



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
March 2, 2021
9:30 AM

Watch the virtual meeting through our You Tube Channel
<https://www.youtube.com/channel/UC7KDbF1XykrYlxnfhEH5XVA>

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. MOTION TO APPROVE AGENDA**
- 4. AWARDS AND PRESENTATIONS**
- 5. PUBLIC COMMENT**

A. Citizen Communication

Members of the public may submit written comments on any matter within the Board's subject matter jurisdiction or request to speak at the meeting through our eComment system at <https://adcogov.legistar.com/Calendar.aspx>

Residents are encouraged to submit comments, prior to the meeting, through written comment using eComment; eComment is integrated with the published meeting agenda and individuals may review the agenda item details and indicate their position on each item. A request to speak at the meeting may also be submitted using the eComment feature. You will be prompted to set up a user profile to allow you to comment, which will become part of the official public record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting.

B. Elected Officials' Communication

- 6. CONSENT CALENDAR**

- A. List of Expenditures Under the Dates of February 08-12, 2021
- B. List of Expenditures Under the Dates of February 15-19, 2021
- C. Minutes of the Commissioners' Proceedings from February 23, 2021
- D. Resolution Approving Encroachment Agreement between Hyland Hills Park and Recreation District and Adams County for Improvements in County Right-of-Way
(File approved by ELT)
- E. Resolution Accepting Warranty Deed Conveying Property from Christina E. Montano to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- F. Resolution Accepting Quitclaim Deed Conveying Property from Maria Torres and Victor Manuel Escobar Torres to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- G. Resolution Accepting Quitclaim Deed Conveying Property from Alejandro Covarrubias to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- H. Resolution Accepting Special Warranty Deed Conveying Property from Arthur R Hoenighausen and Patricia N Hoenighausen to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- I. Resolution Approving the Tax Year 2020 Colorado Parks and Wildlife Impact Assistance Grant Application
(File approved by ELT)
- J. Resolution Approving Intergovernmental Agreement between the Board of County Commissioners of the County of Adams and Commerce City Housing Authority Regarding Disbursement of Emergency Rental Assistance Funds
(File approved by ELT)
- K. Resolution Appointing Ericka Hernandez to the Cultural Council
(File approved by ELT)
- L. Resolution Appointing Jesse Martinez to the Cultural Council
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1. Resolution Approving an Agreement between Adams County and Short-Elliott-Hendrickson, Inc., to Provide Professional Engineering Services for 88th Avenue Bridge Over Wolf Creek Project
(File approved by ELT)
- 2. Resolution Approving an Agreement between Adams County and Colorado Paving, Inc., for the 2021 Miscellaneous Concrete and ADA Ramps Program
(File approved by ELT)
- 3. Resolution Approving Amendment Four to the Agreement between Adams County and Access Housing, Inc., to Provide Housing Services
(File approved by ELT)

B. COUNTY ATTORNEY

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Murray Claim

9. LAND USE HEARINGS

A. Cases to be Heard

- 1.** PRC2020-00010 Sherrelwood Village PUD Amendment
(File approved by ELT)
- 2.** RCU2020-00027 Henderson Pit Recycling
(File approved by ELT)

10. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-02 9:30 AM
Date: Monday, March 1, 2021 9:50:55 AM

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[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Rolland Kirby submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: It's a shame to see such a historic and cool building be torn down to build these monstrosities. Save it and make it a landmark!! We have too many townhomes and not enough respect for the buildings that make the city what it is.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Dori Mondon submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: The mind boggles that a community would choose to allow the demolition of such a unique architectural offering to build condominiums. To look, even, at the map placements, it seems its central position could serve all sorts of important purposes - a community center among many others. I encourage you to consider a better choice for the future of this property and especially, for this unique and historical building.

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Date: Monday, March 1, 2021 10:50:22 AM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Angie Regal-Newer submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Adams County gave me memories that have lasted throughout my life. While the building may just be another concrete structure to most, for me it was many things. It was a landmark to know I was on my way home and that feeling of familiarity and safety that came with it. It sparked curiosity and wonder as a child at such a unique building. Old doesn't equal valueless. This still has life left and can be used in so many ways. Please help keep CO unique and special, not full of lifeless cloned boxes

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Francisco Dominguez submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: I am new to the area since September 2020. I've got 2 teenage daughters and we love the neighborhood. We enjoy taking walks at Sherrelwood Park. Everytime we see this building we wonder what it's like inside and wish we could see it. We always say how perfect it would be if it were a recreation center or community center. Which is something that is hugely needed in the community. It is a perfect location that is historic and loved by many. Please save this building from unneeded development.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Sherry Becker submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: I encourage the Board to stop Del West from ruining more of our neighborhood. They have filled in open spaces that the community used to enjoy, i.e. Clear Lake, where they insisted the homes would be single-story to fit in; a lie. Now, Del West wants to forever destroy a unique, historic, architectural building that has the potential to uplift and define a part of Adams County in need of a more positive identity, not dense townhomes.

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Date: Monday, March 1, 2021 1:51:09 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

david gray submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: the existing structure has been abandoned and a hazard for quite a while---I also think it is an eyesore---I look forward to its demolition.

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Cheryl Laudenbach submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: This unique historic building is the gateway to Sherrelwood Park. It is part of the Sherrelwood community and would be a great center for the residents. Another use could be a recreation center for everyone. A big advantage to a community center or recreation center is the advantage of the beautiful park. The park and building combined would be a great asset to any community and something much needed in this area.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Cheryl Laudenbach submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: A. Cases to be Heard

eComment: Continued from my previous comment on building townhouses on Pecos: Many people use the park to get exercise, walk their dogs, fly kites and even in the winter slide down the hills in the snow. If this unique historic building were torn down for townhomes, it would cause more traffic on Pecos, take parking away from the park, and ruin the beautiful park. The community does not need these townhouses. Please consider using this unique and historic building for a community and/or recreation center.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Sinead Cooper submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: I'm opposed to the demolition of the iconic round building and placement of townhomes. Our community is already experiencing overcrowding and outrageous housing costs. Doing this with make both issues worse.

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Date: Monday, March 1, 2021 2:02:08 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Kaylyn Hatfield submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: I've lived around this area for many years. This building was always fun to see. It would be better to see it reused. It hasn't been that long since it was a daycare that i envied kids who got to go to. The area absolutely cannot handle more apartments. It's a lower income area and ammenities need to be updated not added too. Keep the blob we love the blob! It's the only thing interesting we have going on.

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Date: Monday, March 1, 2021 2:06:40 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Jacob Blakely submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Turn this building into something for the community. I'm against more housing of any form in the area; we're already getting way too crowded. I'm also sick of my property taxes rising due to this.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Cole Giesler submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: As a licensed Architect in the State of Colorado and a Sherrelwood resident I strongly support this development. Nostalgia alone should not be used as justification for postponing this development that will improve our neighborhood.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Melissa Mac submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Let this historical structure remain. It's a part of history and means the world to the people in this town. Destruction of this dome shaped building would be tragic. It has so much potential to be turned into good. Make it an art center or museum. A place where the community can gather and tourist that will come from a far to visit. Preserve it. Let it boost our economic well being. If history is destroyed to throw up cookie cutter homes it goes against what our community believes in.

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Date: Monday, March 1, 2021 3:08:26 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Steve Navarre submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Adams County has done such a good job expanding and developing their public parks and Open Spaces, ie Pelican Ponds, Rotella Park and Twin Lakes to name a few. Sherrelwood Park seems ripe for this sort of treatment, with the addition of utilizing/incorporating this historic building. As a 25 year resident, this area of our neighborhood needs no more cookie cutter dwellings crammed into an area that can't sustain more people.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Sierra Sanchez submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: These \$400k+ townhomes will be three-stories high! Delwest expects 4-5 people per unit, but are only providing parking for 2. This is going to introduce overflow parking problems in surrounding neighborhoods when these units do fill to capacity or invite visitors over. The imposing townhome structures will also block out the public's view of Sherrelwood Park. They intend to install a barrier wall along the length of the development. Forget public access and say hello to Delwest's private park!

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Date: Monday, March 1, 2021 3:31:05 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Luna Rai submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Adams County, please don't let Delwest take advantage of your residents by installing housing we don't want and increasing our property taxes which we cannot afford. They're going to walk away from this development counting their profits while we watch our very own local landmark come down in dust, wondering why the County didn't care enough about us to step in on our behalf. :(

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Date: Monday, March 1, 2021 3:37:23 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Dee Dukes submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: There hasn't been much public engagement with previous meetings because no one has faith in the system. While so many are opposed to this project, I've also been told over and over again that "money talks". No one feels like it's worth actively going up against a developer due to the monetary influence between company and County.

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Sarah Garner submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: There's a change.org petition with over 2,100 signatures from the community asking for this property to be preserved! There are many eyes watching how this case is handled & how Adams County responds to the number of people who don't want this project to move forward. Two other media outlets have asked to speak with us after the decision has been made. Everyone expects AdCo to side with Delwest & allow our beloved building to come down right in front of our eyes. Please, let's prove them wrong!!

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Pat Hall submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: This neighborhood does NOT need 47 new units of high density high-rise rental row houses. The project is NOT harmonious or compatible in this area. NO residential 3 story buildings are in Sherrelwood or Perl Mack. No posted signage exists. 219 new town homes being built at 68th and Pecos. 14 traffic lights and 2 interstate on and off ramps on Pecos from 60th to 80th.

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Date: Monday, March 1, 2021 4:03:53 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Angel Garcia submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: There were several companies and individuals interested in purchasing the bubble building with the intention of restoring it but delwest has partnership with the westminster school district which cancelled all other offers. Totally not cool to the residents who pay taxes on this kinda stuff! Any plans to mitigate fugitive dust and debris? Polyurethane foam is very dangerous to seniors, children, and anyone else with sensitive respiratory system. Delwest is putting us all in danger with demo!

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Date: Monday, March 1, 2021 4:16:14 PM

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Liz Mancha submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: The new homes DelWest put in are death traps with severe foundation issues!! Talk to the people who have bought their pieces of crud before approving any more of them in our neighborhood! One of my neighbors is in the process of a legal battle with Delwest. Betcha Fitchett won't tell you that, huh?

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Date: Monday, March 1, 2021 4:23:04 PM

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Joseph Velasquez submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: A. Cases to be Heard

eComment: Adco stands to receive prop tax revenue from Delwest's developments. While AdCo's tax revenue is at an all time high from marijuana sales while having an 18% poverty rate (note this is before COVID), the County doesn't need increased income as much as they need to help the ppl who are experiencing poverty. Delwest doesn't need profits, people need help and these are not the answer. There's plenty of unused space in AdCo to develop housing; let the original structure stand to serve a purpose

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Alois Maehlor submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Ideally, we would like the county to explore any options into reclaiming the property as a county-run public center with a maintained landscape leading down into the park to encourage outdoor recreation, or declare that Delwest must incorporate it into their development plans for use as a community amenity. Perl Mack technically belongs to Westminster and Hyland Hills to Federal Heights. Sherrelwood needs it's very own and this is the perfect spot!

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New eComment for Board of County Commissioners on 2021-03-02 9:30 AM

Laura Porter submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-02 9:30 AM

Item: 1. 21-222 PRC2020-00010 Sherrelwood Village PUD Amendment (File approved by ELT)

eComment: Please don't demolish this unique building. It's a landmark to this area and the last thing we need is more townhomes and taxes. The people in my family have seen this for years and no one wants this. Doesn't the county listen to its citizens?

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County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	2,571,982.76
4	Capital Facilities Fund	967,152.15
5	Golf Course Enterprise Fund	31,669.04
6	Equipment Service Fund	48,324.75
7	Stormwater Utility Fund	9,161.09
13	Road & Bridge Fund	119,730.31
19	Insurance Fund	64,009.42
25	Waste Management Fund	107,973.61
28	Open Space Sales Tax Fund	5,533.77
30	Community Dev Block Grant Fund	94,858.25
31	Head Start Fund	6,135.25
34	Comm Services Blk Grant Fund	101,940.87
35	Workforce & Business Center	145.92
43	Colorado Air & Space Port	2,372.58
50	FLATROCK Facility Fund	1,607.33
94	Sheriff Payables	1,664.00
		<u>4,134,261.10</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007160	378404	CARUSO JAMES LOUIS	02/10/21	5,125.00
00007161	37193	CINA & CINA FORENSIC CONSULTIN	02/10/21	10,150.00
00007162	991234	COLO PIPELINE REHABILITATION	02/10/21	2,000.00
00007164	95034	GODFREY JOHNSON PC	02/10/21	328.50
00007171	1008782	ANGEL ARMOR LLC	02/12/21	17,471.63
00007173	1017428	B&R INDUSTRIES	02/12/21	1,800.00
00007174	1077641	FERRO CONCEPTS USA INC	02/12/21	13,885.25
00007175	1016895	G4S SECURE SOLUTIONS USA INC	02/12/21	23,138.48
00007176	1100766	HOYT MATT	02/12/21	1,064.00
00007179	491215	WELLPATH LLC	02/12/21	741,685.23
00756640	42779	ADAMS COUNTY COMMUNICATION CEN	02/11/21	404,849.59
00756641	93203	ADAMS COUNTY EDUCATION CONSORT	02/11/21	850.00
00756644	13884	ADAMS COUNTY SHERIFF	02/11/21	990.70
00756645	91631	ADAMSON POLICE PRODUCTS	02/11/21	291.85
00756646	1128011	ADT COMMERCIAL LLC	02/11/21	60.00
00756648	12012	ALSCO AMERICAN INDUSTRIAL	02/11/21	402.28
00756649	534739	APPLEONE EMPLOYMENT SERVICES	02/11/21	8,102.40
00756650	1074737	ARA INC	02/11/21	7,252.00
00756652	322973	ARMORED KNIGHTS INC	02/11/21	1,698.60
00756654	45084	BASELINE ASSOCIATES INC	02/11/21	420.00
00756655	993099	BAYAUD ENTERPRISES INC	02/11/21	900.00
00756657	669302	BLUE 360 MEDIA LLC	02/11/21	5,925.40
00756659	28303	CENTURA HEALTH	02/11/21	1,800.00
00756671	99357	COLO MEDICAL WASTE INC	02/11/21	1,450.00
00756672	28639	COLO STATE UNIVERSITY	02/11/21	6,000.00
00756673	1128467	COLORADO BOILER	02/11/21	10,619.44
00756674	1029850	COLORADO HOSPITALITY SERVICES	02/11/21	50.00
00756675	414144	COLORADO MOISTURE CONTROL INC	02/11/21	4,643.00
00756676	48089	COMCAST BUSINESS	02/11/21	2,100.00
00756677	612089	COMMERCIAL CLEANING SYSTEMS	02/11/21	102,554.42
00756679	274030	COMMUNICATION CONSTRUCTION & E	02/11/21	3,820.00
00756680	255001	COPYCO QUALITY PRINTING INC	02/11/21	4,080.00
00756681	163136	DEEP ROCK WATER	02/11/21	116.64
00756683	237568	DESIGN WORKSHOP	02/11/21	1,675.00
00756685	56025	DISCOUNT PLUMBING SERVICES INC	02/11/21	3,803.23
00756686	1115302	DISCOUNT TIRE	02/11/21	500.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756687	35867	ELDORADO ARTESIAN SPRINGS INC	02/11/21	50.95
00756690	47723	FEDEX	02/11/21	85.66
00756691	197938	FIRST CALL OF COLO	02/11/21	6,300.00
00756693	671123	FOUND MY KEYS	02/11/21	1,721.13
00756694	12689	GALLS LLC	02/11/21	8,138.19
00756695	689772	GENEDX INC	02/11/21	1,500.00
00756696	258674	GO UP ELEVATOR INSPECTION SERV	02/11/21	450.00
00756697	808845	GRONQUIST, CHRISTOPHER L	02/11/21	65.00
00756701	10864	HILLYARD - DENVER	02/11/21	260.00
00756702	535614	HR ADVANTAGE GROUP LLC	02/11/21	2,825.00
00756703	1064721	HRQ INC	02/11/21	945.00
00756704	5814	I70 SCOUT THE	02/11/21	832.00
00756705	79260	IDEXX DISTRIBUTION INC	02/11/21	1,302.50
00756708	32276	INSIGHT PUBLIC SECTOR	02/11/21	4,772.75
00756709	746356	J. BROWER PSYCHOLOGICAL SERVIC	02/11/21	1,400.00
00756710	1130458	JACKSON PATRICK	02/11/21	264.00
00756711	77611	KD SERVICE GROUP	02/11/21	576.09
00756713	1029848	KING SOOPERS	02/11/21	150.00
00756714	36861	LEXIS NEXIS MATTHEW BENDER	02/11/21	50.44
00756715	628960	LODOX NA LLC	02/11/21	22,300.00
00756716	1129650	MARTINEZ ASSOCIATES INC	02/11/21	2,800.00
00756717	637831	MCCREARY RAPHAEL	02/11/21	65.00
00756718	51274	MCDONALD YONG HUI V	02/11/21	5,495.40
00756719	1097323	MCGUINN CONOR MATTHEW	02/11/21	625.00
00756720	1039410	MECSTAT LABORATORIES	02/11/21	390.00
00756721	1108206	MERCHANTS METALS LLC	02/11/21	14,311.14
00756722	729564	METRO TRANSPORTATION PLANNING	02/11/21	1,017.75
00756723	93018	MURPHY RICK	02/11/21	4,867.77
00756725	13591	MWI VETERINARY SUPPLY CO	02/11/21	3,261.72
00756727	1130194	NATIONAL CAR CHARGING LLC	02/11/21	735.00
00756729	16428	NICOLETTI-FLATER ASSOCIATES	02/11/21	495.00
00756730	1029852	NORTH SUBURBAN MEDICAL CENTER	02/11/21	50.00
00756732	470643	ONENECK IT SOLUTIONS LLC	02/11/21	360.00
00756733	282112	ORACLE AMERICA INC	02/11/21	64,669.56
00756734	725673	PACIFIC OFFICE AUTOMATION INC	02/11/21	18.49
00756735	669732	PATTERSON VETERINARY SUPPLY IN	02/11/21	8.30

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756736	43423	PERFORMANCE ENHANCEMENTS INC	02/11/21	11,480.00
00756737	39496	PIPER COMMUNICATION SERVICES I	02/11/21	3,187.00
00756738	176327	PITNEY BOWES GLOBAL FINANCIAL	02/11/21	1,152.54
00756739	192059	POINT SPORTS/ERGOMED	02/11/21	720.00
00756741	42838	PURCHASE POWER	02/11/21	286.00
00756743	365736	RACING UNDERGROUND LLC	02/11/21	500.00
00756744	88393	RECRUITING.COM	02/11/21	6,120.00
00756746	1053529	ROCKY MOUNTAIN SIGNING CO INC	02/11/21	3,310.00
00756748	255505	SHERMAN & HOWARD LLC	02/11/21	6,481.25
00756749	13538	SHRED IT USA LLC	02/11/21	87.15
00756750	51001	SOUTHLAND MEDICAL LLC	02/11/21	2,561.65
00756751	227044	SOUTHWESTERN PAINTING	02/11/21	373.00
00756752	1131585	SPACESAVER STORAGE SYSTEMS INC	02/11/21	960.00
00756753	1029881	SPRINT CUSTOMER FINANCE SERVIC	02/11/21	50.00
00756754	42818	STATE OF COLORADO	02/11/21	9.11
00756755	42818	STATE OF COLORADO	02/11/21	112.76
00756756	42818	STATE OF COLORADO	02/11/21	703.18
00756757	42818	STATE OF COLORADO	02/11/21	8,760.30
00756759	157984	STRASBURG SCHOOL DIST 31-J	02/11/21	51,979.00
00756760	599714	SUMMIT FOOD SERVICE LLC	02/11/21	33,346.67
00756761	293662	SUMMIT LABORATORIES INC	02/11/21	480.00
00756762	426037	SWIRE COCA-COLA USA	02/11/21	770.40
00756765	319978	TONSAGER DENNIS	02/11/21	65.00
00756766	7189	TOSHIBA FINANCIAL SERVICES	02/11/21	11,632.87
00756767	810316	TRELOAR TARA A	02/11/21	65.00
00756768	1094	TRI COUNTY HEALTH DEPT	02/11/21	6,214.88
00756769	1094	TRI COUNTY HEALTH DEPT	02/11/21	671,895.28
00756770	1094	TRI COUNTY HEALTH DEPT	02/11/21	7,531.96
00756771	1035011	U-HAUL CREDIT ADMINISTRATION	02/11/21	25.00
00756772	1007	UNITED POWER (UNION REA)	02/11/21	43.66
00756773	666732	UNITED POWER INC	02/11/21	582.22
00756775	51179	UPS	02/11/21	162.09
00756776	158184	UTILITY NOTIFICATION CENTER OF	02/11/21	475.87
00756778	28566	VERIZON WIRELESS	02/11/21	40.01
00756779	28617	VERIZON WIRELESS	02/11/21	3,118.20
00756780	702804	WOLFE SANDRA KAY	02/11/21	65.00

Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756781	48464	WYOMING DEPT OF FAMILY SERVICE	02/11/21	10.00
00756782	13822	XCEL ENERGY	02/11/21	298.04
00756783	473336	ZAYO GROUP HOLDINGS INC	02/11/21	3,802.50
00756784	34559	PIPEFITTERS LOCAL # 208	02/11/21	187,763.69
			Fund Total	2,571,982.76

Net Warrants by Fund Detail

4Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007177	104910	SAUNDERS CONSTRUCTION INC	02/12/21	114,271.92
00007180	40847	WORKPLACE ELEMENTS	02/12/21	11,446.49
00756689	33577	FCI CONSTRUCTORS INC	02/11/21	733,402.79
00756698	12812	GROUND ENGINEERING CONSULTANTS	02/11/21	100.50
00756724	986500	MW GOLDEN CONSTRUCTORS	02/11/21	107,930.45
			Fund Total	967,152.15

County of Adams
Net Warrants by Fund Detail

5 **Golf Course Enterprise Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007167	6177	PROFESSIONAL RECREATION MGMT I	02/10/21	31,669.04
Fund Total				31,669.04

Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756656	32682	BEARCOM WIRELESS WORLDWIDE	02/11/21	15,925.00
00756688	346750	FACTORY MOTOR PARTS	02/11/21	8,344.21
00756707	682207	INSIGHT AUTO GLASS LLC	02/11/21	502.52
00756747	16237	SAM HILL OIL INC	02/11/21	18,858.39
00756764	790907	THE GOODYEAR TIRE AND RUBBER C	02/11/21	4,694.63
			Fund Total	48,324.75

Net Warrants by Fund Detail

7

Stormwater Utility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007168	433702	QUANTUM WATER & ENVIRONMENT	02/10/21	7,693.25
00756777	158184	UTILITY NOTIFICATION CENTER OF	02/11/21	1,467.84
Fund Total				9,161.09

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007169	982994	WESTERN STATES LAND SERVICES L	02/10/21	3,872.24
00756700	92426	HDR ENGINEERING INC	02/11/21	27,019.25
00756745	147080	ROCKSOL CONSULTING GROUP INC	02/11/21	88,838.82
Fund Total				119,730.31

Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007178	523053	TRISTAR RISK MANAGEMENT	02/12/21	15,682.40
00756658	726898	CA SHORT COMPANY	02/11/21	1,716.75
00756669	17565	COLO FRAME & SUSPENSION	02/11/21	5,976.04
00756692	986661	FIT SOLDIERS LLC	02/11/21	240.00
00756699	90816	HANSON SARA M	02/11/21	20,584.93
00756712	64854	KING & GREISEN LLP	02/11/21	19,415.07
00756726	61886	NATHAN DUMM & MAYER PC	02/11/21	394.23
			Fund Total	64,009.42

County of Adams
Net Warrants by Fund Detail

25

Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007165	1038368	IRON WOMAN CONSTRUCTION	02/10/21	107,973.61
			Fund Total	107,973.61

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007172	89295	ARVADA CITY OF	02/12/21	5,533.77
Fund Total				5,533.77

Net Warrants by Fund Detail

30 Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007159	1087759	BLACK EYED PEA	02/10/21	3,855.00
00007163	1087774	COLORADO SPORTS RENTAL LLC	02/10/21	3,000.00
00007166	215754	PEAK FORM MEDIAL CLINIC	02/10/21	11,619.50
00756706	305987	IMAGE IMPRESSIONS	02/11/21	2,609.00
00756731	42881	NORTHGLENN CITY OF	02/11/21	54,838.75
00756742	1116391	PURPLE MOON FAMILY CHILDCARE L	02/11/21	10,082.50
00756763	1102552	THE GLENN BAR & GRILL	02/11/21	8,853.50
			Fund Total	94,858.25

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756660	37266	CENTURY LINK	02/11/21	149.22
00756661	37266	CENTURY LINK	02/11/21	422.32
00756662	37266	CENTURY LINK	02/11/21	149.40
00756663	166025	CHILDRENS HOSPITAL	02/11/21	1,575.00
00756664	327250	CINTAS CORPORATION NO 2	02/11/21	160.89
00756667	54679	COLO DEPT OF HUMAN SERVICES	02/11/21	480.00
00756682	45567	DENVER CHILDREN'S ADVOCACY CTR	02/11/21	3,198.42
			Fund Total	6,135.25

Net Warrants by Fund Detail

34

Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756639	30283	ACCESS HOUSING	02/11/21	35,558.46
00756642	258636	ADAMS COUNTY FOOD BANK	02/11/21	8,880.00
00756647	5991	ALMOST HOME INC	02/11/21	30,520.08
00756728	689895	NEW LEGACY CHARTER	02/11/21	22,492.46
00756740	189016	PROJECT ANGEL HEART	02/11/21	4,489.87
Fund Total				101,940.87

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756643	252050	ADAMS COUNTY HUMAN SERVICES	02/11/21	105.92
00756684	935983	DIETER KATIE	02/11/21	40.00
Fund Total				145.92

Net Warrants by Fund Detail

43Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756651	228213	ARAMARK REFRESHMENT SERVICES	02/11/21	132.78
00756653	80118	AT&T CORP	02/11/21	111.90
00756665	852482	CLEARWAY ENERGY GROUP LLC	02/11/21	1,480.04
00756774	300982	UNITED SITE SERVICES	02/11/21	647.86
Fund Total				2,372.58

Net Warrants by Fund Detail

50FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756678	612089	COMMERCIAL CLEANING SYSTEMS	02/11/21	1,606.87
00756758	33604	STATE OF COLORADO	02/11/21	.46
Fund Total				1,607.33

Net Warrants by Fund Detail

94Sheriff Payables

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756666	95935	CLERK OF THE COUNTY COURT	02/11/21	790.00
00756668	92474	COLO DEPT OF HUMAN SERVICES	02/11/21	795.00
00756670	44915	COLO JUDICIAL DEPT	02/11/21	79.00
Fund Total				1,664.00

County of Adams
Net Warrants by Fund Detail

Grand Total 4,134,261.10

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	ADAMS COUNTY HUMAN SERVICES	00035	990125	384217	02/08/21	<u>101.92</u>
					Account Total	<u>101.92</u>
					Department Total	<u><u>101.92</u></u>

County of Adams
Vendor Payment Report

<u>3161</u>	<u>Animal Shelter Construction</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	HILLYARD - DENVER	00004	990262	384420	02/10/21	<u>260.00</u>
					Account Total	<u>260.00</u>
					Department Total	<u><u>260.00</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	ADAMS COUNTY EDUCATION CONSORT	00001	990101	383961	02/04/21	<u>850.00</u>
					Account Total	<u>850.00</u>
					Department Total	<u><u>850.00</u></u>

County of Adams
Vendor Payment Report

4	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	FCI CONSTRUCTORS INC	00004	990383	384565	02/11/21	772,002.94
	GROUND ENGINEERING CONSULTANTS	00004	990402	384565	02/11/21	100.50
	MW GOLDEN CONSTRUCTORS	00004	990410	384565	02/11/21	113,611.00
	SAUNDERS CONSTRUCTION INC	00004	990467	384682	02/12/21	120,283.23
	SAUNDERS CONSTRUCTION INC	00004	990467	384682	02/12/21	3.00
	WORKPLACE ELEMENTS	00004	990444	384593	02/11/21	9,874.65
	WORKPLACE ELEMENTS	00004	990445	384593	02/11/21	1,162.80
	WORKPLACE ELEMENTS	00004	990446	384593	02/11/21	409.04
					Account Total	1,017,447.16
	Retainages Payable					
	FCI CONSTRUCTORS INC	00004	990383	384565	02/11/21	38,600.15-
	MW GOLDEN CONSTRUCTORS	00004	990410	384565	02/11/21	5,680.55-
	SAUNDERS CONSTRUCTION INC	00004	990467	384682	02/12/21	.15-
	SAUNDERS CONSTRUCTION INC	00004	990467	384682	02/12/21	6,014.16-
					Account Total	50,295.01-
					Department Total	967,152.15

County of Adams
Vendor Payment Report

<u>9263</u>	<u>CARES Act Funding</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	STRASBURG SCHOOL DIST 31-J	00001	990114	384057	02/05/21	51,979.00
	TRI COUNTY HEALTH DEPT	00001	990112	384054	02/05/21	671,895.28
					Account Total	<u>723,874.28</u>
	Operating Supplies					
	ARA INC	00001	988962	382756	01/21/21	7,252.00
					Account Total	<u>7,252.00</u>
					Department Total	<u><u>731,126.28</u></u>

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	990208	384340	02/09/21	66.39
					Account Total	66.39
	Telephone					
	AT&T CORP	00043	990275	384442	02/10/21	97.12
					Account Total	97.12
	Water/Sewer/Sanitation					
	UNITED SITE SERVICES	00043	990209	384340	02/09/21	647.86
					Account Total	647.86
					Department Total	811.37

County of Adams
Vendor Payment Report

<u>4308</u>	<u>CASPATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	AT&T CORP	00043	990275	384442	02/10/21	<u>7.39</u>
					Account Total	<u>7.39</u>
					Department Total	<u><u>7.39</u></u>

County of Adams
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	990208	384340	02/09/21	<u>66.39</u>
					Account Total	<u>66.39</u>
					Department Total	<u><u>66.39</u></u>

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	CLEARWAY ENERGY GROUP LLC	00043	990181	384323	02/09/21	584.08
	CLEARWAY ENERGY GROUP LLC	00043	990182	384323	02/09/21	364.65
	CLEARWAY ENERGY GROUP LLC	00043	990183	384323	02/09/21	267.02
	CLEARWAY ENERGY GROUP LLC	00043	990184	384323	02/09/21	264.29
					Account Total	1,480.04
	Telephone					
	AT&T CORP	00043	990275	384442	02/10/21	7.39
					Account Total	7.39
					Department Total	1,487.43

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	BLACK EYED PEA	00030	990117	384067	02/05/21	3,855.00
	COLORADO SPORTS RENTAL LLC	00030	990111	384041	02/05/21	3,000.00
	IMAGE IMPRESSIONS	00030	989872	383666	02/02/21	2,609.00
	NORTHGLENN CITY OF	00030	988612	382165	01/13/21	54,838.75
	PEAK FORM MEDIAL CLINIC	00030	990116	384066	02/05/21	11,619.50
	PURPLE MOON FAMILY CHILDCARE L	00030	990103	383964	02/04/21	10,082.50
	THE GLENN BAR & GRILL	00030	990023	383899	02/04/21	8,853.50
					Account Total	94,858.25
					Department Total	94,858.25

County of Adams
Vendor Payment Report

<u>1020</u>	<u>CLK Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990279	384444	02/10/21	<u>75.00</u>
					Account Total	<u>75.00</u>
					Department Total	<u><u>75.00</u></u>

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Legal Notices					
	170 SCOUT THE	00001	989975	383775	02/03/21	832.00
					Account Total	832.00
	Minor Equipment					
	PITNEY BOWES GLOBAL FINANCIAL	00001	989976	383776	02/03/21	1,152.54
					Account Total	1,152.54
					Department Total	1,984.54

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	990280	384444	02/10/21	47.15
					Account Total	47.15
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990281	384446	02/10/21	40.00
					Account Total	40.00
	Security Service					
	ADT COMMERCIAL LLC	00001	990276	384444	02/10/21	60.00
					Account Total	60.00
					Department Total	147.15

County of Adams
Vendor Payment Report

<u>1021</u>	<u>CLK Recording</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990277	384444	02/10/21	875.00
	COPYCO QUALITY PRINTING INC	00001	990278	384444	02/10/21	3,090.00
					Account Total	<u>3,965.00</u>
					Department Total	<u><u>3,965.00</u></u>

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ROCKY MOUNTAIN SIGNING CO INC	00001	990127	384219	02/08/21	3,310.00
					Account Total	3,310.00
	Temporary Labor					
	HOYT MATT	00001	990268	384439	02/10/21	252.00
	HOYT MATT	00001	990269	384439	02/10/21	406.00
	HOYT MATT	00001	990270	384439	02/10/21	406.00
					Account Total	1,064.00
					Department Total	4,374.00

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	LODOX NA LLC	00001	990130	384223	02/08/21	22,300.00
					Account Total	22,300.00
	Medical Services					
	CARUSO JAMES LOUIS	00001	990119	384086	02/05/21	5,125.00
	CINA & CINA FORENSIC CONSULTIN	00001	990145	384229	02/08/21	10,150.00
					Account Total	15,275.00
	Operating Supplies					
	ELDORADO ARTESIAN SPRINGS INC	00001	990131	384224	02/08/21	39.95
	ELDORADO ARTESIAN SPRINGS INC	00001	990132	384224	02/08/21	11.00
	SOUTHLAND MEDICAL LLC	00001	990138	384224	02/08/21	2,561.65
					Account Total	2,612.60
	Other Professional Serv					
	BASELINE ASSOCIATES INC	00001	990137	384224	02/08/21	420.00
	COLO MEDICAL WASTE INC	00001	990135	384224	02/08/21	1,450.00
	FEDEX	00001	990136	384224	02/08/21	55.27
	FEDEX	00001	990140	384224	02/08/21	30.39
	FIRST CALL OF COLO	00001	990129	384222	02/08/21	6,300.00
	GENEDX INC	00001	990144	384227	02/08/21	1,500.00
	LEXIS NEXIS MATTHEW BENDER	00001	990141	384224	02/08/21	50.44
	MCGUINN CONOR MATTHEW	00001	990128	384221	02/08/21	625.00
	MECSTAT LABORATORIES	00001	990142	384224	02/08/21	195.00
	MECSTAT LABORATORIES	00001	990143	384224	02/08/21	195.00
	UPS	00001	990133	384224	02/08/21	17.92
	UPS	00001	990134	384224	02/08/21	144.17
					Account Total	10,983.19
					Department Total	51,170.79

County of Adams
Vendor Payment Report

<u>1012</u>	<u>County Manager</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	HR ADVANTAGE GROUP LLC	00001	988868	382601	01/19/21	<u>2,825.00</u>
					Account Total	<u>2,825.00</u>
					Department Total	<u><u>2,825.00</u></u>

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	PACIFIC OFFICE AUTOMATION INC	00001	989070	382918	01/22/21	18.49
					Account Total	18.49
	Operating Supplies					
	SHRED IT USA LLC	00001	990171	384307	02/09/21	40.00
					Account Total	40.00
	Other Professional Serv					
	GODFREY JOHNSON PC	00001	990170	384306	02/09/21	328.50
					Account Total	328.50
					Department Total	<u>386.99</u>

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ACCESS HOUSING	00034	990241	384416	02/10/21	35,558.46
	ADAMS COUNTY FOOD BANK	00034	990242	384416	02/10/21	8,880.00
	ALMOST HOME INC	00034	990243	384416	02/10/21	30,520.08
	NEW LEGACY CHARTER	00034	990093	383926	02/04/21	22,492.46
	PROJECT ANGEL HEART	00034	990244	384416	02/10/21	4,489.87
					Account Total	101,940.87
					Department Total	101,940.87

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	SPACESAVER STORAGE SYSTEMS INC	00001	990282	384418	02/10/21	<u>960.00</u>
					Account Total	<u>960.00</u>
					Department Total	<u><u>960.00</u></u>

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BEARCOM WIRELESS WORLDWIDE	00006	990349	384561	02/11/21	15,288.00
	FACTORY MOTOR PARTS	00006	990351	384561	02/11/21	8,344.21
	INSIGHT AUTO GLASS LLC	00006	990353	384561	02/11/21	253.28
	INSIGHT AUTO GLASS LLC	00006	990354	384561	02/11/21	209.24
	INSIGHT AUTO GLASS LLC	00006	990355	384561	02/11/21	40.00
	SAM HILL OIL INC	00006	990356	384561	02/11/21	1,178.04
	SAM HILL OIL INC	00006	990358	384561	02/11/21	132.90
	SAM HILL OIL INC	00006	990359	384561	02/11/21	2,820.34
	SAM HILL OIL INC	00006	990360	384561	02/11/21	320.21
	SAM HILL OIL INC	00006	990347	384561	02/11/21	424.80
	SAM HILL OIL INC	00006	990348	384561	02/11/21	12,629.53
	THE GOODYEAR TIRE AND RUBBER C	00006	990350	384561	02/11/21	1,250.32
	THE GOODYEAR TIRE AND RUBBER C	00006	990338	384561	02/11/21	480.00
	THE GOODYEAR TIRE AND RUBBER C	00006	990339	384561	02/11/21	2,889.31
	THE GOODYEAR TIRE AND RUBBER C	00006	990340	384561	02/11/21	75.00
					Account Total	46,335.18
					Department Total	46,335.18

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	COLO STATE UNIVERSITY	00001	990239	384413	02/02/21	<u>6,000.00</u>
					Account Total	<u>6,000.00</u>
					Department Total	<u><u>6,000.00</u></u>

County of Adams
Vendor Payment Report

<u>1018</u>	<u>Finance General Accounting</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	APPLEONE EMPLOYMENT SERVICES	00001	989016	382870	01/22/21	2,700.80
	APPLEONE EMPLOYMENT SERVICES	00001	989671	383448	01/29/21	2,700.80
	APPLEONE EMPLOYMENT SERVICES	00001	990115	384059	02/05/21	2,700.80
					Account Total	<u>8,102.40</u>
					Department Total	<u><u>8,102.40</u></u>

County of Adams
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00050	988902	382666	01/21/21	.45
					Account Total	.45
	Received not Vouchered Clrg					
	COMMERCIAL CLEANING SYSTEMS	00050	990396	384565	02/11/21	1,606.87
					Account Total	1,606.87
					Department Total	<u>1,607.32</u>

County of Adams
Vendor Payment Report

<u>9111</u>	<u>Fleet - Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fuel, Gas & Oil					
	SAM HILL OIL INC	00006	990157	384232	02/08/21	1,352.57
					Account Total	1,352.57
	Vehicles & Equipment					
	BEARCOM WIRELESS WORLDWIDE	00006	990159	384232	02/08/21	19.00
	BEARCOM WIRELESS WORLDWIDE	00006	990160	384232	02/08/21	418.00
	BEARCOM WIRELESS WORLDWIDE	00006	990162	384232	02/08/21	200.00
					Account Total	637.00
					Department Total	1,989.57

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	990248	384419	02/10/21	<u>43.66</u>
					Account Total	<u>43.66</u>
					Department Total	<u><u>43.66</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	UNITED POWER INC	00001	990257	384419	02/10/21	582.22
					Account Total	582.22
	Maintenance Contracts					
	SUMMIT LABORATORIES INC	00001	990256	384419	02/10/21	480.00
					Account Total	480.00
					Department Total	1,062.22

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PIPER COMMUNICATION SERVICES I	00001	990255	384419	02/10/21	<u>3,187.00</u>
					Account Total	<u>3,187.00</u>
					Department Total	<u><u>3,187.00</u></u>

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Repair & Maint Supplies					
	NATIONAL CAR CHARGING LLC	00001	990251	384419	02/10/21	<u>735.00</u>
					Account Total	<u>735.00</u>
					Department Total	<u><u>735.00</u></u>

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLORADO MOISTURE CONTROL INC	00001	990249	384419	02/10/21	4,643.00
	DISCOUNT PLUMBING SERVICES INC	00001	990261	384420	02/10/21	3,803.23
					Account Total	8,446.23
					Department Total	8,446.23

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	GO UP ELEVATOR INSPECTION SERV	00001	990246	384419	02/10/21	<u>450.00</u>
					Account Total	<u>450.00</u>
					Department Total	<u><u>450.00</u></u>

