANGENT TO SAID CURVE, SOUTH 89°43'26" EAST, A DISTANCE OF 209.50 FEET TO THE **POINT OF BEGINNING**, CONTAINING AN AREA OF 4.105 ACRES, (178,794 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **MIDTOWN AT CLEAR CREEK—FILING NO. 10** AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN, FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS ____ DAY OF _____ A.D., 201__.

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME AS _____ TITLE

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

NAME AS _____ TITLE

ACKNOWLEDGEMENT

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
)SS
COUNTY OF _____)

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ A.D. 201__ BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

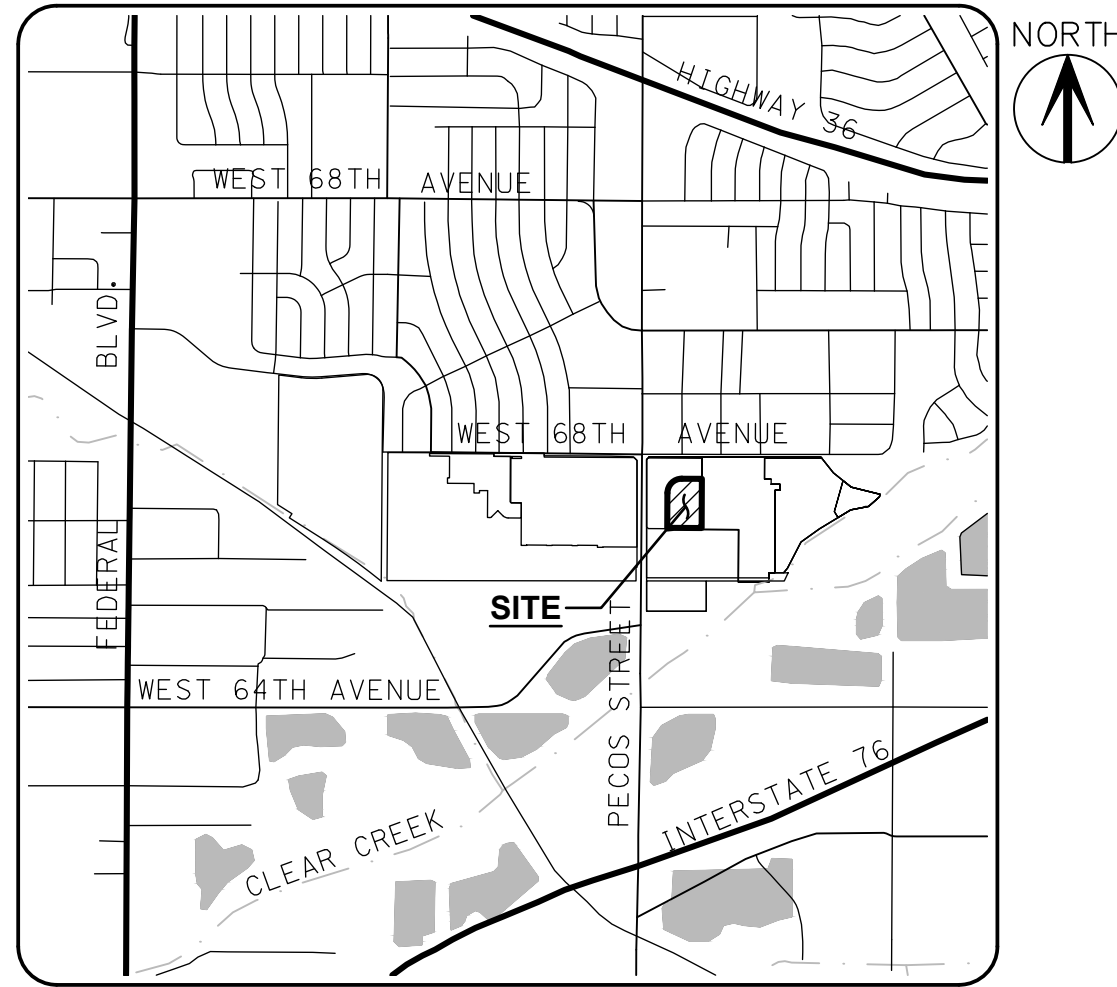
BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC

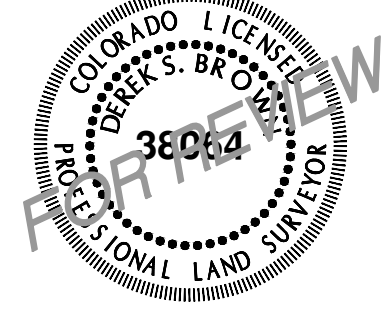


VICINITY MAP
NOT TO SCALE

TRACT SUMMARY TABLE				
TRACT	AREA (S.F.±)	AREA (A.C.±)	USE	OWNERSHIP & MAINTENANCE
A	2,624	0.060	LS/DRAINAGE/PA	CCSMD NO. 1
B	4,208	0.097	LS/DRAINAGE/PA	CCSMD NO. 1
C	6,362	0.146	LS/DRAINAGE/PA	CCSMD NO. 1
D	7,323	0.168	LS/DRAINAGE/PA/UTILITY	CCSMD NO. 1
E	24,144	0.554	PRIVATE ALLEY/ACCESS/UTILITY	CCSMD NO. 1
F	824	0.019	LS/DRAINAGE/PA	CCSMD NO. 1
TOTAL TRACT AREA	45,485	1.044	CCSMD NO. 1 - CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1	
TOTAL LOT AREA	89,679	2.059	LS/DRAINAGE/PA =	
ROW AREA	43,630	1.002	LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS	
TOTAL AREA	178,794	4.105	LS/DRAINAGE/PA /DP=	
			LANDSCAPE, DRAINAGE, PEDESTRIAN ACCESS, DETENTION POND	

SURVEYOR'S CERTIFICATE

I, DEREK S. BROWN, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.



DEREK S. BROWN
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38064
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1897

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

COMMUNITY AND ECONOMIC DEVELOPMENT REVIEW APPROVAL

APPROVED BY THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT, DEVELOPMENT REVIEW

THIS ____ DAY OF _____ A.D., 20__.

KRISTIN SULLIVAN, DEPUTY DIRECTOR

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____ A.D., 20__.

CHAIRPERSON

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____ A.D., 20__.

CHAIRPERSON

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____ M. ON THE ____ DAY OF _____ A.D., 20__.

COUNTY CLERK AND RECORDER

BY: _____ DEPUTY RECEPTION NO. _____

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.54816-49

DATE OF PREPARATION:	2016-11-07
SCALE:	N/A
SHEET	1 OF 5

MIDTOWN AT CLEAR CREEK—FILING NO. 10

CASE NO. PRC
2016-00017

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 2 OF 5

NOTES

- BEARINGS ARE BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE CENTER QUARTER CORNER OF SAID SECTION 4 BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 28664", AND AT THE CENTER-SOUTH SIXTEENTH CORNER OF SAID SECTION 4 BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX, STAMPED "PLS 23519" SAID LINE BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1324.85 FEET.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND OR WITHIN EASEMENTS OR AS DEFINED BY LICENSE AGREEMENTS PROVIDED FOR SAID STORM DRAINAGE FACILITIES, UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS THEIR SUCCESSORS OR ASSIGNS.
- ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
- AZTEC CONSULTANTS, INC. HAS RELIED UPON THE PROPERTY INFORMATION BINDER ORDER NUMBER ABC70519409 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE OCTOBER 26, 2016 AT 5:00 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.
- DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- 6-FOOT WIDE UTILITY EASEMENTS AS SHOWN HERE ON, ARE DEDICATED FOR ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. THE HOME OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE WITHIN THE EASEMENT EXCEPT THAT PORTION WITHIN THE PRIVATE ALLEY TRACT WHERE APPLICABLE. THE PRIVATE ALLEY TRACTS WILL BE MAINTAINED BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THESE UTILITY EASEMENTS ARE FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION CABLE AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS ARE HEREBY GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS AND ALLEYS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEE, MAY REMOVE INTERFERING OBJECTS AT NO COST TO GRANTEE, INCLUDING, WITHOUT LIMITATION, VEGETATION. WET UTILITIES (WATER, SANITARY SEWER, AND/OR STORM SEWER) SHALL CROSS DRY UTILITY EASEMENTS AT NEAR RIGHT ANGLES.
- THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 (CCSMD) IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN ALONG PECOS ST. WILL BE MAINTAINED BY THE CCSMD. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS, COLLECTOR STREETS AND ARTERIAL STREETS (PECOS STREET). HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
- BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 5, 2007 A PORTION OF THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS ... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD".
- SIDE YARD USE EASEMENTS ARE HEREBY GRANTED ALONG ALL COMMON SIDE LOT LINES WITHIN ALL DETACHED HOME LOTS.

SIDE YARD USE EASEMENTS OCCUR FROM FRONT PROPERTY LINE TO REAR PROPERTY LINE AND EXTEND FROM THE GRANTOR'S BUILDING FOUNDATION TO THE LOT LINE BETWEEN THE GRANTOR'S AND GRANTEE'S PARCELS, THAT SHALL BE GRANTED TO THE EASEMENT GRANTEE PER THE RESTRICTIONS OUTLINED BELOW. REFER TO DETAIL ON THIS SHEET FOR A GRAPHIC REPRESENTATION OF THE SIDE YARD USE EASEMENT.

THE FOLLOWING RESTRICTIONS APPLY TO THE SIDE YARD USE EASEMENTS:

- EASEMENT GRANTEE SHALL HAVE FULL ACCESS AND ENJOYMENT OF THE EASEMENT INCLUDING CONSTRUCTION OF IMPROVEMENTS, USE, AND MAINTENANCE OF THE SPACE INCLUDED IN THE EASEMENT. FENCES AND WALLS USED AS PRIVACY SCREENS MUST BE OUTSIDE FRONT AND REAR SETBACK. IMPROVEMENTS INCLUDING BUT NOT LIMITED TO DECKS, PATIOS, LANDSCAPING, WALLS, FENCES, RAILS, FURNITURE AND SIMILAR ELEMENTS ARE PERMITTED WITHIN THE DEFINED SIDE YARD USE EASEMENT. DECKS, PATIOS AND WALLS, OTHER THAN PRIVACY SCREENS, IN EXCESS OF 30-INCHES IN HEIGHT ARE NOT PERMITTED. ONLY LANDSCAPING, HARDSCAPE, AND IRRIGATION IMPROVEMENTS ARE PERMITTED WITHIN FRONT AND REAR SETBACKS. SIDE YARD USE EASEMENT PROCEDURES AND POLICIES SHALL BE MANAGED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. NO IMPROVEMENTS MAY BE IMPLEMENTED AT THE DETRIMENT OF THE GRANTOR'S ABILITY TO MAINTAIN THEIR HOME.
- SIDE YARD USE EASEMENTS ARE PERMITTED ON DETACHED SINGLE FAMILY LOTS ONLY.
- ALL IMPROVEMENTS BY GRANTEE LOCATED WITHIN THE SIDE YARD USE EASEMENT SHALL BE MAINTAINED BY THE EASEMENT GRANTEE.
- EASEMENT GRANTEE IS ENSURED OF ACCESS WITHIN THIS EASEMENT FOR MAINTENANCE AND REPAIR OF THE PRINCIPAL STRUCTURE LOCATED ON THE EASEMENT GRANTEE'S LOT AND FOR NO OTHER PURPOSE. THE DESIGN REVIEW COMMITTEE OF THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 APPROVES ALL PLOT PLANS BEFORE AUTHORIZING APPLICATION TO ADAMS COUNTY FOR ISSUANCE OF BUILDING PERMIT. FOR ISSUE RESOLUTION THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 IS GRANTED ACCESS INTO THIS EASEMENT.
- ALL PRINCIPAL STRUCTURES, INCLUDING GARAGES, OWNED BY EASEMENT GRANTEE SHALL BE MAINTAINED BY EASEMENT GRANTEE.
- SIDE SETBACKS MAY BE REDUCED TO NO LESS THAN 3' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPERTY LINE. WHEN REDUCED TO LESS THAN 5' AS MEASURED FROM THE FINISHED MATERIAL OF THE EXTERIOR WALL TO THE PROPERTY LINE, THE THEN CURRENT IBC AND/OR IRC CODE REQUIREMENTS AND AMENDMENTS WITHIN THE GOVERNING MUNICIPALITY WILL BE ENFORCED WITH REGARD TO EXTERIOR WALL FIRE-RESISTANT RATING AND MINIMUM FIRE-SEPARATION DISTANCE REQUIREMENTS.
- GRANTEE SHALL NOT ALTER FINISHED GRADE AND/OR DRAINAGE PATTERNS ON THE GRANTOR'S PROPERTY WITHOUT THE WRITTEN APPROVAL OF THE DESIGN REVIEW COMMITTEE.

DEFINITIONS:

EASEMENT GRANTEE: THE LOT OWNER GRANTING SIDE YARD AREA TO ADJACENT LOT OWNER FOR USE.

EASEMENT GRANTEE: THE LOT OWNER GAINING SIDE YARD AREA FROM ADJACENT LOT OWNER FOR USE.

- ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.

- ACCESS AND UTILITY EASEMENTS ARE HEREBY GRANTED BY THIS PLAT OVER AND ACROSS ALL OF TRACTS C AND E.

- THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 2017000109135.

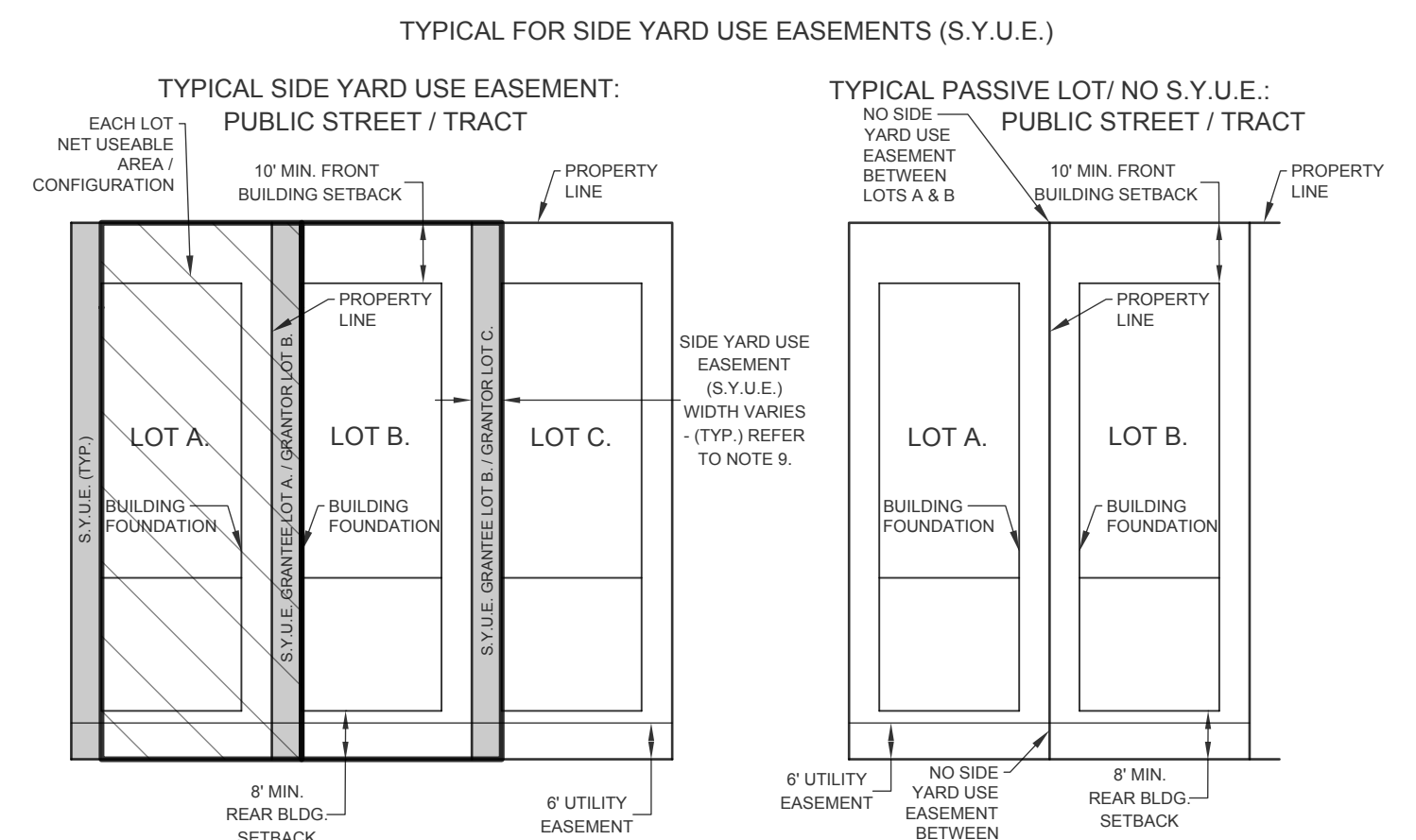
NOTES - CONTINUED

- THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO A BLANKET EASEMENT AS DESCRIBED IN GROUNDWATER EASEMENT RECORDED UNDER REC. NO. 2007000079794.

- THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO A BLANKET ACCESS EASEMENT AS DESCRIBED IN LIMITED ACCESS AGREEMENT AND EASEMENT, RECORDED UNDER REC. NO. 2007000080311 AND 2007000080312.

- THE PROPERTY DESCRIBED WITHIN THIS PLAT IS SUBJECT TO BLANKET EASEMENTS AS DESCRIBED IN DECLARATION OF EASEMENTS AND MASTER ARCHITECTURAL AND MAINTENANCE STANDARDS FOR MIDTOWN, RECORDED UNDER REC. NO. 2013000055284.

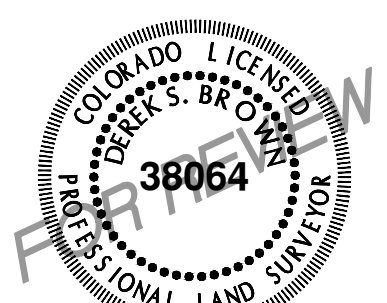
LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°16'34"W	12.70'
L2	N00°16'34"E	12.70'
L3	S89°43'26"E	3.00'
L4	S00°16'34"W	13.50'
L5	S00°16'34"W	13.50'
L6	N89°43'26"W	12.25'
L7	N00°16'34"E	13.50'
L8	S00°16'34"W	13.50'
L9	N89°43'26"W	12.25'
L10	N00°16'34"E	13.50'
L11	S00°16'34"W	13.50'
L12	N89°43'26"W	26.57'
L13	N90°00'00"W	0.50'



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	90°00'00"	20.00'	31.42'	N45°16'34"E, 28.28'
C2	90°00'00"	20.00'	31.42'	N44°43'26"W, 28.28'
C3	90°00'00"	19.98'	31.38'	N45°12'25"E, 28.25'
C4	90°00'00"	20.00'	31.42'	N44°43'26"W, 28.28'
C5	85°35'44"	19.50'	29.13'	N47°28'42"E, 26.50'
C6	90°00'00"	4.50'	7.07'	S44°43'26"E, 6.36'
C7	90°00'00"	4.50'	7.07'	N45°16'34"E, 6.36'
C8	90°00'00"	4.50'	7.07'	S44°43'26"E, 6.36'
C9	90°00'00"	4.50'	7.07'	N45°16'34"E, 6.36'
C10	90°00'00"	4.50'	7.07'	S44°43'26"E, 6.36'
C11	90°00'00"	4.50'	7.07'	N45°16'34"E, 6.36'
C12	90°00'00"	20.00'	31.42'	N44°43'26"W, 28.28'
C13	4°17'14"	20.00'	1.50'	N02°25'11"E, 1.50'

ADDRESS TABLE

BLOCK 1		BLOCK 1		BLOCK 1	
LOT	ADDRESS	LOT	ADDRESS	LOT	ADDRESS
1	1476 W 67TH PL.	16	6740 OSAGE ST.	31	1407 W 67TH AVE.
2	1466 W 67TH PL.	17	6724 OSAGE ST.	32	1411 W 67TH AVE.
3	1446 W 67TH PL.	18	6728 OSAGE ST.	33	1413 W 67TH AVE.
4	1436 W 67TH PL.	19	6730 OSAGE ST.	34	1415 W 67TH AVE.
5	6758 OSAGE ST.	20	6734 OSAGE ST.	35	1417 W 67TH AVE.
6	6762 OSAGE ST.	21	6736 OSAGE ST.	36	1419 W 67TH AVE.
7	6764 OSAGE ST.	22	6738 OSAGE ST.	37	1423 W 67TH AVE.
8	6768 OSAGE ST.	23	1493 W 67TH AVE.	38	1425 W 67TH AVE.
9	6770 OSAGE ST.	24	1481 W 67TH AVE.	39	1429 W 67TH AVE.
10	6772 OSAGE ST.	25	1473 W 67TH AVE.		
11	6754 OSAGE ST.	26	1451 W 67TH AVE.		
12	6752 OSAGE ST.	27	1443 W 67TH AVE.		
13	6748 OSAGE ST.	28	1435 W 67TH AVE.		
14	6746 OSAGE ST.	29	1401 W 67TH AVE.		
15	6742 OSAGE ST.	30	1405 W 67TH AVE.		



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.54816-49

DATE OF PREPARATION:	2016-11-07
SCALE:	N/A
SHEET 2 OF 5	

(BASIS OF BEARINGS)

S00°00'15"W 1324.85'

WEST LINE NW 1/4 SE 1/4 SEC 4

PECOS STREET
(VARIABLE WIDTH PUBLIC ROW)

RECOVERED NO. 6 REBAR
WITH 3-1/4" ALUMINUM CAP
STAMPED "PLS 28664"
IN A MONUMENT BOX

NW 1/4
SE 1/4 SEC. 4
T3S, R68W, 6TH PM

UNPLATTED

C-S 1/16 CORNER SECTION 4
RECOVERED NO. 6 REBAR
WITH 3-1/4" ALUMINUM CAP
STAMPED "PLS 23519"
IN A MONUMENT BOX

S84°33'46"W
68.27'

N00°16'34"E 370.30'

OSAGE STREET

$\Delta=90^{\circ}00'00''$
 $R=148.50'$ L&L

WEST 67TH P

TRACT A
1 2 3 4

5 6 7 8 9 10

TRACT C

16 15 14 13 12 11

17 18 19 20 21 22

TRACT D



TRACT E

23 24 25 26 27 28

N89°43'26"W 290.07'

WEST 67TH AVENUE
(VARIABLE WIDTH PUBLIC ROW)
REC. NO. 2014000091485

17

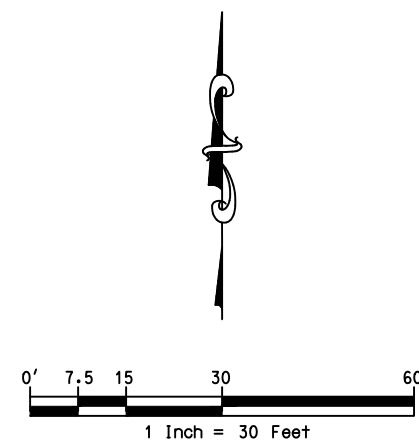
18 19
MIDTOWN
CREEK-F.
REC. NO. 20

MIDTOWN AT CLEAR CREEK—FILING NO. 10

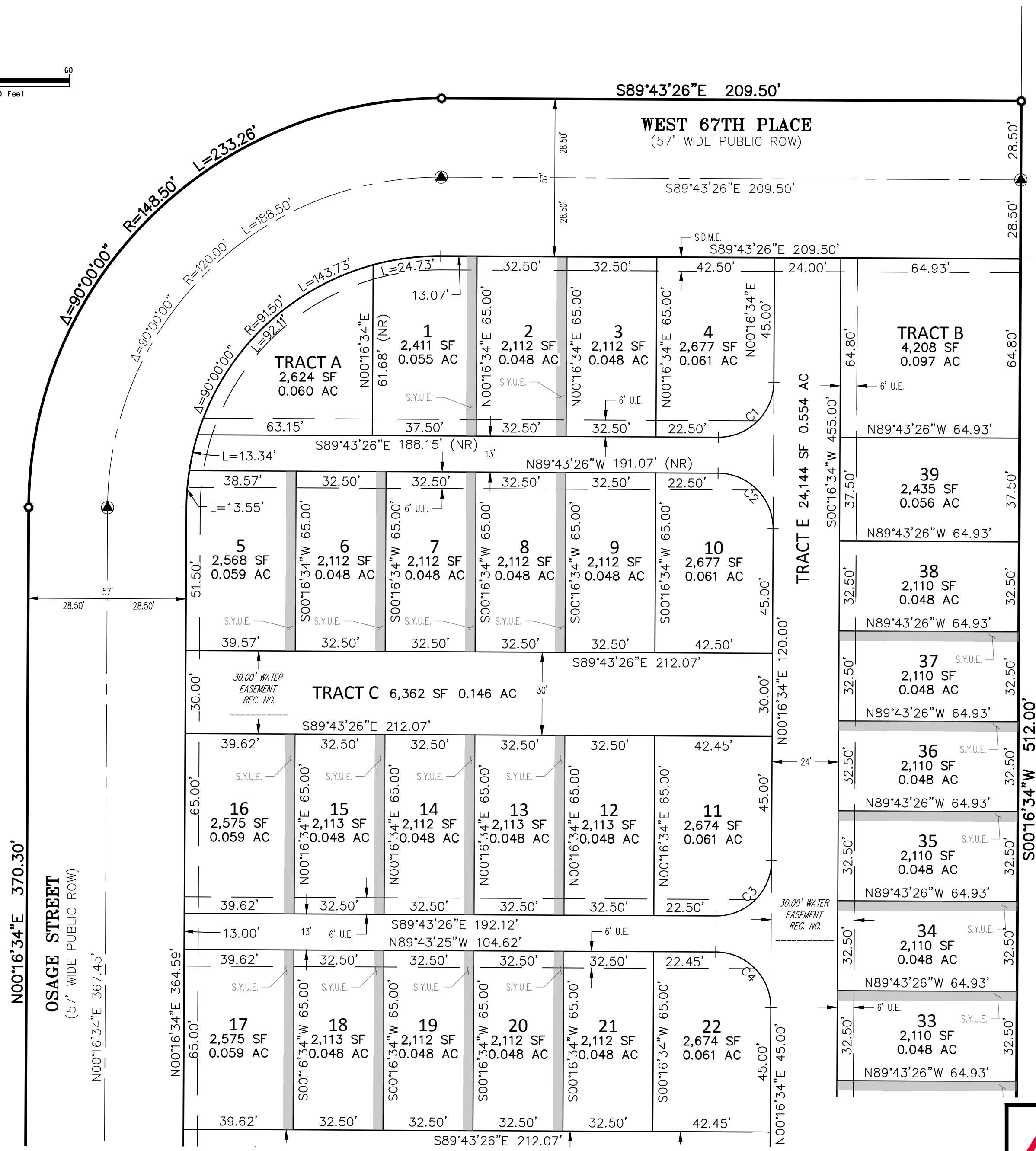
CASE NO. PRC
2016-00017

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SHEET 4 OF 5



UNPLATTED



NAVAJO ST.
(57' WIDE PUBLIC ROW)
REC. NO. 2016000009355

BLOCK 1
MIDTOWN AT CLEAR
CREEK—FILING NO. 7
REC. NO. 2016000009355

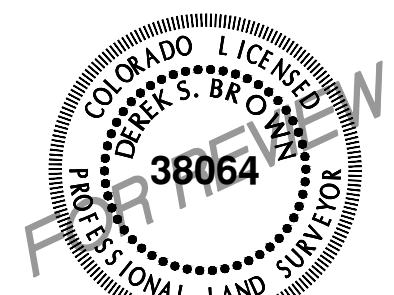
WEST 67TH PLACE
(57' WIDE PUBLIC ROW)
REC. NO. 2016000009355

- LEGEND**
- SET NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
 - DENOTES CENTER LINE CONTROL MONUMENTS TO BE SET AS A REQUIREMENT FOR FINAL ACCEPTANCE OF ROADWAY BY ADAMS COUNTY. RESPONSIBILITY TO ARRANGE SETTING OF CENTER LINE CONTROL MONUMENT RESTS WITH MIDTOWN, LLC OR ITS SUCCESSOR OR ASSIGN.
 - U.E. UTILITY EASEMENT
 - S.D.M.E. 5' WIDE SIDEWALK & DRAINAGE MAINTENANCE EASEMENT
 - S.Y.U.E. SIDE YARD USE EASEMENT (SEE SHEET 2)
 - ROW RIGHT-OF-WAY

SEE SHEET 2 FOR LINE AND CURVE TABLES

NW 1/4
SE 1/4 SEC. 4
T3S, R68W, 6TH PM

TRACT E
MIDTOWN AT CLEAR
CREEK—FILING NO. 7
REC. NO. 2016000009355



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

SEE SHEET 5

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No. 54816-49

DATE OF PREPARATION:	2016-11-07
SCALE:	1"=30'
SHEET 4 OF 5	

MIDTOWN AT CLEAR CREEK—FILING NO. 10

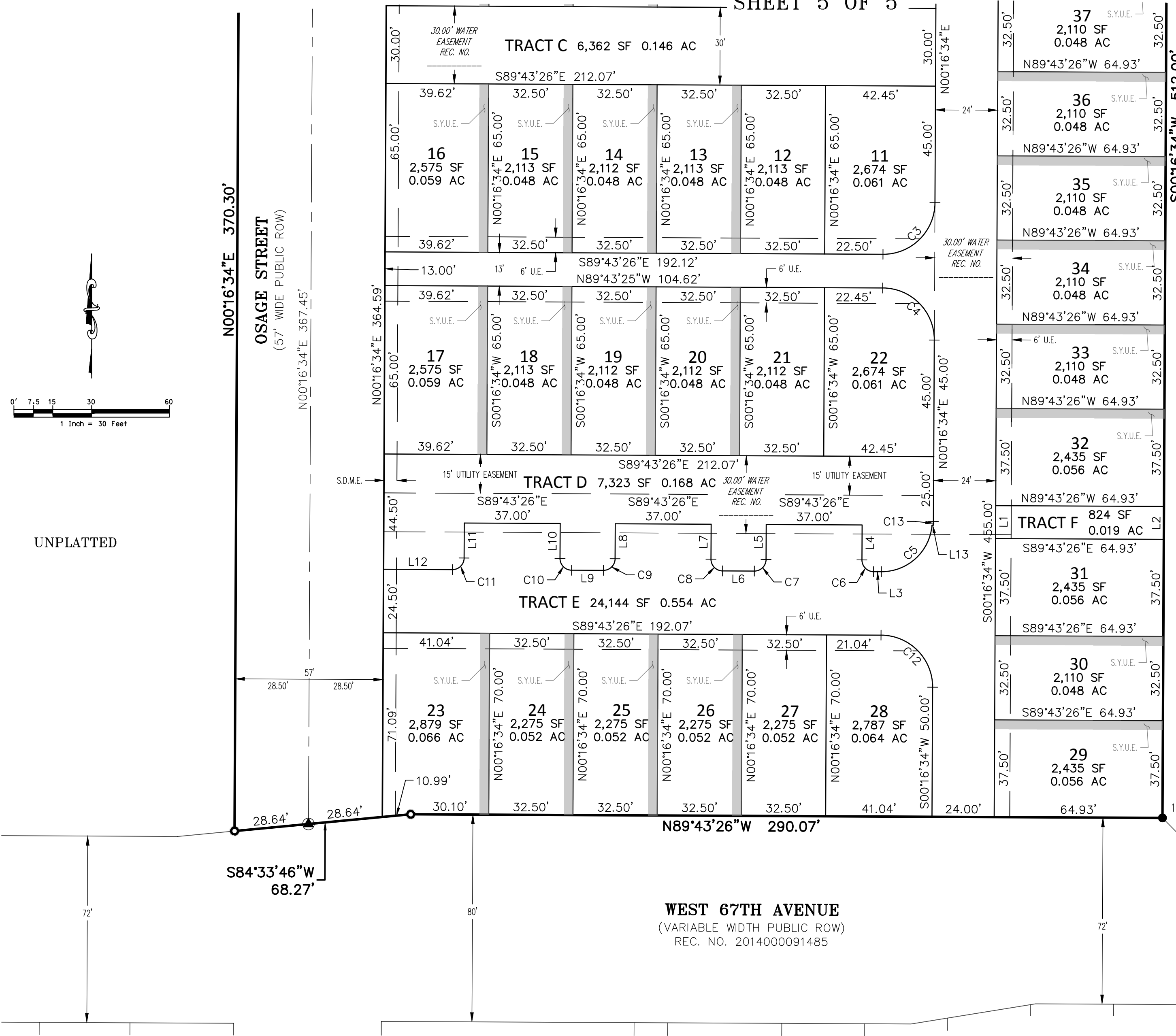
CASE NO. PRC
2016-00017

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 SECTION 4,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

SEE SHEET 4

SEE SHEET 4

SHEET 5 OF 5



TRACT E
MIDTOWN AT CLEAR
CREEK—FILING NO. 7
REC. NO. 2016000009355

NW 1/4
SE 1/4 SEC. 4
T3S, R68W, 6TH PM

LEGEND

- SET NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- RECOVERED NO. 5 REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38064"
- ⊙ DENOTES CENTER LINE CONTROL MONUMENTS TO BE SET AS A REQUIREMENT FOR FINAL ACCEPTANCE OF ROADWAY BY ADAMS COUNTY. RESPONSIBILITY TO ARRANGE SETTING OF CENTER LINE CONTROL MONUMENT RESTS WITH MIDTOWN, LLC OR ITS SUCCESSOR OR ASSIGN.
- U.E. UTILITY EASEMENT
- S.D.M.E. 5' WIDE SIDEWALK & DRAINAGE MAINTENANCE EASEMENT
- S.Y.U.E. SIDE YARD USE EASEMENT (SEE SHEET 2)
- ROW RIGHT-OF-WAY

SEE SHEET 2 FOR LINE AND CURVE TABLES



FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC

AZTEC CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No. 54816-49

DATE OF PREPARATION:	2016-11-07
SCALE:	1"=30'
SHEET 5 OF 5	

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK FILING 10**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner or contract purchaser of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within the "construction completion date," which is December 31, 2019. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$475,643.22, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners, and until the final plat has been approved and the improvements described as "Phase One" in Exhibit "B" have been preliminarily accepted by the Department of Public Works. No certificates of occupancy shall be issued until the improvements described as "Phase Two" in Exhibit "B" have been preliminarily accepted by the Department of Public Works.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or

other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.

7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. Improvements.

Public Improvements:

Osage Street, West 67th Place and County of Adams storm sewer. See Exhibit "B" for description, estimated quantities and estimated construction costs.

Private Improvements:

All other improvements set forth on Exhibit "B" not indicated as "public improvements" above.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and not later than the "construction completion date," which is December 31, 2019.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement and the final plat for the development known as Midtown at Clear Creek Filing No. 10 by the Board of County Commissioners, the Developer hereby agrees to convey by final plat or special warranty deed to the County of Adams the following described land for right-of-way purposes:

Osage Street and West 67th Place.

9. **Superseding Effect.** This Agreement supersedes and replaces in its entirety that certain Subdivision Improvements Agreement for Midtown at Clear Creek Filing 10 between the Developer and the County approved by resolution of the Board of County Commissioners at the meeting of October 24, 2017, recorded at Reception No. 2017000101398, and such agreement is hereby terminated and of no further force or effect.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____

By: _____

Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____,
20__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK FILING NO. 10

MIDTOWN AT CLEAR CREEK – FILING NO. 10

LEGAL DESCRIPTION

A PART OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE CENTER-SOUTH CORNER OF SAID SECTION 4 BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1,324.85 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THENCE SOUTH 67°17'53" EAST, A DISTANCE OF 677.99 FEET TO THE WESTERLY BOUNDARY OF MIDTOWN AT CLEAR CREEK – FILING NO. 7 PLAT AS RECORDED UNDER RECEPTION NO. 2016000009355 IN SAID COUNTY RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°16'34" WEST, A DISTANCE OF 512.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS SHOWN ON AND DEDICATED BY MIDTOWN AT CLEAR CREEK – FILING NO. 5 PLAT AS RECORDED UNDER RECEPTION NO. 2014000091485 IN SAID COUNTY RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 290.07 FEET;
2. SOUTH 84°33'46" WEST, A DISTANCE OF 68.27 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°16'34" EAST, A DISTANCE OF 370.30 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;

THENCE TANGENT TO SAID CURVE, SOUTH 89°43'26" EAST, A DISTANCE OF 209.50 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 4.105 ACRES, (178,794 SQUARE FEET), MORE OR LESS.

EXHIBIT "B"

Midtown Filing 10 (Osage Street)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.17

Grading		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		4,535	CY	\$2.35	\$10,657.25
Grading Subtotal					\$10,657.25

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
18" RCP (0-8' depth)	603-01180	305	LF	\$74.58	\$22,746.90
24" RCP (0-8' depth)	603-01240	18	LF	\$106.63	\$1,919.34
30" RCP (0-8' depth)	603-01300	70	LF	\$122.00	\$8,540.00
36" RCP (0-8' depth)	603-01360	32	LF	\$139.21	\$4,454.72
5' Dia. Manhole	604-30010	4	EA	\$5,316.46	\$21,265.84
10' Type 'R' Inlet	604-19110	1	EA	\$9,714.00	\$9,714.00
15' Type 'R' Inlet		1	EA	\$15,000.00	\$15,000.00
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$86,640.80

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach		3	EA	\$2,000.00	\$6,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	1,140	LF	\$24.18	\$27,565.20
8' Concrete Crosspan (Pavement)	412-00800	28	SY	\$80.00	\$2,275.56
Curb Return w/ Handicap Ramp (15' Radius)	608-00010	2	EA	\$1,750.00	\$3,500.00
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Paving					
Subgrade Prep	306-01000	2,391	SY	\$2.11	\$5,045.71
Aggregate Basecourse (5" Class 6 Road Base)	202-00037	2,391	SY	\$8.00	\$19,130.67
Asphalt (Full depth - 6" section)	202-00037	1,948	SY	\$21.00	\$40,908.00
Adjust Manhole to Grade	210-04010	10	EA	\$825.65	\$8,256.50
Adjust Valves to Grade	210-04050	2	EA	\$416.37	\$832.74
Sweep Streets	637-00100	1,948	SY	\$0.60	\$1,168.80
Signage and Striping					
Street Signs		7	EA	\$1,500.00	\$10,500.00
Dry Utilities					
Street Light (Local)		3	EA	\$12,000.00	\$36,000.00
Street Subtotal					\$163,970.48

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Remove and Replace Asphalt (6" Section)	202-00220	78	SY	\$42.00	\$3,276.00
Demolition Subtotal					\$6,063.30

Osage St. - Phase One Improvements Total \$267,331.83

Midtown Filing 10 (W 67th Place)

Phase One Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.17

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	478	LF	\$24.18	\$11,558.04
Paving					
Subgrade Prep	306-01000	1,008	SY	\$2.11	\$2,127.58
Aggregate Basecourse (5" Class 6 Road Base)	202-00037	1,008	SY	\$8.00	\$8,066.67
Asphalt (Full depth - 6" section)	202-00037	823	SY	\$21.00	\$17,276.00
Adjust Valves to Grade	210-04050	2	EA	\$416.37	\$832.74
Sweep Streets	637-00100	823	SY	\$0.60	\$493.60
Signage and Striping					
Street Signs		4	EA	\$1,500.00	\$6,000.00
Dry Utilities					
Street Light (Local)		1	EA	\$12,000.00	\$12,000.00
				Street Subtotal	\$58,354.63
				W. 67th Pl. - Phase One Improvements Total	\$58,354.63

Midtown Filing 10 (Summary)

Phase One Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.17

Grading	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		4,535	CY	\$2.35	\$10,657.25
Grading Subtotal					\$10,657.25
Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
18" RCP (0-8' depth)	603-01180	305	LF	\$74.58	\$22,746.90
24" RCP (0-8' depth)	603-01240	18	LF	\$106.63	\$1,919.34
30" RCP (0-8' depth)	603-01300	70	LF	\$122.00	\$8,540.00
36" RCP (0-8' depth)	603-01360	32	LF	\$139.21	\$4,454.72
5' Dia. Manhole	604-30010	4	EA	\$5,316.46	\$21,265.84
10' Type 'R' Inlet	604-19110	1	EA	\$9,714.00	\$9,714.00
15' Type 'R' Inlet		1	EA	\$15,000.00	\$15,000.00
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$86,640.80
Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Alley Curb Cut / Approach		3	EA	\$2,000.00	\$6,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	1,618	LF	\$24.18	\$39,123.24
8' Concrete Crossspan (Pavement)	412-00800	28	SY	\$80.00	\$2,275.56
Curb Return w/ Handicap Ramp (15' Radius)	608-00010	2	EA	\$1,750.00	\$3,500.00
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Paving					
Subgrade Prep	306-01000	3,400	SY	\$2.11	\$7,173.30
Aggregate Basecourse (5" Class 6 Road Base)	202-00037	3,400	SY	\$8.00	\$27,197.33
Asphalt (Full depth - 6" section)	202-00037	2,771	SY	\$21.00	\$58,184.00
Adjust Manhole to Grade	210-04010	10	EA	\$825.65	\$8,256.50
Adjust Valves to Grade	210-04050	4	EA	\$416.37	\$1,665.48
Sweep Streets	637-00100	2,771	SY	\$0.60	\$1,662.40
Signage and Striping					
Street Signs		11	EA	\$1,500.00	\$16,500.00
Dry Utilities					
Street Light (Local)		4	EA	\$12,000.00	\$48,000.00
Street Subtotal					\$222,325.11
Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Remove and Replace Asphalt (6" Section)	202-00220	78	SY	\$42.00	\$3,276.00
Demolition Subtotal					\$6,063.30
Summary - Phase One Improvements Subtotal					\$325,686.46
Additional 20% Administration					\$65,137.29
5% Inflation per Year					\$19,541.19
5% Inflation per Year Two					\$20,518.25
Phase One Improvements Total					\$430,883.18

Midtown Filing 10 (Osage Street)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.17

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	271	SY	\$2.11	\$571.81
5' Concrete Walk (6" Thick)	608-00006	2,435	SF	\$5.20	\$12,662.00
				Street Subtotal	\$13,233.81
				Osage St. - Phase Two Improvements Total	\$13,233.81

Midtown Filing 10 (W. 67th Place)

Phase Two Improvements

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.17

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	131	SY	\$2.11	\$276.41
5' Concrete Walk (6" Thick)	608-00006	1,175	SF	\$5.20	\$6,110.00
				Street Subtotal	\$6,386.41
				W. 67th Pl. - Phase Two Improvements Total	\$6,386.41

Midtown Filing 10 (W. 67th Avenue)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.17

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	291	SY	\$2.11	\$614.01
5' Concrete Walk (6" Thick)	608-00006	2,615	SF	\$5.20	\$13,598.00
				Street Subtotal	\$14,212.01
				W 67TH Ave. - Phase Two Improvements Total	\$14,212.01

Midtown Filing 10 (Summary)

Phase Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.17

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	693	SY	\$2.11	\$1,462.23
5' Concrete Walk (6" Thick)	608-00006	6,225	SF	\$5.20	\$32,370.00
				Street Subtotal	\$33,832.23
				Summary - Phase Two Improvements Subtotal	\$33,832.23
				Additional 20% Administration	\$6,766.45
				5% Inflation per Year	\$2,029.93
				5% Inflation per Year Two	\$2,131.43
				Phase Two Improvements Total	\$44,760.04

Midtown Filing 10 (Summary)
Phase One & Two Improvements
Opinion of Probable Cost Estimate
 Date: 10/06/2017
 JN: 10015.17

	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Grading					
Cut to Fill		4,535	CY	\$2.35	\$10,657.25
Grading Subtotal					\$10,657.25
Storm Sewer					
18" RCP (0-8' depth)	603-01180	305	LF	\$74.58	\$22,746.90
24" RCP (0-8' depth)	603-01240	18	LF	\$106.63	\$1,919.34
30" RCP (0-8' depth)	603-01300	70	LF	\$122.00	\$8,540.00
36" RCP (0-8' depth)	603-01360	32	LF	\$139.21	\$4,454.72
5' Dia. Manhole	604-30010	4	EA	\$5,316.46	\$21,265.84
10' Type 'R' Inlet	604-19110	1	EA	\$9,714.00	\$9,714.00
15' Type 'R' Inlet		1	EA	\$15,000.00	\$15,000.00
Connect to Existing		1	EA	\$3,000.00	\$3,000.00
Storm Sewer Subtotal					\$86,640.80
Street Improvements					
Concrete					
Alley Curb Cut / Approach		3	EA	\$2,000.00	\$6,000.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	1,618	LF	\$24.18	\$39,123.24
8' Concrete Crossspan (Pavement)	412-00800	28	SY	\$80.00	\$2,275.56
Subgrade Prep - Concrete Walk	306-01000	693	SY	\$2.11	\$1,462.23
5' Concrete Walk (6" Thick)	608-00006	6,225	SF	\$5.20	\$32,370.00
Curb Return w/ Handicap Ramp (15' Radius)	608-00010	2	EA	\$1,750.00	\$3,500.00
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Paving					
Subgrade Prep	306-01000	3,400	SY	\$2.11	\$7,173.30
Aggregate Basecourse (5" Class 6 Road Base)	202-00037	3,400	SY	\$8.00	\$27,197.33
Asphalt (Full depth - 6" section)	202-00037	2,771	SY	\$21.00	\$58,184.00
Adjust Manhole to Grade	210-04010	10	EA	\$825.65	\$8,256.50
Adjust Valves to Grade	210-04050	4	EA	\$416.37	\$1,665.48
Sweep Streets	637-00100	2,771	SY	\$0.60	\$1,662.40
Signage and Striping					
Street Signs		11	EA	\$1,500.00	\$16,500.00
Dry Utilities					
Street Light (Local)		4	EA	\$12,000.00	\$48,000.00
Street Subtotal					\$256,157.34
Demolition					
Remove Curb and Gutter	202-00203	90	LF	\$30.97	\$2,787.30
Remove and Replace Asphalt (6" Section)	202-00220	78	SY	\$42.00	\$3,276.00
Demolition Subtotal					\$6,063.30
Summary - Subtotal					\$359,518.69
Additional 20% Administration					\$71,903.74
5% Inflation per Year					\$21,571.12
5% Inflation per Year Two					\$22,649.68
Total					\$475,643.22

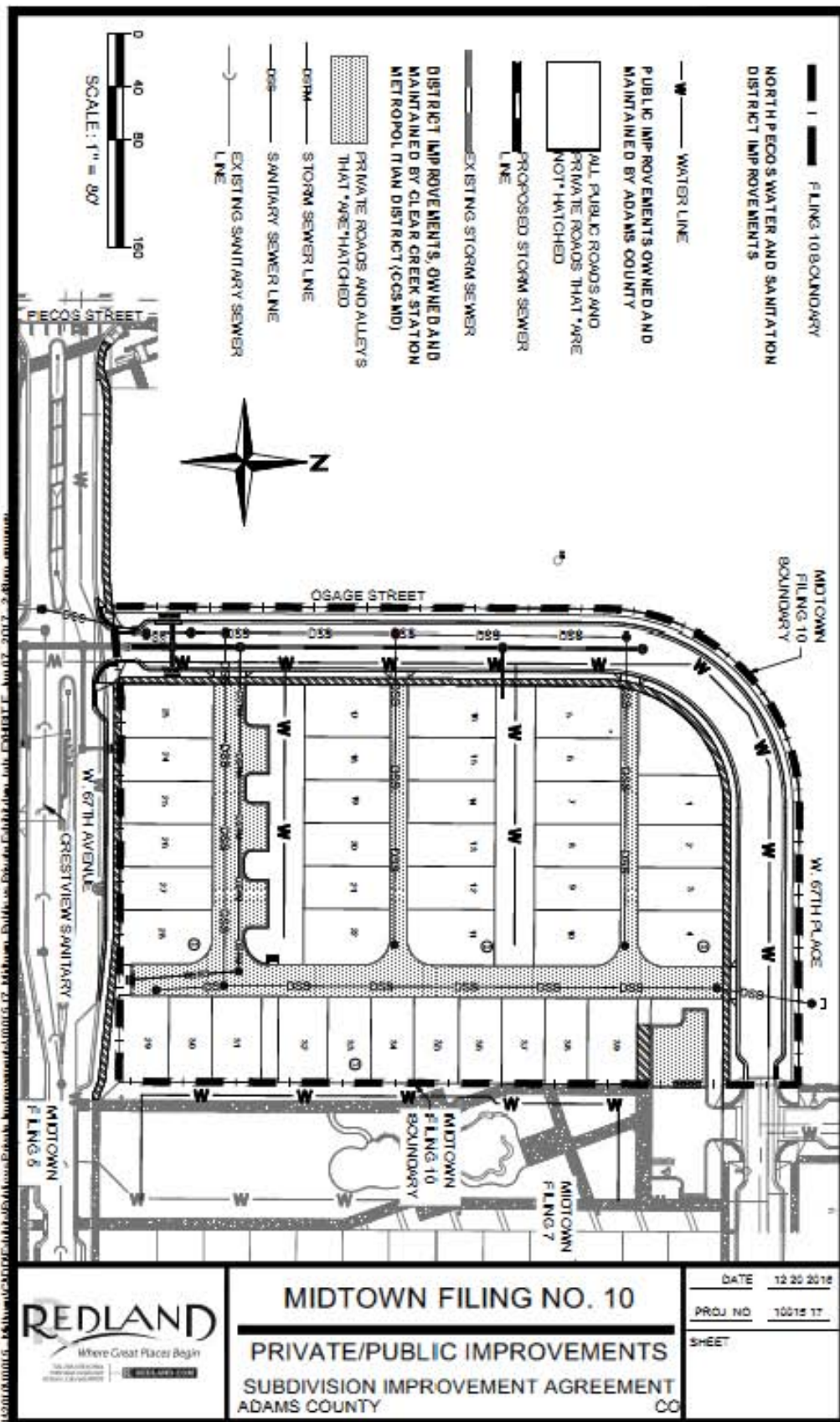




Exhibit 3.9





MIDTOWN AT CLEAR CREEK SCHOOL SITE CONCEPTUAL SITE PLAN

LEGEND	
I.D.	TYPE
	MAPLETON SCHOOL SITE
	LIMIT OF WORK IN THIS FDP

DEVELOPER: **Brookfield Residential**
 LANDSCAPE ARCHITECT: **NORRIS DESIGN**
 CIVIL ENGINEER: **REDLAND**
Where Great Places Begin
 220 283 5183 Office
 1900 West Cavel Court
 Littleton, Colorado 80120
 REDLAND.COM

midtown

MIDTOWN AT CLEAR CREEK SCHOOL SITE CONCEPTUAL SITE PLAN
 SEPTEMBER 18, 2017


 NORTH
 AT A 24" X 36" SHEET SIZE

 SCALE 1"=30'
 NOTE: PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.

MIDTOWN

AT CLEAR CREEK
IN THE COUNTY OF ADAMS, COLORADO

PLANNED UNIT DEVELOPMENT - FINAL DEVELOPMENT PLAN MIDTOWN AT CLEAR CREEK SCHOOL SITE

Case Number: PRC2017-00002

Sheet Title

COVER
SHEET

Sheet Number
1 OF 6

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
1000 S. Colorado Blvd., Suite 1000
Denver, CO 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Project Possibilities
1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

LAND OWNERS	APPLICANT	PREPARERS	PREPARERS
Midtown, LLC. 6465 S. Greenwood Plaza Blvd. Suite 700 Centennial, CO 80111 Contact: Chris Petro 303-706-9451	Midtown, LLC. 6465 S. Greenwood Plaza Blvd. Suite 700 Centennial, CO 80111 Contact: Chris Petro 303-706-9451	ENGINEER: Redland 1500 West Canal Court, Littleton, CO 80120 Contact: Mike Pietschmann 720-283-6783	LANDSCAPE ARCHITECT: Norris Design 1101 Bannock Street Denver, CO 80204 Contact: Eva Mather / John Norris 303-892-1166

CERTIFICATE OF OWNERSHIP

Midtown, LLC, being the owner of Midtown at Clear Creek, located in the County of Adams, State of Colorado, hereby submit this Planned Unit Development - Final Development Plan and agrees to perform under the terms noted hereon.

OWNER: _____

State: _____

County: _____

City: _____

The forgoing instrument was acknowledged before me this _____ day of _____ 20____.

Notary Public _____

My commission expires: _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of Commissioners this _____ day of _____ 20____.

Eva J. Henry, Chair

CERTIFICATE OF THE CLERK AND RECORDER

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____ 20____.

County Clerk and Recorder

By Deputy: _____

The Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado on the day of _____ 20____ File No. _____, Map No. _____, Reception No. _____.

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

STAFF REVIEW

Approved as to form by:

Director of Community & Economic Development

County Attorney

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF ZUNI STREET AS SHOWN ON THE PLAT OF SUNDSTRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND AS DESCRIBED IN DEED RECORDED IN BOOK 856 AT PAGE 61, IN SAID RECORDS AND WEST 67TH PLACE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5 AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 433.34 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET TO THE WESTERLY RIGHT-OF-WAY OF MORRISON DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;
2. SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY AS SHOWN ON SAID PLATS OF MIDTOWN AT CLEAR CREEK-FILING NO. S 2 AND 4, NORTH 89°43'26" WEST, A DISTANCE OF 238.75 FEET TO THE NORTHERLY EXTENSION OF THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID NORTHERLY EXTENSION AND THE WESTERLY RIGHT-OF-WAY, SOUTH 00°16'34" WEST, A DISTANCE OF 132.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 404.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, SOUTH 00°26'28" WEST, A DISTANCE OF 10.00 FEET;

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 60.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF ZUNI STREET AS SHOWN ON SAID PLAT OF SUNDSTRAND SUBDIVISION;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 368.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 60.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 26.00 FEET TO THE **POINT OF BEGINNING**;

CONTAINING AN AREA OF 5.320 ACRES, (231,755 SQUARE FEET), MORE OR LESS.

VICINITY MAP



SHEET INDEX - FDP

- SHEET 1: COVER SHEET
- SHEET 2: WRITTEN NARRATIVE
- SHEET 3: SITE PLAN
- SHEET 4: LANDSCAPE SITE PLAN
- SHEET 5: DETAILS
- SHEET 6: DETAILS

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
MIDTOWN AT CLEAR CREEK SCHOOL SITE
 ADAMS COUNTY, COLORADO

Issue Date

3 / 24 / 2017

Revision Date

6 / 16 / 2017

9 / 19 / 2017

10 / XX / 2017

File Number: _____

Map Number: _____

Reception Number: _____

NOT FOR
CONSTRUCTION

NARRATIVE

A. Explanation of the Characteristics of the PUD

The Midtown at Clear Creek School Site Final Development Plan (FDP) area is comprised of approximately 5.32 acres. The intent of the Midtown at Clear Creek School Site FDP is to entitle the school site and dedicate the land to fulfill the Public Land Dedication requirements to Mapleton School District.

This FDP is located on the west side of Pecos Street, south of W. 68th Avenue, west of Morrison Drive. Primary access to this FDP area is on W. 68th Avenue, W. 67th Place, Fern Drive, Morrison Drive, and Zuni Street. The Midtown at Clear Creek School Site area is an extension of the established block structure, vehicular circulation and landscape treatment approved and constructed in Phase One, Filing Two, Filing Three, Filing Four, Filing Five, Filing Seven, Filing Eight, and proposed Filing Six, Filing Nine, and Filing Ten.

B. Potential Impact or Proposed Mitigation on the Surrounding Area

This FDP is generally consistent with the approved Second Amendment to the Preliminary Development Plan. The complete Midtown at Clear Creek PUD is comprised of approximately 181.8 acres. Incorporated into the overall community vision is a local commercial / mixed-use area, a variety of residential home types and a system of open space, parks and trails. As future transit / rail opportunities are implemented by RTD and the FasTracks programs, the community will have even more convenient access to major transportation corridors in the Denver Metro Area.

C. Contemplated Intensity and Density of Land Use

The school site is anticipated to include a school and affiliated uses. The school site will not revert to residential uses in the future, and the 5 acres will be maintained as a school site and/or parks and open space only.

D. Provisions for Parking

On-street parking is permitted on the private and local streets in this FDP.

E. Circulation and Road Patterns

To help ensure a pedestrian-friendly environment, the planned circulation patterns allow for distribution and disbursement of internal traffic through the development. The vehicular road pattern for the Midtown community will integrate the existing and proposed roadway systems. A signalized intersection at West 67th Avenue (when warrants are met) is planned to move motorists through the central West 67th Avenue corridor and away from the existing neighborhood and 68th Avenue. All streets meet the standards included in Second Amendment to the Preliminary Development Plan.

F. Ownership and Maintenance of Common Areas

Maintenance of the landscape within the tree lawn for W. 68th Avenue, W. 67th Place, Morrison Drive, and Fern Drive adjacent to the school site will be the responsibility of the Metro District. Maintenance of the sidewalks from W. 68th Avenue, W. 67th Place, Morrison Drive, and Fern Drive will be the responsibility of the School, including snow removal for pedestrian access. The County, its successor or assigns shall be responsible for maintaining all local streets, collector streets, and arterial streets (Pecos Street) after dedication, construction, and acceptance has been granted. The land owner abutting a constructed public or private right-of-way is responsible for maintenance of curb, gutter, and sidewalk along the right-of-way abutting his property including snow removal for pedestrian access.

G. Type, Location, Examples of Copy and Construction of Signs

Entry Monuments at Midtown are located at key intersections and crossings. This FDP does not include any new entry monumentation. A future school site plan may include signage and/or monumentation.

H. Type and Allocation of All Uses Including Permitted Uses, Uses Permitted After Amendment to the PUD and Prohibited Uses

The design intent for Midtown at Clear Creek is to create a mixed use infill community that includes a variety of home types. This FDP area includes a parcel for a future school. This FDP also includes landscaped tree lawns which may be modified with construction of the school.

I. Location and Types of Landscaping and Maintenance Provisions

The approved Midtown at Clear Creek PUD includes a variety of parks and open spaces strategically located throughout the community. This FDP includes streetscape landscape improvements. Tree lawns included in this FDP will be installed and maintained by CCSMD.

J. Utilization and Location of any Outdoor Signage

All proposed marketing / temporary signage will be submitted for approval and meet County signage standards and ordinances.

K. Utility Services

Crestview Water and Sanitation District have indicated they have adequate capability to serve this property with both water and sanitary sewer. Xcel Energy will provide gas and electric services to the property. Appropriate easements for associated improvements and utility lines are included on the Midtown at Clear Creek School Site Final Plat.

Additional utility easements shall be dedicated separately by the Mapleton School District with construction of the school site.

L. Estimated Time Table for Development

The estimated length of time for build-out of the Midtown at Clear Creek School Site FDP area is one (1) year, beginning Summer/Fall 2017. The timetable for a potential school site development plan and school construction is not known at this time.

M. Any other Pertinent Factors Concerning the Development

Southwest Adams County Fire District will service Midtown property west of Pecos Street, including the Midtown at Clear Creek School Site FDP area. Refer to the Midtown at Clear Creek School Site plat notes for any other development factors pertinent to Midtown at Clear Creek School Site.

N. Staging:

The school is planned to be constructed in two (2) stages.

- 1.1. The first stage is 68th street improvements and infrastructure to back of street curb.
- 1.2. The second stage includes tree lawn and sidewalk improvements. These improvements will be installed with the construction of the school facility and are subject to change with the school site plan.

Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
1000 West Colfax Street
Denver, CO 80202

NORRIS DESIGN
Planning | Landscape Architecture | Project Procedures

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
MIDTOWN AT CLEAR CREEK SCHOOL SITE
ADAMS COUNTY COLORADO

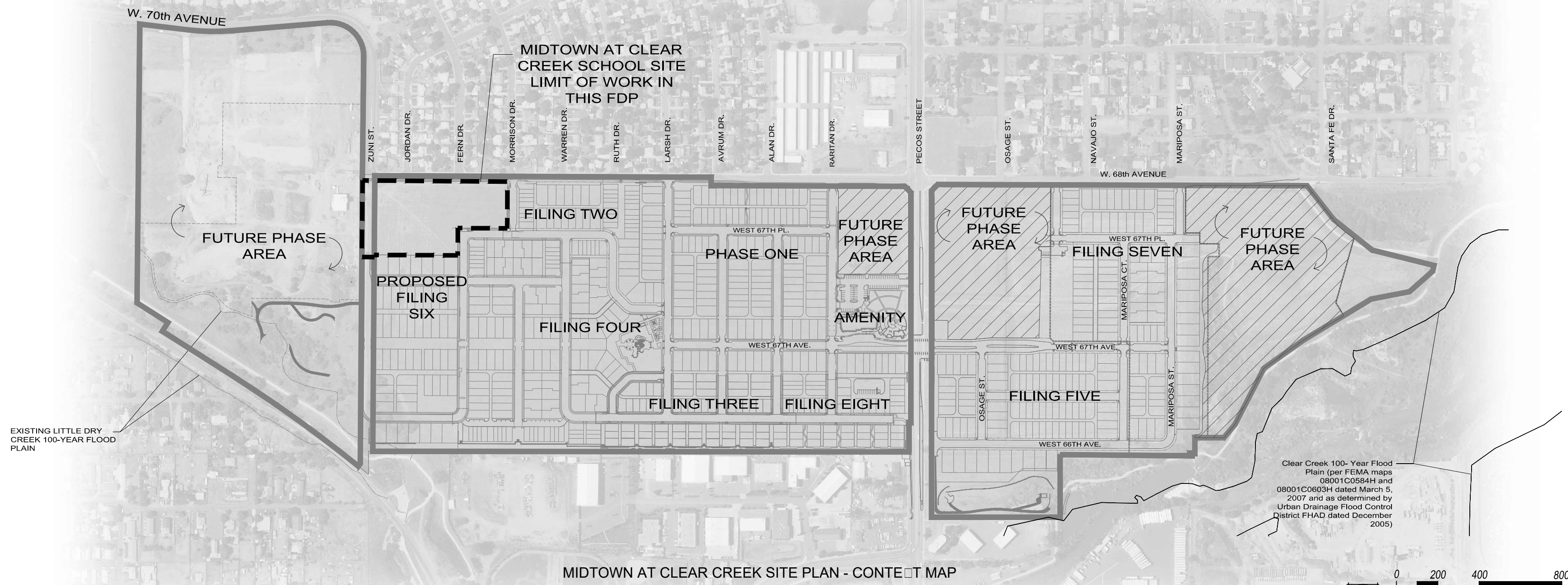
Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin
1000 West Colfax Street
Denver, Colorado 80202
www.redland.com

NORRIS DESIGN
Planning | Landscape Architecture | Project Procedures

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
MIDTOWN AT CLEAR CREEK SCHOOL SITE
ADAMS COUNTY, COLORADO



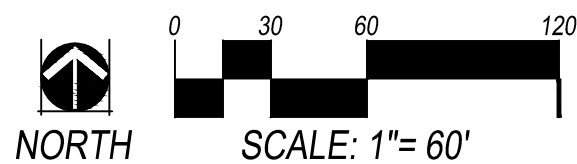
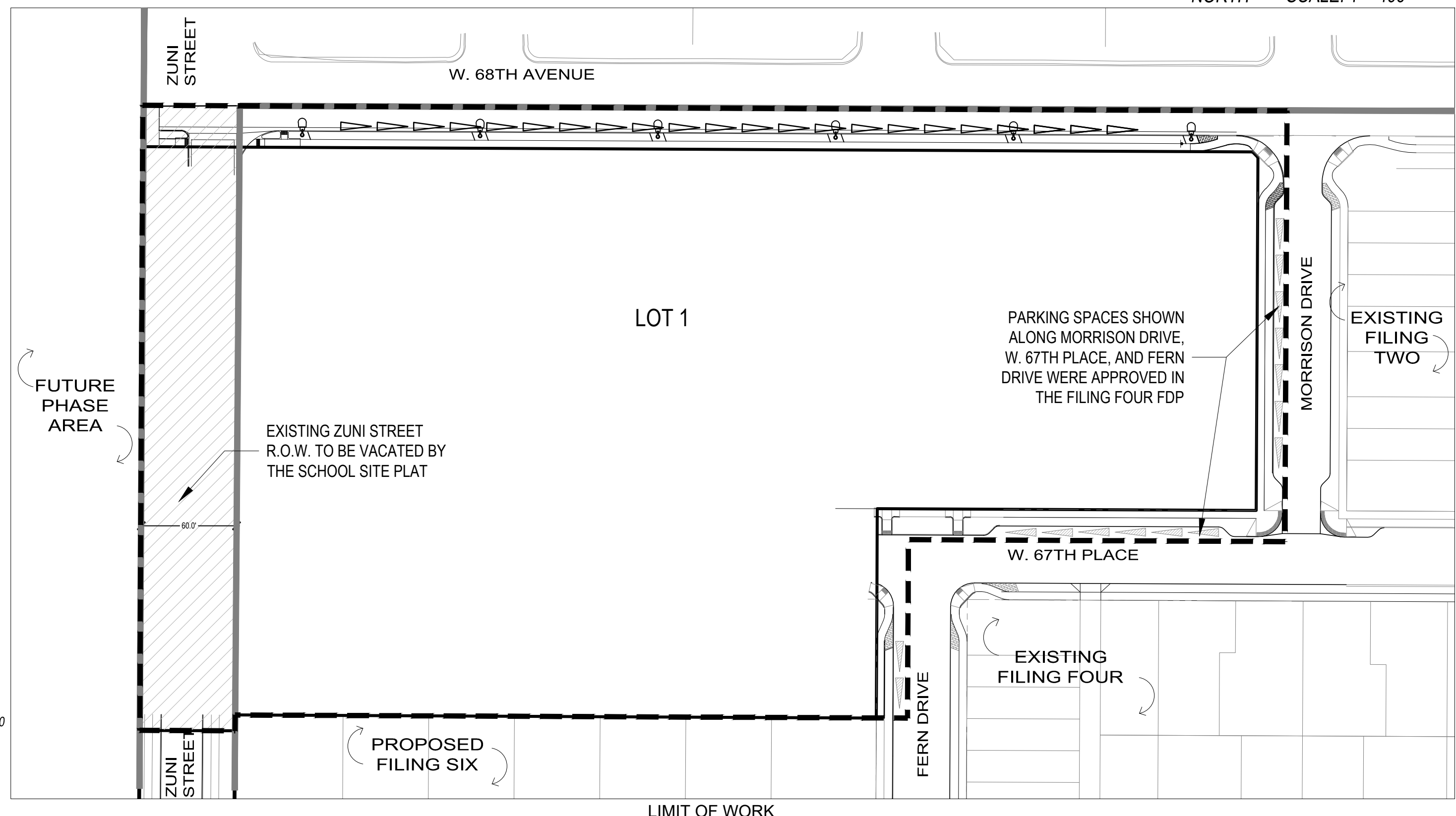
MIDTOWN AT CLEAR CREEK SITE PLAN - CONCEPT MAP

LEGEND

- MIDTOWN PROPERTY BOUNDARY
- LIMIT OF WORK IN THIS FDP

DEVELOPMENT AREA

FILING 1	5.32 ACRES	
TOTAL DEVELOPMENT ALL PHASES	181.8 ACRES	1,608 MA ² UNITS



LIMIT OF WORK

LANDSCAPE PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES (UNLESS OTHERWISE NOTED)			
IMP	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL'	2 1/2" CAL. B&B

TURF GRASS BLEND: SOD

COMMON NAME	% OF TOTAL
90 /10 FESCUE MIX	100%
90 FESCUE	90%
10 BLUEGRASS	10%
TOTAL	100%

LANDSCAPE NOTES:

- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT A MINIMUM OF 5.0 CU.YRDS/1,000SF, UNLESS OTHERWISE NOTED IN THE TECHNICAL SPECIFICATIONS.
- SHRUB BEDS ARE TO BE CONTAINED BY 3/16" MIN. THICK METAL EDGER. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS OR WALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. QUANTITIES REPRESENTED GRAPHICALLY TAKE PRECEDENCE OVER LABELS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. THE UTILITIES SHOWN HEREON CONTAIN ONLY GENERAL INFORMATION AS TO THEIR DESCRIPTION, NATURE, AND GENERAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
- LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.
- W. 68TH AVENUE TREE LAWN IMPROVEMENTS WILL BE INSTALLED WITH CONSTRUCTION OF THE SCHOOL FACILITY. DESIGN IS SUBJECT TO CHANGE WITH THE SCHOOL SITE PLAN.
- INSTALLATION AND MAINTENANCE OF THE ADJACENT TREE LAWNS ARE TO BE INSTALLED AND MAINTAINED BY CCSMD.
- MAINTENANCE OF THE ADJACENT SIDEWALKS IS THE RESPONSIBILITY OF THE SCHOOL DISTRICT.

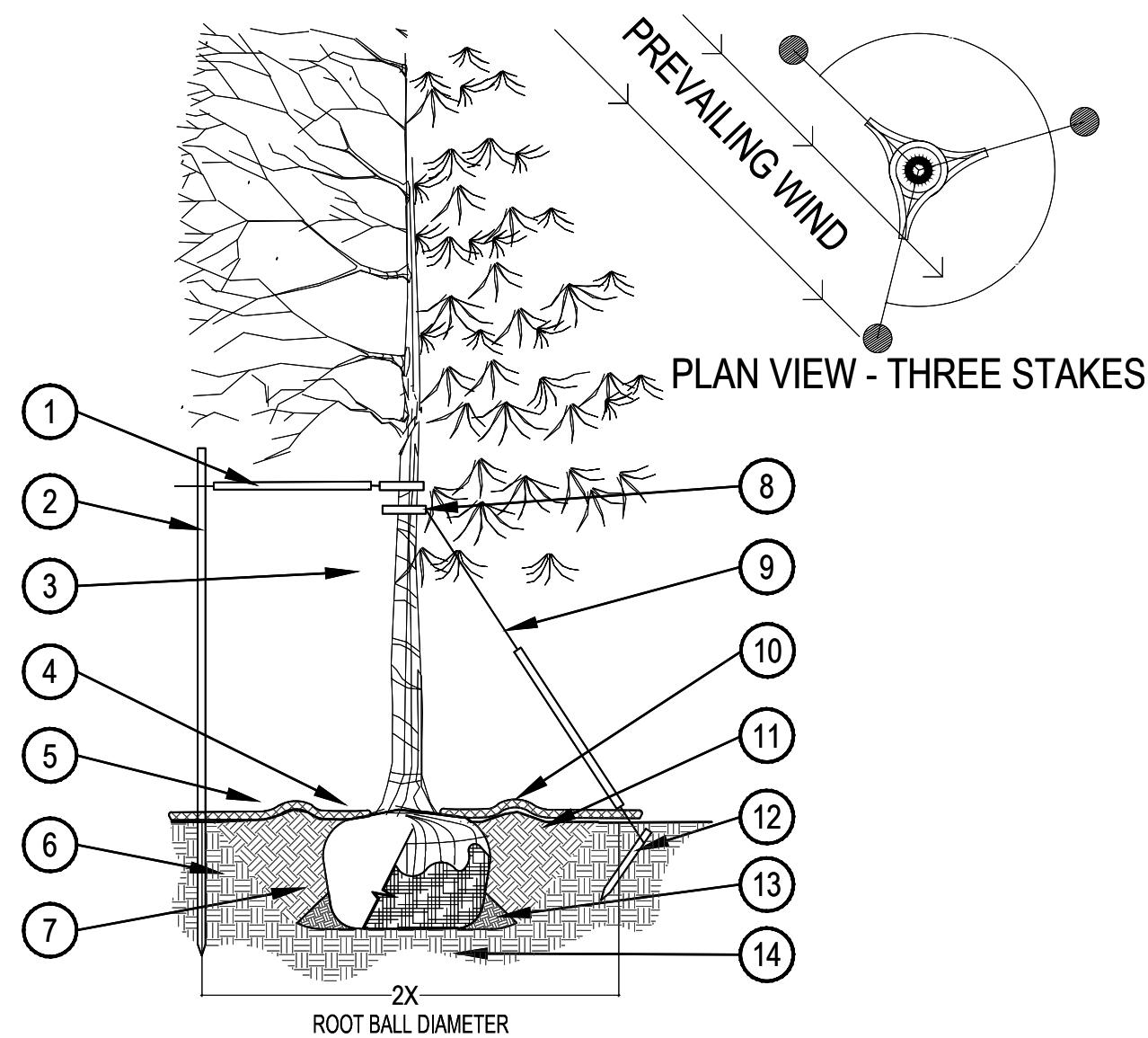
Brookfield Residential

6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, CO 80111
303-706-9451

REDLAND
Where Great Places Begin

NORRIS DESIGN
Planning | Landscape Architecture | Project Presentation

1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com



PRUNING NOTES:

- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON. FOLLOWS:
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
- WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

- PLACE MIN. 1/2" PVC PIPE AROUND EACH WIRE. EXPOSED WIRE SHALL BE MAX. 2" EACH SIDE
- 6 FT. UNTREATED WOOD POST (MIN. 1.5" DIAMETER). ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL.
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30. (DECIDUOUS ONLY)
- PLANT TREE SO THAT FIRST ORDER MAJOR ROOT IS 1"-2" ABOVE FINAL GRADE.
- 3" DEEP MULCH RING PLACED A MINIMUM OF 4 FT. IN DIAMETER. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK (FINISHED GRADE REFERENCES TOP OF MULCH).
- 1:1 SLOPE ON SIDES OF PLANTING HOLE.
- REMOVE ALL TWINE, ROPE, BURLAP AND WIRE FROM ENTIRE ROOT BALL AND TRUNK
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MIN. 12 GAUGE CABLE - TWIST WIRE ONLY TO KEEP FROM SLIPPING.
- 4-6" HIGH WATER SAUCER IN NON-TURF AREAS.
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20% (BY VOLUME) ORGANIC MATERIAL. WATER THOROUGHLY WHEN BACKFILLING
- 2 FT. STEEL T-POST. ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL.
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP. SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS.
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT.