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Collateral Deposits Payable					
	PIPEFITTERS LOCAL # 208	00001	990415	384578	02/11/21	187,763.69
					Account Total	187,763.69
	Diversion Restitution Payable					
	COLORADO HOSPITALITY SERVICES	00001	990245	384418	02/10/21	50.00
	DISCOUNT TIRE	00001	990247	384418	02/10/21	500.00
	JACKSON PATRICK	00001	990258	384418	02/10/21	264.00
	KING SOOPERS	00001	990250	384418	02/10/21	150.00
	NORTH SUBURBAN MEDICAL CENTER	00001	990253	384418	02/10/21	50.00
	SPRINT CUSTOMER FINANCE SERVIC	00001	990259	384418	02/10/21	50.00
	U-HAUL CREDIT ADMINISTRATION	00001	990260	384418	02/10/21	25.00
					Account Total	1,089.00
	Received not Vouchered Clrg					
	ADAMS COUNTY COMMUNICATION CEN	00001	990361	384561	02/11/21	354,243.39
	ADAMS COUNTY COMMUNICATION CEN	00001	990361	384561	02/11/21	50,606.20
	ADAMSON POLICE PRODUCTS	00001	990362	384561	02/11/21	147.90
	ADAMSON POLICE PRODUCTS	00001	990363	384561	02/11/21	143.95
	ALSCO AMERICAN INDUSTRIAL	00001	990364	384561	02/11/21	201.14
	ALSCO AMERICAN INDUSTRIAL	00001	990365	384561	02/11/21	201.14
	ANGEL ARMOR LLC	00001	990433	384593	02/11/21	899.00
	ANGEL ARMOR LLC	00001	990434	384593	02/11/21	2,797.44
	ANGEL ARMOR LLC	00001	990435	384593	02/11/21	750.00
	ANGEL ARMOR LLC	00001	990436	384593	02/11/21	2,140.00
	ANGEL ARMOR LLC	00001	990437	384593	02/11/21	4,592.19
	ANGEL ARMOR LLC	00001	990438	384593	02/11/21	5,394.00
	ANGEL ARMOR LLC	00001	990439	384593	02/11/21	899.00
	ARMORED KNIGHTS INC	00001	990401	384565	02/11/21	339.72
	ARMORED KNIGHTS INC	00001	990401	384565	02/11/21	339.72
	ARMORED KNIGHTS INC	00001	990401	384565	02/11/21	339.72
	ARMORED KNIGHTS INC	00001	990401	384565	02/11/21	339.72
	ARMORED KNIGHTS INC	00001	990401	384565	02/11/21	339.72
	B&R INDUSTRIES	00001	990440	384593	02/11/21	600.00
	B&R INDUSTRIES	00001	990441	384593	02/11/21	600.00
	B&R INDUSTRIES	00001	990442	384593	02/11/21	600.00
	BAYAUD ENTERPRISES INC	00001	990407	384565	02/11/21	900.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	BLUE 360 MEDIA LLC	00001	990366	384561	02/11/21	5,925.40
	COLO PIPELINE REHABILITATION	00001	990267	384424	02/10/21	2,000.00
	COLORADO BOILER	00001	990346	384561	02/11/21	10,619.44
	COMCAST BUSINESS	00001	990334	384561	02/11/21	2,100.00
	COMMERCIAL CLEANING SYSTEMS	00001	990393	384565	02/11/21	1,209.10
	COMMERCIAL CLEANING SYSTEMS	00001	990393	384565	02/11/21	10,368.30
	COMMERCIAL CLEANING SYSTEMS	00001	990394	384565	02/11/21	385.20
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	7,720.86
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	4,756.87
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	801.73
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	809.73
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	495.21
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	3,413.66
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	1,554.28
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	21,297.13
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	678.63
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	936.75
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	30,736.84
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	1,915.76
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	741.83
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	3,405.00
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	491.59
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	171.20
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	1,821.48
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	4,326.73
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	726.54
	COMMERCIAL CLEANING SYSTEMS	00001	990395	384565	02/11/21	3,790.00
	DESIGN WORKSHOP	00001	990392	384565	02/11/21	1,675.00
	FERRO CONCEPTS USA INC	00001	990447	384593	02/11/21	13,885.25
	FOUND MY KEYS	00001	990376	384561	02/11/21	370.80
	FOUND MY KEYS	00001	990377	384561	02/11/21	1,350.33
	G4S SECURE SOLUTIONS USA INC	00001	990457	384682	02/12/21	4,083.65
	G4S SECURE SOLUTIONS USA INC	00001	990464	384682	02/12/21	4,208.60
	G4S SECURE SOLUTIONS USA INC	00001	990465	384682	02/12/21	4,175.53
	G4S SECURE SOLUTIONS USA INC	00001	990466	384682	02/12/21	4,099.50
	G4S SECURE SOLUTIONS USA INC	00001	990443	384593	02/11/21	6,571.20

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GALLS LLC	00001	990378	384561	02/11/21	208.88
	GALLS LLC	00001	990378	384561	02/11/21	71.06
	GALLS LLC	00001	990379	384561	02/11/21	1,609.50
	GALLS LLC	00001	990380	384561	02/11/21	1,609.50
	GALLS LLC	00001	990381	384561	02/11/21	1,548.50
	GALLS LLC	00001	990382	384561	02/11/21	1,609.50
	GALLS LLC	00001	990384	384561	02/11/21	1,481.25
	HRQ INC	00001	990400	384565	02/11/21	945.00
	IDEXX DISTRIBUTION INC	00001	990333	384561	02/11/21	472.07
	IDEXX DISTRIBUTION INC	00001	990342	384561	02/11/21	429.57
	IDEXX DISTRIBUTION INC	00001	990343	384561	02/11/21	400.86
	INSIGHT PUBLIC SECTOR	00001	990335	384561	02/11/21	4,772.75
	J. BROWER PSYCHOLOGICAL SERVIC	00001	990375	384561	02/11/21	1,400.00
	MCDONALD YONG HUI V	00001	990386	384561	02/11/21	5,495.40
	MERCHANTS METALS LLC	00001	990322	384561	02/11/21	6,321.66
	MERCHANTS METALS LLC	00001	990323	384561	02/11/21	7,989.48
	MURPHY RICK	00001	990411	384561	02/11/21	4,867.77
	MWI VETERINARY SUPPLY CO	00001	990409	384565	02/11/21	22.10
	MWI VETERINARY SUPPLY CO	00001	990324	384561	02/11/21	2,564.12
	MWI VETERINARY SUPPLY CO	00001	990325	384561	02/11/21	63.46
	MWI VETERINARY SUPPLY CO	00001	990326	384561	02/11/21	25.50
	MWI VETERINARY SUPPLY CO	00001	990327	384561	02/11/21	4.55
	MWI VETERINARY SUPPLY CO	00001	990328	384561	02/11/21	113.94
	MWI VETERINARY SUPPLY CO	00001	990329	384561	02/11/21	244.44
	MWI VETERINARY SUPPLY CO	00001	990330	384561	02/11/21	198.01
	MWI VETERINARY SUPPLY CO	00001	990331	384561	02/11/21	25.60
	ORACLE AMERICA INC	00001	990345	384561	02/11/21	64,669.56
	PATTERSON VETERINARY SUPPLY IN	00001	990332	384561	02/11/21	8.30
	PERFORMANCE ENHANCEMENTS INC	00001	990408	384565	02/11/21	11,480.00
	RACING UNDERGROUND LLC	00001	990341	384561	02/11/21	500.00
	RECRUITING.COM	00001	990344	384561	02/11/21	6,120.00
	SHERMAN & HOWARD LLC	00001	990352	384565	02/11/21	6,481.25
	SOUTHWESTERN PAINTING	00001	990397	384565	02/11/21	373.00
	STATE OF COLORADO	00001	990403	384565	02/11/21	9.11
	STATE OF COLORADO	00001	990404	384565	02/11/21	112.76
	STATE OF COLORADO	00001	990405	384565	02/11/21	703.18

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	STATE OF COLORADO	00001	990406	384565	02/11/21	8,760.30
	SUMMIT FOOD SERVICE LLC	00001	990389	384561	02/11/21	3,948.08
	SUMMIT FOOD SERVICE LLC	00001	990390	384561	02/11/21	23,938.01
	WELLPATH LLC	00001	990455	384682	02/12/21	619,498.44
	WELLPATH LLC	00001	990456	384682	02/12/21	122,186.79
					Account Total	1,504,316.32
					Department Total	1,693,169.01

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	13,622.17
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	1,764.64
					Account Total	<u>15,386.81</u>
					Department Total	<u><u>15,386.81</u></u>

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	215.00
					Account Total	215.00
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	13,315.52
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	1,704.21
					Account Total	15,019.73
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	400.00
					Account Total	400.00
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	990266	384426	02/10/21	647.50
					Account Total	647.50
					Department Total	16,282.23

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	CHILDRENS HOSPITAL	00031	990387	384565	02/11/21	1,575.00
	DENVER CHILDREN'S ADVOCACY CTR	00031	990385	384565	02/11/21	3,198.42
					Account Total	<u>4,773.42</u>
					Department Total	<u><u>4,773.42</u></u>

County of Adams
Vendor Payment Report

<u>935121</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Licenses and Fees					
	COLO DEPT OF HUMAN SERVICES	00031	990168	384233	02/08/21	480.00
					Account Total	480.00
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	990167	384233	02/08/21	160.89
					Account Total	160.89
	Telephone					
	CENTURY LINK	00031	990164	384233	02/08/21	149.22
	CENTURY LINK	00031	990165	384233	02/08/21	422.32
	CENTURY LINK	00031	990166	384233	02/08/21	149.40
					Account Total	720.94
					Department Total	1,361.83

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CA SHORT COMPANY	00019	990391	384565	02/11/21	1,716.75
	COLO FRAME & SUSPENSION	00019	990336	384561	02/11/21	2,517.77
	COLO FRAME & SUSPENSION	00019	990337	384561	02/11/21	3,458.27
	FIT SOLDIERS LLC	00019	990388	384565	02/11/21	240.00
	NATHAN DUMM & MAYER PC	00019	990357	384565	02/11/21	394.23
					Account Total	8,327.02
					Department Total	8,327.02

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	General Liab - Other than Prop					
	HANSON SARA M	00019	990287	384461	02/10/21	20,584.93
	KING & GREISEN LLP	00019	990288	384461	02/10/21	19,415.07
					Account Total	<u>40,000.00</u>
					Department Total	<u><u>40,000.00</u></u>

County of Adams
Vendor Payment Report

<u>8617</u>	<u>Insurance- Workers Comp</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Workers Compensation					
	TRISTAR RISK MANAGEMENT	00019	990454	384670	02/12/21	<u>15,682.40</u>
					Account Total	<u>15,682.40</u>
					Department Total	<u><u>15,682.40</u></u>

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ONENECK IT SOLUTIONS LLC	00001	989972	383771	02/03/21	360.00
					Account Total	360.00
	ISP Services					
	ZAYO GROUP HOLDINGS INC	00001	989974	383772	02/03/21	3,802.50
					Account Total	3,802.50
	Other Professional Serv					
	COMMUNICATION CONSTRUCTION & E	00001	989970	383771	02/03/21	3,820.00
	UTILITY NOTIFICATION CENTER OF	00001	989971	383771	02/03/21	248.83
	UTILITY NOTIFICATION CENTER OF	00001	989973	383772	02/03/21	227.04
					Account Total	4,295.87
					Department Total	8,458.37

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ARVADA CITY OF	00028	990283	384447	02/10/21	<u>5,533.77</u>
					Account Total	<u>5,533.77</u>
					Department Total	<u><u>5,533.77</u></u>

County of Adams
Vendor Payment Report

<u>1034</u>	<u>People Services-Social Svcs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	WYOMING DEPT OF FAMILY SERVICE	00001	990196	384330	02/09/21	<u>10.00</u>
					Account Total	<u>10.00</u>
					Department Total	<u><u>10.00</u></u>

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990217	384346	02/09/21	40.01
					Account Total	40.01
					Department Total	40.01

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Event Services					
	SWIRE COCA-COLA USA	00001	990216	384346	02/09/21	<u>770.40</u>
					Account Total	<u>770.40</u>
					Department Total	<u><u>770.40</u></u>

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	990218	384346	02/09/21	<u>298.04</u>
					Account Total	<u>298.04</u>
					Department Total	<u><u>298.04</u></u>

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	GRONQUIST, CHRISTOPHER L	00001	990098	383933	02/04/21	65.00
	MCCREARY RAPHAEL	00001	990094	383933	02/04/21	65.00
	TONSAGER DENNIS	00001	990097	383933	02/04/21	65.00
	TRELOAR TARA A	00001	990096	383933	02/04/21	65.00
	WOLFE SANDRA KAY	00001	990095	383933	02/04/21	65.00
					Account Total	325.00
					Department Total	325.00

County of Adams
Vendor Payment Report

<u>97975</u>	<u>RESEA Program-FY16</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	ADAMS COUNTY HUMAN SERVICES	00035	990125	384217	02/08/21	<u>4.00</u>
					Account Total	<u>4.00</u>
					Department Total	<u><u>4.00</u></u>

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HDR ENGINEERING INC	00013	990399	384565	02/11/21	27,019.25
	ROCKSOL CONSULTING GROUP INC	00013	990398	384565	02/11/21	88,838.82
	WESTERN STATES LAND SERVICES L	00013	990234	384354	02/09/21	3,872.24
					Account Total	<u>119,730.31</u>
					Department Total	<u><u>119,730.31</u></u>

County of Adams
Vendor Payment Report

<u>2092</u>	<u>Sheriff Flatrock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Merchandise					
	STATE OF COLORADO	00050	988902	382666	01/21/21	<u>.01</u>
					Account Total	<u>.01</u>
					Department Total	<u><u>.01</u></u>

County of Adams
Vendor Payment Report

94	Sheriff Payables	Fund	Voucher	Batch No	GL Date	Amount
	Brain Trust					
	COLO DEPT OF HUMAN SERVICES	00094	990211	384343	02/09/21	795.00
					Account Total	795.00
	Family Friendly Fee					
	COLO JUDICIAL DEPT	00094	990213	384343	02/09/21	79.00
					Account Total	79.00
	State Surcharge					
	CLERK OF THE COUNTY COURT	00094	990212	384343	02/09/21	790.00
					Account Total	790.00
					Department Total	<u>1,664.00</u>

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	425.65
					Account Total	425.65
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	197.16
					Account Total	197.16
					Department Total	622.81

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	190.79
					Account Total	190.79
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	4.59
					Account Total	4.59
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	119.06
					Account Total	119.06
					Department Total	<u>314.44</u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	NICOLETTI-FLATER ASSOCIATES	00001	990225	384348	02/09/21	495.00
					Account Total	495.00
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	1,070.96
					Account Total	1,070.96
	Operating Supplies					
	DEEP ROCK WATER	00001	990223	384348	02/09/21	116.64
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	441.63
					Account Total	558.27
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	1,055.01
					Account Total	1,055.01
	Other Professional Serv					
	POINT SPORTS/ERGOMED	00001	990221	384345	02/09/21	720.00
					Account Total	720.00
					Department Total	3,899.24

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	445.77
					Account Total	445.77
	Postage & Freight					
	PURCHASE POWER	00001	990226	384348	02/09/21	286.00
					Account Total	286.00
					Department Total	731.77

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	373.99
					Account Total	373.99
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	271.71
					Account Total	271.71
	Other Professional Serv					
	METRO TRANSPORTATION PLANNING	00001	990224	384348	02/09/21	1,017.75
					Account Total	1,017.75
					Department Total	1,663.45

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	1,148.44
					Account Total	1,148.44
	Land Improvements					
	MARTINEZ ASSOCIATES INC	00001	990252	384419	02/10/21	280.00
	MARTINEZ ASSOCIATES INC	00001	990254	384419	02/10/21	2,520.00
					Account Total	2,800.00
	Medical Services					
	CENTURA HEALTH	00001	990220	384345	02/09/21	600.00
					Account Total	600.00
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	613.50
					Account Total	613.50
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	40.01
					Account Total	40.01
					Department Total	5,201.95

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	2,880.74
					Account Total	2,880.74
	Medical Services					
	CENTURA HEALTH	00001	990220	384345	02/09/21	1,200.00
					Account Total	1,200.00
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	990227	384348	02/09/21	5,460.58
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	1,408.89
					Account Total	6,869.47
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	392.27
					Account Total	392.27
	Other Repair & Maint					
	KD SERVICE GROUP	00001	990222	384345	02/09/21	576.09
					Account Total	576.09
					Department Total	11,918.57

County of Adams
Vendor Payment Report

<u>2072</u>	<u>SHF- Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	<u>30.77</u>
					Account Total	<u>30.77</u>
					Department Total	<u><u>30.77</u></u>

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	<u>100.73</u>
					Account Total	<u>100.73</u>
					Department Total	<u><u>100.73</u></u>

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	879.62
					Account Total	879.62
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	342.93
					Account Total	342.93
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	562.34
					Account Total	562.34
					Department Total	<u>1,784.89</u>

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	636.33
					Account Total	636.33
	Extraditions					
	ADAMS COUNTY SHERIFF	00001	990228	384348	02/09/21	990.70
					Account Total	990.70
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	336.72
					Account Total	336.72
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	40.01
					Account Total	40.01
					Department Total	<u>2,003.76</u>

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	234.87
					Account Total	234.87
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	990230	384348	02/09/21	174.35
					Account Total	174.35
	Other Communications					
	VERIZON WIRELESS	00001	990229	384348	02/09/21	332.23
					Account Total	332.23
					Department Total	741.45

County of Adams
Vendor Payment Report

<u>3701</u>	<u>Stormwater Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	UTILITY NOTIFICATION CENTER OF	00007	989862	383658	02/02/21	<u>1,467.84</u>
					Account Total	<u>1,467.84</u>
					Department Total	<u><u>1,467.84</u></u>

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	QUANTUM WATER & ENVIRONMENT	00007	990233	384354	02/09/21	<u>7,693.25</u>
					Account Total	<u>7,693.25</u>
					Department Total	<u><u>7,693.25</u></u>

County of Adams
Vendor Payment Report

<u>4011</u>	<u>Tri County Health</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	TRI COUNTY HEALTH DEPT	00001	990100	383958	02/04/21	6,214.88
	TRI COUNTY HEALTH DEPT	00001	990113	384054	02/05/21	7,531.96
					Account Total	13,746.84
					Department Total	13,746.84

County of Adams
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	IRON WOMAN CONSTRUCTION	00025	990265	384424	02/10/21	113,656.43
					Account Total	<u>113,656.43</u>
	Retainages Payable					
	IRON WOMAN CONSTRUCTION	00025	990265	384424	02/10/21	5,682.82-
					Account Total	<u>5,682.82-</u>
					Department Total	<u><u>107,973.61</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Supp Svcs-Incentives					
	DIETER KATIE	00035	990123	384217	02/08/21	<u>40.00</u>
					Account Total	<u>40.00</u>
					Department Total	<u><u>40.00</u></u>

County of Adams
Vendor Payment Report

Grand Total 4,134,261.10

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,440,566.85
4	Capital Facilities Fund	287,709.50
5	Golf Course Enterprise Fund	7,056.16
6	Equipment Service Fund	18,747.85
13	Road & Bridge Fund	1,547,373.69
19	Insurance Fund	462,703.25
25	Waste Management Fund	4,553.45
27	Open Space Projects Fund	912.16
28	Open Space Sales Tax Fund	1,228,943.82
30	Community Dev Block Grant Fund	55,826.50
31	Head Start Fund	20,190.45
43	Colorado Air & Space Port	486.69
50	FLATROCK Facility Fund	2,278.89
		<u>5,077,349.26</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007187	37193	CINA & CINA FORENSIC CONSULTIN	2/17/2021	11,000.00
00007189	373974	DAWN B HOLMES INC	2/17/2021	2,050.00
00007192	1016895	G4S SECURE SOLUTIONS USA INC	2/17/2021	55,333.19
00007199	104910	SAUNDERS CONSTRUCTION INC	2/17/2021	468,661.46
00007206	492573	ADVANCED URGENT CARE AND OCC M	2/19/2021	214,401.00
00007208	1017428	B&R INDUSTRIES	2/19/2021	1,270.00
00007211	1089757	QUALTRAX INC	2/19/2021	18,944.00
00007216	1102577	VWR INTERNATIONAL LLC	2/19/2021	7,362.45
00756792	93203	ADAMS COUNTY EDUCATION CONSORT	2/18/2021	48,000.00
00756793	1128011	ADT COMMERCIAL LLC	2/18/2021	5.81
00756794	671987	ADVANTAGE HOOD WORKS LLC	2/18/2021	1,980.00
00756795	12012	ALSCO AMERICAN INDUSTRIAL	2/18/2021	204.16
00756797	786384	ALTITUDE COMMUNITY LAW	2/18/2021	19.00
00756798	14661	AMERIGAS DENVER 1012	2/18/2021	2,073.19
00756799	228213	ARAMARK REFRESHMENT SERVICES	2/18/2021	61.27
00756802	12514	AVIS RENT A CAR SYSTEM INC	2/18/2021	1,874.42
00756803	327067	BarrADR	2/18/2021	906.60
00756804	3020	BENNETT TOWN OF	2/18/2021	3,000.00
00756805	3020	BENNETT TOWN OF	2/18/2021	79.85
00756806	13160	BRIGHTON CITY OF (WATER)	2/18/2021	1,983.43
00756807	13160	BRIGHTON CITY OF (WATER)	2/18/2021	436.77
00756809	1132735	CALAVITTA AVELIANA	2/18/2021	19.00
00756811	37266	CENTURY LINK	2/18/2021	98.00
00756814	2381	COLO ANALYTICAL LABORATORY	2/18/2021	23.00
00756816	414144	COLORADO MOISTURE CONTROL INC	2/18/2021	1,290.00
00756817	612089	COMMERCIAL CLEANING SYSTEMS	2/18/2021	2,903.00
00756819	255001	COPYCO QUALITY PRINTING INC	2/18/2021	2,950.00
00756821	700466	DIRECT EDGE DENVER LLC	2/18/2021	165.00
00756823	219503	ELKUS & SISSON PC AND	2/18/2021	4,120.00
00756826	13454	FEDERAL EXPRESS CO	2/18/2021	79.79
00756827	761168	FERRELLGAS L P	2/18/2021	46.23
00756828	671123	FOUND MY KEYS	2/18/2021	2,158.88
00756829	426777	FRANCY LAW FIRM	2/18/2021	19.00
00756830	57888	FRANCY LAW FIRM, PLLC	2/18/2021	19.00
00756831	45293	FRIE,ARNDT & DANBORN P.C.	2/18/2021	171.00
00756832	783632	GAM ENTERPRISES INC	2/18/2021	14,097.94

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756834	1132730	GINSBURG ED	2/18/2021	19.00
00756836	1132749	HARRINGTON MILEAH	2/18/2021	19.00
00756838	358482	HOLST AND BOETTCHER	2/18/2021	112.00
00756839	1132728	HUYNH HENDERSON	2/18/2021	19.00
00756841	32276	INSIGHT PUBLIC SECTOR	2/18/2021	4,834.74
00756842	1127930	JOSHUA B EPEL ESQ PLLC	2/18/2021	11,040.00
00756844	40843	LANGUAGE LINE SERVICES	2/18/2021	1,060.26
00756847	365663	MCCOY ROSA M	2/18/2021	1,000.00
00756850	308259	METRO WASTE WATER RECLAMATION	2/18/2021	9,871.00
00756851	1033585	MEXICAN CULTURAL CENTER	2/18/2021	100.00
00756852	1132737	MITCHELL AMANDA JEAN	2/18/2021	19.00
00756853	13719	MORGAN COUNTY REA	2/18/2021	234.39
00756854	13591	MWI VETERINARY SUPPLY CO	2/18/2021	997.58
00756856	570347	NELSON AND KENNARD	2/18/2021	38.00
00756857	13774	NORTH PECOS WATER & SANITATION	2/18/2021	41.54
00756858	1132732	OKANE JOSEPH	2/18/2021	19.00
00756859	1133789	ORBIS PARTNERS LLC	2/18/2021	3,615.00
00756860	1026844	OTAK INC A COLORADO CORPORATIO	2/18/2021	6,165.00
00756861	669732	PATTERSON VETERINARY SUPPLY IN	2/18/2021	67.50
00756862	37237	PEAK AUDIO VISUAL DBA CCS PRES	2/18/2021	240,883.37
00756864	418286	PRECIOUS CHILD	2/18/2021	3,500.00
00756865	346615	PROVEST LLC	2/18/2021	19.00
00756866	216245	PUSH PEDAL PULL INC	2/18/2021	1,211.90
00756867	422902	ROADRUNNER PHARMACY INCORPORAT	2/18/2021	62.96
00756868	1053529	ROCKY MOUNTAIN SIGNING CO INC	2/18/2021	520.00
00756870	1132729	SANCHEZ REBEKA	2/18/2021	19.00
00756871	1031727	SGR	2/18/2021	37,234.50
00756872	308376	SGS ACCUTEST INC	2/18/2021	666.50
00756873	13538	SHRED IT USA LLC	2/18/2021	396.00
00756875	13932	SOUTH ADAMS WATER & SANITATION	2/18/2021	142.47
00756876	13949	STRASBURG SANITATION	2/18/2021	.46
00756877	599714	SUMMIT FOOD SERVICE LLC	2/18/2021	32,425.51
00756878	41889	SUNSTATE EQUIPMENT CO LLC	2/18/2021	7,785.94
00756879	1047964	SYMMETRY ENERGY SOLUTIONS LLC	2/18/2021	22,199.40
00756881	644904	SYNERGETIC STAFFING LLC	2/18/2021	710.40
00756883	47341	T MOBILE	2/18/2021	295.34

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756884	1133793	TERRI TUPPS SIGN LANGUAGE INTE	2/18/2021	150.00
00756885	734694	THE DUPONT LAW FIRM	2/18/2021	19.00
00756887	3333	U S POSTMASTER	2/18/2021	8,100.00
00756888	1007	UNITED POWER (UNION REA)	2/18/2021	11.89
00756889	1007	UNITED POWER (UNION REA)	2/18/2021	17,714.89
00756890	1007	UNITED POWER (UNION REA)	2/18/2021	20.72
00756891	1007	UNITED POWER (UNION REA)	2/18/2021	2,656.00
00756892	1007	UNITED POWER (UNION REA)	2/18/2021	20,595.00
00756893	1007	UNITED POWER (UNION REA)	2/18/2021	216.09
00756894	1007	UNITED POWER (UNION REA)	2/18/2021	5,816.77
00756895	1007	UNITED POWER (UNION REA)	2/18/2021	913.51
00756896	1007	UNITED POWER (UNION REA)	2/18/2021	28.73
00756897	1007	UNITED POWER (UNION REA)	2/18/2021	110.06
00756898	1007	UNITED POWER (UNION REA)	2/18/2021	1,128.78
00756899	1007	UNITED POWER (UNION REA)	2/18/2021	3,154.66
00756900	1007	UNITED POWER (UNION REA)	2/18/2021	5,101.05
00756901	1007	UNITED POWER (UNION REA)	2/18/2021	12,098.46
00756902	1007	UNITED POWER (UNION REA)	2/18/2021	70.95
00756903	1007	UNITED POWER (UNION REA)	2/18/2021	16,853.83
00756904	1007	UNITED POWER (UNION REA)	2/18/2021	707.38
00756905	1007	UNITED POWER (UNION REA)	2/18/2021	7,823.49
00756917	1132725	VASSAR TANYA	2/18/2021	19.00
00756918	790609	VOICE PRODUCTS SERVICE LLC	2/18/2021	5,916.00
00756919	46796	WESTMINSTER CITY OF	2/18/2021	3,735.35
00756922	40340	WINDSTREAM COMMUNICATIONS	2/18/2021	1,331.33
00756923	338508	WRIGHTWAY INDUSTRIES INC	2/18/2021	233.80
00756924	1132733	WYMAN BLAKE	2/18/2021	147.00
00756925	13822	XCEL ENERGY	2/18/2021	11.78
00756926	13822	XCEL ENERGY	2/18/2021	28.17
00756927	13822	XCEL ENERGY	2/18/2021	92.68
00756928	13822	XCEL ENERGY	2/18/2021	17.95
00756929	13822	XCEL ENERGY	2/18/2021	307.33
00756930	13822	XCEL ENERGY	2/18/2021	2,906.68
00756931	13822	XCEL ENERGY	2/18/2021	2,030.70
00756932	13822	XCEL ENERGY	2/18/2021	8,633.10
00756933	13822	XCEL ENERGY	2/18/2021	9,206.25

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756934	13822	XCEL ENERGY	2/18/2021	5,806.30
00756935	13822	XCEL ENERGY	2/18/2021	6,123.38
00756936	13822	XCEL ENERGY	2/18/2021	6,308.11
00756937	13822	XCEL ENERGY	2/18/2021	3,387.27
00756938	13822	XCEL ENERGY	2/18/2021	349.27
00756939	13822	XCEL ENERGY	2/18/2021	447.59
00756940	13822	XCEL ENERGY	2/18/2021	616.28
00756941	13822	XCEL ENERGY	2/18/2021	934.49
00756942	13822	XCEL ENERGY	2/18/2021	773.96
00756943	13822	XCEL ENERGY	2/18/2021	1,144.46
00756944	13822	XCEL ENERGY	2/18/2021	46.40
00756945	13822	XCEL ENERGY	2/18/2021	444.23
00756946	13822	XCEL ENERGY	2/18/2021	1,304.69
00756947	13822	XCEL ENERGY	2/18/2021	1,177.31
00756948	13822	XCEL ENERGY	2/18/2021	6,513.56
00756949	13822	XCEL ENERGY	2/18/2021	738.62
00756950	13822	XCEL ENERGY	2/18/2021	125.52
00756951	13822	XCEL ENERGY	2/18/2021	379.54
00756952	13822	XCEL ENERGY	2/18/2021	119.39
00756953	13822	XCEL ENERGY	2/18/2021	791.68
00756954	13822	XCEL ENERGY	2/18/2021	3,941.58
00756955	13822	XCEL ENERGY	2/18/2021	1,765.64
00756958	1097317	I MILLER PRECISION OPTICAL INS	2/19/2021	4,268.00

Fund Total**1,440,566.85**

Net Warrants by Fund Detail

4 Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007200	104910	SAUNDERS CONSTRUCTION INC	2/17/2021	277,500.11
00756855	13591	MWI VETERINARY SUPPLY CO	2/18/2021	10,209.39
			Fund Total	287,709.50

Net Warrants by Fund Detail

5 Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756796	12012	ALSCO AMERICAN INDUSTRIAL	2/18/2021	56.97
00756843	11496	L L JOHNSON DIST	2/18/2021	391.64
00756863	152295	POTESTIO BROTHER EQUIPMENT	2/18/2021	20.63
00756906	1007	UNITED POWER (UNION REA)	2/18/2021	315.46
00756907	1007	UNITED POWER (UNION REA)	2/18/2021	1,828.49
00756908	1007	UNITED POWER (UNION REA)	2/18/2021	444.30
00756909	1007	UNITED POWER (UNION REA)	2/18/2021	849.00
00756910	1007	UNITED POWER (UNION REA)	2/18/2021	393.49
00756911	1007	UNITED POWER (UNION REA)	2/18/2021	30.64
00756912	1007	UNITED POWER (UNION REA)	2/18/2021	221.39
00756956	13822	XCEL ENERGY	2/18/2021	901.58
00756957	13822	XCEL ENERGY	2/18/2021	1,602.57
Fund Total				7,056.16

Net Warrants by Fund Detail

6Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756791	23962	ACS MANAGEMENT LLC	2/18/2021	4,268.00
00756840	682207	INSIGHT AUTO GLASS LLC	2/18/2021	657.66
00756869	16237	SAM HILL OIL INC	2/18/2021	13,822.19
			Fund Total	18,747.85

Net Warrants by Fund Detail

13**Road & Bridge Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007182	89295	ARVADA CITY OF	2/17/2021	22,779.46
00007183	89296	AURORA CITY OF	2/17/2021	287,789.22
00007184	89297	BENNETT TOWN OF	2/17/2021	11,001.17
00007186	89298	BRIGHTON CITY OF	2/17/2021	167,660.55
00007188	89299	COMMERCE CITY CITY OF	2/17/2021	192,754.11
00007190	89300	FEDERAL HEIGHTS CITY OF	2/17/2021	31,871.99
00007191	26746	FELSBURG HOLT & ULLEVIG	2/17/2021	1,200.00
00007195	89301	NORTHGLENN CITY OF	2/17/2021	98,770.54
00007198	816237	SALTWORX INC	2/17/2021	22,725.17
00007201	89302	THORNTON CITY OF	2/17/2021	407,160.00
00007204	89304	WESTMINSTER CITY OF	2/17/2021	210,222.14
00756790	1133652	7480 DEXTER STREET LLC	2/18/2021	300.00
00756801	193400	AURIGO SOFTWARE TECHNOLOGIES I	2/18/2021	34,000.00
00756810	814272	CENTRAL SALT LLC	2/18/2021	10,053.79
00756824	873559	EST INC	2/18/2021	32,482.55
00756825	92370	FARMERS RESERVOIR & IRRIGATION	2/18/2021	5,000.00
00756835	1131255	GROUND INTERTEC INC	2/18/2021	700.00
00756846	1130454	MARIN PETE JR	2/18/2021	2,350.00
00756849	925243	MESSICK JOAN VIRGINIA	2/18/2021	8,000.00
00756874	1132064	SOTO EDGAR ENRIQUE	2/18/2021	553.00
Fund Total				1,547,373.69

Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007202	523053	TRISTAR RISK MANAGEMENT	2/17/2021	50,931.88
00007212	523053	TRISTAR RISK MANAGEMENT	2/19/2021	1,160.00
00007213	523053	TRISTAR RISK MANAGEMENT	2/19/2021	14,371.44
00007214	37223	UNITED HEALTH CARE INSURANCE C	2/19/2021	189,030.13
00007215	37223	UNITED HEALTH CARE INSURANCE C	2/19/2021	197,063.47
00756808	726898	CA SHORT COMPANY	2/18/2021	6,291.00
00756815	17565	COLO FRAME & SUSPENSION	2/18/2021	2,448.37
00756837	883606	HENDERSON CONSULTING AND EAP S	2/18/2021	263.00
00756886	1129404	THOMPSON SHELLI M	2/18/2021	1,143.96
Fund Total				462,703.25

County of Adams
Net Warrants by Fund Detail

25

Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007207	535096	B & B ENVIRONMENTAL SAFETY INC	2/19/2021	4,553.45
Fund Total				4,553.45

County of Adams
Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756822	510586	EGAN PRINTING CO	2/18/2021	912.16
Fund Total				912.16

Net Warrants by Fund Detail

28 Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007185	39402	BIRD CONSERVANCY OF THE ROCKIE	2/17/2021	40,054.78
00007196	48293	NORTHGLENN CITY OF	2/17/2021	495,456.59
00007209	372951	HYLAND HILLS PARK AND RECREATI	2/19/2021	658,800.00
00007210	48293	NORTHGLENN CITY OF	2/19/2021	34,632.45
Fund Total				1,228,943.82

Net Warrants by Fund Detail

30 Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007181	1102545	AKIHABARA INC	2/17/2021	5,882.50
00007193	1116387	GAVAL EVENT CENTER	2/17/2021	6,083.00
00007194	1128107	JIMMY JOHNS	2/17/2021	8,148.50
00007197	1075726	PHO SAIGON LLC	2/17/2021	2,016.00
00007203	1116395	VIP NAILS & SPA LTD	2/17/2021	3,783.00
00007205	1044009	WORLD JUICE BAR LLC	2/17/2021	2,530.00
00756800	138329	ASTI DITALIA	2/18/2021	8,661.50
00756845	1116394	MAD RABBIT DISTILLERY INC	2/18/2021	10,671.50
00756880	1102553	SYNAPSE PHYSICAL THERAPY	2/18/2021	8,050.50
			Fund Total	55,826.50

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756812	37266	CENTURY LINK	2/18/2021	207.80
00756813	327250	CINTAS CORPORATION NO 2	2/18/2021	160.89
00756818	248029	COMMUNITY REACH CENTER FOUNDAT	2/18/2021	6,515.84
00756820	1052031	DFA DAIRY BRANDS CORPORATE LLC	2/18/2021	813.05
00756833	971545	GENESIS FLOOR CARE OF COLORADO	2/18/2021	2,322.00
00756882	13770	SYSCO DENVER	2/18/2021	5,091.14
00756920	31360	WESTMINSTER PRESBYTERIAN CHURC	2/18/2021	2,267.73
00756921	59983	WESTMINSTER PUBLIC SCHOOLS	2/18/2021	2,812.00
Fund Total				20,190.45

County of Adams
Net Warrants by Fund Detail

43

Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756848	871154	MEI TOTAL ELEVATOR SOLUTIONS	2/18/2021	486.69
Fund Total				486.69

Net Warrants by Fund Detail

50FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756913	1007	UNITED POWER (UNION REA)	2/18/2021	126.64
00756914	1007	UNITED POWER (UNION REA)	2/18/2021	335.74
00756915	1007	UNITED POWER (UNION REA)	2/18/2021	1,767.44
00756916	1007	UNITED POWER (UNION REA)	2/18/2021	49.07
Fund Total				2,278.89

County of Adams
Net Warrants by Fund Detail

Grand Total 5,077,349.26

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Admin & Customer Care</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	990556	384853	2/16/2021	<u>61.27</u>
					Account Total	<u>61.27</u>
					Department Total	<u><u>61.27</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	PRECIOUS CHILD	00001	990430	384585	2/11/2021	2,500.00
	PRECIOUS CHILD	00001	990432	384592	2/11/2021	1,000.00
					Account Total	<u>3,500.00</u>
					Department Total	<u><u>3,500.00</u></u>

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	MWI VETERINARY SUPPLY CO	00004	990702	384996	2/18/2021	9,098.30
	MWI VETERINARY SUPPLY CO	00004	990702	384996	2/18/2021	1,111.09
	SAUNDERS CONSTRUCTION INC	00004	990633	384925	2/17/2021	28,193.29
	SAUNDERS CONSTRUCTION INC	00004	990631	384925	2/17/2021	16,614.37
	SAUNDERS CONSTRUCTION INC	00004	990628	384925	2/17/2021	232,692.45
					Account Total	287,709.50
					Department Total	287,709.50

County of Adams
Vendor Payment Report

<u>9263</u>	<u>CARES Act Funding</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SYNERGETIC STAFFING LLC	00001	990373	384563	2/11/2021	355.20
	SYNERGETIC STAFFING LLC	00001	990374	384563	2/11/2021	355.20
					Account Total	<u>710.40</u>
					Department Total	<u><u>710.40</u></u>

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	AKIHABARA INC	00030	990190	384327	2/9/2021	5,882.50
	ASTI DITALIA	00030	990236	384357	2/10/2021	8,661.50
	GAVAL EVENT CENTER	00030	990237	384410	2/10/2021	6,083.00
	JIMMY JOHNS	00030	990448	384597	2/11/2021	8,148.50
	MAD RABBIT DISTILLERY INC	00030	990238	384412	2/10/2021	10,671.50
	PHO SAIGON LLC	00030	990232	384351	2/9/2021	2,016.00
	SYNAPSE PHYSICAL THERAPY	00030	990102	383963	2/5/2021	8,050.50
	VIP NAILS & SPA LTD	00030	990235	384355	2/9/2021	3,783.00
	WORLD JUICE BAR LLC	00030	990291	384470	2/11/2021	2,530.00
					Account Total	55,826.50
					Department Total	55,826.50

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	990693	384937	2/17/2021	396.00
					Account Total	396.00
	Other Communications					
	T MOBILE	00001	990694	384937	2/17/2021	295.34
					Account Total	295.34
					Department Total	691.34

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990684	384937	2/17/2021	150.00
	COPYCO QUALITY PRINTING INC	00001	990685	384937	2/17/2021	120.00
	COPYCO QUALITY PRINTING INC	00001	990686	384937	2/17/2021	160.00
	COPYCO QUALITY PRINTING INC	00001	990687	384937	2/17/2021	1,500.00
	COPYCO QUALITY PRINTING INC	00001	990688	384937	2/17/2021	255.00
	COPYCO QUALITY PRINTING INC	00001	990689	384937	2/17/2021	255.00
	COPYCO QUALITY PRINTING INC	00001	990690	384937	2/17/2021	255.00
	COPYCO QUALITY PRINTING INC	00001	990691	384937	2/17/2021	255.00
	DIRECT EDGE DENVER LLC	00001	990683	384936	2/17/2021	165.00
					Account Total	3,115.00
	Security Service					
	ADT COMMERCIAL LLC	00001	990692	384937	2/17/2021	5.81
					Account Total	5.81
					Department Total	3,120.81

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	MEI TOTAL ELEVATOR SOLUTIONS	00043	990703	384996	2/18/2021	<u>486.69</u>
					Account Total	<u>486.69</u>
					Department Total	<u><u>486.69</u></u>

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	SUNSTATE EQUIPMENT CO LLC	00001	990284	384458	2/10/2021	3,835.00
	SUNSTATE EQUIPMENT CO LLC	00001	990285	384458	2/10/2021	2,455.72
	SUNSTATE EQUIPMENT CO LLC	00001	990286	384458	2/10/2021	1,495.22
					Account Total	<u>7,785.94</u>
					Department Total	<u><u>7,785.94</u></u>

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ELKUS & SISSON PC AND	00001	990368	384563	2/11/2021	4,120.00
	SGR	00001	990369	384563	2/11/2021	16,381.50
	SGR	00001	990370	384563	2/11/2021	20,853.00
					Account Total	41,354.50
	Messenger/Delivery Service					
	FEDERAL EXPRESS CO	00001	990371	384563	2/11/2021	40.91
	FEDERAL EXPRESS CO	00001	990372	384563	2/11/2021	38.88
					Account Total	79.79
	Other Professional Serv					
	BarrADR	00001	990367	384563	2/11/2021	906.60
					Account Total	906.60
					Department Total	42,340.89

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	990557	384854	2/16/2021	11,000.00
	DAWN B HOLMES INC	00001	990507	384723	2/12/2021	2,050.00
					Account Total	<u>13,050.00</u>
					Department Total	<u><u>13,050.00</u></u>

County of Adams
Vendor Payment Report

<u>9261</u>	<u>DA- Diversion Project</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Software and Licensing					
	ORBIS PARTNERS LLC	00001	990681	384934	2/17/2021	<u>3,615.00</u>
					Account Total	<u>3,615.00</u>
					Department Total	<u><u>3,615.00</u></u>

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	MCCOY ROSA M	00001	990680	384934	2/17/2021	1,000.00
	TERRI TUPPS SIGN LANGUAGE INTE	00001	990682	384934	2/17/2021	150.00
					Account Total	1,150.00
					Department Total	1,150.00

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ADAMS COUNTY EDUCATION CONSORT	00001	990508	384833	2/16/2021	48,000.00
					Account Total	48,000.00
					Department Total	48,000.00