1 TREE PLANTING DETAIL

SCALE: NTS

MIDTOWN AT CLEAR CREEK
 FINAL DEVELOPMENT PLAN
 MIDTOWN AT CLEAR CREEK SCHOOL SITE
 ADAMS COUNTY COLORADO

Issue Date

3 / 24 / 2017

Revision Date

6 / 16 / 2017

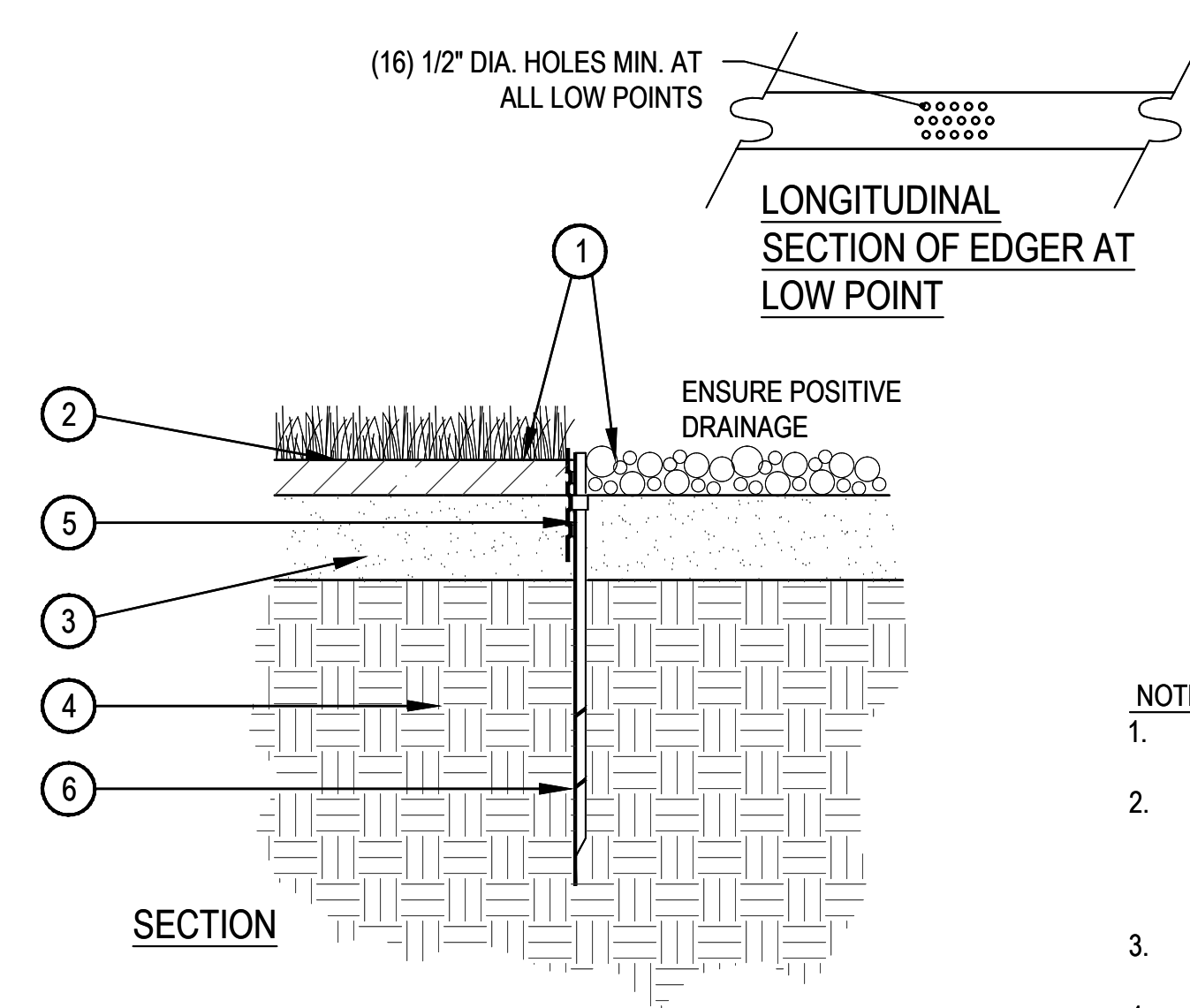
9 / 19 / 2017

10 / XX / 2017

NOT FOR
CONSTRUCTION



- NOTES:
- SIGN COPY COLOR, DIMENSIONS, TYPE PER ADAMS COUNTY STANDARDS.
 - SIGN HEIGHTS PER ADAMS COUNTY AND CDOT STANDARDS



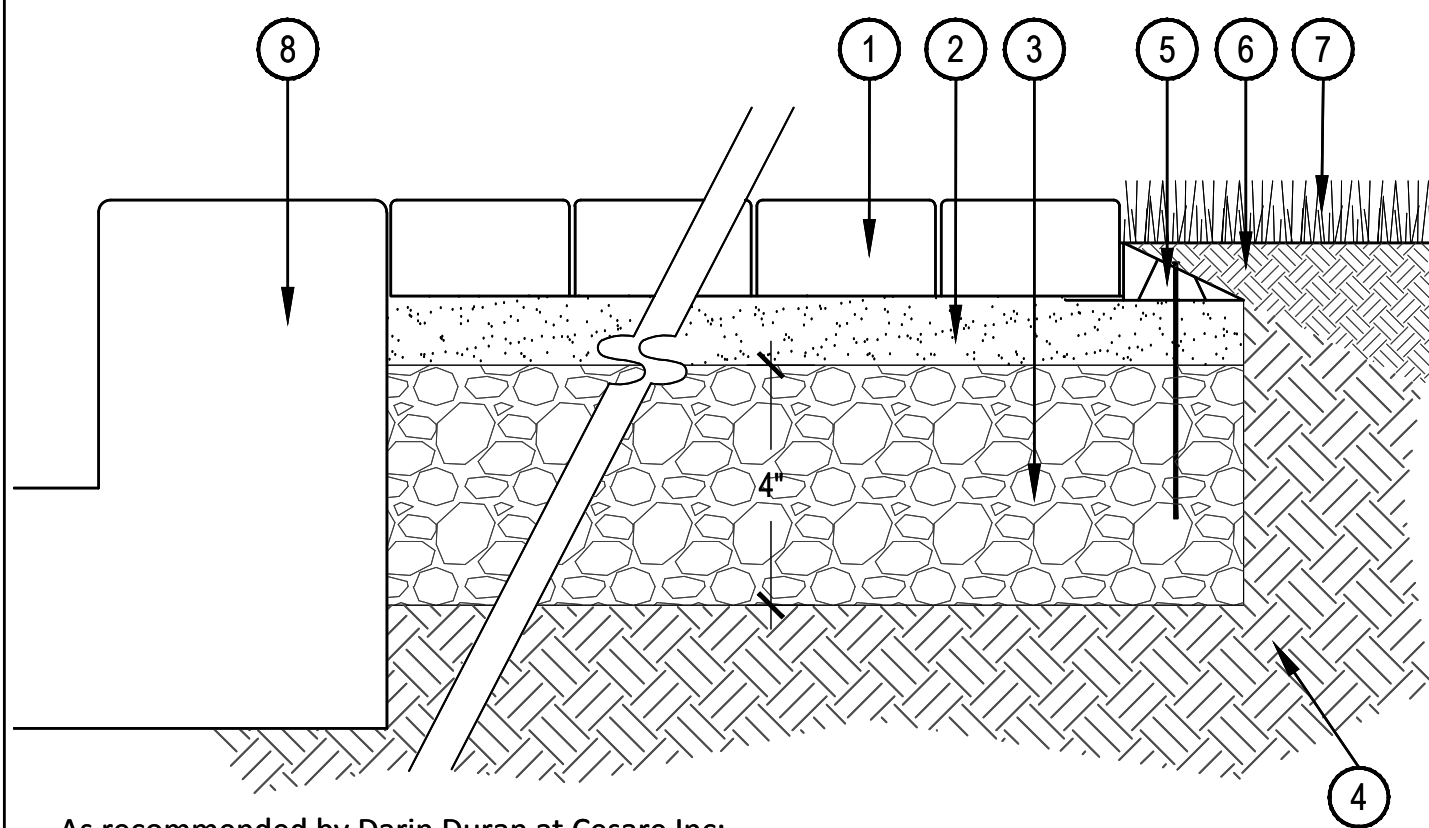
- FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- TURF THATCH
- AMENDED SOIL PER SPECIFICATIONS
- SUBGRADE
- METAL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- EDGER STAKE

NOTES:

- THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.
- EDGER SHALL BE SET AS STRAIGHT AS POSSIBLE, ANY BENDS OR KINKS WHERE EDGER IS SUPPOSED TO FOLLOW A STRAIGHT LINE WILL BE REJECTED.
- EDGER CORNERS SHALL BE AS TIGHT AS POSSIBLE.
- CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

1 MIDTOWN STREET SIGNAGE

SCALE: NTS



As recommended by Darin Duran at Cesare Inc:
Pedestrian Pavers

- 1-1.5" of sand base
- 4" of aggregate (beneath sand)
- Subgrade compacted to 95% of maximum dry density as determined by ASTM D698 within 0 to 2 percent of optimum moisture content. The aggregate base course should consist of CDOT Class 6 and be compacted to a minimum of 95% of modified Proctor density as determined by ASTM D1557.

- 2 1/4"x 4" x 8" SAND SET BRICK PAVER BY INTERSTATE BRICK, 1/16" GAPS TYP. WITH SAND-FILLED ANGULAR JOINT SAND THAT COMPLIES WITH ASTM C33. RUNNING BOND PATTERN ALWAYS SET AT 20° FROM TRUE NORTH AS INDICATED BY THE HATCH PATTERN ON THE PLANS. CROWN BRICK PAVING IN MEDIANS SO THERE IS APPROXIMATELY A 4% SLOPE TO THE CURB.

- WASHED SAND SETTING BED 1"-1.5" DEPTH, PER GEOTECH RECOMMENDATIONS

- AGGREGATE 4" DEPTH, PER GEOTECH RECOMMENDATIONS

- PREPARE SUBGRADE PER GEOTECH RECOMMENDATIONS

- PAVESTONE EDGEPRO PAVER RESTRAINT SYSTEM OR APPROVED EQUAL www.pavestone.com

- AMENDED TOPSOIL

- SOD

- CURB AND GUTTER

3 BRICK PAVERS - PEDESTRIAN

SCALE: 3" = 1'-0"

2 METAL EDGER DETAIL

SCALE: 1" = 1'-0"

MIDTOWN AT CLEAR CREEK
FINAL DEVELOPMENT PLAN
MIDTOWN AT CLEAR CREEK SCHOOL SITE
ADAMS COUNTY COLORADO

Issue Date

3 / 24 / 2017

Revision Date

6 / 16 / 2017

9 / 19 / 2017

10 / XX / 2017

MIDTOWN AT CLEAR CREEK SCHOOL SITE

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 4 AND THE SOUTHEAST QUARTER OF SECTION 5,
TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

SHEET 1 OF 2

OWNERSHIP AND DEDICATION CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS THAT MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY BEING THE SOLE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND: A PARCEL OF LAND BEING A PORTION OF ZUNI STREET AS SHOWN ON THE PLAT OF SUNDRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND AS DESCRIBED IN DEED RECORDED IN BOOK 856 AT PAGE 61, IN SAID RECORDS AND WEST 67TH PLACE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5 AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 433.34 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET TO THE WESTERLY RIGHT-OF-WAY OF MORRISON DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;
2. SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY AS SHOWN ON SAID PLATS OF MIDTOWN AT CLEAR CREEK-FILING NOS 2 AND 4, NORTH 89°43'26" WEST, A DISTANCE OF 238.75 FEET TO THE NORTHERLY EXTENSION OF THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID NORTHERLY EXTENSION AND THE WESTERLY RIGHT-OF-WAY, SOUTH 00°16'34" WEST, A DISTANCE OF 132.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 404.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, SOUTH 00°26'28" WEST, A DISTANCE OF 10.00 FEET;

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 60.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF ZUNI STREET AS SHOWN ON SAID PLAT OF SUNDRAND SUBDIVISION;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 368.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 60.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 26.00 FEET TO THE POINT OF BEGINNING,

CONTAINING AN AREA OF 5.320 ACRES, (231,755 SQUARE FEET), MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF MIDTOWN AT CLEAR CREEK SCHOOL SITE AND DO HEREBY GRANT TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, THE STREETS AND OTHER PUBLIC WAYS AND LANDS HEREON SHOWN, AND THE EASEMENTS AS SHOWN, FOR PUBLIC UTILITY, CABLE TV AND DETENTION POND AREAS, FLOODWAY AND FLOODPLAIN LIMITS, DRAINAGE AND OTHER PUBLIC PURPOSES AS DETERMINED BY THE COUNTY OF ADAMS.

EXECUTED THIS ____ DAY OF _____ A.D., 2017.

BY: MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY
____ AS _____
NAME TITLE

ACKNOWLEDGEMENT

BY: MIDTOWN LLC, A COLORADO LIMITED LIABILITY COMPANY
STATE OF COLORADO }
COUNTY OF _____ }SS

THE FOREGOING PLAT AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____ A.D. 2017,

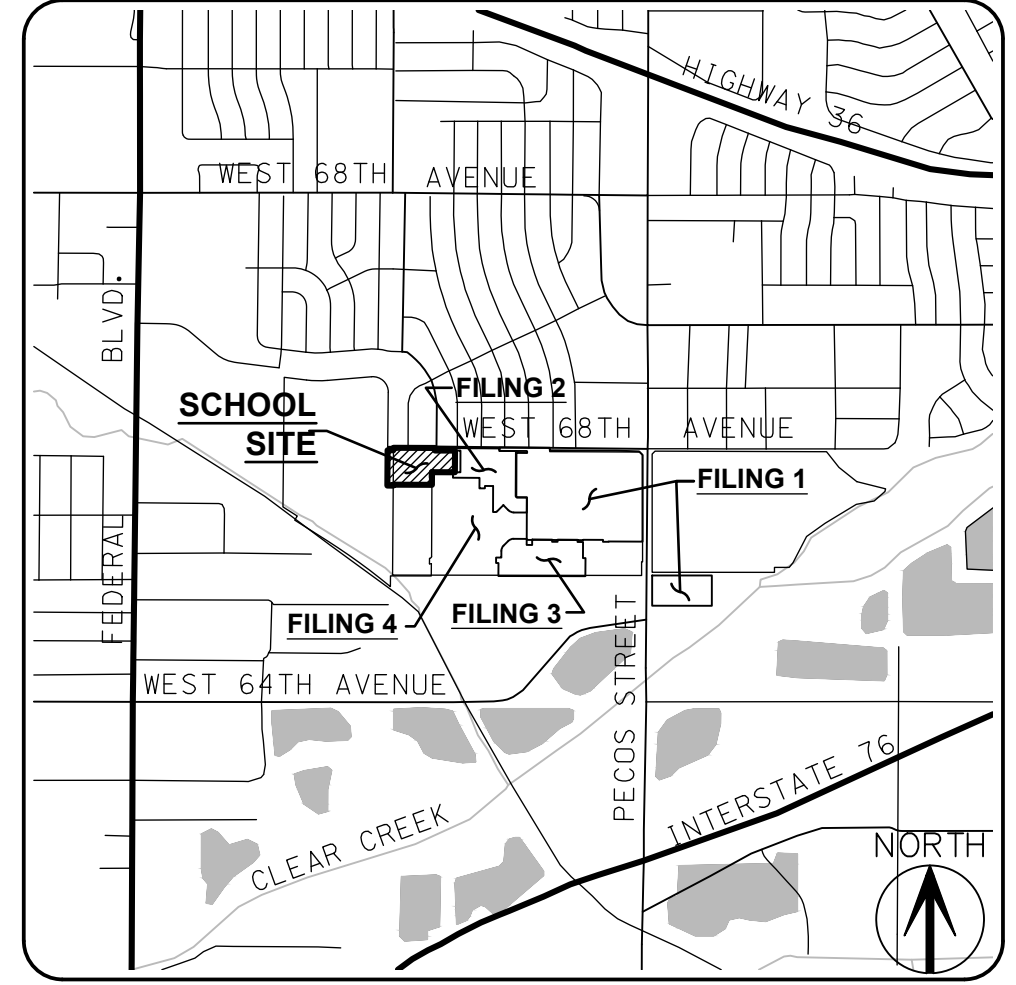
BY _____ AS _____ OF MIDTOWN, LLC, A COLORADO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

WITNESS MY HAND AND OFFICIAL SEAL: _____

NOTARY PUBLIC



VICINITY MAP
NOT TO SCALE

NOTES

1. BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX STAMPED "PLS 7735", AND AT THE CENTER-WEST SIXTEENTH CORNER OF SAID SECTION BY A 3-1/4" ALUMINUM CAP IN A MONUMENT BOX STAMPED "PLS 38064". SAID LINE BEARS SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET.
2. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNERS.
3. ANY PERSON WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY PUBLIC LAND SURVEY MONUMENT, AS DEFINED BY SECTION 38-53-103 (18), C.R.S., OR CONTROL CORNER, AS DEFINED IN SECTION 38-53-103 (6), C.R.S., OR A RESTORATION OF ANY SUCH MONUMENT OR WHO KNOWINGLY REMOVES OR KNOWINGLY CAUSES TO BE REMOVED ANY BEARING TREE KNOWING SUCH IS A BEARING TREE OR OTHER ACCESSORY, AS DEFINED BY SECTION 38-53-103 (1), C.R.S., EVEN IF SAID PERSON HAS TITLE TO THE LAND ON WHICH SAID MONUMENT OR ACCESSORY IS LOCATED, COMMITS A CLASS 2 MISDEMEANOR UNLESS, PRIOR TO SUCH REMOVAL, SAID PERSON HAS CAUSED A COLORADO PROFESSIONAL LAND SURVEYOR TO ESTABLISH AT LEAST TWO WITNESS CORNERS OR REFERENCE MARKS FOR EACH SUCH MONUMENT OR ACCESSORY REMOVED AND HAS FILED OR CAUSED TO BE FILED A MONUMENT RECORD PURSUANT TO ARTICLE 53 OF TITLE 38, C.R.S.
4. AZTEC CONSULTANTS, INC. HAS RELIED UPON THE TITLE COMMITMENT ORDER NUMBER ABC70532191 PREPARED BY LAND TITLE GUARANTEE COMPANY, EFFECTIVE DATE 02-27-2017 AT 5:00 P.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHTS-OF-WAY ACROSS THESE PREMISES. THIS SURVEY AND PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC., TO DETERMINE OWNERSHIP OR APPLICABLE EASEMENTS AND RIGHTS-OF-WAY.
5. DISTANCES ON THIS PLAT ARE GROUND DISTANCES EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
6. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ("CCSMD") IS RESPONSIBLE FOR THE ENFORCEMENT OF LANDSCAPE MAINTENANCE REQUIREMENTS. THROUGH CCSMD, A DRC (DESIGN REVIEW COMMITTEE) WILL REVIEW PRIVATE OPEN SPACE DESIGN FOR COMPATIBILITY. PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY AS WELL AS ADJACENT TREE LAWN AREA(S). MAINTENANCE OF THE TREE LAWN AND LANDSCAPE TRACT BETWEEN FRONT PROPERTY LINE AND STREET SHALL BE THE PRIMARY RESPONSIBILITY OF THE HOMEOWNER UNDER THE REQUIREMENTS OF THE CCSMD COVENANTS. THE COUNTY, ITS SUCCESSOR OR ASSIGNS SHALL BE RESPONSIBLE FOR MAINTAINING ALL LOCAL STREETS. HOMEOWNER OF LAND ABUTTING A CONSTRUCTED PUBLIC RIGHT-OF-WAY IS RESPONSIBLE FOR MAINTENANCE OF CURB, GUTTER, AND SIDEWALK ALONG THE RIGHT-OF-WAY ABUTTING HIS PROPERTY INCLUDING SNOW REMOVAL FOR PEDESTRIAN ACCESS.
7. BASED ON A GRAPHICAL REPRESENTATION OF FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 08001C0584H WITH AN EFFECTIVE DATE OF MARCH 4, 2007 THE SUBJECT PROPERTY LIES WITHIN ZONE X, BEING DEFINED AS "OTHER AREAS... DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD".
8. THE IRRIGATION EASEMENTS WITHIN LOT 1, AS SHOWN HEREON ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1.
9. THE 2' SIDEWALK MAINTENANCE EASEMENTS WITHIN LOT 1, AS SHOWN HEREON ARE TO BE OWNED AND MAINTAINED BY ADAMS COUNTY.

NOTES-CONTINUED

10. ALL PRIVATE STORM SEWER AND AREA DRAIN SYSTEMS THAT ORIGINATE WITHIN A PRIVATE LOT OR PRIVATELY OWNED TRACT AND OUTFALL TO A PUBLIC STORM SEWER MAIN LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ARE TO BE OWNED AND MAINTAINED BY THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1. THE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES FOR THESE PRIVATE STORM SEWERS SHALL BE UP TO AND INCLUDING THE CONNECTION POINT TO THE PUBLIC STORM SEWER WITHIN THE PUBLIC RIGHT-OF-WAY. THE CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1 ITS SUCCESSORS OR ASSIGNS SHALL SECURE APPLICABLE PERMITS FOR WORK WITHIN THE ADAMS COUNTY RIGHT-OF-WAY WHENEVER MAINTENANCE IS WITHIN THE PUBLIC RIGHT-OF-WAY.
11. LOT 1, AS SHOWN HEREON, WILL BE DEDICATED TO THE MAPLETON SCHOOL DISTRICT BY QUITCLAIM DEED.
12. SEE OPERATIONS AND MAINTENANCE MANUAL RECORDED AT RECEPTION NO. 2017000109137 REGARDING MAINTENANCE OF THE DETENTION POND THAT SERVICES THIS SITE.

LAND SUMMARY TABLE		
	AREA (S.F.±)	AREA (A.C.±)
LOT 1, BLOCK 1 AREA	220,487	5.061
ROW DEDICATION (W. 68TH AVE.)	11,268	0.259
TOTAL SITE AREA	231,755	5.320

ADDRESS TABLE

BLOCK 1	
LOT	ADDRESS
1	2300 W. 68th AVE.

ACKNOWLEDGEMENT AND ACCEPTANCE BY CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1

I, _____ AS DISTRICT MANAGER OF CLEAR CREEK STATION METROPOLITAN DISTRICT NO. 1, WHICH HAS AN ADDRESS OF 188 INVERNESS DRIVE W, SUITE 150, ENGLEWOOD, CO 80112, HEREBY ACKNOWLEDGE AND ACCEPT THE DEDICATION, GRANT, SALE, REMISE AND CONVEYANCE OF THE IRRIGATION EASEMENTS AS SHOWN WITHIN LOT 1 OF MIDTOWN AT CLEAR CREEK SCHOOL SITE, COUNTY OF ADAMS, STATE OF COLORADO.

BY: _____ DATE: _____
DISTRICT MANAGER

SURVEYOR'S CERTIFICATE

I, DEREK S. BROWN, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

DEREK S. BROWN
COLORADO LICENSED PROFESSIONAL LAND SURVEYOR, P.L.S. 38064
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVE., SUITE 1
LITTLETON, CO. 80122
(303) 713-1898



NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

NOTICE: PER THE STATE OF COLORADO BOARD OF LICENSURE FOR ARCHITECTS, PROFESSIONAL ENGINEERS, AND PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE WORD "CERTIFY" AS USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED. THE SURVEY REPRESENTED HEREON HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF.

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS ____ DAY OF _____, A.D., 2017.

CHAIRPERSON

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, A.D., 2017.

CHAIR

CLERK AND RECORDER'S CERTIFICATE

THIS FINAL PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE STATE OF COLORADO, AT _____ M. ON THE ____ DAY OF _____ A.D., 2017.

COUNTY CLERK AND RECORDER

BY: _____ DEPUTY
RECEPTION NO. _____

300 East Mineral Ave, Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com
AzTec Proj. No.:54817-08

DATE OF PREPARATION:	2017-02-24			
SCALE:	N/A			
S H E E T 1 O F 2				
NO.	REVISION	DATE	BY	CHK
3	ADDRESS COUNTY COMMENTS	9-15-2017	TP	DSB
2	ADDRESS COUNTY COMMENTS	6-30-2017	TP	DSB
1	ADD IRRIGATION EASEMENT	3-24-2017	TP	DSB

**SUBDIVISION IMPROVEMENTS AGREEMENT
FOR MIDTOWN AT CLEAR CREEK SCHOOL SITE**

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** All improvements described in Exhibit "B" as the "Phase One Improvements" and the "Phase Two Improvements" must be completed and preliminarily accepted not later than 30 days after the issuance of a Certificate of Occupancy (C/O) for the Mapleton School District's school building located on the property described in attached Exhibit "A". The Developer is responsible for providing proof of the issuance of the C/O. The Director of Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B" for a period not to exceed 180 days. Any extension greater than 180 days is within the sole discretion of the Board of County Commissioners. All extensions of time must be in writing.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$530,842.03, including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No construction permits shall be issued until all collateral required by this Agreement is provided and approved by County staff.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or

other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.

7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property as follows:

A. Improvements.

Public Improvements:

West 68th Avenue and County of Adams storm sewer. See Exhibit "B" for description, estimated quantities and estimated construction costs.

Private Improvements:

All other improvements set forth on Exhibit "B" not indicated as "public improvements" above.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and not later than the date set forth in Section 4 above.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement and the final plat for the development known as Midtown at Clear Creek School Site by the Board of County Commissioners, the Developer hereby agrees to convey by final plat or special warranty deed to the County of Adams the following described land for right-of-way purposes:

West 68th Avenue.

9. **Superseding Effect.** This Agreement supersedes and replaces in its entirety that certain Subdivision Improvements Agreement for Midtown at Clear Creek School Site between the Developer and the County approved by resolution of the Board of County Commissioners at the meeting of October 24, 2017, recorded at Reception No. 2017000101399, and such agreement is hereby terminated and of no further force or effect.

[signature page follows]

Developer:

Midtown LLC, a Colorado limited liability
company

Name: _____

By: _____

Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____,
20__.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"

Legal Description: MIDTOWN AT CLEAR CREEK SCHOOL SITE

A PARCEL OF LAND BEING A PORTION OF ZUNI STREET AS SHOWN ON THE PLAT OF SUNDSTRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND AS DESCRIBED IN DEED RECORDED IN BOOK 856 AT PAGE 61, IN SAID RECORDS AND WEST 67TH PLACE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5 AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 433.34 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET TO THE WESTERLY RIGHT-OF-WAY OF MORRISON DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;
2. SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY AS SHOWN ON SAID PLATS OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AND 4, NORTH 89°43'26" WEST, A DISTANCE OF 238.75 FEET TO THE NORTHERLY EXTENSION OF THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

[legal description continues on next page]

THENCE ALONG SAID NORTHERLY EXTENSION AND THE WESTERLY RIGHT-OF-WAY,
SOUTH 00°16'34" WEST, A DISTANCE OF 132.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A
DISTANCE OF 404.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS
DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, SOUTH 00°26'28" WEST, A DISTANCE
OF 10.00 FEET;

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A
DISTANCE OF 60.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF ZUNI STREET AS
SHOWN ON SAID PLAT OF SUNDSTRAND SUBDIVISION;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE
OF 368.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A
DISTANCE OF 60.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS
DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE
OF 26.00 FEET TO THE **POINT OF BEGINNING**,

CONTAINING AN AREA OF 5.320 ACRES, (231,755 SQUARE FEET), MORE OR LESS.

EXHIBIT "B"

Midtown School Parcel & W. 68th Ave

Phase One Improvements - W. 68th Avenue

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Grading		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		2,000	CY	\$2.50	\$5,000.00
Strip and Respread (Topsoil)		630	CY	\$4.53	\$2,853.90
Grading Subtotal					\$7,853.90

Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
30" RCP (0-8' depth)	603-01300	295	LF	\$130.23	\$38,417.85
6' Dia. Manhole	604-30015	2	EA	\$8,500.00	\$17,000.00
25' Type 'R' Inlet	0	2	EA	\$26,500.00	\$53,000.00
Connect to Existing		1	EA	\$5,000.00	\$5,000.00
Storm Sewer Subtotal					\$113,417.85

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	660	LF	\$24.22	\$15,985.20

Paving		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Subgrade Prep	306-01000	1,620	SY	\$4.04	\$6,544.80
Aggregate Basecourse (5" Class 6 Road Base)		1,620	SY	\$9.50	\$15,390.00
Asphalt (Full depth - 9" section)	403-33871	1,330	SY	\$33.00	\$43,890.00
Asphalt Milling / Resurfacing	306-01000	1,130	SY	\$9.94	\$11,232.20
Adjust Manhole to Grade	210-04010	5	EA	\$823.63	\$4,118.15
Adjust Valves to Grade	210-04050	6	EA	\$421.29	\$2,527.74
Sweep Streets	637-00100	2,490	SY	\$1.20	\$2,988.00

Signage and Striping		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Street Signs		3	EA	\$1,500.00	\$4,500.00
Pavement Striping		1	LS	\$10,000.00	\$10,000.00

Dry Utilities		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Street Light (Local)		6	EA	\$12,000.00	\$72,000.00
Sleeving		1	LS	\$7,500.00	\$7,500.00

Street Subtotal \$196,676.09

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Riprap	202-00027	475	SY	\$28.87	\$13,713.25
Remove 42" RCP	202-00035	65	LF	\$40.00	\$2,600.00
Remove 42" FES	202-00037	1	EA	\$1,000.00	\$1,000.00
Remove 6' Dia. Manhole	202-00021	1	EA	\$1,000.00	\$1,000.00
Remove Fence	202-01000	605	LF	\$1.63	\$986.15
Remove Curb	202-00201	170	LF	\$6.23	\$1,059.10
Remove Gutter	202-00202	170	LF	\$17.34	\$2,947.80
Remove Asphalt (9" Section)	202-00220	150	SY	\$20.50	\$3,075.00
Sawcut	202-05030	660	LF	\$3.10	\$2,046.00

Demolition Subtotal \$28,427.30

W. 68th Ave. - Phase One Improvements Total \$346,375.14

Midtown School Parcel & W. 68th Ave

Phase One Improvements - W. 67th Place

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	80	LF	\$24.22	\$1,937.60
Signage and Striping					
Street Signs		1	EA	\$1,500.00	\$1,500.00
				Street Subtotal	\$3,437.60
Demolition					
	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Curb	202-00201	80	LF	\$6.23	\$498.40
Remove Gutter	202-00202	80	LF	\$17.34	\$1,387.20
Remove Asphalt (6" Section)	202-00220	73	SY	\$15.50	\$1,131.50
Sawcut	202-05030	78	LF	\$3.10	\$241.80
				Demolition Subtotal	\$3,258.90
W. 67th Place - Phase One Improvements Total					\$6,696.50

Midtown School Parcel & W. 68th Ave.

Phase One Improvements - Summary

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Grading	CDOT	QUANTITY	UNIT	PRICE	COST
Cut to Fill		2,000	CY	\$2.50	\$5,000.00
Strip and Respread (Topsoil)		630	CY	\$4.53	\$2,853.90

Grading Subtotal \$7,853.90

Storm Sewer		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
30" RCP (0-8' depth)	603-01300	295	LF	\$130.23	\$38,417.85
6' Dia. Manhole	604-30015	2	EA	\$8,500.00	\$17,000.00
25' Type 'R' Inlet	0	2	EA	\$26,500.00	\$53,000.00
Connect to Existing	0	1	EA	\$5,000.00	\$5,000.00

Storm Sewer Subtotal \$113,417.85

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
----------------------------	--	----------	------	------------	------------

Concrete					
6" Vertical Curb and Gutter (2' Pan)	609-21020	740	LF	\$24.22	\$17,922.80
Paving					
Subgrade Prep	306-01000	1,620	SY	\$4.04	\$6,544.80
Aggregate Basecourse (5" Class 6 Road Base)	0	1,620	SY	\$9.50	\$15,390.00
Asphalt (Full depth - 9" section)	403-33871	1,330	SY	\$33.00	\$43,890.00
Asphalt Milling / Resurfacing	306-01000	1,130	SY	\$9.94	\$11,232.20
Adjust Manhole to Grade	210-04010	5	EA	\$823.63	\$4,118.15
Adjust Valves to Grade	210-04050	6	EA	\$421.29	\$2,527.74
Sweep Streets	637-00100	2,490	SY	\$1.20	\$2,988.00
Signage and Striping					
Street Signs	0	4	EA	\$1,500.00	\$6,000.00
Pavement Striping	0	1	LS	\$10,000.00	\$10,000.00
Dry Utilities					
Street Light (Local)	0	6	EA	\$12,000.00	\$72,000.00
Sleeving	0	1	LS	\$7,500.00	\$7,500.00

Street Subtotal \$200,113.69

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Riprap	202-00027	475	SY	\$28.87	\$13,713.25
Remove 42" RCP	202-00035	65	LF	\$40.00	\$2,600.00
Remove 42" FES	202-00037	1	EA	\$1,000.00	\$1,000.00
Remove 6' Dia. Manhole	202-00021	1	EA	\$1,000.00	\$1,000.00
Remove Fence	202-01000	605	LF	\$1.63	\$986.15
Remove Curb	202-00201	250	LF	\$6.23	\$1,557.50
Remove Gutter	202-01000	250	LF	\$17.34	\$4,335.00
Remove Asphalt (9" Section)	202-00220	150	SY	\$20.50	\$3,075.00
Sawcut	202-05030	738	LF	\$3.10	\$2,287.80
Remove Asphalt (6" Section)	202-00220	73	SY	\$15.50	\$1,131.50

Demolition Subtotal \$30,554.70

Summary - Phase One Improvements Subtotal	\$351,940.14
Additional 20% Administration	\$70,388.03
5% Inflation per Year	\$21,116.41
5% Inflation per Year Two	\$22,172.23
Phase One Improvements Total	\$465,616.81

**Midtown School Parcel & W. 68th Ave
Phase Two Improvements - W. 68th Avenue**

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	368	SY	\$4.04	\$1,486.72
5' Concrete Walk (6" Thick)	608-00006	3,320	SF	\$5.20	\$17,264.00
Mid-Block Ramp		3	EA	\$3,500.00	\$10,500.00
				Street Subtotal	\$29,250.72
				W. 68th Avenue - Phase Two Improvements Total	\$29,250.72

Midtown School Parcel & W. 68th Ave

Phase Two Improvements - Morrison Drive

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	123	SY	\$4.04	\$496.92
5' Concrete Walk (6" Thick)	608-00006	1,105	SF	\$5.20	\$5,746.00
				Street Subtotal	\$6,242.92
				Morrison Drive - Phase Two Improvements Total	\$6,242.92

Midtown School Parcel & W. 68th Ave

Phase Two Improvements - W. 67th Place

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Street Improvements		QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	134	SY	\$4.04	\$541.36
5' Concrete Walk (6" Thick)	608-00006	1,205	SF	\$5.20	\$6,266.00
Mid-Block Ramp		2	EA	\$3,500.00	\$7,000.00
				Street Subtotal	\$13,807.36
				W. 67th Place - Phase Two Improvements Total	\$13,807.36

Midtown School Parcel & W. 68th Ave.

Phase Two Improvements - Summary

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	625	SY	\$4.04	\$2,525.00
5' Concrete Walk (6" Thick)	608-00006	5,630	SF	\$5.20	\$29,276.00
Mid-Block Ramp	608-00010	5	EA	\$3,500.00	\$17,500.00
				Street Subtotal	\$49,301.00
				Summary - Phase Two Improvements Subtotal	\$49,301.00
				Additional 20% Administration	\$9,860.20
				5% Inflation per Year	\$2,958.06
				5% Inflation per Year Two	\$3,105.96
				Phase Two Improvements Total	\$65,225.22

Midtown School Parcel & W. 68th Ave
Phase One & Two Improvements -Summary
Opinion of Probable Cost Estimate
Date: 10/06/2017
JN: 10015.18

Grading	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Cut to Fill		2,000	CY	\$2.50	\$5,000.00
Strip and Respread (Topsoil)		630	CY	\$4.53	\$2,853.90
				Grading Subtotal	\$7,853.90
Storm Sewer	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
30" RCP (0-8' depth)	603-01300	295	LF	\$130.23	\$38,417.85
6' Dia. Manhole	604-30015	2	EA	\$8,500.00	\$17,000.00
25' Type 'R' Inlet	0	2	EA	\$26,500.00	\$53,000.00
Connect to Existing	0	1	EA	\$5,000.00	\$5,000.00
				Storm Sewer Subtotal	\$113,417.85
Street Improvements	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Concrete					
Subgrade Prep - Concrete Walk	306-01000	625	SY	\$4.04	\$2,525.00
5' Concrete Walk (6" Thick)	608-00006	5,630	SF	\$5.20	\$29,276.00
6" Vertical Curb and Gutter (2' Pan)	609-21020	740	LF	\$24.22	\$17,922.80
Mid-Block Ramp	608-00010	5	EA	\$3,500.00	\$17,500.00
Paving					
Subgrade Prep	306-01000	1,620	SY	\$4.04	\$6,544.80
Aggregate Basecourse (5" Class 6 Road Base)	202-00037	1,620	SY	\$9.50	\$15,390.00
Asphalt (Full depth - 9" section)	202-00037	1,330	SY	\$33.00	\$43,890.00
Asphalt Milling / Resurfacing	306-01000	1,130	SY	\$9.94	\$11,232.20
Adjust Manhole to Grade	210-04010	5	EA	\$823.63	\$4,118.15
Adjust Valves to Grade	210-04050	6	EA	\$421.29	\$2,527.74
Sweep Streets	637-00100	2,490	SY	\$1.20	\$2,988.00
Signage and Striping					
Street Signs	0	4	EA	\$1,500.00	\$6,000.00
Pavement Striping	0	1	LS	\$10,000.00	\$10,000.00
Dry Utilities					
Street Light (Local)		6	EA	\$12,000.00	\$72,000.00
Sleeving		1	LS	\$7,500.00	\$7,500.00
				Street Subtotal	\$249,414.69

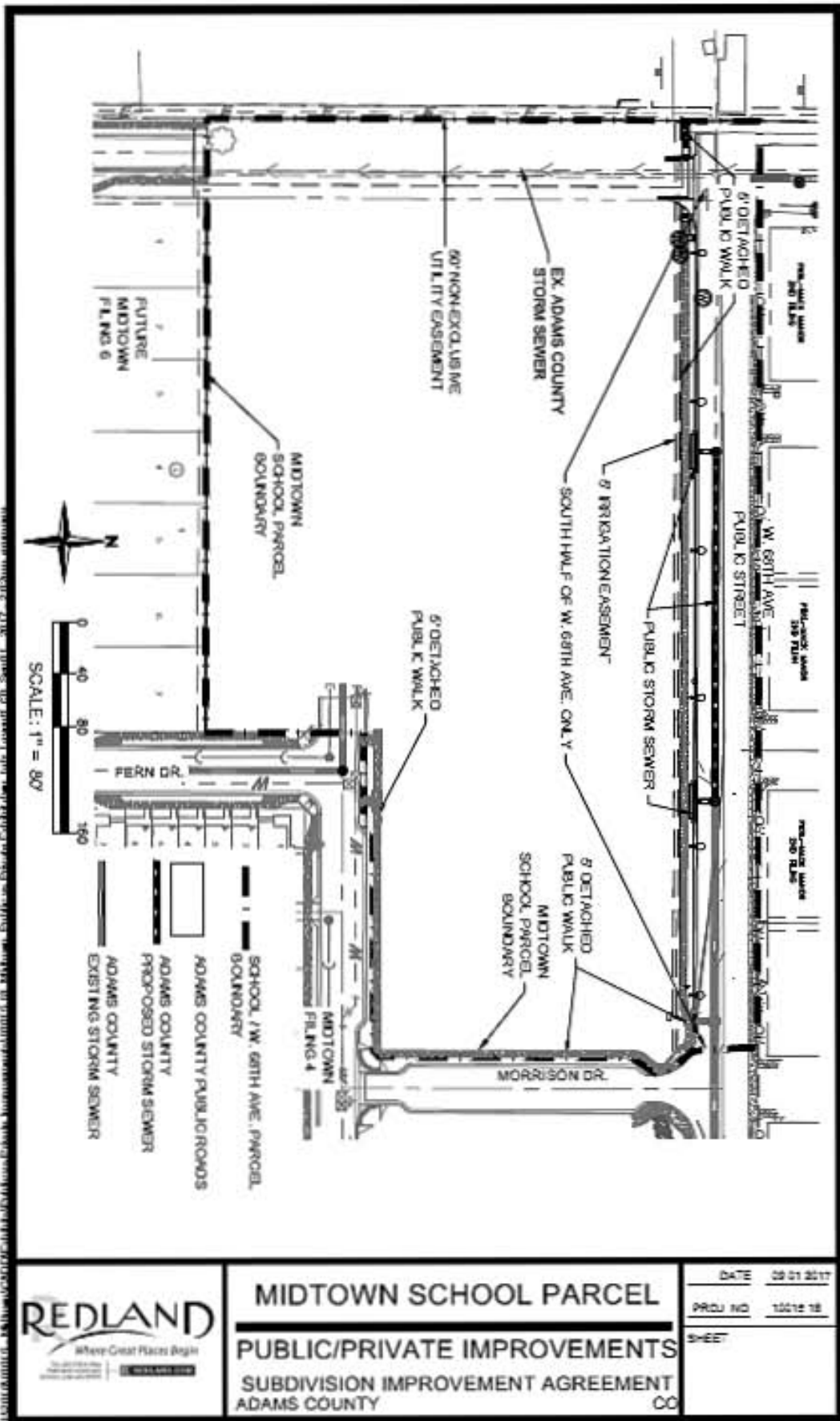
**Midtown School Parcel & W. 68th Ave
 Phase One & Two Improvements -Summary**

Opinion of Probable Cost Estimate

Date: 10/06/2017

JN: 10015.18

Demolition	CDOT	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
Remove Riprap	202-00027	475	SY	\$28.87	\$13,713.25
Remove 42" RCP	202-00035	65	LF	\$40.00	\$2,600.00
Remove 42" FES	202-00037	1	EA	\$1,000.00	\$1,000.00
Remove 6' Dia. Manhole	202-00021	1	EA	\$1,000.00	\$1,000.00
Remove Fence	202-01000	605	LF	\$1.63	\$986.15
Remove Curb	202-00201	250	LF	\$6.23	\$1,557.50
Remove Gutter	202-00202	250	LF	\$17.34	\$4,335.00
Remove Asphalt (9" Section)	202-00220	150	SY	\$20.50	\$3,075.00
Sawcut	202-05030	738	LF	\$3.10	\$2,287.80
Demolition Subtotal					\$30,554.70
Summary - Subtotal					\$401,241.14
Additional 20% Administration					\$80,248.23
5% Inflation per Year					\$24,074.47
5% Inflation per Year Two					\$25,278.19
Total					\$530,842.03



MIDTOWN SCHOOL PARCEL
PUBLIC/PRIVATE IMPROVEMENTS
 SUBDIVISION IMPROVEMENT AGREEMENT
 ADAMS COUNTY

DATE	08 01 2017
PRJ NO	10012 18
SHEET	

**MIDTOWN AT CLEAR CREEK
DEVELOPMENT AGREEMENT
PERTAINING TO VESTED PROPERTY RIGHTS**

THIS MIDTOWN AT CLEAR CREEK DEVELOPMENT AGREEMENT PERTAINING TO VESTED PROPERTY RIGHTS (this “Agreement”) is made and entered into by and between the County of Adams, State of Colorado, hereinafter called “County,” and Midtown LLC, a Colorado limited liability company, having an address of 6465 S. Greenwood Plaza Blvd. #700, Centennial, Colorado 80111, hereinafter called the “Developer.”

WITNESSETH:

WHEREAS, the Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit “A” attached hereto, and by this reference made a part hereof (the “Property”).

WHEREAS, the Board of County Commissioners, County of Adams (“BoCC”) had approved on July 8, 2014 (the “Vesting Commencement Date”), by Resolution No. 2014-312 recorded in the real property records of the Clerk and Recorder for the County at Reception No. 2014000057260, that certain Midtown at Clear Creek, in the County of Adams, Colorado, Second Amendment to the Preliminary Development Plan (“PDP Second Amendment”) for the Property.

WHEREAS, in connection with the BoCC’s approval of the PDP Second Amendment, the BoCC approved the PDP Second Amendment as a “site specific development plan” under Section 24-68-101, et seq., Colorado Revised Statutes (“Vested Rights Statute”) and under Section 1-07 of Chapter 1 of the Adams County Development Standards and Regulations (“Vested Rights Regulations” and together with the Vested Rights Statute, the “Vested Rights Law”), establishing vested property rights for the PDP Second Amendment, and any amendments thereto, for a term of fifteen (15) years from the date of approval of the PDP Second Amendment.

WHEREAS, the Developer has submitted that certain Midtown at Clear Creek, in the County of Adams, Colorado, Third Amendment to the Preliminary Development Plan (“Third PDP Amendment” and together with the Second PDP Amendment, the “PDP Amendments”), which amends the Second PDP Amendment as to a portion of the Property, and has requested that the County approve the Third PDP Amendment and in connection therewith, has requested that the County enter into this Agreement relating to the Vested Rights (defined below) as applicable to the PDP Amendments.

WHEREAS, development of the Property will require investments in public facilities that will serve the needs of the Property and the County, completion of these facilities will require

substantial investments by the Developer, and the Developer is willing to make such investments if there are assurances that the development of the Property will be allowed to proceed to ultimate completion as provided in this Agreement.

WHEREAS, the Vested Rights Law provides for the establishment of vested property rights in order to ensure reasonable certainty, stability and fairness in the land use planning process and in order to stimulate economic growth, secure the reasonable investment-backed expectations of landowners and foster cooperation between the public and private sectors in the area of land use planning, and the Vested Rights Law further authorizes the BoCC to enter into development agreements with landowners providing for a period of vesting of property development rights exceeding three (3) years.

WHEREAS, development in accordance with the PDP Amendments will provide for orderly growth, ensure reasonable certainty in the land use planning process and otherwise achieve the goals and purposes for which the Vested Rights Law was enacted, and these benefits and the other benefits to the County contemplated by the PDP Amendments, together with the public benefits served by the orderly development of the Property, are in the best interest of the County and further the public health, safety and welfare.

WHEREAS, in light of and relating to the proposed undertakings set forth in the PDP Amendments, the Developer has requested that the BoCC approve and enter into this Agreement as authorized by the Vested Rights Law.

NOW, THEREFORE, in consideration of the mutual covenants and agreements of the parties contained herein, and other valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Developer and the County agree as follows:

- 1. Vested Property Rights.** The Second PDP Amendment, the Third PDP Amendment, this Agreement and any amendments to any of the foregoing, individually and collectively, constitute an approved “site-specific development plan” during the Term as defined in the Vested Rights Statute and the Vested Rights Regulations and establish vested property rights pursuant to the Vested Rights Statute and the Vested Rights Regulations to develop the Property in the manner contemplated by such documents (the “Vested Rights”). Accordingly, the Third PDP Amendment will be exempt from the provisions of § 2-02-10-03-07 of the Adams County Development Standards and Regulations (“County Regulations”) relating to lapse, and neither the Third PDP Amendment, the Second PDP Amendment, nor any amendment to any of the foregoing will be subject to any expiration period or other durational limitation that might otherwise apply in the absence of this Agreement. Except as the Vested Rights Statute expressly provides otherwise, no initiated or referred zoning, subdivision, land use or other legal or administrative action that would directly or indirectly have the effect of materially and adversely altering, impairing, preventing, diminishing,

imposing a moratorium on development, delaying or otherwise adversely affecting any of the Vested Rights, will apply to or be effective against the Property.

2. **Term.** The term of the statutory vested property rights established by the Second PDP Amendment and ratified by this Agreement commenced on the Vesting Commencement Date, and will continue until the fifteenth (15th) anniversary of the Vesting Commencement Date, being July 8, 2029 (the “Term”).
3. **Compliance with General Regulations.** Subject to the terms, conditions and limitations of the Vested Rights Law, and except as otherwise provided in this Agreement, the establishment of statutory vested property rights pursuant to this Agreement will not preclude the application on a uniform and non-discriminatory basis of County regulations of general applicability (including, but not limited to, building, fire, plumbing, electrical and mechanical codes) as all of such regulations existed on the Commencement Date or may be, or have been, enacted or amended after the Commencement Date. The Developer does not waive their right to oppose the enactment or amendment of any such regulations.
4. **Expiration of Term.** After expiration of the Term, the Property will continue to be subject to the County Regulations and other rules and regulations of the County for so long as it is located within the boundaries of the County, and the statutory vested property rights established by this Agreement will be deemed terminated and of no further force or effect; provided, however, that such termination will not affect any common-law vested rights obtained prior to such termination, or any right, whether characterized as vested or otherwise, arising from the PDP Amendments, or from County permits, approvals or other entitlements for the Property which were granted or approved prior to, subsequent to, concurrently, or in conjunction with the approval of this Agreement.
5. **No Obligation to Develop.** This Agreement will not be construed to create an implied obligation upon the Developer or any other person to develop any or all of the Property to construct any public improvements. Neither the Developer nor any other person will have liability arising under this Agreement to the County, or to any third party, for failure to develop all or any of the Property or all or any of the public improvements. However, this Section 5 will not be construed as relieving the Developer of any express obligation contained any subdivision improvement agreements entered into between the County and the Developer relating to the Property.
7. **Amendment of Agreement.** This Agreement may be amended or terminated only by mutual consent in writing of the County and the Developer following any applicable public notice and public hearing procedures.

8. **Titles of Sections.** Any titles of the several parts and sections of this Agreement are inserted for convenience or reference only and will be disregarded in construing or interpreting any of its provisions.
9. **Assignment.** This Agreement will be binding upon and, except as otherwise provided in this Agreement, will inure to the benefit of the successors in interest and assigns of the parties hereto. The Developer will have the right to assign or transfer all or any portion of its interests, rights or obligations under this Agreement to third parties acquiring an interest or estate in the Property or any portion thereof. The express assumption of any of the Developer's obligations under this Agreement by its assignee or transferee will, upon written notice to the County, relieve the Developer of any further obligation under this Agreement with respect to the matter so assumed.
10. **Applicable Law.** The laws of the State of Colorado will govern the interpretation and enforcement of this Agreement.
11. **Recording.** This Agreement will be recorded in the real property records of the Clerk and Recorder for the County promptly after mutual execution by the parties, and upon recording, the provisions of this Agreement will constitute covenants and servitudes that touch, attach to and run with the land comprising the Property during the Term and the burdens and benefits of this Agreement will bind and inure to the benefit of all estates and interests in the Property and all successors in interest to the Developer and the County during the Term.
12. **Severability.** If any term, provision, covenant or condition of this Agreement is held by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions of this Agreement will, unless amended or modified by mutual consent of the parties, continue in full force and effect so long as enforcement of the remaining provisions would not be inequitable to the party against whom they are being enforced under the facts and circumstances then pertaining.
13. **Notices.** All notices and other communications under this Agreement will be in writing and will be deemed to have been duly given (i) on the date of service, if served personally on the party to whom notice is given, (ii) one business day after being deposited with a reputable national overnight courier service, (iii) upon confirmed facsimile transmission, or (iv) on the third day after mailing, if mailed to the party to whom notice is to be given, by first class mail, registered or certified, postage prepaid and properly addressed as follows:

To County at:

County of Adams
Adams County Government Center
4430 S. Adams County Parkway
Brighton, Colorado 80601
Attention: Director of Community and Economic Development
Facsimile: (720) 523-6114

with a copy to:

County of Adams
Adams County Government Center
4430 S. Adams County Parkway
5th Floor Suite C5000B
Brighton, Colorado 80601
Attention: County Attorney
Facsimile: (720) 523-6114

To Developer at:

Midtown LLC
Brookfield Residential
6465 S. Greenwood Plaza Blvd., Suite 700
Centennial, Colorado 80111
Attention: Ashley Tarufelli
Facsimile: (303) 706-9453

with a copy to:

Otten, Johnson, Robinson, Neff and Ragonetti, P.C.
950 17th Street, Suite 1600
Denver, Colorado 80202
Attention: Kimberly Martin
Facsimile: (303) 825-6525

[signature page follows]

IN WITNESS WHEREOF, the County and the Developer have caused this Agreement to be duly executed as of the day first above written.

Midtown LLC, a Colorado limited liability
company

Name: _____

By: _____

Title: _____

STATE OF COLORADO)
) ss.
[CITY AND] COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by _____ as _____ of Midtown LLC, a Colorado limited liability company.

Witness my hand and official seal.

My commission expires: _____

Notary Public

APPROVED BY resolution at the meeting of _____, 20__.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"

Legal Description of the Property

LEGAL DESCRIPTION

PARCEL 1

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 4 AND THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 453.34 FEET TO THE NORTHWESTERLY CORNER OF MIDTOWN AT CLEAR CREEK FILING NO. 2 PLAT AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG THE WESTERLY AND SOUTHERLY BOUNDARY OF SAID MIDTOWN AT CLEAR CREEK FILING NO. 2 PLAT THE FOLLOWING EIGHTEEN (18) COURSES:

- 1) SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET;
- 2) SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET;
- 3) SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;
- 4) SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET;
- 5) NORTH 89°43'26" WEST, A DISTANCE OF 20.09 FEET;
- 6) SOUTH 00°16'34" WEST, A DISTANCE OF 57.00 FEET;
- 7) SOUTH 89°43'26" EAST, A DISTANCE OF 276.59 FEET;
- 8) SOUTH 00°16'34" WEST, A DISTANCE OF 109.17 FEET;
- 9) SOUTH 89°43'26" EAST, A DISTANCE OF 57.00 FEET;
- 10) NORTH 00°16'34" EAST, A DISTANCE OF 19.05 FEET;
- 11) SOUTH 89°43'26" EAST, A DISTANCE OF 85.00 FEET;
- 12) SOUTH 00°16'34" WEST, A DISTANCE OF 266.00 FEET;

- 13) SOUTH 89°43'26" EAST, A DISTANCE OF 24.57 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 25.00 FEET;
- 14) EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 45°00'00", AN ARC LENGTH OF 19.63 FEET;
- 15) TANGENT TO SAID CURVE, NORTH 45°16'34" EAST, A DISTANCE OF 92.97 FEET;
- 16) SOUTH 44°43'26" EAST, A DISTANCE OF 72.96 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 78.50 FEET;
- 17) EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 45°00'00", AN ARC LENGTH OF 61.65 FEET;
- 18) TANGENT TO SAID CURVE, SOUTH 89°43'26" EAST, A DISTANCE OF 136.41 FEET TO A POINT ON THE WESTERLY BOUNDARY OF MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED UNDER RECEPTION NO. 2013000055576, IN SAID RECORDS;

THENCE ALONG THE WESTERLY AND SOUTHERLY BOUNDARY OF SAID MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION THE FOLLOWING TWENTY-ONE (21) COURSES

- 1) SOUTH 00°16'34" WEST, A DISTANCE OF 337.50 FEET;
- 2) SOUTH 89°43'26" EAST, A DISTANCE OF 57.00 FEET;
- 3) NORTH 00°16'34" EAST, A DISTANCE OF 47.50 FEET;
- 4) SOUTH 89°43'26" EAST, A DISTANCE OF 208.00 FEET;
- 5) SOUTH 00°16'34" WEST, A DISTANCE OF 13.55 FEET;
- 6) SOUTH 89°43'26" EAST, A DISTANCE OF 57.00 FEET;
- 7) NORTH 00°16'34" EAST, A DISTANCE OF 13.55 FEET;
- 8) SOUTH 89°43'26" EAST, A DISTANCE OF 208.00 FEET;
- 9) SOUTH 00°16'34" WEST, A DISTANCE OF 14.00 FEET;
- 10) SOUTH 89°43'26" EAST, A DISTANCE OF 57.00 FEET;
- 11) NORTH 00°16'34" EAST, A DISTANCE OF 14.00 FEET;

12) SOUTH 89°43'26" EAST, A DISTANCE OF 208.00 FEET;

13) SOUTH 00°16'34" WEST, A DISTANCE OF 66.00 FEET;

14) SOUTH 89°43'26" EAST, A DISTANCE OF 57.00 FEET;

15) NORTH 00°16'34" EAST, A DISTANCE OF 50.00 FEET;

16) SOUTH 89°43'26" EAST, A DISTANCE OF 342.18 FEET;

17) SOUTH 00°00'15" WEST, A DISTANCE OF 278.74 FEET;

18) NORTH 90°00'00" WEST, A DISTANCE OF 32.00 FEET;

19) SOUTH 00°00'15" WEST, A DISTANCE OF 20.00 FEET;

20) NORTH 90°00'00" EAST, A DISTANCE OF 32.00 FEET;

21) SOUTH 00°00'15" WEST, A DISTANCE OF 53.67 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'26" WEST A DISTANCE OF 2611.37 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 5;

THENCE ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER, SOUTH 00°26'28" WEST A DISTANCE OF 112.05 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF C & S RAILROAD AND BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 6551.57 FEET AND A RADIAL BEARING OF SOUTH 39°31'32" WEST.

THENCE DEPARTING SAID EAST LINE, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE THE FOLLOWING FOUR (4) COURSES:

1) NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°05'10" AN ARC LENGTH OF 810.27 FEET;

2) TANGENT TO SAID CURVE NORTH 57°33'37" WEST A DISTANCE OF 404.92 FEET;

3) NORTH 32°26'23" EAST A DISTANCE OF 50.00 FEET;

4) NORTH 57°33'37" WEST A DISTANCE OF 177.22 FEET;

THENCE DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY LINE, ALONG THE WESTERLY, NORTHERLY AND EASTERLY BOUNDARY OF LOT 1, BLOCK 1, SUNDRAND SUBDIVISION

AS RECORDED UNDER RECEPTION NO. A026680, IN SAID RECORDS THE FOLLOWING SIX (6) COURSES:

- 1) NORTH 00°34'23" EAST A DISTANCE OF 1349.53 FEET;
- 2) SOUTH 83°07'30" EAST A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1063.39 FEET;
- 3) THENCE EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46" AN ARC LENGTH OF 215.53 FEET;
- 4) TANGENT TO SAID CURVE NORTH 85°15'44" EAST A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
- 5) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44" AN ARC LENGTH OF 267.94 FEET;
- 6) TANGENT TO SAID CURVE SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY OF LOT 1, SOUTH 89°33'32" EAST, A DISTANCE OF 40.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 89.049 ACRES, (3,878,968 SQUARE FEET), MORE OR LESS.

PARCEL 2

A PARCEL OF LAND BEING LOT 1, BLOCK 10 OF MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED UNDER RECEPTION NO. 2013000055576 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 5.907 ACRES, (257,321 SQUARE FEET), MORE OR LESS.

PARCEL 3

A PARCEL OF LAND BEING A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE WEST QUARTER CORNER OF SAID SECTION 4 BEARS SOUTH 89°43'26" EAST, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE SOUTH 69°16'24"EAST A DISTANCE OF 85.53 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WEST 68TH AVENUE AND THE **POINT OF BEGINNING**.

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°48'22" EAST A DISTANCE OF 1786.53 FEET TO A POINT ON THE EASTERLY BOUNDARY OF THAT PARCEL OF LAND DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2007000079792 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE;

THENCE ALONG SAID EASTERLY BOUNDARY OF SAID SPECIAL WARRANTY DEED THE FOLLOWING TEN (10) COURSES:

- 1) DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 38°21'59" EAST A DISTANCE OF 207.63 FEET;
- 2) SOUTH 51°23'53" EAST A DISTANCE OF 238.43 FEET;
- 3) SOUTH 76°03'38" EAST A DISTANCE OF 308.66 FEET;
- 4) SOUTH 13°10'31" WEST A DISTANCE OF 28.49 FEET;
- 5) SOUTH 48°37'29" WEST A DISTANCE OF 149.88 FEET;
- 6) SOUTH 79°10'35" WEST A DISTANCE OF 189.18 FEET;
- 7) SOUTH 58°45'32" WEST A DISTANCE OF 380.89 FEET;
- 8) SOUTH 54°30'23" WEST A DISTANCE OF 236.69 FEET;
- 9) SOUTH 27°17'19" WEST A DISTANCE OF 306.52 FEET;
- 10) SOUTH 39°46'32" WEST A DISTANCE OF 63.23 FEET TO A POINT ON THE NORTH LINE OF A PARCEL DESCRIBED IN BOOK 73 AT PAGE 186, IN SAID RECORDS;

THENCE ALONG SAID NORTH LINE, NORTH 89°58'16" WEST A DISTANCE OF 153.41 FEET TO THE NORTHWEST CORNER OF SAID PARCEL AND A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID EAST LINE, SOUTH 00°05'55" EAST A DISTANCE OF 52.30 TO A POINT 33.00 FEET NORTH OF THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4;

THENCE DEPARTING SAID EAST LINE, N 89°57'38" W, PARALLEL WITH AND 33.00 FEET DISTANT NORTH, BY PERPENDICULAR MEASURE, OF THE SOUTHERLY LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4, A DISTANCE OF 1273.94 FEET TO THE EASTERLY RIGHT OF WAY LINE OF NORTH PECOS STREET;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, THE FOLLOWING TWO (2) COURSES:

- 1) NORTH 00°00'15" EAST, A DISTANCE OF 1231.71 FEET;
- 2) NORTH 45°05'57" EAST, A DISTANCE OF 42.36 FEET TO THE **POINT OF BEGINNING**;

CONTAINING AN AREA OF 53.777 ACRES, (2,342,536 SQUARE FEET), MORE OR LESS.

PARCEL 4

A PARCEL OF LAND BEING LOT 1, BLOCK 11 AND TRACT S OF MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED UNDER RECEPTION NO. 2013000055576 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 4.505 ACRES, (196,225 SQUARE FEET), MORE OR LESS.



Development Review Team Comments

Date: 10/17/17

Project Number: PRC2017-00007

Project Name: Midtown 3rd Amendment to PDP

Based on previous conversations with staff and the formal guidance memo, all comments will be reviewed in the next regularly scheduled meeting with County staff.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for a third amendment to the approved Preliminary Development Plan.

- a. Allow redistribution of parks, open space, and residential areas within the development.
- b. Reduce total residential unit count from 1,608 to 1,208.
- c. Reduce 43-acre park to 27-acres and add 5-acre park to eastern side of development.

PLN2. PDP Comments:

- a. Cover sheet: change Director to “Community and Economic Development”
- b. BPI Westminster should be a signatory on the cover sheet as they are the current property owner for a portion of the development.
- c. Sheet 2: summary of contamination may require revisions. Can discuss in meeting with staff.
- d. Section F: suggest map of “common areas” under Metro District maintenance as this is a common question from residents
- e. Section H: suggest including language specifying if “home occupations” are permitted within the PUD. Can follow County regulations for home occupations. Staff has received several calls for proposed home occupations within the PUD (i.e. home day care, etc). Language will help with future inquires.
- f. Highlighted areas have confusion language or need corrections.
- g. Concerns with designating commercial/ mixed-use are on PA-11 at the corner. Suggest adding language to the description of PA-11 allowed uses instead of showing graphically. Previously discussed to only show “future development” on PA-11.
- h. Sheet 4: Suggest differentiating existing/developed open space and future/undeveloped areas
 - i. See new definition of “Active Open Space” in Section 11-02-389

- ii. Open space that may be improved and set aside, dedicated, designated, or reserved for recreational facilities such as swimming pools, play equipment for children, ball fields, court games, picnic tables, etc.
- i. Is there potential to connect to Little Dry Creek Trail across Pecos and within Filing 5 or 7?
- j. Additional redlines provided on PDF document.

Commenting Division: Development Services, Engineering:

Name of Reviewer: Matt Emmens

Email: memmens@adcogov.org

ENG1: Sheet 4 of 7, of the 3rd PDP Amendment, shows the area at the intersection of 70th Ave and Zuni Street being designated as Commercial/mixed use. The traffic impact study(TIS), dated April 2017, did not include this area as commercial. The TIS will need to be updated for this additional commercial area or, the commercial area removed.

ENG2: Sheet 4 of 7, of the 3rd PDP Amendment, shows the area at the intersection of 70th Ave and Zuni Street being designated as Commercial/mixed use with an area not to exceed 3.0 acres. The Master Drainage Report Amendment, dated Sept 22, 2017, only included 1.5 areas of commercial area in that location (see sheet SF-1runoff coefficient calculations for basin A2). The drainage report calculations should be revised to match the proposed land uses and areas.

Commenting Division: Development Services, Right-of-Way

Name of Reviewer: Marissa Hillje

Email: mhillje@adcogov.org

ROW1: Please provide an exhibits for the legal descriptions of the three parcels submitted with bearings and distances labeled.

Commenting Division: Environmental Analyst

Name of Reviewer: Jen Rutter

Email: jrutter@adcogov.org

ENV1. Currently, the Park Parcel (i.e. Facility Parcel) is not suitable or approved for residential development. The Park Parcel is deed restricted by Hamilton Sunstrand to recreational and open space use only. It prohibits residential and commercial on the land, other than structures ancillary to the open space or park use. This deed restriction, or environmental covenant, would need to be modified to allow the residential uses proposed by the applicant.

ENV2. Prior to any residential use approvals, a No Further Action Letter shall be obtained from CDPHE that indicates that the soil has been remediated to EPA residential screening level standards.



October 19, 2017

Emily Collins
Adams County
Community and Economic Development
4430 South Adams County Pkwy
Brighton, CO 80601

RE: Midtown at Clear Creek Third Amendment to PDP, PRC2017-00007
TCHD Case No. 4633

Dear Ms. Collins,

Thank you for the opportunity to review and comment on the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations. After reviewing the application, TCHD has the following comments.

Existing Environmental Covenant

An existing environmental covenant exists for the western parcel of the midtown development, Hamilton Sundstrand Environmental Covenant dated August 10, 2007. In the existing covenant, there are property restrictions including the restriction of land uses to recreation and open space only. The application materials indicate that the applicant is proposing residential uses on this parcel. In order to allow residential use, the environmental covenant must be modified. The applicant will need to work with Colorado Department of Health and Environment (CDPHE) to make any modifications to the existing environmental covenant. In order to consider a modification to the existing covenant, the applicant will need to do extensive soil sampling to determine the presence of contaminants and whether the site is suitable for residential. TCHD recommends that the applicant continue to work with David Walker at CDPHE, david.walker@state.co.us or (303) 692-3354.

Historic Landfill

According to TCHD's records, there is a historic landfill located in the eastern portion of the midtown property and to the south of the property. Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. A Flammable Gas Investigation was conducted and a report delivered to TCHD on April 18, 2007. The report indicates that methane is not present at or above 20% of the lower explosive limit for methane (1% by volume in air) in the soils.

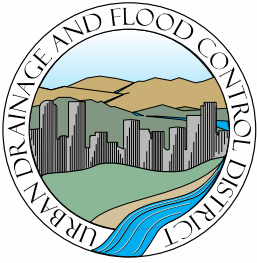
Please feel free to contact me at (720) 200-1571 or slynch@tchd.org if you have any questions regarding TCHD's comments.

Sincerely,

A handwritten signature in black ink that reads "Sheila Lynch". The signature is written in a cursive style with a large initial 'S' and a long, sweeping tail.

Sheila Lynch
Land Use, Built Environment, and Health Program Manager

cc: Monte Deatrich, TCHD



URBAN DRAINAGE AND FLOOD CONTROL DISTRICT

Ken MacKenzie, Executive Director
2480 W. 26th Avenue, Suite 156B
Denver, CO 80211-5304

Telephone 303-455-6277
Fax 303-455-7880
www.udfcd.org

November 1, 2017

UDFCD Maintenance Eligibility Program Referral Review Comments

To: **Emily Collins, Adams County**
Project: **Midtown at Clear Creek 3rd Amendment to PDP**
Stream: **Little Dry Creek, Clear Creek**
UDFCD MEP Phase: **Referral**
UD MEP ID: **106931/10001866**

Dear Emily:

This letter is in response to the request for our comments concerning the referenced project. We have reviewed this proposal only as it relates to major drainage features, in this case:

- Planned improvements along Clear Creek and Little Dry Creek

We have the following comments to offer:

1. This project has great potential to incorporate Clear Creek and Little Dry Creek as true amenities. As concepts develop, we would like to be a part of helping shape improvements along the creek fronts.
2. We recognize that there is an approved CLOMR, which documents that all affected property owners have been notified and no insurable structures are impacted by the project. Please be aware that the mapped floodplains for Clear Creek and Little Dry Creek are likely to change, as we are currently restudying both drainageways. The Clear Creek Flood Hazard Area Delineation study is anticipated to be complete in the first quarter of 2018. The Little Dry Creek Major Drainageway Plan and Flood Hazard Area Delineation study is anticipated to be complete by the end of 2018. We can share draft updates as available. Preliminary mapping for Clear Creek should be available soon. Preliminary mapping for Little Dry Creek should be available by spring of 2018, and we may have preliminary models available sooner. Please check back with us for status updates.
3. It appears that the southwest corner of PA-6 confines Little Dry Creek; additional design documentation will help us assess the stability of the stream. Earlier versions of the Preliminary Development Plan allowed more space for the stream corridor. Are there opportunities to adjust the planned layout to reduce this constriction?

We appreciate the opportunity to review this proposal. Please feel free to contact me with any questions or concerns.

Sincerely,

Urban Drainage and Flood Control District

A handwritten signature in blue ink that reads "Brooke Seymour". The signature is written in a cursive, flowing style.

Brooke Seymour, P.E., CFM
Watershed Services Program

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Wednesday, October 18, 2017 7:28 AM
To: Emily Collins
Subject: PRC2017-00007, Midtown at Clear Creek Third Amd. to PDP

Emily,

I have reviewed the request for comments for the project named above, generally located at 6701 Pecos Street. This request is for a third amendment of the PDP to allow modifications to the overall site plan including residential and open space locations and I have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



October 17, 2017

Emily Collins
Adams County Planning and Development
Transmission via email: ecollins@adcogov.org

**RE: Midtown at Clear Creek Third Amendment to PDP
Case No. PRC2017-00007
Part of the S ½ of Sec. 4 and E ½ of Section 5, T3S, R68W, 6th P.M.
Water Division 1, Water District 7**

Dear Ms. Collins:

We have reviewed the above referenced proposal to complete a third amendment to the Preliminary Development Plan (PDP) for the Midtown at Clear Creek development. The proposed amendment is being completed primarily for the purpose to redistribute the parks, open space and residential densities. In addition the overall residential density is reduced by approximately 25 percent from 1,608 units to 1,208 units. This amendment will supersede portions of the Second Amendment to the PDP.

Water Supply Demand

Previously, the applicant indicated that the estimated water requirement for the overall property will be 1,582 acre-feet per year assuming all 1,608 dwelling units are built. With the reduction in the overall units the estimated water requirement is unknown. However, so long as the water provider agrees to provide the water needed to serve the project, this office does not seek any further clarification on the proposed water demand for the new 1,208 units.

In addition, the applicant should be aware that section 37-92-602(3)(b)(III), C.R.S. requires that the cumulative effect of all wells in a subdivision be considered when evaluating material injury to decreed water rights. Therefore, when any portion of the PDP goes through a preliminary plat process, any existing exempt production wells within the filing area must be re-permitted pursuant to a decreed augmentation plan, or must be plugged and abandoned since the provisions of Section 37-92-602, C.R.S., which allowed for issuance of the well permit, will no longer apply.

Source of Water Supply

No water supplier was identified in the referral information. However, according to previous information received in this office as part of the Midtown at Clear Creek Second Amendment to PDP the proposed water sources for the PDP are North Pecos Water and Sanitation District ("North Pecos") and Crestview Water and Sanitation District ("Crestview"). North Pecos will service the project area east of Pecos Street and Crestview will service the project area West of Pecos Street. Letters from North Pecos and Crestview stating their willingness to serve Midtown at Clear Creek were previously provided. North Pecos is contracted with the Denver Water Department ("Denver



Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 210. Crestview is also contracted with Denver Water; they obtain treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier.

State Engineer’s Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights.

Our opinion that the water supply is **adequate** is based on our determination that the amount of water required annually to serve the subdivision is physically available, based on current conditions.

Our opinion that the water supply can be **provided without causing injury** is based on our determination that the amount of water that is legally available on an annual basis for the proposed uses is greater than the annual amount of water required to supply existing water commitments and the demands of the proposed subdivision.

Should you have any questions, please contact Ioana Comaniciu of this office at 303-866-3581 x8246.

Sincerely,

 for
Joanna Williams, P.E.
Water Resource Engineer

Ec: Subdivision File 24119

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

November 3, 2017

Emily Collins, AICP
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000B
Brighton, CO 80601

Location:
S½ of Section 4 and
E½ of Section 5,
T3S, R68W of the 6th P.M.
39.8211, -105.018

**Subject: Midtown at Clear Creek – 3rd Amendment to Preliminary Development Plan (PDP)
Case Number PRC2017-00007; Adams County, CO; CGS Unique No. AD-18-0003**

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown at Clear Creek 3rd PDP Amendment referral. I understand the applicant proposes modifications to the overall site plan including residential and open space locations, and a reduction in density from 1608 to 1208 units. With this referral, I received a Request for Comments (October 13, 2017), a zoning/vicinity map, a Written Statement (Norris Design, undated), a Site Plan (Lantz, April 2017), and a set of seven 3rd PDP Amendment drawings (Brookfield Residential / Redland / Norris Design, October 6, 2017).

CGS previously reviewed the overall Midtown at Clear Creek project at preliminary plat and PUD-P (November 9, 2007), Midtown at Clear Creek 2nd Amendment to Approved PDP (April 4, 2014), Filings 3 through 10 (various dates 2014-2017), and a proposed school parcel southeast of 68th and Zuni (April 25, 2017). As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006). CGS also received a Preliminary Geotechnical Study, Midtown at Clear Creek, Phases 2 and 3 (Cesare, Inc., July 2, 2012) as part of the Midtown Filing 6 applicant's response to comments. No additional geologic, geotechnical or environmental information has been submitted to CGS.

CGS has no objection to approval of the 3rd PDP amendment as proposed, but we have several comments:

Soil and groundwater contamination. The area identified on Third Amendment to the PDP sheets 4 and 5, Site Plan and Open Space Site Plan, as Future Phase PA-11 and Filing 6, Phase 4 (PA-11) previously contained Hamilton Sundstrand aerospace facilities, and has (or had) soil and groundwater contamination. The area of Midtown west of Zuni is subject to an environmental covenant that limits allowed uses to recreational and open space. The letter of explanation and justification for the Midtown 2nd Amendment to PDP (Norris Design, February 27, 2014) stated that the area currently identified as Midtown West was still under environmental remediation. The current application narrative states (pages 1-2), "All Midtown improvements west of Zuni Street will require clearance from the Colorado Department of Health and Environment (CDPHE)."

Environmental remediation is outside the scope of CGS review. **Proposed PA-11's suitability for residential development should be verified by CDPHE prior to preliminary plat approval.**

Construction debris and uncontrolled fill materials were observed over much of the proposed Future Midtown East/PA-7 area located east of Mariposa. Ground Engineering's 2006 evaluation provided several options for mitigating potentially serious impacts of fill material on structural performance, including removal and replacement, or restricting development southeast of Mariposa and 68th and designating the debris-underlain area as open space. Ground's suggested alternatives, including placing sufficient fill over the debris to maintain a 3-foot thickness of properly placed and compacted fill between foundations/floors and in-place construction debris, would require extensive planning, earthwork and monitoring during construction to ensure that post-construction settlements are within acceptable tolerances. **The depth and extent of fill and debris should be characterized, and a mitigation plan developed, prior to preliminary plat approval of Midtown lots east of Mariposa.**

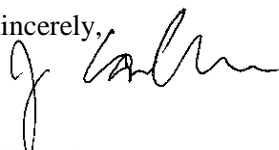
Very highly expansive soils, soil engineering properties and foundation design. The previously reviewed geotechnical reports for Midtown by Ground Engineering and Cesare, Inc. contain appropriate *preliminary* recommendations for mitigating potential damage caused by the site's expansive and collapsible soils and expansive claystone bedrock. Additional geotechnical investigation and analysis will be necessary, once development plans are finalized, to more accurately characterize soil and bedrock engineering properties and to determine the depth and extent of any required overexcavation, if this has not been completed already.

Once overexcavation and site grading are complete, lot-specific geotechnical investigations will be needed to confirm that swell potential has been reduced to acceptable values, and to characterize soil engineering properties such as density, strength, water content, etc. This information, along with information about seasonal depths to groundwater, will be needed to design individual foundations, floor systems, foundation perimeter drains and pavements, and to determine each lot's suitability for a basement or crawl space, if planned.

Shallow groundwater and basement feasibility. Based on the close proximity of Clear Creek and adjacent wetlands, shallow groundwater, at depths that may preclude full depth basement construction, should be expected, at least seasonally. Basements may not be feasible on all proposed lots unless area grades are raised sufficiently to maintain an adequate separation distance between lowermost floor levels and anticipated maximum water levels. This will need to be evaluated further before full-depth basements can be considered feasible within any specific filing. Individual foundation perimeter drains are intended to handle small amounts of intermittent, perched water, and are *not* to be used to mitigate a persistent shallow groundwater condition.

Corrosive soils. Adams County Soil Survey data indicate that local soils present a moderate to high risk of corrosion to uncoated steel. Steel that will be in contact with site soils should be epoxy-coated to slow corrosion. On lots where groundwater levels are sufficiently deep to allow basements, epoxy-coated, plastic/composite or concrete basement window wells are recommended, rather than the standard uncoated steel.

Thank you for the continued opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.
Engineering Geologist

Perl Mack Neighborhood Group

7294 Navajo St
Denver, CO 80221

Emily Collins, AICP
Planner II, Community & Economic Development
Adams County Colorado
4430 South Adams County Parkway
Brighton, CO 80601

We recently received your email on the proposed amendment to Midtown. We are finding a few issues with these changes.

The area marked as filing 9 on the new diagram has been changed from a mixed commercial to a residential filing. This change would only be acceptable to us should the area marked for future use as "Future Phase PA-10" be switched to mixed use commercial. We feel that there needs to be additional commercial development in this area due to the large increase in population we are seeing. This change would then move the commercial from the southwest corner of 68th and Pecos to the southeast corner of 68th and Pecos. We feel that the demographics as well as the need are present here.

There is currently a dog park on the southeast corner of 68th and Pecos. We do fully expect this to be temporary and that the permanent dog park would be moved to the open space area at the west end of the development. This would locate it as far from any residential structure as possible.

We also noticed that the "cut across" road that was planned to extend 68th avenue to the west and diagonally connect it with 70th avenue is now absent from the plans. This road was necessary in order to control the flow of traffic from "cutting through" the older Perl Mack neighborhood. We know that it would be impossible to stop all traffic in this manner but that new diagonal across the old Sundstrand property would help. This diagonal road would also allow more access to the proposed park area. We would hope that there would also be additional parking areas along this road for all to use and get enjoyment from this park.

It would be our hope that future phase Future Phase PA-11 will be used in a manner that would benefit the area. Possibilities of multi-family as well as mixed use commercial would work well in that location. Future Phase PA-7 would work well as addition single family locations.

So far, we as a community have found that Midtown has worked fairly well as a new neighbor. Sales have obviously been good. These homes, although unique in their design, seem to have been popular. We hope that this project continues to show a balance to the area as well as a comfortable & safe place to call home.

Cordially,

Dan Micek,

Perl Mack Neighborhoods



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

November 1, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

**Re: Midtown at Clear Creek Third Amendment to PDP
Case # PRC2017-00007**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for the **Midtown at Clear Creek Third Amendment to PDP**. Please be advised that PSCo has existing natural gas and electric distribution facilities throughout the Midtown at Clear Creek development. Public Service Company has no objection to this proposed rezone, contingent upon Public Service Company of Colorado's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



Development Review Team Comments

Date: 10/14/16

Project Number: PRC2016-00012

Project Name: Midtown Filing

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for Final Development Plan and Final Plat for 56 residential units on approximately 5 acres.

- a. The FDP includes dedication of a 5-acre school site and a portion of the 43-acre park.
- b. Request also includes vacation of a portion of existing Zuni Street right-of-way.

PLN2. A Subdivision Improvement Agreement is requirement with Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. A draft SIA was not submitted with the application. **An executed SIA and collateral shall be submitted to Community and Economic Development prior to scheduling any public hearings.**
- b. **Public Land Dedication Fees are required in the amount of \$86,266.28 (see attached spreadsheet). These fees are required prior to scheduling public hearings.**

PLN3. The FDP conforms to the Midtown at Clear Creek PUD Standards as outlined in the Second Amended PDP (PUD2013-00010). The FDP conforms to the following:

- a. Permitted land uses
- b. Required 2.5 parking spaces per unit.
 - i. **Please provide parking plan diagram. This does not need to be part of FDP document.**
- c. Required landscape.

- d. Circulation and road patterns.
- e. **Setbacks and height restrictions. Not included, please add to FDP document.**
- f. Ownership and maintenance of common areas.
- g. Per the approved 2nd amendment to the PDP, the maximum allowed density is approximately 8.7 dwelling units per acre. **Please demonstrate that this Filing complies with the maximum allowed density for the overall Midtown development.**
 - i. Please provide a list of units/lots in each approved phase of the development to-date.
 - ii. Include total number of units in the Filing as well as a table listing the number of units by product type. **See attached PDF provided from Filing 8 submittal.**

PLN4. The proposed Preliminary/Final Plat conforms to the following as determined by the Approved Second Amendment to the PDP.

- a. Single Family Detached with Rear Loaded Garage: Minimum Lot Size 2,000 square feet/ Minimum lot width-30 ft
- b. Single Family Detached Front Loaded: Minimum Lot Size 3,600/ Minimum lot width-40 ft

PLN5. Other FDP Comments:

- a. Sheet 1:
 - i. Please change Director of Planning to Community and Economic Development
- b. Sheet 2:
 - i. Section F and J: “Subsequent FDPs will include final improvements for all other areas of the park and streetscape.” **This will be discussed at a future meeting regarding park improvements and phasing.**
 - ii. Section H: Please clarify or indicate potential locations of monument signs. Add language about compliance with sight triangles.
 - iii. Section K:
 - 1. States building setbacks will be provided on sheet 17; however, there is no table, etc.
- c. Sheet 3:
 - i. Altering drainage patterns may also require approval from Adams County. Please add language that County permits will also be required.
 - ii. What is the typical SYUE width?
- d. Sheet 4:
 - i. Plat does not show Lot 3 in park area (Block 4) but FDP depicts a Lot 3. Please correct FDP.
- e. Sheet 12 and 14:
 - i. Fence locations not indicated on site plans, but notes refer to design on Sheet 18.
- f. 30% of the PUD is required to be open space with 25% dedicated to active recreation.

- i. Please show a diagram/calculation of all open space (passive and active) in the Midtown development and status of construction.
 - ii. Please indicate the type of programming in the active recreation areas.
 - iii. This site plan does not need to be part of the FDP document.
- g. We may need to discuss adding a note that in the FDP regarding the LOMR restriction on the applicable lots.

PLN6. Final Plat Comments:

- a. According to plat, certain lots will not be issued permits until a LOMR has been issued.
 - i. Please clarify status of LOMR (see ROW 3).**
 - ii. Proof of completed LOMR will likely be a conditional of approval on the land use case.**
- b. Plat notes 12 and 14 appear to be the same.
- c. Recorded environmental covenant not shown on plat, only shown in notes section.
- d. During a meeting with staff on October 11, 2016, there was a discussion regarding the possibility of phasing the required park design and construction.
 - i. The SIA will likely include need to include this language as well as the cost of all landscape and improvements, such as trails, etc.

***Staff encourages subsequent meetings to discuss the required roadway improvements as well as park phasing and design and incorporation into SIA.**

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: memmens@adcogov.org

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site IS located within a delineated 100-year flood hazard zone; A floodplain use permit will be required.

The applicant has also received approval by FEMA for a CLOMR to construction improvements to the Clear Creek channel that will revise the floodplain in the south-west corner of the site. No building permits can be issued for any building within the current floodplain boundary until the LOMR has been approved by FEMA.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$7,500.

The applicant has made a submittal of engineering documents. One review of the construction documents has been reviewed with revisions to the documents required.

ENG4: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk during the warranty period specified in the SIA.

ENG8: See attached comments on construction plans.

Commenting Division: Development Services, Right-Of-Way

Name of Review: Bob Kovacs

Email: rkovacs@adcogov.org

ROW1: Sheet 6, the width of the W. 66th Ave. ROW is inconsistently represented. Is labeled a 57 foot wide public right-of-way. On the other hand, the distance on the arrow stretching from ROW line to ROW line says 53.00'. Finally, the two half distances along the arrow are indicated as 24.50' each. They add up to 49 feet. Clarify inconsistency in agreement with construction plans as approved by Adams County Design Review Engineer.

ROW2: Add the following sentence at the end of plat note 6. "Wet utilities (water, sanitary sewer, and/or storm sewer) shall cross dry utility easements at near right angles."

ROW3: Looking forward in time, this statement makes perfect sense. A letter of map revision is needed. A perfect statement for a preliminary plat. However, at time of acceptance and recordation, this comment should be changed to one that references the specific letter of map revision, so those who wish can find it in the future. The change would be appropriate for a final plat. For the time being it can be left as is.

ROW4: It is the consensus of Adams county staff consulted regarding the proposed vacation of Zuni Street, that it is in the best interest of the public that only those portions of Zuni Street that will actually no longer be public right-of-way after the creation of Midtown filing six actually be vacated. Zuni St. should not be vacated and then re-dedicated in part.

ROW5: Also, the vacation may be accomplished by the plat itself, rather than by a separate vacation plat, as has been done in the past. The area being vacated should be clearly defined and labeled on the plat.

ROW6: Reference should be made on the plat that an easement for all existing utilities is reserved within the vacated portion of Zuni St.

ROW7: The Applicant is proposing Tract G as Open Space under the ownership of Adams County. The Adams County Parks Department should be informed of this proposal and its willing for Adams County ownership should be determined.

ROW8: The Parks Department should be therefore be given the opportunity to independently common on the Plat.

ROW9: If the conveyance of Tract G is therefore acceptable to the County, then Tract G should be conveyed to the County following acceptance of the Plat by the BOCC and recordation.

ROW10: Indicate 5' SME along all lots and tracts abutting the west side of Fern Dr.

ROW11: Following corrections, return to Adams County for further review.

ROW12: additional corrections in redlines of plat, attached to this case PRC2016-00012 under eDocs No. 5462191

Commenting Division: Development Services Building and Safety

Name of Review: Justin Blair

Email: jblair@adcogov.org

No Comment.

Commenting Division: Parks and Open Space

Name of Review: Aaron Clark

Email: aclark@adcogov.org

PRK1: The PUD shows that Tract G will be maintained by CCSMD, but the plat shows that Tract G will be owned and maintained by Adams County as open space. Please revise the plat to show that Tract G will be owned and maintained by CCSMD.

Commenting Division: Environmental Analyst

Name of Review: Jen Rutter

Email: jrutter@adcogov.org

ENV1: No comment.

Emily Collins

From: Jennifer Lothrop
Sent: Tuesday, September 27, 2016 9:46 AM
To: Emily Collins
Cc: Brigitte Grimm
Subject: PRC2016-00012 Midtown Filing 6
Attachments: PRC2016-00012 Midtown Filing 6 Request for Comments_Agency Referral.pdf

Case Name: Midtown at Clear Creek Filing 6
Case Number: PRC2016-0012
Parcel #'s 0182504300039 and 0182504315130

The above mentioned parcels are paid in full, therefore, the Treasurer's Office has no negative input regarding this request.

Jennifer Lothrop

Treasurer Technician

Adams County Treasurer's Office
4430 S. Adams County Pkwy., Ste. C2436
Brighton, CO 80601
720.523.6761 | www.adcotax.com
Mon. - Fri. 7am - 5pm



Adams County Mission
To responsibly serve the Adams County Community with integrity and innovation.



Emily Collins

From: Laura Garcia
Sent: Tuesday, September 27, 2016 11:42 AM
To: Emily Collins; 'CSIMMONDS@MWRD.DST.CO.US'; 'tbarnhart@hylandhills.org'; 'Donna.L.George@xcelenergy.com'; 'christensen.stanley@epa.gov'; 'sharonwhitehair@gmail.com'; 'Chris Wilder'; 'PatrickStock@crestviewwater.net'; 'brandyn.wiedrich@centurylink.com'; 'mary.c.dobyns@usps.gov'; Charlotte Ciancio; 'jpeterson@adams50.org'; 'thomas_lowe@cable.comcast.com'; 'CGS_LUR@mines.edu'; 'joanna.williams@state.co.us'; 'steven.loeffler@state.co.us'; 'CGS_LUR@mines.edu'; 'chris.quinn@rtd-denver.com'
Cc: Justin Blair; Eric Guenther; Matthew Emmens; Robert Kovacs; Jen Rutter; Aaron Clark; Christine Francescani; Amanda Overton; Michael Kaiser; Brigitte Grimm; Mark Moskowitz
Subject: RE: PRC2016-00012 Midtown Filing 6

Hi,
Finance has no comments since the SIA has not been submitted for review.

Thanks and have a great day.



Laura Garcia

Accountant II, *Finance*

4430 South Adams County Parkway, 4th floor, Suite C4228

Brighton, CO 80601

720.523.6239 | Lgarcia@adcogov.org | adcogov.org

From: Emily Collins
Sent: Friday, September 23, 2016 12:41 PM
To: 'CSIMMONDS@MWRD.DST.CO.US'; 'tbarnhart@hylandhills.org'; 'Donna.L.George@xcelenergy.com'; 'christensen.stanley@epa.gov'; 'sharonwhitehair@gmail.com'; 'Chris Wilder'; 'PatrickStock@crestviewwater.net'; 'brandyn.wiedrich@centurylink.com'; 'mary.c.dobyns@usps.gov'; Charlotte Ciancio; 'jpeterson@adams50.org'; 'thomas_lowe@cable.comcast.com'; 'CGS_LUR@mines.edu'; 'joanna.williams@state.co.us'; 'steven.loeffler@state.co.us'; 'CGS_LUR@mines.edu'; 'chris.quinn@rtd-denver.com'
Cc: Justin Blair; Eric Guenther; Matthew Emmens; Robert Kovacs; Jen Rutter; Aaron Clark; Christine Francescani; Laura Garcia; Amanda Overton; Michael Kaiser; Brigitte Grimm; Mark Moskowitz
Subject: PRC2016-00012 Midtown Filing 6

Good Afternoon,

Please see the attached Request for Comments on the above case. Comments are due by end of business on **October 14, 2016**.

Let me know if you have any questions. Thank you for your review!

Thanks,



Emily Collins, AICP

Planner II, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, W2000A

Brighton, CO 80601

o: 720-523-6820 | ecollins@adcogov.org

www.adcogov.org

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Tuesday, October 04, 2016 8:56 AM
To: Emily Collins
Subject: PRC2016-00012 Midtown Filing 6

Emily,

I have reviewed the request for comments for the development named above and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org





COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

September 26, 2016

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 6
Case No. PRC2016-00012
Part of the E1/2 of Sec. 5 and the NW1/4 of the SW1/4 of Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 6. Filing 6 will consist of 56 lots on approximately 58.735 acres.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted therefore, the water supply demand for this subdivision is unknown. Prior to further review a water supply plan must be submitted. Details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the Updated Memorandum Regarding Subdivisions, available online at

<http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Source of Water Supply

The proposed water source is the Crestview Water and Sanitation District (“District”). A letter from the District, dated March 24, 2011, indicates that the District will provide water to the proposed Midtown at Clear Creek Project that is currently within the District boundaries. The District is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. Although we consider Denver Water to be a reliable water supplier, any water supply plan for Filing 6 should clarify what portion of Filing 6 is within the District’s boundaries and whether an additional water source will be required.

It appears that numerous monitoring wells have been drilled in the area; several non-exempt recovery wells have also been constructed. The applicant should be aware that all wells



abandoned during the development process must be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules and Well Abandonment Reports must be completed and submitted to our office for each abandoned well.

The applicant should be aware that section 37-92-602(3)(b)(III), C.R.S. requires that the cumulative effect of all wells in a subdivision be considered when evaluating material injury to decreed water rights. Therefore, any existing exempt wells within Filing 6 must be re-permitted pursuant to a decreed augmentation plan, or must be plugged and abandoned since the provisions of Section 37-92-602, C.R.S., which allowed for issuance of the well permit, will no longer apply.

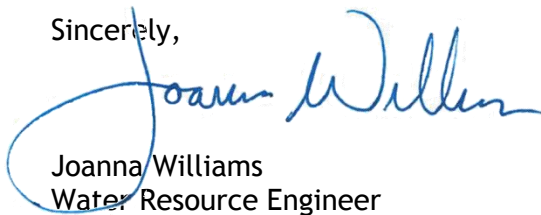
Furthermore, the applicant should be aware that any proposed detention pond for this filing, must meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), Colorado Revised Statutes, to be exempt from administration by this office. The applicant should review DWR's *Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado*, attached, to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The applicant is encouraged to use *Colorado Stormwater Detention and Infiltration Facility Notification Portal*, located at <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>, to meet the notification requirements.

State Engineer's Office Opinion

Since insufficient information was provided, we cannot comment on the potential for injury to existing water rights or the adequacy of the proposed water supply under the provisions of Section 30-28-136(1)(h)(II), C.R.S. Prior to further evaluation, a subdivision water supply plan must be submitted and the Applicant must clarify what portion of Filing 6 is within the District's boundaries and whether an additional water source will be required. In addition, if there are existing exempt wells located on the property the Applicant must clarify if the wells will be plugged and abandoned or if they will be included in a court approved augmentation plan.

Should you have any questions, please contact Ioana Comaniciu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

Cc: 23955





COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

November 22, 2016

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 6
Case No. PRC2016-00012
Part of the E1/2 of Sec. 5 and the NW1/4 of the SW1/4 of Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the additional information provided on November 17, 2016 via email by Mike Pietschmann of Redland on the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 6. Filing 6 will consist of 56 lots on approximately 57.622 acres. Of the 57.622 acres area approximately 43.4 acres will be dedicated to a future school site (5 acres) and open space (38.4 acres). At this time the school and the open space are not proposed to be developed. This office previously provided comments on this proposal by our letter dated September 26, 2016.

Water Supply Demand

The Water Supply Information Summary Sheet (“Summary Sheet”) submitted with the additional information indicates that the water supply demands for this subdivision are 27,500 gallons/day or 30.82 acre-feet/year for household use and 65,230 gallons/day or 73.12 acre-feet/year for irrigation use of 5.99 acres, totaling 92,730 gallons/day or 103.94 acre-feet/year. We note that the amounts of water use estimates for household and irrigation use appear to be high compare to the State Engineer’s water use estimate of 280 gallons/day/house (0.33 acre-feet/year/house) for household use and 0.05 acre-feet/year/1000 square-feet of lawn irrigation. As long as the water provider does not limit the available water supply to the demand proposed in the application materials, this office does not seek any further clarification on the proposed water demand.

Source of Water Supply

The proposed water source is the Crestview Water and Sanitation District (“District”). An updated letter from the District, dated November 11, 2016, indicates that the District is willing to provide water to the proposed Midtown at Clear Creek Project, Filing 6. The District



is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier. In addition according to the District letter the entire Filing 6 is located within the District’s boundaries.

In our previous letter we mentioned the existence of numerous monitoring wells and non-exempt recovery wells have been drilled in the area. The Applicant clarified that the only permitted exempt wells that are located within Filing 6 are monitoring wells associated with the groundwater remediation program. Many of these monitoring wells are expected to be plugged and abandoned in the near future as the remediation work is near completion. The Applicant acknowledged that all existing monitoring wells on property will be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules when they are determined to be no longer needed. All non-exempt wells associated with the remediation program are operated as part of the groundwater barrier system and are covered by the augmentation plan decreed in by the Division 1, Water Court in Case No. 94CW004.

State Engineer’s Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights as long as the District provides water to all 56 lots within this subdivision. Our previous comments regarding the proposed detention pond still apply.

Should you have any questions, please contact Ioana Comaniciu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

Cc: 23955



COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

October 17, 2016

Emily Collins, AICP
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
W½ NW¼ SW¼ Section 4,
T3S, R68W, 6th P.M.
39.8178, -105.0149

Subject: Midtown at Clear Creek Filing No. 6 – FDP, Preliminary and Final Plat, and SIA Case Number PRC2016-00012; Adams County, CO; CGS Unique No. AD-17-0004

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown at Clear Creek Filing 6 Final Development Plan (FDP), preliminary and final plat, and Subdivision Improvement Agreement (SIA) referral. I understand the applicant proposes 56 single family detached lots, two open space tracts, and several lots for school, open space, and park areas on 58.7 acres located east and west of Zuni St., between W. 70th Ave. and Little Dry Creek within the Midtown at Clear Creek PUD. With this referral, I received a request for CGS review (September 22, 2016), a Submittal Item F - Letter of Explanation Final Plat (Redland, August 12, 2016), a Midtown Filing 6 Conceptual Site Plan and a set of 21 Filing Six Final Development Plans (Brookfield Residential/Redland/Norris Design, August 30, 2016), and a set of seven Preliminary/Final Plat sheets (AzTec, August 10, 2016).

Lots within Little Dry Creek flood hazard zone. Proposed Lots 1, 2, and 3 (Block 3), and Lots 32, 33, 34, and possibly Lot 31 (Block 2) are located within a mapped FEMA 100-year flood hazard zone. Plat Note 8 states that a Letter of Map Revision (LOMR) will be approved prior to acceptance of this plat. No LOMRs appear to be pending for this project. **CGS recommends: (1) that all proposed lots be set back an adequate distance from flood zone boundaries to reduce hazards associated not just with rising floodwaters but also erosion, undercutting, and channel migration, and (2) withholding plat approval until the LOMR becomes effective.**

CGS previously reviewed the overall Midtown at Clear Creek project at the preliminary plat and PUD-P phase of development. As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006). Wassenaar has subsequently performed subsurface investigations for at least portions of Midtown at Clear Creek, but CGS has never received any of these reports for review. No new geologic, geotechnical or environmental information for Filing 6 has been submitted to CGS, so our previous comments remain valid:

Expansive and collapsible soils, soil engineering properties and foundation design. According to available geologic mapping (Lindvall, R.M, 1979, Geologic map of the Arvada quadrangle, Adams, Denver, and Jefferson Counties, Colorado: U.S. Geological Survey, Geologic Quadrangle Map GQ-1453, scale 1:24,000), the area of Filing 6 area is underlain by fine-grained, wind-deposited sandy silt with clay. Fine-grained soils such as these commonly exhibit low density, low strength, and collapse under wetting and loading but, depending on the clay content, can also exhibit volume changes (shrink-swell) in response to changes in water content. The surficial soils are underlain at an unknown depth by Denver formation claystone, siltstone, shale, sandstone and conglomerate. Claystone and shale can exhibit very high swell

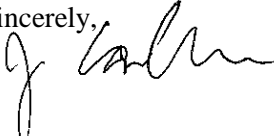
when wetted and, if present at or near foundation depths, can cause significant damage to foundations and homes if not properly identified and mitigated.

Once site grading is complete, site-specific geotechnical investigations will be needed on each lot to better characterize soil engineering properties such as expansion/consolidation potential, density, strength and allowable bearing pressures. This information, along with information about seasonal depths to groundwater, will be needed to design individual foundations, floor systems, foundation perimeter drains and pavements, and to determine each lot's suitability for a basement or crawl space, if planned.

Shallow groundwater and basement feasibility. As discussed above, the Little Dry Creek 100-year flood zone encroaches on the southwestern corner of the proposed residential portion of Filing 6. Shallow groundwater, at depths that may preclude full depth basement construction, should therefore be expected, at least seasonally. Ground discusses the presence of shallow groundwater and perched water on pages 7 and 14 of their geotechnical report. Basements may not be feasible on all proposed lots unless area grades are raised sufficiently to maintain an adequate separation distance between lowermost floor levels and anticipated maximum water levels, or an interceptor drain is constructed. This will need to be evaluated further before full-depth basements can be considered feasible on this site.

Corrosive soils. Soil Survey data indicate that local soils present a moderate to high risk of corrosion to uncoated steel. On lots where groundwater levels are sufficiently deep to allow basements, epoxy-coated, plastic/composite or concrete basement window wells are recommended, rather than the standard uncoated galvanized steel.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.
Engineering Geologist



Development Review Team Comments

Date: 2/2/17

Project Number: PRC2016-00018

Project Name: Midtown Filing 9

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for Final Development Plan and Final Plat for 53 single-family residential units on approximately 3.47 acres.

- a. These units are proposed a rear-loaded, attached townhomes
- b. All streets and alleys in this Filing are private and will be maintained by the Metro District
- c. This site is located within the "Commercial/ Mixed Use" 6.7 acres. Per the approved 2nd Amendment to the PDP, if this area is not developed, it may revert to residential use as part of the 1,608 maximum permitted units.
- d. The W. 67th Ave. Amenity FDP also states "if the commercial parcel is not fully realized, an additional 186 attached multi-family residential units may be proposed in Lot 1, Block 10...through an amended FDP in the future."
- e. Please respond to and address all citizen comments received on this request. A majority of comments requested a neighborhood meeting. **Please conduct the meeting and provide a summary in the re-submittal. Labels are attached.**

PLN2. A Subdivision Improvements Agreement is required with a Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. **A draft SIA was not submitted with the application. An executed SIA and collateral shall be submitted to Community and Economic Development prior to scheduling any public hearings.**

- b. Public Land Dedication Fees are required in the amount of \$116,646.19 (see attached spreadsheet). These fees are required prior to scheduling public hearings.**

PLN3. The FDP conforms to the Midtown at Clear Creek PUD Standards as outlined in the Second Amended PDP (PUD2013-00010). The FDP conforms to the following:

- a. Permitted land uses
- b. Required 2.5 parking spaces per unit.
 - i. Filing 9 includes 2.32 spaces per unit
 - ii. Overall parking ration in Midtown is 4.02 spaces per unit
- c. Required landscape.
- d. Circulation and road patterns.
- e. Setbacks and height restrictions.
- f. Ownership and maintenance of common areas.
- g. Per the approved 2nd amendment to the PDP, the maximum allowed density is approximately 8.7 dwelling units per acre.
 - i. A unit and density count was provided in the application. Current density (including multiple unapproved filings) is approximately 6.6 units/acre.
 - ii. Including only approved filing and the proposed Filing 9, the density is approximately in 7.2 units/acre.
- h. Staff is waiting for the applicant to provide all required documentation pertaining to construction and development of the required 43-acre park and compliance with the PUD open space/active recreation standards. There have been several previous meetings where staff has conveyed the necessity of providing these documents in order to move forward with any future Filings and applications. Per Section 2-01-04 of the Development Standards and Regulations, the Director of Community and Economic Development shall determine sufficiency of an application based on all required documents to evaluate the development application. Based on this requirement, staff has determined any further applications without the required documents shall be considered insufficient and will not be reviewed.**

PLN4. The proposed Preliminary/Final Plat conforms to the following as determined by the Approved Second Amendment to the PDP.

- a. Single Family Attached with Rear Loaded Garage: Minimum Lot Size 1,000 square feet/ Minimum lot width-15ft
 - i. Proposed lot sizes 1,059-2,293 sf
- b. Maximum density 16 du/acre
 - i. Proposed is 15.27 units/acre
- c. Please demonstrate the proposed dwellings can conform to the maximum 80% lot coverage as restricted in the 2nd Amendment to the PDP.**

PLN5. Other FDP Comments:

- a. Sheet 1:

- i. Please change BOCC signature block from “Chairperson” to “Chair”
- b. Sheet 4:
 - i. Please provide an explanation for using access easements to provide an “alley” to access garages on a majority of units instead of consistently using tracts (such as G and F).
 - ii. Should you continue with the access easements, these need to be defined and included on Sheet 2 as well as the final plat.
 - iii. Who is responsible for maintenance within these “access easement areas”? Will homeowners need to sign additional agreements?
 - iv. Staff is not supportive of the proposed design for several lots along Pecos St. ROW as the side of the townhomes will face the street. Please provide an explanation for this design preference and/or how the side elevations will enhance the street ROW.
- c. Sheet 5:
 - i. Unclear who will install or maintain landscape/infrastructure (sidewalk) north of Lots 37, 38 and 53.
 - ii. The installation and maintenance chart does not match the diagram. For example, Lots 30, 45, 46 states homeowner maintenance on diagram but chart indicates CCSMD with only a possibility of maintenance reverting to property owner.
 - iii. Please clarify or explain how and when landscape maintenance responsibility would be determined for all lots indicated with asterisk in the maintenance chart.
- d. Sheet 6:
 - i. Please clarify why the CCSMD would maintain landscape on the interior of the townhome lots while the homeowner may eventually be responsible for landscape along the right-of-way.
- e. Per Second Amendment to the PDP:
 - i. Please demonstrate how the “multi-family and commercial buildings adjacent to Pecos and 68th Ave shall have a minimum 30% masonry on the street side facades”. **Language may need to be added to Sheet 2.**
- f. As the subject Filing is current a portion of W. 67th Ave Amenity FDP, the proposed FDP should be an amendment to the existing development plan on file. **The re-submittal for Filing 9 FDP must be changed accordingly.**

PLN6. Other Final Plat Comments:

- a. Sheet 1:
 - i. Please change BOCC signature block from “Chairman” to “Chair”
- b. Sheet 2:
 - i. If side yard use easements are not included or permitted in this Filing, suggest removing from plat and/or add note to clarify if they are permitted in this Filing.

- c. **As the subject Filing is current a portion of Filing 1, Block 10, the final plat must include the southern portion of the site as a separate block (i.e. the amenity area cannot be separated from the proposed townhomes without being included in the plat). The re-submittal for Filing 9 must be changed accordingly.**

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: memmens@adcogov.org

ENG1: See attached comments on construction plans.

Commenting Division: Transportation, Right-of-Way

Name of Review: Ian Cortez

Email: icortez@adcogov.org

1. Add the Case No. PRC2016-00017 at the upper right-hand corner to all sheets.
2. Per Colorado Revised Statute 30-28-101, the subdivision of only the northerly portion of Lot 1 Block 10 of Midtown at Clear Creek – Filing No. 1 Plat Correction is not allowed. Revise the subdivision plat to include all of Lot 1 Block 10.
3. Revise the subtitle on every Sheet to read “...Block 10, Midtown atFiling No. 1 Plat Correction”
4. Revise the legal description within the dedication certificate to match the legal provided in the current title commitment
5. Revise the area under the legal description to 257,321 square feet or 5.907 acres.
6. Revise the title of the signature block to Chairperson in the Planning Commission Approval block.
7. Add the name and title of the signature block to EVA J. HENRY, CHAIR, in the BoCC Approval block.
8. Correct the year in the notary acknowledgement under the owners signature block.
9. Add the addresses on Sheet 2 per the Address Plat.
10. If the location of the any of the easements defined within the Schedule B Exceptions of the title commitment is not shown on the plat, please provide a statement or general note as to why.
11. Complete the blank spaces with Note 4 on Sheet 2
12. The plat does not show the use or need of side yard easements. Please remove Note 9 and the corresponding typical diagram on Sheet 2.
13. Provide a note stating the purpose, ownership, and maintenance responsibilities of every easement shown.
14. Revise Sheet 3 to include all of Lot 1 Block 10 of Midtown at Clear Creek – Filing No. 1 Plat Correction.
15. Revise the street names to the following:
W. 67th Dr. to West 67th Circle
Quivas Street to Quivas Way
Samuel Drive to West 67th Circle

W. 67th Pl. to West 67th Circle

16. Add the Tract B within the Private Drive area.

17. Provide dimensions of the water line easements along with reception nos.

18. Show the 13-foot wide Sidewalk & Landscape Easement per Reception No. 2013000055576.

19. Show the 13 foot x 19 foot Utility Easement per Reception No. 2013000055576.

20. See attached redlines.

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

February 13, 2017

Emily Collins, AICP
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NE $\frac{1}{4}$ NE $\frac{1}{4}$ SW $\frac{1}{4}$ Section 4,
T3S, R68W, 6th P.M.
39.8195, -105.007

Subject: Midtown Filing 9 FDP, Preliminary and Final Plat, and SIA
Case Number PRC2016-00018; Adams County, CO; CGS Unique No. AD-17-0012

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown Filing 9 Final Development Plan (FDP), Preliminary and Final Plat, and Subdivision Improvement Agreement (SIA) referral. I understand the applicant proposes 53 single family lots on 3.47 acres located immediately southwest of the intersection of W. 68th Ave. and Pecos St., within the Midtown at Clear Creek PUD. With this referral, I received a request for CGS review (January 3, 2017), a Written Explanation (undated), a set of Midtown Filing 9 Final Development Plans (Brookfield Residential/Redland/Norris Design, December 23, 2016), and a set of five preliminary/final plat sheets (AzTec Consultants, December 16, 2016).

The site does not contain steep slopes, is located outside of the mapped FEMA Clear Creek flood hazard zone, is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed residential use and density. **Provided the highly expansive soils, shallow groundwater, and corrosive soil conditions discussed below are addressed, CGS has no objection to approval of the Midtown at Clear Creek Filing 9 FDP, plat, and SIA.**

CGS previously reviewed the overall Midtown at Clear Creek project at the preliminary plat and PUD-P phase of development. As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006).

Very highly expansive soils, soil engineering properties and foundation design. Laboratory swell-consolidation testing for nearby Midtown filings indicates very highly expansive clay soils may be present within Filing 9. The need for mitigation, such as overexcavation, should be evaluated, if this has not been completed already.

Once overexcavation, if performed, and site grading are complete, additional, lot-specific geotechnical investigations are needed to confirm that swell potential has been reduced to acceptable values, and to characterize soil engineering properties such as density, strength and allowable bearing pressures. This information, along with information about seasonal depths to groundwater, will be needed to design individual foundations, floor systems, foundation perimeter drains and pavements, and to determine the filing's suitability for basement or crawl space construction, if planned.

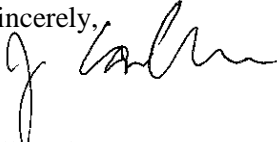
Emily Collins
February 13, 2017
Page 2 of 2

Shallow groundwater and basement feasibility. Groundwater has been observed within nearby filings at relatively shallow depths below the ground surface. Shallow groundwater, at depths that may preclude full depth basement construction, may be present at least seasonally. This will need to be evaluated further before full-depth basements can be considered feasible on this site. Individual foundation perimeter drains are intended to handle small amounts of intermittent, perched water, and are *not* to be used to mitigate a persistent shallow groundwater condition.

Corrosive soils. Adams County Soil Survey data indicate that local soils present a moderate risk of corrosion to uncoated steel. Steel that will be in contact with site soils should be epoxy-coated to slow corrosion. On lots where groundwater levels are sufficiently deep to allow basements, epoxy-coated, plastic/composite or concrete basement window wells are recommended, rather than the standard uncoated steel.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,



Jill Carlson, C.E.G.
Engineering Geologist



January 27, 2017

Emily Collins
Adams County Planning and Development Department
4430 South Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601

RE: Midtown Filing 9 Final Development Plan
Case PRC2016-00018
TCHD Case No. 4225

Dear Ms. Collins:

Thank you for the opportunity to review and comment on the Final Development Plan, Major Subdivision Preliminary/Final Plat, and Subdivision Improvement Agreement for Midtown Filing 9 to allow 53 lots on 5.216 acres located in the southwest corner of W 68th Ave and Pecos St. Tri-County Health Department (TCHD) staff reviewed earlier applications for this development and at this time has no new comments.

Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "L. Broten", is written over a light blue horizontal line.

Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Monte Deatrich, TCHD

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Wednesday, January 04, 2017 11:10 AM
To: Emily Collins
Subject: PRC2016-00018, Midtown Filing 9 FDP

Emily,

I have reviewed the referral named above and have no objections. The proximity of this development to any state highways in the area should make any impact minor.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

January 26, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: Midtown at Clear Creek Filing No. 9, Case # PRC2016-00018

Public Service Company of Colorado's (PSCo) Right of Way & Permits Department Referral Desk has reviewed the plat for **Midtown at Clear Creek Filing No. 9**. To ensure that adequate utility easements are available within this development and per state statutes, PSCo requests the following:

- 6-foot utility easements for natural gas installation including space for service trucks to drive
- 8-foot utility easements for electric facility installation including transformers, pedestals, and cabling

Public Service Company also requests that all utility easements be **depicted graphically** on the preliminary and final plats. While these easements should accommodate the majority of utilities to be installed in the subdivision, some additional easements may be required as planning and building progresses.

Please be aware PSCo owns and operates existing electric distribution facilities including a switch cabinet along Pecos Street within the subject property. The property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (*register* so you can track your application) and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1 800-922-1987 for utility locates prior to construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right-of-Way Referral Processor
Public Service Company of Colorado



COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

January 17, 2017

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 9
Case No. PRC2016-00018
NE ¼ of the SW ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the additional information provided on January 13, 2017 via email by Mike Pietschmann of Redland on the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 9. Filing 9 will consist of 53 residential lots on approximately 5.216 acres. This office previously provided comments on this proposal by our letter dated January 9, 2017.

Water Supply Demand

The Water Supply Information Summary Sheet (“Summary Sheet”) submitted with the additional information indicates that the water supply demands for this subdivision are 26,030 gallons/day or 29.18 acre-feet/year for household use and 5,555 gallons/day or 6.23 acre-feet/year for irrigation use of 0.51 acres, totaling 31,585 gallons/day or 35.41 acre-feet/year. We note that the amounts of water use estimates for household and irrigation use appear to be high compare to the State Engineer’s water use estimate of 280 gallons/day/house (0.33 acre-feet/year/house) for household use and 0.05 acre-feet/year/1000 square-feet of lawn irrigation. However, so long as the water provider agrees to provide the water needed to serve the project, this office does not seek any further clarification on the proposed water demand.

Source of Water Supply

The proposed water source is the Crestview Water and Sanitation District (“District”). A letter from the District, dated December 14, 2016, indicates that Midtown at Clear Creek Filing 9 is within the current District boundaries and states the District’s willingness to serve Filing 9. The District is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier.



In our previous letter we mentioned the existence of numerous monitoring wells and non-exempt recovery wells. The Applicant clarified that there are no permitted exempt wells or monitoring wells located on the property. In addition, all the non-exempt wells associated with the remediation program are operated as part of the groundwater barrier system and are covered by the augmentation plan decreed in by the Division 1, Water Court in Case No. 94CW004.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights as long as the District provides water to all 53 lots within this subdivision. Our previous comments regarding any detention pond proposed for this filing still apply.

Should you have any questions, please contact Ioana Comaniciu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

cc: 23993

JMW/idc



WEST ADAMS CONSERVATION DISTRICT
Serving portions of Adams, Broomfield, Denver, and Weld Counties
57 West Bromley Lane
Brighton, CO 80601
303-659-0525
westadamscd@gmail.com, www.westadamsCD.com

Date: 1-21-2017

To : Emily Collins Case Manager
4430 South County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204

Re: Case Name: Midtown Filing 9 Final Development Plan
Case Number: PRC2016-00018

Dear Ms. Collins:

The West Adams Conservation District is in receipt of the above Referenced request for comments.

According to the attached map this is a continuance of an existing P.U.D. plan and is consistent with Adams County development standards and regulations.

The District has these additional comments:

Even though this is a small acreage of 5.216 acres it is still important to protect the surrounding area with the proper erosion and wind protection with the County's approved slit fence, and reseeding of the areas that are re-graded and disturbed but not built on within a short period of time.

The District is concerned with weed control, so we ask that the disturbed areas be seeded back with grass seed that is best suited for this area, and spraying the weeds takes place as needed. The District can provide at a cost the grass seed to the Developer/owner.

Now with this area being developed we trust also that the existing storm sewer system will handle the additional flows generated with this subdivision so there is no flooding of the surrounding area.

Thank you for submitting this for our review and comments.

Bob Olivier
Director with WACD



Development Review Team Comments

Date: 12/20/16

Project Number: PRC2016-00017

Project Name: Midtown Filing 10

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for Final Development Plan and Final Plat for 39 single family residential units on approximately 4.105 acres.

- a. These units are proposed a rear-loaded, detached tea-light models

PLN2. A Subdivision Improvements Agreement is required with a Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. **A draft SIA was not submitted with the application. An executed SIA and collateral shall be submitted to Community and Economic Development prior to scheduling any public hearings.**
- b. **Public Land Dedication Fees are required in the amount of \$76,463.29 (see attached spreadsheet). These fees are required prior to scheduling public hearings.**

PLN3. The FDP conforms to the Midtown at Clear Creek PUD Standards as outlined in the Second Amended PDP (PUD2013-00010). The FDP conforms to the following:

- a. Permitted land uses
- b. Required 2.5 parking spaces per unit.
 - i. Filing 10 includes 3.59 spaces per unit
- c. Required landscape.
- d. Circulation and road patterns.
- e. Setbacks and height restrictions.

- f. Ownership and maintenance of common areas.
- g. Per the approved 2nd amendment to the PDP, the maximum allowed density is approximately 8.7 dwelling units per acre. **Please demonstrate that this Filing complies with the maximum allowed density for the overall Midtown development.**
 - i. Please provide a list of units/lots in each approved phase of the development to-date.
 - ii. Include total number of units in the Filing as well as a table listing the number of units by product type.

PLN4. The proposed Preliminary/Final Plat conforms to the following as determined by the Approved Second Amendment to the PDP.

- a. Single Family Detached with Rear Loaded Garage: Minimum Lot Size 2,000 square feet/ Minimum lot width-30 ft

PLN5. Other FDP Comments:

- a. Sheet 1:
 - i. Please change Director of Planning to Director of Community and Economic Development
- b. Sheet 3:
 - i. Altering drainage patterns may also require approval from Adams County. Please add language that County permits will also be required to letter G.
- c. Sheet 4:
 - i. Please confirm if Tract D is intended for landscape or access and correct as necessary on final plat document.
- d. Staff is still in discussions with the applicant regarding the design and construction of the required 43-acre park and compliance with the PUD open space/active recreation standards. This may delay scheduling of Filing 10.**

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: memmens@adcogov.org

ENG1: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG2: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and

Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for this project will be \$7,500.

The applicant has made a submittal of engineering documents. One review of the construction documents has been reviewed with revisions to the documents required.

ENG3: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG4: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG5: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk during the warranty period specified in the SIA.

ENG6: See attached comments on construction plans.

Commenting Division: Transportation, Right-of-Way

Name of Review: Ian Cortez

Email: icortez@adcogov.org

1. Add the Case No. PRC2016-00017 at the upper right-hand corner to all sheets.
2. Add a space before the word EAST in the second paragraph of the legal description.
3. Add the Community and Economic Development Development Approval block.
4. Update the year in the signature block of the Clerk & Recorder's Certificate.
5. Complete the blank spaces within General Note 4 on Sheet 2.
6. Add the addresses on Sheet 2 per the Address Plat.
7. If the location of the any of the easements defined within the Schedule B Exceptions of the title commitment is not shown on the plat, please provide a statement or general note as to why (i.e. Exception 10 – Book 897 at Page 256).
8. Revise the width dimension of West 67th Place and Navajo Street from variable to 57' on Sheets 3 and 4.
9. Add the label and lot area of Tract E on Sheet 4.
10. Move the lot line labels within the S.Y.U.E. hatch on Sheets 4 and 5 or use a text mask label.
11. Reverse the bearing direction of the boundary course located at the southwest corner of the subdivision on Sheet 5.

Commenting Division: Environmental Analyst

Name of Review: Jen Rutter

Email: jrutter@adcogov.org

ENV1: A Conditional Use Permit for was issued for this site (North Pecos Center) on January 25, 1993 for soil removal and grading. One of the conditions was:

1. Soil samples shall be analyzed by an EPA-approved contract laboratory to determine whether the soil above the groundwater is contaminated with volatile organic compounds. The samples shall be taken at four, approximately equidistant locations on the site, and shall extend from the surface of the ground to the depth of groundwater. The soil analysis shall be at the applicant's expense and all soil test results and depth to groundwater readings shall be forwarded to the Planning Department for review.

ENV2: It is recommended that the applicant test the soil prior to building the residential development to ensure that it is safe in terms of long-term exposure, as well as stable enough to build upon.

Commenting Division: Development Services Building and Safety

Name of Review: Justin Blair

Email: jblair@adcogov.org

No Comment.

Commenting Division: Parks and Open Space

Name of Review: Aaron Clark

Email: aclark@adcogov.org

PRK1: No comment.



COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

November 29, 2016

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek Filing No. 10
Case No. PRC2016-00017
NW ¼ of the SE ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to be known as Midtown at Clear Creek Filing 10. Filing 10 will consist of 39 residential lots on approximately 4.105 acres.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted therefore, the water supply demand for this subdivision is unknown. Prior to further review a water supply plan must be submitted. Details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the Updated Memorandum Regarding Subdivisions, available online at

<http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Source of Water Supply

The proposed water source is the North Pecos Water and Sanitation District (“District”). A letter from the District, dated March 30, 2011, indicates that the District will consider providing water and sanitary sewer service to the proposed area for the Midtown at Clear Creek Project. The District is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 210. We consider Denver Water to be a reliable water supplier.

This office found a record of an exempt well, permit no. 8963, which appears to be permitted for locations within the area of Filing 10. Section 37-92-602(3)(b)(III), C.R.S. requires that the cumulative effect of all wells in a subdivision be considered when evaluating material injury to decreed water rights. Therefore, **any existing exempt production wells within Filing 10**



must be re-permitted pursuant to a decreed augmentation plan, or must be plugged and abandoned since the provisions of Section 37-92-602, C.R.S., which allowed for issuance of the well permit, will no longer apply.

It appears that numerous monitoring wells have been drilled in the area. The applicant should be aware that all wells abandoned during the development process must be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules and Well Abandonment Reports must be completed and submitted to our office for each abandoned well.

State Engineer's Office Opinion

Since insufficient information was provided, we cannot comment on the potential for injury to existing water rights or the adequacy of the proposed water supply under the provisions of Section 30-28-136(1)(h)(II), C.R.S. Prior to further evaluation, a subdivision water supply plan must be submitted and the Applicant must clarify if there are existing exempt wells located on the property. If there are existing exempt wells located on the property the Applicant must clarify if the wells will be plugged and abandoned or if they will be included in a court approved augmentation plan.

Should you have any questions, please contact Ioana Comaniciu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

Cc: 23981



COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

December 19, 2016

Emily Collins, AICP
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NW¼ SE¼ Section 4,
T3S, R68W, 6th P.M.
39.8183, -105.0046

Subject: Midtown at Clear Creek Filing No. 10 – FDP, Preliminary and Final Plat, and SIA Case Number PRC2016-00017; Adams County, CO; CGS Unique No. AD-17-0009

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown at Clear Creek Filing 10 Final Development Plan (FDP), Preliminary and Final Plat, and Subdivision Improvement Agreement (SIA) referral. I understand the applicant proposes 39 single family lots on 4.1 acres located west of Midtown Filing 7 within the Midtown at Clear Creek PUD. With this referral, I received a request for CGS review (November 22, 2016), a Written Explanation (undated), and a Midtown Filing 10 Final Development Plan/Site Plan (Sheet 4 of 15, Brookfield Residential/Redland/Norris Design, November 14, 2016).

The site does not contain steep slopes, is located outside of the mapped FEMA Clear Creek flood hazard zone, is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed residential use and density. **Provided the highly expansive soils, shallow groundwater, and corrosive soil conditions discussed below are addressed, CGS has no objection to approval of the Midtown at Clear Creek Filing 10 FDP, plat, and SIA.**

CGS previously reviewed the overall Midtown at Clear Creek project at the preliminary plat and PUD-P phase of development. As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006). CGS recently received a Preliminary Geotechnical Study, Midtown at Clear Creek, Phases 2 and 3 (Cesare, Inc., July 2, 2012) as part of the Midtown Filing 6 applicant's response to comments documents. Cesare's borings B-19, B-21, B-22, and B-23 are located in the vicinity of Filing 10.

Very highly expansive soils, soil engineering properties and foundation design. Cesare's laboratory swell-consolidation testing indicates very highly expansive clay soils (10% swell at a test pressure of 400 psf) at 4 ft in Cesare's boring B-19, and 7.9% swell at 400 psf at 4 ft. in boring B-21. Cesare's recommendation for overexcavation and replacement at a water content of at least 2% above optimum, extending laterally at least ten feet beyond all foundation footprints and to the depths determined as discussed in Section 9.1, Overexcavation (pages 4-5) is valid and should be strictly adhered to, if this has not been completed already.

Ground's and Cesare's geotechnical reports contain appropriate *preliminary* recommendations for foundation design and construction. Once overexcavation and site grading are complete, additional, lot-specific geotechnical investigations are needed to confirm that swell potential has been reduced to acceptable values, and to characterize soil engineering properties such as density, strength and

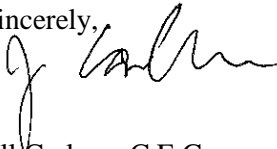
allowable bearing pressures. This information, along with information about seasonal depths to groundwater, will be needed to design individual foundations, floor systems, foundation perimeter drains and pavements, and to determine each lot's suitability for a basement or crawl space, if planned.

Shallow groundwater and basement feasibility. Groundwater was observed in Cesare's boring B-21, located immediately east of Filing 10, at 14 feet below the ground surface. Very shallow groundwater, at depths that may preclude full depth basement construction, should therefore be expected, at least seasonally. Basements may not be feasible on all proposed lots unless area grades are raised sufficiently to maintain an adequate separation distance between lowermost floor levels and anticipated maximum water levels. This will need to be evaluated further before full-depth basements can be considered feasible on this site. Individual foundation perimeter drains are intended to handle small amounts of intermittent, perched water, and are *not* to be used to mitigate a persistent shallow groundwater condition.

Corrosive soils. Adams County Soil Survey data indicate that local soils present a moderate to high risk of corrosion to uncoated steel. Steel that will be in contact with site soils should be epoxy-coated to slow corrosion. On lots where groundwater levels are sufficiently deep to allow basements, epoxy-coated, plastic/composite or concrete basement window wells are recommended, rather than the standard uncoated steel.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,



Jill Carlson, C.E.G.
Engineering Geologist

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Wednesday, December 07, 2016 11:02 AM
To: Emily Collins
Subject: PRC2016-00017, Midtown Filing 10 Final Development Plan

Emily,

I have reviewed the referral named above and have no objections. The proximity of this development should make impact to any State Highways in the area negligible.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



December 14, 2016

Emily Collins
Adams County Planning and Development Department
4430 South Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601

RE: Midtown Filing 10 Final Development Plan
Case PRC2016-00017
TCHD Case No. 4185

Dear Ms. Collins:

Thank you for the opportunity to review and comment on the Final Development Plan, Major Subdivision Preliminary/Final Plat, and Subdivision Improvement Agreement for Midtown Filing 10 to allow 39 lots on 4.105 acres located in the southeast corner of W 68th Ave and Pecos St. Tri-County Health Department (TCHD) staff reviewed earlier applications for this development and at this time has no new comments.

Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "L. Broten", is written over a light blue horizontal line.

Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Monte Deatrich, TCHD

WEST ADAMS CONSERVATION DISTRICT
Serving portions of Adams, Broomfield, Denver, and Weld Counties
57 West Bromley Lane
Brighton, CO 80601
303-659-0525
westadamscd@gmail.com, www.westadamsCD.com

Date: 12-20-2016

To : Emily Collins Case Manager
4430 South County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204

Re: Case Name: Midtown Filing 10 Final Development Plan
Case Number: PRC2016-00017

Dear Ms. Collins:

The West Adams Conservation District is in receipt of the above Referenced request for comments.

According to the attached map this is a continuance of an existing P.U.D. plan and is consistent with Adams County development standards and regulations.

The District has these additional comments:

Even though this is a small acreage of 4 acres it is still important to protect the surrounding area with the proper erosion and wind protection with the County's approved slit fence.

The District is concerned with weed control, so we ask that the disturbed areas be seeded back with grass seed that is best suited for this area, and spraying the weeds takes place as needed.

Now with this area being developed we trust also that the existing storm sewer system will handle the additional flows generated with this subdivision so there is no flooding of the existing lots.

Thank you for submitting this for our review and comments.

Bob Olivier
Director with WACD



Development Review Team Comments

Date: 4/27/17

Project Number: PRC2017-00002

Project Name: Midtown School Parcel

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

Please submit 1 hard copy and 1 electronic copy to the Community and Economic Development Department front desk with the re-submittal form.

Commenting Division: Development Services, Planning

Name of Reviewer: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for Final Development Plan and Final Plat for an approximately 5 acre parcel.

- a. Intended for future development of an early childhood learning center with land dedication to Mapleton School District.
- b. This plat will also vacate a portion of Zuni Street right-of-way.

PLN2. A Subdivision Improvements Agreement is required with a Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

- a. A draft SIA was not submitted with the application. An executed SIA and collateral shall be submitted to Community and Economic Development prior to scheduling any public hearings.
- b. Public Land Dedication Fees are not required with this plat as the purpose is to fulfill land dedication requirements to Mapleton School District in accordance with the approved SIAs for existing Midtown filings.

PLN3. The FDP conforms to the Midtown at Clear Creek PUD Standards as outlined in the Second Amended PDP (PUD2013-00010). The FDP conforms to the following:

- a. Permitted land uses

PLN4. Other FDP Comments:

- a. On-street parking provisions were a concern for the School District during discussions with County staff. Please coordinate with the District on their parking needs. Sheet 4 diagrams may be modified based on the outcome of these conversations.
- b. Please coordinate with the District regarding landscape installation and maintenance of all tree lawns adjacent to the school parcel and if there is any responsibility of the Metro District for landscape maintenance. This may change landscape notes on Sheet 5.

PLN5. The proposed Preliminary/Final Plat conforms to the Approved Second Amendment to the PDP which permitted an approximately 5-acre school site.

PLN6. Other Final Plat Comments:

- a. Sheet 1:
 - i. Please change BOCC signature block from “Chairman” to “Chair”

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: memmens@adcogov.org

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The proposed development is a school site. All onsite permitting is through the State. Adams County will require construction permits for any improvements located outside of the site boundary, this includes utilities and any access permits.

ENG3: The site is located along W 68th Ave; which is classified as a "Collector" roadway. The County's Development Standards and Regulations limits access to Collector roadways and, requires that access be taken from the roadway of lower classification, if one is available. In this case, there are streets of lower classification available; access should be taken from these roadways.

ENG4: The Midtown development is required to construct roadway and intersection improvements to W. 68th Avenue and Zuni St. The intersection improvements can include reconfiguring the intersection to include an access, at the intersection, for the school. The access can be located at the intersection, with the school access coming from the south side of the intersection and located in the old (vacated) Zuni Street ROW.

ENG5: See attached comments on CDs.

Commenting Division: Development Review, Right-of-Way

Name of Review: Marissa Hillje

Email: mhillje@adcogov.org

ROW1) Address assigned is 2300 West 68th Avenue.

ROW2) Please obtain a title commitment report that is no older than 30 days and submit to Adams County for review of the Plat.

ROW3) Please change the color/darkness of the note “Zuni Street vacation” as shown on sheet 2 so it is easier to see.

ROW4) Plat note 14 on Midtown Filing 6 needs to be added to this plat

ROW5) The location of the proposed detention pond needs to be shown on the plat.

ROW6) Please show width of ROW for 68th Avenue

ROW7) Please add easement statement to plat ie. Provide a note for the ownership and maintenance of the sidewalk maintenance easement and the 5’ irrigation easement.

ROW8) The 3’ telephone easement to be vacated by separate instrument needs to be vacated before approval of this plat and the reception number of vacation needs to be noted on plat.

ROW9) Please see Plat redline document for additional notes.

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Monday, April 17, 2017 2:30 PM
To: Emily Collins
Subject: PRC2017-00002, Midtown at Clear Creek School Parcel

Emily,

I have reviewed the referral named above for a FDP to allow development of a school site, located at 6701 Pecos Street and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

April 25, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: Midtown at Clear Creek School Site, Case # PRC2017-00002

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plat and plans for **Midtown at Clear Creek School Site**. To ensure that adequate utility easements are available within this development, PSCo requests that the following language or plat note be placed on the preliminary and final plats for the subdivision:

Minimum ten-foot (10') wide dry utility easements are hereby dedicated on private property abutting all public streets, and around the perimeter of each commercial/ industrial lot in the subdivision or platted area including tracts, parcels and/or open space areas. These easements are dedicated to Adams County for the benefit of the applicable utility providers for the installation, maintenance, and replacement of electric, gas, television, cable, and telecommunications facilities (Dry Utilities). Utility easements shall also be granted within any access easements and private streets in the subdivision. Permanent structures, improvements, objects, buildings, wells, and other objects that may interfere with the utility facilities or use thereof (Interfering Objects) shall not be permitted within said utility easements and the utility providers, as grantees, may remove any Interfering Objects at no cost to such grantees, including, without limitation, vegetation. Public Service Company of Colorado (PSCo) and its successors reserve the right to require additional easements and to require the property owner to grant PSCo an easement on its standard form.

Public Service Company also requests that **all utility easements be depicted graphically on the preliminary and final plats**. While these easements may accommodate certain utilities to be installed in the subdivision, some additional easements may be required as planning and building progresses.

In addition, 31-23-214 (3), C.R.S., requires the subdivider, at the time of subdivision platting, to provide for major utility facilities such as electric substation sites, gas or electric transmission line easements and gas regulator/meter station sites as deemed necessary by PSCo. While this provision will not be required on every plat, when necessary, PSCo will work with the subdivider to identify appropriate locations. This statute also requires the subdivider to submit a letter of agreement to the municipal/county commission that adequate provision of electrical and/or gas service has been provided to the subdivisions.

The property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 **or** <https://xcelenergy.force.com/FastApp> (register so you can track your application) and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the

responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 for utility locates prior to construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right-of-Way Referral Processor
Public Service Company of Colorado

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

April 25, 2017

Emily Collins, AICP
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NW $\frac{1}{4}$ NW $\frac{1}{4}$ SW $\frac{1}{4}$ Section 4,
T3S, R68W, 6th P.M.
39.8196, -105.0146

**Subject: Midtown at Clear Creek School Parcel – FDP, Preliminary and Final Plat, and SIA
Case Number PRC2017-00002; Adams County, CO; CGS Unique No. AD-17-0017**

Dear Ms. Collins:

Colorado Geological Survey has reviewed the Midtown at Clear Creek School Parcel Final Development Plan (FDP), Preliminary and Final Plat, and Subdivision Improvement Agreement (SIA) referral. I understand the applicant proposes a school on approximately 5.3 acres located southeast of W. 68th Ave. and to-be-vacated Zuni Street, within the Midtown at Clear Creek PUD. With this referral, I received a request for CGS review (April 4, 2017), a Written Explanation (undated), a set of six Midtown at Clear Creek School Site Final Development Plans (Brookfield Residential/Redland/Norris Design, March 24, 2017), and a set of two preliminary/final plat sheets (AzTec Consultants, February 24, 2017).

The site does not contain steep slopes, is located outside of the mapped FEMA Clear Creek flood hazard zone, is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed school use. **Provided the expansive and collapsible soils, and corrosive soil conditions discussed below are addressed, CGS has no objection to approval of the Midtown at Clear Creek school site.**

CGS previously reviewed the overall Midtown at Clear Creek project at the preliminary plat and PUD-P phase of development. As part of our original Midtown at Clear Creek referral response, we reviewed a Subsurface Exploration Program and Preliminary Geotechnical Evaluation (Ground Engineering, October 26, 2006). CGS also received a Preliminary Geotechnical Study, Midtown at Clear Creek, Phases 2 and 3 (Cesare, Inc., July 2, 2012) as part of the Midtown Filing 6 applicant's response to comments documents. The proposed school site is immediately north of Filing 6. Cesare's borings B-11, B-12, and B-13 are located in the vicinity of the proposed school site.

Very highly expansive and compressible soils, soil engineering properties and foundation design.

Cesare's laboratory swell-consolidation testing indicates very highly expansive clay soils (6% swell at a test pressure of 900 psf in boring B-11, 8% swell at a test pressure of 400 psf in boring B-12) and significant compression of clay and sand samples in borings B-12 and B-13. Cesare's recommendation for **overexcavation and replacement** at a water content of at least 2% above optimum, extending laterally at least ten feet beyond all foundation footprints and to the depths determined as discussed in Section 9.1, Overexcavation (pages 4-5) is valid and should be strictly adhered to, if this has not been completed already.

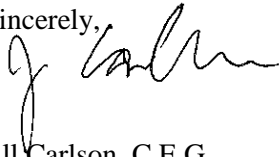
Emily Collins
April 25, 2017
Page 2 of 2

Ground's and Cesare's geotechnical reports contain appropriate *preliminary* recommendations for foundation design and construction. Once overexcavation and site grading are complete, additional building-specific geotechnical investigations are needed to confirm that swell potential has been reduced to acceptable values, and to characterize soil engineering properties such as density, strength and allowable bearing pressures. This information, along with information about seasonal depths to groundwater, will be needed to design individual foundations, floor systems, subsurface drainage, and pavements, and to determine the parcel's suitability for a basement or crawl space level, if planned.

Corrosive soils. Adams County Soil Survey data indicate that local soils present a moderate risk of corrosion to uncoated steel. The need for corrosion protection should be evaluated as part of the geotechnical investigation.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and "C".

Jill Carlson, C.E.G.
Engineering Geologist



April 10, 2017

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek School Parcel
Case No. PRC2017-00002
NW ¼ of the SW ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to allow development of a school site on approximately 5.32 acres. No residential uses are proposed in this application.

Water Supply Demand

A Water Supply Information Summary Sheet was not submitted therefore, the water supply demand for the school is unknown. Prior to further review a water supply plan must be submitted. Details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the Updated Memorandum Regarding Subdivisions, available online at

<http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Source of Water Supply

The proposed water source is the Crestview Water and Sanitation District (“District”). A letter from the District, dated March 24, 2017, indicates that Midtown at Clear Creek Development is within the current District boundaries and states the District’s willingness to serve the Development. The District is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier.

It appears that numerous monitoring wells have been drilled in the area. The applicant should be aware that all wells abandoned during the development process must be plugged and abandoned in accordance with Rule 16 of the Water Well Construction Rules and Well Abandonment Reports must be completed and submitted to our office for each abandoned well.



State Engineer's Office Opinion

Since insufficient information was provided, we cannot comment on the potential for injury to existing water rights or the adequacy of the proposed water supply under the provisions of Section 30-28-136(1)(h)(II), C.R.S. Prior to further evaluation, a subdivision water supply plan must be submitted.

Should you have any questions, please contact Ioana Comaniciu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

Ec: 24036

JMW/idc



November 2, 2017

Emily Collins
Adams County Planning and Development
Transmission via email:
ECollins@adcogov.org

RE: Midtown at Clear Creek School Parcel
Case No. PRC2017-00002
NW ¼ of the SW ¼ Sec. 4, T3S, R68W, 6th P.M.
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the additional information provided on November 1, 2017 via email by Mike Pietschmann of Redland on the above referenced proposal to subdivide a portion of the Midtown at Clear Creek Planned Unit Development, to allow development of a school site on approximately 5.32 acres. This office previously provided comments on this proposal by our letter dated April 10, 2017.

Water Supply Demand

The Water Supply Information Summary Sheet (“Summary Sheet”) submitted with the additional information indicates that the water supply demands for the school are 17,500 gallons/day or 19.6 acre-feet/year for commercial indoor use associated with a 65,476 square-foot elementary school and 10,800 gallons/day (peak day) or 5,744 gallons per day (average day) or 3.8 acre-feet/year for irrigation of 2.07 acres over a 214 day irrigation season, totaling 23,244 gallons/day or 23.4 acre-feet/year.

Source of Water Supply

The proposed water source is the Crestview Water and Sanitation District (“District”). A letter from the District, dated March 24, 2017, indicates that Midtown at Clear Creek Development is within the current District boundaries and states the District’s willingness to serve the Development. The District is contracted with the Denver Water Department (“Denver Water”) and obtains treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier.

In our previous letter we mentioned the existence of numerous monitoring wells. The additional information did not list any wells on the property. We re-iterate that any wells abandoned during the development process must be plugged and abandoned in accordance with Rule 16 of the Water Well




Construction Rules and Well Abandonment Reports must be completed and submitted to our office for each abandoned well.

State Engineer's Office Opinion

Based upon the above and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights as long as the District provides water to the proposed elementary school.

Should you have any questions, please contact Ioana Comaniciu of this office at 303-866-3581 X8246.