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ACS MANAGEMENT LLC	00006	990674	384927	2/17/2021	4,268.00
	INSIGHT AUTO GLASS LLC	00006	990658	384927	2/17/2021	40.00
	INSIGHT AUTO GLASS LLC	00006	990659	384927	2/17/2021	183.62
	INSIGHT AUTO GLASS LLC	00006	990660	384927	2/17/2021	434.04
	SAM HILL OIL INC	00006	990667	384927	2/17/2021	12,374.87
	SAM HILL OIL INC	00006	990668	384927	2/17/2021	1,447.32
					Account Total	<u>18,747.85</u>
					Department Total	<u><u>18,747.85</u></u>

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO - Adams County Svc Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11411	00001	990301	384560	1/25/2021	9,206.25
	Energy Cap Bill ID=11438	00001	990592	384922	1/22/2021	3,608.74
					Account Total	<u>12,814.99</u>
					Department Total	<u><u>12,814.99</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	BENNETT TOWN OF	00001	990558	384856	2/16/2021	3,000.00
					Account Total	3,000.00
	Gas & Electricity					
	AMERIGAS DENVER 1012	00001	990562	384856	2/16/2021	2,073.19
	Energy Cap Bill ID=11414	00001	990307	384560	1/25/2021	349.27
	FERRELLGAS L P	00001	990561	384856	2/16/2021	46.23
					Account Total	2,468.69
	Janitorial Services					
	COMMERCIAL CLEANING SYSTEMS	00001	990564	384856	2/16/2021	505.00
	COMMERCIAL CLEANING SYSTEMS	00001	990566	384856	2/16/2021	220.00
	COMMERCIAL CLEANING SYSTEMS	00001	990567	384856	2/16/2021	350.00
	COMMERCIAL CLEANING SYSTEMS	00001	990568	384856	2/16/2021	350.00
	COMMERCIAL CLEANING SYSTEMS	00001	990569	384856	2/16/2021	450.00
					Account Total	1,875.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11458	00001	990595	384922	2/5/2021	79.85
					Account Total	79.85
					Department Total	7,423.54

County of Adams
Vendor Payment Report

<u>5025</u>	<u>FO - Club House Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	METRO WASTE WATER RECLAMATION	00005	990572	384858	2/16/2021	<u>3,290.32</u>
					Account Total	<u>3,290.32</u>
					Department Total	<u><u>3,290.32</u></u>

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11460	00001	990585	384922	2/4/2021	<u>3,941.58</u>
					Account Total	<u>3,941.58</u>
					Department Total	<u><u>3,941.58</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11427	00001	990316	384560	1/26/2021	1,177.31
	Energy Cap Bill ID=11451	00001	990603	384922	2/4/2021	5,101.05
					Account Total	<u>6,278.36</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11448	00001	990604	384922	2/4/2021	436.77
					Account Total	<u>436.77</u>
					Department Total	<u><u>6,715.13</u></u>

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11426	00050	990320	384560	1/26/2021	125.52
	Energy Cap Bill ID=11429	00050	990321	384560	1/26/2021	379.54
	Energy Cap Bill ID=11441	00050	990610	384922	2/4/2021	126.64
	Energy Cap Bill ID=11442	00050	990611	384922	2/4/2021	335.74
	Energy Cap Bill ID=11449	00050	990612	384922	2/4/2021	1,767.44
	Energy Cap Bill ID=11456	00050	990613	384922	2/4/2021	49.07
					Account Total	<u>2,783.95</u>
					Department Total	<u><u>2,783.95</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11431	00001	990302	384560	1/26/2021	5,806.30
	Energy Cap Bill ID=11433	00001	990593	384922	2/4/2021	2,656.00
	Energy Cap Bill ID=11434	00001	990594	384922	2/4/2021	20,595.00
					Account Total	<u>29,057.30</u>
					Department Total	<u><u>29,057.30</u></u>

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11410	00001	990293	384560	1/25/2021	307.33
	Energy Cap Bill ID=11422	00001	990294	384560	1/25/2021	2,906.68
	Energy Cap Bill ID=11423	00001	990295	384560	1/25/2021	2,030.70
	Energy Cap Bill ID=11461	00001	990586	384922	2/1/2021	1,765.64
	XCEL ENERGY	00001	990560	384856	2/16/2021	791.68
					Account Total	7,802.03
	Janitorial Services					
	COMMERCIAL CLEANING SYSTEMS	00001	990565	384856	2/16/2021	950.00
					Account Total	950.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11406	00001	990296	384560	1/20/2021	142.47
					Account Total	142.47
					Department Total	8,894.50

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11412	00001	990303	384560	1/28/2021	6,123.38
	Energy Cap Bill ID=11413	00001	990304	384560	1/28/2021	6,308.11
	Energy Cap Bill ID=11425	00001	990305	384560	1/28/2021	3,387.27
					Account Total	15,818.76
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11403	00001	990306	384560	1/20/2021	2,840.14
					Account Total	2,840.14
					Department Total	18,658.90

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COMMERCIAL CLEANING SYSTEMS	00001	990573	384859	2/16/2021	78.00
					Account Total	78.00
	Gas & Electricity					
	Energy Cap Bill ID=11407	00001	990297	384560	1/22/2021	1,508.77
	Energy Cap Bill ID=11440	00001	990587	384922	2/4/2021	17,714.89
	Energy Cap Bill ID=11443	00001	990588	384922	2/4/2021	20.72
					Account Total	19,244.38
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11437	00001	990589	384922	2/4/2021	1,983.43
					Account Total	1,983.43
					Department Total	<u>21,305.81</u>

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO - Old Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11408	00001	990292	384560	1/22/2021	<u>1,855.98</u>
					Account Total	<u>1,855.98</u>
					Department Total	<u><u>1,855.98</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>FO - Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11415	00001	990308	384560	1/26/2021	447.59
	Energy Cap Bill ID=11417	00001	990309	384560	1/26/2021	616.28
	Energy Cap Bill ID=11418	00001	990310	384560	1/26/2021	934.49
	Energy Cap Bill ID=11419	00001	990311	384560	1/26/2021	773.96
	Energy Cap Bill ID=11420	00001	990312	384560	1/26/2021	1,144.46
	Energy Cap Bill ID=11421	00001	990313	384560	1/26/2021	46.40
	Energy Cap Bill ID=11428	00001	990314	384560	1/26/2021	444.23
	Energy Cap Bill ID=11436	00001	990596	384922	2/4/2021	216.09
	Energy Cap Bill ID=11444	00001	990597	384922	2/4/2021	5,816.77
	Energy Cap Bill ID=11450	00001	990598	384922	2/4/2021	913.51
	Energy Cap Bill ID=11453	00001	990599	384922	2/4/2021	28.73
	Energy Cap Bill ID=11455	00001	990600	384922	2/4/2021	110.06
	Energy Cap Bill ID=11457	00001	990601	384922	2/4/2021	1,128.78
	UNITED POWER (UNION REA)	00001	990559	384856	2/16/2021	11.89
					Account Total	12,633.24
	Water/Sewer/Sanitation					
	METRO WASTE WATER RECLAMATION	00001	990572	384858	2/16/2021	3,290.34
					Account Total	3,290.34
					Department Total	15,923.58

County of Adams
Vendor Payment Report

<u>1123</u>	<u>FO - Riverdale Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO ANALYTICAL LABORATORY	00001	990563	384856	2/16/2021	23.00
					Account Total	23.00
	Gas & Electricity					
	Energy Cap Bill ID=11424	00001	990317	384560	1/26/2021	6,513.56
	Energy Cap Bill ID=11439	00001	990605	384922	2/4/2021	12,098.46
					Account Total	18,612.02
	Water/Sewer/Sanitation					
	METRO WASTE WATER RECLAMATION	00001	990572	384858	2/16/2021	3,290.34
					Account Total	3,290.34
					Department Total	21,925.36

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO - Sheriff HQ/Coroner Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11430	00001	990315	384560	1/26/2021	1,304.69
	Energy Cap Bill ID=11452	00001	990602	384922	2/4/2021	3,154.66
					Account Total	4,459.35
					Department Total	4,459.35

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLORADO MOISTURE CONTROL INC	00001	990571	384856	2/16/2021	1,290.00
					Account Total	1,290.00
	Gas & Electricity					
	Energy Cap Bill ID=11409	00001	990318	384560	1/22/2021	15,225.91
	Energy Cap Bill ID=11432	00001	990319	384560	1/25/2021	738.62
	Energy Cap Bill ID=11445	00001	990606	384922	2/4/2021	70.95
	Energy Cap Bill ID=11446	00001	990607	384922	2/4/2021	16,853.83
	Energy Cap Bill ID=11447	00001	990608	384922	2/4/2021	707.38
	Energy Cap Bill ID=11454	00001	990609	384922	2/4/2021	7,823.49
					Account Total	41,420.18
	Maintenance Contracts					
	ADVANTAGE HOOD WORKS LLC	00001	990570	384856	2/16/2021	1,980.00
					Account Total	1,980.00
					Department Total	44,690.18

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11435	00001	990590	384922	2/1/2021	234.39
					Account Total	234.39
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11459	00001	990591	384922	2/1/2021	.46
					Account Total	.46
					Department Total	234.85

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11416	00001	990298	384560	1/28/2021	8,633.10
					Account Total	8,633.10
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11404	00001	990299	384560	1/20/2021	842.03
	Energy Cap Bill ID=11405	00001	990300	384560	1/20/2021	53.18
					Account Total	895.21
					Department Total	9,528.31

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Cash In Bank					
	I MILLER PRECISION OPTICAL INS	00001	756958	385112	2/19/2021	4,268.00
					Account Total	4,268.00
	Received not Vouchered Clrg					
	ADVANCED URGENT CARE AND OCC M	00001	990759	385106	2/19/2021	1,380.00
	ADVANCED URGENT CARE AND OCC M	00001	990759	385106	2/19/2021	1,450.00
	ADVANCED URGENT CARE AND OCC M	00001	990759	385106	2/19/2021	109,933.00
	ADVANCED URGENT CARE AND OCC M	00001	990760	385106	2/19/2021	101,638.00
	ALSCO AMERICAN INDUSTRIAL	00001	990726	384996	2/18/2021	204.16
	B&R INDUSTRIES	00001	990762	385106	2/19/2021	600.00
	B&R INDUSTRIES	00001	990763	385106	2/19/2021	670.00
	FOUND MY KEYS	00001	990727	384996	2/18/2021	1,705.68
	FOUND MY KEYS	00001	990728	384996	2/18/2021	453.20
	G4S SECURE SOLUTIONS USA INC	00001	990626	384925	2/17/2021	55,333.19
	GAM ENTERPRISES INC	00001	990699	384996	2/18/2021	8,876.94
	GAM ENTERPRISES INC	00001	990700	384996	2/18/2021	3,007.25
	GAM ENTERPRISES INC	00001	990701	384996	2/18/2021	2,213.75
	I MILLER PRECISION OPTICAL INS	00001	990765	385106	2/19/2021	4,268.00
	I MILLER PRECISION OPTICAL INS	00001	990765	385106	2/19/2021	4,268.00-
	INSIGHT PUBLIC SECTOR	00001	990647	384927	2/17/2021	4,834.74
	JOSHUA B EPEL ESQ PLLC	00001	990735	384996	2/18/2021	11,040.00
	MWI VETERINARY SUPPLY CO	00001	990666	384927	2/17/2021	675.27
	MWI VETERINARY SUPPLY CO	00001	990661	384927	2/17/2021	55.34
	MWI VETERINARY SUPPLY CO	00001	990662	384927	2/17/2021	45.42
	MWI VETERINARY SUPPLY CO	00001	990663	384927	2/17/2021	221.55
	OTAK INC A COLORADO CORPORATIO	00001	990657	384927	2/17/2021	6,165.00
	PATTERSON VETERINARY SUPPLY IN	00001	990665	384927	2/17/2021	67.50
	PEAK AUDIO VISUAL DBA CCS PRES	00001	990641	384927	2/17/2021	240,883.37
	QUALTRAX INC	00001	990764	385106	2/19/2021	17,749.00
	QUALTRAX INC	00001	990764	385106	2/19/2021	1,195.00
	ROADRUNNER PHARMACY INCORPORAT	00001	990649	384927	2/17/2021	62.96
	ROCKY MOUNTAIN SIGNING CO INC	00001	990655	384927	2/17/2021	520.00
	SAUNDERS CONSTRUCTION INC	00001	990629	384925	2/17/2021	282,552.15
	SAUNDERS CONSTRUCTION INC	00001	990630	384925	2/17/2021	558.14
	SAUNDERS CONSTRUCTION INC	00001	990632	384925	2/17/2021	185,551.17

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SUMMIT FOOD SERVICE LLC	00001	990725	384996	2/18/2021	3,805.53
	SUMMIT FOOD SERVICE LLC	00001	990723	384996	2/18/2021	23,148.24
	VOICE PRODUCTS SERVICE LLC	00001	990733	384996	2/18/2021	1,176.00
	VOICE PRODUCTS SERVICE LLC	00001	990734	384996	2/18/2021	4,740.00
	VWR INTERNATIONAL LLC	00001	990766	385106	2/19/2021	188.29
	VWR INTERNATIONAL LLC	00001	990766	385106	2/19/2021	435.45
	VWR INTERNATIONAL LLC	00001	990767	385106	2/19/2021	1,968.16
	VWR INTERNATIONAL LLC	00001	990768	385106	2/19/2021	620.36
	VWR INTERNATIONAL LLC	00001	990769	385106	2/19/2021	30.49
	VWR INTERNATIONAL LLC	00001	990770	385106	2/19/2021	236.76
	VWR INTERNATIONAL LLC	00001	990771	385106	2/19/2021	1,223.12
	VWR INTERNATIONAL LLC	00001	990772	385106	2/19/2021	2,659.82
	WRIGHTWAY INDUSTRIES INC	00001	990664	384927	2/17/2021	233.80
					Account Total	<u>1,080,107.80</u>
					Department Total	<u><u>1,084,375.80</u></u>

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	990423	384579	2/11/2021	444.30
	UNITED POWER (UNION REA)	00005	990424	384579	2/11/2021	849.00
	UNITED POWER (UNION REA)	00005	990425	384579	2/11/2021	393.49
	UNITED POWER (UNION REA)	00005	990426	384579	2/11/2021	30.64
	UNITED POWER (UNION REA)	00005	990427	384579	2/11/2021	221.39
	XCEL ENERGY	00005	990428	384579	2/11/2021	901.58
	XCEL ENERGY	00005	990429	384579	2/11/2021	772.48
					Account Total	3,612.88
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	990416	384579	2/11/2021	56.97
					Account Total	56.97
	Vehicle Parts & Supplies					
	L L JOHNSON DIST	00005	990417	384579	2/11/2021	287.38
	L L JOHNSON DIST	00005	990418	384579	2/11/2021	28.21
	L L JOHNSON DIST	00005	990419	384579	2/11/2021	76.05
	POTESTIO BROTHER EQUIPMENT	00005	990420	384579	2/11/2021	20.63
					Account Total	412.27
					Department Total	4,082.12

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	990421	384579	2/11/2021	315.46
	UNITED POWER (UNION REA)	00005	990422	384579	2/11/2021	1,828.49
	XCEL ENERGY	00005	990429	384579	2/11/2021	830.09
					Account Total	<u>2,974.04</u>
					Department Total	<u><u>2,974.04</u></u>

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DFA DAIRY BRANDS CORPORATE LLC	00031	990704	384996	2/18/2021	29.70
	DFA DAIRY BRANDS CORPORATE LLC	00031	990705	384996	2/18/2021	74.25
	DFA DAIRY BRANDS CORPORATE LLC	00031	990706	384996	2/18/2021	59.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	990707	384996	2/18/2021	59.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	990708	384996	2/18/2021	44.55
	DFA DAIRY BRANDS CORPORATE LLC	00031	990709	384996	2/18/2021	14.75
	DFA DAIRY BRANDS CORPORATE LLC	00031	990710	384996	2/18/2021	59.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	990711	384996	2/18/2021	14.75
	DFA DAIRY BRANDS CORPORATE LLC	00031	990712	384996	2/18/2021	44.25
	DFA DAIRY BRANDS CORPORATE LLC	00031	990713	384996	2/18/2021	59.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	990714	384996	2/18/2021	88.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	990715	384996	2/18/2021	88.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	990716	384996	2/18/2021	88.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	990717	384996	2/18/2021	29.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	990718	384996	2/18/2021	29.50
	DFA DAIRY BRANDS CORPORATE LLC	00031	990719	384996	2/18/2021	29.50
	GENESIS FLOOR CARE OF COLORADO	00031	990720	384996	2/18/2021	2,322.00
	SYSCO DENVER	00031	990669	384927	2/17/2021	926.28
	SYSCO DENVER	00031	990669	384927	2/17/2021	216.36
	SYSCO DENVER	00031	990670	384927	2/17/2021	1,727.63
	SYSCO DENVER	00031	990670	384927	2/17/2021	183.23
	SYSCO DENVER	00031	990671	384927	2/17/2021	69.60
	SYSCO DENVER	00031	990672	384927	2/17/2021	231.51
	SYSCO DENVER	00031	990673	384927	2/17/2021	1,533.92
	SYSCO DENVER	00031	990673	384927	2/17/2021	202.61
					Account Total	8,226.19
					Department Total	8,226.19

County of Adams
Vendor Payment Report

<u>935121</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	990518	384843	2/16/2021	6,515.84
	WESTMINSTER PRESBYTERIAN CHURC	00031	990519	384843	2/16/2021	2,267.73
	WESTMINSTER PUBLIC SCHOOLS	00031	990520	384843	2/16/2021	2,812.00
					Account Total	11,595.57
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	990521	384843	2/16/2021	160.89
					Account Total	160.89
	Telephone					
	CENTURY LINK	00031	990517	384843	2/16/2021	207.80
					Account Total	207.80
					Department Total	11,964.26

County of Adams
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	990736	384998	2/18/2021	189,030.13
	UNITED HEALTH CARE INSURANCE C	00019	990737	384998	2/18/2021	197,063.47
					Account Total	386,093.60
					Department Total	386,093.60

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CA SHORT COMPANY	00019	990732	384996	2/18/2021	6,291.00
	COLO FRAME & SUSPENSION	00019	990721	384996	2/18/2021	2,448.37
	HENDERSON CONSULTING AND EAP S	00019	990722	384996	2/18/2021	45.00
	HENDERSON CONSULTING AND EAP S	00019	990648	384927	2/17/2021	150.00
	HENDERSON CONSULTING AND EAP S	00019	990730	384996	2/18/2021	68.00
					Account Total	9,002.37
					Department Total	9,002.37

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	THOMPSON SHELLI M	00019	990695	384938	2/17/2021	1,143.96
					Account Total	1,143.96
	General Liab - Other than Prop					
	TRISTAR RISK MANAGEMENT	00019	990696	384939	2/17/2021	1,160.00
					Account Total	1,160.00
					Department Total	2,303.96

County of Adams
Vendor Payment Report

<u>8617</u>	<u>Insurance- Workers Comp</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Workers Compensation					
	TRISTAR RISK MANAGEMENT	00019	990724	384997	2/18/2021	14,371.44
	TRISTAR RISK MANAGEMENT	00019	990541	384851	2/16/2021	50,931.88
					Account Total	65,303.32
					Department Total	65,303.32

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	WINDSTREAM COMMUNICATIONS	00001	990697	384944	2/17/2021	<u>1,331.33</u>
					Account Total	<u>1,331.33</u>
					Department Total	<u><u>1,331.33</u></u>

County of Adams
Vendor Payment Report

<u>1081</u>	<u>Long Range Strategic Planning</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	MEXICAN CULTURAL CENTER	00001	990477	384717	2/12/2021	<u>100.00</u>
					Account Total	<u>100.00</u>
					Department Total	<u><u>100.00</u></u>

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	EGAN PRINTING CO	00027	990458	384691	2/12/2021	912.16
					Account Total	912.16
					Department Total	912.16

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BIRD CONSERVANCY OF THE ROCKIE	00028	990290	384467	2/10/2021	40,054.78
	HYLAND HILLS PARK AND RECREATI	00028	990548	384849	2/16/2021	658,800.00
	NORTHGLENN CITY OF	00028	990000	383797	2/3/2021	34,632.45
	NORTHGLENN CITY OF	00028	990431	384589	2/11/2021	495,456.59
					Account Total	<u>1,228,943.82</u>
					Department Total	<u><u>1,228,943.82</u></u>

County of Adams
Vendor Payment Report

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Maintenance Contracts					
	SGS ACCUTEST INC	00001	990460	384691	2/12/2021	99.50
	SGS ACCUTEST INC	00001	990461	384691	2/12/2021	402.40
	SGS ACCUTEST INC	00001	990462	384691	2/12/2021	164.60
					Account Total	<u>666.50</u>
					Department Total	<u><u>666.50</u></u>