Sincerely,


Joanna Williams
Water Resource Engineer

Ec: 24037

JMW/idc

MEETINGMINUTES

BHA DESIGN INCORPORATED
1603 OAKRIDGE DRIVE
FORT COLLINS, CO 80525
Tel: 970.223.7577
www.bhadesign.com

PROJECT: MPS Midtown PK-8

MEETING DATE: April 19, 2017

ATTENDANCE: MPS (Mike Crawford), RB+B (David Kress, Matt Arabasz, Gopal Shrestha); Sampson (Brad Bakel); JVA (Erik Nakos); BHA (Angie Milewski); Adams County (Emily Collins-Planner, Matt Emmens-Engineer)

ACTION ITEMS:

Item	By	Due
MPS/design team to meet with Midtown Developer to discuss comments on current FDP/Plat/Construction Document Submittal.	RB+B	4/26
MPS/design team to share written comments to Adams County by 4/26.	RB+B	4/26

DISCUSSION ITEMS:

1. Adams County will not allow bus drop-off/loading on the public streets. Waiver request to allow bus drop off on 68th would require a hearing and update to the platting process.
2. Building setbacks will not be enforced by the County.
3. Bus entrance/exit on W. 68th Avenue must be perpendicular to street, drives no closer than 250' apart (as per Collector Street Standards)
4. Zuni from 68th to 70th will be improved in the future. Raised median with crowned road will be designed per County standards and 2012 Transportation Study. Cross section of road will be per Appendix in County Standards. About 5 years out on design and construction.
5. MPS would like to eliminate the proposed on-street parking along the south side of W 68th Street along the school site frontage, from Morrison Drive to Zuni Street.
6. MPS is proposing a "T" intersection at Zuni and 68th to accommodate our proposed a bus access into the school site in this location. This may also be able to be achieved with a roundabout, which was supported by Adams County staff, but we don't know the implications of a roundabout (i.e. we don't want to drive up costs/complexity).
7. Intersection at Zuni, 68th and school bus entrance will be stop-sign controlled.
8. MPS would prefer to eliminate some of the previously approved on-street parking along the south edge of our parcel, north side of W 67th Place at the intersection of Fern Drive. This will allow for a drive entrance from W 67th Place west into the school site and parking. The Developer may have to replace these approximately 3 spaces elsewhere in a future filing.
9. MPS would prefer a stop sign(s) controlled intersection at W. 67th Place/Fern Drive/school entrance.

MEETING MINUTES

10. MPS wishes to abandon the future Zuni Street ROW along the west edge of the school site to achieve an uninterrupted connection to the proposed adjacent park.
11. MPS would like to connect parking lot exiting to the Zuni/W. 67th Drive intersection. We would request the Zuni road width be reduced north of this intersection along the west side of the planned residential parcels so this is not mistaken as a public through street. Can this be made a private drive? School parking lot driveway access only? One-way south-bound to exit the school parking lot only? What traffic control would be appropriate/allowed?
12. MPS and Developer will discuss needs/desires for Midtown standard street lights, sidewalks, street trees, lighting, etc – most likely in conformance with Metro District standards. Adams County will only review public street improvements and utility connections.
13. Adams County will require a traffic study or update to approved study to account for planned circulation to/from school site.
14. Storm Water Detention: On-site detention and water quality are not required. We are responsible to get our drainage to the regional pond. If the infrastructure to convey those flows is not in place, MPS will be responsible to design and install that system. The County will review any plans that show infrastructure work outside of our property.
15. For school site – no separate FDP or public hearing process is required. Adams County will require Construction Documents for public improvements and utility connections, any off-site drainage conveyance, traffic study (see 11) and Construction Permit.
16. Subdivision Improvement Agreement (SIA) may need to be updated to reflect changes initiated by MPS. The SIA outlines who is responsible for what work, the timeline of said work, and the associated costs.
17. The County will be requiring the developer to provide a “Fee in Lieu” for some of the improvements at 70th and at 68th. MPS to clarify/negotiate which improvements will be completed by Developer’s contractor versus MPS contractor (Sampson).
18. If MPS construction makes any cuts in the pavement associated with connections to existing utilities, use the County’s patch detail.
19. Revisions to Developers plans must be coordinated with Developer’s engineer, Redland. County comments on Brookfield’s Midtown at Clear Creek School Parcel FDP will be provided on May 2. Comments from MPS should be provided to Emily by April 26 to be included in formal comments to Brookfield. Each submittal is 2 business week review period.

END OF MEETING MINUTES

December 21, 2017

James Merlino
1788 W 67th Ave
Denver, CO 80221

Sent via E-Mail

Emily Collins, AICP
Community and Economic Development Dept.
Adams County, Colorado
1st Floor, Ste. W2000B
4430 S. Adams County Pkwy.
Brighton, CO 80601-8218

Re: Midtown at Clear Creek Third Amendment to PDP (Case No. PRC2017-00007)

Dear Ms. Collins:

I am writing as both a resident of the Midtown Community as well as an adjacent property owner with a development west of the Midtown Park.

The Midtown Development has become a national model for infill development and helped to activate an important part of Adams County. Midtown continues to play a vital role in the future revitalization of Federal Boulevard and is helping to generate more development supporting the Westminster Transit Station.

The proposals that Brookfield has brought forward clearly represents substantial effort by the developer and county staff. I see many benefits to the proposals including, among many other items: 1) the provision of an amenitized east side park, 2) development of infrastructure at the same time or before the residential development is built; 3) and, the development of the Mapleton School site.

The proposed changes to Filing 6 (related to the Midtown Park) contemplate additional housing in the area that was initially designated as the Midtown +/- 43 acre park area. Midtown has a track record of not turning its back on the existing neighborhood, and following good mixed-use urban redevelopment concepts. However, the early concepts that were submitted for the housing area currently proposed in Filing 6 would deviated from prior practices of embracing the existing neighborhoods and creating quality infill development that is not an island within the community. I believe that the continued revitalization of the Federal Boulevard corridor and the Westminster Station redevelopment area are promoted by connected communities that integrate with each other along the edges.

Ms. Emily Collins
December 21, 2017
Page 2 of 4

As a resident of Midtown and an adjacent developer, I firmly believe that existing neighborhoods are essential to the fabric of our success. They have been the subject of numerous studies. Research has shown "neighborhoods can affect economic outcomes for children and residents through several different mechanisms. They may shape what school a child attends...They shape access to amenities and resources such as parks and jobs." (Sharkey, 2013)

The Federal Boulevard Framework Plan and the Healthy decisions/healthy Places - Health Impact Assessment (HIA) Reports are two important guiding documents for these neighborhoods influencing both my development as well as Midtown. These are comprehensive studies and the following focuses on concepts specifically related to my request:

The Federal Boulevard Framework Bike and Pedestrian Conditions

1. The Clear Creek Trail and Little Dry Creek Trail provide the only grade separated crossings of Federal Boulevard in the HIA corridor between W 52nd and W 72nd Ave. (Page 44)
2. Connectivity to future stations will require additional bicycle and pedestrian accommodations near Federal Boulevard that make it comfortable for bicyclists and pedestrians to access the proposed transit stations.
3. At some locations, a travel corridor is non-existent and make it very challenging to reach specific destinations (43)
4. Multiuse paths are viewed as recreational facilities, but they can also be important corridors for utilitarian (work, shopping, or other) trips (45).

These items make it clear that providing safe, inviting and thoughtful connections among existing neighborhoods, new neighborhoods and regional trails and transit is critical for the community.

The primary purpose of the HIA process was to bring relevant information and specific recommendations to the decision-makers for the Federal Boulevard Framework Plan to better address the health of the community through the policy decision. (Department, 2015).

Some concepts that relate to the importance of maintaining connections between new development and existing neighborhoods in the assessment include:

1. There are poor connections to existing trails from the corridor. (Page 26)

2. Almost all of the respondents indicated an interest in walking to parks: 50% currently walk to parks and an additional 37.5% said that they would like to walk to parks. (26)
3. Community members are interested in walking and have identified sections off-street that lead to destinations but do not currently feel safe due to lack of sidewalks in disrepair and lack of sidewalks. (37)
4. Adams County should work with current and future developments to identify critical project infrastructure improvements that can help facilitate non-motorized movement to the rail stations and through the neighborhoods for current and future residents. (37)
5. More frequent trail access from the adjacent neighborhoods. (37)
6. Alternative pedestrian routes to existing pedestrian destination and future commercial or mixed-use development. (37)
7. Develop a pedestrian connectivity plan for areas within a half-mile radius of the rail stations. (37)

A multi-use trail set in the context of a greenway that is at least 100 feet wide, connecting the residential neighborhoods north of Westminster Station at Pomponio and Midtown along the western edge of the Midtown Park to the Little Dry Creek trail would help the County meet the goals of both the framework plan and the Health Impact Assessment. The greenway would provide an appropriate transition between the two developments, while ensuring inviting and convenient pedestrian access for both. This proposal also respects the developer's need to provide for flexibility in the Midtown development plan. This request affects less than three acres of property, and our preliminary sketches show that all dwelling units that were shown in the early submittals to the County could be constructed within Filing 6 without encroaching upon the requested greenway.

There have been some comments about the use of metro district funds and limiting their benefit to only those residents who pay the mill levy. Metropolitan districts are quasi-municipal corporations and political subdivisions of the state. They are not private companies or homeowners' associations. Their purpose is to benefit their taxpayers and the general public.

The Clear Creek (Midtown) Metropolitan District is not alone in the area in terms of providing public benefits. Indeed, both the Clear Creek Metropolitan District and the Metropolitan District that serves the Westminster Station at Pomponio development have provided or will provide many public benefits expanding beyond their respective borders, in the form of upgraded water and sewer systems serving new and existing neighborhoods, improved roadways, stormwater improvements and many more. Like the Clear Creek Metropolitan District, the Metropolitan District that serves Westminster Station at Pomponio will be making

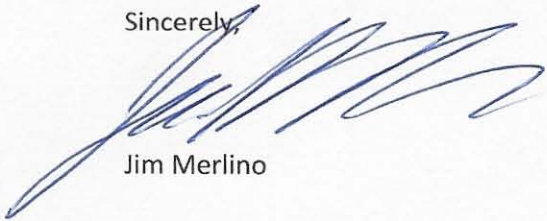
Ms. Emily Collins
December 21, 2017
Page 4 of 4

additional improvements that benefit the public at-large, including improvements along the Little Dry Creek trail and its connection to the community. In fact, the district will invest \$1.2 million in parks, improvements to the floodplain, and additional trail connections to the Little Dry Creek and existing trail system.

We respectfully request that the County add a condition to the PDP Amendment that will apply to any future amendment or approvals related to the Midtown Park areas. The amendment should require a 100 foot wide greenway between Midtown and Westminster Station at Pomponio, within which a paved multi-use trail should be constructed and appropriate landscaping installed.

Thank you for your consideration of this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Jim Merlino', is written over the word 'Sincerely,'.

Jim Merlino

Todd G. Messenger
(303) 894-4469
tmessenger@fwlaw.com

November 6, 2017

Sent via E-Mail

Emily Collins, AICP
Community and Economic Development Dept.
Adams County, Colorado
1st Floor, Ste. W2000B
4430 S. Adams County Pkwy.
Brighton, CO 80601-8218

Re: Midtown at Clear Creek Third Amendment to PDP (Case No. PRC2017-00007)

Dear Ms. Collins:

Our firm represents Pomponio Terrace Holdings, LLC, the owner and developer of the property (the “Pomponio Property”) that is located immediately to the West of the Midtown at Clear Creek property (the “Midtown Property”). The Pomponio property and the Midtown Property share a north-south boundary that runs approximately 1,300 feet (the “Boundary”). Pomponio Terrace Holdings objects to the proposed Midtown at Clear Creek Third Amendment to PDP as it is currently designed.

Pomponio Terrace Holdings recently platted 26 residential lots along the Boundary (6558 to 6940 Canosa Street), and dedicated two tracts along the Boundary to the Pomponio Terrace Metropolitan District. The design of the lots and the placement of the tracts relied upon the approved plans (which date back more than a decade), that show that the adjacent 43+/- acre site (the “Park Parcel”) will be developed as a park.

In the approved overall development plan for Midtown, the Park Parcel is shown as a park, and is zoned “PL.” The narrative for PA-24 (which is closest to the Pomponio Property, See Figure 1, at right) states, “Zoned PL, this open space is envisioned to have trails, and informal, passive open space uses.”

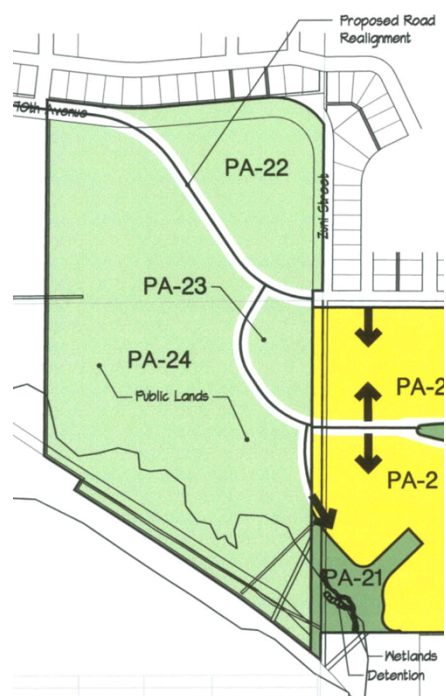


Figure 1: ODP Sheet 6 of 8

Emily Collins, AICP

November 6, 2017

Page 2

All Midtown approvals since the ODP have shown the Park Parcel as a park. In reliance on those approvals, Pomponio Terrace is designed to provide visual and physical connections to the park. The proposed amendment breaks those connections and locates incompatible development along the Boundary.

The proposed amendment is subject to the criteria for approval that are set out in Section 2-02-10-03-05, ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS (the “ADCO STANDARDS”). Pomponio Terrace Holdings respectfully submits that the Third Amendment to PDP cannot be approved in its current form for the following reasons:

1. The PDP is not consistent with the approved ODP. Criterion 7 of Section 2-02-10-03-05 states that the PDP must be “consistent with any approved ODP for the property.” The proposed third amendment, as presented, is not consistent with the ODP.

The applicant’s written statement with respect to this criterion 7 is not adequate to demonstrate the required compliance. The applicant states:

The proposed Midtown at Clear Creek PDP Amendment No. 3 is consistent with the ODP approved for this project which allows a maximum of 1,608 residential dwelling units, as well as the other supporting land uses included in the PDP. This Amendment reduces the maximum amount of residential dwelling units to 1,208.

The ODP is more than just an approval of a unit count. The ODP shows how land uses and housing types are arranged. In fact, an ODP cannot be approved without consideration of this spatial component.¹ Consequently, Pomponio Terrace Holdings submits that criterion 7 cannot be met if the proposed PDP is substantially different from the approved ODP in terms of the arrangement of land uses.

The proposed PDP Amendment is inconsistent with the approved ODP because it shows development of residential uses inside a tract of land that was—for the purposes of the ODP—zoned PL and designated as a park. The proposed PDP amendment is substantially different from the ODP in that it shows more than 16 acres (more than 1/3) of the Park Parcel as residential.

¹ Five of the seven ODP approval criteria require an evaluation of the layout of the proposed development. See Section 2-02-10-02-05, ADCO STANDARDS, criteria 3 through 7.

Emily Collins, AICP

November 6, 2017

Page 3

2. The PDP is neither compatible with the surrounding area nor harmonious with the character of the neighborhood. Criteria 3 and 8 of Section 2-02-10-03-05 address compatibility. Criterion 3 requires the PDP to be “compatible or design to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.” Criterion 8 states that the PDP must be “compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.” Criterion 8 then includes six specific elements of compatibility that must be met in order to satisfy the compatibility component of this approval standard.

Pomponio Terrace Holdings submits that the proposed development of dense townhomes along the Boundary (see Figure 2, at right), with the relatively small proposed setbacks and 15-foot buffer shown in the proposed amendment, is not “harmonious” with the character of the neighborhood. The “character of the neighborhood,” as currently approved, is defined by single-family homes on the Pomponio Property that border upon and that visually and physically connect to a passive park on the Midtown Property.



Figure 2: Proposed Townhomes along Boundary

The proposed third amendment shows seven pods of eight townhomes sandwiched between the single-family lots on the Pomponio Property and other single-family lots on the Midtown Property. These townhomes are out of place in this context, and represent a jarring interruption of the currently approved neighborhood fabric.

Pomponio Terrace Holdings submits that the amendment cannot be approved as presented because the written statement and the submittal are silent on these issues. With regard to criterion 3, the application materials do not address compatibility with the Pomponio Property. With regard to criterion 8, the written statement simply restates the approval criteria and provides no analysis regarding compatibility or harmony. Similarly, the face of the proposed PDP amendment addresses development to the north of the Midtown Property, but is silent about development along the 1,300 foot Boundary (*See Third Amendment to PDP Sheet 2 of 7, Item J*).

In sum, Pomponio Terrace Holdings objects to the proposed Third Amendment to PDP because it does not meet the County’s approval criteria for a PDP amendment.



Emily Collins, AICP

November 6, 2017

Page 4

If you have any questions or would like to discuss this matter further, please call any time.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Todd Messenger', is written over a horizontal line. The signature is stylized with a large initial 'T' and a long, sweeping tail.

Todd Messenger
Fairfield and Woods, P.C.

TM:ds

November 6, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Chelsea Spear

Midtown Resident

6700 Fern Drive

Denver CO 80221

November 6, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Joshua C Lingenfelter

Midtown Resident

6700 Fern Drive

Denver CO 80221

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the "Request for Comments" regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential's plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner's permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children's Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

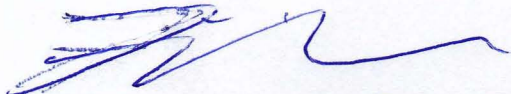
Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Francesca Korevil', with a long horizontal flourish extending to the right.

Midtown Resident

Francesca Korevil
1824 W. 67th Pl

Emily Collins

From: Lauren Hunter [lauren.davey@gmail.com]
Sent: Monday, November 06, 2017 5:59 PM
To: Emily Collins
Subject: Request for Comments RE: Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development, and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, the residents of Midtown want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

- 1. Drainage on 67th Place** – The Century townhouses, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
- 2. 67th Place alley repairs** – Approximately 15 or 16 homes have serious premature cracking of the driveway apron. This past summer, Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes—which are private property, not District property—were also replaced by Brookfield without homeowners’ permissions. Some owners objected to the work, as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side of Midtown (across Pecos Street), as well.
- 3. Amenities** - The amenities suggested by Brookfield for all open spaces give the residents cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.
- 4. Children’s playgrounds** – There are already play spaces for kids in both east side and west side developments. Once the school is finished, there will be access to even more young kid play areas.
- 5. Open space improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded

with children or dogs. The tables provided in Home Plate Park do not have any covering, so they are generally too hot to be useful.

6. Dog park improvements – The dog parks on both east and west developments need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. There have been recent incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

7. Parking – There is not enough parking for both the commercial district and the townhouses once they are finished. There are 21 spaces designated along one side of the townhouses and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhouses.

Many townhouses have renters, roommates and/or multiple vehicles, and there is simply not enough designated space for parking in the existing townhouse areas. The new townhouse development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

8. Amphitheater – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.

9. Tennis/volleyball courts – A mixed-use tennis/basketball court would benefit the west side development and a volleyball sand court would benefit the east side development. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance and light pollution, and be enclosed with an appropriate fence and secured with card swipe access.

10. East side mailboxes – The west side development has a mailroom. The east side development has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.

11. Security and safety – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. The new Westminster Station development is advertising that the open space, which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.

12. Connections and concrete – The bike paths on both the east and west side developments need to be finished and connected to Dry Creek and Clear Creek bike paths.

13. Pathways in open space – Pathways throughout both the east and west side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the School District and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Lauren Hunter

Midtown Resident

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the "Request for Comments" regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential's plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner's permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children's Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort


of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.
Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.
5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in black ink that reads "James Barry". The signature is fluid and cursive, with the first name "James" and last name "Barry" clearly legible.

Midtown Resident

6597 Pecos St.

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Reilly Chunn
6777 Mariposa St.
Denver, CO 80221

Midtown Resident

Emily Collins

From: Marci Colb [marci.colb@gmail.com]
Sent: Saturday, November 04, 2017 9:07 AM
To: Emily Collins
Subject: Feedback on Midtown at Clear Creek Proposal

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.

6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.

7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.

8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks and basketball/tennis should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.

9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.

10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Midtown Resident

Emily Collins

From: Mark W. Colvin [mwcolvin@aol.com]
Sent: Thursday, October 26, 2017 4:33 PM
To: Emily Collins
Cc: mwcolvin@aol.com
Subject: Case Number: PRC2017-00007 Midtown at Clear Creek Third Amendment to PDP

Emily

I downloaded the entire Amendment 3. Thank you for calling me to advise me of that option. Very informative. I just moved into the eastern side of Midtown in September. My address is 6640 Mariposa Court and so I am very near the Clear Creek Bike Path. I love being involved. My comments below do not need to be included verbatim. I am too lazy to write out and mail as per the other instructions in your letter.

As PA 7 and the open spaces, retention ponds and wildlife areas are developed, I would want to see sustainability plan and a usage policy. For example, no dogs allowed in the 3.1 acre wetland open space area. It is a delicate area with ducks and other wildlife; cattails and willows. Perhaps nature trails but dogs should not be allowed as it would disturb the delicate balance. I have two dogs and I would not want my dogs to disturb nesting ducks and geese. Another example would be a task force comprised of residents and county representatives to ensure the open spaces and sustained in a manner that benefits current and future users. Also, the Clear Creek Bike Path is in bad shape; it needs to be improved as it will serve as a kind of boundary for the Midtown open space(s). Details emanating from the passage of Amendment 3 should appropriate funds to clean up and improve existing 'open space' features such as the bike path. Barriers need to be installed around the canal to keep residents, children and pets out. That water is not clean even though one can see the bottom. And what about public access from Midtown to the bike path? Finally, the wetlands area just south of the bike path all the way to Clear Creek and realistically adjacent to PA 7 and PA 5 is an amazing area and should be incorporated into this plan. But it needs a lot of TLC. Nature trails could complement what is done in the PA 7 3.1 acre specialty open space. I simply see an opportunity for Adams County and the Midtown developers to do something really really lasting and environmentally positive that could serve as a model for future cleanup and restoration of the once-beautiful wetland and alluvial areas along Clear Creek. I would love to be on that task force if one ever forms and things of this nature gain traction and move forward.

Regards,

Mark W. Colvin
303-883-1809
Denver, CO

Emily Collins

From: Randall Copeland [randallcopeland@comcast.net]
Sent: Monday, November 06, 2017 4:02 PM
To: Emily Collins
Subject: Request for Comments regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LIC

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Midtown Resident

Clear Creek Metropolitan District – 2018 Annual Budget Review

17th October 2017

ADVISORY COMMITTEE RECOMMENDATIONS

Social/Shed : Storage shed per request last year \$5,000

Garden : Storage shed per request last year \$5,000

Election 2018 : Solicit outside counsel proposals for Board review. Merge districts.

Landscape Contractor : Emerald Isle @ \$70,000 (without roof garden)

MSI : Tighten up homeowner yard maintenance/weeds/trash/fence stain programs

Brookfield Construction Requests :

1. Remove rooftop gardens at the SHED.
2. Connect Bike path to Clear Creek path – gravel.
3. Repair 15 driveway aprons in alley between 68th and 67th place.
4. Repair drainage issue at Townhomes on the curve at 67th Place.
5. Provide added parking for townhouses planned north of commercial area.
6. Consider the following Amenities in East/West side parks:
 - a. East
 - Volleyball Court
 - Gazebo and covered picnic tables
 - Large trees for shade
 - Dog Park with controlled access gate, native grass and shade
 - Fence along Clear Creek with controlled access gate
 - Pathways in gravel throughout
 - Solar lights
 - Kid friendly play area – rocks.....
 - Frisbee Golf, horseshoe pits
 - b. West
 - Tennis Court
 - Gazebo and covered picnic tables
 - Large trees for shade
 - Dog Park with controlled access gate, native grass and shade
 - Fence along Clear Creek with controlled access gate
 - Pathways in gravel throughout
 - Solar lights
 - Kid friendly natural play area – rocks....
 - Horseshoe pits

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Laura Fritz and Mike Swanson

1400 W 67th Ave Denver CO 80221

Midtown Resident

Emily Collins

From: Eric Gill [gill18ea@gmail.com]
Sent: Friday, October 20, 2017 3:58 PM
To: Emily Collins
Subject: Midtown Amendment PRC2017-00007

Good Afternoon Emily,

I want to voice my concern with the new plan for Midtown. Specifically the alignment of 68th Ave and 70th Ave. In the previous amendment, it was shown that the roads would be straightened to minimize the sharp 90 degree turn, when 68th Ave turns into 70th ave. (The corner seems to be more sharp than even a street intersection.) Now, it looks not to change from the current alignment in the newest rendering. I would hope Brookfield would take into consideration the hazard the sharp corner poses and make it more gradual or eliminate it all together.

A few of my concerns:

1. That corner poses a hazard in the winter time due to the sharp turn. I have seen several people spin out even at a very slow speed.
If there is any sidewalk near that intersection, it would be a safety issue for people walking along that stretch. Especially with the new school near the intersection.
2. It is also a blind corner due to the existing structures and electric poles present.
3. Trucks have an extremely difficult time making the tight turn as well.

I hope the road alignment will be taken into consideration before this plan is approved.

Thank you,
Eric Gill

OCT. 18, 2017

Case Name: Midtown Clear Creek Third
Amendment to PDP

Case Number: PRC 2017-00007

Dear Miss Emily Collins,

Here's your request for a comment. At this time I do not have enough info. on this matter, to make an intelligent comment, and I know it's my fault.

However, in the past I have made an effort to familiarize myself with the issues presented. You people seem determined to do what ever you want to do.

An excellent example is the Rain Water Tax. Year's later I am still feeling and shocked that the Democratic control County Commissioner's would fore this ridiculous water tax. What were they thinking?

Thank You

Billy Gonzales

10027 Franklin

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Thomas and Deanna Goodwin

1370 W 68th Ave Denver Co. 80221

Midtown Resident

November 6, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Brennan Hannon, Midtown Resident

1984 W 67th Place

Denver CO 80221

303-594-0907

brennanhannon@gmail.com

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are

private property not District property, were also replaced by Brookfield without homeowner's permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children's Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.
4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of

the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be

done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.

9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.

10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community. The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,



Midtown Resident
Barret Harper
6771 Raritan Dr.
Denver, CO 80221

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the "Request for Comments" regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential's plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner's permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children's Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

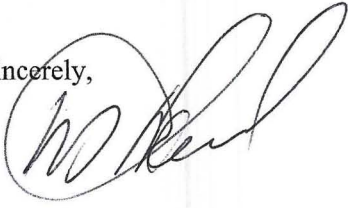
Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in cursive script, appearing to read "W. Hyland". The signature is written in black ink and is somewhat stylized.

Midtown Resident

Warren Hyland
6652 Larsh Dr.
Denver CO 80221

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Jeff & Rachel Popp

Midtown Residents

Emily Collins

From: Krista Copeland [kristacopeland@comcast.net]
Sent: Monday, November 06, 2017 3:16 PM
To: Emily Collins
Subject: Midtown LLC, Third Amendment to the Preliminary Development Plan "Request for Comments"

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It

needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.
5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Kathy Mullin

Ken Williams

Midtown Resident

6610 Fern Drive

Emily Collins

From: krexroth@comcast.net
Sent: Saturday, October 21, 2017 4:33 PM
To: Emily Collins
Subject: Objection to Midtown at Clear Creek Third Amendment to PDP (Case Number PRC2017-00007)

Department of Community Development
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601

Attn: Ms. Emily Collins

Subject: Comments on Midtown at Clear Creek Third Amendment to PDP

Dear Ms. Collins and the Department of Community Development,

I and my wife write this letter to strenuously object to the modifications proposed in your Request for Comments dated October 13, 2017.

As a new resident of the west side of the Midtown development, there is much that I do not like in the written statement that was provided in explanation of the proposed modifications.

In the first place, I find the statement difficult to plainly understand. It seems obfuscating and arbitrary. We see a land swap happening that makes our park smaller while adding additional townhomes around the remaining park area. The written statement lacks any rationales for a loss of 25% of our park area. That is a lot of area to lose and a statements like "the park remains a prominent site feature" are not the least bit consoling. They are specious and beside the point.

There is no benefit to us or Midtown's west side in losing any of the park area that has been planned and eagerly anticipated by our community. Bordering a smaller park area with more townhomes just makes the proposal more unpalatable. The residents of Midtown's west side will speak for themselves but my wife and I believe we all uniformly value every inch of open space anticipated when we invested in the community. Our open space is precious and irreplaceable as a fundamental community value.

Like our own west side residents, our east side Midtown neighbors understood and counted on the planned amenities that were represented as available in their location. Your statement provides us with no sense of why this proposed swap is necessary or beneficial, least of all to Midtown's west-side residents. Your statement offers absolutely nothing that explains why this is even being proposed.

My wife and I completely oppose these planned actions.

Fred and Claudia Murphy
Midtown residents at
2050 West 67th Place

November 6, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It

needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.
5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,



Neil Phippen & Breannalynn Patterson

Midtown Resident's

1928 W 66th Ave

Denver, CO 80221

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It

needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.
5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Philip Smith

1836 W 68th Ave

Denver CO 80221

Midtown Resident

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **No More Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.

10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in black ink that reads "Robert Pickering". The signature is written in a cursive, flowing style.

Midtown Resident

November 6, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Ms. Collins,

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **Drainage Correction on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **Alley Repairs on 67th Place**– 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property, not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Dog Park Improvements** – There should be *one* shared dog park between the east/west side communities with special soil consideration, separate areas for small dogs and big dogs, play equipment for the dogs, and shade for the pet owners. The Little Dry Creek Dog Park at 69th and Lowell (see Figure 1) is a good model of a desired dog park with these features.



Figure 1 - Little Dry Creek Dog Park with play equipment, shade, and proper soil

2. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes. Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

3. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths. Finishing these connections will allow community members to start using the trail and increase the safety of trail users. Below is our current access to the Little Dry Creek Trail on the west side. The sidewalk runs out and turns into clay mud (see Figure 2). On several occasions I have witnessed vagrants entering and exiting our community via this access point because there are not many community members using this trail to deter this kind of usage of unwanted visitors. I am often the only trail user on this trail because there is no way for trail users with strollers or bikes to access it. It is a shame that the new community west of us called “Westminster Station” already has trail access to Little Dry Creek and they don’t even have home owners yet (see Figure 3).



Figure 2 - Current access from Midtown to Little Dry Creek on the west side of the community. This makeshift path is extremely muddy during inclement weather and because of the current low trail usage, vagrants often use this makeshift trail to access the south side of our community and are not easily detected by the owners of the homes sitting above that high wall.



Figure 3 - Trail access from the Westminster Station community at Federal and 70th. This new community west of us does not have homes built yet, but has trail access before Midtown.

4. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.
5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the

school and Midtown saw no use for such a facility. *The funds used for an amphitheater would be better used elsewhere.*

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas and amenities is being discussed; however, at least 50 parking spaces are needed for both the school and the community. The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Miranda Clark

Midtown Resident

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the "Request for Comments" regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential's plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner's permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children's Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

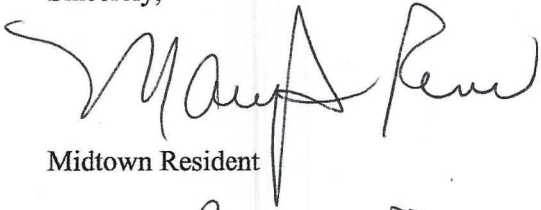
Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in cursive script, appearing to read "Mary Ann".

Midtown Resident

6652 Larch Dr.

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Shelby Rohwedder

Midtown Resident

Emily Collins

From: Ellen Smith [ellens@cybox.com]
Sent: Sunday, November 05, 2017 7:51 AM
To: Emily Collins
Subject: Response to Request for Comments

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.

67th Place Alley Repairs – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require

limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Ellen S. Smith

Midtown Resident

November 5, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Andy

Andrew Southard
1848 W 67th Avenue
Denver, CO 80221

Midtown Resident

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort

of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

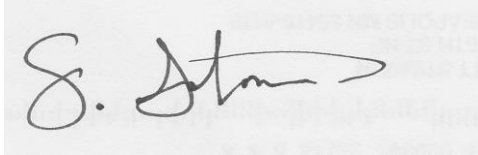
Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.
6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.
7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.
8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.
9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.
10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

A handwritten signature in black ink on a light-colored background. The signature consists of a large, stylized 'S.' followed by a cursive name that appears to be 'Stimson' with a long horizontal flourish extending to the right.

Scott Stimson

Midtown Resident

November 3, 2017

Emily Collins, AICP
Case Manager
Adams County, CO
4430 South Adams County Parkway
Brighton, CO 80601

Dear Emily:

This letter is written in response to the “Request for Comments” regarding the Third Amendment to the Preliminary Development Plan applied for by Midtown, LLC.

There has been much discussion in the community over Brookfield Residential’s plans for future development and concerns have manifested due to past and present results. Brookfield has continued to shirk obligations, responsibilities, and verbal warranties. Additionally, because these open spaces will be funded exclusively through the Clear Creek Metro District dues, we want to mitigate both fiscal and legal risks to the community at this stage and, thus, have requested some of the below items:

1. **The Drainage on 67th Place** – The Century townhomes, which face each other with grass between them, drain from the rooftops directly onto the sidewalks. IDES, the engineering firm that works for the District, has indicated that these areas are so dangerous in the winter months from collection of ice that they should be closed until the issue has been remediated. Last year a Midtown resident fell on this sidewalk due to the proliferation of ice and broke his leg. Brookfield has been informed repeatedly about this problem since July 2017 and has done nothing.
2. **67th Place Alley Repairs** – 15 or 16 homes have serious premature cracking of the driveway apron. This summer Brookfield replaced the alleys in this area which were severely cracked and sinking. As part of the alley repair project, the driveway aprons of the homes, which are private property not District property, were also replaced by Brookfield without homeowner’s permission. Some owners objected to the work as their aprons were in perfect condition prior to the alley repair. There are alleyway cracks developing on the East side as well.

Amenities - The amenities suggested by Brookfield for all open spaces give us cause for concern. The objective should be low maintenance amenities that add high value to the community as a whole.

1. **Children’s Playgrounds** – There are already play spaces for kids in the development east and west. Once the school is finished, there will be access to even more young kid play areas.
2. **Open Space Improvements** – Covered picnic tables in open spaces would be a highly used asset. There is simply nowhere for people to sit and visit in the green spaces, unless they are surrounded with children or dogs. The tables provided in Home Plate Park do not have cover so they are generally too hot to be useful.
3. **Dog Park Improvements** – The dog parks east/west need to have special soil consideration, either natural or synthetic, instead of the rock-filled clay that exists in the temporary parks. It needs to be low-cost and require limited maintenance. The dog parks also need to have some sort of covered area with shade and a sustainable water collector, perhaps something for collection and distribution of rainwater. The dog park must be enclosed and have swipe card access. We have had incidents where dogs were

injured by other dogs whose owners who do not live in Midtown. The ability to seek redress from these irresponsible owners is nearly impossible.

4. **Parking** – There is not enough parking for both the commercial district and the townhomes once they are finished. There are 21 spaces designated along one side of the townhomes and opposite the commercial area. As 500 more homes are built, and the third commercial slot is rented, there may be inadequate parking for both the commercial area and the townhomes.

Many townhomes have renters, roommates, and/or multiple vehicles and there is simply not enough designated space for parking in the existing townhome areas. The new townhome development, Filing 9, may also be a problem. People now park in fire lanes and in front of hydrants. There should be enough room for 2 vehicles, trash cans, and personal storage in each household garage. This parking issue will become an enormous problem with no obvious resolution once the property is developed.

5. **Amphitheater** – There will be extremely limited use for another amphitheater here. Midtown already has an amphitheater at the Shed. In our discussion with the School District, both the school and Midtown saw no use for such a facility. The funds used for an amphitheater would be better used elsewhere.

6. **Tennis/Volleyball Courts** – A mixed-use tennis/basketball court would benefit the West side and a volleyball sand court would benefit the East side. Adult amenities are desperately needed in Midtown. The area should be lit with solar lighting to limit costs, maintenance, and light pollution and be enclosed with an appropriate fence and secured with card swipe access.

7. **East Side Mailboxes** – The West side has a mailroom. The East side has standalone mailboxes. These mailboxes should have some sort of open-access covered awning and a secure enclosed bulletin board for community news.

8. **Security and Safety** – Fencing should be included along Dry Creek and Clear Creek pathways with a magnetic keycard access to deter stragglers and vagrants from encroaching on the recreational areas paid for by Midtown residents. Dog parks should be secured. This needs to be done for both safety and preservation of the integrity of the amenities. Westminster Station is advertising that the open space which is planned for Midtown, can be accessed and utilized by their residents. Since Westminster Station is not contributing to the cost of the upkeep of the area, Midtown does not want to make this a blatantly open use area.

9. **Connections and Concrete** – The bike paths on both the East and West sides need to be finished and connected to Dry Creek and Clear Creek bike paths.

10. **Pathways in open space** – Pathways throughout both the East and West side open spaces should be gravel where feasible and appropriate.

Lastly, we have established a relationship with the school district and have agreed to partner with them. Shared access to the school in exchange for limited use of Midtown open space areas, and amenities is being discussed. However, at least 50 parking spaces are needed for both the school and the community.

The amendment should take into consideration our above revisions, alterations and recommendations.

Sincerely,

Amy Wincek

Midtown Resident

Emily Collins

From: Craig Cichosz [Craig.Cichosz@markwest.com]
Sent: Thursday, January 26, 2017 11:54 AM
To: Emily Collins
Cc: Craig Cichosz
Subject: Midtown Filing 9 Comments
Attachments: Midtown Filing 9 Comments.docx

Hi Emily,

Attached are our comments on the Midtown Filing 9 plan. All we're looking for is the Board, for a change, to finally make Brookfield keep the commitments it has made to residents. No construction in Filing 9 without a new, completed dog park in another Midtown location.

As stated in the attached comments, please make sure that we receive the staff report and notice of public hearing dates, as stated in the Request for Comments. Also, please make sure the attached comments are included verbatim in the staff report. None of these steps were not followed for the previous Midtown filing.

If you have any questions, please let me know.

Thanks - Craig

Craig Cichosz
MarkWest Energy Partners, L.P.
IM and E-mail: craig.cichosz@markwest.com
O: 303-542-1267 | C: 303-204-9436

Emily Collins

From: Mollie O'Brien [molliecobrien@gmail.com]
Sent: Monday, January 30, 2017 8:11 AM
To: Emily Collins
Subject: Midtown Development (68th and Pecos)

Hello Emily,

I was given your name as the person to contact regarding the proposed development along Pecos in the Midtown neighborhood.

We have seen the renderings of the proposed town homes in the area that was originally slated for retail and mixed use. As one of the first residents of this community, my husband and I have been in our home since 2013, we have seen many things change from the original plans. I understand that what we bought was a home and don't have control of the neighborhood elements but this new proposed change is quite upsetting. This has obviously been a successful neighborhood and the developers are making lots of money and I find it upsetting that they have slowly taken away green space/garden space and now want to build more homes in a place that all the residents are anticipating retail that adds value to our lives.

It has taken so long just to get one retail space up, the brewery, and we are in need of more and more space for our children and dogs. From what I've heard Brookfield is charging astronomical rent rates for this area which has likely depressed interest.

More town homes just equals more cars and more people trying to share the minimal open space there is, not to mention taking away a dog park that is one of the most utilized spaces in the whole neighborhood.

We are strongly against changing this land over from what we were originally promised.

Thank you,

Mollie Siebert
6708 Alan Drive
Denver, CO 80221

--

Mollie O'Brien

"Because of your smile, you make life more beautiful." -Thich Nhat Hanh

Emily Collins

From: Rachel Webster [rachelwebster@hotmail.com]
Sent: Friday, January 27, 2017 4:47 PM
To: Emily Collins
Subject: Re: Midtown Filing 9 FDP/PRC2016-00018.

Dear Ms. Collins:

In regards to this filing, we respectfully request the Director to determine that a neighborhood meeting is required per section 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits. Homeowners and business owners in the neighborhood must have an opportunity to present their concerns regarding this proposed change that would dramatically alter what was originally envisioned for the community.

Specifically, we have the following additional comments regarding this request:

The PUD originally approved in 2008 and amended in 2012 and 2014 allows for 6.7 acres of commercial/mixed use development. This request proposes residential townhome development on 5.216 of those acres originally set aside for retail/mixed use, which should require an additional amendment to the PUD.

This request replaces the temporary community dog park with residences. While there are apparently plans for a permanent dog park on the far west side of the development, by all accounts this is several years in the future. The dog park is easily the most used and popular amenity in our community and it is unacceptable to lose this amenity even for a temporary period. Our yards are small and not suitable for canine exercise. We already have a dog waste problem in the neighborhood which would become worse without the receptacles provided in the dog park area.

53 Townhomes on 5.216 acres without additional parking spaces (as has been provided in filing 8 which is similar-54 lots on 5.216 acres) will cause additional street parking and congestion on neighboring streets.

The previously planned retail/mixed use development would have increased property values and drawn additional business patrons into the community to enhance the retail already in place. It would make the community more desirable and walkable. Placing townhomes (the maximum density product) in this area does

not increase the walkability of the neighborhood. The proposed area off Pecos should welcome the public into our neighborhood preferably with a mix of residential and retail. A large amount of multifamily units and 2-3 retail spaces does not represent the mixed architecture and varied residence types found in Midtown. From the street Midtown could appear to be a townhome development with a 2-3 retail units next to it, not a large community with amenities, parks and varied styles of homes.

On a personal note: When we bought our home on the 1800 block of 67th Place in 2014 (a block from the proposed site) one of the main selling points was that we would be one block from eventual retail development. We purposely selected a lot in filing 1 so our home would be situated close to the edge of the development and not in the middle. The additional homes and streets would also negatively impact how we access our home during and after construction. All of these factors have a potential impact on property values and will change our home's disposition in the neighborhood should this request be approved.

It is understandable that a residential developer does not want to develop a commercial area and instead turn it into residential lots which would be a quicker return on investment for them. However this is not in the best interest of the community. Perhaps an experienced commercial developer needs to be brought in to develop Filing 9 since Brookfield has demonstrated neither the expertise needed or the desire to do this.

Thank you for your consideration,

Rachel Webster and Curtis Pierce

1837 W 67th Place

Denver CO 80221

303-929-5601

rachelwebster@hotmail.com

THIS ELECTRONIC MESSAGE, INCLUDING ANY ACCOMPANYING DOCUMENTS, IS CONFIDENTIAL and may contain information that is privileged and exempt from disclosure under applicable law. If you are neither the intended recipient nor responsible for delivering the message to the intended recipient, please note that any dissemination, distribution, copying or the taking of any action in reliance upon the message is strictly prohibited. If you have received this communication in error, please notify the sender immediately. Thank you.

Emily Collins

From: Casey Berggren [casey.berggren@gmail.com]
Sent: Thursday, January 26, 2017 12:34 PM
To: Emily Collins
Subject: RE: Case Midtown Filing 9 FDP, Case # PRC2016-00018

To Whom It May Concern,

In regards to Parcel Number 0182504308015 located at SW corner of 68th Ave and Pecos St I would prefer to see the area used for commercial expansion as shopping options close to the Midtown development are currently lacking (especially grocery shopping). Adding even more houses to the development will increase demand of shopping options while taking away from available land. I am not in favor to create 53 additional residential lots.

Feel free to email me back with any questions regarding my response.

Casey Berggren

Case Name: Midtown at Clear Creek-Filing 9 FDP
Project Number: PRC2016-00018

Via e-mail to: ECollins@adcogov.org

We have reviewed the development plan for the Midtown Filing 9 area and have the following comments regarding the proposal:

- This filing includes the area with the existing Midtown dog park. Brookfield has REPEATEDLY promised Midtown residents that there will ALWAYS be a dog park at Midtown. The current plan does not address the dog park. Simply, there should be NO WORK on Filing 9 until a new dog park has been completed, consistent with Brookfield's repeated promises.
 - Midtown residents as well as area neighborhood residents regularly use and rely on the dog park in large numbers. It would be a huge mistake to approve Filing 9 or allow construction to begin in any manner without a newly relocated dog park already completed.
 - The new dog park should match the size and quality of the existing dog park. This includes pea gravel in a large area to make the dog park usable for all even during periods of wet weather.
 - Construction on Filing 9 should be delayed indefinitely if Brookfield is not ready to meet their commitments to Midtown residents to ALWAYS have a dog park at Midtown.
 - Concurrent construction of both Filing 9 and a new dog park is unacceptable... the new dog park MUST be completed first.

As stated in the notice, please ensure that the staff report and notice of public hearing date are forwarded to the e-mail address below. This step was not completed by Adams County for the last filing comments we submitted.

Thank You!

Craig and Sue Cichosz
1664 W. 67th Avenue
Craig.cichosz@markwest.com

Emily Collins

From: Kellie Koedel [kkoedel@yahoo.com]
Sent: Tuesday, January 24, 2017 12:44 PM
To: Emily Collins
Subject: Midtown 0182504400021

Emily,

I'd like to add my name to the list of residents that is extremely opposed to changing the zoning rights to residential for the parcel number 0182504400021.

We are lacking in various needed services in this area. We need grocery stores, convenience stores, drug stores etc. This parcel is intended to be for commercial use. I understand the county has no jurisdiction in the type of commercial approved, but anything will help our current situation. Any kind of commercial service will also feed the economy as the residents here will likely spend money there and keep their money local. Commercial development success will also likely encourage more commercial property to be developed in the close surrounding areas. It would be a huge miss for all residents if this area were allowed to be used for more homes.

We were told when we purchased here that this parcel would be for commercial use. If it is zoned residential then we lose part of the benefits we were promised.

Thanks for your consideration. I am available to discuss more at the number below.

Kellie Koedel
720-989-0066

Emily Collins

From: Brian Bratton [brattonb@gmail.com]
Sent: Saturday, January 21, 2017 8:18 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Emily,

On behalf of my wife and myself, I would like to voice our concern on Midtown's Filing 9.

As Midtown residents, a big reason we purchased a home in the neighborhood was due to the marketing of additional retail at the SW corner of 68th and Pecos. As I see they are now planning on squeezing in more residential in that area, it raises concerns about the proportion of amenities to residents/dwellings.

This is not the first misguided marketing effort from the master developer. From where the school would go, to how it would be funded, to the large green space and connectivity to the bike trail on the west side of the development, to when the current yet limited retail would open. The list seems a bit longer than it should be.

Our hope is that during the review and meeting processes regarding this filing that the commissioners consider these behaviors and events on behalf of the residents of Midtown and the bordering neighborhoods.

We of course understand things change, especially in large developments like this with funding and timelines, as well as approval processes, etc. We also understand Midtown has many disclaimers that plans may change.

We do believe that we're all committed to revitalizing this area of Adams County.

Having new retail in this specific area, as well as completing the large green space and bike connectivity would really go a long way in achieving the goal of revitalization of this corridor while holding the master developer accountable to their responsibilities on a planned unit development.

Thank you for your consideration,
Brian & Lindsey Bratton

Emily Collins

From: Scott Stimson [scott@arthurstimson.com]
Sent: Wednesday, January 18, 2017 1:10 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Below is the drawing upon which we decided to purchase our largest investment, our home. We were promised there would be 6.7 acres of retail commercial / mixed-use development on the corner of Pecos and 68th Ave.



Scott Stimson
1
984 W. 67th Place
Denver, CO 80221
(720) 507-5717
scott@arthurstimson.com

Emily Collins

From: Seidl, Barbara [BARBARA.SEIDL@UCDENVER.EDU]
Sent: Sunday, January 15, 2017 3:03 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

To: ECollins@adcogov.org
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Barbara Seidl

6761 Alan Dr.

--

Barbara Seidl
Associate Dean of Teacher Education and Undergraduate Experiences
SEHD
1380 Lawrence Street Center, #740
University of Colorado Denver

Emily Collins

From: Alicia Wheeler [alicia.wheeler1978@gmail.com]
Sent: Sunday, January 15, 2017 2:21 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Alicia Wheeler
6610 Morrison Drive
Denver, CO 80221

Emily Collins

From: Jon Rich [jonrich05@yahoo.com]
Sent: Saturday, January 14, 2017 9:09 PM
To: Emily Collins
Subject: Midtown

Emily,

I am a homeowner in the Midtown development, we recently received notice that Midtown LLC has filed a request to build 53 units on the land that is currently being used as a temporary dog park. I find this very concerning because prior to signing the contract to purchase a home within blocks of the current dog park, several assurances were made that influenced our decision to buy.

We knew that this was a temporary dog park but received a guarantee that at no time would we be without a dog park within walking distance. A permanent dog park was to be located on the West side of the development prior to the land in question being developed. Further, we received a commitment that this land would be used for commercial/retail space, which we believed provided additional incentive to purchase our home and provided value that we will no longer realize.

The failure of Midtown LLC to honor their commitment to the homeowner that placed their trust in Midtown LLC and the builders to deliver on these promises has many in the neighborhood feeling concerned, betrayed, and outraged. Please allow all of the homeowners the privilege to patronize business, like Bruz, within walking distance of our homes that will help strengthen our community . Please help us retain a safe place that we can let our dogs run and play in a safe environment until a permanent dog park is constructed.

Regards,
Jon Rich
760-583-9354

Emily Collins

From: Erin Brumleve [e.brumleve@kw.com]
Sent: Saturday, January 14, 2017 11:19 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hello,

I represent several home buyers who are building in Midtown with the expectation that a dog park will be included in the final plans for the community. I am resident of Midtown since 2014.

We respectfully ask the Director to determine that a neighborhood meeting is required in regards to Midtown Filing 9 FDP / PRC2016-00018, as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

As you know the current dog park has been slated to be replaced with additional attached residences. To our knowledge there is no plan which includes a replacement, off-leash pet area. The majority of homeowners in the neighborhood own large breed dogs and we already have numerous complaints to the Clear Creek Metro District of owner's not picking up after their dogs outside of the dog park. If the dog park is completely eliminated, this activity will most certainly increase. Without an area for pets to play and relieve themselves, there will be an increased demand for intervention from the Metro District.

The neighborhood helped to pass bond measure 3B and a new K-8 school is to be built within the community. If there is no dog park, and homeowners decide to use the school grounds as an off leash area after school hours, such will pose a health risk for young children as well as an increased burden on the school.

Sincerely,



Keller Williams Realty Downtown, LLC
901 Auraria Parkway Suite 301 | Denver, Colorado 80204
Each office is independently owned and operated.



Do you have family or a friend who needs help buying or selling a home? I promise to take great care of them if you send them my way. Thank you!



Emily Collins

From: Kathy Mullin [mullin.kathy@gmail.com]
Sent: Saturday, January 14, 2017 8:46 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP/PRC2016-00018

In regards to the Midtown filing named above,I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Kathy Mullin

Sent from my iPad

Emily Collins

From: Ashley Mumford [aamumford67@gmail.com]
Sent: Saturday, January 14, 2017 1:58 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hi Emily,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,
Ashley Mumford
Midtown Resident

Sent from my iPhone

Emily Collins

From: Andre Whitt [whittandre@gmail.com]
Sent: Friday, January 13, 2017 4:42 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hello,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Best Regards,
Andre Whitt
6601 Morrison Dr.
Denver, CO 80221

Emily Collins

From: LENA WHEELER [lena_wheeler@yahoo.com]
Sent: Friday, January 13, 2017 4:33 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Dear E. Collins,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

-Lena Wheeler
209.996.7260

Emily Collins

From: Virginia McAllister [virginia.mcallister@ironhorse.email]
Sent: Friday, January 13, 2017 3:22 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

To: ECollins@adcogov.org
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

I am especially concerned with the excessive density. If it is indeed all townhomes the garages are too small and they have to park on the street. There is too much density for this. Also the lack of the retail promised and the total lack of any open space including the dog park.

Virginia McAllister
Owner
2001 W. 67th place
Denver, CO 80221
303-893-3770

Emily Collins

From: Hellman, Stephanie S. - GS Facilities & Property Management
[Stephanie.Hellman@denvergov.org]
Sent: Friday, January 13, 2017 2:23 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

To whom it may concern,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Stephanie Hellman | Facilities Manager
520 W. Colfax Ave. | Lindsey-Flanigan Courthouse
[720.337.0728](tel:720.337.0728) Phone | [720.865.7107](tel:720.865.7107) Work Order Line
stephanie.hellman@denvergov.org | [Dial 3-1-1 for City Services](#)

Emily Collins

From: Michelle [musimutis@gmail.com]
Sent: Friday, January 13, 2017 12:31 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hi Emily,

I have reached out previously in regards to other filings in Midtown at Clear Creek, where I have lived since September 2013.

In regards to Midtown Filing 9 FDP / PRC2016-00018, I would respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission reviews be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

This is my home and my neighborhood. Brookfield, the developer, promised us a dog park until the permanent one is built in the west park and this space is used by both Midtown and other Adams County residents. It fosters a community and is a big reason why we chose to buy in this county.

If you have any questions or would like to discuss further, please contact me at 323-356-2888.

Thank you,
Michelle Simutis
musimutis@gmail.com
1690 W. 67th Ave, Denver 80221

Emily Collins

From: Ryan Falor [aerofalor@gmail.com]
Sent: Friday, January 13, 2017 12:20 PM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hello

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

I believe that a walkable community with retail at the corner of Pecos and 68th is a more desirable and viable option than cramming in more homes. When purchasing the home we were informed that this area would be for commercial development. It is unacceptable to change the plans now. The existing businesses that have invested in Midtown will also benefit from a concentration of retail to attract customers outside of Midtown neighborhood.

Thank you for your attention to this matter.

Regards,
Ryan Falor, resident of Midtown

Emily Collins

From: Erica Kruk [ereynolds3412@gmail.com]
Sent: Friday, January 13, 2017 11:51 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thanks,
Erica Kruk

Midtown homeowner

Emily Collins

From: Jacqueline Dauw [jackie.dauw@gmail.com]
Sent: Friday, January 13, 2017 10:47 AM
To: Emily Collins

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Jackie Dauw

Emily Collins

From: Michael Lussier [mike.lussier@icloud.com]
Sent: Friday, January 13, 2017 9:46 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Regards,

Michael Lussier
M Ryan Clark

[2090 W. 67th place](#)
[Denver, CO 80221](#)

Emily Collins

From: Jessica Dye [jessica@kseriesparts.com]
Sent: Friday, January 13, 2017 9:44 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

To whom it may concern,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Deirdra Dye, CCO, EVP

1836 W 67th Pl

Denver, CO 80221

K Series Parts
303-421-2931

Emily Collins

From: Brennan Hannon [brennanhannon@gmail.com]
Sent: Friday, January 13, 2017 9:41 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Good morning,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Brennan Hannon
1984 W 67th Place
Denver CO 80221

Emily Collins

From: Brandon Best [brandon.best85@gmail.com]
Sent: Friday, January 13, 2017 9:32 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hello,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Brandon

--

Regards,
Brandon Best
(970) 397-7261
1765 W. 67th Pl
Denver, CO 80221

Emily Collins

From: Masha Zaffuto [mia.zaffuto@gmail.com]
Sent: Friday, January 13, 2017 9:28 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Mia and Jason Zaffuto

2160 W 68th ave
Denver Co 80221

Emily Collins

From: Laura Fritz [fritzy58@gmail.com]
Sent: Friday, January 13, 2017 9:25 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you.



laura fritz
720.299.6024
laura@fritzydesign.com
www.fritzydesign.com

Emily Collins

From: Matthew Zielinski [msz@matthewzielinski.com]
Sent: Friday, January 13, 2017 9:11 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Regards,

Matthew Zielinski
1844 W. 67th Pl., Denver, CO 80221
Phone: [\(716\) 881-3131](tel:7168813131)
E-mail: msz@matthewzielinski.com

Emily Collins

From: Jami [cheetahprime@gmail.com]
Sent: Friday, January 13, 2017 9:10 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Jami Haber
6758 Warren Dr
Denver CO 80221

Emily Collins

From: Justin Lemme [jdlemme@gmail.com]
Sent: Friday, January 13, 2017 9:05 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

R,
Justin Lemme

Emily Collins

From: chandler stewart [info@chandlerstewart.com]
Sent: Friday, January 13, 2017 9:01 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

--

Chandler Stewart
2183 W 67th Dr
Denver CO 80221
719-232-2512
info@chandlerstewart.com

Emily Collins

From: Taren Cunningham [tarencunningham@live.com]
Sent: Friday, January 13, 2017 8:50 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

Hello,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Thank you,

Taren Cunningham and Cullen Jett
1828 west 66th ave
Denver co, 80221

Emily Collins

From: brittneylanders@gmail.com
Sent: Friday, January 13, 2017 8:37 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP / PRC2016-00018

To whom it may concern,

In regards to Midtown Filing 9 FDP / PRC2016-00018, I respectfully ask the Director to determine that a neighborhood meeting is required as per 2-01-02-01 of the Application and Permitting Procedures Common Development Review Procedures for Development Applications, and that all Planning Commission review be held in abeyance until the applicant submits the required neighborhood meeting summary and affidavits.

Sincerely,

Brittney Landers
6720 warren drive
Denver co 80221

Emily Collins

From: Marci Colb [marci.colb@gmail.com]
Sent: Thursday, January 12, 2017 3:15 PM
To: Emily Collins
Subject: Midtown LLC - new filing

Dear Erica,

I received a notice from you regarding a new filing in Midtown by Brookfield. I would like to express my concern on two levels:

1. The current dog park is situated in the area proposed to be the new town homes. While a dog park is promised in the permanent park behind Morrison St., that park is rumored to be at least 2 years out from now. I purchased the home specifically with the dog park in mind and to even have a 2 year interruption between when the current dog park is gone and the new one is instated would be a shame and a misrepresentation of what was supposed to happen.
2. The retail space planned. Originally, this area was earmarked for retail space. I believe that many homeowners bought under the assumption that this would provide conveniences to the area and, thus, make it more desirable. I am concerned that there is no new retail space being allocated and that the value in the properties might decrease due to this lack of convenience. It is my understanding that the builder/developer Brookfield does not want to deal with the headache of retail space, so they have changed their minds and decided to sell off that land to the town home builder. I believe this is a bait and switch and I don't agree that there should be no retail space.

Thanks!

Marci Colb
6642 Larsh Dr.

Emily Collins

From: Tracey Hough [serenetracey@yahoo.com]
Sent: Thursday, January 12, 2017 2:07 PM
To: Emily Collins
Subject: Midtown FDP

Dear Ms. Collins,
Regarding the Final Development Plan at Midtown that was recently mailed to Homeowners, I would like to know about the relocation plans for the dog park?

Though this may seem a trivial matter to the developers, our family along w/many others were attracted to the area by the promise of a dog park. Most yards in Midtown are either non-existent or very small so it was great knowing that we would always have an outlet for our pet after a day spent indoors. As well, we have found the park to be a social meeting place for humans to interact and get to know one another too!

I thank you for your time and would greatly appreciate a response back on the plans and location of the future dog park.

Sincerely,

Tracey Hough

Serene Surroundings

making peace w/your environment through Feng Shui

Phone: 303-941-5877

serenetracey@yahoo.com

Matthew Zielinski
1844 W. 67th Pl.
Denver, CO 80221
January 12, 2017

Department of Community and Economic Development
Adams County Colorado
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Midtown Filing 9 FDP / PRC2016-00018

Dear Department of Community and Economic Development:

I have reviewed the request by Midtown LLC in Midtown Filing 9 FDP / PRC2016-00018, and I respectfully ask that you deny any approvals.

Changes to the status of the parcel in question will create a loss of service and may have significant impacts to community health.

Clear Creek Station Metropolitan Districts Nos. 1-3 currently use the parcel to provide a residential dog park as a service to district residents. Clear Creek Station Metropolitan Districts Nos. 1-3 have made contractual agreements with 3rd party vendors to monitor and maintain the residential dog park and to remove pet waste. The district will not be able to safely address pet waste without the residential dog park. Any alternative sites for the location of the residential dog park that may have been approved in other filings have not been developed by Midtown LLC or Brookfield Residential CO. and therefore are NOT suitable for the districts to provide this necessary community service.

Sincerely,



Matthew Zielinski

cc: Adams County Planning Commissions, Adams County Board of County Commissioners, Clear Creek Station Metropolitan Districts Nos. 1-3

Emily Collins

From: Justin Lemme [jdlemme@gmail.com]
Sent: Thursday, January 12, 2017 8:36 AM
To: Emily Collins
Subject: Midtown Filing 9 FDP Case# PRC2016-00018

Ms. Collins,

I am writing you as a homeowner in the development known as Midtown located at 67th & Pecos. Recently, we were notified that Brookfield, who is the owner of the land our homes are built on, is in the process of submitting a new filing for more homes at the SW corner of 68th & Pecos. Currently, this location is mostly vacant with the exception of a Dog Park for residents who have dogs and need a place to run and do their business.

We were told initially that this vacant location would be zoned for commercial or mixed use residential/commercial and that the Dog Park would be temporary until a larger 40-acre Dog Park would be built to the west of the existing homes. However, it now seems that Brookfield is trying to begin the process of building new homes on this existing Dog Park without any information on when the new Dog Park will be built. If their intention is to remove the existing Dog Park without replacing it with a suitable alternative, this is not acceptable.

I personally do not own a dog, but many of my neighbors do. This Dog Park allows my neighbors to take their dogs out and keep a somewhat centralized location for pet waste to be collected. If this location is removed, it is a loss of a promised Neighborhood Service and it will create a Public Health Hazard as the animals will no longer have a place to go except for on the lawns and sidewalks in the neighborhood. Most of our neighbors are good about cleaning up after their pets, but if all the pets have to use the lawns and sidewalks to do their business, I feel that more and more pet waste will collect on our properties. I do have a new baby and I do not want him exposed to pet waste everywhere, not to mention the unsightly conditions that this will create for our neighborhood.

I urge you to pressure Brookfield to build the new Dog Park before this filing is approved. Please forward my concerns to Brookfield and I hope that more of my neighbors will follow suit.
Thank you.

Respectfully,
Justin D Lemme

Emily Collins

From: Thach Nguyen [thachbn2@gmail.com]
Sent: Tuesday, March 07, 2017 4:54 PM
To: Emily Collins
Subject: Comments on Midtown Filing 9 FDP PRC2016-00018

Hello Emily,

My name is Thach Nguyen and I am a resident of the Midtown development and I wanted to submit my comments in regards to the new filing #9 for Midtown. I wanted to on the record voice my support for a mixed used development instead of a purely residential proposal. Based on the original proposal by Brookfield and Adams County's proposed vision for the areas near the 3 commuter stations in the southwest part of the county, I believe the county is missing out on an opportunity to add more value to the land by designating it only for residential instead of a mixed used development that includes retail and additional housing.

I just wanted to be on record to support more of what I would consider "traditional development" that includes retail on ground floor and housing on top. Considering a large part of the plot fronts Pecos and has access to public transit and near the commuter station, there is opportunity to include a more productive use of the land that includes housing and retail which many of my neighbors support.

Thank you for reading,

Thach

Emily Collins

From: Sue Dolquist [suedolquist.thg@gmail.com]
Sent: Tuesday, March 07, 2017 9:23 PM
To: Emily Collins
Subject: Midtown Denver development

I am a Midtown resident and would like to see mixed use or retail space developed at the SW corner of 68th and Pecos. a Sprouts or Natural Grocer would be idea..

There is a genuine need for retail space, and adding more homes or townhomes on that corner will be overcrowded.

Thank you

Sue Dolquist

Emily Collins

From: Grant Patrick [grantpatrick@hotmail.com]
Sent: Thursday, March 09, 2017 10:01 AM
To: Emily Collins
Subject: Midtown Development

Hello,

I am writing this email as a concerned resident of Adams County and the Midtown Development. It was brought to our attention that Brookfield Residential has plans to change planned use of the land that the dog park currently resides on. Every resident in Midtown was told that this area would eventually be used for commercial use or at the very least mixed use. This was a very big selling point for a lot of people and Brookfield should not be allowed to change the plans without input from it's current residents. This is a classic bait and switch tactic that will not be tolerated.

More commercial in Midtown is a WIN/ WIN/ WIN situation for Brookfield, Adams County, and the Midtown residents.

Please help us in our fight against Brookfield to honor their original promises and obligations to it's residences.

Thank you,

Grant Patrick
6759 Larsh Dr.
480-577-3398

Emily Collins

From: Ryan Falor [aerofalor@gmail.com]
Sent: Monday, May 08, 2017 1:56 PM
To: Emily Collins
Subject: Comment on development plans for 68th and Pecos

Ms. Collins,

I am a resident of Midtown and wanted to express my concern about the new proposed residential plans for the mixed use area on the corner of 68th and Pecos. The developers sold this property to residents as a walkable shopping area with mixed commercial buildings. Since then they have reportedly turned down reasonable offers and removed the for-sale sign on the property. The plans for highly dense residential will not only cancel those promises but will add a large burden to existing roads, parking, and sewer resources. This will likely reduce property values for existing residents.

I believe the the larger neighborhood would be improved by access to more shopping and overall Adams County would benefit by having more walkable communities. Please pass my comments along to the county commission that will review these development plans.

Thank you
- Ryan Falor

3.) I have heard no talk of a combination of retail and residential development above. Such a type of building would serve both the needs of residents in future years as well as the immediate needs of the builder to make the plot of land profitable. Please do not negate the usefulness of this land for immediate needs without considering the "Long game" implications for permanent and future residents. The needs of everyone can be met with moderated compromise that is thoughtful and considerate.

Thank you for reviewing my comments. I strongly oppose this development as it is currently proposed and hope the county will require the developer to make concessions that benefit residents who will have to live with their decisions.

Respectfully,
Shelley Cook

Shelley Cook 1898 W. 66th Ave, Denver CO 80221
210-595-9679 210-595-9679

To whom it may concern;

I am deeply troubled by the proposed townhomes at the southwest corner of Pecks street and West 68th avenue. The following issues have yet to be given proper and lasting solutions by the builder:

- 1) The commercial space that was originally allotted for the community created an opportunity to increase walkability and promote socialization for residents who may otherwise be encouraged to get in a vehicle to do small errands. While there are types of retail that do not make sense due to existing density of businesses, other types of business may thrive in a walkable area of higher home values. Such businesses may include a bakery, Dry cleaner, Coworking space, Childcare, and Wireless provider, just to name a few ideas. The builder is using data based on a lightly occupied neighborhood. This neighborhood thrives because of its strong walkability that fosters community. Removing commercial spaces will only encourage neighbors to leave midtown instead of organically engaging with those ~~around~~ in close proximity to them.
- 2) The midtown development is not closed off from adjacent neighborhoods. Residents in those adjacent neighborhoods frequently use our open spaces, dog parks, retail, and trail access. Has brookfield or adams county considered the benefits of walkable retail or commercial space for these residents?

Emily Collins

From: Deniese Estrada [deniesee@aol.com]
Sent: Tuesday, April 11, 2017 8:59 AM
To: Emily Collins
Subject: Midtown at Clear Creek School Parcel #PRC2017-00002

I am very concerned about the building of a school on a parcel of land so close to the old Sundstrand location. Has the contamination from the dumping at Sundstrand been adequately handled and cleaned up (or cleared up) to allow for a school to be built at that location?

Deniese Estrada
6880 Warren Dr.
Denver, CO 80221

Plat) to create one lot; 3) Subdivision Improvements Agreement (SIA); and 4) Vacate a portion of Zuni Street and W. 67th Ave. right-of-way.


These requests are located at approximately **6701 PECOS ST**

The Assessor's Parcel Numbers are **0182504300039, 0182504315130, 0182504308015 , 0182504400021, 0182504400022, 0182504411001, 0182505409001**

Applicant Information: **Midtown LLC (MARC SAVELA)**
6465 S GREENWOOD PLAZA BLVD. STE 700
CENTENNIAL, CO 80111

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Emily Collins, AICP
Case Manager



Public Hearing Notification

Case Names: Midtown 3rd PDP Amendment, Filing 6 FDP, Filing 9 FDP, Filing 10 FDP, School Site FDP

Case Numbers: PRC2017-00007 (PDP Amendment), PRC2016-00012 (F. 6), PRC2016-00018 (F. 9), PRC2016-00017 (F. 10), and PRC2017-00002 (School Site)

Planning Commission Hearing Date: 12/14/2017 at 6:00 p.m.

Board of County Commissioners Hearing Date: 01/09/2018 at 9:30 a.m.

November 21, 2017

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests:

PRC2017-00007: Third Amendment to the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations.

PRC2016-00012: 1) Final Development Plan (FDP) to allow 57 lots on approximately 52.356 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 57 lots; 3) Subdivision Improvements Agreement (SIA) for Filing No. 6.; and 4) Vacate a portion of Zuni Street right-of-way.

PRC2016-00018: 1) Final Development Plan (FDP) to allow 57 lots on approximately 5.907 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 53 residential lots and 4 commercial lots; and 3) Subdivision Improvements Agreement (SIA) for Filing No. 9.

PRC2016-00017: 1) Final Development Plan (FDP) to allow 39 lots on approximately 4.105 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 39 residential lots; and 3) Subdivision Improvements Agreement (SIA) for Filing No. 10.

PRC2017-00002: 1) Final Development Plan (FDP) to allow development of a school site on approximately 5.32 acres in the PUD zone district; 2) Minor Subdivision Preliminary/Final

PUBLICATION REQUEST

**Midtown 3rd PDP Amendment, Filing 6 FDP, Filing 9 FDP,
Filing 10 FDP, School Site FDP**

Case Numbers: PRC2017-00007 (PDP Amendment), PRC2016-00012 (F. 6), PRC2016-00018 (F. 9), PRC2016-00017 (F. 10), and PRC2017-00002 (School Site)

Planning Commission Hearing Date: 12/14/2017 at 6:00 p.m.

Board of County Commissioners Hearing Date: 01/09/2018 at 9:30 a.m.

Requests:

PRC2017-00007: Third Amendment to the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations.

PRC2016-00012: 1) Final Development Plan (FDP) to allow 57 lots on approximately 52.356 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 57 lots; 3) Subdivision Improvements Agreement (SIA) for Filing No. 6.; and 4) Vacate a portion of Zuni Street right-of-way.

PRC2016-00018: 1) Final Development Plan (FDP) to allow 57 lots on approximately 5.907 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 53 residential lots and 4 commercial lots; and 3) Subdivision Improvements Agreement (SIA) for Filing No. 9.

PRC2016-00017: 1) Final Development Plan (FDP) to allow 39 lots on approximately 4.105 acres in the PUD zone district; 2) Major Subdivision (Preliminary/Final Plat) to create 39 residential lots; and 3) Subdivision Improvements Agreement (SIA) for Filing No. 10.

PRC2017-00002: 1) Final Development Plan (FDP) to allow development of a school site on approximately 5.32 acres in the PUD zone district; 2) Minor Subdivision Preliminary/Final Plat) to create one lot; 3) Subdivision Improvements Agreement (SIA); and 4) Vacate a portion of Zuni Street and W. 67th Ave. right-of-way.

Location: Approximately 6701 PECOS ST

Parcel Number(s): 0182504300039, 0182504315130, 0182504308015, 0182504400021,
0182504400022, 0182504411001, 0182505409001

Case Manager: Emily Collins

Case Technician: Shayla Christenson

Applicant: Midtown LLC (MARC SAVELA)
6465 S GREENWOOD PLAZA BLVD. STE 700
CENTENNIAL, CO 80111

Legal Description:

MIDTOWN AT CLEAR CREEK – FILING NO. 6

A PARCEL OF LAND SITUATED IN THE EAST HALF OF SECTION 5 AND THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4 ALL IN TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING ALL OF LOT 1, BLOCK 1 AND A PORTION OF ZUNI STREET OF SUNDSTRAND SUBDIVISION AS RECORDED AT RECEPTION NO. A026680 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TRACT O AND A PORTION OF FERN DRIVE OF THE PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS, TOGETHER WITH A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE WEST LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AS MONUMENTED AT THE SOUTH SIXTEENTH CORNER OF SAID SECTIONS 4 AND 5 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" AND AT THE WEST QUARTER CORNER OF SAID SECTION 4 BY A NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP STAMPED "PLS 7735" IN A MONUMENT BOX, WAS ASSUMED TO BEAR NORTH 00°26'28" EAST, A DISTANCE OF 1334.17 FEET.

BEGINNING AT THE SOUTH SIXTEENTH CORNER OF SAID SECTION 4 AND SECTION 5;

THENCE ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 5, SOUTH 00°26'28" WEST A DISTANCE OF 112.05 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF C & S RAILROAD, ALSO BEING ON THE SOUTHERLY BOUNDARY OF SAID SUNDSTRAND SUBDIVISION AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 6551.57 FEET THE RADIUS POINT OF SAID CURVE BEARS SOUTH 39°31'32" WEST.

THENCE DEPARTING SAID EAST LINE, ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR (4) COURSES:

1. NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 07°05'10" AN ARC LENGTH OF 810.27 FEET;
2. TANGENT TO SAID CURVE NORTH 57°33'37" WEST A DISTANCE OF 404.92 FEET;
3. NORTH 32°26'23" EAST A DISTANCE OF 50.00 FEET;
4. NORTH 57°33'37" WEST A DISTANCE OF 177.22 FEET TO A POINT ON THE WESTERLY BOUNDARY OF SAID LOT 1;

THENCE ALONG THE WESTERLY, NORTHERLY AND EASTERLY BOUNDARY OF SAID LOT 1 THE FOLLOWING SEVEN (7) COURSES:

1. DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY AND SAID SOUTHERLY BOUNDARY, NORTH 00°34'23" EAST A DISTANCE OF 1349.53 FEET;
2. SOUTH 83°07'30" EAST A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1063.39 FEET;
3. EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46" AN ARC LENGTH OF 215.53 FEET;
4. TANGENT TO SAID CURVE NORTH 85°15'44" EAST A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
5. SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44" AN ARC LENGTH OF 267.94 FEET;
6. TANGENT TO SAID CURVE SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET;
7. SOUTH 00°26'28" WEST, A DISTANCE OF 1119.83 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 77.50 FEET;

THENCE DEPARTING SAID EASTERLY BOUNDARY OF LOT 1, SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 76°56'59", AN ARC LENGTH OF 104.08 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN BOOK 856 AT PAGE 61, IN SAID RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 811.38 FEET TO THE SOUTHERLY BOUNDARY OF LOT 1, MIDTOWN AT CLEAR CREEK SCHOOL SITE RECORDED UNDER RECEPTION NO. , IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY BOUNDARY, SOUTH 89°43'26" EAST, A DISTANCE OF 404.02 FEET TO THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:

1. SOUTH 00°16'34" WEST, A DISTANCE OF 744.93 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 21.50 FEET;
2. SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 33.77 FEET;
3. NON-TANGENT TO SAID CURVE, SOUTH 00°16'34" WEST, A DISTANCE OF 49.75 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 74.50 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 00°16'34" EAST;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 21°02'33", AN ARC LENGTH OF 27.36 FEET TO THE NORTHERLY EXTENSION OF THE EASTERLY BOUNDARY OF SAID TRACT O;

THENCE NON-TANGENT TO SAID CURVE, ALONG SAID NORTHERLY EXTENSION AND THE EASTERLY BOUNDARY OF SAID TRACT O, SOUTH 00°16'34" WEST, A DISTANCE OF 137.45 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4;

THENCE ALONG SAID SOUTH LINE, NORTH 89°55'26" WEST A DISTANCE OF 432.01 FEET TO THE **POINT OF BEGINNING.**

CONTAINING AN AREA OF 52.356 ACRES, (2,280,634 SQUARE FEET), MORE OR LESS.

MIDTOWN AT CLEAR CREEK – FILING NO. 9

A PARCEL OF LAND BEING ALL OF LOT 1, BLOCK 10, MIDTOWN AT CLEAR CREEK FILING NO. 1 PLAT CORRECTION AS RECORDED AT RECEPTION NO. 2013000055576 IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND LOCATED WITHIN THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

CONTAINING AN AREA OF 5.907 ACRES, (257,321 SQUARE FEET), MORE OR LESS.

MIDTOWN AT CLEAR CREEK SCHOOL SITE

A PARCEL OF LAND BEING A PORTION OF ZUNI STREET AS SHOWN ON THE PLAT OF SUNDSTRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND AS DESCRIBED IN DEED RECORDED IN BOOK 856 AT PAGE 61, IN SAID RECORDS AND WEST 67TH PLACE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5 AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;



Request for Comments

Case Name:	Midtown at Clear Creek Third Amendment to PDP
Case Number:	PRC2017-00007

October 13, 2017

Adams County Planning Commission is requesting comments on the following request:

Third Amendment to the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations.

This request is located at **6701 PECOS ST.**

The Assessor's Parcel Number is **0182504300039, 0182504308015, 0182504400021, 0182504400022, 0182504411001, 0182505409001.**

Applicant Information **MIDOWN LLC (CHRIS PETRO)**

**6465 S. GREENWOOD PLAZA
CENTENNIAL, CO 80111**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **November 6, 2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins

Emily Collins, AICP
Case Manager

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 433.34 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET TO THE WESTERLY RIGHT-OF-WAY OF MORRISON DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;
2. SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY AS SHOWN ON SAID PLATS OF MIDTOWN AT CLEAR CREEK-FILING NO.S 2 AND 4, NORTH 89°43'26" WEST, A DISTANCE OF 238.75 FEET TO THE NORTHERLY EXTENSION OF THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID NORTHERLY EXTENSION AND THE WESTERLY RIGHT-OF-WAY, SOUTH 00°16'34" WEST, A DISTANCE OF 132.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 404.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, SOUTH 00°26'28" WEST, A DISTANCE OF 10.00 FEET;

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 60.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF ZUNI STREET AS SHOWN ON SAID PLAT OF SUNDSTRAND SUBDIVISION;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 368.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 60.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 26.00 FEET TO THE **POINT OF BEGINNING**,

CONTAINING AN AREA OF 5.320 ACRES, (231,755 SQUARE FEET), MORE OR LESS.

MIDTOWN AT CLEAR CREEK – FILING NO. 10

A PART OF THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2007000079792 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 4, WHENCE THE CENTER-SOUTH CORNER OF SAID SECTION 4 BEARS SOUTH 00°00'15" WEST, A DISTANCE OF 1,324.85 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THENCE SOUTH 67°17'53" EAST, A DISTANCE OF 677.99 FEET TO THE WESTERLY BOUNDARY OF MIDTOWN AT CLEAR CREEK – FILING NO.7 PLAT AS RECORDED UNDER RECEPTION NO. 2016000009355 IN SAID COUNTY RECORDS AND THE **POINT OF BEGINNING**;

THENCE ALONG SAID WESTERLY BOUNDARY, SOUTH 00°16'34" WEST, A DISTANCE OF 512.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH AVENUE AS SHOWN ON AND DEDICATED BY MIDTOWN AT CLEAR CREEK – FILING NO. 5 PLAT AS RECORDED UNDER RECEPTION NO. 2014000091485 IN SAID COUNTY RECORDS;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. NORTH 89°43'26" WEST, A DISTANCE OF 290.07 FEET;
2. SOUTH 84°33'46" WEST, A DISTANCE OF 68.27 FEET;

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY, NORTH 00°16'34" EAST, A DISTANCE OF 370.30 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 148.50 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 233.26 FEET;

THENCE TANGENT TO SAID CURVE, SOUTH 89°43'26" EAST, A DISTANCE OF 209.50 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 4.105 ACRES, (178,794 SQUARE FEET), MORE OR LESS.

MIDTOWN AT CLEAR CREEK 3RD PDP AMENDMENT:

A PARCEL OF LAND BEING A PORTION OF LOT 1, BLOCK 1, SUNDSTRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 IN THE RECORDS OF THE ADAMS COUNTY, COLORADO CLERK AND RECORDER'S OFFICE, SITUATED IN THE EAST HALF OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID COUNTY AND STATE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 1, BLOCK 1 AND CONSIDERING THE WESTERLY BOUNDARY OF SAID LOT 1, BLOCK 1 TO BEAR SOUTH 00°34'23" WEST WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE ALONG THE NORTHERLY AND EASTERLY BOUNDARY OF SAID LOT 1, BLOCK 1 THE FOLLOWING FIVE (5) COURSES:

- 1) SOUTH 83°07'30" EAST, A DISTANCE OF 234.08 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 1,063.39 FEET;
- 2) EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°36'46", AN ARC LENGTH OF 215.53 FEET;
- 3) TANGENT TO SAID CURVE, NORTH 85°15'44" EAST, A DISTANCE OF 463.25 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 161.01 FEET;
- 4) SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 95°20'44", AN ARC LENGTH OF 267.94 FEET;
- 5) TANGENT TO SAID CURVE, SOUTH 00°36'28" WEST, A DISTANCE OF 577.29 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF ZUNI STREET;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE SOUTH 00°26'28" WEST, A DISTANCE OF 569.54 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE NORTH 89°43'26" WEST, A DISTANCE OF 529.52 FEET;

THENCE SOUTH 00°16'34" WEST, A DISTANCE OF 116.06 FEET; THENCE NORTH 69°16'17" WEST, A DISTANCE OF 126.13 FEET; THENCE NORTH 45°48'26" WEST, A DISTANCE OF 101.69 FEET;

THENCE NORTH 83°34'48" WEST, A DISTANCE OF 51.28 FEET; THENCE SOUTH 70°39'44" WEST, A DISTANCE OF 132.41 FEET; THENCE NORTH 87°51'16" WEST, A DISTANCE OF 27.79 FEET; THENCE NORTH 66°41'12" WEST, A DISTANCE OF 51.12 FEET; THENCE NORTH 24°41'50" WEST, A DISTANCE OF 55.93 FEET; THENCE NORTH 07°22'11" WEST, A DISTANCE OF 114.48 FEET; THENCE NORTH 41°50'55" WEST, A DISTANCE OF 66.49 FEET; THENCE NORTH 55°30'20" WEST, A DISTANCE OF 36.19 FEET TO THE WESTERLY BOUNDARY OF SAID LOT 1, BLOCK 1; THENCE ALONG SAID WESTERLY BOUNDARY NORTH 00°34'23" EAST, A DISTANCE OF 1,083.22 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 31.979 ACRES, (1,393,023 SQUARE FEET), MORE OR LESS. EXHIBIT ATTACHED AND MADE A PART HEREOF.

MIDTOWN AT CLEAR CREEK SCHOOL SITE:

A PARCEL OF LAND BEING A PORTION OF ZUNI STREET AS SHOWN ON THE PLAT OF SUNDSTRAND SUBDIVISION RECORDED UNDER RECEPTION NO. A026680 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AND AS DESCRIBED IN DEED RECORDED IN BOOK 856 AT PAGE 61, IN SAID RECORDS AND WEST 67TH PLACE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4 AS RECORDED UNDER RECEPTION NO. 2014000076746, IN SAID RECORDS TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 5 AND THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 4 AND CONSIDERING THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 4 TO BEAR SOUTH 89°43'26" EAST, A DISTANCE OF 1332.12 FEET, ALL BEARINGS HEREON ARE REFERENCED TO THIS LINE;

THENCE ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 20.00 FEET TO THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID NORTH LINE, SOUTH 89°43'26" EAST, A DISTANCE OF 433.34 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°16'34" WEST, A DISTANCE OF 26.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF WEST 68TH AVENUE AS SHOWN ON THE PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2 AS RECORDED UNDER RECEPTION NO. 2013000104695, IN SAID RECORDS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 204.90 FEET TO THE WESTERLY RIGHT-OF-WAY OF MORRISON DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

1. SOUTH 44°43'26" EAST, A DISTANCE OF 4.85 FEET;

2. SOUTH 00°16'34" WEST, A DISTANCE OF 222.57 FEET TO THE NORTHERLY RIGHT-OF-WAY OF WEST 67TH PLACE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 2;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY AS SHOWN ON SAID PLATS OF MIDTOWN AT CLEAR CREEK-FILING NO.S 2 AND 4, NORTH 89°43'26" WEST, A DISTANCE OF 238.75 FEET TO THE NORTHERLY EXTENSION OF THE WESTERLY RIGHT-OF-WAY OF FERN DRIVE AS SHOWN ON SAID PLAT OF MIDTOWN AT CLEAR CREEK-FILING NO. 4;

THENCE ALONG SAID NORTHERLY EXTENSION AND THE WESTERLY RIGHT-OF-WAY, SOUTH 00°16'34" WEST, A DISTANCE OF 132.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 404.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, SOUTH 00°26'28" WEST, A DISTANCE OF 10.00 FEET;

THENCE DEPARTING SAID EASTERLY RIGHT-OF-WAY, NORTH 89°43'26" WEST, A DISTANCE OF 60.00 FEET TO THE WESTERLY RIGHT-OF-WAY OF ZUNI STREET AS SHOWN ON SAID PLAT OF SUNDSTRAND SUBDIVISION;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 368.00 FEET;

THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY, SOUTH 89°43'26" EAST, A DISTANCE OF 60.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF ZUNI STREET AS DESCRIBED IN SAID BOOK 856 AT PAGE 61;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°26'28" EAST, A DISTANCE OF 26.00 FEET TO THE **POINT OF BEGINNING**,

CONTAINING AN AREA OF 5.320 ACRES, (231,755 SQUARE FEET), MORE OR LESS.



Request for Comments

Case Name:	Midtown at Clear Creek Third Amendment to PDP
Case Number:	PRC2017-00007

October 13, 2017

Adams County Planning Commission is requesting comments on the following request:

Third Amendment to the Preliminary Development Plan to allow modifications to the overall site plan including residential and open space locations.

This request is located at **6701 PECOS ST.**

The Assessor's Parcel Number is **0182504300039, 0182504308015, 0182504400021, 0182504400022, 0182504411001, 0182505409001.**

Applicant Information **MIDOWN LLC (CHRIS PETRO)**

**6465 S. GREENWOOD PLAZA
CENTENNIAL, CO 80111**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **November 6, 2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

CERTIFICATE OF POSTING



I, **Emily Collins** do hereby certify that I had the property posted at

6701 Pecos St.

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Adams County
Attn: Planning Addressing
PLN

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

Adams County Construction Inspection
Attn: PWCI .
PWCI

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

COLORADO DIVISION OF WILDLIFE
Attn: JOSEPH PADIA
6060 BROADWAY
DENVER CO 80216

Adams County Treasurer: Send email
Attn: Adams County Treasurer
bgrimm@adcogov.org

COLORADO DIVISION OF WILDLIFE
Attn: Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

CITY OF WESTMINSTER
Attn: MAC CUMMINS
4800 W 92ND AVE.
WESTMINSTER CO 80031

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

CITY OF WESTMINSTER
Attn: Andy Walsh
4800 W 92nd Avenue
WESTMINSTER CO 80031

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

COLO DIV OF MINING RECLAMATION AND SAFETY
Attn: ANTHONY J. WALDRON - SENIOR ENV
DEPT. OF NATURAL RESOURCES
1313 SHERMAN ST, #215
DENVER CO 80203

Crestview Water & Sanitation
Attn: Patrick Stock
PO Box 21299
Denver CO 80221-0299

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

Engineering Division
Attn: Transportation Department
PWE

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

GOAT HILL
Attn: SHARON WHITEHAIR
2901 W 63RD
AVE SP:0047
DENVER CO 80221

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

Hyland Hills Park & Recreation District
Attn: Terry Barnhart
8801 Pecos St
Denver CO 80260

UNITED STATES POST OFFICE
Attn: MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

US EPA
Attn: Stan Christensen
1595 Wynkoop Street
DENVER CO 80202

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

WESTMINSTER FIRE DEPT.
Attn: CAPTAIN DOUG HALL
9110 YATES ST.
WESTMINSTER CO 80031

North Pecos Water & Sanitation District
Attn: Russell Traska
6900 Pecos St
Denver CO 80221

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

NS - Code Compliance
Attn: Andy San Nicolas
asannicolas@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

PERL MACK NEIGHBORHOOD GROUP
Attn: DAN MICEK - PRESIDENT
7294 NAVAJO ST.
DENVER CO 80221

PDP Amendment
Property Owner Labels

1741 LLC
15163 W 32ND DR
GOLDEN CO 80401-1369

ALLEN RICHARD F III
6600 FERN DR
DENVER CO 80221-2645

ABDULLAH LINDSEY N AND
ABDULLAH JOSEPH M
1646 W 67TH AVE
DENVER CO 80221-2610

ALQUIST DEREK AND
ALQUIST MAGDALEN A
6742 MARIPOSA CT
DENVER CO 80221

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

ALUL MAHA W AND
ALUL SAMIR M
6668 WARREN DR
DENVER CO 80221-2662

ADAMS TARYNE AND
ADAMS JOSEPH
1354 W 68TH AVE
DENVER CO 80221

AMATO EMILY S
6709 RARITAN DR
DENVER CO 80221-2613

ADDISON NOLAN A AND
LINN ADDISON MARGARET M
1900 W 68TH AVE
DENVER CO 80221-2536

AN KEDONG
3010 N SPEER BLVD
DENVER CO 80211

ADDY BRENT AND
REEVES AMELIA
1798 W 66TH AVE
DENVER CO 80221

ANDERSON PETER L AND
ANDERSON THERESA ANN
6723 RARITAN DR
DENVER CO 80221-2613

AIR PURIFICATION COMPANY
1861 W 64TH LANE
DENVER CO 80221-2347

ANDREWS MARY LOU
6850 PECOS ST
DENVER CO 80221-7002

AJBT LLC
PO BOX 352125
WESTMINSTER CO 80035-2125

ANTHONY RYAN D AND
ANTHONY EKATERINA
1847 W 67TH AVE
DENVER CO 80221-2616

ALFARO ANTONIO AND
ALFARA CHARLENE C
6870 JORDAN DR
DENVER CO 80221

ARAGON FRANCES Y
6810 MORRISON DR
DENVER CO 80221-2511

ALKEMA KIA L AND
ALKEMA ROBERT D
2130 W 68TH AVE
DENVER CO 80221-2566

ARCHDIOCESE OF DENVER THE
OUR LADY OF VISITATION
1300 SOUTH STEELE STREET
DENVER CO 80210

ARFSTEN MARGARET A
1301 W 68TH AVE
DENVER CO 80221-7007

AXTELL WILLIAM
1531 W 66TH AVE
DENVER CO 80221

ARMSTRONG JENNIFER/GINGER AND
ADAMS GREG
6601 PECOS ST
DENVER CO 80221

BAKEMAN CHAD G AND
BAKEMAN LISA K
6707 ALAN DR
DENVER CO 80221-2502

ARROYO CAP II LLC
100 W BROADWAY STE 680
LONG BEACH CA 90802-4463

BALKEN BRANDIE AND
LEDUC LISA
6640 AVRUM DR
DENVER CO 80221

ARROYO CAP II LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

BALL-FOUR INC DBA
SOFTBALL COUNTRY
11338 W 74TH PL
ARVADA CO 80005-3520

ATHANAS NICOLE M AND
MILLER THEODORE H
2111 W 67TH PL
DENVER CO 80221-2627

BALLINA FELIPE A AND
MYHAVER KALLY L
1812 W 68TH AVE
DENVER CO 80221-2506

ATKINSON DAVID S AND
MOONEY SHANNON K
6778 LARSH DR
DENVER CO 80221-2568

BANUELOS MARIA
PO BOX 21144
DENVER CO 80221-0144

ATKINSON GARY C AND
ATKINSON WENDY L
4280 W 105TH PL
WESTMINSTER CO 80031-1908

BARNETT/BISTLINE LLC
6851 PECOS ST
DENVER CO 80221-7001

AUSSENBERG BEN
6787 MORRISON DR
DENVER CO 80221-2569

BARRAZA GUILLERMO
6881 AVRUM DR
DENVER CO 80221

AUSTIN CHRISTOPHER AND
BLUBAUGH LORI
2043 W 66TH AVE
DENVER CO 80221-2587

BARRETT GRAHAM AND
BARRETT TAYLOR
1875 W 66TH AVE
DENVER CO 80221

AVILA MANUEL BEDOLLA
6861 MORRISON DR
DENVER CO 80221-2510

BARRILLEAUX ANDREW M AND
REDCORN REBECCA M
1936 W 66TH AVE
DENVER CO 80221

BARRON MICHELLE AND
BARRON GREGORY
6710 MARIPOSA ST
DENVER CO 80221

BESA LLC
6742 LARSH DR
DENVER CO 80221-2568

BARRY STANLEY AND
BARRY LANN
6597 PECOS ST
DENVER CO 80221-2417

BESS MADELAINE K
6608 FERN DR
DENVER CO 80221-2645

BASE CHRISTOPHER
4545 CENTER BLV APT 206
LONG ISLAND CITY NY 11109

BEST BRANDON FREDERICK AND
BEST ELIZABETH ANN
1765 W 67TH PL
DENVER CO 80221

BEADLE PHILLIP AND
RECORD ALYSE
1786 E 66TH AVE
DENVER CO 80229-7434

BEVAN SEAN P AND
BOSAK MELISSA D
1385 W 66TH AVE
DENVER CO 80222

BEASLEY HUDSON AND
BEASLEY MARISSA
1794 W 67TH PL
DENVER CO 80221-2617

BEVILACQUA ROBERT
1795 W 67TH PL
DENVER CO 80221-2617

BEJARANO JOSHUA AND
BEJARANO PRISCILLA
2067 W 66TH AVE
DENVER CO 80221-2587

BHALLA AKASH AND
SHAH BANSI
6704 WARREN DR
DENVER CO 80221-2663

BELL ZACHARY D AND
BELL DANIELLE M
1991 W 67TH PL
DENVER CO 80221-2620

BHATT JANKEE H AND
BHATT HARSHAD N
2070 W 67TH PL
DENVER CO 80221-2624

BERGGREN CASEY R
1851 W 66TH AVE
DENVER CO 80221

BIEKER JOE AND
BIEKER ANTHONY
1840 W 66TH AVE
DENVER CO 80221

BERGMANN ANDREAS W AND
BOOG SANDRA
6714 ALAN DR
DENVER CO 80221

BIEKER JOE AND
BIEKER ANDREA J
2231 W 67TH DR
DENVER CO 80221-2634

BERNSTEIN ERIC M AND
BERNSTEIN LAUREN
6756 FERN DR
DENVER CO 80221-2659

BIEKER JOSEPH AND
BIEKER ANTHONY
1696 W 66TH AVE
DENVER CO 80221

BINGHAM LEIGH A AND
FORGHAM CHRISTOPHER J
1814 W 67TH AVE
DENVER CO 80221-2616

BOHN JAMES D AND BOHN MARTHA RENNE AND
HUFFMAN TINA MARIE AND BOHN JAMES JOSEPH
6831 FERN DR
DENVER CO 80221-2504

BIRD RONALD W
6820 WARREN DRIVE
DENVER CO 80221

BONILLA GUADALUPE
6871 RUTH WAY
DENVER CO 80221-2552

BLAKE SARAH
6739 RARITAN DR
DENVER CO 80221-2613

BONNER DANIEL J
1480 W 69TH AVE
DENVER CO 80221-7018

BLANCHARD BENJAMIN
1362 W 67TH AVE
DENVER CO 80221

BORST JOHN BARRONS
6737 LARSH DR
DENVER CO 80221-2568

BLANCO TYLER AND
BLANCO JACQUELINE
1407 W 66TH PL
DENVER CO 80221-2598

BOURQUE BASIL J AND
LARSON EMILY A
6743 AVRUM DR
DENVER CO 80221-2567

BLUME KYLE
6860 MARIPOSA ST
DENVER CO 80221-7027

BOWLBY TRAVIS M AND
STEELE BRETT
1360 W 68TH AVE
DENVER CO 80221

BOARD OF COUNTY COMMISSIONERS OF
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

BOX BOBBI J
1362 W 66TH PL
DENVER CO 80221-2593

BODDY MATTHEW P AND
BODDY TAMMY S
2300 FERN DR
DENVER CO 80221-2503

BPI WESTMINSTER LLC
2880 BRYANT ST
DENVER CO 80211-4223

BODNAR HILL AMBER DIANE AND
HILL ZACHARY MICHAEL
1914 W 67TH AVE
DENVER CO 80221-2619

BRANDENBURG MICHAEL P AND
BRANDENBURG RACHEL S
6767 MORRISON DR
DENVER CO 80221

BOGETVEIT NILS
1183 GAPTER RD
BOULDER CO 80303-1311

BRATTON BRIAN AND
BRATTON LINDSEY
6791 MORRISON DR
DENVER CO 80221

BRICK GARAGE LLC
1550 LARIMER ST UNIT 256
DENVER CO 80202-1643

BULLOCK SUSAN B
2160 W 67TH DR
DENVER CO 80221-2634

BRITTON LESLIE
6740 FERN DR
DENVER CO 80221

BULMAN WILLIAM J III AND
BULMAN CATHERINE M
6731 RARITAN DR
DENVER CO 80221-2613

BROOKS CALEB AND
MALDONADO DERRICK A
1415 W 66TH PL
DENVER CO 80221-2598

BURGNER CHRISTOPHER
6607 MORRISON DR
DENVER CO 80221-2660

BROWN REBECCA
1555 W 66TH AVE
DENVER CO 80221

BURMESTER HEATHER L AND
BURMESTER PAUL J
6765 LARSH DR
DENVER CO 80221-2568

BRUMLEVE HAROLD J AND
BRUMLEVE ERIN M
1902 W 67TH AVE
DENVER CO 80221

BUSTILLOS LUIS CARLOS AND
BUSTILLOS SANDRA
6871 OSAGE ST
DENVER CO 80221-7034

BRYANT HARRY A JR AND
BROWN ANN MARIAH
6871 MARIPOSA ST
DENVER CO 80221-7081

CALCATERRA RENEE AND
CALCATERRA CHRIS
2062 W 66TH AVE
DENVER CO 80221-2587

BRYANT PETER R
6760 MARIPOSA CT
DENVER CO 80221

CANGEMI THOMAS AND
CANGEMI JAIME
1979 W 66TH AVE
DENVER CO 80221

BUENO MARCIANO AND
BUENO NORMA
6821 ALAN DR
DENVER CO 80221-2520

CARAVEO EDUVIGES AND
CARAVEO JUANA
6830 MORRISON DR
DENVER CO 80221-2511

BUHRMEISTER LYNN P AND
BUHRMEISTER MARA A
6654 PECOS ST
DENVER CO 80221

CARDWELL KAREN E
6722 ALAN DR
DENVER CO 80221-2500

BULLOCK ETHAN H AND
MOELLER JENNIFER L
6654 AVRUM DR
DENVER CO 80221-2591

CARIDI MICHAEL F
6641 ALAN DR
DENVER CO 80221

CARITHERS BEVIN AND
MOE THOMAS J
1961 W 67TH PL
DENVER CO 80221-2620

CHANG YEN-CHEN AND
PUETT MICAH
1928 W 67TH PL
DENVER CO 80221-2620

CARLSON TRAVIS J AND
CARLSON JENNY R
2230 W 67TH PL
DENVER CO 80221-2638

CHARLAND KRISTIE L AND
FRY STEPHEN D
1408 W 67TH AVE
DENVER CO 80221

CARPENTER GINA C AND
CHERENZIA KEVIN P
2091 W 67TH PL
DENVER CO 80221-2624

CHAVEZ JAVIER
6871 WARREN DR
DENVER CO 80221-2583

CARREON JUVENAL
6820 FERN DR
DENVER CO 80221-2505

CHEPURNA LYUBOV
2021 W 67TH PL
DENVER CO 80221

CARROLL MARK J
4320 FOX ST
DENVER CO 80216-2643

CHILDS MICHAEL E AND
SINIK LENKA
6708 ALAN DR
DENVER CO 80221-2500

CARTWRIGHT BROOKE MICHELLE AND
CARTWRIGHT WESLEY THOMAS
1424 W 66TH PL
DENVER CO 80221-2598

CHRISTNER SCOTT W AND
CHRISTNER BRINDISI R
6621 MORRISON DR
DENVER CO 80221

CASCO ESPERANZA
6820 MORRISON DR
DENVER CO 80221-2511

CHUN JOSHUA H AND
CHUN ELEANOR M
1981 W 67TH PL
DENVER CO 80221-2620

CENTURY AT MIDTOWN LLC
8390 E CRESCENT PKWY STE 650
GREENWOOD VILLAGE CO 80111-2940

CHUNN REILLY AND
CHUNN LEE BRIAN
6777 MARIPOSA ST
DENVER CO 80221

CERRONE JOHN AND
CERRONE GAYLE ANNE
970 W 69TH AVE
DENVER CO 80221-7045

CHUONG KIKI K AND
LAU HENRY K
1772 W 68TH AVE
DENVER CO 20221

CHAE CHONG H
6797 MARIPOSA ST
DENVER CO 80221

CICHOSZ CRAIG R AND
CICHOSZ SUSAN R
1664 W 67TH AVE
DENVER CO 80221

CINCERA CHRISTOPHER J
6633 AVRUM DR
DENVER CO 80221

COLVIN MARK
6640 MARIPOSA CT
DENVER CO 80221

CLANTON JERALD KEITH
6783 MORRISON DR
DENVER CO 80221

COMPTON RYAN AND
COMPTON GENEVIEVE
1938 W 67TH AVE
DENVER CO 80221-2619

CLARK BRYCE W AND
CLARK MIRANDA S
2163 W 67TH PL
DENVER CO 80221-2627

CONNELLY LUCINDA L
6604 FERN DR
DENVER CO 80221-2645

CLARK STEPHEN B AND
CLARK BETSY B
6671 WARREN DR
DENVER CO 80221-2662

COOK SHELLEY
1898 W 66TH AVE
DENVER CO 80221

CLARK STEPHEN BRUCE AND
CAVIGLIA ELLEN
1764 W 67TH AVE
DENVER CO 80221-2609

COOPER CHRISTOPHER
6602 FERN DR
DENVER CO 80221-2645

CLARKE JAMES S
1913 W 67TH AVE
DENVER CO 80221-2619

COOPER STEPHANIE AND
COOPER ZACHARY
6871 ALAN DR
DENVER CO 80221-2520

CLEAR CREEK STATION METROPOLITAN
DISTRICT NO 1 C/O WHITE BEAR & ANKELE
2154 E COMMONS AVE STE 2000
LITTLETON CO 80122-1880

COOVER TIFFANY R
6651 OSAGE ST
DENVER CO 80221-2673

CODER LISA JOAN AND
CODER DAVID MARTIN
6762 ALAN DR
DENVER CO 80221-2500

COPELAND RANDALL W AND
COPELAND KRISTA PACE
2031 W 66TH AVE
DENVER CO 80221-2587

COLB MARCI A AND
COLB MICHAEL A
6642 LARSH DR
DENVER CO 80221

CORDOVA ANTHONY A AND
CORDOVA PATSY K
1020 W 68TH CT
DENVER CO 80221-7054

COLORADO AGRICULTURAL DITCH
COMPANY THE
PO BOX 1072
EASTLAKE CO 80614-1072

CORDOVA CRISTOBAL AND
CORDOVA MARY LEE
2490 W 65TH PL
DENVER CO 80221-2222

CORDOVA LUZ M
6841 WARREN DR
DENVER CO 80221-2583

CRUET KATIANA
1932 W 66TH AVE
DENVER CO 80221-2586

CORDOVA MARIA S
7027 OTIS ST
ARVADA CO 80003-3601

CUNNINGHAM DANIELLE M
1896 W 68TH AVE
DENVER CO 80221-2506

CORNEJO JOSHUA J AND
CORNEJO COLE
6622 MORRISON DR
DENVER CO 80221-2660

CYTRYN ZACHARY E AND
FELSTEIN SUZANNE
6599 PECOS ST
DENVER CO 80221-2417

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

DABIT LINDA N UND 70% INT AND
DABIT TONY NICOLA UND 30% INT
2070 W 66TH AVE
DENVER CO 80221-2587

COVINGTON BENNIE S III AND
COVINGTON KRYSTAL N
6618 OSAGE ST
DENVER CO 80221-2673

DALY DYLAN J
6881 FERN DR
DENVER CO 80221-2504

CREAMEAN JESSIE MARIE AND
PROLA NICHOLAS JAMES
6781 MARIPOSA ST
DENVER CO 80221

DALY MATTHEW T AND
DALY JOANIE K
2166 W 67TH PL
DENVER CO 80221-2627

CROCKETT CLINTON C AND
CROCKETT CAROLYN
1449 W 66TH PL
DENVER CO 80221

DARBY BRUCE TRUST THE
C/O LINDA W NELSON
1276 CORONA ST APT B4
DENVER CO 80218-2013

CRONEY GILLARD
6850 FERN DR
DENVER CO 80221-2505

DARHUMB KINYA AND
DARHUMB ALISON
1682 E 66TH AVE
DENVER CO 80229-7432

CROSS JUANITA A AND
CROSS MICHAEL L
6861 FERN DR
DENVER CO 80221-2504

DAUW JACQUELINE P
1416 W 67TH AVE
DENVER CO 80221

CROWDER DANIEL E AND
CROWDER DEBORAH K
906 WEST 69TH AVENUE
DENVER CO 80221

DAVIDSON DEE ELLEN (LIFE ESTATE)
6800 NAVAJO ST
DENVER CO 80221-7031

DAVIS DANIEL
6870 AVRUM DR
DENVER CO 80221-2529

DIGBY FAMILY LLLP
1400 W 64TH AVE
DENVER CO 80221

DAWISKIBA SEBASTIAN AND
SIROHI MICHAEL
1706 E 66TH AVE
DENVER CO 80229-7434

DITIRRO PHILLIP A
6785 MARIPOSA ST
DENVER CO 80221

DE JULIO MARK N
6881 LARSH DR
DENVER CO 80221-2538

DOAN DAN B AND
HO LIEU T
11377 RANCH RESERVE PKWY
DENVER CO 80234-2675

DEAN MAILING EQUIPMENT/SERVICES
INCORPORATED
1231 W 68TH AVE
DENVER CO 80221-7005

DOCKERY ADAM
2033 W 67TH PL
DENVER CO 80221

DECHANT GARY M AND
DECHANT JOYCE L
6860 OSAGE ST
DENVER CO 80221-7035

DOLQUIST SUE A AND
DOLQUIST DANIEL M
1995 W 67TH PL
DENVER CO 80221-2620

DEJONGH ANGELA MARIE
2170 W 67TH AVE
DENVER CO 80221

DOYLE JOHN A
6690 WARREN DR
DENVER CO 80221-2662

DERP SAMUEL J AND
SAVAGE JEREMY D
1912 W 68TH AVE
DENVER CO 80221

DST PROPERTIES LLC
1921 W 64TH LANE
DENVER CO 80221

DETWEILER WILLIAM R AND
BERLS KIMBERLY A
6739 MORRISON DR
DENVER CO 80221

DUBINKINA ALEXANDRIA S
1996 W 66TH AVE
DENVER CO 80221-2586

DEVEREAUX ALEC B
2100 W 68TH AVE
DENVER CO 80221-2566

DUNHAM GREGORY H AND
DUNHAM LAUREN E
1801 W 67TH PL
DENVER CO 80221-2612

DEWEY CHARLES R AND
DEWEY AMY B/CAITLIN A
1919 W 66TH AVE
DENVER CO 80221

DURAN RACHEL L
6850 AVRUM DR
DENVER CO 80221-2529

DVERGSDAL STACY M AND
MAURER QUINTON T
6712 WARREN DR
DENVER CO 80221-2663

ESPINOZA SERGIO AND
ESPINOZA IRMA
6810 RUTH WAY
DENVER CO 80221

DYE CHRISTOPHER AND
DYE DEIRDRA
1836 W 67TH PL
DENVER CO 80221-2612

ESTRADA ANTHONY M AND ESTRADA DENIESE L
6880 WARREN DR
DENVER CO 80221-2584

EDWARDS ANDY H
1792 W 66TH AVE
DENVER CO 80221

EVANOFF ROXANNE AND
EVANOFF DANIEL J
6762 LARSH DR
DENVER CO 80221

ELDER SANDRA K
2133 W 67TH PL
DENVER CO 80221-2627

FABI LISA A
1755 W 67TH AVE
DENVER CO 80221-2609

ELDREDGE BRUCE AND
ELDREDGE KRYSTAL
2035 W 66TH PL
DENVER CO 80221-2588

FALOR RYAN A AND
MCENULTY TESS R
1860 W 68TH AVE
DENVER CO 80221-2506

ENCINIAS ANTONIO
6860 AVRUM DR
DENVER CO 80221-2529

FANG MIN
1554 W 67TH AVE
DENVER CO 80221-2670

EPSTEIN JENNIFER A AND
EPSTEIN RYAN J
6630 AVRUM DR
DENVER CO 80221

FEAR BRIDGETT L
6855 SANTA FE DR
DENVER CO 80221-7059

ESCOBEDO RAUL AND
ESCOBEDO DORA E
6801 LARSH DR
DENVER CO 80221-2538

FENDER PELL AND
FENDER PEGGY D
2101 W 67TH PL
DENVER CO 80221-2627

ESPARZA MANUEL J AND
ESPARZA ELMA P
6800 LARSH DR
DENVER CO 80221-2539

FERGUSON LOIS J
2461 W 65TH PL
DENVER CO 80221-2223

ESPERANZA HOLDING COMPANY LLC
1218 KALAMATH ST
DENVER CO 80204-3540

FERGUSON NICHOLAS A AND
JOHNSON TYLER T
6793 LARSH DR
DENVER CO 80221-2568

FERRARA JEFFREY DANIEL AND
FERRARA ALYSSA MARIE
1813 W 67TH PL
DENVER CO 80221-2612

FONTES KATHLEEN S
6870 LARSH DR
DENVER CO 80221-2539

FIERRO COLEEN B AND
ELMI REZA
1845 W 67TH PL
DENVER CO 80221-2612

FOY PHIL AND
ELLIS ERICA
1325 W 67TH AVE
DENVER CO 80221

FISCHER WINDY D AND
CHERENZIA ROBERT J
2110 W 68TH AVE
DENVER CO 80221-2566

FRASER GENEVIEVE AND
FRASER GARY
1658 W 66TH AVE
DENVER CO 80221

FISHER A AUSTIN AND
FISHER RAVAN
6741 LARSH DR
DENVER CO 80221

FRAZIER SARAH AND
FRAZIER MICHAEL
6606 MORRISON DR
DENVER CO 80221-2660

FISHER AMY AND
FISHER DAMON
1401 W 66TH PL
DENVER CO 80221-2598

FRAZIER WILLIAM T AND
FRAZIER ALEXANDRA M
6756 LARSH DR
DENVER CO 80221-2568

FISHER THOMAS C
6870 WARREN DR
DENVER CO 80221-2584

FREDIN KYLE D AND
GILL ERIC A
6643 AVRUM DR
DENVER CO 80221-2591

FITZJARRALD AMANDA K AND
FITZJARRALD ANITA K
1726 W 66TH AVE
DENVER CO 80221

FREDRICK CHRISTY AND
SHORES CARRIE
1393 E 66TH AVE
DENVER CO 80229-7222

FITZPATRICK JAMES STUART AND
FITZPATRICK PATRICIA LORETTA
6896 LARSH DRIVE
DENVER CO 80221

FREDRICKY CATHERINE E AND
FREDRICKY ANDREW R
1350 W 68TH AVE
DENVER CO 80221

FLYNN THOMAS
1746 W 67TH PL
DENVER CO 80221

FRIGO MICHAEL A AND
PASCARELLA STEPHANIE N
6660 PECOS ST
DENVER CO 80221

FLYNN TIMOTHY E AND
FLYNN TRICIA A
6821 MARIPOSA ST
DENVER CO 80221-7026

FROLA COURTNEY LYNN
2022 W 66TH AVE
DENVER CO 80221-2587

FRUGE ANDREW
2075 W 66TH AVE
DENVER CO 80221-2587

GALLEGOS JOE A
6831 NAVAJO ST
DENVER CO 80221-7030

FUENTES AMANDA J
6609 MORRISON DR
DENVER CO 80221-2660

GARCIA JOHNNY
6801 JORDAN DR
DENVER CO 80221

FULLMER LORI J
1950 W 67TH AVE
DENVER CO 80221-2619

GARCIA JOSE
6821 JORDAN DR
DENVER CO 80221-2508

FULTON THOMAS
6668 OSAGE ST
DENVER CO 80221-2673

GARCIA KIMBERLY S AND
GARCIA GILBERT ROMAN
1848 W 68TH AVE
DENVER CO 80221-2506

GALBAN JOSEPH E
6760 FERN DR
DENVER CO 80221-2659

GARCIA MANUEL
6840 SANTA FE DR
DENVER CO 80221

GALLAGHER ANNE M AND
SEMPLE LARURA E
6655 MARIPOSA CT
DENVER CO 80221

GARCIA MOYA VICTOR AND
GARCIA ARMIDA L
6880 FERN DR
DENVER CO 80221-2505

GALLAGHER HALL LA RAE
43115 MOORE CIR
BERMUDA DUNES CA 92203-3501

GARCIA PORTIA L AND
GARCIA DANIEL A
2480 W 65TH PL
DENVER CO 80221-2222

GALLEGO JESUS AND
PAYNE JENNIFER
6650 FERN DR
DENVER CO 80221-2645

GASQUET FEDERICO AND
BREWER BRIANNE
6670 MORRISON DR
DENVER CO 80221-2660

GALLEGOS ACEVEDO TOMAS AND
GALLEGOS A RUBEN C
6861 JORDAN DR
DENVER CO 80221-2508

GEGARE FREEMAN J JR REVOCABLE TRUST
2055 W 66TH AVE
DENVER CO 80221-2587

GALLEGOS JESSICA AND
DEHERRERA ROMAN
6821 WARREN DR
DENVER CO 80221-2583

GEORGE KYLE T AND
GEORGE CALLIE K
1824 E 68TH AVE APT W
DENVER CO 80229-7332

GHERARDI ALESSANDRO AND
GHERARDI ELIZABETH C
6768 FERN DR
DENVER CO 80221-2659

GOLDMAN MICHAEL J AND
GOLDMAN JAMIE D
6771 LARSH DR
DENVER CO 80221-2568

GIERSCH MEREDITH
1345 W 67TH AVE
DENVER CO 80221

GOMEZ GABINO
2505 W 65TH AVE
DENVER CO 80221-2339

GILLETTE NICHOLAS R AND
GILLETTE CATHERINE J
2184 W 67TH PL
DENVER CO 80221-2627

GONNERMAN LACHRISHA
1886 W 66TH AVE
DENVER CO 80221

GILMER MATTHEW/BRIDGETTE TRUST THE
6752 WARREN DR
DENVER CO 80221-2663

GONZALES BILLY P AND
GONZALES FLORA I
10027 FRANKLIN ST
THORNTON CO 80229

GINGRAS TIMOTHY J
6691 WARREN DR
DENVER CO 80221-2662

GONZALES BILLY P AND
GONZALES FLORA I
10027 FRANKLIN ST
DENVER CO 80229-3953

GLASSMAKER TODD
1872 W 68TH AVE
DENVER CO 80221

GONZALES SHANTEL DOMINIQUE
1441 W 66TH AVE
DENVER CO 80221-2598

GODOY RUBI FELIX
6861 LARSH DR
DENVER CO 80221-2538

GONZALEZ RAFAEL AND
TAGUE SUSAN E
1468 E 66TH AVE
DENVER CO 80229-7242

GOERGEN JORDAN A AND
GOERGEN NATHAN J
1377 W 66TH PL
DENVER CO 80221-2593

GOODWIN THOMAS L AND
GOODWIN DEANNA B
1370 W 68TH AVE
DENVER CO 80221

GOLDBLUM BARBARA
1433 W 66TH PL
DENVER CO 80221

GOSZ BENJAMIN
1407 W 66TH PL
DENVER CO 80221-2598

GOLDHIRSH KELLY ANNE
2069 W 67TH PL
DENVER CO 80221

GRAHAM JANET M AND
GFAHAM MICHAEL D
1783 W 67TH PL
DENVER CO 80221-2617

GRANDT DAVID M AND
GRANDT LOIS ANN
6890 NAVAJO ST
DENVER CO 80221-7031

GUTIERREZ MONICA
6801 FERN DR
DENVER CO 80221-2504

GRAYEK GARY BERNARD JR
6647 WARREN DR
DENVER CO 80221-2662

GUTIERREZ MONICA
6840 JORDAN DR
DENVER CO 80221-2509

GREEN LAWRENCE H AND
GREEN VELVA J
6880 MORRISON DR
DENVER CO 80221-2511

GUTIERREZ SHAWN M
6895 NAVAJO ST
DENVER CO 80221-7030

GREENGRASS JAMES AND
LACROIX JONATHAN
1734 W 66TH AVE
DENVER CO 80221

GWYN RACHEL AND
CARLTON GRANT
6791 MARIPOSA ST
DENVER CO 80221

GREGORY DOUGLAS R
1991 E 66TH AVE APT W
DENVER CO 80229-7423

H BRASHIER MANAGEMENT LLC
PO BOX 81189
LAFAYETTE LA 70598-1189

GROSE MICHAEL G AND
GROSE STEPHANIE I
2131 W 67TH PL
DENVER CO 80221-2627

HAASE RICHARD
6631 MARIPOSA CT
DENVER CO 80221-2158

GUERRA MISAEL
6860 MORRISON DR
DENVER CO 80221-2511

HABER JAMI AND
GREER JOSEPH
6758 WARREN DR
DENVER CO 80221-2663

GUIDO ANDREW J AND
GUIDO LAWRENCE P AND GUIDO CATHERINE
6603 MORRISON DR
DENVER CO 80221-2660

HAGER JARROD M
6730 FERN DR
DENVER CO 80221

GURULE JOAQUIN J
6870 FERN DR
DENVER CO 80221-2505

HAGERMAN ERIN E
1354 W 67TH AVE
DENVER CO 80221

GUTIERREZ ARTURO AND
MENDOZA SILVIA
6880 AVRUM DR
DENVER CO 80221-2529

HAJJAJ IBRAHIM S AL HAJJAJ
1764 W 67TH PL
DENVER CO 80221-2617

HALL DIANA AND
HALL RICHARD M
6661 OSAGE ST
DENVER CO 80221

HARMON LUCAS J AND
THOMAS YVONNE D
1385 W 66TH PL
DENVER CO 80221-2593

HALL TIMOTHY J AND
HALL ALLISON M
6748 LARSH DR
DENVER CO 80221-2568

HARO JOSE AND
HARO MARIA DOLORES
6870 OSAGE ST
DENVER CO 80221-7035

HAMANN JOSHUA PHILLIP
6775 MORRISON DR
DENVER CO 80221-2569

HARP KELLEY W AND
HARP VICTORIA H
6735 AVRUM DR
DENVER CO 80221-2567

HAMMOND-CLARK FAMILY TRUST THE
1971 W 67TH PL
DENVER CO 80221-2620

HARPER SYDNEY B UND 39% INT AND
HARPER BERRET UND 39% INT AND BLEAKLY DO
6771 RARITAN DR
DENVER CO 80221-2613

HAMPEL BRENDA A
1870 W 67TH AVE
DENVER CO 80221-2616

HARRIS CHAD M AND
HEMINGWAY TAYLOR L
2200 W 67TH PL
DENVER CO 80221

HAND DANIEL AND
HAND ELISSA
6764 FERN DR
DENVER CO 80221-2659

HART ANDREW AND
HART MEAGHAN O
1904 W 67TH PL
DENVER CO 80221-2620

HANNON BRENNAN AND
STIMSON SCOTT
1984 W 67TH PL
DENVER CO 80221

HATFIELD HAYLEY C
1834 W 66TH AVE
DENVER CO 80221

HANSEN PHILLIP C
6820 OSAGE ST
DENVER CO 80221

HAUS KYLE VIRGIL AND
HANNAM KATIE CHRISTINA
1361 W 66TH PL
DENVER CO 80221-2593

HANSON ALEX AND
HANSON JESSICA
2143 W 67TH PL
DENVER CO 80221-2627

HELLMAN STEPHANIE S
6758 AVRUM DR
DENVER CO 80221-2567

HARDIN-KREMHELLER JESSICA AND
KREMHELLER RYAN
1401 W 66TH PL
DENVER CO 80221-2598

HENDRICKS BARRETT A
6811 MORRISON DR
DENVER CO 80221-2510

HENLEY GINA L AND
HENLEY ANDREW J
2151 W 67TH PL
DENVER CO 80221-2627

HINCHMAN JULIE
6605 MORRISON DR
DENVER CO 80221-2660

HERNANDEZ ADOLFO
6801 MORRISON DR
DENVER CO 80221-2510

HO BERT
1954 W 66TH AVE
DENVER CO 80221

HERNANDEZ OSCAR MUNOZ
1420 SWAN AVE
BRIGHTON CO 80601-4344

HOELSCHER SHEILA AND
HOELSCHER ANDREW
1796 W 68TH AVE
DENVER CO 80221-2521

HERNANDEZ RAQUEL PAULINE AND
HERNANDEZ CHAPARRO EVER
6811 ALAN DR
DENVER CO 80221-2520

HOLCOMB MARGO JEAN
6830 WARREN DR
DENVER CO 80221

HERONEMA RAYMOND AND
HERONEMA MARY ANN DORTHEA
2310 FERN DR
DENVER CO 80221-2503

HOLGUIN CHRISTOPHER AND
HOLGUIN ANA
2167 W 67TH DR
DENVER CO 80221

HERRERA RICHARD AND
SANCHEZ LIZZETTE A
6620 FERN DR
DENVER CO 80221

HOLLAND MICHAEL SCOTT
6690 FERN DR
DENVER CO 80221

HIESTAND JAMES C
6890 LARSH DR
DENVER CO 80221-2539

HOLLY THOMAS AND
TALSMA JAMES
6645 MARIPOSA ST
DENVER CO 80221

HILL ALAN G
2017 W 67TH PL
DENVER CO 80221

HOLTGREWE NATALIE C AND
HOLTGREWE TODD P
1365 W 67TH PL
DENVER CO 80221

HILL BRADY J
6604 MORRISON DR
DENVER CO 80221-2660

HOUGH G LYNN AND
HOUGH TRACEY O HANLON
1857 W 67TH PL
DENVER CO 80221-2612

HILL MATTHEW J
6793 RARITAN DR
DENVER CO 80221-2613

HOUSING AUTHORITY OF THE COUNTY OF ADAMS
7190 COLORADO BLVD
COMMERCE CITY CO 80022

HOWELL JAMES T AND
CLARK MCKAYLA C
6786 LARSH DR
DENVER CO 80221-2568

JACYSZYN ALANE M AND
BEVANS CHRISTOPHER THOMAS
1965 W 67TH PL
DENVER CO 80221-2620

HSB ENTERPRISES LLC
8452 ZEPHYR ST
ARVADA CO 80005

JANSEN LAURA
1815 W 66TH AVE
DENVER CO 80221-2585

HUMBLE SARAH ELAINE IRREVOCABLE TRUST
6611 WARREN DR
DENVER CO 80221

JARAMILLO CLARENCE EYARL AND
JARAMILLO ELVA R
7608 W 106TH AVE
BROOMFIELD CO 80021-3910

HUNER RICHARAD R AND
HUNER CYNTHIA C
111 CHANCERY CT
AUSTIN TX 78737-4582

JENKINS VIRGINIA LEE
6840 WARREN DR
DENVER CO 80221-2584

HUNTER MATTHEW B AND
HUNTER LAUREN E
1580 W 67TH AVE
DENVER CO 80221-2670

JESSER RENEE D
2041 W 67TH PL
DENVER CO 80221

HURTADO ALFRED
6820 SANTA FE DR
DENVER CO 80221-7060

JETT CULLEN
1828 W 66TH AVE
DENVER CO 80224

HUSTON JEFFREY C AND
HUSTON AMANDA
6721 WARREN DR
DENVER CO 80221-2663

JEWELL BRIAN L
PO BOX 6056
DILLON CO 80435-6056

HYDE KATHLEEN M
6737 ALAN DR
DENVER CO 80221-2502

JIMENEZ WEHKING DAWN
1434 E 66TH AVE
DENVER CO 80229-7242

INFINITY HOME COLLECTION AT MIDTOWN LLC
7400 E CRESTLINE CIR STE 125
GREENWOOD VILLAGE CO 80111-3654

JOHNSON BRETT AND
JOHNSON KENDRA M
6728 WARREN DR
DENVER CO 80221-2663

JACKSON JULIA A AND
JACKSON BRIAN T
6746 ALAN DR
DENVER CO 80221

JOHNSON CLIFFORD D AND
JOHNSON KAREN L
6734 LARSH DR
DENVER CO 80221-2568

JOHNSON JUDITH ANN AND
JOHNSON LARRY R
11041 KENDALL WAY
WESTMINSTER CO 80020-3150

JUBY TANNER/CURTIS AND
JUBY TRACIE A
6801 ALAN DR
DENVER CO 80221-2520

JOHNSON MONICA LYNN AND
JOHNSON MICHAEL KEITH
1929 W 67TH PL
DENVER CO 80221-2620

KADIRI LEELA KRISHNA
6644 PECOS ST
DENVER CO 80221

JOHNSON ROBERT AND
JOHNSON CHERYL
1001 CORTEZ ST
DENVER CO 80221-3572

KANA MATTHEW
2100 W 67TH PL
DENVER CO 80221-2627

JOHNSON SARAH L
6651 MORRISON DR
DENVER CO 80221

KANG SEON YOUNG CATHY
2073 W 67TH PL
DENVER CO 80221

JONES SHAUN MICHAEL AND
JONES ERIN KATHLEEN
6841 NAVAJO ST
DENVER CO 80221-7030

KAPLAN MICHAEL DANIEL AND
KAPLAN TRACEY
1952 W 67TH PL
DENVER CO 80221-2620

JONES TOMMY CURTIS II
1440 W 66TH PL
DENVER CO 80221-2598

KARWOSKI CHRISTOPHER AND
KARWOSKI HEIDI
6729 ALAN DR
DENVER CO 80221-2502

JORGENSEN COMPANIES LIMITED LLC
11037 CLAY DR
WESTMINSTER CO 80234-4695

KATZ JOSHUA L
6759 MORRISON DR
DENVER CO 80221-2569

JORGENSEN JEFF AND
JORGENSEN BETH
6619 MARIPOSA CT
DENVER CO 80221

KAY DANA AND
KAY IAN
1974 W 67TH PL
DENVER CO 80221-2620

JOWERS RONALD F
2520 W 65TH PL
DENVER CO 80221

KAY DONALD AND
KAY SHIRLEY J
6820 RUTH WAY
DENVER CO 80221-2553

JOY MATTHEW C
6771 MORRISON DR
DENVER CO 80221-2569

KAYLOR RACHEL AND
POPP JEFFREY
6682 OSAGE ST
DENVER CO 80221-2673

KCF PROPERTIES LLC
6476 S MARION PL
CENTENNIAL CO 80121-2557

KING HOWARD G/REED GARY/HOEFFNER RENE L
TRUSTEES/CHURCH OF GOD OF PROPHECY
1020 W 69TH AVE
DENVER CO 80221

KEKAKE HALE LLC
ATTN HALEY AND COMPANY
230 S HOLLAND STREET
LAKEWOOD CO 80226

KING WAYNE D
6820 NAVAJO ST
DENVER CO 80221-7031

KELLY PAIGE AND
KELLY PATRICK
6754 ALAN DR
DENVER CO 80221

KIRCHBERG KEITH J AND
KIRCHBERG MIRINDA
6606 FERN DR
DENVER CO 80221-2645

KERN TREY D III AND
KERN MARYSUSAN
6777 LARSH DR
DENVER CO 80221-2568

KISLUKHIN ALEXANDER
2064 W 66TH AVE
DENVER CO 80221-2587

KIFER MEGAN A
6821 NAVAJO ST
DENVER CO 80221-7030

KITCHINGS ALAN B AND
KITCHINGS ERICA L
2150 W 67TH PL
DENVER CO 80221-2627

KILLEN MICHAEL
6750 AVRUM DR
DENVER CO 80221-2567

KJELLEN ALEX AND KJELLEN JACLYN AND
ROSANIA JOSEPH G JR
1416 W 66TH PL
DENVER CO 80221-2598

KILPATRICK KATHERYN J
2215 W 67TH DR
DENVER CO 80221-2634

KLEEMANN MICHAEL E
3297 S OSCEOLA ST
DENVER CO 80236

KIM DANIEL E
6660 FERN DR
DENVER CO 80221

KNIGHT PATRICK E AND
KULKARNI ADITI K
1990 W 67TH PL
DENVER CO 80221-2620

KIM LESLIE AND
KIM CHONG J
2066 W 66TH AVE
DENVER CO 80221-2587

KOCZARA RANDALL W AND
KOCZARA MAJKEN
6720 MORRISON DR
DENVER CO 80221-2661

KINCHIN CHRISTOPHER
1338 W 67TH PL
DENVER CO 80221

KOEDEL KELLIE G REVOCABLE LIVING TRUST
6606 OSAGE ST
DENVER CO 80221-2673

KOEHLER LINDSEY B AND
MOORE MATTHEW J
1312 W 67TH PL
DENVER CO 80221

KULHAWICK AARON J
6880 RUTH WAY
DENVER CO 80221-2553

KOLESAR MATTHEW
1825 W 67TH PL
DENVER CO 80221-2612

L AND H LLC
6899 PECOS ST UNIT C
DENVER CO 80221

KOLIN DAVID
6611 MORRISON DR
DENVER CO 80221

LABRIOLA KRISTI
6801 RUTH WAY
DENVER CO 80221-2552

KOLLMORGEN MATTHEW W AND
KOLLMORGEN DAWN G
1948 W 66TH AVE
DENVER CO 80221

LANDERS BRITTNEY
6720 WARREN DR
DENVER CO 80221-2663

KRAEFT JESSICA J AND
DANDEO JASON
1756 W 67TH AVE
DENVER CO 80221-2609

LANG HEIDI GANSER AND
LANG TIMOTHY DANIEL
1784 W 68TH AVE
DENVER CO 80221-2521

KROGH JOSHUA B
6744 AVRUM DR
DENVER CO 80221-2567

LANSINGER PAMELA A
1432 W 66TH PL
DENVER CO 80221-2598

KRUK ERICA MARIE AND
KRUK ROBERT MARK
1869 W 67TH AVE
DENVER CO 80221-2616

LARAWAY NOAH J AND
LARAWAY KATHLYN A
6710 LARSH DR
DENVER CO 80221-2568

KRUPCZAK LINDSEY AND
KRUPCZAK COLIN M
1361 W 67TH PL
DENVER CO 80221

LAWYER LUKE
1355 W 67TH PL
DENVER CO 80221

KRUSE MATTHEW W AND
KRUSE EVA
1856 W 67TH PL
DENVER CO 80221-2612

LAX MICHAEL J AND
LAX ERICA A
1933 W 66TH AVE
DENVER CO 80221

KUGE ANN S
1570 W 67TH AVE
DENVER CO 80221-2670

LEE RHETT
1822 W 66TH AVE
DENVER CO 80221

LEE TIMOTHY K AND
LEE HEATHER METIVIER
6763 RARITAN DR
DENVER CO 80221-2613

LINGENFELTER JOSHUA C AND
SPEER CHELSEA M
6700 FERN DR
DENVER CO 80221-2659

LEECH JOHN R
10121 SW CYPRESS WOOD CT
PORT SAINT LUCIE FL 34987-2843

LIU SHARON T
1676 W 67TH AVE
DENVER CO 80221-2610

LEMBKE WILLIAM R
1924 W 68TH AVE
DENVER CO 80221-2536

LOHMAN KELLEREY AND
BUSCHENFELDT MARK
1949 W 67TH AVE
DENVER CO 80221-2619

LEMME JUSTIN DAVID AND
LEMME MISA
6770 LARSH DR
DENVER CO 80221-2568

LOKER KRISTEN AND
PERRY LUKAS
1393 W 66TH PL
DENVER CO 80221-2593

LEMUS GILBERTO
11593 HUDSON ST
THORNTON CO 80233-5849

LOPER TERESA M AND KARKI LUCIA B AND
CARRINGTON BRENDA A
14050 SHANNON DR
BROOMFIELD CO 80023-4248

LESHEM ELAD AND
LESHEM SHIRLEY
18842 E DORADO PL
AURORA CO 80015-5123

LOPEZ DEBRA ANN
6810 WARREN DR
DENVER CO 80221-2584

LEWIS KRISTA
6603 WARREN DR
DENVER CO 80221-2662

LOPEZ EMILIZIAN
6820 JORDAN DR
DENVER CO 80221-2509

LICATA JOHN
6851 MORRISON DR
DENVER CO 80221-2510

LOPEZ PETE AND
LOPEZ ELEANOR J
6851 RUTH WAY
DENVER CO 80221-2552

LIGGETT JOSEPH T AND
LIGGETT MARIE E
1975 W 67TH PL
DENVER CO 80221-2620

LOR NHIA X AND
LOR CHOR
6810 JORDAN DR
DENVER CO 80221-2509

LINAN CARMEN AND
LINAN BALAM
6860 FERN DR
DENVER CO 80221-2505

LORBIECKI FAMILY TRUST THE
6821 MORRISON DR
DENVER CO 80221-2510

LOVE ROBERT L AND
WOLAK MATTHEW J
6763 MORRISON DR
DENVER CO 80221

MACHINAL LOIS JUNE AND
MACHINAL DARLENE
801 W 70TH PLACE
DENVER CO 80221

LOWER CLEAR CREEK DITCH CO AND
COLO AGRICULTURAL DITCH CO
PO BOX 1072
EASTLAKE CO 80614-1072

MACON JOSHUA T
1934 W 67TH PL
DENVER CO 80221-2620

LUCERO LEWIS JR AND
SENA JAMIE E
6870 MORRISON DRIVE
DENVER CO 80221

MADRIL MATTHEW C AND
MADRIL JENNIFER A
6890 RUTH WAY
DENVER CO 80221-2553

LUEDERS SARA MARIE AND
BALZER JOEL MICHAEL
1941 W 66TH AVE
DENVER CO 80221-2586

MAENIUS JUSTIN ROSS
6753 ALAN DR
DENVER CO 80221-2502

LUNA JUAN AND
LUNA ROSALBA
1401 W 68TH AVE
DENVER CO 80221-7009

MAGENIS THOMAS D AND
MAGENIS JENNIFER L
1530 W 67TH AVE
DENVER CO 80221-2670

LUND GORDON J AND
LUND JUDITH Y
218 TATUM CT
MANITOWOC WI 54220-1968

MARQUEZ COLIN AND
ROMERO DENISE
1763 W 67TH AVE
DENVER CO 80221-2609

LUNDY TIEL
6766 FERN DR
DENVER CO 80221-2659

MARQUEZ RICHARD D AND
MARQUEZ SHARON V
7665 IRVING STREET
WESTMINSTER CO 80030

LUSSIER MICHAEL R
2090 W 67TH PL
DENVER CO 80221-2624

MARSTON EVANGELINE C
6850 MORRISON DR
DENVER CO 80221-2511

LUTTRALL MARK E AND
LUTTRALL DEBBIE
6861 RUTH WAY
DENVER CO 80221-2552

MARTIN KENNETH A/LORRAINE P AND
MARTIN KELSEY R
2038 W 66TH AVE
DENVER CO 80221

MACHA DENNIS AND
MACHA MARSHA
1408 W 66TH PL
DENVER CO 80221-2598

MARTIN MARIETTA MATERIALS INC
10170 CHURCH RANCH WAY UNIT 201
BROOMFIELD CO 80021-6068

MARTINEZ ADAM P ET AL
8305 ELATI ST
DENVER CO 80221-4479

MC BRIDE MATHEW L AND
MC BRIDE M STACIA
6851 FERN DR
DENVER CO 80221

MARTINEZ DEBRA J
1884 W 68TH AVE
DENVER CO 80221-2506

MC BRIDE RICHARD CARLTON
6870 RUTH WAY
DENVER CO 80221-2553

MARTINEZ ENRIQUE P AND
MARTINEZ LIN
6648 MORRISON DR
DENVER CO 80221-2660

MC CARTHY BRENDEN J
1910 W 66TH AVE
DENVER CO 80221-2586

MARTINEZ GINA L
6851 ALAN DR
DENVER CO 80221-2520

MC DORMAN COURTNEY AND
MC DORMAN KENNETH
6789 LARSH DR
DENVER CO 80221-2568

MARTINEZ REYNALDO
6840 MORRISON DR
DENVER CO 80221-2511

MCALLISTER VIRGINIA A
2001 W 67TH PL
DENVER CO 80221-2624

MARTINEZ RICHARD AND
MARTINEZ DEBRA
6871 JORDAN DR
DENVER CO 80221-2508

MCGINNIS GREGORY T
2151 W 67TH DR
DENVER CO 80221-2634

MARTORANA MATTHEW AND
MARTORANA ASHLEY
6631 ALAN DR
DENVER CO 80221-2590

MEASTAS STEVE AND
MEASTAS LESLIE L
6800 MARIPOSA ST
DENVER CO 80221

MASCARENAS JOEY A AND
MASCARENAS SIMONITA
6880 NAVAJO ST
DENVER CO 80221-7031

MEDINA BUFFY ANN
6890 MORRISON DR
DENVER CO 80221-2511

MASON ANDREW T AND
RIQUELME NATALIE R
6660 MORRISON DR
DENVER CO 80221-2660

MELGOZA ROLANDO
1942 W 66TH AVE
DENVER CO 80221

MAYO MIKE AND
MAYO JORDAN
2034 W 66TH AVE
DENVER CO 80221-2587

MENDEZ ZACHARY WALLACE AND
MENDEZ JARAMILLO ULISES
1364 W 68TH AVE
DENVER CO 80221

MERIDA EVAN C TRUST 1/2 INT AND
BAGINSKI CAREN HOPE TRUST 1/2 INT
1978 W 67TH PL
DENVER CO 80221-2620

MILLER MATTHEW AND
MILLER KRYSTAL
6794 LARSH DR
DENVER CO 80221-2568

MERIDA MARIO AND
URIZA JEANNETTE
1668 E 66TH AVE
DENVER CO 80229-7432

MILLSAP MARC L AND
MILLSAP DONNA M
6736 WARREN DR
DENVER CO 80221-2663

MERTZ NICKLAUS AND
JOHNSON ASHLEY
6749 AVRUM DR
DENVER CO 80221-2567

MINTON MICHAEL M AND
GURWIN ANITA E
1678 E 66TH AVE
DENVER CO 80229-7432

METZKER BEN AND
METZKER EMILY
1854 W 66TH AVE
DENVER CO 80221

MIRANDA INNAEL T
6891 WARREN DR
DENVER CO 80221-2583

MEYER AMANDA
6891 OSAGE ST
DENVER CO 80221-7034

MISURACA DAVID AND
MISURACA KELLY
6721 ALAN DR
DENVER CO 80221-2502

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MITCHLER LEONARD A AND
MITCHLER COURTNEY
1351 W 67TH PL
DENVER CO 80221

MIDTOWN LLC
2154 E COMMONS AVE STE 2000
CENTENNIAL CO 80122-1880

MLOTKOWSKI ELENA M
1953 W 66TH AVE
DENVER CO 80221-2586

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

MONDRAGON MARTHA A
6840 FERN DR
DENVER CO 80221

MIDTOWN RESIDENTIAL LLC
HARDING & CARBONE INC
HOUSTON TX 77008-4701

MONFELT JERRY S IRREVOCABLE TRUST THE
507 CANYON BLVD
BOULDER CO 80302-5058

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MONTES JAIME AND
MONTES ARACELY
13388 CLAYTON ST
THORNTON CO 80241-2077