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	990463	384691	2/12/2021	119.39
	XCEL ENERGY	00001	990271	384443	2/10/2021	11.78
	XCEL ENERGY	00001	990272	384443	2/10/2021	28.17
	XCEL ENERGY	00001	990273	384443	2/10/2021	92.68
	XCEL ENERGY	00001	990274	384443	2/10/2021	17.95
					Account Total	269.97
	Water/Sewer/Sanitation					
	NORTH PECOS WATER & SANITATION	00001	990459	384691	2/12/2021	41.54
					Account Total	41.54
					Department Total	311.51

County of Adams
Vendor Payment Report

<u>3058</u>	<u>PW - ADA Transition Implement.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	MARIN PETE JR	00013	990169	384301	2/3/2021	2,350.00
	SOTO EDGAR ENRIQUE	00013	990515	384840	2/16/2021	553.00
					Account Total	2,903.00
					Department Total	2,903.00

County of Adams
Vendor Payment Report

<u>3019</u>	<u>PW - Admin/Org</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Payments To Cities-Sales Taxes					
	ARVADA CITY OF	00013	990478	384718	2/12/2021	22,779.46
	AURORA CITY OF	00013	990479	384718	2/12/2021	287,789.22
	BENNETT TOWN OF	00013	990480	384718	2/12/2021	11,001.17
	BRIGHTON CITY OF	00013	990481	384718	2/12/2021	167,660.55
	COMMERCE CITY CITY OF	00013	990482	384718	2/12/2021	192,754.11
	FEDERAL HEIGHTS CITY OF	00013	990483	384718	2/12/2021	31,871.99
	NORTHGLENN CITY OF	00013	990484	384718	2/12/2021	98,770.54
	THORNTON CITY OF	00013	990485	384718	2/12/2021	407,160.00
	WESTMINSTER CITY OF	00013	990486	384718	2/12/2021	210,222.14
					Account Total	1,430,009.18
					Department Total	1,430,009.18

County of Adams
Vendor Payment Report

<u>3032</u>	<u>PW - Bridges</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	FARMERS RESERVOIR & IRRIGATION	00013	990514	384840	2/16/2021	<u>5,000.00</u>
					Account Total	<u>5,000.00</u>
					Department Total	<u><u>5,000.00</u></u>

County of Adams
Vendor Payment Report

<u>3056</u>	<u>PW - Capital Improvement Plan</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	MESSICK JOAN VIRGINIA	00013	990522	384845	2/16/2021	8,000.00
					Account Total	8,000.00
	Road & Streets					
	7480 DEXTER STREET LLC	00013	990523	384845	2/16/2021	300.00
	GROUND INTERTEC INC	00013	990210	384301	2/3/2021	700.00
					Account Total	1,000.00
					Department Total	9,000.00

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	AURIGO SOFTWARE TECHNOLOGIES I	00013	990729	384996	2/18/2021	34,000.00
	CENTRAL SALT LLC	00013	990650	384927	2/17/2021	1,955.04
	CENTRAL SALT LLC	00013	990651	384927	2/17/2021	2,024.28
	CENTRAL SALT LLC	00013	990652	384927	2/17/2021	2,101.67
	CENTRAL SALT LLC	00013	990653	384927	2/17/2021	1,939.56
	CENTRAL SALT LLC	00013	990654	384927	2/17/2021	2,033.24
	EST INC	00013	990656	384927	2/17/2021	32,482.55
	FELSBURG HOLT & ULLEVIG	00013	990625	384925	2/17/2021	1,200.00
	SALTWORX INC	00013	990627	384925	2/17/2021	22,725.17
					Account Total	100,461.51
					Department Total	100,461.51

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ALTITUDE COMMUNITY LAW	00001	990490	384720	2/12/2021	19.00
	CALAVITTA AVELIANA	00001	990504	384720	2/12/2021	19.00
	FRANCY LAW FIRM	00001	990497	384720	2/12/2021	19.00
	FRANCY LAW FIRM, PLLC	00001	990489	384720	2/12/2021	19.00
	FRIE, ARNDT & DANBORN P.C.	00001	990494	384720	2/12/2021	171.00
	GINSBURG ED	00001	990501	384720	2/12/2021	19.00
	HARRINGTON MILEAH	00001	990506	384720	2/12/2021	19.00
	HOLST AND BOETTCHER	00001	990492	384720	2/12/2021	19.00
	HOLST AND BOETTCHER	00001	990493	384720	2/12/2021	74.00
	HOLST AND BOETTCHER	00001	990487	384720	2/12/2021	19.00
	HUYNH HENDERSON	00001	990499	384720	2/12/2021	19.00
	MITCHELL AMANDA JEAN	00001	990505	384720	2/12/2021	19.00
	NELSON AND KENNARD	00001	990495	384720	2/12/2021	19.00
	NELSON AND KENNARD	00001	990488	384720	2/12/2021	19.00
	OKANE JOSEPH	00001	990502	384720	2/12/2021	19.00
	PROVEST LLC	00001	990496	384720	2/12/2021	19.00
	SANCHEZ REBEKA	00001	990500	384720	2/12/2021	19.00
	THE DUPONT LAW FIRM	00001	990491	384720	2/12/2021	19.00
	VASSAR TANYA	00001	990498	384720	2/12/2021	19.00
	WYMAN BLAKE	00001	990503	384720	2/12/2021	147.00
					Account Total	715.00
					Department Total	715.00

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	990578	384919	2/17/2021	118.08
					Account Total	118.08
	Other Communications					
	CENTURY LINK	00001	990577	384919	2/17/2021	98.00
					Account Total	98.00
	Postage & Freight					
	U S POSTMASTER	00001	990581	384919	2/17/2021	8,000.00
					Account Total	8,000.00
					Department Total	<u>8,216.08</u>

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	990578	384919	2/17/2021	745.38
					Account Total	745.38
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	990582	384919	2/17/2021	5,471.74
					Account Total	5,471.74
	Other Repair & Maint					
	PUSH PEDAL PULL INC	00001	990580	384919	2/17/2021	1,211.90
					Account Total	1,211.90
	Postage & Freight					
	U S POSTMASTER	00001	990581	384919	2/17/2021	100.00
					Account Total	100.00
					Department Total	<u>7,529.02</u>

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Interpreting Services					
	LANGUAGE LINE SERVICES	00001	990578	384919	2/17/2021	196.80
					Account Total	196.80
					Department Total	196.80

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Extraditions					
	AVIS RENT A CAR SYSTEM INC	00001	990576	384919	2/17/2021	1,874.42
					Account Total	1,874.42
					Department Total	1,874.42

County of Adams
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	B & B ENVIRONMENTAL SAFETY INC	00025	990761	385106	2/19/2021	4,553.45
					Account Total	4,553.45
					Department Total	4,553.45

County of Adams
Vendor Payment Report

Grand Total 5,077,349.26



**Board of County Commissioners
Minutes of Commissioners' Proceedings**

**Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5**

**Tuesday
February 23, 2021
9:30 AM**

1. ROLL CALL

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Baca, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

4. AWARDS AND PRESENTATIONS

A. National Association of Secretaries of State Award for Contributions to the 2020 Elections in Colorado

5. PUBLIC COMMENT

A. Citizen Communication

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Tedesco, that this Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter,
Commissioner O'Dorisio, and Commissioner Baca

- A.** List of Expenditures Under the Dates of February 1-5, 2021
- B.** Minutes of the Commissioners' Proceedings from February 9, 2021
- C.** Resolution Approving Intergovernmental Agreement between the City of Commerce City and the Adams County Sheriff's Office for the Provision of Law Enforcement and Administrative Personnel
(File approved by ELT)
- D.** Resolution Approving Right-of-Way Agreement between Adams County and Isaac Mares and the David J. Mares and Rose M. Mares Trust Dated December 18, 2017 for Property Necessary for the Dahlia Street Roadway and Drainage Improvements Project from East 74th Avenue to East 78th Avenue
(File approved by ELT)
- E.** Resolution Approving Amendment 2 to Facility Usage Agreement between Adams County and Hyland Hills Park and Recreation District for a Public COVID-19 Testing Site
(File approved by ELT)
- F.** Resolution Approving Continuance of Intergovernmental Agreement between Adams County and the Municipal Partners for the A-Lift Transit Program
(File approved by ELT)
- G.** Resolution Approving Right-of-Way Agreement between Adams County and Hillen Holdings, LLC for Property Necessary for the Dahlia Street Roadway and Drainage Improvements Project East 74th Avenue to East 78th Avenue
(File approved by ELT)
- H.** Resolution Approving Community Services Block Grant Subgrantee Agreement between Adams County and Access Housing
(File approved by ELT)
- I.** Resolution Approving Community Services Block Grant Subgrantee Agreement between Adams County and Growing Home
(File approved by ELT)
- J.** Resolution Approving Community Services Block Grant Subgrantee Agreement between Adams County and Project Angel Heart
(File approved by ELT)

- K. Resolution Approving Contract Cost Amendment between Adams County and Genesis Health Care, LLC for Long Term Care and Adult Medicaid Application Processing Services
(File approved by ELT)
- L. Resolution Accepting Warranty Deed Conveying Property from Ogden North Enterprises, LLC, to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- M. Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers P0038270, R0197628, R0083906, R0179912, R0182140 and R0810881
(File approved by ELT)
- N. Resolution Regarding Defense and Indemnification of Jonathan Eller as a Defendant Pursuant to C.R.S. § 24-10-101, Et Seq., 20cv31391
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Approving Amendment Two to the Agreement between Adams County and CliftonLarsonAllen, LLP for External Audit Services
(File approved by ELT)
A motion was made by Commissioner O'Dorisio, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:
Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca
2. Resolution Approving Amendment Three to the Agreement between Adams County and Cesco Linguistic Services, Inc., to Provide Translation Services for Adams County
(File approved by ELT)
A motion was made by Commissioner Pinter, seconded by Commissioner O'Dorisio, that this New Business be approved. The motion carried by the following vote:
Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

3. Resolution Approving Amendment Three to the Agreement between Adams County and A&A Languages, LLC, for Translation Services
(File approved by ELT)
A motion was made by Commissioner Pinter, seconded by Commissioner O'Doriso, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

4. Resolution Approving an Agreement between Adams County and Myers & Sons Construction, LLC, to Provide Construction Services for the 96th Avenue Bridge Over Bijou Creek Phase Two Project
(File approved by ELT)
A motion was made by Commissioner O'Doriso, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

B. COUNTY ATTORNEY

Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(e) for the Purpose of Instructing Negotiators Regarding Proposal Involving Aerotropolis Regional Transportation Authority

A motion was made by Commissioner Baca, seconded by Commissioner Pinter, that this Executive Session be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

8. LAND USE HEARINGS

A. Cases to be Heard

1. RCU2020-00026 Burke Rezoning
(File approved by ELT)
A motion was made by Commissioner Pinter, seconded by Commissioner O'Doriso, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

2. RCU2020-00038 StreetMedia 6612 York Street Billboard CUP
(File approved by ELT)
A motion was made by Commissioner Tedesco, seconded by Commissioner Pinter, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

3. RCU2020-00014 StreetMedia 7154 Washington Billboard CUP
(File approved by ELT)
A motion was made by Commissioner O'Doriso, seconded by Commissioner Baca, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Resolution approving an encroachment agreement between Adams County and Hyland Hills Park and Recreation District for improvements in County right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an encroachment agreement to allow Hyland Hills Park and Recreation District to install a fence in the County's right-of-way.

BACKGROUND:

Hyland Hills Park and Recreation District is requesting to install a fence in the County's right-of-way located at 5401 Meade Street. The proposed agreement will neither impede future expansion of the road nor create any property interest for Hyland Hills Park and Recreation District other than allowing for installation of the fence.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works, Community & Economic Development, and Office of the County Attorney

ATTACHED DOCUMENTS:

Encroachment Agreement
Board of County Commissioners Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ENCROACHMENT AGREEMENT BETWEEN HYLAND
HILLS PARK AND RECREATION DISTRICT AND ADAMS COUNTY FOR
IMPROVEMENTS IN COUNTY RIGHT-OF-WAY

WHEREAS, Hyland Hills Park and Recreation District is the owner of a parcel of land located in the Northeast Quarter of Section 18, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado; and,

WHEREAS, Hyland Hills Park and Recreation District installed a fence within the right-of-way of Meade Street North of West 54th Avenue; and,

WHEREAS, Adams County requires an Encroachment Agreement for improvements within the County right-of-way; and,

WHEREAS, Meade Street right-of-way north of West 54th Avenue is not constructed pursuant to Adams County standards; and,

WHEREAS, the Encroachment Agreement will benefit the public by improving safety in the area.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Encroachment Agreement between Hyland Hills Park and Recreation District and Adams County, a copy of which is attached hereto and incorporated herein by reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Encroachment Agreement on behalf of Adams County.

ENCROACHMENT AGREEMENT

This encroachment agreement ("Agreement") is entered into this 8th day of February 2021 between ADAMS COUNTY, a body politic, whose address is 4430 S Adams County Parkway, Brighton, Colorado 80601 (the "County") and Hyland Hills Park and Recreation District (the "Property Owner") whose address is 8801 N Pecos Street, Federal Heights, Colorado 80260. The County and the Property Owner are collectively referred to as the "Parties".

RECITALS

WHEREAS, the Property Owner owns property at 5401 Meade Street located in the Northeast Quarter of Section 18, Township 3 South, Range 68 West, of the 6th Principal Meridian, Adams County, Colorado, (Tax Parcel # 0182518103003) hereinafter referred to as the "Property"; and,

WHEREAS, Property Owner is requesting to install a fence, hereinafter called the "Improvements", within the right-of-way of Meade Street, being adjacent to the Property as shown on the attached plan.

NOW THEREFORE, the Parties hereby agree that the Improvements will be permitted to encroach onto the County's Right-of-Way, subject to the following:

- A. In the event that the County desires to construct a County project within Meade Street that affects the Improvements, the County may elect to demolish as much of the Improvements as are needed (at the County's expense), or require the Property Owner to remove and later reinstall the Improvements (at the Property Owner's expense), to accommodate the County's project.
- B. The County shall provide the Property Owner written notice of its need to affect the Improvements at least 30 calendar days prior to disturbance of the Improvements. The County will provide the Property Owner information regarding the County's project. If the County decides to require the Property Owner to remove the Improvements, the County will specify a date by which the Improvements shall be removed. It shall be the Property Owner's responsibility to reinstall the Improvements according to the approved fence plans as submitted to the Community and Economic Development Department, unless otherwise approved in writing by the County.
- C. This Agreement creates no property interest for the Property Owner to the County's Right-of-Way except for the specific encroachment as described herein.
- D. Property Owner shall be solely responsible for any claims regarding damage to property or persons arising from the existence of the Improvements in the County's Right of Way or arising from the negligent acts or omissions of Property Owner, its employees, contractors, and agents in furtherance of this Agreement.
- E. The Improvements shall be maintained in accordance with the most current version of the Adams County Codes and Development Standards and Regulations.

F. This Agreement shall be recorded in the County records and shall run with the Property until such time as the Parties mutually release the other in writing from this Agreement.

G. The existence of this Agreement does not render the Improvements a legal, non-conforming use of the Property or the County's Right-of-Way.

Hyland Hills Park and Recreation District:

By: Yvonne Fischbach

Print Name: Yvonne Fischbach

Title: Executive Director

STATE OF COLORADO

)

)§

COUNTY OF Adams

)

The foregoing instrument was acknowledged before me this 8th day of February 2021, by Yvonne Fischbach, as Executive Director.

Witness my hand and official seal:

Nicole D. Knight
Notary Public

My commission expires: 6.19.2024

NICOLE D KNIGHT
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 19924005233
MY COMMISSION EXPIRES JUNE 19, 2024

COUNTY:

Board of County Commissioners,
County of Adams, State of Colorado

Attest:
Josh Zygielbaum, Clerk

By: _____
Chair

By: _____
Deputy Clerk

Approved as to form: _____
County Attorney's Office

Hyland Hills - Carl Park Fence/Gate Encroachment



Legend

- Address
- Highways
 - Interstate
 - Highway
 - Tollway
- Streets
 - Streets
 - Ramp
- Building
- County Parks and Open Space
- Small Lakes
- Major Lakes
- Rivers
 - Canal
 - Ditch
 - Primary Creek
 - River
 - Secondary Creek
 - Stream
- Parcels
- County Boundary

0.0 0 0.02 0.0 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Christina E. Montano to Adams County for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
CHRISTINA E. MONTANO TO ADAMS COUNTY FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 7825 Conifer Road, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Christina E. Montano (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Christina E. Montano has executed a Warranty Deed to convey the Parcel for road right-of-way purposes for Conifer Road that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 12th day of November, 2020, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed conveying property from Christina E. Montano to Adams County, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to accept said Warranty Deed and execute any attending documents on behalf of Adams County.

WARRANTY DEED

THIS DEED, dated this 20 day of Nov. 2018, between **Christina E. Montano**, whose legal address is 7825 Conifer Road, Denver, Colorado 80221, of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway , Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Conifer Road**

Also known by street and number as: **7825 Conifer Road**

Assessor's schedule or parcel number: part of **0171934218013**

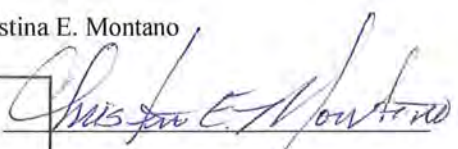
TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

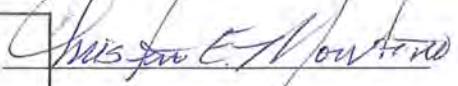
TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2017 taxes due in 2018 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Christina E. Montano



JORGE ENRIQUE TELLEZ
NOTARY PUBLIC By: 
STATE OF COLORADO
NOTARY ID 20174034255
MY COMMISSION EXPIRES AUGUST 15, 2021

STATE OF COLORADO)
County of Adams)

The foregoing instrument was acknowledged before me this 20 day of Nov, 2018 by Christina E. Montano.

My commission expires: August 15 2021

Witness my hand and official seal.



Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

EXHIBIT "A"

**DEED FROM CHRISTINA E. MONTANO
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 9, Block 19, of the SHERRELWOOD ESTATES FILING NO. 1, a Subdivision recorded on December 24, 1958 in File No. 10 Map 301 Reception No. 569158 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Northeasterly Corner of said Lot 9, thence South 26°43'15" East, along the Easterly line of said Lot 9, a distance of 10.00 feet;

Thence leaving said Easterly line, North 71°43'15" West, a distance of 14.14 feet to a point on the Northerly line of said Lot 9;

Thence North 63°16'45" East, along the Northerly line of said Lot 9, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

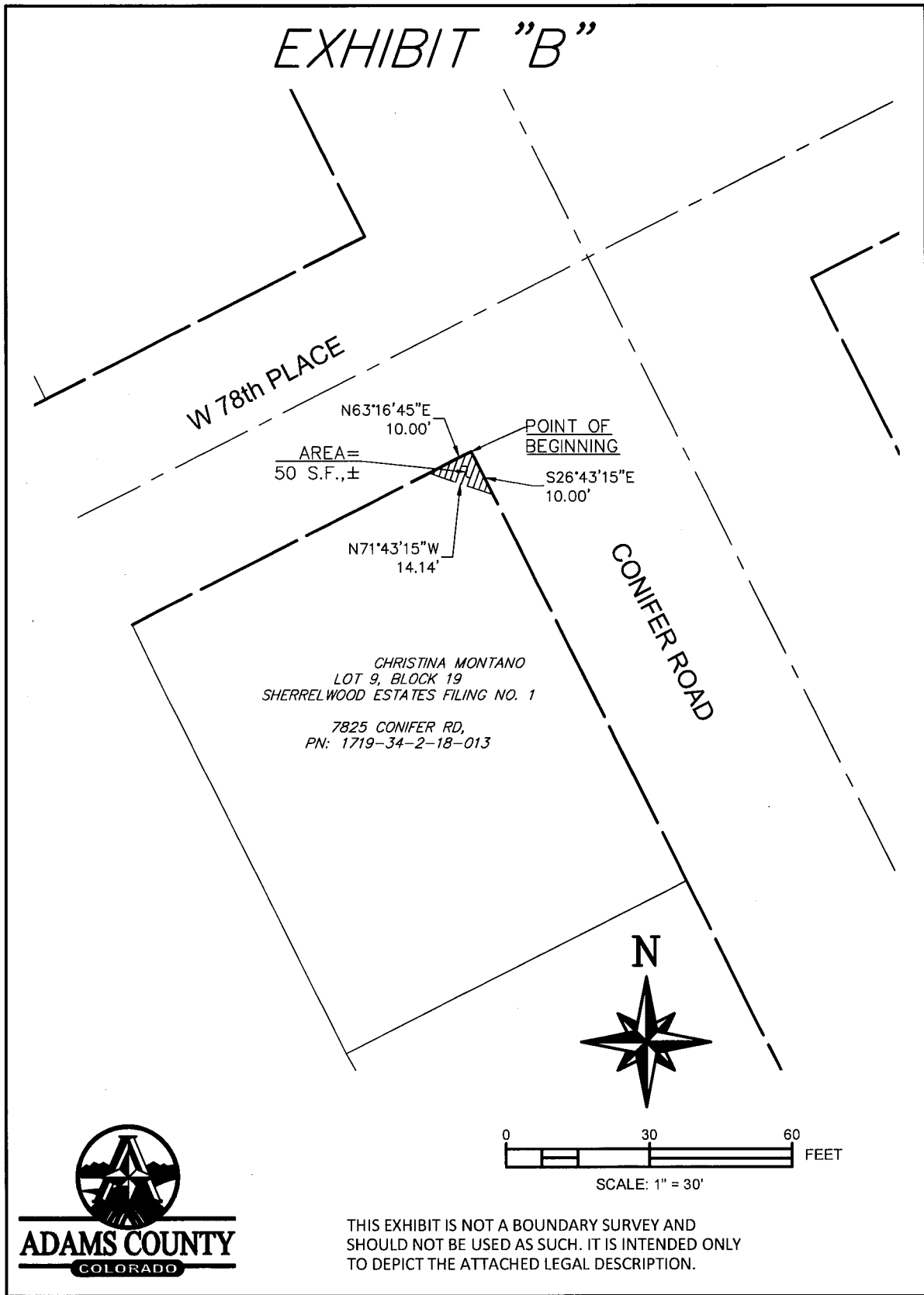
Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



EXHIBIT "B"



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED
FROM CHRISTINA E. MONTANO TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 12th day of November, 2020, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Christina E. Montano for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Christina E. Montano be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Maria Torres and Victor Manuel Escobar Torres to Adams County for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
MARIA TORRES AND VICTOR MANUEL ESCOBAR TORRES TO ADAMS COUNTY
FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 241 West 83rd Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Maria Torres and Victor Manuel Escobar Torres (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Maria Torres and Victor Manuel Escobar Torres have executed a Quitclaim Deed to convey the Parcel for road right-of-way purposes for Conifer Road that complies with Adams County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of December, 2020, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed conveying property from Maria Torres and Victor Manuel Escobar Torres to Adams County, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to accept said Quitclaim Deed and execute any attending documents on behalf of Adams County.