MOONEY ELOISA
6880 LARSH DR
DENVER CO 80221-2539

MORMOOSE PROPERTIES LLC
8588 E KETTLE PL
CENTENNIAL CO 80112-2709

MOOSBURGER CURTIS
6870 MARIPOSA ST
DENVER CO 80221-7027

MORRIS PAUL AND
ORTOLA BREANNA
1925 W 67TH AVE
DENVER CO 80221-2619

MORALES FRANKLIN M AND
MORALES ISABEL E
2025 W 66TH PL
DENVER CO 80221

MOSHER IVA D
6830 FERN DR
DENVER CO 80221-2505

MORALES KELLY
6640 PECOS ST
DENVER CO 80221

MOSS MARISA AND
MOSS JUSTIN
1450 W 66TH AVE
DENVER CO 80221

MORALES YOLANDA S AND
MORALES ROCKY S
6810 LARSH DRIVE
DENVER CO 80221

MSR LLC II
1250 S PARKER RD
DENVER CO 80231-7559

MORAN PATRICK STEFAN AND
MORAN CHELSEA M
6653 AVRUM DR
DENVER CO 80221-2591

MULLEN PATRICK C
2025 W 67TH PL
DENVER CO 80221

MORENO MARTIN AND MORENO ANTONIA
6900 FERN DR
DENVER CO 80221-2507

MULLER GRANT R AND
LEAL ADRIAN
6797 LARSH DR
DENVER CO 80221

MORGAN DAVID MATTHEW
2068 W 66TH AVE
DENVER CO 80221-2587

MULLINS DAVID J AND
CRAIG CHARLES W
1743 W 67TH AVE
DENVER CO 80221-2609

MORGAN MICHAEL A AND
MORGAN ANN M
6729 MORRISON DR
DENVER CO 80221

MUMFORD AARON P AND
MUMFORD AHSLEY A
1905 W 67TH PL
DENVER CO 80221-2620

MORGAN RICHARD AND
NOREUIL FRANCESCA
1824 W 67TH PL
DENVER CO 80221-2612

MUNDERLOH GRETCHEN
1433 W 66TH AVE
DENVER CO 80221-2598

MUNDERLOH GRETCHEN A
2005 W 67TH PL
DENVER CO 80221

NELSON MARION L AND
NELSON DOROTHY
6891 LARSH DR
DENVER CO 80221-2538

MUNOZ LUIS AND
PANDO ELIZABETH
6815 SANTA FE DRIVE
DENVER CO 80221

NETSANET NATHAN HAILE
6602 MORRISON DR
DENVER CO 80221-2660

MURPHY FRED A AND
MURPHY CLAUDIA P
2050 W 67TH PL
DENVER CO 80221-2624

NEVAREZ MARIA LILIANA GARCIA
4496 TELLURIDE CT
DENVER CO 80249-7617

MURRAY ADAM AND
MURRAY LISA
1702 E 66TH AVE
DENVER CO 80229-7434

NGUYEN DUNG ANH AND
TRAN LOAN THIKIM
6123 W GOULD DR
LITTLETON CO 80123-5141

MURRAY KIA AND
MURRAY BRIAN
6712 AVRUM DR
DENVER CO 80221-2567

NGUYEN DUONG D AND
PHAN THANH LOAN T
6705 AVRUM DR
DENVER CO 80221

NAKATA WALTER TODD
6747 LARSH DR
DENVER CO 80221-2568

NGUYEN JESSE
1940 W 67TH PL
DENVER CO 80221-2620

NALLEY JAMES H AND
THOMPSON MALLORY
1984 W 66TH AVE
DENVER CO 80221-2586

NGUYEN JOHN HUU
6621 WARREN DR
DENVER CO 80221-2662

NAYAK SHIVALL
1652 E 66TH AVE
DENVER CO 80229-7432

NGUYEN KIM THUAN
1371 W 67TH PL
DENVER CO 80221

NELSON BRYCE AND
NELSON TAYLOR
6625 MARIPOSA ST
DENVER CO 80221

NGUYEN LOC H
6632 LARSH DR
DENVER CO 80221

NELSON KATHERINE A AND
NELSON THOMAS H
1337 W 67TH PL
DENVER CO 80221

NGUYEN NICK AND
NGUYEN MICHAEL
1400 W 66TH PL
DENVER CO 80221-2598

NGUYEN SAMANTHA
6607 WARREN DR
DENVER CO 80221-2662

NORIEGA ANTHONY C
6851 WARREN DR
DENVER CO 80221-2583

NGUYEN THACH AND
VILLEGAS CARINA
1440 W 67TH AVE
DENVER CO 80221

NOTARY JAMES/LINDA L TRUST THE
6881 NAVAJO ST
DENVER CO 80221-7030

NGUYEN TIEN AND NGUYEN VU
11787 GRAY ST
WESTMINSTER CO 80020-5954

O BRIEN KATHLEEN A
6700 MORRISON DR
DENVER CO 80221-2661

NGUYEN XEREX AND NGUYEN ANH THI AND
LEDESMA LORETTA
1926 W 67TH AVE
DENVER CO 80221-2619

OROPEZA SALVADOR A AND
ORAPEZA ALICIA R
6851 JORDAN DR
DENVER CO 80221-2508

NICHOLS PATRICK J AND
NEINER DOINITA
6747 RARITAN DR
DENVER CO 80221-2613

ORTIZ FILIBERTO AND
CHAVEZ CLAUDIA
6830 LARSH DRIVE
DENVER CO 80221

NIENABER BRENT
6669 MORRISON DR
DENVER CO 80221-2660

ORTIZ MARCELLINO J AND ORTIZ LISA M
2415 W 65TH AVE
DENVER CO 80221-2310

NIHISER JERAMIE
6891 AVRUM DR
DENVER CO 80221-2528

ORTIZ MARCELLINO J AND ORTIZ LISA M
2435 W 65TH AVE
DENVER CO 80221-2310

NIKOLENKO SERGEY I
1781 W 64TH LN
DENVER CO 80221-2346

ORTIZ RONALDO AND
ORTIZ XIOMARA
6718 LARSH DR
DENVER CO 80221-2568

NILEMO JONATHAN D AND
CHAMPION AMANDA K
6711 AVRUM DR
DENVER CO 80221

OSAGE COUNTY LLC
7648 E SEVERN DR
DENVER CO 80230-6113

NIXON MICHAEL F AND
NIXON MARIE NOELLE
1712 W 67TH AVE
DENVER CO 80221-2609

OWEN ASHLEY AND
WHITTLE JEANNE S
6650 MARIPOSA CT
DENVER CO 80221

OWOLANA BOLUWATIFE O
1585 W 66TH AVE
DENVER CO 80221

PATEL MITULKUMAR
1384 W 67TH AVE
DENVER CO 80221

PACKER JEFFREY B AND
PACKER KARINA B
2061 W 67TH PL
DENVER CO 80221

PATRICK GRANT T AND
PATRICK ERIN J
6759 LARSH DR
DENVER CO 80221-2568

PADILLA JOSE C
6841 LARSH DR
DENVER CO 80221-2538

PATTERSON EVERETT
6860 RUTH WAY
DENVER CO 80221-2553

PAIZ CASIMIRO JR
11042 ROSALIE DR
DENVER CO 80233-3558

PAULES TAYLOR J AND
PAULES MICHAEL AND PAULES GRETCHEN
6755 RARITAN DR
DENVER CO 80221-2613

PAIZ CASIMIRO JR AND
PAIZ MARY M
11042 ROSALIE DR
DENVER CO 80233-3558

PELICAN ADAM JOHN
2029 W 67TH PL
DENVER CO 80221

PAIZ CASIMIRO JR AND MARY M
11042 ROSALIE DR
NORTHGLENN CO 80233

PELLETT JOSEPHINE D
6811 LARSH DR
DENVER CO 80221-2538

PAIZ MARY MARTHA
11042 ROSALIE DR
DENVER CO 80233-3558

PENETTA DONI J
6850 WARREN DR
DENVER CO 80221-2584

PANAGOS JAMES N AND
PUGH KATHLYN M
1826 W 67TH AVE
DENVER CO 80221

PEREZ DAVID AND
PEREZ PATSY
6831 WARREN DR
DENVER CO 80221-2583

PANASEWICZ IGOR K AND
PANASEWICZ REBECCA L
6601 WARREN DR
DENVER CO 80221-2662

PEREZ LOUIS AND
PEREZ DOLORES I
6881 MORRISON DR
DENVER CO 80221-2510

PANNIER MICHAEL ROBERT AND
DRABCZYK ANDREA VICTORIA
6632 OSAGE ST
DENVER CO 80221-2673

PEREZ STEPHEN AND
JORGENSEN JESSICA
6831 RUTH WAY
DENVER CO 80221-2552

PERSICHTTE NICHOLAS C AND
PERSICHTTE KARLA M
6655 OSAGE ST
DENVER CO 80221-2673

PICKERING ROBERT B
1331 W 67TH PL
DENVER CO 80221

PETERS MATTHEW R
6661 WARREN DR
DENVER CO 80221-2662

PIERCE CURTIS ANDRE AND
WEBSTER RACHEL R
1837 W 67TH PL
DENVER CO 80221-2612

PETERS SUTTIDA AND
PETERS COLLIN V
1540 W 67TH AVE
DENVER CO 80221-2670

PINO LAUREN V
6861 ALAN DR
DENVER CO 80221-2520

PETERSEN BENJAMIN AND
PETERSEN MONICA C
1881 W 67TH AVE
DENVER CO 80221-2616

PLAKORUS DAVID R
1903 W 66TH AVE
DENVER CO 80221

PETERSON DOROTHE KAYE TRUST THE
6779 MORRISON DR
DENVER CO 80221

PLANTE ANTHONY HAROLD AND
PLANTE TOBY LYNN
1887 W 67TH PL
DENVER CO 80221-2612

PETERSON MATTHEW J
6800 MORRISON DR
DENVER CO 80221-2511

PLONIS THEODORE J
700 N WASHINGTON ST APT 207
DENVER CO 80203-3756

PETTY KRISTIN A
1361 E 66TH AVE
DENVER CO 80229-7222

PORTER TIMOTHY J AND
PORTER PATRICIA E
1882 W 67TH AVE
DENVER CO 80221-2616

PFEIF ERIK A AND
TAYLOR CHARLES L
2030 W 66TH AVE
DENVER CO 80221-2587

PRIETO TOLEDO JOSE SAUL AND
PRIETO TOLEDO SILVIA
298 S 14TH AVE
BRIGHTON CO 80601-2306

PFEIFER JODY
1415 W 66TH PL
DENVER CO 80221-2598

PRINGLE TYLER AND
PRINGLE KATHRYN
2017 W 66TH AVE
DENVER CO 80221-2587

PHIPPEN NEIL M AND
PATTERSON BREANNALYNN K
1928 W 66TH AVE
DENVER CO 80221

PUTRAH JOEL T
1904 W 66TH AVE
DENVER CO 80229-7424

QUINONEZ ANDRES
6701 WARREN DR
DENVER CO 80221-2663

RAMIREZ JOSE L
6821 PECOS ST
DENVER CO 80221-7001

QUINT SARAH ELIZABETH AND
QUINT DOV ELIEZER
6660 WARREN DR
DENVER CO 80221-2662

RAMOS LEONARDO AND
PAROCUA ABIGAIL
6881 WARREN DRIVE
DENVER CO 80221

QUINTANA JOE FRANK
6860 WARREN DR
DENVER CO 80221-2584

RANDALL BRIAN M AND
RANDALL MEGAN M
2216 W 67TH PL
DENVER CO 80221-2638

QUINTANA JUDE MIGUEL AND
QUINTANA ANGELINA
2014 W 66TH AVE
DENVER CO 80221-2587

RANSOM SANDRA L AND
FOX NANCY A
1441 W 66TH PL
DENVER CO 80221

RADER FAMILY LIVING TRUST THE
1752 W 67TH PL
DENVER CO 80221-2617

RASMUSEN LARRY C AND
RASMUSEN DONNA M
6841 JORDAN DR
DENVER CO 80221-2508

RADMAN DEBORAH
6781 LARSH DR
DENVER CO 80221

RASSEKH TIMUR AND
RASSEKH LIDA
1863 W 67TH PL
DENVER CO 80221-2612

RAKER JESSICA M AND
RAKER MICHAEL R
6640 WARREN DR
DENVER CO 80221-2662

RATZELL EVELYN E
6890 MARIPOSA ST
DENVER CO 80221-7027

RAMEY ADAM
6650 PECOS ST
DENVER CO 80221

REIDY CHRISTOPHER DEAN
6655 ALAN DR
DENVER CO 80221

RAMIREZ ANNA MARIE AND
RAMIREZ JOHN MICHAEL
6890 SANTA FE DR
DENVER CO 80221-7068

REINKING MARK AND
REINKING ELIZABETH
6691 MARIPOSA CT
DENVER CO 80221

RAMIREZ JOSE
6510 NEWTON ST
ARVADA CO 80003-6449

RENDON FABIOLA M
6891 JORDAN DR
DENVER CO 80221-2508

REYES DINOT V JR AND
REYES TISHA
1652 W 67TH AVE
DENVER CO 80221-2610

RIVERA LUKE W
2481 W 65TH PL UNIT A
DENVER CO 80221-2254

REYES EVERADO AND DE LA LUZ CASTANEDA
6881 ALAN DR
DENVER CO 80221-2520

RIVERDANCE LAND COMPANY LLC
875 W 64TH AVE
DENVER CO 80221-2402

REYNIERS ROELAND
1571 E 66TH AVE
DENVER CO 80229-7223

RIVERDANCE LAND COMPANY LLC
875 W 64TH AVE
DENVER CO 80221-2401

RHUDY DONALD K AND
RHUDY MARJORIE L
6841 AVRUM DR
DENVER CO 80221-2528

ROACH MEGHAN J AND
SITTNICK MARTIN W
1392 W 67TH AVE
DENVER CO 80221

RIBAS FERREIRA CELESTA F AND
RIBAS FERREIRA PEDRO
1346 W 67TH PL
DENVER CO 80221

ROBINSON JACK AND
ROBINSON JANET
6601 MARIPOSA CT
DENVER CO 80221

RICH JONATHAN AND
MCFADDIN CHRISTINA N
1980 W 67TH PL
DENVER CO 80221

RODRIGUEZ CARLOS AND
ZAMORA DORINA
1440 W 69TH AVE
DENVER CO 80221-7018

RICHARDS CRYSTAL L AND
RICHARDS SCOTT E
6890 WARREN DRIVE
DENVER CO 80221

RODRIGUEZ CESAR CARRERA AND
CARRERA MARIA
6830 AVRUM DR
DENVER CO 80221-2529

RINI MARY ANN AND
HYLAND WARREN D
6652 LARSH DR
DENVER CO 80221

RODRIGUEZ JUAN D AND
UBALDO MARIA T
6841 MORRISON DR
DENVER CO 80221-2510

RIVERA GREGORIO
2053 W 67TH PL
DENVER CO 80221

ROHRKE PATRICK P AND
ROHRKE KRISTY A
1334 W 68TH AVE
DENVER CO 80221

RIVERA LUKE
2511 W 65TH PL
DENVER CO 80221-2255

ROJO LINDA LOU
2550 W 66TH PL
DENVER CO 80221-2214

ROLLINS DOYLE AND
ROLLINS SYBOL
6821 FERN DR
DENVER CO 80221-2504

SAENZ JESUS CARRERA AND
RODRIGUEZ JESUS CARRERA
6821 AVRUM DR
DENVER CO 80221-2528

ROOT TYLER
6696 WARREN DR
DENVER CO 80221-2662

SAER ALLISON AND
SAER JAMES
1354 W 66TH PL
DENVER CO 80221-2593

ROSSI GINA M AND
OBMACES A CHARLES
2140 W 68TH AVE
DENVER CO 80221-2566

SALAZAR DANTE G
1424 W 67TH AVE
DENVER CO 80221

ROSSON PATRICK AND
ROSSON JENNIFER
1392 W 66TH PL
DENVER CO 80221-2593

SALMONS JUSTIN C AND
SALMONS LINDA K
1734 W 67TH PL
DENVER CO 80221-2617

RUBY CHRIS AND
RUBY KIMBERLY
6715 RARITAN DR
DENVER CO 80221-2613

SAME PAGE LLC
1801 W 64TH LANE
DENVER CO 80221

RUIZ SILVA FIDENCIO
13742 LEYDEN ST
THORNTON CO 80602-9176

SANCHEZ DANUARIO SR/SANCHEZ
DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

RUSSELL JENNIFER
1449 W 66TH AVE
DENVER CO 80221-2598

SANCHEZ DANUARIO SR/SANCHEZ TERESA
SANCHEZ DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

RUSSELL KAEI T
1937 W 67TH AVE
DENVER CO 80221-2619

SANCHEZ EFREN AND
SANCHEZ REMEDIOS I
6811 RUTH WAY
DENVER CO 80221-2552

S AND G PROPERTIES LLC
PO BOX 1288
MORRISON CO 80465-5288

SANCHEZ GABRIEL CHAVEZ AND
CHAVEZ VERONICA
6881 RUTH WAY
DENVER CO 80221-2552

SADOWSKI KATHERINE
6850 NAVAJO ST
DENVER CO 80221-7031

SANCHEZ MARCIA E
6801 AVRUM DRIVE
DENVER CO 80221

SANCHEZ VICTOR L
6840 RUTH WAY
DENVER CO 80221-2553

SCHILLING REBECCA M
2004 W 66TH AVE
DENVER CO 80221-2587

SANCHEZ-LOPEZ JESUS A AND
ORIZAGA MIRIAM MEDRANO
2045 W 67TH PL
DENVER CO 80221

SCHIOLA BARBARA E AND
SCHIOLA PAUL J
6745 ALAN DR
DENVER CO 80221-2502

SANDOVAL CORTEZ JUAN
6831 ALAN DR
DENVER CO 80221-2520

SCHMIDGALL AMANDA C AND
REARDON JESSICA S
2051 W 66TH AVE
DENVER CO 80221-2587

SANTARELLI JOYCE L
6881 OSAGE ST
DENVER CO 80221-7034

SCHMIDT MARK
6640 FERN DR
DENVER CO 80221

SARACENI DALE AND
SARACENI GINA
1825 CALETA TRL
LONGMONT CO 80504-7816

SCHMIDT ROBERT B AND
STEPHANI SUSAN D
2080 W 67TH PL
DENVER CO 80221-2624

SAUCEDO JESUS CABANAS
991 W 68TH WAY
DENVER CO 80221-7067

SCHNEBERGER TIMOTHY C AND
SCHNEBERGER ANGELA L
6727 AVRUM DR
DENVER CO 80221-2567

SAYKALLY DEREK AND
SAYKALLY CHRISTOPHER
6641 MORRISON DR
DENVER CO 80221

SEDILLO BRIAN P
1839 W 66TH AVE
DENVER CO 80221

SCALES CHRISTOPHER JR AND
MUNOZ-FOX STEPHANIE
2072 W 66TH AVE
DENVER CO 80221-2587

SEEMEN FAMILY LIMITED
PARTNERSHIP THE
10337 MEADE LOOP
WESTMINSTER CO 80031-2446

SCHAUERMANN KENDALL AND
SCHAUERMANN LAUREN
6635 WARREN DR
DENVER CO 80221

SEIDL BARBARA L
6761 ALAN DR
DENVER CO 80221

SCHEFFLER COURTNEY
2150 W 67TH DR
DENVER CO 80221-2634

SERANI ERIC S AND
SANDERS GRACE K
2052 W 66TH AVE
DENVER CO 80221-2587

SEYMOUR ABIGAIL AND
KOCH AARON
6704 LARSH DR
DENVER CO 80221-2568

SMITH JAY S TRUSTEE OF THE SMITH
JAY S LIVING TRUST THE
6690 MORRISON DR
DENVER CO 80221-2660

SHACKLETT MARTHA L
5251 JUNIPER CT
GOLDEN CO 80403-2901

SMITH PAMELA K AND
SMITH DAVID A
6636 FERN DR
DENVER CO 80221

SHADLER SCOTT D AND
SHADLER CLAUDIA P
1901 W 67TH AVE
DENVER CO 80221

SMITH PHILIP W AND
SMITH ELLEN S
1836 W 68TH AVE
DENVER CO 80221-2506

SHERBONDY DAVID B AND
SHERBONDY JODYN C
10895 E 150TH PL
BRIGHTON CO 80602-7467

SMITH RYAN J AND
SMITH JAMIE E
6713 ALAN DR
DENVER CO 80221-2502

SILESKI RACHEL ANN
1634 W 67TH AVE
DENVER CO 80221-2610

SNIDER JESSE
1914 W 66TH AVE
DENVER CO 80221

SIMON MICHAEL AND
SIMON SARAH
1384 W 66TH PL
DENVER CO 80221-2593

SNYDER DAVID A AND
CHAMPINE CARYN M
6746 WARREN DR
DENVER CO 80221-2663

SIMUTIS DAVID LEONARD AND
SIMUTIS MICHELLE UTT
1690 W 67TH AVE
DENVER CO 80221-2610

SOLOMON JOSEPH RYAN AND
SOLOMON KYLENE RENEE
6656 OSAGE ST
DENVER CO 80221

SISNEROS RICHARD A
6896 MORRISON DR
DENVER CO 80221-2511

SORENSEN DAONDL R II
6646 MARIPOSA CT
DENVER CO 80221

SKRABEC KRISTY
1972 W 66TH AVE
DENVER CO 80221-2586

SOUTHARD ANDREW C AND
CARROLL-SOUTHARD LYNN M
1848 W 67TH AVE
DENVER CO 80221-2616

SLACK TIFFANY M AND
ZANG THOMAS H
6861 WARREN DR
DENVER CO 80221-2583

SOUTHARD ANDREW C AND
SOUTHARD LYNN M
1827 W 66TH AVE
DENVER CO 80221

SPAULDING TECUMSEH AND
SPAULDING CAROLYN
6890 FERN DR
DENVER CO 80221

STRAUSS THOMAS R AND
STRAUSS KAREN LEE LIVING TRUST
6651 MARIPOSA ST
DENVER CO 80221

SPELLMAN NATALIE M
1897 W 66TH AVE
DENVER CO 80221

STROTHER MARY JOY CASIO
1864 W 67TH PL
DENVER CO 80221-2612

SPURGEON COLE AND
HELBIG TAYLOR
2074 W 66TH AVE
DENVER CO 80221-2587

STUTZ SHARON L
6800 HURON ST
DENVER CO 80221-7056

STAMBAUGH WILLIAM T AND JAN S
6861 MARIPOSA ST
DENVER CO 80221

STYLES SAMUEL L AND
STYLES LAURA A
1800 W 68TH AVE
DENVER CO 80221-2506

STARK CARLY AND
EICHENBERGER FELIPE
6661 MORRISON DR
DENVER CO 80221

SULTANTONO ARMAND AND
BENYAMIN NADIA
2065 W 67TH PL
DENVER CO 80221

STEPINA MARY J
6811 AVRUM DR
DENVER CO 80221-2528

SUNDBERG ERIC P
6670 FERN DR
DENVER CO 80221-2645

STEWART CHANDLER R
2183 W 67TH DR
DENVER CO 80221-2634

SUROVIK GARY D AND SUROVIK GAYLA
6630 W 73RD PL
ARVADA CO 80003

STEWART DAVID R AND
STEWART SARA A
2150 W 68TH AVE
DENVER CO 80221-2566

SUTTON CHLOE E
2009 W 67TH PL
DENVER CO 80221

STOCKWELL MARK A AND
STOCKWELL YUIKO I
6719 AVRUM DR
DENVER CO 80221

SVALDI FAUST TRUST THE
6871 MORRISON DR
DENVER CO 80221-2510

STOLTENBERG TODD W AND
FOWLER NICOLE A
6636 MORRISON DR
DENVER CO 80221-2660

SWANSON MICHAEL A
1400 W 67TH AVENUE
DENVER CO 80221

SWEENEY DANNY R AND
SWEENEY MARY D
6841 RUTH WAY
DENVER CO 80221

TERS ANNA AND
ERTLE KYLE
6660 MARIPOSA CT
DENVER CO 80221

SWERDFEGER RUSSELL C
1341 W 68TH AVE
DENVER CO 80221-7007

TERWILLIGER CINDY
1787 W 67TH AVE
DENVER CO 80221-2609

T AND G PECOS LLC
6301 FEDERAL BLVD UNIT 3
DENVER CO 80221

THOME JOSEPH AND
HUERTA-THOME CYNTHIA
6730 ALAN DR
DENVER CO 80221-2500

TANNER RICHARD C AND
HARDY KAREN L
6750 MARIPOSA CT
DENVER CO 80221

THORESON TAYLOR LYNN
6758 FERN DR
DENVER CO 80221-2659

TAYLOR KEVIN AND
TAYLOR DENISE
6675 MARIPOSA CT
DENVER CO 80221

THORNTON CALEB AND
THURMAN THORNTON CLAIRE ELISE
2060 W 66TH AVE
DENVER CO 80221-2587

TAYLOR NATALIE J AND
HARRELL JOHNNY R
6678 WARREN DR
DENVER CO 80221-2662

THORP CARLY J AND
MOORE WILLIAM B
1813 W 67TH AVE
DENVER CO 80221-2616

TAYLOR PETER J
301 MONROE ST
DENVER CO 80206-4444

THULUKANAM PRASAD AND
GARCIA MONICA
6757 AVRUM DR
DENVER CO 80221-2567

TEE EDA AND CORTES ANA VICTORIA
6871 AVRUM DR
DENVER CO 80221-2528

TIMMONS TERESA A
2081 W 67TH PLACE
DENVER CO 80221

TERRELL SHANNON AND
TERRELL DETTRELL
1448 W 66TH PL
DENVER CO 80221-2598

TORVUND ROBERT CLARENCE AND
TORVUND ROBERT CLARENCE II
6841 FERN DR
DENVER CO 80221-2504

TERRILL TROY AND
SCOTT SHELBY K
1917 W 67TH PL
DENVER CO 80221-2620

TOWNDROW LYNDA S AND
TOWNDROW DENNIS DEAN
6800 OSAGE ST
DENVER CO 80221-7035

TOWNSEND JOHN D AND
TOWNSEND KATHRYN L
1863 W 66TH AVE
DENVER CO 80221

TURNER ALEXANDER J AND
TURNER SANDRA N
1895 W 67TH PL
DENVER CO 80221-2612

TRACY GERARD MAJELLA AND
TRACY CYNTHIA GRAHAM
6821 OSAGE ST
DENVER CO 80221-7034

TYLER TANYA R
2060 W 67TH PL
DENVER CO 80003

TRAN CHRISTOPHER
6785 RARITAN DR
DENVER CO 80221-2613

ULIBARRI ALYSIA K AND
ULIBARRI ADAM V
1875 W 67TH PL
DENVER CO 80221-2612

TRAN QUOC TRUNG
6831 HURON ST
DENVER CO 80221-7055

URBAN DRAINAGE AND
FLOOD CONTROL DISTRICT
2480 W 26TH AVE SUITE 156B
DENVER CO 80211

TRAN VU
PO BOX 8439
DENVER CO 80201

VAGHER INVESTMENTS LLC
1935 SNOWY OWL DR
BROOMFIELD CO 80020-0612

TRAN VU
6605 WARREN DR
DENVER CO 80221-2662

VAGHER JOSEPH P
6736 AVRUM DR
DENVER CO 80221-2567

TRUJILLO GEORGE MAX
2120 W 68TH AVE
DENVER CO 80221-2566

VAIL MORGAN AND
FRIEND JEREMY J
1688 W 66TH AVE
DENVER CO 80221

TRUJILLO MIKE A REVOCABLE LIVING TRUST &
TRUJILLO ISABEL R REVOCABLE LIVING TRUST
10656 URA LN
DENVER CO 80234-3660

VALLE CLAUDIA
6800 WARREN DR
DENVER CO 80221-2584

TRUJILLO RUBEN MANUEL
2530 W 65TH PL
DENVER CO 80221-2205

VALLERO MARITA J AND
VALLERO NICHOLAS J
1448 W 67TH AVE
DENVER CO 80221

TRUXAL RYAN W AND
DELLEBOVI CHRISTA R
2077 W 67TH PL
DENVER CO 80221

VANN ANNA E AND
VANN MIKE
6895 MORRISON DR
DENVER CO 80221-2510

VANN MIKE AND
VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

VILLALOBOS BRIJIDO AND
VILLALOBOS YOLANDA
6820 AVRUM DR
DENVER CO 80221-2529

VANN MIKE AND VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

VILLALOBOS HECTOR AND
SILVA OSMAR VILLALOBOS
6800 JORDAN DR
DENVER CO 80221-2509

VASQUEZ ANTONIO JR AND
VALDEZ ELIZABETH ELEANOR
6762 FERN DR
DENVER CO 80221-2659

VILLALOBOS LAURO AND
VILLALOBOS SERGIA
6851 AVRUM DR
DENVER CO 80221

VAZQUEZ CAROLA M ICHAZO
6738 ALAN DRIVE
DENVER CO 80221-2500

VISSER M JONATHAN AND
VISSER ELIZABETH
1541 W 66TH AVE
DENVER CO 80221

VAZQUEZ ZAIRA E PICAZO
661 ELBERT ST
DENVER CO 80221-4061

VO TAM AND
MORRIS KELLY E
1300 W 67TH PL
DENVER CO 80221

VELIZ SERGIO PONCE
7011 BRYANT WAY
WESTMINSTER CO 80030-5636

VOJSLAVEK CATHERINE AND
VOJSLAVEK ANDREW
6728 AVRUM DR
DENVER CO 80221-2567

VENEGAS ODILON AND
VENEGAS MARIA ISABEL GANDARA
7041 CLAY STREET
WESTMINSTER CO 80030-5644

VU HOA T AND VU JOANNA AND
NGUYEN TIEN K AND NGUYEN ANH T
6713 MORRISON DR
DENVER CO 80221-2569

VILLAGRANA JORGE LUIS
6850 LARSH DRIVE
DENVER CO 80221

WAGNER CHAD AND
HENSLEY DANIELLE
6639 OSAGE ST
DENVER CO 80221-2673

VILLALOBOS ADAN
6831 AVRUM DR
DENVER CO 80221

WALTERS CHARLES W AND
WALTERS RACHEL T
6830 RUTH WAY
DENVER CO 80221-2553

VILLALOBOS ADAN
6810 AVRUM DR
DENVER CO 80221-2529

WARREN TY A AND
WARREN KELLY C
1985 W 67TH PL
DENVER CO 80221-2620

WAYTE JULLIAN AND
ROHWEDDER SHELBY
6697 MORRISON DR
DENVER CO 80221-2660

WHITE EMILY T AND
WHITE JAMES ROYAL IV
1376 W 66TH PL
DENVER CO 80221-2593

WEATHERBY ADRIAN J
2044 W 66TH AVE
DENVER CO 80221-2587

WHITT ANDRE/BOBBY JR AND
KALEBAUGH ANDREA
2045 W 66TH PL
DENVER CO 80221-2588

WEAVER DEBORAH K
2475 W 65TH AVE
DENVER CO 80221

WICKHAM MICHAEL A AND
WICKHAM JACI L
6721 MORRISON DR
DENVER CO 80221

WEEKLEY HOMES LLC
HARDING & CARBONE INC
HOUSTON TX 77008-4701

WIGGINS JASON
1344 W 68TH AVE
DENVER CO 80221

WEEKLEY HOMES LLC
3600 S YOSEMITE ST STE 350
DENVER CO 80237-1839

WILLIAMS KEN C AND
MULLIN MARY KATHERINE
6610 FERN DR
DENVER CO 80221

WEEKLEY HOMES LLC
1111 N POST OAK RD
HOUSTON TX 77055-7310

WILLIAMS RACHEL E
6645 MARIPOSA CT
DENVER CO 80221

WEEKLEY HOMES LLC
C/O HARDING & CARBONE INC
HOUSTON TX 77008-4701

WILSON KELLI MARIE AND
FLETCHER ERIC REED
1425 W 66TH PL
DENVER CO 80221

WELSH MICHAEL AND
WALEWSKI MATTHEW
6736 MARIPOSA CT
DENVER CO 80221

WILSON PATRICK O AND
MENDEZ-WILSON DEBORAH
6665 MARIPOSA CT
DENVER CO 80221

WHEELER LENA AND
WHEELER ALICIA N
6610 MORRISON DR
DENVER CO 80221-2660

WILSON TESSA L AND
WILSON ADAM B
1376 W 67TH AVE
DENVER CO 80221-2664

WHITCOMB JACKSON J AND
CURTIS LAURA E
6779 RARITAN DR
DENVER CO 80221-2613

WINCEK AMY AND
WINCEK MATTHEW
6655 MARIPOSA ST
DENVER CO 80221-2684

WINCHELL MARK A AND
WINCHELL DARLENE
369 N MANLEY RD
RIPON CA 95366-2117

WRIGHT JOHN A AND
CONOVER JACOB N
2110 W 67TH PL
DENVER CO 80221

WOHADLO MARC O AND
RODENBORN KAREN
1848 W 66TH AVE
DENVER CO 80221-2585

YAFFE REBECCA
6706 AVRUM DR
DENVER CO 80221-2567

WOLFE ANTOINETTE V
661 ELDORADO BLVD APT 623
BROOMFIELD CO 80021-8842

YARDLEY DONALD E TRUST
2199 W 67TH DR
DENVER CO 80221-2634

WOLFERS ERNEST CLAUD
2385 W FORD PL
DENVER CO 80223-2503

YOUNG SANDRA JO AND
YOUNG JACK M
PO BOX 621211
LITTLETON CO 80162-1211

WONES BRIAN
6600 MORRISON DR
DENVER CO 80221-2660

YU YA-CHI
1353 W 66TH PL
DENVER CO 80221-2593

WONG BETTY REVOCABLE TRUST
6831 JORDAN DR
DENVER CO 80221-2508

ZAFFUTO JASON D AND
ZAFFUTO MARYIA
2160 W 68TH AVE
DENVER CO 80221-2566

WONG GARY
2049 W 67TH PL
DENVER CO 80221

ZAGAR BRANDON
1377 E 66TH AVE
DENVER CO 80229-7222

WOOD CONOR CHARLES AND
WOOD KELSY JANE
1874 W 66TH AVE
DENVER CO 80221

ZAPATA ALBERTO AND
ARELLANO HEATHER
6631 MORRISON DR
DENVER CO 80221

WOODS JONATHAN AND
WOODS VICTORIA
6644 OSAGE ST
DENVER CO 80221-2673

ZEDNIK KRISTIN M AND
ZEDNIK STEPHAN T
1432 W 67TH AVE
DENVER CO 80221

WRIGHT DOROTHY M AND
WIZE JUDITH A
6901 SANTA FE DR
DENVER CO 80221-7061

ZEMMELMAN MATTHEW L AND
ZEMMELMAN MICHELLE E
1825 W 67TH AVE
DENVER CO 80221

ZI SHAN AND
LI XUE
2045 W 66TH PL
DENVER CO 80221-2588

ZIEGLER SCOTT T AND
ANTON DARCY E
1729 W 67TH AVE
DENVER CO 80221-2609

ZIELINSKI MATTHEW S
1844 W 67TH PL
DENVER CO 80221-2612

ZIMMERMAN GUYOLA TRUST
951 W 68TH AVE
DENVER CO 80221-7038

ZIMMERMAN ORVILLE E TRUST
951 W 68TH WAY
DENVER CO 80221-7067

ZIMMERMAN ORVILLE E TRUST THE
951 W 68TH WAY
DENVER CO 80221

ZORNACKI KENDRA RENEE AND
DODSON RYAN ANDREW
6654 MARIPOSA CT
DENVER CO 80221

ZUNDT MARIA
981 W 68TH WAY
DENVER CO 80221-7067



Request for Comments

Case Name:	Midtown at Clear Creek Filing 6
Case Number:	PRC2016-00012

September 22, 2016

Adams County Planning Commission is requesting comments on the following request:

1) Final Development Plan (FDP) to allow 56 lots on approximately 58.735 acres in the P-U-D, Planned Unit Development zone district; 2) Major Subdivision Preliminary/Final Plat) to create 56 lots on approximately 58.735 acres in the P-U-D, Planned Unit Development zone district; and 3) Subdivision Improvement Agreement (SIA) for Filing No. 6.

This request is located at **6701 Pecos Street**

The Assessor's Parcel Number is **0182504300039, 0182504315130**

Applicant Information: **MIDTOWN LLC
MARC SAVELA
6465 S. GREENWOOD PLAZA, SUITE 700
CENTENNIAL, CO 80111**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by 10/14/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins
Case Manager

CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

6704 Pecos St.

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Filing 6 Referral Labels

Adams County
Attn: Planning Addressing
PLN

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

Adams County Construction Inspection
Attn: PWCI .
PWCI

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

Adams County Development Services - Building
Attn: Justin Blair
JBlair@adcogov.org

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Adams County Fire Protection District
Attn: Marshall Fire
8055 N. WASHINGTON ST.
DENVER CO 80229

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

Adams County Treasurer: Send email
Attn: Adams County Treasurer
bgrimm@adcogov.org

Crestview Water & Sanitation
Attn: Patrick Stock
PO Box 21299
Denver CO 80221-0299

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

Engineering Division
Attn: Transportation Department
PWE

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

GOAT HILL
Attn: SHARON WHITEHAIR
2901 W 63RD
AVE SP:0047
DENVER CO 80221

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

HYLAND HILLS PARK & REC DISTRICT
Attn: TERRY BARNHART - PLANNER
8801 North Pecos Street
DENVER CO 80260

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

NS - Code Compliance
Attn: Andy San Nicolas
asannicolas@adcogov.org

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

UNITED STATES POST OFFICE
Attn: MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115

US EPA
Attn: Stan Christensen
1595 Wynkoop Street
DENVER CO 80202

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Filing 6
Property Owner
Labels

2340 FERN DRIVE LLC
1660 VRAIN ST
DENVER CO 80204-1133

ARAGON FRANCES Y
6810 MORRISON DR
DENVER CO 80221-2511

6921 WARREN DRIVE LLC
PO BOX 350501
WESTMINSTER CO 80035-0501

ARCHDIOCESE OF DENVER THE
OUR LADY OF VISITATION
1300 SOUTH STEELE STREET
DENVER CO 80210

6925 MORRISON LLC
722 MELODY DR
NORTHGLENN CO 80260-5528

ARCHULETA JOSEPH AND
ARCHULETA KATY E
2621 W 65TH PLACE
DENVER CO 80221

ACIERNO CAROLE LO RAYNE
6920 WARREN DR
DENVER CO 80221-2582

ARDUESER ALLAN E
6910 WARREN DR
DENVER CO 80221-2582

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

ARNOLD THOMAS K
6762 LARSH DR
DENVER CO 80221-2568

ADDISON NOLAN A AND
LINN ADDISON MARGARET M
1900 W 68TH AVE
DENVER CO 80221-2536

ATHANAS NICOLE M AND
MILLER THEODORE H
2111 W 67TH PL
DENVER CO 80221-2627

AJBT LLC
PO BOX 352125
WESTMINSTER CO 80035-2125

ATKINSON DAVID S AND
MOONEY SHANNON K
6778 LARSH DR
DENVER CO 80221-2568

ALFARO ANTONIO AND
ALFARA CHARLENE C
6870 JORDAN DR
DENVER CO 80221

ATKINSON GARY C AND
ATKINSON WENDY L
4280 W 105TH PL
WESTMINSTER CO 80031-1908

ALKEMA KIA L AND
ALKEMA ROBERT D
2130 W 68TH AVE
DENVER CO 80221-2566

AUSTIN CHRISTOPHER AND
BLUBAUGH LORI
2043 W 66TH AVE
DENVER CO 80221-2587

ALUL MAHA W AND
ALUL SAMIR M
6668 WARREN DR
DENVER CO 80221-2662

AVILA MANUEL BEDOLLA
6861 MORRISON DR
DENVER CO 80221-2510

BAISDEN EDWARD
6647 WARREN DR
DENVER CO 80221

BOGETVEIT NILS
1183 GAPTER RD
BOULDER CO 80303-1311

BALL-FOUR INC DBA
SOFTBALL COUNTRY
11338 W 74TH PL
ARVADA CO 80005-3520

BOHN JAMES D AND BOHN MARTHA RENNE AND
HUFFMAN TINA MARIE AND BOHN JAMES JOSEPH
6831 FERN DR
DENVER CO 80221-2504

BASE CHRISTOPHER
4545 CENTER BLV APT 206
LONG ISLAND CITY NY 11109

BONILLA ENRIQUE AND GARCIA ANA O
7000 ALCOTT STREET
WESTMINSTER CO 80030

BELL ZACHARY D AND
BELL DANIELLE M
1991 W 67TH PL
DENVER CO 80221-2620

BONILLA GUADALUPE
6871 RUTH WAY
DENVER CO 80221-2552

BESA LLC
6742 LARSH DR
DENVER CO 80221-2568

BORST JOHN BARRONS
6737 LARSH DR
DENVER CO 80221-2568

BHATT JANKEE H AND
BHATT HARSHAD N
2070 W 67TH PL
DENVER CO 80221-2624

BPI WESTMINSTER LLC
2880 BRYANT ST
DENVER CO 80211-4223

BIEKER JOE AND
BIEKER ANDREA J
2231 W 67TH DR
DENVER CO 80221-2634

BRANDENBURG MICHAEL P AND
BRANDENBURG RACHEL S
6767 MORRISON DR
DENVER CO 80221

BIRD RONALD W
6820 WARREN DRIVE
DENVER CO 80221

BRATTON BRIAN AND
BRATTON LINDSEY
6791 MORRISON DR
DENVER CO 80221

BLEA ERIC E
2640 FERN DR
WESTMINSTER CO 80030-5649

BRITTON LESLIE
6740 FERN DR
DENVER CO 80221

BODDY MATTHEW P AND
BODDY TAMMY S
2300 FERN DR
DENVER CO 80221-2503

BURMESTER HEATHER L AND
BURMESTER PAUL J
6765 LARSH DR
DENVER CO 80221-2568

CANGEMI THOMAS AND
CANGEMI JAIME
1979 W 66TH AVE
DENVER CO 80221

CHAMPION BANK
6890 S TUCSON WAY
ENGLEWOOD CO 80112-6762

CARAVEO EDUVIGES AND
CARAVEO JUANA
6830 MORRISON DR
DENVER CO 80221-2511

CHANG YEN-CHEN AND
PUETT MICAH
1928 W 67TH PL
DENVER CO 80221-2620

CARITHERS BEVIN AND
MOE THOMAS J
1961 W 67TH PL
DENVER CO 80221-2620

CHAVEZ JAVIER
6871 WARREN DR
DENVER CO 80221-2583

CARPANINI JENNIFER J AND
CARPANINI JOHN A AND RUGH ALEXANDER W
1904 W 67TH PL
DENVER CO 80221-2620

CHAVEZ JOSE A
6831 RUTH WAY
DENVER CO 80221-2552

CARPENTER GINA C AND
CHERENZIA KEVIN P
2091 W 67TH PL
DENVER CO 80221-2624

CHEPURNA LYUBOV
2021 W 67TH PL
DENVER CO 80221

CARREON JUVENAL
6820 FERN DR
DENVER CO 80221-2505

CHRISTENSEN PETER K
7240 W CUSTER AVE NO 302
LAKEWOOD CO 80226-2779

CARSON STEVE AND
CARSON KATHRYN
2360 FERN DR
DENVER CO 80221-2503

CHRISTNER SCOTT W AND
CHRISTNER BRINDISI R
6621 MORRISON DR
DENVER CO 80221

CASCO ESPERANZA
6820 MORRISON DR
DENVER CO 80221-2511

CHUN JOSHUA H AND
CHUN ELEANOR M
1981 W 67TH PL
DENVER CO 80221-2620

CENTURY AT MIDTOWN LLC
8390 E CRESCENT PKWY STE 650
GREENWOOD VILLAGE CO 80111-2940

CLAIR IRREVOCABLE TRUST THE
PO BOX 21739
DENVER CO 80221-0739

CHAMBERLAIN LEANN M
6926 FERN DR
DENVER CO 80221-2507

CLANTON JERALD KEITH
6783 MORRISON DR
DENVER CO 80221

CLARK BRYCE W AND
CLARK MIRANDA S
2163 W 67TH PL
DENVER CO 80221-2627

CROSS JUANITA A AND
CROSS MICHAEL L
6861 FERN DR
DENVER CO 80221-2504

CLEAR CREEK STATION METROPOLITAN
DISTRICT NO 1 C/O WHITE BEAR & ANKELE
2154 E COMMONS AVE STE 2000
LITTLETON CO 80122-1880

CULBERTSON LEE ALLYS
6787 MORRISON DR
DENVER CO 80221

COOKE DONALD JAY
6811 FERN DR
DENVER CO 80221-2504

DALY DYLAN J
6881 FERN DR
DENVER CO 80221-2504

COPELAND RANDALL W AND
COPELAND KRISTA PACE
2031 W 66TH AVE
DENVER CO 80221-2587

DARBY BRUCE TRUST THE
C/O LINDA W NELSON
1276 CORONA ST APT B4
DENVER CO 80218-2013

CORDOVA CRISTOBAL AND
CORDOVA MARY LEE
2490 W 65TH PL
DENVER CO 80221-2222

DAVIS DONALD R
6900 RUTH WAY
DENVER CO 80221-2555

CORDOVA LUZ M
6841 WARREN DR
DENVER CO 80221-2583

DAVIS JASON R AND
LISI KELLIE L
2151 W 67TH DR
DENVER CO 80221

CORDOVA SINFORIANO REVOCABLE TRUST 1/2
CORDOVA VIOLA REVOCABLE TRUST 1/2
2505 W 65TH AVE
DENVER CO 80221-2339

DE JULIO MARK N
6881 LARSH DR
DENVER CO 80221-2538

CORNEJO JOSHUA J AND
CORNEJO COLE
6622 E MISSISSIPPI AVE
DENVER CO 80224-1816

DELGADILLO OLIMPIA SANCHEZ
6901 RUTH WAY
DENVER CO 80221

CRESTVIEW WATER AND SANITATION DISTRICT
PO BOX 21299
DENVER CO 80221-0299

DERP SAMUEL J AND
SAVAGE JEREMY D
1912 W 68TH AVE
DENVER CO 80221

CRONEY GILLARD
6850 FERN DR
DENVER CO 80221-2505

DETWEILER WILLIAM R AND
BERLS KIMBERLY A
6739 MORRISON DR
DENVER CO 80221

DEVEREAUX ALEC B
2100 W 68TH AVE
DENVER CO 80221-2566

ESPARZA MANUEL J AND
ESPARZA ELMA P
6800 LARSH DR
DENVER CO 80221-2539

DEVEREAUX HEIDI S AND
DEVEREAUX JACK
15318 HILLSIDE CT
BROOMFIELD CO 80023-8780

ESPINOZA JAMES D
10203 ZENOBIA CIRCLE
WESTMINSTER CO 80030

DOCKERY ADAM
2033 W 67TH PL
DENVER CO 80221

ESPINOZA SERGIO AND
ESPINOZA IRMA
6810 RUTH WAY
DENVER CO 80221

DOLQUIST SUE A AND
DOLQUIST DANIEL M
1995 W 67TH PL
DENVER CO 80221-2620

ESTRADA ANTHONY M AND ESTRADA DENIESE L
6880 WARREN DR
DENVER CO 80221-2584

DOMINGUEZ RONALD J
2540 W 65TH PLACE
DENVER CO 80221

FEDERAL CREDIT LLC
2655 W 39TH AVE
DENVER CO 80211-2107

DUBINKINA ALEXANDRIA S
1996 W 66TH AVE
DENVER CO

FENDER PELL AND
FENDER PEGGY D
2101 W 67TH PL
DENVER CO 80221-2627

DWIGHT EDWARD J AND
DWIGHT CATHERINE J
6896 RUTH WAY
DENVER CO 80221-2553

FERGUSON LOIS J AND
CAGLE THELMA J
2461 W 65TH PL
DENVER CO 80221-2223

ELDER SANDRA K
2133 W 67TH PL
DENVER CO 80221-2627

FERGUSON NICHOLAS A AND
JOHNSON TYLER T
6793 LARSH DR
DENVER CO 80221-2568

ELDREDGE BRUCE AND
ELDREDGE KRYSTAL
2035 W 66TH PL
DENVER CO 80221-2588

FERNANDEZ ANNETTE
2525 W 65TH AVE
DENVER CO 80221-2339

ESCOBEDO RAUL AND
ESCOBEDO DORA E
6801 LARSH DR
DENVER CO 80221-2538

FISCHER WINDY D AND
CHERENZIA ROBERT J
2110 W 68TH AVE
DENVER CO 80221-2566

FISHER A AUSTIN AND
FISHER RAVAN
6741 LARSH DR
DENVER CO 80221

GALLEGO JESUS AND
PAYNE JENNIFER
9100 E FLORIDA AVE APT 1-103
DENVER CO 80247-2846

FISHER THOMAS C
6870 WARREN DR
DENVER CO 80221-2584

GALLEGOS ACEVEDO TOMAS AND
GALLEGOS A RUBEN C
6861 JORDAN DR
DENVER CO 80221-2508

FLOTTE DEBRA
2570 FERN DR
WESTMINSTER CO 80030-5648

GALLEGOS JESSICA AND
DEHERRERA ROMAN
6821 WARREN DR
DENVER CO 80221-2583

FONTES KATHLEEN S
6870 LARSH DR
DENVER CO 80221-2539

GARCIA JOHNNY
6801 JORDAN DR
DENVER CO 80221

FOUR H PROPERTIES
114 RIDGE RD
EVERGREEN CO 80439

GARCIA JOSE
6821 JORDAN DR
DENVER CO 80221-2508

FOX DAVID D AND FOX NANCY S
2520 W 66TH PL
DENVER CO 80221-2214

GARCIA MOYA VICTOR AND
GARCIA ARMIDA L
6880 FERN DR
DENVER CO 80221-2505

FRANK GARY
6930 WARREN DR
DENVER CO 80221-2575

GARCIA PORTIA L AND
GARCIA DANIEL A
2480 W 65TH PL
DENVER CO 80221-2222

FRAZIER WILLIAM T AND
FRAZIER ALEXANDRA M
6756 LARSH DR
DENVER CO 80221-2568

GODOY RUBI FELIX
6861 LARSH DR
DENVER CO 80221-2538

FULLMER LORI J
1950 W 67TH AVE
DENVER CO 80221-2619

GOLDHIRSH KELLY ANNE
2069 W 67TH PL
DENVER CO 80221

GALLARDO FRANCISCO AND
GALLARDO TAMARA C
6920 MORRISON DRIVE
DENVER CO 80221

GOLDMAN MICHAEL J AND
GOLDMAN JAMIE D
6771 LARSH DR
DENVER CO 80221-2568

GOMEZ EDUWIGUIZ AND
GOMEZ ESPERANZA
6930 MORRISON DR
DENVER CO 80221-2513

HALL TIMOTHY J AND
HALL ALLISON M
6748 LARSH DR
DENVER CO 80221-2568

GOMEZ JOSE DE JESUS GALVAN AND
GALVAN MABEL
6941 MORRISON DR
DENVER CO 80221

HAMMOND BARBARA D
PO BOX 985
INDIAN HILLS CO 80454-0985

GREEN LAWRENCE H AND
GREEN VELVA J
6880 MORRISON DR
DENVER CO 80221-2511

HAMMOND-CLARK FAMILY TRUST THE
1971 W 67TH PL
DENVER CO 80221-2620

GREGORY DOUGLAS R
1991 E 66TH AVE APT W
DENVER CO 80229-7423

HANNON BRENNAN AND
STIMSON SCOTT
1984 W 67TH PL
DENVER CO 80221

GROSE MICHAEL G AND
GROSE STEPHANIE I
2131 W 67TH PL
DENVER CO 80221-2627

HANSON ALEX AND
HANSON JESSICA
2143 W 67TH PL
DENVER CO 80221-2627

GUERRA MISAEL
6860 MORRISON DR
DENVER CO 80221-2511

HARP KELLEY W AND
HARP VICTORIA H
6735 AVRUM DR
DENVER CO 80221-2567

GURULE JOAQUIN J
6870 FERN DR
DENVER CO 80221-2505

HENDRICKS BARRETT A
6811 MORRISON DR
DENVER CO 80221-2510

GUTIERREZ MONICA
6840 JORDAN DR
DENVER CO 80221-2509

HENLEY GINA L AND
HENLEY ANDREW J
2151 W 67TH PL
DENVER CO 80221-2627

GUTIERREZ MONICA
6801 FERN DR
DENVER CO 80221-2504

HERNANDEZ ADOLFO
6801 MORRISON DR
DENVER CO 80221-2510

HAGER JARROD M
6730 FERN DR
DENVER CO 80221

HERNANDEZ OSCAR MUNOZ
1420 SWAN AVE
BRIGHTON CO 80601-4344

HERONEMA RAYMOND AND
HERONEMA MARY ANN DORTHEA
2310 FERN DR
DENVER CO 80221-2503

INFINITY HOME COLLECTION AT MIDTOWN LLC
7400 E CRESTLINE CIR STE 125
GREENWOOD VILLAGE CO 80111-3654

HERRERA ESTEBAN AND
LOFLIN LISA
1975 W 67TH PL
DENVER CO 80221-2620

JACYSZYN ALANE M AND
BEVANS CHRISTOPHER THOMAS
1965 W 67TH PL
DENVER CO 80221-2620

HERRERA RICHARD AND
SANCHEZ LIZZETTE A
6620 FERN DR
DENVER CO 80221

JARAMILLO CLARENCE EYARL AND
JARAMILLO ELVA R
7608 W 106TH AVE
BROOMFIELD CO 80021-3910

HILL ALAN G
2017 W 67TH PL
DENVER CO 80221

JEFFERS JESSE L AND
JEFFERS DONNA J
6920 FERN DR
DENVER CO 80221-2507

HOLCOMB BRYAN
6931 MORRISON DR
DENVER CO 80221-2512

JEFFERY JANET
6910 FERN DR
DENVER CO 80221-2507

HOLCOMB MARGO JEAN
6830 WARREN DR
DENVER CO 80221

JENKINS VIRGINIA LEE
6840 WARREN DR
DENVER CO 80221-2584

HOLGUIN CHRISTOPHER AND
HOLGUIN ANA
2167 W 67TH DR
DENVER CO 80221

JESSER RENEE D
2041 W 67TH PL
DENVER CO 80221

HOWELL JAMES T AND
CLARK MCKAYLA C
6786 LARSH DR
DENVER CO 80221-2568

JEWELL BRIAN L
2057 W 67TH PL
DENVER CO 80221

HUMBLE SARAH ELAINE IRREVOCABLE TRUST
6611 WARREN DR
DENVER CO 80221

JIMENEZ RUDOLPH
2520 W 65TH AVE
DENVER CO 80221-2324

HUSTON JEFFREY C AND
HUSTON AMANDA
6721 WARREN DR
DENVER CO 80221-2663

JOHNSON BRETT AND
JOHNSON KENDRA M
6728 WARREN DR
DENVER CO 80221-2663

JOHNSON CLIFFORD D AND
JOHNSON KAREN L
6734 LARSH DR
DENVER CO 80221-2568

KATZ JOSHUA L
6759 W MISSISSIPPI AVE
DENVER CO 80226-4667

JOHNSON JUDITH ANN AND
JOHNSON LARRY R
11041 KENDALL WAY
WESTMINSTER CO 80020-3150

KAY DONALD AND
KAY SHIRLEY J
6820 RUTH WAY
DENVER CO 80221-2553

JOHNSON MONICA LYNN AND
JOHNSON MICHAEL KEITH
1929 W 67TH PL
DENVER CO 80221-2620

KAY IAN AND
KOZER DANA
1974 W 67TH PL
DENVER CO 80221-2620

JOHNSON ROBERTA/VOTAPKA JACKIE/DAVIS MIK
GOHEEN DEBBIE/SANDERSON SUZI/SANDERSON J
133 VANCE ST
LAKEWOOD CO 80226-1628

KCF PROPERTIES LLC
6476 S MARION PL
CENTENNIAL CO 80121-2557

JOHNSON SARAH L
6651 MORRISON DR
DENVER CO 80221

KERN TREY D III AND
KERN MARYSUSAN
6777 LARSH DR
DENVER CO 80221-2568

JOWERS RONALD F
2520 W 65TH PL
DENVER CO 80221

KILPATRICK KATHERYN J
2215 W 67TH DR
DENVER CO 80221-2634

JOY MATTHEW C
6771 MORRISON DR
DENVER CO 80221-2569

KIM DANIEL E
6660 FERN DR
DENVER CO 80221

KANA MATTHEW
2100 W 67TH PL
DENVER CO 80221-2627

KNIGHT PATRICK E AND
KULKARNI ADITI K
1990 W 67TH PL
DENVER CO 80221-2620

KANG SEON YOUNG CATHY
2073 W 67TH PL
DENVER CO 80221

KOCZARA RANDALL W AND
KOCZARA MAJKEN
6720 MORRISON DR
DENVER CO 80221-2661

KAPLAN MICHAEL DANIEL
1952 W 67TH PL
DENVER CO 80221-2620

KOLIN DAVID
6611 MORRISON DR
DENVER CO 80221

KRIST GORDON
6931 WARREN DR
DENVER CO 80221-8105

LOBATO MEL AND
LOBATO RUTH
6916 FERN DR
DENVER CO 80221-2507

KULHAWICK AARON J
6880 RUTH WAY
DENVER CO 80221-2553

LOERA DE GURROLA MARIA /LOERA MANUEL AND
GURROLA TOCA JOSE MANUEL
2630 FERN DR
WESTMINSTER CO 80030-5649

LABRIOLA KRISTI
6801 RUTH WAY
DENVER CO 80221-2552

LOHMAN KELLEREY AND
BUSCHENFELDT MARK
1949 W 67TH AVE
DENVER CO 80221-2619

LAKEVIEW LOAN SERVICING LLC
1 FOUNTAIN PLZ
BUFFALO NY 14203-1420

LONCHENA BRANDY S AND
LONCHENA PAUL M
6775 MORRISON DR
DENVER CO 80221

LANDERS BRITTNEY
6720 WARREN DR
DENVER CO 80221-2663

LOPER TERESA M AND KARKI LUCIA B AND
CARRINGTON BRENDA A
14050 SHANNON DR
BROOMFIELD CO 80023-4248

LARAWAY NOAH J AND
LARAWAY KATHLYN A
6710 LARSH DR
DENVER CO 80221-2568

LOPEZ DEBRA ANN
6810 WARREN DR
DENVER CO 80221-2584

LEMBKE WILLIAM R
1924 W 68TH AVE
DENVER CO 80221-2536

LOPEZ EMILIZIAN
6820 JORDAN DR
DENVER CO 80221-2509

LEMME JUSTIN DAVID AND
LEMME MISA
6770 LARSH DR
DENVER CO 80221-2568

LOPEZ GABRIEL
2570 W 65TH PL
DENVER CO 80221-2205

LICATA JOHN
6851 MORRISON DR
DENVER CO 80221-2510

LOPEZ PETE AND
LOPEZ ELEANOR J
6851 RUTH WAY
DENVER CO 80221-2552

LINAN CARMEN AND
LINAN BALAM
6860 FERN DR
DENVER CO 80221-2505

LOR NHIA X AND
LOR CHOR
6810 JORDAN DR
DENVER CO 80221-2509

LORBIECKI FAMILY TRUST THE
6821 MORRISON DR
DENVER CO 80221-2510

MARSTON EVANGELINE C
6850 MORRISON DR
DENVER CO 80221-2511

LOVE ROBERT L AND
WOLAK MATTHEW J
6763 MORRISON DR
DENVER CO 80221

MARTINEZ ADAM P ET AL
8305 ELATI ST
DENVER CO 80221-4479

LUCERO LEWIS JR AND
SENA JAMIE E
6870 MORRISON DRIVE
DENVER CO 80221

MARTINEZ ANTONIO SOLIS AND
GARCIA GRISELDA SANTILLANO
2555 W 65TH AVE
DENVER CO 80221-2339

LUND GORDON J AND
LUND JUDITH Y
218 TATUM CT
MANITOWOC WI 54220-1968

MARTINEZ DAMARIS
3613 S FLANDERS ST
AURORA CO 80013-3949

LUSSIER MICHAEL R
2090 W 67TH PL
DENVER CO 80221-2624

MARTINEZ ENRIQUE P AND
MARTINEZ LIN
6648 E MISSISSIPPI AVE
DENVER CO 80224-1816

LUTTRALL MARK E
6861 RUTH WAY
DENVER CO 80221-2552

MARTINEZ LARRY L AND MARTINEZ RAYNA L
6896 WARREN DR
DENVER CO 80221-2584

MADERA JUAN JOSE
2515 W 65TH AVE
DENVER CO 80221

MARTINEZ LOUIS AND
MARTINEZ TERESA L
6911 RUTH WAY
DENVER CO 80221

MADRIL MATTHEW C AND
MADRIL JENNIFER A
6890 RUTH WAY
DENVER CO 80221-2553

MARTINEZ REYNALDO AND
MARTINEZ DELICIA E
6840 MORRISON DR
DENVER CO 80221-2511

MALDONADO DALIA
2620 W 65TH PL
DENVER CO 80221-2235

MARTINEZ RICHARD AND
MARTINEZ DEBRA
6871 JORDAN DR
DENVER CO 80221-2508

MARQUEZ RICHARD D AND
MARQUEZ SHARON V
7665 IRVING STREET
WESTMINSTER CO 80030

MARTINEZ STEVEN
6911 MORRISON DR
DENVER CO 80221-2512

MARTINEZ TED L
6901 WARREN DRIVE
DENVER CO 80221

MENDOZA ANDREW AND
MENDOZA YVETTE M AND DAMIAN JESSIKA
6911 WARREN DR
DENVER CO 80221-2581

MARTINEZ THOMAS R SR AND
MARTINEZ BERNICE M
2380 FERN DRIVE
DENVER CO 80221

MERIDA EVAN AND
BAGINSKI CAREN H
1978 W 67TH PL
DENVER CO 80221-2620

MARTINEZ THOMAS SR AND
MARTINEZ BERNICE
2380 FERN DR
DENVER CO 80221-2503

MERTZ NICKLAUS AND
JOHNSON ASHLEY
6749 AVRUM DR
DENVER CO 80221-2567

MASON ANDREW T AND
RIQUELME NATALIE R
6660 MORRISON DR
DENVER CO 80221-2660

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MC BRIDE MATHEW L AND
MC BRIDE M STACIA
6851 FERN DR
DENVER CO 80221

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MC BRIDE RICHARD CARLTON
6870 RUTH WAY
DENVER CO 80221-2553

MILLER MATTHEW AND
MILLER KRYSTAL
6794 LARSH DR
DENVER CO 80221-2568

MC DORMAN COURTNEY AND
MC DORMAN KENNETH
6789 LARSH DR
DENVER CO 80221-2568

MILLSAP MARC L AND
MILLSAP DONNA M
6736 WARREN DR
DENVER CO 80221-2663

MC MILLAN EDWARD J AND
MC MILLAN JOY L
8790 W PHILLIPS RD
BOULDER CO 80301

MIRANDA INNAEL T
6891 WARREN DR
DENVER CO 80221-2583

MCALLISTER VIRGINIA A
2001 W 67TH PL
DENVER CO 80221-2624

MITCHLER COURTNEY AND
MITCHLER LEONARD
1934 W 67TH PL
DENVER CO 80221-2620

MEDINA BUFFY ANN
6890 MORRISON DR
DENVER CO 80221-2511

MONDRAGON MARTHA A
6840 FERN DR
DENVER CO 80221

MONFELT JERRY S IRREVOCABLE TRUST THE
507 CANYON BLVD
BOULDER CO 80302-5058

MOSS JUSTIN AND
MOSS STACEY
6757 AVRUM DR
DENVER CO 80221-2567

MONTES JAIME AND
MONTES ARACELY
13388 CLAYTON ST
THORNTON CO 80241-2077

MOWINSKI DAN AND
LIKENS KIMBERLY
2581 W 66TH PL
DENVER CO 80221-2213

MOONEY ELOISA
6880 LARSH DR
DENVER CO 80221-2539

MULLEN PATRICK C
2025 W 67TH PL
DENVER CO 80221

MORAGO JOSE A AND
MORAGO DEBORAH S
6921 RUTH WAY
DENVER CO 80221-2554

MULLER GRANT R AND
LEAL ADRIAN
6797 LARSH DR
DENVER CO 80221

MORALES FRANKLIN M AND
MORALES ISABEL E
2025 W 66TH PL
DENVER CO 80221

MUMFORD AARON P AND
MUMFORD AHSLEY A
1905 W 67TH PL
DENVER CO 80221-2620

MORALES YOLANDA S AND
MORALES ROCKY S
6810 LARSH DRIVE
DENVER CO 80221

MUNDERLOH GRETCHEN A
2005 W 67TH PL
DENVER CO 80221

MORENO MARTIN AND MORENO ANTONIA
6900 FERN DR
DENVER CO 80221-2507

MUSGROVE FAMILY TRUST THE
10448 VARESE LANE
NORTHGLENN CO 80234

MORGAN MICHAEL A AND
MORGAN ANN M
6729 MORRISON DR
DENVER CO 80221

NAKATA WALTER TODD
6747 LARSH DR
DENVER CO 80221-2568

MORRIS PAUL AND
ORTOLA BREANNA
1925 W 67TH AVE
DENVER CO 80221-2619

NALLEY JAMES H AND
THOMPSON MALLORY
1984 W 66TH AVE
DENVER CO 80221-2586

MOSHER IVA D
6830 FERN DR
DENVER CO 80221-2505

NELSON MARION L AND
NELSON DOROTHY
6891 LARSH DR
DENVER CO 80221-2538

NEYENS EUGENE M
2570 W 66TH PL
DENVER CO 80221-2214

OAKELEY HENRY A
5065 BLACKHAWK WAY
DENVER CO 80239

NGUYEN DUONG D AND
PHAN THANH LOAN T
6705 AVRUM DR
DENVER CO 80221

OROPEZA SALVADOR A AND
ORAPEZA ALICIA R
6851 JORDAN DR
DENVER CO 80221-2508

NGUYEN JESSE
1940 W 67TH PL
DENVER CO 80221-2620

ORTIZ FILIBERTO AND
CHAVEZ CLAUDIA
6830 LARSH DRIVE
DENVER CO 80221

NGUYEN JOHN HUU
6621 WARREN DR
DENVER CO 80221-2662

ORTIZ MARCELLINO J AND ORTIZ LISA M
2415 W 65TH AVE
DENVER CO 80221-2310

NGUYEN MICHAEL AND
DUONG NHI
11286 JOLIET ST
HENDERSON CO 80640-7641

ORTIZ MARCELLINO J AND ORTIZ LISA M
2435 W 65TH AVE
DENVER CO 80221-2310

NGUYEN TIEN
6820 LARSH DR
DENVER CO 80221-2539

ORTIZ RONALDO AND
ORTIZ XIOMARA
6718 LARSH DR
DENVER CO 80221-2568

NGUYEN TIEN AND NGUYEN VU
11787 GRAY ST
WESTMINSTER CO 80020-5954

PACKER JEFFREY B AND
PACKER KARINA B
2061 W 67TH PL
DENVER CO 80221

NILEMO JONATHAN D AND
CHAMPION AMANDA K
6711 AVRUM DR
DENVER CO 80221

PADILLA JOSE C
6841 LARSH DR
DENVER CO 80221-2538

NORIEGA ANTHONY C
6851 WARREN DR
DENVER CO 80221-2583

PAIZ CASIMIRO JR
11042 ROSALIE DR
DENVER CO 80233-3558

NORTH DENVER APOSTOLIC CHURCH
OF JESUS INC
2552 W 65TH PL
DENVER CO 80221

PAIZ CASIMIRO JR AND
PAIZ MARY M
11042 ROSALIE DR
DENVER CO 80233-3558

PAIZ CASIMIRO JR AND MARY M
11042 ROSALIE DR
NORTHGLENN CO 80233

PETERSON DOROTHE KAYE TRUST THE
6779 MORRISON DR
DENVER CO 80221

PAIZ MARY MARTHA
11042 ROSALIE DR
DENVER CO 80233-3558

PETERSON MATTHEW J
6800 MORRISON DR
DENVER CO 80221-2511

PATRICK GRANT T AND
PATRICK ERIN J
6759 LARSH DR
DENVER CO 80221-2568

PFEIFFER KENNETH D AND
PFEIFFER YOUNGHOA
34192 CHILTON AVE
PINE CO 80470-9552

PATTERSON EVERETT
6860 RUTH WAY
DENVER CO 80221-2553

PRADO ARCADIO
6910 RUTH WAY
DENVER CO 80221-2555

PELICAN ADAM JOHN
2029 W 67TH PL
DENVER CO 80221

PRINGLE TYLER AND
PRINGLE KATHRYN
2017 E 66TH AVE APT W
DENVER CO 80229-7401

PELLETT JOSEPHINE D
6811 LARSH DR
DENVER CO 80221-2538

PUBLIC SERVICE COMPANY
PO BOX 1979
DENVER CO 80201-1979

PENETTA DONI J
6850 WARREN DR
DENVER CO 80221-2584

QUINTANA JOE FRANK
6860 WARREN DR
DENVER CO 80221-2584

PEREZ DAVID AND
PEREZ PATSY
6831 WARREN DR
DENVER CO 80221-2583

RADMAN DEBORAH
6781 LARSH DR
DENVER CO 80221

PEREZ LOUIS AND
PEREZ DOLORES I
6881 MORRISON DR
DENVER CO 80221-2510

RAMOS LEONARDO AND
PAROCUA ABIGAIL
6881 WARREN DRIVE
DENVER CO 80221

PETERS MATTHEW R
6661 WARREN DR
DENVER CO 80221-2662

RASMUSEN LARRY C AND
RASMUSEN DONNA M
6841 JORDAN DR
DENVER CO 80221-2508

REDGATE LLC
2380 CESSNA DR
ERIE CO 80516-8110

ROLLINS DOYLE AND
ROLLINS SYBOL
6821 FERN DR
DENVER CO 80221-2504

RENDON FABIOLA M
6891 JORDAN DR
DENVER CO 80221-2508

ROMERO JOSEPH R
6900 MORRISON DRIVE
DENVER CO 80221

RHODY DONALD K AND
RHODY MARJORIE L
6841 AVRUM DR
DENVER CO 80221-2528

ROOT TYLER
6696 WARREN DR
DENVER CO 80221-2662

RICH JONATHAN AND
MCFADDIN CHRISTINA N
1980 W 67TH PL
DENVER CO 80221

ROSSI GINA M AND
OBMACES A CHARLES
2140 W 68TH AVE
DENVER CO 80221-2566

RICHARDS CRYSTAL L AND
RICHARDS SCOTT E
6890 WARREN DRIVE
DENVER CO 80221

RUSSELL Kael T
1937 W 67TH AVE
DENVER CO 80221-2619

RIMBERT GARY A
2535 W 65TH AVE
DENVER CO 80221-2339

S AND G PROPERTIES LLC
PO BOX 1288
MORRISON CO 80465-5288

RIVERA GREGORIO
2053 W 67TH PL
DENVER CO 80221

SAENZ JESUS CARRERA AND
RODRIGUEZ JESUS CARRERA
6821 AVRUM DR
DENVER CO 80221-2528

RIVERA LUKE
2511 W 65TH PL
DENVER CO 80221-2255

SAMORA NAOMI R
2580 FERN DR
WESTMINSTER CO 80030-5648

RODRIGUEZ JUAN D AND
UBALDO MARIA T
6841 MORRISON DR
DENVER CO 80221-2510

SANCHEZ DANUARIO SR/SANCHEZ
DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

ROJO LINDA LOU
2550 W 66TH PL
DENVER CO 80221-2214

SANCHEZ DANUARIO SR/SANCHEZ TERESA
SANCHEZ DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

SANCHEZ EFREN AND
SANCHEZ REMEDIOS I
6811 RUTH WAY
DENVER CO 80221-2552

SCHNEBERGER TIMOTHY C AND
SCHNEBERGER ANGELA L
6727 AVRUM DR
DENVER CO 80221-2567

SANCHEZ GABRIEL CHAVEZ AND
CHAVEZ VERONICA
6881 RUTH WAY
DENVER CO 80221-2552

SEEMEN FAMILY LIMITED
PARTNERSHIP THE
10337 MEADE LOOP
WESTMINSTER CO 80031-2446

SANCHEZ MARCIA E
6801 AVRUM DRIVE
DENVER CO 80221

SERNA HECTOR AND
SERNA HECTOR FABION
6920 RUTH WAY
DENVER CO 80221-2555

SANCHEZ VICTOR L
6840 RUTH WAY
DENVER CO 80221-2553

SEYMOUR ABIGAIL AND
KOCH AARON
6704 LARSH DR
DENVER CO 80221-2568

SANCHEZ-LOPEZ JESUS A AND
ORIZAGA MIRIAM MEDRANO
2045 W 67TH PL
DENVER CO 80221

SHACKLETT MARTHA L
5251 JUNIPER CT
GOLDEN CO 80403-2901

SANDOVAL DEIDRA AND
TORREZ GABRIEL
21543 E 43RD AVE
DENVER CO 80249-7276

SHERBONDY DAVID B AND
SHERBONDY JODYN C
2005 E 66TH AVE APT W
DENVER CO 80229-7401

SAYKALLY DEREK AND
SAYKALLY CHRISTOPHER
6641 MORRISON DR
DENVER CO 80221

SISNEROS RICHARD A
6896 MORRISON DR
DENVER CO 80221-2511

SCHAUERMANN KENDALL AND
SCHAUERMANN LAUREN
6635 WARREN DR
DENVER CO 80221

SKRABEC KRISTY
1972 W 66TH AVE
DENVER CO 80221-2586

SCHMIDT MARK
6640 FERN DR
DENVER CO 80221

SLACK TIFFANY M AND
ZANG THOMAS H
6775 W 19TH PL UNIT 105
LAKEWOOD CO 80214-1481

SCHMIDT ROBERT B AND
STEPHANI SUSAN D
2080 W 67TH PL
DENVER CO 80221-2624

SMITH PAMELA K AND
SMITH DAVID A
6630 FERN DR
DENVER CO 80221

SPAULDING TECUMSEH AND
SPAULDING CAROLYN
6890 FERN DR
DENVER CO 80221

SUTTON CHLOE E
2009 W 67TH PL
DENVER CO 80221

STARK CARLY AND
EICHENBERGER FELIPE
6661 MORRISON DR
DENVER CO 80221

SVALDI FAUST TRUST THE
6871 MORRISON DR
DENVER CO 80221-2510

STEFANSKI LEONARD L AND
STEFANSKI BARBARA J
6931 ZUNI ST
DENVER CO 80221-7401

SWEENEY DANNY R AND
SWEENEY MARY D
6841 RUTH WAY
DENVER CO 80221

STEPINA MARY J
6811 AVRUM DR
DENVER CO 80221-2528

TAYLOR NATALIE J AND
HARRELL JOHNNY R
6678 WARREN DR
DENVER CO 80221-2662

STEWART CHANDLER R
2183 W 67TH DR
DENVER CO 80221-2634

TAYLOR PETER J
301 MONROE ST
DENVER CO 80206-4444

STEWART DAVID R AND
STEWART SARA A
2150 W 68TH AVE
DENVER CO 80221-2566

TERRILL TROY AND
SCOTT SHELBY K
1917 W 67TH PL
DENVER CO 80221-2620

STOCKWELL MARK A AND
STOCKWELL YUIKO I
6719 AVRUM DR
DENVER CO 80221

TIMMONS TERESA A
2081 W 67TH PLACE
DENVER CO 80221

STOLTENBERG TODD W AND
FOWLER NICOLE A
6636 E MISSISSIPPI AVE
DENVER CO 80224-1816

TORVUND ROBERT CLARENCE AND
TORVUND ROBERT CLARENCE II
6841 FERN DR
DENVER CO 80221-2504

SULTANTONO ARMAND AND
BENYAMIN NADIA
2065 W 67TH PL
DENVER CO 80221

TRAN DUC VAN AND
TRAN NHU THI
6260 W 98TH DR
WESTMINSTER CO 80021

SUROVIK GARY D AND SUROVIK GAYLA
6630 W 73RD PL
ARVADA CO 80003

TRAN VU
PO BOX 8439
DENVER CO 80201

TRUJILLO GEORGE MAX
2120 W 68TH AVE
DENVER CO 80221-2566

VALLE CLAUDIA
6800 WARREN DR
DENVER CO 80221-2584

TRUJILLO MIKE A REVOCABLE LIVING TRUST &
TRUJILLO ISABEL R REVOCABLE LIVING TRUST
10656 URA LN
DENVER CO 80234-3660

VALLERO THOMAS J AND
KENTNER ELIZABETH V
2610 FERN DRIVE
WESTMINSTER CO 80030

TRUJILLO RUBEN MANUEL
2530 W 65TH PL
DENVER CO 80221-2205

VANN ANNA E AND
VANN MIKE
6895 MORRISON DR
DENVER CO 80221-2510

TRUXAL RYAN W AND
DELLEBOVI CHRISTA R
2077 W 67TH PL
DENVER CO 80221

VANN MIKE AND
VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

TURNER ALEXANDER J AND
TURNER SANDRA N
1895 W 67TH PL
DENVER CO 80221-2612

VANN MIKE AND VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

TYLER TANYA R
2060 W 67TH PL
DENVER CO 80003

VAZQUEZ ZAIRA E PICAZO
661 ELBERT ST
DENVER CO 80221-4061

URBAN DRAINAGE AND
FLOOD CONTROL DISTRICT
2480 W 26TH AVE SUITE 156B
DENVER CO 80211

VELIZ SERGIO PONCE
7011 BRYANT WAY
WESTMINSTER CO 80030-5636

VAGHER INVESTMENTS LLC
1935 SNOWY OWL DR
BROOMFIELD CO 80020-0612

VENEGAS ODILON AND
VENEGAS MARIA ISABEL GANDARA
7041 CLAY STREET
WESTMINSTER CO 80030-5644

VALDEZ ADELLA/TIMOTHY/FRANCES/JOAN AND
VALDEZ DANIEL/KATHERINE
7160 BERTHOUD ST
WESTMINSTER CO 80030-5633

VENZOR RAMON/IMELDA AND
VENZOR IVAN AND ADRIAN
2560 FERN DR
WESTMINSTER CO 80030-5648

VALDEZ CORSIE E AND
OLIVAS SALLY
6921 MORRISON DR
DENVER CO 80221-2512

VILLAGRANA JORGE LUIS
6850 LARSH DRIVE
DENVER CO 80221

VILLALOBOS ADAN
6831 AVRUM DR
DENVER CO 80221

WELLS CHARLES J JR AND
WELLS SHARON
2580 W 66TH PLACE
DENVER CO 80221

VILLALOBOS HECTOR AND
SILVA OSMAR VILLALOBOS
6800 JORDAN DR
DENVER CO 80221-2509

WHEELER LENA AND
WHEELER ALICIA N
6610 E MISSISSIPPI AVE
DENVER CO 80224-1816

VILLALOBOS LAURO AND
VILLALOBOS SERGIA
6851 AVRUM DR
DENVER CO 80221

WICKHAM MICHAEL A AND
WICKHAM JACI L
6721 MORRISON DR
DENVER CO 80221

WALTERS CHARLES W AND
WALTERS RACHEL T
6926 MORRISON DR
DENVER CO 80221-2513

WILLIAMS KEN C AND
MULLIN MARY KATHERINE
6610 FERN DR
DENVER CO 80221

WALTERS CHARLES W AND
WALTERS RACHEL T
6830 RUTH WAY
DENVER CO 80221-2553

WINCHELL MARK A AND
WINCHELL DARLENE
369 N MANLEY RD
RIPON CA 95366-2117

WARREN TY A AND
WARREN KELLY C
1985 W 67TH PL
DENVER CO 80221-2620

WOLFERS ERNEST CLAUD
2385 W FORD PL
DENVER CO 80223-2503

WEAVER DEBORAH K
2475 W 65TH AVE
DENVER CO 80221

WONG GARY
2049 W 67TH PL
DENVER CO 80221

WEBER DAVID A
6900 WARREN DRIVE
DENVER CO 80221

WONG TACK AND
WONG BETTY
6831 JORDAN DR
DENVER CO 80221-2508

WELLS CHARLES J AND
WELLS SHARON L
2580 W 66TH PL
DENVER CO 80221-2214

WRIGHT JOHN A AND
CONOVER JACOB N
2110 W 67TH PL
DENVER CO 80221

WELLS CHARLES J AND
WELLS SHARON
2580 W 66TH PL
DENVER CO 80221-2214

YANG SIAGE AND YANG BLIA
2620 FERN DR
WESTMINSTER CO 80030-5649

YARDLEY DONALD E TRUST
2199 W 67TH DR
DENVER CO 80221-2634

ZAFFUTO JASON D AND
ZAFFUTO MARYIA
2160 W 68TH AVE
DENVER CO 80221-2566

ZAPATA ALBERTO AND
ARELLANO HEATHER
6631 MORRISON DR
DENVER CO 80221

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Request for Comments

Case Name:	Midtown Filing 9 FDP
Case Number:	PRC2016-00018

January 3, 2017

Adams County Planning Commission is requesting comments on the following request:

1) Final Development Plan (FDP) to allow 53 lots on approximately 5.216 acres in the P-U-D, Planned Unit Development zone district; 2) Major Subdivision Preliminary/Final Plat) to create 53 residential lots; and 3) Subdivision Improvement Agreement (SIA) for Filing No. 9.