QUITCLAIM DEED

THIS DEED, made this 9 day of April, ~~2019~~ 2020 between **Maria Torres and Victor Manuel Escobar Torres**, whose legal address is 241 West 83rd Avenue, Denver, CO 80221, grantor, and the **County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **West 83rd Avenue**
Also know by street and number as: **241 West 83rd Avenue**
Assessor's schedule or parcel numbers: part of **0171927302012**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2019 taxes due in 2020 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: Maria Torres
Maria Torres

BY: Victor Escobar
Victor Manuel Escobar Torres

STATE OF COLORADO)
) §
County of Adams)

The foregoing instrument was acknowledged before me this 9th day of April, 2020, by Maria Torres and Victor Manuel Escobar Torres.

My commission expires: June 11, 2023

Witness my hand and official seal.
[Signature]
Notary Public

JUAN DE DIOS PALACIOS LOPEZ
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20194021676
MY COMMISSION EXPIRES JUNE 11, 2023

EXHIBIT "A"

**DEED FROM MARIA TORRES AND VICTOR MANUEL ESCOBAR
TORRES
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 2 of the SAURINI CONSTRUCTION AMENDED PLAT, a Subdivision recorded on March 17, 1997 in File No. 17 Map 658 Reception No. CO264170 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 2, thence South 89°41'44" West, along the Southerly line of said Lot 2, a distance of 10.00 feet;

Thence leaving said Southerly line, North 44°41'44" East, a distance of 14.14 feet to the Easterly line of said Lot 2;

Thence South 0°18'16" East, along the Easterly line of said Lot 2, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado



Exhibit "B" attached and hereby made a part thereof.

EXHIBIT "B"

MARIA TORRES &
VICTOR MANUEL ESCOBAR TORRES
LOT 2
SAURINI CONSTRUCTION AMENDED PLAT
241 W 83rd WAY
PN: 1719-27-3-02-012

CONIFER ROAD

N44°41'44"E
14.14'

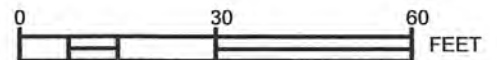
S0°18'16"E
10.00'

POINT OF BEGINNING

S89°41'44"W
10.00'

AREA =
50 S.F., ±

W. 83rd WAY



SCALE: 1" = 30'



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED
FROM MARIA TORRES AND VICTOR MANUEL ESCOBAR TORRES
TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of December, 2020, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Maria Torres and Victor Manuel Escobar Torres for right-of-way purposes on the following described land to wit:

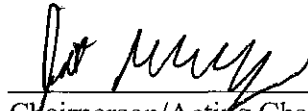
Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2018 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Maria Torres and Victor Manuel Escobar Torres be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Resolution accepting Quitclaim Deed conveying property from Alejandro Covarrubias to Adams County for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Quitclaim Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Quitclaim Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Quitclaim Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING QUITCLAIM DEED CONVEYING PROPERTY FROM
ALEJANDRO COVARRUBIAS TO ADAMS COUNTY FOR THE DEDICATION OF ROAD
RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 447 Leona Drive, a 50 square foot, more or less, section of Parcel Number 0171927321007, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Alejandro Covarrubias (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Alejandro Covarrubias has executed a Quitclaim Deed to convey the Parcel for road right-of-way purposes for Leona Drive that complies with Adams County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of December, 2020, the Planning Commission recommended that the Board of County Commissioners accept said Quitclaim Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Quitclaim Deed conveying property from Alejandro Covarrubias to Adams County, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to accept said Quitclaim Deed and execute any attending documents on behalf of Adams County.

QUITCLAIM DEED

THIS DEED, made this 27 day of March, 2020, between **Alejandro Covarrubias**, whose legal address is 447 Leona Drive, Denver, CO 80221, grantor, and **The County of Adams, State of Colorado**, grantee, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601.

WITNESS, that the grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has remised, released, sold and QUITCLAIMED, and by these presents does remise, release, sell and QUITCLAIM unto the grantee, its successors and assigns forever, all the right, title, interest, claim and demand which the grantor has in and to the real property, together with improvements, if any, situate, lying and being in the said County of Adams and State of Colorado, described as follows:

Legal description as set forth is Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **2018 Miscellaneous ADA Ramps Project**
Assessor's schedule or parcel numbers: part of **0171927321007**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the grantor, either in law or equity, to the only proper use, benefit and behoove of the grantee, its successors and assigns forever, except 2019 taxes due in 2020 which grantor agrees to pay.

The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

BY: [Signature]
Alejandro Covarrubias

BY: [Signature] L.T.
[Signature] L.T.
Liliana Tena

STATE OF COLORADO)
) §
County of Adams)

The foregoing instrument was acknowledged before me this 27 day of March, 2020, by Alejandro Covarrubias.

My commission expires: 06/22/21

Witness my hand and official seal.
[Signature]
Notary Public

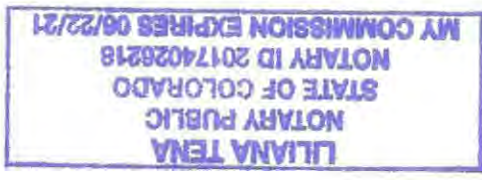


EXHIBIT "A"

**DEED FROM ALEJANDRO COVARRUBIAS
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 14, Block 3, of the SHERRELWOOD ESTATES FILING NO. 8, a Subdivision recorded on November 8, 1962 in File No. 11 Map 11 Reception No. 679075 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southeasterly Corner of said Lot 14, thence North 48°43'26" East, along the Easterly line of said Lot 14, a distance of 10.00 feet;

Thence leaving said Easterly line, North 89°01'29" West, a distance of 14.80 feet to the beginning of a nontangent curve concave Southwesterly and having a radius of 125.00 feet, said curve being the Southerly line of said Lot 14;

Thence Southeasterly along said curve to the right, and the Southerly line of said Lot 14, a distance of 10.00 feet through a central angle of 4°35'06", with a chord bearing South 46°46'24" East and a chord distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



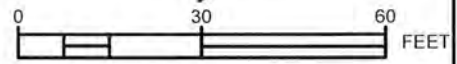
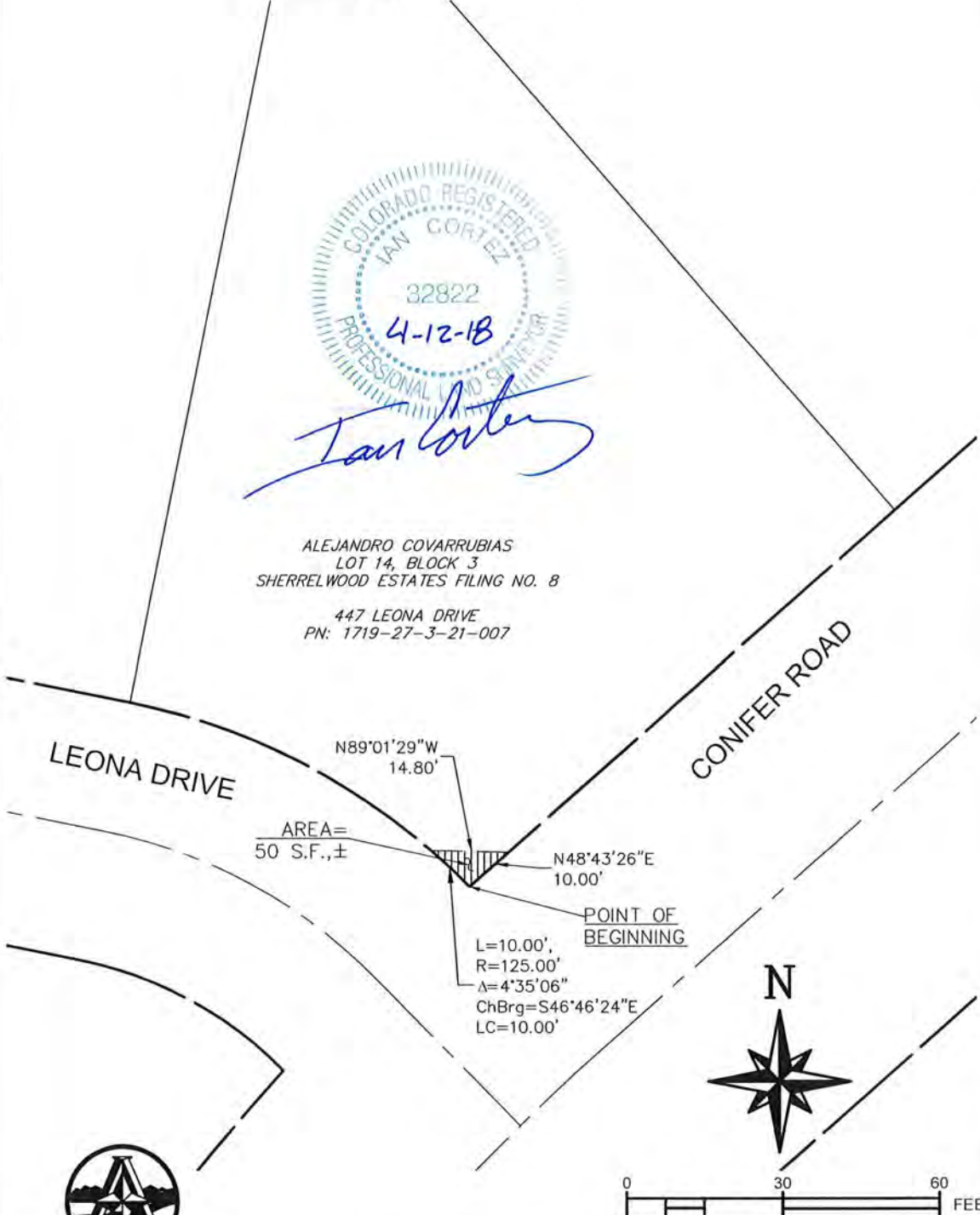
EXHIBIT "B"



Ian Cortez

ALEJANDRO COVARRUBIAS
LOT 14, BLOCK 3
SHERRELWOOD ESTATES FILING NO. 8

447 LEONA DRIVE
PN: 1719-27-3-21-007



SCALE: 1" = 30'



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A QUITCLAIM DEED
FROM ALEJANDRO COVARRUBIAS TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of December, 2020, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Quitclaim Deed from Alejandro Covarrubias for right-of-way purposes on the following described land to wit:

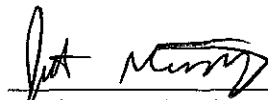
Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Quitclaim Deed is in conjunction with the 2019 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Southwest Quarter of Section 27, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Quitclaim Deed from Alejandro Covarrubias be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Resolution accepting Special Warranty Deed conveying property from Arthur R Hoenighausen and Patricia N Hoenighausen to Adams County for the dedication of road right-of-way
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Special Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue for the Miscellaneous Concrete and ADA Ramps Project. The intention of this Project is to identify and improve the overall mobility and accessibility of maturing neighborhoods with ADA accessibility connectivity including ADA-compliant sidewalks and the addition of ADA pedestrian ramps. The attached resolution allows Adams County to accept the Special Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Special Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING SPECIAL WARRANTY DEED CONVEYING PROPERTY
FROM ARTHUR R HOENIGHAUSEN AND PATRICIA N HOENIGHAUSEN TO ADAMS
COUNTY FOR THE DEDICATION OF ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way for the Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue (“Project”); and,

WHEREAS, this right-of-way parcel is from property at 381 El Paso Court, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Arthur R Hoenighausen and Patricia N Hoenighausen (“Parcel”); and,

WHEREAS, Adams County requires ownership of the Parcel for construction of the Project; and,

WHEREAS, Arthur R Hoenighausen and Patricia N Hoenighausen have executed a Special Warranty Deed to dedicate the Parcel for road right-of-way purposes for El Paso Court that complies with Adams County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 10th day of December, 2020, the Planning Commission recommended that the Board of County Commissioners accept said Special Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Special Warranty Deed conveying property from Arthur R Hoenighausen and Patricia N Hoenighausen to Adams County, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to accept said Special Warranty Deed and execute any attending documents on behalf of Adams County.

SPECIAL WARRANTY DEED

THIS DEED, dated this 12 day of MARCH 2020, between **Arthur R Hoenighausen and Patricia N Hoenighausen**, whose address is 381 El Paso Court, Denver, Colorado 80221-4056 of the County of Adams and State of Colorado, grantor(s), and **THE COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for **Conifer Road and El Paso Court**

Also known by street and number as: **381 El Paso Court**

Assessor's schedule or parcel number: part of **0171934207002**

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, does covenant, and agree that it shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, by, through or under grantor(s), except and subject to matters of record, and except oil, gas and mineral interests if any and except 2019 taxes due in 2020 which grantor agrees to pay.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Arthur R Hoenighausen

Patricia N Hoenighausen

By: *Arthur R Hoenighausen*

By: *Patricia N Hoenighausen*

STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 12th day of March, 2020, by Arthur R Hoenighausen and Patricia N Hoenighausen.

Witness my hand and official seal.
My commission expires:

Jacqueline Montero Tejada
Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

JACQUELINE MONTERO TEJEDA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184035189
MY COMMISSION EXPIRES SEPTEMBER 4, 2022

EXHIBIT "A"

**DEED FROM ARTHUR AND PATRICIA HOENIGHAUSEN
TO
THE COUNTY OF ADAMS, STATE OF COLORADO**

Legal Description

A parcel of land being a portion of Lot 17, Block 15, of the SHERRELWOOD ESTATES FILING NO. 1, a Subdivision recorded on December 24, 1958 in File No. 10 Map 301 Reception No. 569158 in the Office of the Clerk and Recorder of Adams County, Colorado, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, being more particularly described as follows:

Beginning at the Southwesterly Corner of said Lot 17, thence North 26°43'15" West, along the Westerly line of said Lot 17, a distance of 10.00 feet;

Thence leaving said Westerly line, South 71°43'15" East, a distance of 14.14 feet to a point on the Southerly line of said Lot 17;

Thence South 63°16'45" West, along the Southerly line of said Lot 17, a distance of 10.00 feet to the Point of Beginning.

Containing: 50 square feet, more or less.

Legal description prepared by:

Ian Cortez, PLS
Colorado Professional
Land Surveyor No. 32822
For and on behalf of:
Adams County, Colorado

Exhibit "B" attached and hereby made a part thereof.



Ian Cortez

EXHIBIT "B"

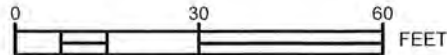
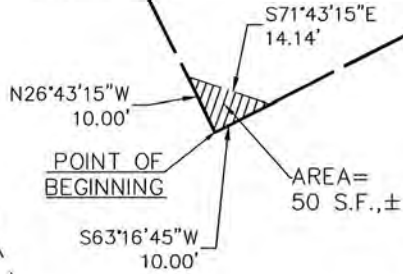


Ian Cortez

ARTHUR & PATRICIA
HOENIGHAUSEN
LOT 17, BLOCK 15
SHERRELWOOD ESTATES FILING NO. 1
381 EL PASO CT
PN: 1719-34-2-07-002

CONIFER ROAD

EL PASO COURT



SCALE: 1" = 30'



THIS EXHIBIT IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED AS SUCH. IT IS INTENDED ONLY TO DEPICT THE ATTACHED LEGAL DESCRIPTION.

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A SPECIAL WARRANTY DEED
FROM ARTHUR R HOENIGHAUSEN AND PATRICIA N HOENIGHAUSEN
TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 10th day of December, 2020, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Special Warranty Deed from Arthur R Hoenighausen and Patricia N Hoenighausen for right-of-way purposes on the following described land to wit:

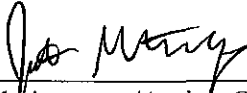
Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Special Warranty Deed is in conjunction with the 2019 Miscellaneous Concrete and ADA Ramps Project along the Broadway Street-Conifer Road corridor from U.S. Highway 36 to 84th Avenue, located in the Northwest Quarter of Section 34, Township 2 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Special Warranty Deed from Arthur R Hoenighausen and Patricia N Hoenighausen be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Tax Year 2020 Colorado Parks and Wildlife Impact Assistance Grant Application
FROM: Assessor's Office
AGENCY/DEPARTMENT: Assessor's Office
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolution.

BACKGROUND:

Adams County has 900 acres of land owned by the State of Wildlife and Parks department. This land is not on the County's tax rolls and as such, no revenue can be collected from this land. The State legislature has recognized that this could cause a negative financial impact on counties in which this type of land is located and on political subdivisions located within those counties. As a result, C.R.S. 30-25-301 et seq. authorizes the counties impacted to apply for and receiving impact assistance grants. Adams County will be submitting an application for the Colorado Parks and Wildlife Impact Assistance Grant with a request of \$16,290.22 in grant funds.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolution
Colorado Parks and Wildlife Impact Assistance Grant Application

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 1

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:	6190		
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

This is a Payment in Lieu of Taxes, which the County does not budget for.

RESOLUTION APPROVING THE TAX YEAR 2020 COLORADO PARKS AND WILDLIFE
IMPACT ASSISTANCE GRANT APPLICATION

Resolution -

WHEREAS, as codified in C.R.S. § 30-25-301, the Colorado State Legislature recognizes that the withdrawal of lands from county tax rolls for wildlife conservation and public recreation purposes could create negative financial impacts on counties in which those lands are located; and,

WHEREAS, C.R.S. § 30-25-302(1) provides that the Board of County Commissioner shall certify to the parks and wildlife commission, on a yearly basis, the dollar amount representing the negative financial impact that the parks and wildlife commission's ownership of lands within the county has on the county's finances; and,

WHEREAS, C.R.S. § 30-25-302(a)(I)-(III), provides the process by which a county is to calculate the dollar amount representing the negative financial impact that the ownership of the parks and wildlife lands by the state has on a county's finances; and,

WHEREAS, the Adams County Assessor has employed the methodology detailed in C.R.S. § 30-25-302(a)(I)-(III) and has determined that Adams County has a total of 900 acres of property owned by the Colorado Division of Parks and Wildlife for tax year 2020 resulting in a request for \$16,290.22 as noted in the tax year 2020 Impact Assistance Grant Application, a copy of which is attached hereto and incorporated by reference as though fully set forth herein.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Tax Year 2020 Colorado Parks and Wildlife Impact Assistance Grant Application is hereby authorized and approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Impact Assistance Grant Application and any attending documents on behalf of Adams County.