This request is located at **SW corner of W. 68th Ave. and Pecos St.**

The Assessor's Parcel Number is **0182504308015**

Applicant Information **MIDTOWN LLC (MARC SAVELA)**
6465 S GREENWOOD PLAZA BLVD. STE 700
CENTENNIAL, CO 80111

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by **01/27/2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

6701 Pecos St.

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Filing 9
Property Owner
Labels

1741 LLC
15163 W 32ND DR
GOLDEN CO 80401-1369

ARROYO CAP II LLC
100 W BROADWAY STE 680
LONG BEACH CA 90802-4463

ABDULLAH LINDSEY N AND
ABDULLAH JOSEPH M
1646 W 67TH AVE
DENVER CO 80221-2610

ARROYO CAP II LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

ADDISON NOLAN A AND
LINN ADDISON MARGARET M
1900 W 68TH AVE
DENVER CO 80221-2536

ATKINSON DAVID S AND
MOONEY SHANNON K
6778 LARSH DR
DENVER CO 80221-2568

AIR PURIFICATION COMPANY
1861 W 64TH LANE
DENVER CO 80221-2347

AXTELL WILLIAM
1531 W 66TH AVE
DENVER CO 80221

AMATO EMILY S
6709 RARITAN DR
DENVER CO 80221-2613

BAKEMAN CHAD G AND
BAKEMAN LISA K
6707 ALAN DR
DENVER CO 80221-2502

AN KEDONG
3010 N SPEER BLVD
DENVER CO 80211

BALKEN BRANDIE AND
LEDUC LISA
6640 AVRUM DR
DENVER CO 80221

ANDERSON PETER L AND
ANDERSON THERESA ANN
6723 RARITAN DR
DENVER CO 80221-2613

BALLINA FELIPE A AND
MYHAVER KALLY L
1812 W 68TH AVE
DENVER CO 80221-2506

ANDREWS MARY LOU
6850 PECOS ST
DENVER CO 80221-7002

BANUELOS MARIA
PO BOX 21144
DENVER CO 80221-0144

ANTHONY RYAN D AND
ANTHONY EKATERINA
1847 W 67TH AVE
DENVER CO 80221-2616

BARNETT/BISTLINE LLC
6851 PECOS ST
DENVER CO 80221-7001

ARNOLD THOMAS K
6762 LARSH DR
DENVER CO 80221-2568

BARRETT GRAHAM AND
BARRETT TAYLOR
1875 W 66TH AVE
DENVER CO 80221

BARRON MICHELLE AND
BARRON GREGORY
1938 W 67TH AVE
DENVER CO 80221-2619

BODNAR HILL AMBER DIANE AND
HILL ZACHARY MICHAEL
1914 W 67TH AVE
DENVER CO 80221-2619

BEASLEY HUDSON AND
BEASLEY MARISSA
1794 W 67TH PL
DENVER CO 80221-2617

BOURQUE BASIL J AND
LARSON EMILY A
6743 AVRUM DR
DENVER CO 80221-2567

BEASLEY HUDSON AND
BEASLEY MARISSA
1795 W 67TH PL
DENVER CO 80221-2617

BRIGGS ROBERT R AND
BRIGGS NANCY C
6821 PECOS ST
DENVER CO 80221-7001

BERGGREN CASEY R
1851 W 66TH AVE
DENVER CO 80221

BROOKS CALEB
1415 W 66TH PL
DENVER CO 80221-2598

BERGMANN ANDREAS W AND
BOOG SANDRA
6714 ALAN DR
DENVER CO 80221

BROWN REBECCA
1555 E 66TH AVE
DENVER CO 80229-7223

BESA LLC
6742 LARSH DR
DENVER CO 80221-2568

BRUMLEVE HAROLD J AND
BRUMLEVE ERIN M
1902 W 67TH AVE
DENVER CO 80221

BEST BRANDON FREDERICK AND
BEST ELIZABETH ANN
1765 W 67TH PL
DENVER CO 80221

BRYCK JEREMY J
1787 W 67TH AVE
DENVER CO 80221-2609

BIEKER JOE AND
BIEKER ANTHONY
1840 W 66TH AVE
DENVER CO 80221

BUENO MARCIANO AND
BUENO NORMA
6821 ALAN DR
DENVER CO 80221-2520

BINGHAM LEIGH A AND
FORGHAM CHRISTOPHER J
1814 W 67TH AVE
DENVER CO 80221-2616

BULLOCK ETHAN H AND
MOELLER JENNIFER L
6654 AVRUM DR
DENVER CO 80221-2591

BLAKE SARAH
6739 RARITAN DR
DENVER CO 80221-2613

BULMAN WILLIAM J III AND
BULMAN CATHERINE M
6731 RARITAN DR
DENVER CO 80221-2613

BUSTILLOS LUIS CARLOS AND
BUSTILLOS SANDRA
6871 OSAGE ST
DENVER CO 80221-7034

CINCERA CHRISTOPHER J
6633 AVRUM DR
DENVER CO 80221

CARIDI MICHAEL F
6641 ALAN DR
DENVER CO 80221

CLARK STEPHEN BRUCE AND
CAVIGLIA ELLEN
1764 W 67TH AVE
DENVER CO

CARPANINI JENNIFER J AND
CARPANINI JOHN A AND RUGH ALEXANDER W
1904 W 67TH PL
DENVER CO 80221-2620

CLARKE JAMES S
1913 W 67TH AVE
DENVER CO 80221-2619

CARROLL MARK J
4320 FOX ST
DENVER CO 80216-2643

CLEAR CREEK STATION METROPOLITAN
DISTRICT NO 1 C/O WHITE BEAR & ANKELE
2154 E COMMONS AVE STE 2000
LITTLETON CO 80122-1880

CARTWRIGHT BROOKE MICHELLE AND
CARTWRIGHT WESLEY THOMAS
1424 W 66TH PL
DENVER CO 80221-2598

CODER LISA JOAN AND
CODER DAVID MARTIN
6762 ALAN DR
DENVER CO 80221-2500

CENTURY AT MIDTOWN LLC
8390 E CRESCENT PKWY STE 650
GREENWOOD VILLAGE CO 80111-2940

COLB MARCI A AND
COLB MICHAEL A
6642 LARSH DR
DENVER CO 80221

CHANG YEN-CHEN AND
PUETT MICAH
1928 W 67TH PL
DENVER CO 80221-2620

COOK SHELLEY
1898 W 66TH AVE
DENVER CO 80221

CHARLAND KRISTIE L AND
FRY STEPHEN D
1408 W 67TH AVE
DENVER CO 80221

COOPER STEPHANIE AND
COOPER ZACHARY
6871 ALAN DR
DENVER CO 80221-2520

CHUONG KIKI K AN D
LAU HENRY K
1772 W 68TH AVE
DENVER CO 20221

COOVER TIFFANY R
6651 OSAGE ST
DENVER CO 80221-2673

CICHOSZ CRAIG R AND
CICHOSZ SUSAN R
1664 W 67TH AVE
DENVER CO 80221

CORDOVA MARIA S
7027 OTIS ST
ARVADA CO 80003-3601

CROCKETT CLINTON C AND
CROCKETT CAROLYN
1449 W 66TH PL
DENVER CO 80221

ENCINIAS ANTONIO
6860 AVRUM DR
DENVER CO 80221-2529

CUNNINGHAM DANIELLE M
1896 W 68TH AVE
DENVER CO 80221-2506

EPSTEIN JENNIFER A AND
EPSTEIN RYAN J
6630 AVRUM DR
DENVER CO 80221

DAUW JACQUELINE P
1416 W 67TH AVE
DENVER CO 80221

ESPARZA MANUEL J AND
ESPARZA ELMA P
6800 LARSH DR
DENVER CO 80221-2539

DAVIS DANIEL
6870 AVRUM DR
DENVER CO 80221-2529

FABI LISA A
1755 W 67TH AVE
DENVER CO 80221-2609

DECHANT GARY M AND
DECHANT JOYCE L
6860 OSAGE ST
DENVER CO 80221-7035

FALOR RYAN A AND
MCENULTY TESS R
1860 E 68TH AVE APT W
DENVER CO 80229-7332

DERP SAMUEL J AND
SAVAGE JEREMY D
1912 W 68TH AVE
DENVER CO 80221

FANG MIN
1554 W 67TH AVE
DENVER CO 80221-2670

DEWEY CHARLES R AND
DEWEY AMY B/CAITLIN A
1919 W 66TH AVE
DENVER CO 80221

FARNSWORTH DENNIS J/KIFER PAUL D AND
KIFER MEGAN A
6821 NAVAJO ST
DENVER CO 80221-7030

DUNHAM GREGORY H AND
DUNHAM LAUREN E
1801 W 67TH PL
DENVER CO 80221-2612

FERRARA JEFFREY DANIEL AND
FERRARA ALYSSA MARIE
1813 W 67TH PL
DENVER CO 80221-2612

DURAN RACHEL L
6850 AVRUM DR
DENVER CO 80221-2529

FIERRO COLEEN B AND
ELMI REZA
1845 W 67TH PL
DENVER CO 80221-2612

DYE CHRISTOPHER AND
DYE DEIRDRA
1836 W 67TH PL
DENVER CO 80221-2612

FISHER AMY AND
FISHER DAMON
1401 W 66TH PL
DENVER CO 80221-2598

FLYNN THOMAS
1746 W 67TH PL
DENVER CO 80221

GOLDBLUM BARBARA
1433 W 66TH PL
DENVER CO 80221

FRAZIER WILLIAM T AND
FRAZIER ALEXANDRA M
6756 LARSH DR
DENVER CO 80221-2568

GONNERMAN LACHRISHA
1886 W 66TH AVE
DENVER CO 80221

FREDIN KYLE D AND
GILL ERIC A
6643 AVRUM DR
DENVER CO 80221-2591

GONZALES SHANTEL DOMINIQUE
1441 W 66TH AVE
DENVER CO 80221-2598

FRIGO MICHAEL A AND
PASCARELLA STEPHANIE N
6660 PECOS ST
DENVER CO 80221

GOSZ BENJAMIN
1407 W 66TH PL
DENVER CO 80221-2598

FULTON THOMAS
6668 OSAGE ST
DENVER CO 80221-2673

GRAHAM JANET M AND
GFAHAM MICHAEL D
1783 W 67TH PL
DENVER CO 80221-2617

GALLAGHER HALL LA RAE
43115 MOORE CIR
BERMUDA DUNES CA 92203-3501

GUTIERREZ ARTURO AND
MENDOZA SILVIA
6880 AVRUM DR
DENVER CO 80221-2529

GALLEGOS JOE A
6831 NAVAJO ST
DENVER CO 80221-7030

H BRASHIER MANAGEMENT LLC
PO BOX 81189
LAFAYETTE LA 70598-1189

GARCIA KIMBERLY S AND
GARCIA GILBERT ROMAN
1848 W 68TH AVE
DENVER CO 80221-2506

HAJJAJ IBRAHIM S AL HAJJAJ
1764 W 67TH PL
DENVER CO 80221-2617

GEORGE KYLE T AND
GEORGE CALLIE K
1824 E 68TH AVE APT W
DENVER CO 80229-7332

HALL DIANA AND
HALL RICHARD M
6661 OSAGE ST
DENVER CO 80221

GLASSMAKER TODD
1872 W 68TH AVE
DENVER CO 80221

HALL TIMOTHY J AND
HALL ALLISON M
6748 LARSH DR
DENVER CO 80221-2568

HAMPEL BRENDA A
1870 W 67TH AVE
DENVER CO 80221-2616

HSB ENTERPRISES LLC
8452 ZEPHYR ST
ARVADA CO 80005

HANSEN PHILLIP C
6820 OSAGE ST
DENVER CO 80221

HUNER RICHARAD R AND
HUNER CYNTHIA C
111 CHANCERY CT
AUSTIN TX 78737-4582

HARO JOSE AND
HARO MARIA DOLORES
6870 OSAGE ST
DENVER CO 80221-7035

HUNTER MATTHEW B AND
HUNTER LAUREN E
1580 W 67TH AVE
DENVER CO 80221-2670

HARP KELLEY W AND
HARP VICTORIA H
6735 AVRUM DR
DENVER CO 80221-2567

HUDE KATHLEEN M
6737 ALAN DR
DENVER CO 80221-2502

HATFIELD HAYLEY C
1834 W 66TH AVE
DENVER CO 80221

JACKSON JULIA A AND
JACKSON BRIAN T
6746 ALAN DR
DENVER CO 80221

HELLMAN STEPHANIE S
6758 AVRUM DR
DENVER CO 80221-2567

JACOBS BARBARA E AND
JACOBS MICHAEL L JR
6771 RARITAN DR
DENVER CO 80221

HERNANDEZ RAQUEL PAULINE AND
HERNANDEZ CHAPARRO EVER
6811 ALAN DR
DENVER CO 80221-2520

JANSEN LAURA
1815 W 66TH AVE
DENVER CO 80221-2585

HOELSCHER SHEILA AND
HOELSCHER ANDREW
1796 W 68TH AVE
DENVER CO 80221-2521

JETT CULLEN
1828 W 66TH AVE
DENVER CO 80224

HOUGH G LYNN AND
HOUGH TRACEY O HANLON
1857 W 67TH PL
DENVER CO 80221-2612

JOHNSON CLIFFORD D AND
JOHNSON KAREN L
6734 LARSH DR
DENVER CO 80221-2568

HOWELL JAMES T AND
CLARK MCKAYLA C
6786 LARSH DR
DENVER CO 80221-2568

JOHNSON MONICA LYNN AND
JOHNSON MICHAEL KEITH
1929 W 67TH PL
DENVER CO 80221-2620

JONES TOMMY CURTIS II
1440 W 66TH PL
DENVER CO 80221-2598

KOLESAR MATTHEW
1825 W 67TH PL
DENVER CO 80221-2612

JUBY TANNER/CURTIS AND
JUBY TRACIE A
6801 ALAN DR
DENVER CO 80221-2520

KRUK ERICA MARIE AND
KRUK ROBERT MARK
1869 W 67TH AVE
DENVER CO 80221-2616

KADIRI LEELA KRISHNA
6644 PECOS ST
DENVER CO 80221

KRUSE MATTHEW W AND
KRUSE EVA
1856 W 67TH PL
DENVER CO 80221-2612

KARWOSKI CHRISTOPHER AND
KARWOSKI HEIDI
6729 ALAN DR
DENVER CO 80221-2502

L AND H LLC
6899 PECOS ST UNIT C
DENVER CO 80221

KEKAKE HALE LLC
ATTN HALEY AND COMPANY
230 S HOLLAND STREET
LAKEWOOD CO 80226

LANG HEIDI GANSER AND
LANG TIMOTHY DANIEL
1784 W 68TH AVE
DENVER CO 80221-2521

KELLY PAIGE AND
KELLY PATRICK
6754 ALAN DR
DENVER CO 80221

LANSINGER PAMELA A
1432 W 66TH PL
DENVER CO 80221-2598

KILLEN MICHAEL
6750 AVRUM DR
DENVER CO 80221-2567

LARAWAY NOAH J AND
LARAWAY KATHLYN A
6710 LARSH DR
DENVER CO 80221-2568

KJELLENSEN ALEX AND KJELLENSEN JACLYN AND
ROSANIA JOSEPH G JR
1416 W 66TH PL
DENVER CO 80221-2598

LEE RHETT
1822 W 66TH AVE
DENVER CO 80221

KLEEMANN MICHAEL E
3297 S OSCEOLA ST
DENVER CO 80236

LEE TIMOTHY K AND
LEE HEATHER METIVIER
6763 RARITAN DR
DENVER CO 80221-2613

KOEDEL KELLIE
6606 OSAGE ST
DENVER CO 80221-2673

LEMBKE WILLIAM R
1924 W 68TH AVE
DENVER CO 80221-2536

LEMME JUSTIN DAVID AND
LEMME MISA
6770 LARSH DR
DENVER CO 80221-2568

MALAGON ALEJANDRA AND
FLORES VINICIO A
6891 ALAN DR
DENVER CO 80221-2520

LESHEM ELAD AND
LESHEM SHIRLEY
18842 E DORADO PL
AURORA CO 80015-5123

MARQUEZ COLIN AND
ROMERO DENISE
1763 W 67TH AVE
DENVER CO 80221-2609

LIU SHARON T
1676 W 67TH AVE
DENVER CO 80221-2610

MARTINEZ DEBRA J
1884 W 68TH AVE
DENVER CO 80221-2506

LOHMAN KELLEREY AND
BUSCHENFELDT MARK
1949 W 67TH AVE
DENVER CO 80221-2619

MARTINEZ GINA L
6851 ALAN DR
DENVER CO 80221-2520

LOKER KRISTEN AND
PERRY LUKAS
1393 W 66TH PL
DENVER CO 80221-2593

MARTINEZ TYSON AND
MARTINEZ CHARLEA
6744 AVRUM DR
DENVER CO 80221-2567

LUNA JUAN AND
LUNA ROSALBA
1401 W 68TH AVE
DENVER CO 80221-7009

MARTORANA MATTHEW AND
MARTORANA ASHLEY
6631 ALAN DR
DENVER CO 80221-2590

LUND GORDON J AND
LUND JUDITH Y
218 TATUM CT
MANITOWOC WI 54220-1968

MC CARTHY BRENDEN J
1910 W 66TH AVE
DENVER CO 80221-2586

MACHA DENNIS AND
MACHA MARSHA
1408 W 66TH PL
DENVER CO 80221-2598

MERK ETHAN A AND
MCCOURT MEGAN A
6755 RARITAN DR
DENVER CO 80221-2613

MAENIUS JUSTIN ROSS
6753 ALAN DR
DENVER CO 80221-2502

MERTZ NICKLAUS AND
JOHNSON ASHLEY
6749 AVRUM DR
DENVER CO 80221-2567

MAGENIS THOMAS D AND
MAGENIS JENNIFER L
1530 W 67TH AVE
DENVER CO 80221-2670

METZKER BEN AND
METZKER EMILY
1854 W 66TH AVE
DENVER CO 80221

MEYER AMANDA
6891 OSAGE ST
DENVER CO 80221-7034

MORALES YOLANDA S AND
MORALES ROCKY S
6810 LARSH DRIVE
DENVER CO 80221

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MORAN PATRICK STEFAN AND
MORAN CHELSEA M
6653 AVRUM DR
DENVER CO 80221-2591

MIDTOWN LLC
2154 E COMMONS AVE STE 2000
CENTENNIAL CO 80122-1880

MORGAN RICHARD AND
NOREUIL FRANCESCA
4326 WOLFF ST
DENVER CO 80212-2418

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MORMOOSE PROPERTIES LLC
8588 E KETTLE PL
CENTENNIAL CO 80112-2709

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
GREENWOOD VILLAGE CO 80111-7103

MORRIS PAUL AND
ORTOLA BREANNA
1925 W 67TH AVE
DENVER CO 80221-2619

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

MOSS JUSTIN AND
MOSS STACEY
6757 AVRUM DR
DENVER CO 80221-2567

MILLER MATTHEW AND
MILLER KRYSTAL
6794 LARSH DR
DENVER CO 80221-2568

MSR LLC II
1250 S PARKER RD
DENVER CO 80231-7559

MISURACA DAVID AND
MISURACA KELLY
6721 ALAN DR
DENVER CO 80221-2502

MULLINS DAVID J AND
CRAIG CHARLES W
1743 W 67TH AVE
DENVER CO 80221-2609

MITCHLER COURTNEY AND
MITCHLER LEONARD
1934 W 67TH PL
DENVER CO 80221-2620

MUMFORD AARON P AND
MUMFORD AHSLEY A
1905 W 67TH PL
DENVER CO 80221-2620

MORALES KELLY
6640 PECOS ST
DENVER CO 80221

MUNDERLOH GRETCHEN
1433 W 66TH PL
DENVER CO 80221-2598

MURRAY KIA AND
MURRAY BRIAN
6712 AVRUM DR
DENVER CO 80221-2567

NIXON MICHAEL F AND
NIXON MARIE NOELLE
1712 W 67TH AVE
DENVER CO 80221-2609

NGUYEN DUNG ANH
6123 W GOULD DR
LITTLETON CO 80123-5141

NORTH PECOS WATER AND
SANITATION DIST
6900 PECOS ST
DENVER CO 80221

NGUYEN DUONG D AND
PHAN THANH LOAN T
6705 AVRUM DR
DENVER CO 80221

ORTIZ FILIBERTO AND
CHAVEZ CLAUDIA
6830 LARSH DRIVE
DENVER CO 80221

NGUYEN JESSE
1940 W 67TH PL
DENVER CO 80221-2620

ORTIZ RONALDO AND
ORTIZ XIOMARA
6718 LARSH DR
DENVER CO 80221-2568

NGUYEN LOC H
6632 LARSH DR
DENVER CO 80221

OSAGE COUNTY LLC
7648 E SEVERN DR
DENVER CO 80230-6113

NGUYEN THACH AND
VILLEGAS CARINA
1440 W 67TH AVE
DENVER CO 80221

OWOLANA BOLUWATIFE O
1585 W 66TH AVE
DENVER CO 80221

NGUYEN XEREX AND NGUYEN ANH THI AND
LEDESMA LORETTA
1926 W 67TH AVE
DENVER CO 80221-2619

PANAGOS JAMES N AND
PUGH KATHLYN M
1826 W 67TH AVE
DENVER CO 80221

NICHOLS PATRICK J AND
NEINER DOINITA
6747 RARITAN DR
DENVER CO 80221-2613

PANNIER MICHAEL ROBERT AND
DRABCZYK ANDREA VICTORIA
6632 OSAGE ST
DENVER CO 80221-2673

NIKOLENKO SERGEY I
1781 W 64TH LN
DENVER CO 80221-2346

PERSICHITTE NICHOLAS C AND
PERSICHITTE KARLA M
6655 OSAGE ST
DENVER CO 80221-2673

NILEMO JONATHAN D AND
CHAMPION AMANDA K
6711 AVRUM DR
DENVER CO 80221

PETERS SUTTIDA AND
PETERS COLLIN V
1540 W 67TH AVE
DENVER CO 80221-2670

PETERSEN BENJAMIN AND
PETERSEN MONICA C
1881 W 67TH AVE
DENVER CO 80221-2616

RAMIREZ JOSE
6510 NEWTON ST
ARVADA CO 80003-6449

PFEIFER JODY
1415 W 66TH PL
DENVER CO 80221-2598

RANSOM SANDRA L AND
FOX NANCY A
1441 W 66TH PL
DENVER CO 80221

PIERCE CURTIS ANDRE AND
WEBSTER RACHEL R
1837 W 67TH PL
DENVER CO 80221-2612

RASSEKH TIMUR AND
RASSEKH LIDA
1863 W 67TH PL
DENVER CO 80221-2612

PINO LAUREN V
6861 ALAN DR
DENVER CO 80221-2520

REIDY CHRISTOPHER DEAN
6655 ALAN DR
DENVER CO 80221

PLAKORUS DAVID R
1903 W 66TH AVE
DENVER CO 80221

REYES DINOT V JR AND
REYES TISHA
1652 W 67TH AVE
DENVER CO 80221-2610

PLANTE ANTHONY HAROLD AND
PLANTE TOBY LYNN
1887 W 67TH PL
DENVER CO 80221-2612

REYES EVERADO AND DE LA LUZ CASTANEDA
6881 ALAN DR
DENVER CO 80221-2520

PLONIS THEODORE J
3075 THISTLEBROOK CIR
HIGHLANDS RANCH CO 80126-7833

REYNIERS ROELAND
1571 E 66TH AVE
DENVER CO 80229-7223

PORTER TIMOTHY J AND
PORTER PATRICIA E
1882 W 67TH AVE
DENVER CO 80221-2616

RHUDY DONALD K AND
RHUDY MARJORIE L
6841 AVRUM DR
DENVER CO 80221-2528

RADER FAMILY LIVING TRUST THE
10315 HOLLY SPRINGS DR
HOUSTON TX 77042-1529

RINI MARY ANN AND
HYLAND WARREN D
6652 LARSH DR
DENVER CO 80221

RAMEY ADAM
6650 PECOS ST
DENVER CO 80221

ROACH MEGHAN J AND
SITTNICK MARTIN W
1392 W 67TH AVE
DENVER CO 80221

RODRIGUEZ CESAR CARRERA AND
CARRERA MARIA
6830 AVRUM DR
DENVER CO 80221-2529

SANDOVAL CORTEZ JUAN
6831 ALAN DR
DENVER CO 80221-2520

RUBY CHRIS AND
RUBY KIMBERLY
6715 RARITAN DR
DENVER CO 80221-2613

SANTARELLI JOYCE L
6881 OSAGE ST
DENVER CO 80221-7034

RUSSELL JENNIFER
1449 W 66TH AVE
DENVER CO 80221-2598

SCHIOLA BARBARA E AND
SCHIOLA PAUL J
6745 ALAN DR
DENVER CO 80221-2502

RUSSELL KAE T
1937 W 67TH AVE
DENVER CO 80221-2619

SCHNEBERGER TIMOTHY C AND
SCHNEBERGER ANGELA L
6727 AVRUM DR
DENVER CO 80221-2567

SAENZ JESUS CARRERA AND
RODRIGUEZ JESUS CARRERA
6821 AVRUM DR
DENVER CO 80221-2528

SEDILLO BRIAN P
1839 W 66TH AVE
DENVER CO 80221

SALAZAR DANTE G
1424 W 67TH AVE
DENVER CO 80221

SEIDL BARBARA L
6761 ALAN DR
DENVER CO 80221

SALE ALEXANDRA D
6793 RARITAN DR
DENVER CO 80221-2613

SEYMOUR ABIGAIL AND
KOCH AARON
6704 LARSH DR
DENVER CO 80221-2568

SALMONS JUSTIN C AND
SALMONS LINDA K
1734 W 67TH PL
DENVER CO 80221-2617

SHADLER SCOTT D AND
SHADLER CLAUDIA P
1901 W 67TH AVE
DENVER CO 80221

SAME PAGE LLC
1801 W 64TH LANE
DENVER CO 80221

SIEBERT CHARLES E AND
OBRIEN MOLLIE C
6708 ALAN DR
DENVER CO 80221

SANCHEZ MARCIA E
6801 AVRUM DRIVE
DENVER CO 80221

SILESKI RACHEL ANN
1634 W 67TH AVE
DENVER CO 80221-2610

SIMUTIS DAVID LEONARD AND
SIMUTIS MICHELLE UTT
1690 W 67TH AVE
DENVER CO 80221-2610

STYLES SAMUEL L AND
STYLES LAURA A
1800 W 68TH AVE
DENVER CO 80221-2506

SMITH PHILIP W AND
SMITH ELLEN S
1836 W 68TH AVE
DENVER CO 80221-2506

SWANSON MICHAEL A
1400 W 67TH AVENUE
DENVER CO 80221

SMITH RYAN J AND
SMITH JAMIE E
6713 ALAN DR
DENVER CO 80221-2502

T AND G PECOS LLC
6301 FEDERAL BLVD UNIT 3
DENVER CO 80221

SNIDER JESSE
1914 W 66TH AVE
DENVER CO 80221

TERRELL SHANNON AND
TERRELL DETTRELL
1448 W 66TH PL
DENVER CO 80221-2598

SOLOMON JOSEPH RYAN AND
SOLOMON KYLENE RENEE
6656 OSAGE ST
DENVER CO 80221

TERRILL TROY AND
SCOTT SHELBY K
1917 W 67TH PL
DENVER CO 80221-2620

SOUTHARD ANDREW C AND
SOUTHARD LYNN M
1827 W 66TH AVE
DENVER CO 80221

THOME JOSEPH AND
HUERTA-THOME CYNTHIA
6730 ALAN DR
DENVER CO 80221-2500

SPELLMAN NATALIE M
1897 W 66TH AVE
DENVER CO 80221

THORP CARLY J AND
MOORE WILLIAM B
1813 W 67TH AVE
DENVER CO 80221-2616

STEPINA MARY J
6811 AVRUM DR
DENVER CO 80221-2528

TOWNDROW LYNDA S AND
TOWNDROW DENNIS DEAN
6800 OSAGE ST
DENVER CO 80221-7035

STOCKWELL MARK A AND
STOCKWELL YUIKO I
6719 AVRUM DR
DENVER CO 80221

TOWNSEND JOHN D AND
TOWNSEND KATHRYN L
1863 W 66TH AVE
DENVER CO 80221

STROTHER MARY JOY CASIO
1864 W 67TH PL
DENVER CO 80221-2612

TRAN CHRISTOPHER
6785 RARITAN DR
DENVER CO 80221-2613

TURNER ALEXANDER J AND
TURNER SANDRA N
1895 W 67TH PL
DENVER CO 80221-2612

VOJSLAVEK CATHERINE AND
VOJSLAVEK ANDREW
6728 AVRUM DR
DENVER CO 80221-2567

ULIBARRI ALYSIA K AND
ULIBARRI ADAM V
1875 W 67TH PL
DENVER CO 80221-2612

WAGNER CHAD AND
HENSLEY DANIELLE
6639 OSAGE ST
DENVER CO 80221-2673

VAGHER JOSEPH P
6736 AVRUM DR
DENVER CO 80221-2567

WEEKLEY HOMES LLC
1111 N POST OAK RD
HOUSTON TX 77055-7310

VALLERO MARITA J AND
VALLERO NICHOLAS J
1448 W 67TH AVE
DENVER CO 80221

WEEKLEY HOMES LLC
3600 S YOSEMITE ST STE 350
DENVER CO 80237-1839

VAZQUEZ CAROLA M ICHAZO
6738 ALAN DRIVE
DENVER CO 80221-2500

WHITCOMB JACKSON J AND
CURTIS LAURA E
6779 RARITAN DR
DENVER CO 80221-2613

VILLALOBOS ADAN
6831 AVRUM DR
DENVER CO 80221

WILLARD RICHARD H AND
WILLARD ELISA L
1848 W 67TH AVE
DENVER CO 80221-2616

VILLALOBOS ADAN
6810 AVRUM DR
DENVER CO 80221-2529

WILSON KELLI MARIE AND
FLETCHER ERIC REED
1425 W 66TH PL
DENVER CO 80221

VILLALOBOS BRIGIDO
6820 AVRUM DR
DENVER CO 80221-2529

WOHADLO MARC O AND
RODENBORN KAREN
1848 W 66TH AVE
DENVER CO

VILLALOBOS LAURO AND
VILLALOBOS SERGIA
6851 AVRUM DR
DENVER CO 80221

WOLFE ANTOINETTE V
661 ELDORADO BLVD APT 623
BROOMFIELD CO 80021-8842

VISSER M JONATHAN AND
VISSER ELIZABETH
1541 E 66TH AVE
DENVER CO 80229-7223

WOOD CONOR CHARLES AND
WOOD KELSY JANE
1874 W 66TH AVE
DENVER CO 80221

WOODS JONATHAN AND
WOODS VICTORIA
6644 OSAGE ST
DENVER CO 80221-2673

YAFFE REBECCA
6706 AVRUM DR
DENVER CO 80221-2567

YOUNG SANDRA JO AND
YOUNG JACK M
PO BOX 621211
LITTLETON CO 80162-1211

ZEDNIK KRISTIN M AND
ZEDNIK STEPHAN T
1432 W 67TH AVE
DENVER CO 80221

ZEMMELMAN MATTHEW L AND
ZEMMELMAN MICHELLE E
1825 W 67TH AVE
DENVER CO 80221

ZIEGLER SCOTT T AND
ANTON DARCY E
1729 W 67TH AVE
DENVER CO 80221-2609

ZIELINSKI MATTHEW S
1844 W 67TH PL
DENVER CO 80221-2612



Request for Comments

Case Name:	Midtown Filing 10 Final Development Plan
Case Number:	PRC2016-00017

November 22, 2016

Adams County Planning Commission is requesting comments on the following request:

1) Final Development Plan (FDP) to allow 39 lots on approximately 4.105 acres in the P-U-D, Planned Unit Development zone district; 2) Major Subdivision Preliminary/Final Plat) to create 39 residential lots; and 3) Subdivision Improvement Agreement (SIA) for Filing No. 10.

This request is located at **approximately SE corner of W. 68th Ave and Pecos St.**

The Assessor's Parcel Number is **0182504400021**

Applicant Information **MIDTOWN LLC (MARC SAVELA)**

**6465 S. GREENWOOD PLAZA BLVD., SUITE 700
CENTENNIAL, CO 80111**

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 (720) 523-6800 by **12/14/2016** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

CERTIFICATE OF POSTING



I, Emily Collins do hereby certify that I had the property posted at

6704 Pecos St.

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

BLUME KYLE
6860 MARIPOSA ST
DENVER CO 80221-7027

BUSTILLOS LUIS CARLOS AND
BUSTILLOS SANDRA
6871 OSAGE ST
DENVER CO 80221-7034

BOARD OF COUNTY COMMISSIONERS OF
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

CARROLL MARK J
4320 FOX ST
DENVER CO 80216-2643

BONNER DANIEL J
1480 W 69TH AVE
DENVER CO 80221-7018

CARTWRIGHT BROOKE MICHELLE AND
CARTWRIGHT WESLEY THOMAS
1424 W 66TH PL
DENVER CO 80221-2598

BOX BOBBI J
1362 W 66TH PL
DENVER CO 80221-2593

CENTURY AT MIDTOWN LLC
8390 E CRESCENT PKWY STE 650
GREENWOOD VILLAGE CO 80111-2940

BRICK GARAGE LLC
1550 LARIMER ST UNIT 256
DENVER CO 80202-1643

CHARLAND KRISTIE L AND
FRY STEPHEN D
1408 W 67TH AVE
DENVER CO 80221

BRIGGS ROBERT R AND
BRIGGS NANCY C
6821 PECOS ST
DENVER CO 80221-7001

CHUONG KIKI K AN D
LAU HENRY K
1772 W 68TH AVE
DENVER CO 20221

BROOKS CALEB
1415 W 66TH PL
DENVER CO 80221-2598

CICHOSZ CRAIG R AND
CICHOSZ SUSAN R
1664 W 67TH AVE
DENVER CO 80221

BROWN REBECCA
1555 E 66TH AVE
DENVER CO 80229-7223

CLEAR CREEK STATION METROPOLITAN
DISTRICT NO 1 C/O WHITE BEAR & ANKELE
2154 E COMMONS AVE STE 2000
LITTLETON CO 80122-1880

BRYANT HARRY A JR AND
BROWN ANN MARIAH
6871 MARIPOSA ST
DENVER CO 80221-7081

CODER LISA JOAN AND
CODER DAVID MARTIN
6762 ALAN DR
DENVER CO 80221-2500

BRYCK JEREMY J
1787 W 67TH AVE
DENVER CO 80221-2609

COOVER TIFFANY R
6651 OSAGE ST
DENVER CO 80221-2673

CORDOVA ANTHONY A AND
CORDOVA PATSY K
1020 W 68TH CT
DENVER CO 80221-7054

FABI LISA A
1755 W 67TH AVE
DENVER CO 80221-2609

CORDOVA MARIA S
7027 OTIS ST
ARVADA CO 80003-3601

FARNSWORTH DENNIS J/KIFER PAUL D AND
KIFER MEGAN A
6821 NAVAJO ST
DENVER CO 80221-7030

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

FEAR BRIDGETT L
6855 SANTA FE DR
DENVER CO 80221-7059

CROCKETT CLINTON C AND
CROCKETT CAROLYN
1449 W 66TH PL
DENVER CO 80221

FISHER AMY AND
FISHER DAMON
1401 W 66TH PL
DENVER CO 80221-2598

DAUW JACQUELINE P
1416 W 67TH AVE
DENVER CO 80221

FLYNN THOMAS
1746 W 67TH PL
DENVER CO 80221

DAVIDSON DEE ELLEN (LIFE ESTATE)
6800 NAVAJO ST
DENVER CO 80221-7031

FLYNN TIMOTHY E AND
FLYNN TRICIA A
6821 MARIPOSA ST
DENVER CO 80221-7026

DEAN MAILING EQUIPMENT/SERVICES
INCORPORATED
1231 W 68TH AVE
DENVER CO 80221-7005

FRIGO MICHAEL A AND
PASCARELLA STEPHANIE N
6660 PECOS ST
DENVER CO 80221

DECHANT GARY M AND
DECHANT JOYCE L
6860 OSAGE ST
DENVER CO 80221-7035

FROST AMY L WHITE AND
WHITE ADAM R
1764 W 67TH AVE
DENVER CO 80221-2609

DIMITROV GEORGE
6731 RARITAN DR
DENVER CO 80221-2613

FULTON THOMAS
6668 OSAGE ST
DENVER CO 80221-2673

DUNHAM GREGORY H AND
DUNHAM LAUREN E
1801 W 67TH PL
DENVER CO 80221-2612

GALLEGOS JOE A
6831 NAVAJO ST
DENVER CO 80221-7030

GARCIA MANUEL
6840 SANTA FE DR
DENVER CO 80221

HAJJAJ IBRAHIM S AL HAJJAJ
1764 W 67TH PL
DENVER CO 80221-2617

GOERGEN JORDAN A AND
GOERGEN NATHAN J
1377 W 66TH PL
DENVER CO 80221-2593

HALL DIANA AND
HALL RICHARD M
6661 OSAGE ST
DENVER CO 80221

GOLDBLUM BARBARA
1433 W 66TH PL
DENVER CO 80221

HANSEN PHILLIP C
6820 OSAGE ST
DENVER CO 80221

GONZALES SHANTEL DOMINIQUE
1441 W 66TH PL
DENVER CO 80221-2598

HARMON LUCAS J AND
THOMAS YVONNE D
1385 W 66TH PL
DENVER CO 80221-2593

GOSZ BENJAMIN
1407 W 66TH PL
DENVER CO 80221-2598

HARO JOSE AND
HARO MARIA DOLORES
6870 OSAGE ST
DENVER CO 80221-7035

GRAHAM JANET M AND
GFAHAM MICHAEL D
1783 W 67TH PL
DENVER CO 80221-2617

HARO RICHARD
1279 W 69TH AVE
DENVER CO 80221

GRANDT DAVID M AND
GRANDT LOIS ANN
6890 NAVAJO ST
DENVER CO 80221-7031

HAUS KYLE VIRGIL AND
HANNAM KATIE CHRISTINA
1361 W 66TH PL
DENVER CO 80221-2593

GUTIERREZ SHAWN M
6895 NAVAJO ST
DENVER CO 80221-7030

HOELSCHER SHEILA AND
HOELSCHER ANDREW
1796 W 68TH AVE
DENVER CO 80221-2521

H BRASHIER MANAGEMENT LLC
PO BOX 81189
LAFAYETTE LA 70598-1189

HOUSING AUTHORITY OF THE COUNTY OF ADAMS
7190 COLORADO BLVD
COMMERCE CITY CO 80022

HAGERMAN ERIN E
1354 W 67TH AVE
DENVER CO 80221

HSB ENTERPRISES LLC
8452 ZEPHYR ST
ARVADA CO 80005

HUNTER MATTHEW B AND
HUNTER LAUREN E
1580 W 67TH AVE
DENVER CO 80221-2670

KING HOWARD G/REED GARY/HOEFFNER RENE L
TRUSTEES/CHURCH OF GOD OF PROPHECY
1010 W 69TH AVE
DENVER CO 80221

HURTADO ALFRED
6820 SANTA FE DR
DENVER CO 80221-7060

KING WAYNE D
6820 NAVAJO ST
DENVER CO 80221-7031

JACKSON JULIA A AND
JACKSON BRIAN T
6746 ALAN DR
DENVER CO 80221

KJELLEN ALEX AND KJELLEN JACLYN AND
ROSANIA JOSEPH G JR
1416 W 66TH PL
DENVER CO 80221-2598

JACOBS BARBARA E AND
JACOBS MICHAEL L JR
6771 RARITAN DR
DENVER CO 80221

KOEDEL KELLIE
6606 OSAGE ST
DENVER CO 80221-2673

JONES SHAUN MICHAEL AND
JONES ERIN KATHLEEN
6841 NAVAJO ST
DENVER CO 80221-7030

L AND H LLC
6899 PECOS ST UNIT C
DENVER CO 80221

JONES TOMMY CURTIS II
1440 W 66TH PL
DENVER CO 80221-2598

LANG HEIDI GANSER AND
LANG TIMOTHY DANIEL
1784 W 68TH AVE
DENVER CO 80221-2521

KADIRI LEELA KRISHNA
6644 PECOS ST
DENVER CO 80221

LANSINGER PAMELA A
1432 W 66TH PL
DENVER CO 80221-2598

KEKAKE HALE LLC
ATTN HALEY AND COMPANY
230 S HOLLAND STREET
LAKEWOOD CO 80226

LEE TIMOTHY K AND
LEE HEATHER METIVIER
6763 RARITAN DR
DENVER CO 80221-2613

KELLY PAIGE AND
KELLY PATRICK
6754 ALAN DR
DENVER CO 80221

LEECH JOHN R
6840 MARIPOSA ST
DENVER CO 80221-7027

KINCAID PAMELA AND
KINCAID DOUGLAS
6645 OSAGE ST
DENVER CO 80221-2673

LESHEM ELAD AND
LESHEM SHIRLEY
18842 E DORADO PL
AURORA CO 80015-5123

LIU SHARON T
1676 W 67TH AVE
DENVER CO 80221-2610

MERK ETHAN A AND
MCCOURT MEGAN A
6755 RARITAN DR
DENVER CO 80221-2613

LOKER KRISTEN AND
PERRY LUKAS
1393 W 66TH PL
DENVER CO 80221-2593

MEYER AMANDA
6891 OSAGE ST
DENVER CO 80221-7034

LUNA JUAN AND
LUNA ROSALBA
1401 W 68TH AVE
DENVER CO 80221-7009

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MACHA DENNIS AND
MACHA MARSHA
1408 W 66TH PL
DENVER CO 80221-2598

MIDTOWN LLC
2154 E COMMONS AVE STE 2000
CENTENNIAL CO 80122-1880

MACHINAL LOIS JUNE AND
MACHINAL DARLENE
801 W 70TH PLACE
DENVER CO 80221

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MALACARNE CHARLES A AND
MALACARNE MELISSA A
6900 MARIPOSA ST
DENVER CO 80221

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
GREENWOOD VILLAGE CO 80111-7103

MARQUEZ COLIN AND
ROMERO DENISE
1763 W 67TH AVE
DENVER CO 80221-2609

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
CENTENNIAL CO 80111-7103

MARTIN MARIETTA MATERIALS INC
10170 CHURCH RANCH WAY UNIT 201
BROOMFIELD CO 80021-6068

MOOSBURGER CURTIS
6870 MARIPOSA ST
DENVER CO 80221-7027

MASCARENAS JOEY A AND
MASCARENAS SIMONITA
6880 NAVAJO ST
DENVER CO 80221-7031

MORALES KELLY
6640 PECOS ST
DENVER CO 80221

MEASTAS STEVE AND
MEASTAS LESLIE L
6800 MARIPOSA ST
DENVER CO 80221

MORMOOSE PROPERTIES LLC
8588 E KETTLE PL
CENTENNIAL CO 80112-2709

MULLINS DAVID J AND
CRAIG CHARLES W
1743 W 67TH AVE
DENVER CO 80221-2609

OLIVAS ERASMO AND
PORTILLO ALVARO
6900 OSAGE ST
DENVER CO 80221-7037

MUNDERLOH GRETCHEN
1433 W 66TH PL
DENVER CO 80221-2598

OWOLANA BOLUWATIFE O
1585 W 66TH AVE
DENVER CO 80221

MUNOZ LUIS AND
PANDO ELIZABETH
6815 SANTA FE DRIVE
DENVER CO 80221

PANNIER MICHAEL ROBERT AND
DRABCZYK ANDREA VICTORIA
6632 OSAGE ST
DENVER CO 80221-2673

NGUYEN NICK AND
NGUYEN MICHAEL
1400 W 66TH PL
DENVER CO 80221-2598

PATEL MITULKUMAR
1384 W 67TH AVE
DENVER CO 80221

NGUYEN THACH AND
VILLEGAS CARINA
1440 W 67TH AVE
DENVER CO 80221

PERSICHITTE NICHOLAS C AND
PERSICHITTE KARLA M
6655 OSAGE ST
DENVER CO 80221-2673

NICHOLS PATRICK J AND
NEINER DOINITA
6747 RARITAN DR
DENVER CO 80221-2613

PLONIS THEODORE J
3075 THISTLEBROOK CIR
HIGHLANDS RANCH CO 80126-7833

NIKOLENKO SERGEY I
1781 W 64TH LN
DENVER CO 80221-2346

PLUMMER TAYLOR SARAH ROSE GEE AND
PLUMMER TAYLOR PETER DANIEL
6655 MARIPOSA COURT
DENVER CO 80221

NIXON MICHAEL F AND
NIXON MARIE NOELLE
1712 W 67TH AVE
DENVER CO 80221-2609

PRIETO TOLEDO JOSE SAUL AND
PRIETO TOLEDO SILVIA
298 S 14TH AVE
BRIGHTON CO 80601-2306

NORTH PECOS WATER AND
SANITATION DIST
6900 PECOS ST
DENVER CO 80221

RADER FAMILY LIVING TRUST THE
10315 HOLLY SPRINGS DR
HOUSTON TX 77042-1529

NOTARY JAMES AND
NOTARY LINDA L
6881 NAVAJO ST
DENVER CO 80221-7030

RAMEY ADAM
6650 PECOS ST
DENVER CO 80221

RAMIREZ JOSE
6510 NEWTON ST
ARVADA CO 80003-6449

RUSSELL JENNIFER
1449 W 66TH AVE
DENVER CO 80221-2598

RANSOM SANDRA L AND
FOX NANCY A
1441 W 66TH PL
DENVER CO 80221

SADOWSKI KATHERINE
6850 NAVAJO ST
DENVER CO 80221-7031

RATZELL EVERLYN E
6890 MARIPOSA ST
DENVER CO 80221-7027

SALAZAR DANTE G
1424 W 67TH AVE
DENVER CO 80221

REINKING MARK AND
REINKING ELIZABETH
6691 MARIPOSA CT
DENVER CO 80221

SALE ALEXANDRA D
6793 RARITAN DR
DENVER CO 80221-2613

REYES DINOT V JR AND
REYES TISHA
1652 W 67TH AVE
DENVER CO 80221-2610

SALMONS JUSTIN C AND
SALMONS LINDA K
1734 W 67TH PL
DENVER CO 80221-2617

REYNIERS ROELAND
1571 E 66TH AVE
DENVER CO 80229-7223

SANTARELLI JOYCE L
6881 OSAGE ST
DENVER CO 80221-7034

ROACH MEGHAN J AND
SITTNICK MARTIN W
1392 W 67TH AVE
DENVER CO 80221

SIEBERT CHARLES E AND
OBRIEN MOLLIE C
6708 ALAN DR
DENVER CO 80221

RODRIGUEZ CARLOS AND
ZAMORA DORINA
1440 W 69TH AVE
DENVER CO 80221-7018

SILESKI RACHEL ANN
1634 W 67TH AVE
DENVER CO 80221-2610

ROSSON PATRICK AND
ROSSON JENNIFER
1392 W 66TH PL
DENVER CO 80221-2593

SIMON MICHAEL AND
SIMON SARAH
1384 W 66TH PL
DENVER CO 80221-2593

RUBY CHRIS AND
RUBY KIMBERLY
6715 RARITAN DR
DENVER CO 80221-2613

SIMUTIS DAVID LEONARD AND
SIMUTIS MICHELLE UTT
1690 W 67TH AVE
DENVER CO 80221-2610

SOLOMON JOSEPH RYAN AND
SOLOMON KYLENE RENEE
6656 OSAGE ST
DENVER CO 80221

TOWNDROW LYNDA S AND
TOWNDROW DENNIS DEAN
6800 OSAGE ST
DENVER CO 80221-7035

STAMBAUGH WILLIAM T AND JAN S
6861 MARIPOSA ST
DENVER CO 80221

TRAN CHRISTOPHER
6785 RARITAN DR
DENVER CO 80221-2613

STYLES SAMUEL L AND
STYLES LAURA A
1800 W 68TH AVE
DENVER CO 80221-2506

VALLERO MARITA J AND
VALLERO NICHOLAS J
1448 W 67TH AVE
DENVER CO 80221

SWANSON MICHAEL A
1400 W 67TH AVENUE
DENVER CO 80221

VAZQUEZ CAROLA M ICHAZO
6738 ALAN DRIVE
DENVER CO 80221-2500

SWERDFEGER RUSSELL C
1341 W 68TH AVE
DENVER CO 80221-7007

VISSER M JONATHAN AND
VISSER ELIZABETH
1541 E 66TH AVE
DENVER CO 80229-7223

T AND G PECOS LLC
6301 FEDERAL BLVD UNIT 3
DENVER CO 80221

WAGNER CHAD AND
HENSLEY DANIELLE
6639 OSAGE ST
DENVER CO 80221-2673

TAYLOR KEVIN AND
TAYLOR DENISE
6675 MARIPOSA CT
DENVER CO 80221

WEEKLEY HOMES LLC
1111 N POST OAK BLVD
HOUSTON TX 77055

TERRELL SHANNON AND
TERRELL DETTRELL
1448 W 66TH PL
DENVER CO 80221-2598

WEEKLEY HOMES LLC
3600 S YOSEMITE ST STE 350
DENVER CO 80237-1839

THOME JOSEPH AND
HUERTA-THOME CYNTHIA
6730 ALAN DR
DENVER CO 80221-2500

WEEKLEY HOMES LLC
1111 N POST OAK RD
HOUSTON TX 77055-7310

TIMBER RIDGE APARTMENTS LLC
C/O UNITED MANAGEMENT
712 S PEARL ST
DENVER CO 80209-4213

WHITCOMB JACKSON J AND
CURTIS LAURA E
6779 RARITAN DR
DENVER CO 80221-2613

WHITE EMILY T AND
WHITE JAMES ROYAL IV
1376 W 66TH PL
DENVER CO 80221-2593

WILSON KELLI MARIE AND
FLETCHER ERIC REED
1425 W 66TH PL
DENVER CO 80221

WILSON PATRICK O AND
MENDEZ-WILSON DEBORAH
6665 MARIPOSA CT
DENVER CO 80221

WOODS JONATHAN AND
WOODS VICTORIA
6644 OSAGE ST
DENVER CO 80221-2673

YOUNG SANDRA JO AND
YOUNG JACK M
PO BOX 621211
LITTLETON CO 80162-1211

YU YA-CHI
1353 W 66TH PL
DENVER CO 80221-2593

ZEDNIK KRISTIN M AND
ZEDNIK STEPHAN T
1432 W 67TH AVE
DENVER CO 80221

ZIEGLER SCOTT T AND
ANTON DARCY E
1729 W 67TH AVE
DENVER CO 80221-2609



***UPDATED* Request for Comments**

Case Name:	Midtown at Clear Creek School Parcel
Case Number:	PRC2017-00002

May 1 ,2017

Adams County Planning Commission is requesting comments on the following request:

- 1) Final Development Plan (FDP) to allow development of a school site on approximately 5.32 acres in the P-U-D, Planned Unit Development zone district;**
- 2) Minor Subdivision (Preliminary/Final Plat) to create one lot; and**
- 3) Subdivision Improvements Agreement (SIA); and**
- 4) Vacate a portion of Zuni Street right-of-way.**

This request is located at **6701 PECOS ST**

The Assessor's Parcel Number is **0182504300039**

Applicant Information **MIDTOWN LLC (MARC SAVELA)**
6465 S GREENWOOD PLAZA BLVD STE 700
CENTENNIAL, CO 80111

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **May 22, 2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

CERTIFICATE OF POSTING



I, **Emily Collins** do hereby certify that I had the property posted at

6701 Pecos St.

on November 30, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

School Site Referral Labels

Adams County
Attn: Planning Addressing
PLN

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

Adams County Construction Inspection
Attn: PWCI .
PWCI

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Adams County Treasurer: Send email
Attn: Adams County Treasurer
bgrimm@adcogov.org

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Crestview Water & Sanitation
Attn: Patrick Stock
PO Box 21299
Denver CO 80221-0299

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

COLO DIV OF MINING RECLAMATION AND SAFETY
Attn: ANTHONY J. WALDRON - SENIOR ENV
DEPT. OF NATURAL RESOURCES
1313 SHERMAN ST, #215
DENVER CO 80203

Engineering Division
Attn: Transportation Department
PWE

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

GOAT HILL
Attn: SHARON WHITEHAIR
2901 W 63RD
AVE SP:0047
DENVER CO 80221

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

Hyland Hills Park & Recreation District
Attn: Terry Barnhert
8801 Pecos St
Denver CO 80260

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

North Pecos Water & Sanitation District
Attn: Russell Traska
6900 Pecos St
Denver CO 80221

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

NS - Code Compliance
Attn: Andy San Nicolas
asannicolas@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

PERL MACK NEIGHBORHOOD GROUP
Attn: DAN MICEK - PRESIDENT
7294 NAVAJO ST.
DENVER CO 80221

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

**School Site
Property
Owner Labels**

2340 FERN DRIVE LLC
1660 VRAIN ST
DENVER CO 80204-1133

ALUL MAHA W AND
ALUL SAMIR M
6668 WARREN DR
DENVER CO 80221-2662

6921 WARREN DRIVE LLC
PO BOX 350501
WESTMINSTER CO 80035-0501

ARAGON FRANCES Y
6810 MORRISON DR
DENVER CO 80221-2511

6925 MORRISON LLC
722 MELODY DR
NORTHGLENN CO 80260-5528

ARCHDIOCESE OF DENVER THE
OUR LADY OF VISITATION
1300 SOUTH STEELE STREET
DENVER CO 80210

ACIERNO CAROLE LO RAYNE
6920 WARREN DR
DENVER CO 80221-2582

ARCHULETA JOSEPH AND
ARCHULETA KATY E
2621 W 65TH PLACE
DENVER CO 80221

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

ARDUESER ALLAN E
6910 WARREN DR
DENVER CO 80221-2582

ADDISON NOLAN A AND
LINN ADDISON MARGARET M
1900 W 68TH AVE
DENVER CO 80221-2536

ATHANAS NICOLE M AND
MILLER THEODORE H
2111 W 67TH PL
DENVER CO 80221-2627

AJBT LLC
PO BOX 352125
WESTMINSTER CO 80035-2125

ATKINSON DAVID S AND
MOONEY SHANNON K
6778 LARSH DR
DENVER CO 80221-2568

ALFARO ANTONIO AND
ALFARA CHARLENE C
6870 JORDAN DR
DENVER CO 80221

ATKINSON GARY C AND
ATKINSON WENDY L
4280 W 105TH PL
WESTMINSTER CO 80031-1908

ALKEMA KIA L AND
ALKEMA ROBERT D
2130 W 68TH AVE
DENVER CO 80221-2566

AUSSENBERG BEN
6787 MORRISON DR
DENVER CO 80221-2569

ALLEN RICHARD F III
6600 FERN DR
DENVER CO 80221-2645

AUSTIN CHRISTOPHER AND
BLUBAUGH LORI
2043 W 66TH AVE
DENVER CO 80221-2587

AVILA MANUEL BEDOLLA
6861 MORRISON DR
DENVER CO 80221-2510

BIRD RONALD W
6820 WARREN DRIVE
DENVER CO 80221

BALL-FOUR INC DBA
SOFTBALL COUNTRY
11338 W 74TH PL
ARVADA CO 80005-3520

BLEA ERIC E
2640 FERN DR
WESTMINSTER CO 80030-5649

BASE CHRISTOPHER
4545 CENTER BLV APT 206
LONG ISLAND CITY NY 11109

BODDY MATTHEW P AND
BODDY TAMMY S
2300 FERN DR
DENVER CO 80221-2503

BEJARANO JOSHUA AND
BEJARANO PRISCILLA
2067 W 66TH AVE
DENVER CO 80221-2587

BOGETVEIT NILS
1183 GAPTER RD
BOULDER CO 80303-1311

BELL ZACHARY D AND
BELL DANIELLE M
1991 W 67TH PL
DENVER CO 80221-2620

BOHN JAMES D AND BOHN MARTHA RENNE AND
HUFFMAN TINA MARIE AND BOHN JAMES JOSEPH
6831 FERN DR
DENVER CO 80221-2504

BESA LLC
6742 LARSH DR
DENVER CO 80221-2568

BONILLA ENRIQUE AND GARCIA ANA O
7000 ALCOTT STREET
WESTMINSTER CO 80030

BESS MADELAINE K
6608 FERN DR
DENVER CO 80221-2645

BONILLA GUADALUPE
6871 RUTH WAY
DENVER CO 80221-2552

BHALLA AKASH AND
SHAH BANSI
6704 WARREN DR
DENVER CO 80221-2663

BORST JOHN BARRONS
6737 LARSH DR
DENVER CO 80221-2568

BHATT JANKEE H AND
BHATT HARSHAD N
2070 W 67TH PL
DENVER CO 80221-2624

BOURQUE BASIL J AND
LARSON EMILY A
6743 AVRUM DR
DENVER CO 80221-2567

BIEKER JOE AND
BIEKER ANDREA J
2231 W 67TH DR
DENVER CO 80221-2634

BPI WESTMINSTER LLC
2880 BRYANT ST
DENVER CO 80211-4223

BRANDENBURG MICHAEL P AND
BRANDENBURG RACHEL S
6767 MORRISON DR
DENVER CO 80221

CARPENTER GINA C AND
CHERENZIA KEVIN P
2091 W 67TH PL
DENVER CO 80221-2624

BRATTON BRIAN AND
BRATTON LINDSEY
6791 MORRISON DR
DENVER CO 80221

CARREON JUVENAL
6820 FERN DR
DENVER CO 80221-2505

BRITTON LESLIE
6740 FERN DR
DENVER CO 80221

CARSON STEVE AND
CARSON KATHRYN
2360 FERN DR
DENVER CO 80221-2503

BULLOCK SUSAN B
2160 W 67TH DR
DENVER CO 80221-2634

CASCO ESPERANZA
6820 MORRISON DR
DENVER CO 80221-2511

BURMESTER HEATHER L AND
BURMESTER PAUL J
6765 LARSH DR
DENVER CO 80221-2568

CENTURY AT MIDTOWN LLC
8390 E CRESCENT PKWY STE 650
GREENWOOD VILLAGE CO 80111-2940

CANGEMI THOMAS AND
CANGEMI JAIME
1979 W 66TH AVE
DENVER CO 80221

CHAMBERLAIN LEANN M
6926 FERN DR
DENVER CO 80221-2507

CARAVEO EDUVIGES AND
CARAVEO JUANA
6830 MORRISON DR
DENVER CO 80221-2511

CHAMPION BANK
6890 S TUCSON WAY
ENGLEWOOD CO 80112-6762

CARITHERS BEVIN AND
MOE THOMAS J
1961 W 67TH PL
DENVER CO 80221-2620

CHANG YEN-CHEN AND
PUETT MICAH
1928 W 67TH PL
DENVER CO 80221-2620

CARLSON TRAVIS J AND
CARLSON JENNY R
2230 W 67TH PL
DENVER CO 80221-2638

CHAVEZ JAVIER
6871 WARREN DR
DENVER CO 80221-2583

CARPANINI JENNIFER J AND
CARPANINI JOHN A AND RUGH ALEXANDER W
1904 W 67TH PL
DENVER CO 80221-2620

CHAVEZ JOSE A
6831 RUTH WAY
DENVER CO 80221-2552

CHEPURNA LYUBOV
2021 W 67TH PL
DENVER CO 80221

COOPER CHRISTOPHER
6602 FERN DR
DENVER CO 80221-2645

CHRISTENSEN PETER K
7240 W CUSTER AVE NO 302
LAKEWOOD CO 80226-2779

COPELAND RANDALL W AND
COPELAND KRISTA PACE
2031 W 66TH AVE
DENVER CO 80221-2587

CHRISTNER SCOTT W AND
CHRISTNER BRINDISI R
6621 MORRISON DR
DENVER CO 80221

CORDOVA CRISTOBAL AND
CORDOVA MARY LEE
2490 W 65TH PL
DENVER CO 80221-2222

CHUN JOSHUA H AND
CHUN ELEANOR M
1981 W 67TH PL
DENVER CO 80221-2620

CORDOVA LUZ M
6841 WARREN DR
DENVER CO 80221-2583

CLAIR IRREVOCABLE TRUST THE
PO BOX 21739
DENVER CO 80221-0739

CORNEJO JOSHUA J AND
CORNEJO COLE
6622 E MISSISSIPPI AVE
DENVER CO 80224-1816

CLANTON JERALD KEITH
6783 MORRISON DR
DENVER CO 80221

CRESTVIEW WATER AND SANITATION DISTRICT
PO BOX 21299
DENVER CO 80221-0299

CLARK BRYCE W AND
CLARK MIRANDA S
2163 W 67TH PL
DENVER CO 80221-2627

CRONEY GILLARD
6850 FERN DR
DENVER CO 80221-2505

CLEAR CREEK STATION METROPOLITAN
DISTRICT NO 1 C/O WHITE BEAR & ANKELE
2154 E COMMONS AVE STE 2000
LITTLETON CO 80122-1880

CROSS JUANITA A AND
CROSS MICHAEL L
6861 FERN DR
DENVER CO 80221-2504

CONNELLY LUCINDA L
6604 FERN DR
DENVER CO 80221-2645

DALY DYLAN J
6881 FERN DR
DENVER CO 80221-2504

COOKE DONALD JAY
6811 FERN DR
DENVER CO 80221-2504

DALY MATTHEW T AND
DALY JOANIE K
2166 W 67TH PL
DENVER CO 80221-2627

DARBY BRUCE TRUST THE
C/O LINDA W NELSON
1276 CORONA ST APT B4
DENVER CO 80218-2013

DOLQUIST SUE A AND
DOLQUIST DANIEL M
1995 W 67TH PL
DENVER CO 80221-2620

DAVIS DONALD R
6900 RUTH WAY
DENVER CO 80221-2555

DOMINGUEZ RONALD J
2540 W 65TH PLACE
DENVER CO 80221

DAVIS JASON R AND
LISI KELLIE L
2151 W 67TH DR
DENVER CO 80221

DOYLE JOHN A
6690 WARREN DR
DENVER CO 80221-2662

DE JULIO MARK N
6881 LARSH DR
DENVER CO 80221-2538

DVERGSDAL STACY M AND
MAURER QUINTON T
6712 WARREN DR
DENVER CO 80221-2663

DEJONGH ANGELA MARIE
2170 W 67TH AVE
DENVER CO 80221

DWIGHT EDWARD J AND
DWIGHT CATHERINE J
6896 RUTH WAY
DENVER CO 80221-2553

DELGADILLO OLIMPIA SANCHEZ
6901 RUTH WAY
DENVER CO 80221

ELDER SANDRA K
2133 W 67TH PL
DENVER CO 80221-2627

DERP SAMUEL J AND
SAVAGE JEREMY D
1912 W 68TH AVE
DENVER CO 80221

ELDREDGE BRUCE AND
ELDREDGE KRYSTAL
2035 W 66TH PL
DENVER CO 80221-2588

DETWEILER WILLIAM R AND
BERLS KIMBERLY A
6739 MORRISON DR
DENVER CO 80221

ESCOBEDO RAUL AND
ESCOBEDO DORA E
6801 LARSH DR
DENVER CO 80221-2538

DEVEREAUX ALEC B
2100 W 68TH AVE
DENVER CO 80221-2566

ESPARZA MANUEL J AND
ESPARZA ELMA P
6800 LARSH DR
DENVER CO 80221-2539

DOCKERY ADAM
2033 W 67TH PL
DENVER CO 80221

ESPINOZA JAMES D
10203 ZENOBIA CIRCLE
WESTMINSTER CO 80030

ESPINOZA SERGIO AND
ESPINOZA IRMA
6810 RUTH WAY
DENVER CO 80221

FISHER THOMAS C
6870 WARREN DR
DENVER CO 80221-2584

ESTRADA ANTHONY M AND ESTRADA DENIESE L
6880 WARREN DR
DENVER CO 80221-2584

FLOTTE DEBRA
2570 FERN DR
WESTMINSTER CO 80030-5648

EVANOFF ROXANNE AND
EVANOFF DANIEL J
6762 LARSH DR
DENVER CO 80221

FONTES KATHLEEN S
6870 LARSH DR
DENVER CO 80221-2539

FEDERAL CREDIT LLC
2655 W 39TH AVE
DENVER CO 80211-2107

FOUR H PROPERTIES
114 RIDGE RD
EVERGREEN CO 80439

FENDER PELL AND
FENDER PEGGY D
2101 W 67TH PL
DENVER CO 80221-2627

FOX DAVID D AND FOX NANCY S
2520 W 66TH PL
DENVER CO 80221-2214

FERGUSON LOIS J AND
CAGLE THELMA J
2461 W 65TH PL
DENVER CO 80221-2223

FRANK GARY
6930 WARREN DR
DENVER CO 80221-2575

FERGUSON NICHOLAS A AND
JOHNSON TYLER T
6793 LARSH DR
DENVER CO 80221-2568

FRAZIER SARAH AND
FRAZIER MICHAEL
6606 MORRISON DR
DENVER CO 80221-2660

FERNANDEZ ANNETTE
2525 W 65TH AVE
DENVER CO 80221-2339

FRAZIER WILLIAM T AND
FRAZIER ALEXANDRA M
6756 LARSH DR
DENVER CO 80221-2568

FISCHER WINDY D AND
CHERENZIA ROBERT J
2110 W 68TH AVE
DENVER CO 80221-2566

FROLA COURTNEY LYNN
2022 W 66TH AVE
DENVER CO 80221-2587

FISHER A AUSTIN AND
FISHER RAVAN
6741 LARSH DR
DENVER CO 80221

FRUGE ANDREW
2075 W 66TH AVE
DENVER CO 80221-2587

FUENTES AMANDA J
6609 MORRISON DR
DENVER CO 80221-2660

GEGARE FREEMAN J JR REVOCABLE TRUST
2055 W 66TH AVE
DENVER CO 80221-2587

FULLMER LORI J
1950 W 67TH AVE
DENVER CO 80221-2619

GILLETTE NICHOLAS R AND
GILLETTE CATHERINE J
2184 W 67TH PL
DENVER CO 80221-2627

GALLARDO FRANCISCO AND
GALLARDO TAMARA C
6920 MORRISON DRIVE
DENVER CO 80221

GILMER MATTHEW W AND
GILMER BRIDGETTE
6752 WARREN DR
DENVER CO 80221-2663

GALLEGO JESUS AND
PAYNE JENNIFER
9100 E FLORIDA AVE APT 1-103
DENVER CO 80247-2846

GINGRAS TIMOTHY J
6691 WARREN DR
DENVER CO 80221-2662

GALLEGOS ACEVEDO TOMAS AND
GALLEGOS A RUBEN C
6861 JORDAN DR
DENVER CO 80221-2508

GODOY RUBI FELIX
6861 LARSH DR
DENVER CO 80221-2538

GALLEGOS JESSICA AND
DEHERRERA ROMAN
6821 WARREN DR
DENVER CO 80221-2583

GOLDHIRSH KELLY ANNE
2069 W 67TH PL
DENVER CO 80221

GARCIA JOHNNY
6801 JORDAN DR
DENVER CO 80221

GOLDMAN MICHAEL J AND
GOLDMAN JAMIE D
6771 LARSH DR
DENVER CO 80221-2568

GARCIA JOSE
6821 JORDAN DR
DENVER CO 80221-2508

GOMEZ EDUWIGUIZ AND
GOMEZ ESPERANZA
6930 MORRISON DR
DENVER CO 80221-2513

GARCIA MOYA VICTOR AND
GARCIA ARMIDA L
6880 FERN DR
DENVER CO 80221-2505

GOMEZ GABINO
2505 W 65TH AVE
DENVER CO 80221-2339

GARCIA PORTIA L AND
GARCIA DANIEL A
2480 W 65TH PL
DENVER CO 80221-2222

GOMEZ JOSE DE JESUS GALVAN AND
GALVAN MABEL
6941 MORRISON DR
DENVER CO 80221

GRAYEK GARY BERNARD JR
6647 WARREN DR
DENVER CO 80221-2662

HAGER JARROD M
6730 FERN DR
DENVER CO 80221

GREEN LAWRENCE H AND
GREEN VELVA J
6880 MORRISON DR
DENVER CO 80221-2511

HALL TIMOTHY J AND
HALL ALLISON M
6748 LARSH DR
DENVER CO 80221-2568

GREGORY DOUGLAS R
1991 E 66TH AVE APT W
DENVER CO 80229-7423

HAMANN JOSHUA PHILLIP
6775 MORRISON DR
DENVER CO 80221-2569

GROSE MICHAEL G AND
GROSE STEPHANIE I
2131 W 67TH PL
DENVER CO 80221-2627

HAMMOND BARBARA D
PO BOX 985
INDIAN HILLS CO 80454-0985

GUERRA MISAEL
6860 MORRISON DR
DENVER CO 80221-2511

HAMMOND-CLARK FAMILY TRUST THE
1971 W 67TH PL
DENVER CO 80221-2620

GUIDO ANDREW J AND
GUIDO LAWRENCE P AND GUIDO CATHERINE
6603 MORRISON DR
DENVER CO 80221-2660

HANNON BRENNAN AND
STIMSON SCOTT
1984 W 67TH PL
DENVER CO 80221

GURULE JOAQUIN J
6870 FERN DR
DENVER CO 80221-2505

HANSON ALEX AND
HANSON JESSICA
2143 W 67TH PL
DENVER CO 80221-2627

GUTIERREZ MONICA
6840 JORDAN DR
DENVER CO 80221-2509

HARP KELLEY W AND
HARP VICTORIA H
6735 AVRUM DR
DENVER CO 80221-2567

GUTIERREZ MONICA
6801 FERN DR
DENVER CO 80221-2504

HARRIS CHAD M AND
HEMINGWAY TAYLOR L
2200 W 67TH PL
DENVER CO 80221

HABER JAMI AND
GREER JOSEPH
6758 WARREN DR
DENVER CO 80221-2663

HENDRICKS BARRETT A
6811 MORRISON DR
DENVER CO 80221-2510

HENLEY GINA L AND
HENLEY ANDREW J
2151 W 67TH PL
DENVER CO 80221-2627

HOLCOMB MARGO JEAN
6830 WARREN DR
DENVER CO 80221

HERNANDEZ ADOLFO
6801 MORRISON DR
DENVER CO 80221-2510

HOLGUIN CHRISTOPHER AND
HOLGUIN ANA
2167 W 67TH DR
DENVER CO 80221

HERNANDEZ OSCAR MUNOZ
1420 SWAN AVE
BRIGHTON CO 80601-4344

HOWELL JAMES T AND
CLARK MCKAYLA C
6786 LARSH DR
DENVER CO 80221-2568

HERONEMA RAYMOND AND
HERONEMA MARY ANN DORTHEA
2310 FERN DR
DENVER CO 80221-2503

HUMBLE SARAH ELAINE IRREVOCABLE TRUST
6611 WARREN DR
DENVER CO 80221

HERRERA ESTEBAN AND
LOFLIN LISA
1975 W 67TH PL
DENVER CO 80221-2620

HUSTON JEFFREY C AND
HUSTON AMANDA
6721 WARREN DR
DENVER CO 80221-2663

HERRERA RICHARD AND
SANCHEZ LIZZETTE A
6620 FERN DR
DENVER CO 80221

INFINITY HOME COLLECTION AT MIDTOWN LLC
7400 E CRESTLINE CIR STE 125
GREENWOOD VILLAGE CO 80111-3654

HILL ALAN G
2017 W 67TH PL
DENVER CO 80221

JACYSZYN ALANE M AND
BEVANS CHRISTOPHER THOMAS
1965 W 67TH PL
DENVER CO 80221-2620

HILL BRADY J
6604 MORRISON DR
DENVER CO 80221-2660

JARAMILLO CLARENCE EYARL AND
JARAMILLO ELVA R
7608 W 106TH AVE
BROOMFIELD CO 80021-3910

HINCHMAN JULIE
6605 MORRISON DR
DENVER CO 80221-2660

JEFFERS JESSE L AND
JEFFERS DONNA J
6920 FERN DR
DENVER CO 80221-2507

HOLCOMB BRYAN
6931 MORRISON DR
DENVER CO 80221-2512

JEFFERY JANET
6910 FERN DR
DENVER CO 80221-2507

JENKINS VIRGINIA LEE
6840 WARREN DR
DENVER CO 80221-2584

JOWERS RONALD F
2520 W 65TH PL
DENVER CO 80221

JESSER RENEE D
2041 W 67TH PL
DENVER CO 80221

JOY MATTHEW C
6771 MORRISON DR
DENVER CO 80221-2569

JEWELL BRIAN L
2057 W 67TH PL
DENVER CO 80221

KANA MATTHEW
2100 W 67TH PL
DENVER CO 80221-2627

JIMENEZ RUDOLPH
2520 W 65TH AVE
DENVER CO 80221-2324

KANG SEON YOUNG CATHY
2073 W 67TH PL
DENVER CO 80221

JOHNSON BRETT AND
JOHNSON KENDRA M
6728 WARREN DR
DENVER CO 80221-2663

KAPLAN MICHAEL DANIEL AND
KAPLAN TRACEY
1952 W 67TH PL
DENVER CO 80221-2620

JOHNSON CLIFFORD D AND
JOHNSON KAREN L
6734 LARSH DR
DENVER CO 80221-2568

KATZ JOSHUA L
6759 W MISSISSIPPI AVE
DENVER CO 80226-4667

JOHNSON JUDITH ANN AND
JOHNSON LARRY R
11041 KENDALL WAY
WESTMINSTER CO 80020-3150

KAY DANA AND
KAY IAN
1974 W 67TH PL
DENVER CO 80221-2620

JOHNSON MONICA LYNN AND
JOHNSON MICHAEL KEITH
1929 W 67TH PL
DENVER CO 80221-2620

KAY DONALD AND
KAY SHIRLEY J
6820 RUTH WAY
DENVER CO 80221-2553

JOHNSON ROBERTA/VOTAPKA JACKIE/DAVIS MIK
GOHEEN DEBBIE/SANDERSON SUZI/SANDERSON J
133 VANCE ST
LAKEWOOD CO 80226-1628

KCF PROPERTIES LLC
6476 S MARION PL
CENTENNIAL CO 80121-2557

JOHNSON SARAH L
6651 MORRISON DR
DENVER CO 80221

KERN TREY D III AND
KERN MARYSUSAN
6777 LARSH DR
DENVER CO 80221-2568

KILPATRICK KATHERYN J
2215 W 67TH DR
DENVER CO 80221-2634

LAKEVIEW LOAN SERVICING LLC
1 FOUNTAIN PLZ
BUFFALO NY 14203-1420

KIM DANIEL E
6660 FERN DR
DENVER CO 80221

LANDERS BRITTNEY
6720 WARREN DR
DENVER CO 80221-2663

KIRCHBERG KEITH J AND
KIRCHBERG MIRINDA
6606 FERN DR
DENVER CO 80221-2645

LARAWAY NOAH J AND
LARAWAY KATHLYN A
6710 LARSH DR
DENVER CO 80221-2568

KITCHINGS ALAN B AND
KITCHINGS ERICA L
2150 W 67TH PL
DENVER CO 80221-2627

LEMBKE WILLIAM R
1924 W 68TH AVE
DENVER CO 80221-2536

KNIGHT PATRICK E AND
KULKARNI ADITI K
1990 W 67TH PL
DENVER CO 80221-2620

LEMME JUSTIN DAVID AND
LEMME MISA
6770 LARSH DR
DENVER CO 80221-2568

KOCZARA RANDALL W AND
KOCZARA MAJKEN
6720 MORRISON DR
DENVER CO 80221-2661

LEWIS KRISTA
6603 WARREN DR
DENVER CO 80221-2662

KOLIN DAVID
6611 MORRISON DR
DENVER CO 80221

LICATA JOHN
6851 MORRISON DR
DENVER CO 80221-2510

KRIST GORDON
6931 WARREN DR
DENVER CO 80221-8105

LINAN CARMEN AND
LINAN BALAM
6860 FERN DR
DENVER CO 80221-2505

KULHAWICK AARON J
6880 RUTH WAY
DENVER CO 80221-2553

LINGENFELTER JOSHUA C AND
SPEER CHELSEA M
6700 FERN DR
DENVER CO 80221-2659

LABRIOLA KRISTI
6801 RUTH WAY
DENVER CO 80221-2552

LOBATO MEL AND
LOBATO RUTH
6916 FERN DR
DENVER CO 80221-2507

LOERA DE GURROLA MARIA /LOERA MANUEL AND
GURROLA TOCA JOSE MANUEL
2630 FERN DR
WESTMINSTER CO 80030-5649

LUCERO LEWIS JR AND
SENA JAMIE E
6870 MORRISON DRIVE
DENVER CO 80221

LOHMAN KELLEREY AND
BUSCHENFELDT MARK
1949 W 67TH AVE
DENVER CO 80221-2619

LUND GORDON J AND
LUND JUDITH Y
218 TATUM CT
MANITOWOC WI 54220-1968

LOPER TERESA M AND KARKI LUCIA B AND
CARRINGTON BRENDA A
14050 SHANNON DR
BROOMFIELD CO 80023-4248

LUSSIER MICHAEL R
2090 W 67TH PL
DENVER CO 80221-2624

LOPEZ DEBRA ANN
6810 WARREN DR
DENVER CO 80221-2584

LUTTRALL MARK E AND
LUTTRALL DEBBIE
6861 RUTH WAY
DENVER CO 80221-2552

LOPEZ EMILIZIAN
6820 JORDAN DR
DENVER CO 80221-2509

MACON JOSHUA T
1934 W 67TH PL
DENVER CO 80221-2620

LOPEZ GABRIEL
2570 W 65TH PL
DENVER CO 80221-2205

MADERA JUAN JOSE
2515 W 65TH AVE
DENVER CO 80221

LOPEZ PETE AND
LOPEZ ELEANOR J
6851 RUTH WAY
DENVER CO 80221-2552

MADRIL MATTHEW C AND
MADRIL JENNIFER A
6890 RUTH WAY
DENVER CO 80221-2553

LOR NHIA X AND
LOR CHOR
6810 JORDAN DR
DENVER CO 80221-2509

MALDONADO DALIA
2620 W 65TH PL
DENVER CO 80221-2235

LORBIECKI FAMILY TRUST THE
6821 MORRISON DR
DENVER CO 80221-2510

MARQUEZ RICHARD D AND
MARQUEZ SHARON V
7665 IRVING STREET
WESTMINSTER CO 80030

LOVE ROBERT L AND
WOLAK MATTHEW J
6763 MORRISON DR
DENVER CO 80221

MARSTON EVANGELINE C
6850 MORRISON DR
DENVER CO 80221-2511

MARTIN KENNETH A/LORRAINE P AND
MARTIN KELSEY R
2038 W 66TH AVE
DENVER CO 80221

MARTINEZ TED L
6901 WARREN DRIVE
DENVER CO 80221

MARTINEZ ADAM P ET AL
8305 ELATI ST
DENVER CO 80221-4479

MARTINEZ THOMAS R SR AND
MARTINEZ BERNICE M
2380 FERN DRIVE
DENVER CO 80221

MARTINEZ ANTONIO SOLIS AND
GARCIA GRISELDA SANTILLANO
2555 W 65TH AVE
DENVER CO 80221-2339

MARTINEZ THOMAS SR AND
MARTINEZ BERNICE
2380 FERN DR
DENVER CO 80221-2503

MARTINEZ DAMARIS
3613 S FLANDERS ST
AURORA CO 80013-3949

MASON ANDREW T AND
RIQUELME NATALIE R
6660 MORRISON DR
DENVER CO 80221-2660

MARTINEZ ENRIQUE P AND
MARTINEZ LIN
6648 E MISSISSIPPI AVE
DENVER CO 80224-1816

MAYO MIKE AND
MAYO JORDAN
2034 W 66TH AVE
DENVER CO 80221-2587

MARTINEZ LARRY L AND MARTINEZ RAYNA L
6896 WARREN DR
DENVER CO 80221-2584

MC BRIDE MATHEW L AND
MC BRIDE M STACIA
6851 FERN DR
DENVER CO 80221

MARTINEZ LOUIS AND
MARTINEZ TERESA L
6911 RUTH WAY
DENVER CO 80221

MC BRIDE RICHARD CARLTON
6870 RUTH WAY
DENVER CO 80221-2553

MARTINEZ REYNALDO AND
MARTINEZ DELICIA E
6840 MORRISON DR
DENVER CO 80221-2511

MC DORMAN COURTNEY AND
MC DORMAN KENNETH
6789 LARSH DR
DENVER CO 80221-2568

MARTINEZ RICHARD AND
MARTINEZ DEBRA
6871 JORDAN DR
DENVER CO 80221-2508

MCALLISTER VIRGINIA A
2001 W 67TH PL
DENVER CO 80221-2624

MARTINEZ STEVEN
6911 MORRISON DR
DENVER CO 80221-2512

MEDINA BUFFY ANN
6890 MORRISON DR
DENVER CO 80221-2511

MENDOZA ANDREW AND
MENDOZA YVETTE M AND DAMIAN JESSIKA
6911 WARREN DR
DENVER CO 80221-2581

MONTES JAIME AND
MONTES ARACELY
13388 CLAYTON ST
THORNTON CO 80241-2077

MERIDA EVAN AND
BAGINSKI CAREN H
1978 W 67TH PL
DENVER CO 80221-2620

MOONEY ELOISA
6880 LARSH DR
DENVER CO 80221-2539

MERTZ NICKLAUS AND
JOHNSON ASHLEY
6749 AVRUM DR
DENVER CO 80221-2567

MORAGO JOSE A AND
MORAGO DEBORAH S
6921 RUTH WAY
DENVER CO 80221-2554

MIDTOWN LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MORALES FRANKLIN M AND
MORALES ISABEL E
2025 W 66TH PL
DENVER CO 80221

MIDTOWN RESIDENTIAL LLC
6465 GREENWOOD PLAZA BLVD STE 700
ENGLEWOOD CO 80111-7103

MORALES YOLANDA S AND
MORALES ROCKY S
6810 LARSH DRIVE
DENVER CO 80221

MILLER MATTHEW AND
MILLER KRYSTAL
6794 LARSH DR
DENVER CO 80221-2568

MORENO MARTIN AND MORENO ANTONIA
6900 FERN DR
DENVER CO 80221-2507

MILLSAP MARC L AND
MILLSAP DONNA M
6736 WARREN DR
DENVER CO 80221-2663

MORGAN MICHAEL A AND
MORGAN ANN M
6729 MORRISON DR
DENVER CO 80221

MIRANDA INNAEL T
6891 WARREN DR
DENVER CO 80221-2583

MORRIS PAUL AND
ORTOLA BREANNA
1925 W 67TH AVE
DENVER CO 80221-2619

MONDRAGON MARTHA A
6840 FERN DR
DENVER CO 80221

MOSHER IVA D
6830 FERN DR
DENVER CO 80221-2505

MONFELT JERRY S IRREVOCABLE TRUST THE
507 CANYON BLVD
BOULDER CO 80302-5058

MOSS JUSTIN AND
MOSS STACEY
6757 AVRUM DR
DENVER CO 80221-2567

MOWINSKI DAN AND
LIKENS KIMBERLY
2581 W 66TH PL
DENVER CO 80221-2213

NGUYEN DUNG ANH
6123 W GOULD DR
LITTLETON CO 80123-5141

MULLEN PATRICK C
2025 W 67TH PL
DENVER CO 80221

NGUYEN DUONG D AND
PHAN THANH LOAN T
6705 AVRUM DR
DENVER CO 80221

MULLER GRANT R AND
LEAL ADRIAN
6797 LARSH DR
DENVER CO 80221

NGUYEN JESSE
1940 W 67TH PL
DENVER CO 80221-2620

MUMFORD AARON P AND
MUMFORD AHSLEY A
1905 W 67TH PL
DENVER CO 80221-2620

NGUYEN JOHN HUU
6621 WARREN DR
DENVER CO 80221-2662

MUNDERLOH GRETCHEN A
2005 W 67TH PL
DENVER CO 80221

NGUYEN MICHAEL AND
DUONG NHI
11286 JOLIET ST
HENDERSON CO 80640-7641

MUSGROVE FAMILY TRUST THE
10448 VARESE LANE
NORTHGLENN CO 80234

NGUYEN SAMANTHA
6607 WARREN DR
DENVER CO 80221-2662

NAKATA WALTER TODD
6747 LARSH DR
DENVER CO 80221-2568

NGUYEN TIEN AND NGUYEN VU
11787 GRAY ST
WESTMINSTER CO 80020-5954

NELSON MARION L AND
NELSON DOROTHY
6891 LARSH DR
DENVER CO 80221-2538

NIENABER BRENT
6669 MORRISON DR
DENVER CO 80221-2660

NETSANET NATHAN HAILE
6602 MORRISON DR
DENVER CO 80221-2660

NILEMO JONATHAN D AND
CHAMPION AMANDA K
6711 AVRUM DR
DENVER CO 80221

NEYENS EUGENE M
2570 W 66TH PL
DENVER CO 80221-2214

NORIEGA ANTHONY C
6851 WARREN DR
DENVER CO 80221-2583

NORTH DENVER APOSTOLIC CHURCH
OF JESUS INC
2552 W 65TH PL
DENVER CO 80221

PAIZ CASIMIRO JR
11042 ROSALIE DR
DENVER CO 80233-3558

O BRIEN KATHLEEN A
6700 MORRISON DR
DENVER CO 80221-2661

PAIZ CASIMIRO JR AND
PAIZ MARY M
11042 ROSALIE DR
DENVER CO 80233-3558

OAKELEY HENRY A
5065 BLACKHAWK WAY
DENVER CO 80239

PAIZ CASIMIRO JR AND MARY M
11042 ROSALIE DR
NORTHGLENN CO 80233

OROPEZA SALVADOR A AND
ORAPEZA ALICIA R
6851 JORDAN DR
DENVER CO 80221-2508

PAIZ MARY MARTHA
11042 ROSALIE DR
DENVER CO 80233-3558

ORTIZ FILIBERTO AND
CHAVEZ CLAUDIA
6830 LARSH DRIVE
DENVER CO 80221

PANASEWICZ IGOR K AND
PANASEWICZ REBECCA L
6601 WARREN DR
DENVER CO 80221-2662

ORTIZ MARCELLINO J AND ORTIZ LISA M
2415 W 65TH AVE
DENVER CO 80221-2310

PATRICK GRANT T AND
PATRICK ERIN J
6759 LARSH DR
DENVER CO 80221-2568

ORTIZ MARCELLINO J AND ORTIZ LISA M
2435 W 65TH AVE
DENVER CO 80221-2310

PATTERSON EVERETT
6860 RUTH WAY
DENVER CO 80221-2553

ORTIZ RONALDO AND
ORTIZ XIOMARA
6718 LARSH DR
DENVER CO 80221-2568

PELICAN ADAM JOHN
2029 W 67TH PL
DENVER CO 80221

PACKER JEFFREY B AND
PACKER KARINA B
2061 W 67TH PL
DENVER CO 80221

PELLETT JOSEPHINE D
6811 LARSH DR
DENVER CO 80221-2538

PADILLA JOSE C
6841 LARSH DR
DENVER CO 80221-2538

PENETTA DONI J
6850 WARREN DR
DENVER CO 80221-2584

PEREZ DAVID AND
PEREZ PATSY
6831 WARREN DR
DENVER CO 80221-2583

QUINT SARAH ELIZABETH AND
QUINT DOV ELIEZER
6660 WARREN DR
DENVER CO 80221-2662

PEREZ LOUIS AND
PEREZ DOLORES I
6881 MORRISON DR
DENVER CO 80221-2510

QUINTANA JOE FRANK
6860 WARREN DR
DENVER CO 80221-2584

PETERS MATTHEW R
6661 WARREN DR
DENVER CO 80221-2662

RADMAN DEBORAH
6781 LARSH DR
DENVER CO 80221

PETERSON DOROTHE KAYE TRUST THE
6779 MORRISON DR
DENVER CO 80221

RAKER JESSICA M AND
RAKER MICHAEL R
6640 WARREN DR
DENVER CO 80221-2662

PETERSON MATTHEW J
6800 MORRISON DR
DENVER CO 80221-2511

RAMOS LEONARDO AND
PAROCUA ABIGAIL
6881 WARREN DRIVE
DENVER CO 80221

PFEIF ERIK A AND
TAYLOR CHARLES L
2030 W 66TH AVE
DENVER CO 80221-2587

RANDALL BRIAN M AND
RANDALL MEGAN M
2216 W 67TH PL
DENVER CO 80221-2638

PRADO ARCADIO
6910 RUTH WAY
DENVER CO 80221-2555

RASMUSEN LARRY C AND
RASMUSEN DONNA M
6841 JORDAN DR
DENVER CO 80221-2508

PRINGLE TYLER AND
PRINGLE KATHRYN
2017 E 66TH AVE APT W
DENVER CO 80229-7401

REDGATE LLC
2380 CESSNA DR
ERIE CO 80516-8110

PUBLIC SERVICE COMPANY
PO BOX 1979
DENVER CO 80201-1979

RENDON FABIOLA M
6891 JORDAN DR
DENVER CO 80221-2508

QUINONEZ ANDRES
6701 WARREN DR
DENVER CO 80221-2663

RHUDY DONALD K AND
RHUDY MARJORIE L
6841 AVRUM DR
DENVER CO 80221-2528

RICH JONATHAN AND
MCFADDIN CHRISTINA N
1980 W 67TH PL
DENVER CO 80221

ROOT TYLER
6696 WARREN DR
DENVER CO 80221-2662

RICHARDS CRYSTAL L AND
RICHARDS SCOTT E
6890 WARREN DRIVE
DENVER CO 80221

ROSSI GINA M AND
OBMACES A CHARLES
2140 W 68TH AVE
DENVER CO 80221-2566

RIMBERT GARY A
2535 W 65TH AVE
DENVER CO 80221-2339

RUSSELL Kael T
1937 W 67TH AVE
DENVER CO 80221-2619

RIVERA GREGORIO
2053 W 67TH PL
DENVER CO 80221

S AND G PROPERTIES LLC
PO BOX 1288
MORRISON CO 80465-5288

RIVERA LUKE
2511 W 65TH PL
DENVER CO 80221-2255

SAENZ JESUS CARRERA AND
RODRIGUEZ JESUS CARRERA
6821 AVRUM DR
DENVER CO 80221-2528

RIVERA LUKE W
2481 W 65TH PL UNIT A
DENVER CO 80221-2254

SAMORA NAOMI R
2580 FERN DR
WESTMINSTER CO 80030-5648

RODRIGUEZ JUAN D AND
UBALDO MARIA T
6841 MORRISON DR
DENVER CO 80221-2510

SANCHEZ DANUARIO SR/SANCHEZ
DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

ROJO LINDA LOU
2550 W 66TH PL
DENVER CO 80221-2214

SANCHEZ DANUARIO SR/SANCHEZ TERESA
SANCHEZ DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

ROLLINS DOYLE AND
ROLLINS SYBOL
6821 FERN DR
DENVER CO 80221-2504

SANCHEZ EFREN AND
SANCHEZ REMEDIOS I
6811 RUTH WAY
DENVER CO 80221-2552

ROMERO JOSEPH R
6900 MORRISON DRIVE
DENVER CO 80221

SANCHEZ GABRIEL CHAVEZ AND
CHAVEZ VERONICA
6881 RUTH WAY
DENVER CO 80221-2552

SANCHEZ MARCIA E
6801 AVRUM DRIVE
DENVER CO 80221

SCHMIDGALL AMANDA C AND
REARDON JESSICA S
2051 W 66TH AVE
DENVER CO 80221-2587

SANCHEZ VICTOR L
6840 RUTH WAY
DENVER CO 80221-2553

SCHMIDT MARK
6640 FERN DR
DENVER CO 80221

SANCHEZ-LOPEZ JESUS A AND
ORIZAGA MIRIAM MEDRANO
2045 W 67TH PL
DENVER CO 80221

SCHMIDT ROBERT B AND
STEPHANI SUSAN D
2080 W 67TH PL
DENVER CO 80221-2624

SANDOVAL DEIDRA AND
TORREZ GABRIEL
21543 E 43RD AVE
DENVER CO 80249-7276

SCHNEBERGER TIMOTHY C AND
SCHNEBERGER ANGELA L
6727 AVRUM DR
DENVER CO 80221-2567

SARACENI DALE AND
SARACENI GINA
1825 CALETA TRL
LONGMONT CO 80504-7816

SEEMEN FAMILY LIMITED
PARTNERSHIP THE
10337 MEADE LOOP
WESTMINSTER CO 80031-2446

SARACENI DALE AND
SARACENI GINA
6607 MORRISON DR
DENVER CO 80221-2660

SERANI ERIC S AND
SANDERS GRACE K
2052 W 66TH AVE
DENVER CO 80221-2587

SAYKALLY DEREK AND
SAYKALLY CHRISTOPHER
6641 MORRISON DR
DENVER CO 80221

SERNA HECTOR AND
SERNA HECTOR FABION
6920 RUTH WAY
DENVER CO 80221-2555

SCHAUERMANN KENDALL AND
SCHAUERMANN LAUREN
6635 WARREN DR
DENVER CO 80221

SEYMOUR ABIGAIL AND
KOCH AARON
6704 LARSH DR
DENVER CO 80221-2568

SCHEFFLER COURTNEY
2150 W 67TH DR
DENVER CO 80221-2634

SHACKLETT MARTHA L
5251 JUNIPER CT
GOLDEN CO 80403-2901

SCHILLING REBECCA M
2004 W 66TH AVE
DENVER CO 80221-2587

SHERBONDY DAVID B AND
SHERBONDY JODYN C
2005 E 66TH AVE APT W
DENVER CO 80229-7401

SISNEROS RICHARD A
6896 MORRISON DR
DENVER CO 80221-2511

STEWART CHANDLER R
2183 W 67TH DR
DENVER CO 80221-2634

SKRABEC KRISTY
1972 W 66TH AVE
DENVER CO 80221-2586

STEWART DAVID R AND
STEWART SARA A
2150 W 68TH AVE
DENVER CO 80221-2566

SLACK TIFFANY M AND
ZANG THOMAS H
6861 WARREN DR
DENVER CO 80221-2583

STOCKWELL MARK A AND
STOCKWELL YUIKO I
6719 AVRUM DR
DENVER CO 80221

SMITH JAY S TRUSTEE OF THE SMITH
JAY S LIVING TRUST THE
6690 MORRISON DR
DENVER CO 80221-2660

STOLTENBERG TODD W AND
FOWLER NICOLE A
6636 E MISSISSIPPI AVE
DENVER CO 80224-1816

SMITH PAMELA K AND
SMITH DAVID A
6630 FERN DR
DENVER CO 80221

SULTANTONO ARMAND AND
BENYAMIN NADIA
2065 W 67TH PL
DENVER CO 80221

SNYDER DAVID A AND
CHAMPINE CARYN M
6746 WARREN DR
DENVER CO 80221-2663

SUNDBERG ERIC P
6670 FERN DR
DENVER CO 80221-2645

SPAULDING TECUMSEH AND
SPAULDING CAROLYN
6890 FERN DR
DENVER CO 80221

SUROVIK GARY D AND SUROVIK GAYLA
6630 W 73RD PL
ARVADA CO 80003

STARK CARLY AND
EICHENBERGER FELIPE
6661 MORRISON DR
DENVER CO 80221

SUTTON CHLOE E
2009 W 67TH PL
DENVER CO 80221

STEFANSKI LEONARD L AND
STEFANSKI BARBARA J
6931 ZUNI ST
DENVER CO 80221-7401

SVALDI FAUST TRUST THE
6871 MORRISON DR
DENVER CO 80221-2510

STEPINA MARY J
6811 AVRUM DR
DENVER CO 80221-2528

SWEENEY DANNY R AND
SWEENEY MARY D
6841 RUTH WAY
DENVER CO 80221

TAYLOR NATALIE J AND
HARRELL JOHNNY R
6678 WARREN DR
DENVER CO 80221-2662

TRUJILLO RUBEN MANUEL
2530 W 65TH PL
DENVER CO 80221-2205

TAYLOR PETER J
301 MONROE ST
DENVER CO 80206-4444

TRUXAL RYAN W AND
DELLEBOVI CHRISTA R
2077 W 67TH PL
DENVER CO 80221

TERRILL TROY AND
SCOTT SHELBY K
1917 W 67TH PL
DENVER CO 80221-2620

TURNER ALEXANDER J AND
TURNER SANDRA N
1895 W 67TH PL
DENVER CO 80221-2612

TIMMONS TERESA A
2081 W 67TH PLACE
DENVER CO 80221

TYLER TANYA R
2060 W 67TH PL
DENVER CO 80003

TORVUND ROBERT CLARENCE AND
TORVUND ROBERT CLARENCE II
6841 FERN DR
DENVER CO 80221-2504

URBAN DRAINAGE AND
FLOOD CONTROL DISTRICT
2480 W 26TH AVE SUITE 156B
DENVER CO 80211

TRAN DUC VAN AND
TRAN NHU THI
6260 W 98TH DR
WESTMINSTER CO 80021

VAGHER INVESTMENTS LLC
1935 SNOWY OWL DR
BROOMFIELD CO 80020-0612

TRAN VU
PO BOX 8439
DENVER CO 80201

VALDEZ ADELLA/TIMOTHY/FRANCES/JOAN AND
VALDEZ DANIEL/KATHERINE
7160 BERTHOUD ST
WESTMINSTER CO 80030-5633

TRAN VU
6605 WARREN DR
DENVER CO 80221-2662

VALDEZ CORSIE E AND
OLIVAS SALLY
6921 MORRISON DR
DENVER CO 80221-2512

TRUJILLO GEORGE MAX
2120 W 68TH AVE
DENVER CO 80221-2566

VALLE CLAUDIA
6800 WARREN DR
DENVER CO 80221-2584

TRUJILLO MIKE A REVOCABLE LIVING TRUST &
TRUJILLO ISABEL R REVOCABLE LIVING TRUST
10656 URA LN
DENVER CO 80234-3660

VALLERO THOMAS J AND
KENTNER ELIZABETH V
2610 FERN DRIVE
WESTMINSTER CO 80030

VANN ANNA E AND
VANN MIKE
6895 MORRISON DR
DENVER CO 80221-2510

VILLALOBOS LAURO AND
VILLALOBOS SERGIA
6851 AVRUM DR
DENVER CO 80221

VANN MIKE AND
VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

VU HOA T AND VU JOANNA AND
NGUYEN TIEN K AND NGUYEN ANH T
6713 MORRISON DR
DENVER CO 80221-2569

VANN MIKE AND VANN ANNA
6895 MORRISON DR
DENVER CO 80221-2510

WALLACE ZACKARY AND
MENDEZ JARAMILLO ULISES
2014 W 66TH AVE
DENVER CO 80221-2587

VAZQUEZ ZAIRA E PICAZO
661 ELBERT ST
DENVER CO 80221-4061

WALTERS CHARLES W AND
WALTERS RACHEL T
6926 MORRISON DR
DENVER CO 80221-2513

VELIZ SERGIO PONCE
7011 BRYANT WAY
WESTMINSTER CO 80030-5636

WALTERS CHARLES W AND
WALTERS RACHEL T
6830 RUTH WAY
DENVER CO 80221-2553

VENEGAS ODILON AND
VENEGAS MARIA ISABEL GANDARA
7041 CLAY STREET
WESTMINSTER CO 80030-5644

WARREN TY A AND
WARREN KELLY C
1985 W 67TH PL
DENVER CO 80221-2620

VENZOR RAMON/IMELDA AND
VENZOR IVAN AND ADRIAN
2560 FERN DR
WESTMINSTER CO 80030-5648

WEATHERBY ADRIAN J
2044 W 66TH AVE
DENVER CO 80221-2587

VILLAGRANA JORGE LUIS
6850 LARSH DRIVE
DENVER CO 80221

WEAVER DEBORAH K
2475 W 65TH AVE
DENVER CO 80221

VILLALOBOS ADAN
6831 AVRUM DR
DENVER CO 80221

WEBER DAVID A
6900 WARREN DRIVE
DENVER CO 80221

VILLALOBOS HECTOR AND
SILVA OSMAR VILLALOBOS
6800 JORDAN DR
DENVER CO 80221-2509

WELLS CHARLES J AND
WELLS SHARON L
2580 W 66TH PL
DENVER CO 80221-2214

WELLS CHARLES J AND
WELLS SHARON
2580 W 66TH PL
DENVER CO 80221-2214

WONG GARY
2049 W 67TH PL
DENVER CO 80221

WELLS CHARLES J JR AND
WELLS SHARON
2580 W 66TH PLACE
DENVER CO 80221

WRIGHT JOHN A AND
CONOVER JACOB N
2110 W 67TH PL
DENVER CO 80221

WHEELER LENA AND
WHEELER ALICIA N
6610 E MISSISSIPPI AVE
DENVER CO 80224-1816

YANG SIAGE AND YANG BLIA
2620 FERN DR
WESTMINSTER CO 80030-5649

WHITT ANDRE/BOBBY JR AND
KALEBAUGH ANDREA
2045 W 66TH PL
DENVER CO 80221-2588

YARDLEY DONALD E TRUST
2199 W 67TH DR
DENVER CO 80221-2634

WICKHAM MICHAEL A AND
WICKHAM JACI L
6721 MORRISON DR
DENVER CO 80221

ZAFFUTO JASON D AND
ZAFFUTO MARYIA
2160 W 68TH AVE
DENVER CO 80221-2566

WILLIAMS KEN C AND
MULLIN MARY KATHERINE
6610 FERN DR
DENVER CO 80221

ZAPATA ALBERTO AND
ARELLANO HEATHER
6631 MORRISON DR
DENVER CO 80221

WINCHELL MARK A AND
WINCHELL DARLENE
369 N MANLEY RD
RIPON CA 95366-2117

ZI SHAN AND
LI XUE
2045 W 66TH PL
DENVER CO 80221-2588

WOLFERS ERNEST CLAUD
2385 W FORD PL
DENVER CO 80223-2503

WONES BRIAN
6600 MORRISON DR
DENVER CO 80221-2660

WONG BETTY REVOCABLE TRUST
6831 JORDAN DR
DENVER CO 80221-2508

Midtown PUD PRC2017-00007

January 9, 2018

Board of County Commissioners

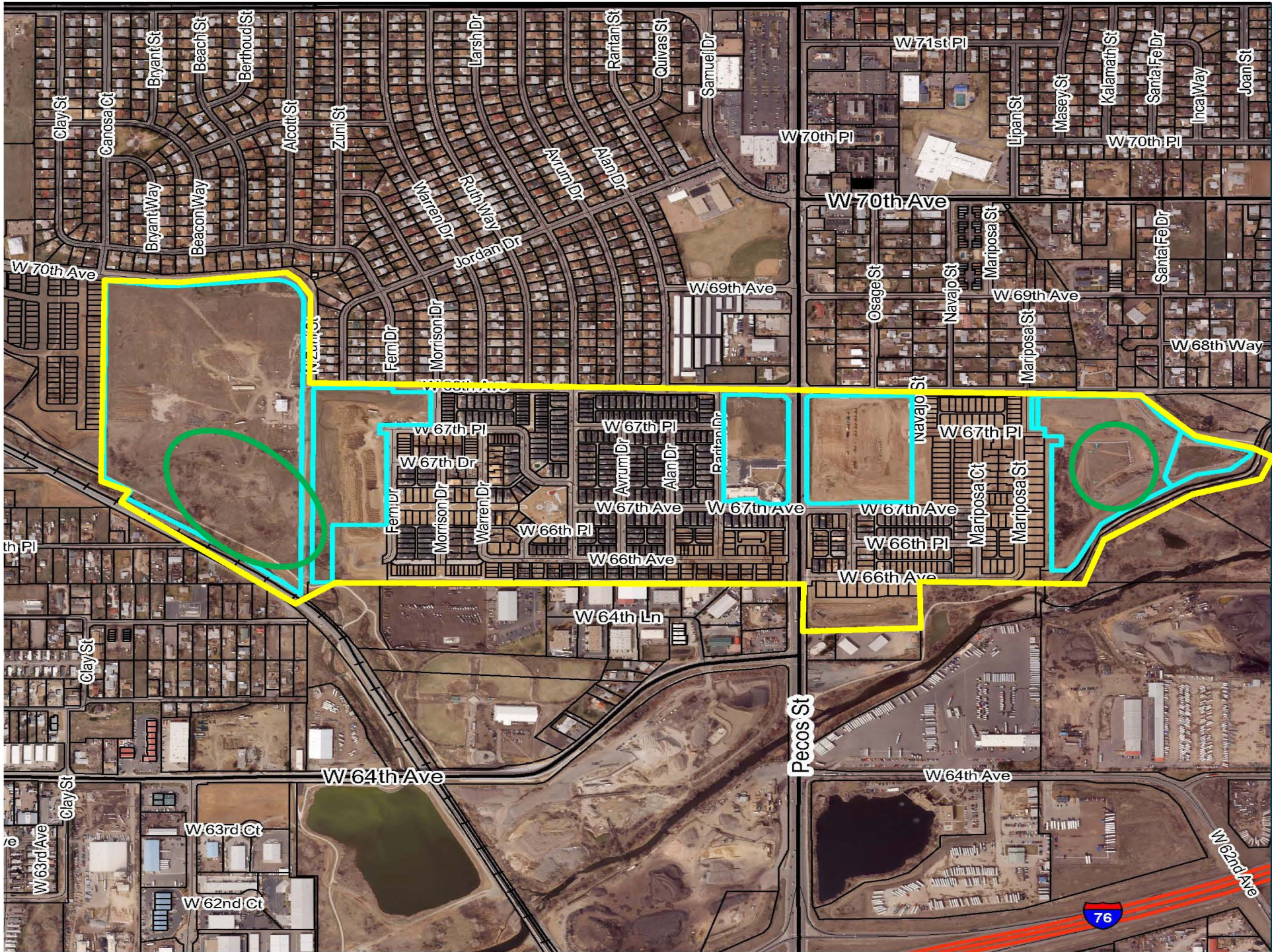
Community and Economic Development

Case Manager: Emily Collins



Background

- Midtown PUD Mixed-Use Development
 - 1,608 units, commercial, school
 - Open space including 43-acre park
- On-going remediation on 43-acre parcel
 - Groundwater contamination
- Developer unable to obtain approvals for remaining filings
 - 7 Filings approved (669 units)
 - Provision of adequate amenities
- Modify PDP site plan
 - Relocate portions of park and residential areas



Clay St
Canosa Ct
Bryant Way
Beacon Way
W 70th Ave

Bryant St
Beach St
Berthoud St
Abcott St
Zuni St
Femur Dr
Morrison Dr
Warren Dr
Ruth Way
Jordan Dr

Larsh Dr
Raritan St
Quivas St
Samuel Dr
Avrum Dr
Alan Dr
W 69th Ave

W 71st Pl
W 70th Pl
W 70th Ave
Osage St
Navajo St
Mariposa St
W 69th Ave

Lipan St
Masey St
Kalamath St
Santa Fe Dr
Inca Way
Joan St
W 70th Pl

W 68th Way
W 67th Pl
W 67th Dr
Femur Dr
Morrison Dr
Warren Dr
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
Mariposa Ct
Mariposa St
W 66th Ave

W 68th Ave
W 67th Pl
W 67th Dr
Femur Dr
Morrison Dr
Warren Dr
W 66th Pl
W 66th Ave
W 64th Ln

W 67th Pl
W 67th Pl
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
W 66th Ave

W 67th Pl
W 67th Pl
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
W 66th Ave

W 67th Pl
W 67th Pl
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
W 66th Ave

W 67th Pl
W 67th Pl
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
W 66th Ave

W 67th Pl
W 67th Pl
Avrum Dr
Alan Dr
Raritan Dr
W 67th Ave
W 67th Ave
W 67th Ave
W 66th Pl
W 66th Ave

W 63rd Ave
Clay St
W 63rd Ct
W 62nd Ct

W 64th Ave
W 64th Ave
W 64th Ave
W 64th Ave

W 64th Ave
W 64th Ave
W 64th Ave
W 64th Ave

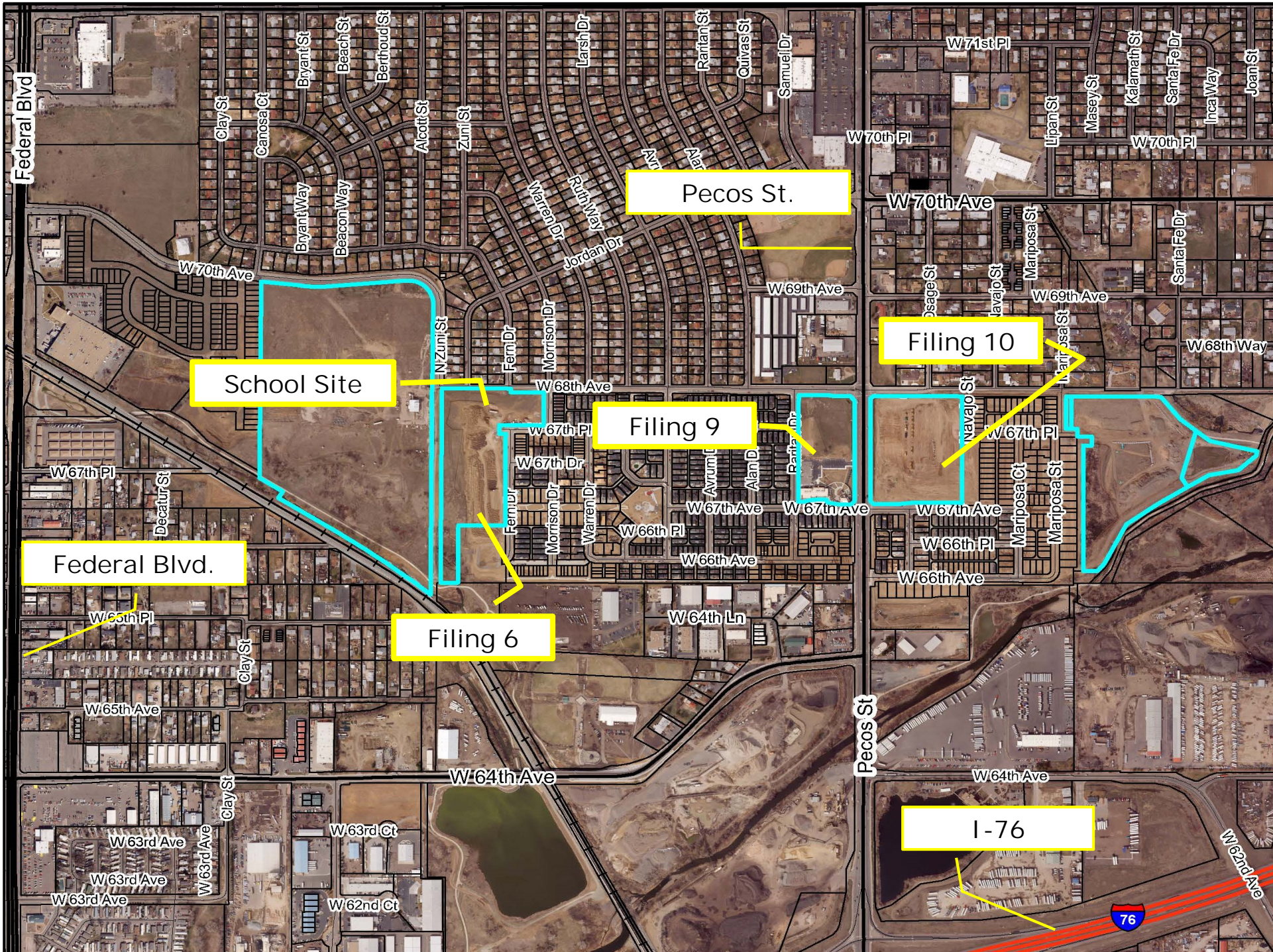
W 64th Ave
W 64th Ave
W 64th Ave
W 64th Ave

W 64th Ave
W 64th Ave
W 64th Ave
W 64th Ave

W 62nd Ave
I-76

Requests

- Amendment: to the PDP to allow redistribution of portions of residential and open space areas
 - Filing 6: FDP and Final Plat for 57 lots and vacate a portion of Zuni Street right-of-way
 - Filing 9: FDP and Final Plat 57 lots
 - Filing 10: FDP and Final Plat for 39 lots
 - School: FDP and Final Plat for one lot and vacate a portion of Zuni St. and W. 67th Ave. right-of-way
 - Subdivision Improvements Agreements (SIA) for all filings
 - Development Agreement for vested rights



Federal Blvd

School Site

Pecos St.

Filing 10

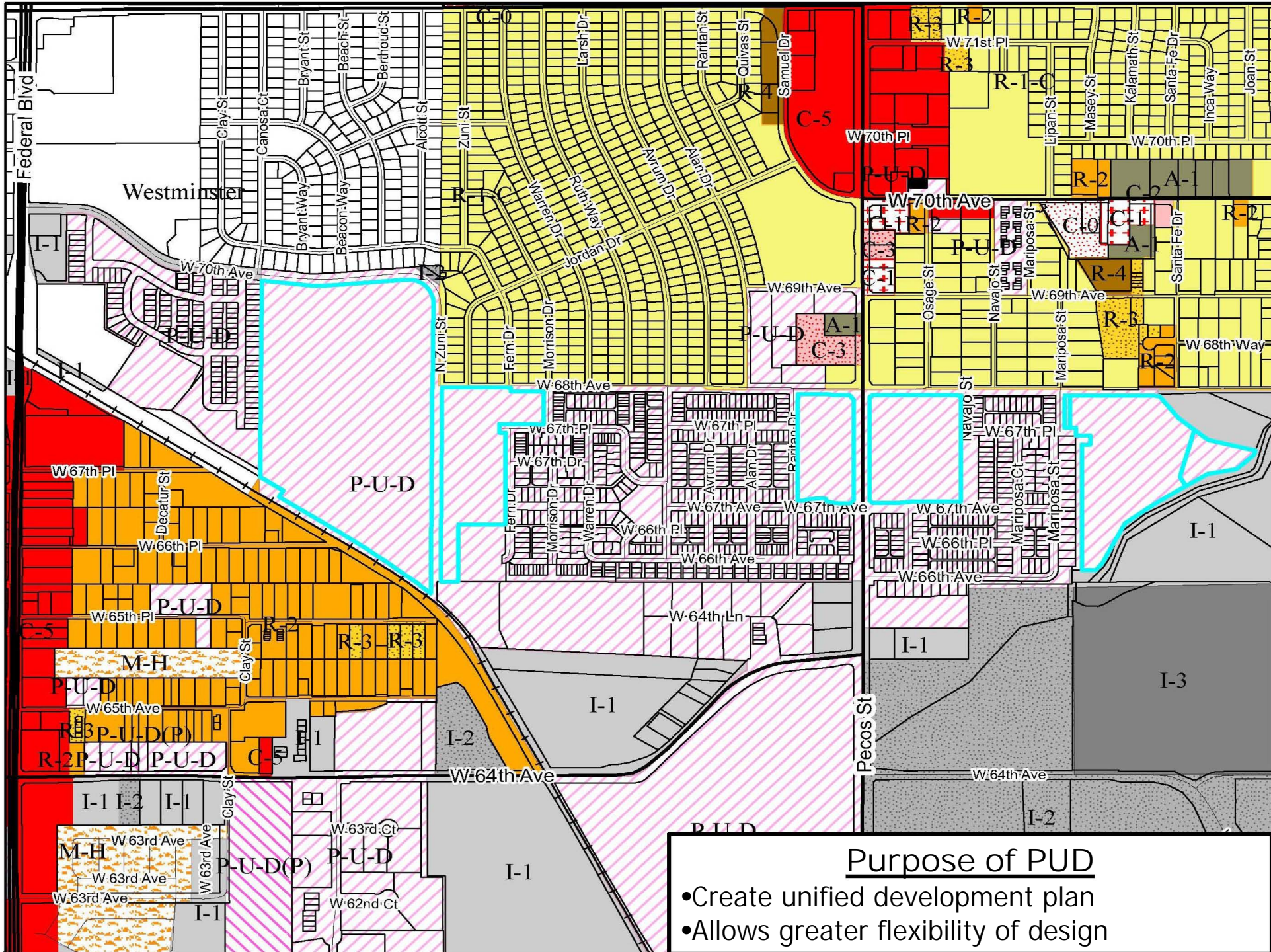
Filing 9

Federal Blvd.

Filing 6

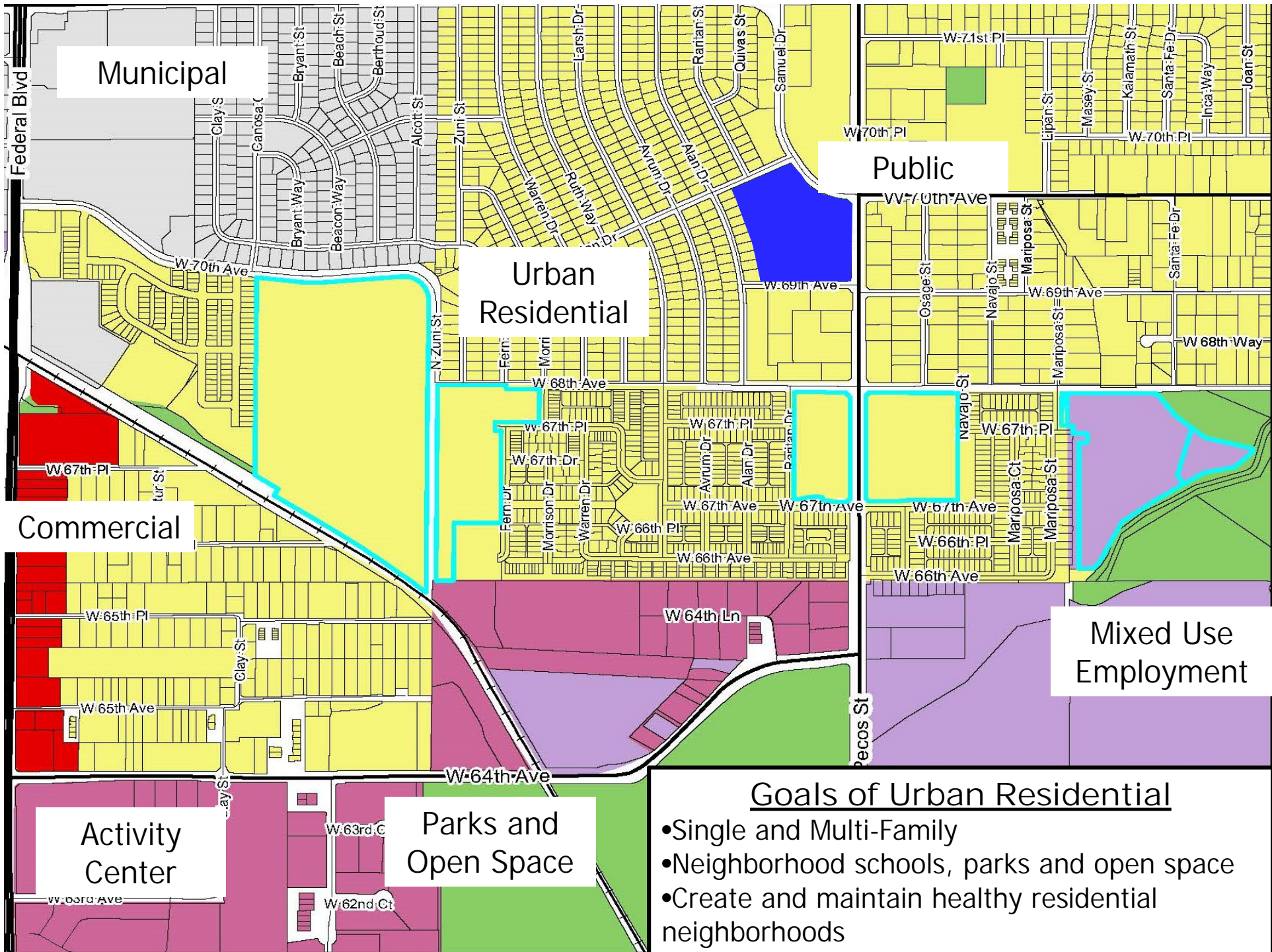
I-76

76



Purpose of PUD

- Create unified development plan
- Allows greater flexibility of design



Municipal

Public

Urban Residential

Commercial

Mixed Use Employment

Activity Center

Parks and Open Space

- Goals of Urban Residential
- Single and Multi-Family
 - Neighborhood schools, parks and open space
 - Create and maintain healthy residential neighborhoods

Preliminary Development Plan

Section 2-02-10-03-01

- First of two approvals to establish PUD district.
 - Proposed land uses and general layout
 - Vested rights, no construction
- Amendments, Section 2-01-10-02:
 - Allow updates as development progresses
 - Determined as major amendment
 - Review and approval through PC and BOCC
- Criteria for Approval:
 - Consistent with standards and regulations
 - Compatible with existing land use
 - Conform to Comprehensive Plans

Preliminary Development Plan

- February 25, 2012 PDP 1st Amendment:
 - Reduced lot sizes and setbacks
 - Reduced commercial area to 6.7 acres
 - 44% open space



Preliminary Development Plan

- July 8, 2012 PDP 2nd Amendment:
 - Update residential products and street cross-sections
 - Relocated school site
 - 44% open space



Preliminary Development Plan

- Proposed 3rd Amendment:
 - Redistribute portions of residential and open space areas
 - Reduce overall density to 1,208 units (25%)
 - 50% open space (~88 acres)
 - Continue vested rights to 2029 (Development Agreement)



Preliminary Development Plan



MIDTOWN ACTIVE/PASSIVE OPEN SPACE PER FILING

	FILING/PA ACREAGE (SEE NOTE 1)	PROVIDED OPEN SPACE (AC) (SEE NOTES 1,2)	OPEN SPACE AS PERCENTAGE OF FILING/PA ACREAGE	ACTIVE (AC)	% OF MIN. REQUIRED OPEN SPACE THAT IS ACTIVE
APPROVED FILINGS (1, 2, 3, 4, 5, 7, 8, AMENITY)	97.4	41.0	42.1%	9.0	30.7%
PROPOSED FILINGS (6, 9, 10)	28.0	16.5	58.8%	3.8	45.2%
PA-7	13.6	8.3	61.0%	2.0	49.0%
PA-10	5.7	1.7	30.0%	0.4	25.0%
PA-11	32.0	21.0	65.7%	4.8	50.0%
TOTAL:	176.6	88.4	50.1%	20.0	37.7%

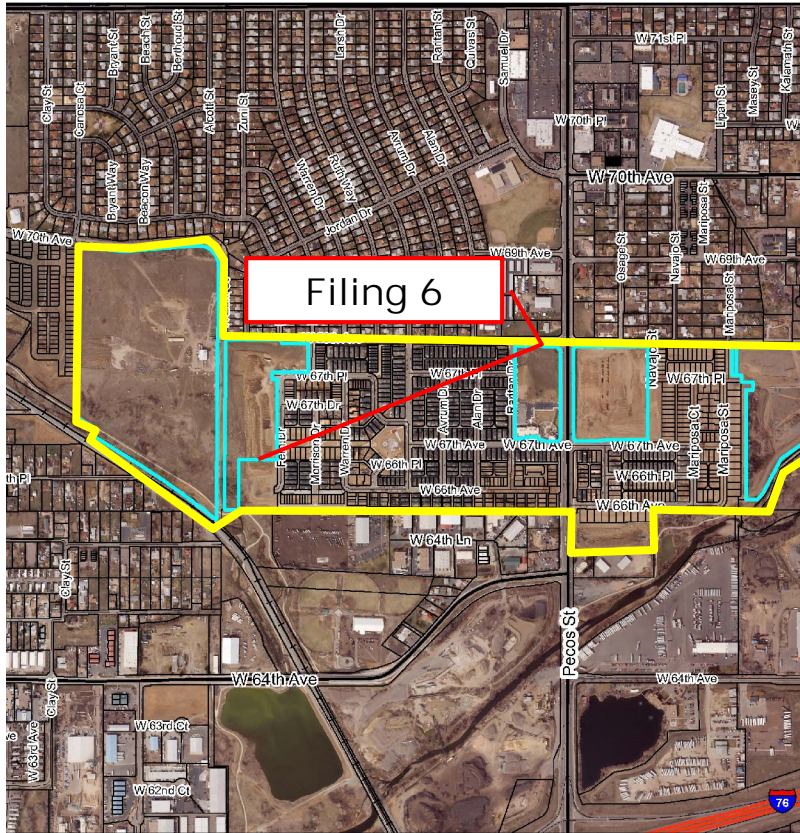
NOTES:
 1. CALCULATIONS ARE NOT INCLUSIVE OF MAPLETON SCHOOL SITE
 2. CALCULATED AS A PERCENTAGE OF MIDTOWN PROJECT TOTAL ACREAGE LESS 5.0 ACRE SCHOOL DEDICATION.
 3. CALCULATED AS A PERCENTAGE OF TOTAL MINIMUM REQUIRED OVERALL OPEN SPACE.
 4. ALL CALCULATIONS ARE BASED ON ADAMS COUNTY DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS, WHICH REQUIRE A MINIMUM OPEN SPACE THAT IS 30 PERCENT OF THE TOTAL.

Final Development Plan

Section 2-02-10-04

- Second approval to establish PUD district.
 - Site specific
 - Final plat and SIA
- Filings:
 - Six: 56 single-family detached
 - Nine: 53 townhome units*
 - Ten: 39 single-family detached
 - School Site

*Residential uses approved in 2nd Amendment to PDP



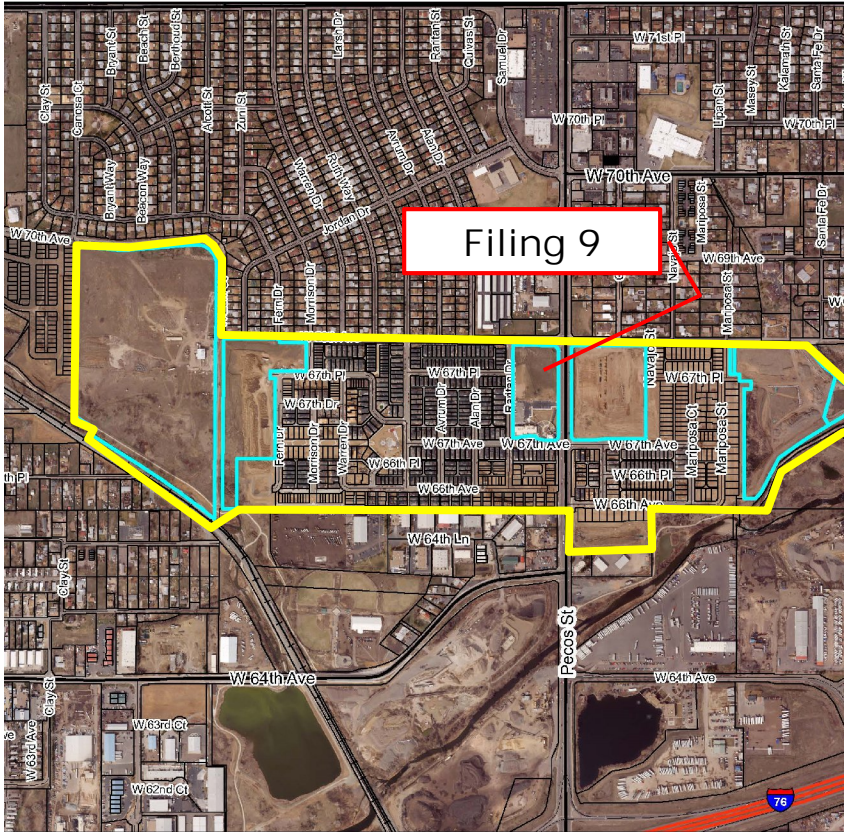
- 56 Single-Family Lots
- 11.5 acres open space
- 0.9 acre dog park
- Fee-in-lieu for 70th and Zuni improvements

QTY.	I.D.	UNIT TYPE
14		FRONT-LOADED HOMES
42		REAR-LOADED HOMES
		LIMIT OF WORK

Filing 6



Filing 9



Filing 9

- 53 Townhome Lots
- 4 Commercial Lots

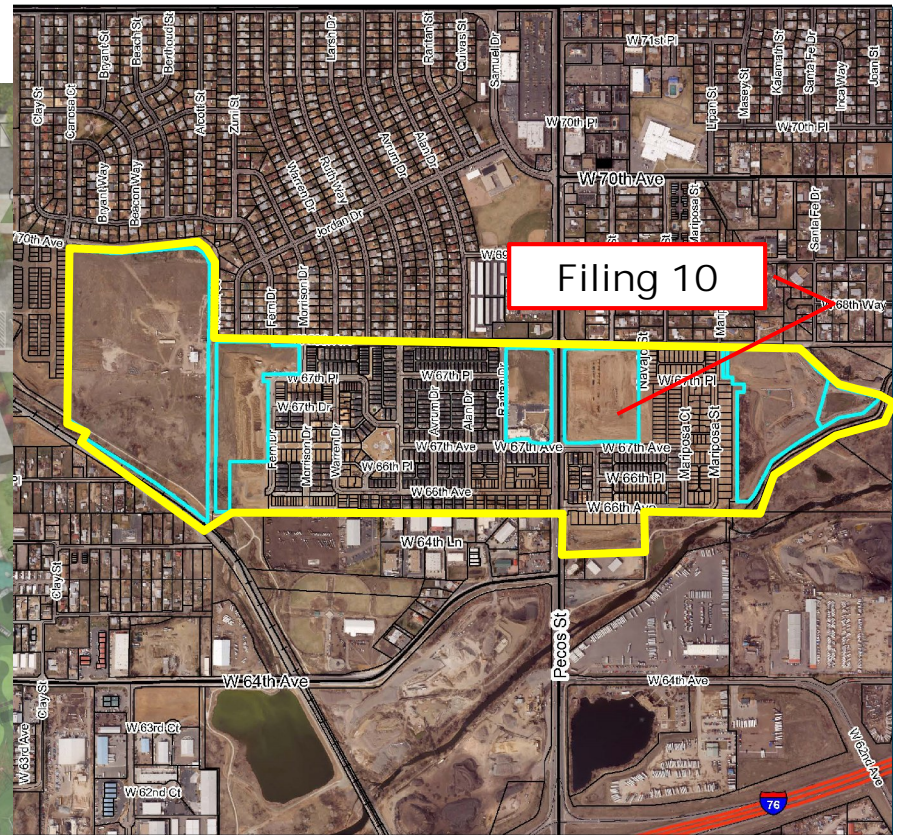








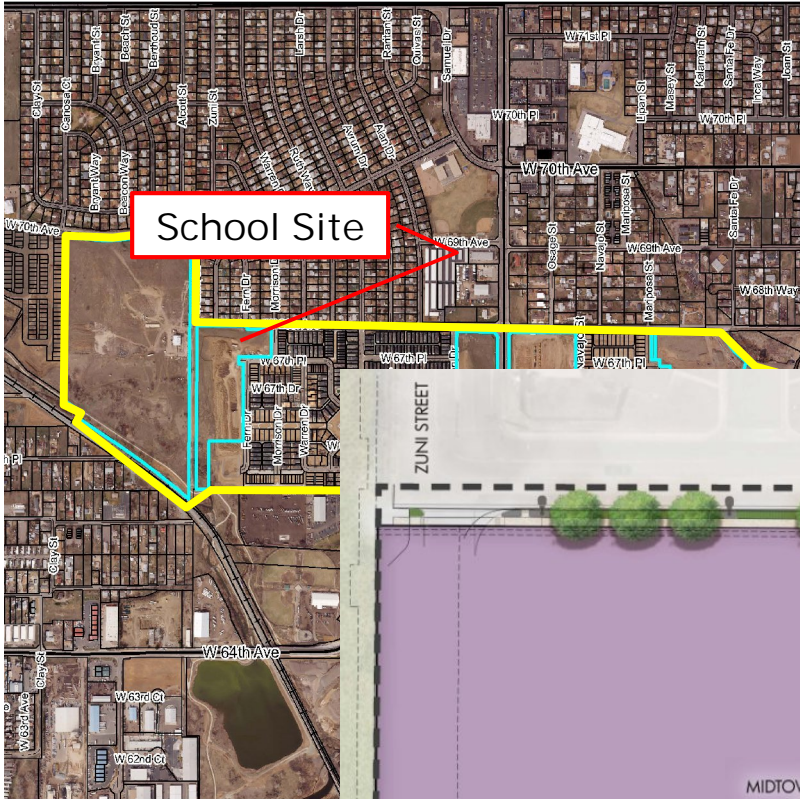
Filing 10



- 39 Single-Family Lots
- Landscape tracts
- Parking areas







School Site



School Site





MIDTOWN AT CLEAR CREEK
SCHOOL SITE

EXISTING FILING
TWO

EXISTING FILING
FOUR

FUTURE FILING
SIX AREA

MIDTOWN AT CLEAR CREEK SCHOOL SITE CONCEPTUAL SITE PLAN

LEGEND	
I.D.	TYPE
	MAPLETON SCHOOL SITE
	LIMIT OF WORK IN THIS FDP



Referral Comments

- No concerns:
 - CDOT, Division of Water, Xcel, Urban Drainage, Geological Survey, Soil Conservation District
- Concerns:
 - Tri-County Health
 - Future development will require CDPHE approval
 - Perl Mack Neighborhood Organization
 - Preferred alternative 70th/Zuni St. alignment
 - Requested additional commercial

Referral Comments

- Development Services:
 - Reviewed all construction plans, SIAs, and a Development Agreement
- Property Owners:

Notifications Sent	Comments Received
800+	85

- Concerns with existing development (drainage)
- Specific amenities requested
- Request for connectivity between developments
- Request commercial uses on Filing 9
- Support for equitable access to parks

PC UPDATE

- Considered on December 14, 2017:
 - Unanimous approval of all requests
 - Supportive of revised PDP and distribution of parks/amenities
- Discussion:
 - Status of groundwater remediation
 - Reason for reduction in residential density
 - Community requests for specific amenities
- Public Testimony
 - Four residents spoke in favor
 - Pomponio requested connectivity buffer

Analysis

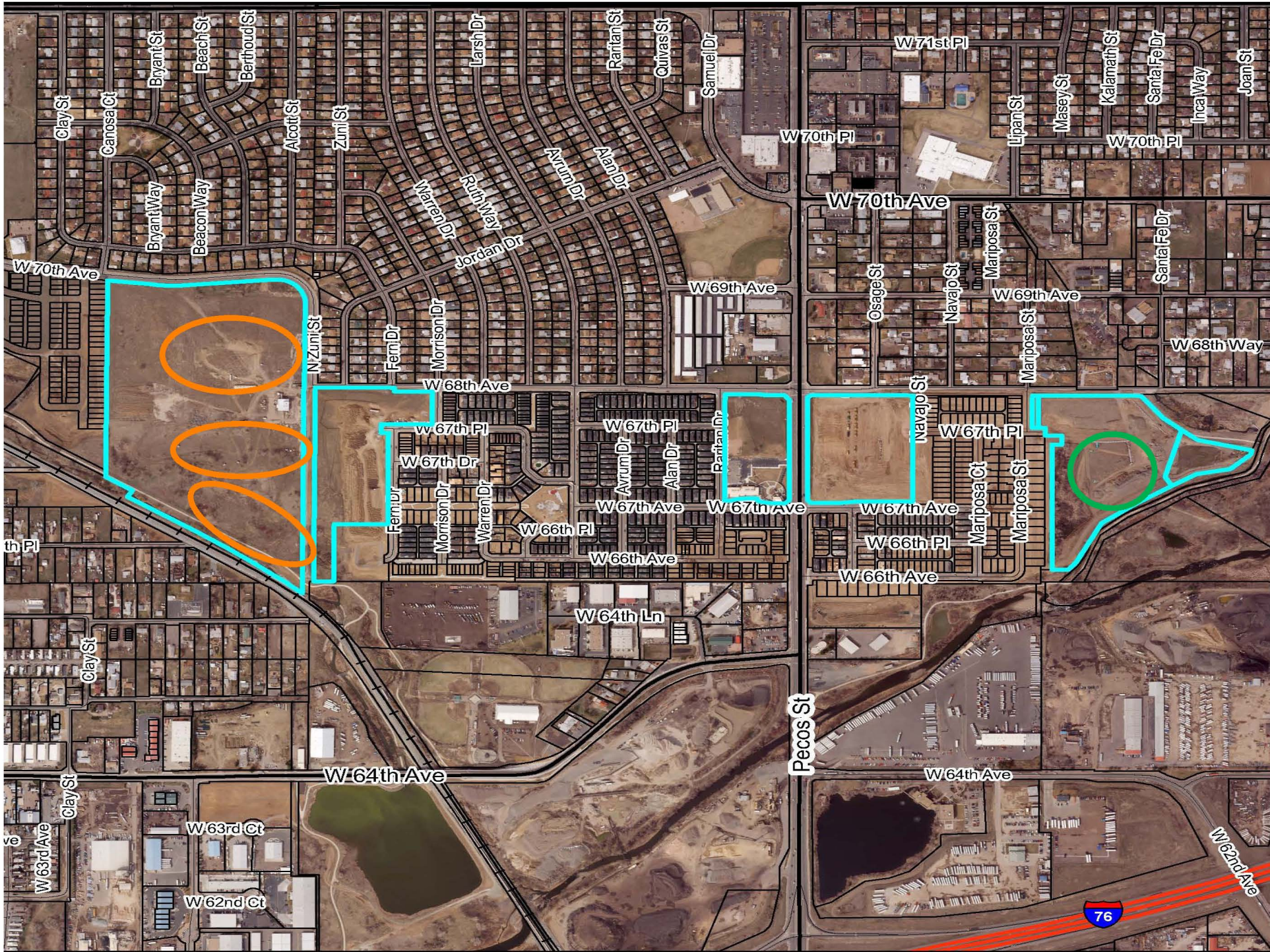
- PDP conforms to:
 - Development Standards and Regulations
 - Comprehensive Plan
 - Master Transportation Plan
 - Compatible with adjacent land uses
- PDP Amendment:
 - Redefine open space requirements and commitments
 - Allow development with concurrent amenities
 - Provide equitable access to parks
- FDP and Final Plats:
 - Conform to PDP
 - Subdivision design standards
 - Adequate public infrastructure

Recommendation

Staff and PC recommends **Approval** based on 18 Findings-of- Fact and 4 Conditions.

Recommended Conditions of Approval:

1. Prior to approval of FDPs, each proposed plan shall demonstrate conformance with overall required open space for the development.
2. Prior to requesting preliminary approval of the public improvements within the Zuni street right-of-way, the developer must deliver to the County a 'No Further Action' letter from the Colorado Department of Public Health and Environment (CDPHE) for the Zuni street right-of-way.
3. The facility parcel (previously designated as a 43-acre park area) shall be developed with, at a minimum, 32 acres of open space.
4. A generally east/west sidewalk/trail connection from the boundary of Tract F, Pomponio Terrace Filing No. 1 to the PA-11 Open Space/Park shall be required. The exact location shall be determined at the time of FDP for the residential portion of PA-11.



Preliminary Development Plan



Preliminary Development Plan

- Remaining Density:

Current	Proposed (Filings 6,9,10)	Future/Total
669 units	817 units	1,208 units