Impact Assistance Grant Application Form - **PARKS**

County Adams

Tax Year 2020

PARKS Parcel(s)/Schedule#(s) 01569 28 0 00 017; 01569 00 0 00 070; 01569 00 0 00 071; 01569 00 0 00 094
01569 00 0 00 095; 01569 00 0 00 101; 01569 00 0 00 195; 01569 00 0 00 196
01569 00 0 03 001; 01569 34 3 00 009; 01569 33 0 00 011; 01569 33 0 00 013
01569 00 0 00 120; 01569 28 0 00 009

Tax Area 292

Ag Type	Acres	Assessed Value Per Acre	Total Assessed Value
Irrigated	41	\$338.86	\$13,893.26
	18	\$338.86	\$6,099.48
	211	\$338.86	\$71,499.46
	79	\$338.86	\$26,769.94
	35	\$338.86	\$11,860.10
	3	\$338.86	\$1,016.58
	23	\$338.86	\$7,793.78
	1	\$338.86	\$338.86
Irrigated Meadow			\$0.00
			\$0.00
Dry Farm	75	\$51.24	\$3,843.00
	1.00	\$51.24	\$51.24
	50	\$51.24	\$2,562.00
	4	\$51.24	\$204.96
Grazing	119	\$12.16	\$1,447.04
	78	\$12.16	\$948.48
			\$0.00
			\$0.00
Forest Ag			\$0.00
			\$0.00
Waste			\$0.00
			\$0.00
			\$0.00
			\$0.00
Total Acres	738		Combined Total \$148,328.18

Total Mill Levy for this Taxing Area 93.26300000

**Total PARKS Amount Requested
for this Taxing Area \$13,833.53**

Impact Assistance Grant Application Form - **PARKS**

County Adams

Tax Year 2020

PARKS Parcel(s)/Schedule#(s) 01569 00 0 00 307

Tax Area 294

Ag Type	Acres	Assessed Value Per Acre	Total Assessed Value
Irrigated	55	\$338.86	\$18,637.30
			\$0.00
			\$0.00
			\$0.00
Irrigated Meadow			\$0.00
			\$0.00
			\$0.00
			\$0.00
Dry Farm			\$0.00
			\$0.00
			\$0.00
			\$0.00
Grazing			\$0.00
			\$0.00
			\$0.00
			\$0.00
Forest Ag			\$0.00
			\$0.00
			\$0.00
			\$0.00
Waste	75	\$2.39	\$179.25
			\$0.00
			\$0.00
			\$0.00
Total Acres	130		Combined Total \$18,816.55

Total Mill Levy for this Taxing Area 95.41400000

**Total PARKS Amount Requested
for this Taxing Area \$1,795.36**

Impact Assistance Grant Application Form - **WILDLIFE**

County Adams

Tax Year 2020

WILDLIFE Parcel(s)/Schedule#(s) 1825 01 2 00 005; 1825 10 1 00 007; 1825 01 2 06 003

Tax Area 85

Ag Type	Acres	Assessed Value Per Acre	Total Assessed Value
Irrigated	10	\$363.71	\$3,637.10
			\$0.00
			\$0.00
			\$0.00
Irrigated Meadow			\$0.00
			\$0.00
			\$0.00
			\$0.00
Dry Farm	15	\$51.24	\$768.60
			\$0.00
			\$0.00
			\$0.00
Grazing			\$0.00
			\$0.00
			\$0.00
			\$0.00
Forest Ag			\$0.00
			\$0.00
			\$0.00
			\$0.00
Waste			\$0.00
			\$0.00
			\$0.00
			\$0.00
Total Acres	25	Combined Total	\$4,405.70

Total Mill Levy for this Taxing Area 100.30300000

**Total WILDLIFE Amount Requested
for this Taxing Area \$441.90**

Impact Assistance Grant Application Form - WILDLIFE

County Adams

Tax Year 2020

WILDLIFE Parcel(s)/Schedule#(s) 1721 20 0 00 038

Tax Area 245

Ag Type	Acres	Assessed Value Per Acre	Total Assessed Value
Irrigated	<u>7</u>	<u>\$357.83</u>	<u>\$2,504.81</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Irrigated Meadow			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Dry Farm			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Grazing			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Forest Ag			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Waste			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
			<u>\$0.00</u>
Total Acres	<u>7</u>	Combined Total	<u>\$2,504.81</u>

Total Mill Levy for this Taxing Area 87.60500000

Total WILDLIFE Amount Requested for this Taxing Area \$219.43



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: An Intergovernmental Agreement with Commerce City Housing Authority for distribution of Emergency Rental Assistance (ERA) funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department/Community & Economic Development Department
HEARD AT STUDY SESSION ON: Feb. 23, 2021
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the IGA to distribute ERA funds to Commerce City Housing Authority.

BACKGROUND:

Attached is an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County as part of the federal Emergency Rental Assistance (ERA) program. The County was allocated about \$14.1 million, and the Board of County Commissioners has agreed to distribute funding to housing authorities and other assistance agencies within Adams County.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department
Community & Economic Development Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

RESOLUTION APPROVING INTERGOVERNMENTAL AGREEMENT BETWEEN
ADAMS COUNTY AND COMMERCE CITY HOUSING AUTHORITY REGARDING
DISBURSEMENT OF EMERGENCY RENTAL ASSISTANCE FUNDS

Resolution -

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the impacts of the pandemic; and,

WHEREAS, Congress recently enacted the Emergency Rental Assistance (ERA) program to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, pursuant to the terms of this Intergovernmental Agreement, Adams County wishes to disburse to Commerce City Housing Authority, and Commerce City Housing Authority wishes to receive from Adams County, ERA funds for distribution within the jurisdiction of the Commerce City Housing Authority.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement between Adams County and Commerce City Housing Authority Regarding the Disbursement of Emergency Rental Assistance Funds, a copy of which is attached hereto and incorporated herein by reference, be and is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Intergovernmental Agreement on behalf of Adams County.

INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND
COMMERCE CITY HOUSING AUTHORITY REGARDING
DISBURSEMENT OF EMERGENCY RENTAL ASSISTANCE FUNDS

THIS INTERGOVERNMENTAL AGREEMENT ("Agreement"), is made this _____ day of March, 2021, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("County") and Commerce City Housing Authority located at 7887 E. 60th Avenue, Commerce City 80022 ("CCHA") for the purpose of disbursing funds provided by Section 501 of Division N of the Consolidated Appropriations Act, 2021, Pub. L. No. 116-260 (Dec. 27, 2020) otherwise known as Emergency Rental Assistance funds ("ERA").

WITNESSETH:

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted ERA to provide relief funds to individuals, businesses, and state and local governments related to the impacts of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to CCHA, and CCHA wishes to receive from County, ERA funds for distribution.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the Parties agree as follows:

I. FUNDING

County will disburse a maximum of One Million, Six Hundred Two Thousand, One Hundred Nine dollars (\$1,602,109) to CCHA. Payments will be disbursed to CCHA in two parts, only after County receives an invoice from CCHA for each payment. CCHA understands and agrees that the County's obligation to disburse these ERA funds is expressly contingent upon the County receiving said funds from the federal government. In the event the federal government fails to remit said funds, or reduces said funds, the County may reduce or terminate its payment accordingly. No Adams County funds shall be encumbered or involved in this Agreement.

Of this disbursement (\$1,602,109), CCHA may utilize up to 10 percent, or AMOUNT, for direct costs related to carrying out the ERA program. Administrative expenses must be treated as direct costs, and CCHA may not cover indirect costs using the funds provided in this award. In the event CCHA does not utilize its full administrative budget, CCHA may utilize its administrative budget to provide rental and utility assistance to eligible applicants.

CCHA must submit reports on the expenditure of its ERA funds, including the amount and purpose of each expenditure, to County monthly, by the 10th day of each month. Any ERA funds not spent by December 4, 2021, shall be returned to the County so that the County's obligation to return unspent ERA funds to the Federal Treasury may be timely fulfilled.

II. SCOPE OF PROJECT AND ACCOUNTING

ERA funds shall be spent solely for the costs set forth in ERA. ERA imposes expenditure and accounting obligations upon local governments receiving ERA funds. CCHA will be provided training or guidance on ERA requirements and program operations. CCHA agrees to be solely responsible for ensuring that it spends and accounts for the ERA funds received from the County in strict compliance with ERA requirements. Because ERA is recent legislation, the parties anticipate that additional federal legislation, rules, and regulations may be promulgated regarding the expenditure and accounting requirements. CCHA shall familiarize itself with, and shall adhere to, all current and subsequent legislation, rules, and regulations. In the event of non-compliance with its legislative and regulatory mandates, the federal government may seek reimbursement of funds it deems were not spent in compliance with its legislation and rules. In the event the federal government seeks reimbursement of funds spent by CCHA, CCHA shall be solely responsible for reimbursing said funds, and, in the event the federal government seeks reimbursement of funds spent by CCHA from County, CCHA Authority shall reimburse County for any funds returned by County on CCHA's behalf within thirty days of County's reimbursement.

III. PUBLIC NECESSITY

The Parties agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people in Commerce City, Colorado in the fight against COVID-19.

IV. LIABILITY

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

The Parties hereto understand and agree that Commerce City Housing Authority, the County, their officers and employees are relying on, and do not waive or intend to waive by any provision of the Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as from time-to-time amended, or otherwise available to either party, their officers, or their employees.

V. NOTICES

A. Any notices, demands, or other communications required or permitted to be given by any provision of this Agreement shall be given in writing, delivered personally or sent by registered mail, postage prepaid and return receipt requested, addressed to Parties at the addresses set forth below or at such other address as either party may hereafter or from time to time designate by written notice to the other party given when personally delivered or mailed, and shall be considered received in the earlier of either the day on which such notice is actually received by the party to whom it is addressed or the third day after such notice is mailed.

For Adams County:

Adams County Manager's Office
4430 S. Adams County Parkway
Brighton, Colorado 80601-8206

Adams County Attorney's Office
4430 South Adams County Parkway, Suite C5000B
Brighton, Colorado 80601-8206

For CCHA:

Commerce City Housing Authority

7887 E. 62nd Place
Commerce City, CO 80022
Attn: Tracy Jones, Housing and Resident Services Manager

B. The Parties each agree to designate and assign a representative to act on the behalf of said Parties in all matters related to this Agreement. Each representative shall coordinate all Agreement-related issues between the Parties, shall attend all necessary meetings, and shall be responsible for providing all available related information upon request by the County or Commerce City Housing Authority. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement, but shall not be authorized to amend the terms of this Agreement.

VI. AMENDMENTS

This Agreement contains all of the terms agreed upon by and among the Parties. Any amendments or modifications to this Agreement shall be in writing and executed by the Parties hereto to be valid and binding.

VII. SEVERABILITY

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

VIII. APPLICABLE LAWS

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Venue for any and all legal actions regarding the transaction covered herein shall lie in Adams County, Colorado.

IX. ASSIGNABILITY

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the non-assigning party or parties to this Agreement.

X. BINDING EFFECT

The provisions of this Agreement shall bind and shall inure to the benefit of the Parties hereto and to their respective successors and permitted assigns.

XI. EMPLOYMENT STATUS

This Agreement shall not change the employment status of any employees of the Parties. No party shall have the right to control or direct the activities of any employees of another related to this Agreement.

XII. NO DISCRIMINATION IN EMPLOYMENT

In connection with the performance of work under this Agreement, the Parties agree not to refuse to hire, discharge, promote or demote, or to discriminate in matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

XIII. APPROPRIATIONS

Notwithstanding any other term, condition, or provision herein, each and every obligation of the Parties stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the appropriate governing body of the Commerce City Housing Authority and/or the County.

XIV. NO THIRD PARTY BENEFICIARIES

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the Parties that any person or party other than either one of the Parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

XV. ILLEGAL ALIENS

The Parties agree that any public contract for services executed as a result of this intergovernmental agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. et seq.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

XVI. INFORMATION FOR SUBAWARDS

Pursuant to 2 C.F.R. 200.332(a), BHA understands that it is a subrecipient of a subaward and is aware of the following:

- Federal Award Identification: Emergency Rental Assistance Program
- Federal Award Identification Number (FAIN): ERA0099
- Catalog of Federal Domestic Assistance (CFDA) Number: 21.023
- Federal Award Date: January 1, 2021
- Subaward Period of Performance: January 1, 2021 to December 31, 2021
- Federal Awarding Agency: United States Department of the Treasury
- Name of Pass-Through Entity: Adams County, Colorado
- Contact Information for Pass-Through Entity: Nancy Duncan, Budget and Finance Director, 720-523-6276, NDuncan@adcogov.org
- Award is for Research & Development (R&D): No
- Indirect Cost Rate for Federal Award: Not Applicable
- Federal Award Program Description: The Emergency Rental Assistance program makes available \$25 billion to assist households that are unable to pay rent and utilities due to the COVID-19 pandemic. The funds are provided directly to States, U.S. Territories, local governments, and Indian tribes. Grantees use the funds to provide assistance to eligible households through existing or newly created rental assistance programs.
- Right to Audit: BHA agrees to cooperate with the County fully and completely in any audit of the ERA funding provided to the subrecipient pursuant to this Agreement. If the County incurs legal expenses relating to an audit of the subrecipient's expenditure of ERA funding, BHA agrees to pay the County's reasonable attorneys' fees and costs associated with such audit and/or any legal action in which BHA is alleged to have used the ERA funding for BHA's ineligible expense.

Signatures on next page.

Commerce City Housing Authority

By: Tracy Jones, Housing and Resident Services Manager

ATTEST:

APPROVED AS TO FORM:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:

Erica Hannah, Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON: February 23, 2021 AIR
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The attached resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING ERICKA HERNANDEZ TO THE CULTURAL COUNCIL

WHEREAS, a vacancy currently exists for a member for the Cultural Council; and,

WHEREAS, Ericka Hernandez has expressed an interest in serving on the Cultural Council; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified;
and,

WHEREAS, the Board of County Commissioners selected Ericka Hernandez to fill this vacancy.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Ericka Hernandez is hereby appointed as a member of the Cultural Council for the term as listed below:

Ericka Hernandez

Term Expires
January 31, 2024



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON: February 23, 2021 AIR
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The attached resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING JESSE MARTINEZ TO THE CULTURAL COUNCIL

WHEREAS, a vacancy currently exists for a member for the Cultural Council; and,

WHEREAS, Jesse Martinez has expressed an interest in serving on the Cultural Council; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified;
and,

WHEREAS, the Board of County Commissioners selected Jesse Martinez to fill this vacancy.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Jesse Martinez is hereby appointed as a member of the Cultural Council for the term as listed below:

Jesse Martinez

Term Expires
January 31, 2023



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: Professional Engineering Design Services – 88 th Avenue Bridge over Wolf Creek
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an agreement with Short-Elliott-Hendrickson, Inc., for the Professional Engineering Design Services of 88 th Avenue Bridge over Wolf Creek project.

BACKGROUND:

The purpose of this project is to perform an engineering design and prepare construction documents for the replacement of the bridge carrying East 88th Avenue over Wolf Creek, Structure No. ADA088-38.5N092. The existing bridge is in poor structural condition, is functionally obsolete and has inadequate hydraulic capacity to pass flood waters. The structure is beyond repair, so it must be replaced.

A formal Request for Proposal for Professional Engineering Design Services was posted on BidNet and proposals were received on December 8, 2020. Five proposals were received and evaluated on the following criteria:

- Company Background/Experience/Qualifications
- Ability to Meet Requested Needs/Work Plan
- Availability/Proposed Schedule
- Project Fee Schedule

After a thorough evaluation, Short-Elliott-Hendrickson, Inc., was the most responsive and responsible proposer providing the best value to Adams County. It is recommended that the Board of County Commissioners approve an agreement with Short-Elliott-Hendrickson, Inc., to provide Professional Engineering Design Services for the 88th Avenue Bridge over Wolf Creek project in the not to exceed amount of \$289,535.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3032

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			\$
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9130	30312102	\$500,000.00
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$500,000.00</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
SHORT-ELLIOTT-HENDRICKSON., INC, TO PROVIDE PROFESSIONAL ENGINEERING
SERVICES FOR THE 88TH AVENUE BRIDGE OVER WOLF CREEK PROJECT

WHEREAS, Short-Elliott-Hendrickson, Inc., submitted a proposal on December 8, 2020, to provide Professional Engineering Design services for the 88th Avenue Bridge over Wolf Creek project; and,

WHEREAS, after thorough evaluation, it was deemed that Short-Elliott-Hendrickson, Inc., was the most responsive and responsible proposer; and,

WHEREAS, Short-Elliott-Hendrickson, Inc., agrees to provide Professional Engineering Design services for the 88th Avenue Bridge over Wolf Creek project in the not to exceed amount of \$289,535.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Short-Elliott-Hendrickson, Inc., to Provide Professional Engineering Design Services for the 88th Avenue Bridge over Wolf Creek Project is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to sign said Agreement with Short-Elliott-Hendrickson, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: 2021 Miscellaneous Concrete and ADA Ramps Program
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an agreement with Colorado Paving, Inc., for the 2021 Miscellaneous Concrete and ADA Ramp Program.

BACKGROUND:

The 2021 Miscellaneous Concrete and ADA Ramp Program (the Program) is continuing to work on improving the County’s ADA Accessibility by removing existing non-compliant ramps and installing new ADA ramps along West 83rd Way, Marigold Dr, Linda Lane, and Conifer Road between US-36 and E. 84th Avenue; along Greenwood Boulevard between Granada Road and Elbert Street and a few curb ramps in the same neighborhood. The Program is also improving damaged and safety related miscellaneous concrete in unincorporated Adams County.

A formal IFB was posted on BidNet. Bids were received on January 29, 2021, from the following responsive companies:

COMPANY NAME	TOTAL BID AMOUNT
Colorado Paving, Inc.	\$792,200.03
Stone and Concrete	\$833,957.05
Wgm Land Design Ltd	\$842,875.53
Chatos Concrete, LLC	\$890,941.00
Sabells Civil And Landscape, LLC	\$986,723.50
Western States Reclamation, Inc.	\$1,017,540.00
Castle Rock Construction Company	\$1,043,887.71
Fasick Concrete, Inc.	\$1,130,593.00

After review, it was determined that Colorado Paving, Inc., was the lowest, responsive and responsible bidder. The recommendation is to award an Agreement to Colorado Paving, Inc., for the 2021 Miscellaneous Concrete and ADA Ramp Program for a total not to exceed amount of \$792,200.03.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3055, 3058

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	3055.7826		\$450,000.00
Current Budgeted Operating Expenditure:	3058.7820		\$1,000,000.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$1,450,000.00</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
COLORADO PAVING, INC. FOR THE 2021 MISCELLANEOUS CONCRETE AND ADA
RAMPS PROGRAM

WHEREAS, Colorado Paving, Inc., submitted a bid on January 29, 2021, for the 2021 Miscellaneous Concrete and ADA Ramps Program; and,

WHEREAS, after thorough review, it was deemed that Colorado Paving, Inc., was the most responsive and responsible bidder; and,

WHEREAS, Colorado Paving, Inc., agrees to provide services for the 2021 Miscellaneous Concrete and ADA Ramps Program in the not to exceed amount of \$792,200.03.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Colorado Paving, Inc for the 2021 Miscellaneous Concrete and ADA Ramps Program is hereby approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is hereby authorized to sign said Agreement with Colorado Paving, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 2, 2021
SUBJECT: TANF Housing Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Supervisor
AGENCY/DEPARTMENT: Adams County Human Services Department, Temporary Assistance for Needy Families (TANF) Division
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Four to the agreement with Access Housing Inc., for Housing Services for the Adams County Human Services Department, Temporary Assistance for Needy Families (TANF) Division.

BACKGROUND:

Adams County Human Services Department (HSD) receives Federal Temporary Assistance for Needy Families (TANF) Block Grant funds, allocated by the State to assist with the goals of the HSD Workforce and Business Center (WBC) TANF program. These Home Services provide homelessness prevention, rent, utility assistance and other related services for eligible Adams County families who are in danger of homelessness.

In July of 2018, the Board of County Commissioners approved an agreement with Access Housing Inc., to provide housing services for the TANF program. The Adams County Human Services Department (ADHSD) is requesting to increase the amount of the current TANF Shelter and Homelessness Prevention Services contract with Access Housing Inc. by \$75,000,00. This request is being made specifically due to the increased need of the emergency short-term shelter service that is offered primarily for Adams County TANF eligible families that are currently homeless or at risk of being homeless.

The Agreement breakdown as follows:

Agreement/Amendment	Amount	Date Approved	Total Contract Amount
Original Agreement	\$162,000.00	11/13/2018	\$162,000.00

Amendment One-First Year Extension	\$130,044.00	12/10/2019	\$292,044.00
Amendment Two-Funds Added	\$100,000.00	6/16/2020	\$392,044.00
2020/2021 Amendment Three-Second Year Extension	\$265,000.00	9/15/2020	\$657,044.00
Amendment Four – Requested Funds Added	\$75,000.00		\$732,044.00
		Total Agreement Amount:	\$732,044.00

Housing Services will be funded through the 2020/2021 TANF Block Grant Funds. The funding will be covered under 85/15. 85% funded Federally with a 15% Adams County match.

The recommendation is to approve Amendment Four to the agreement with Access Housing Inc., in the amount of \$75,000.00 for a total not to exceed agreement amount of \$732,044.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Human Services Department Workforce and Business Center, (TANF)

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 15
Cost Center: 99915, Various

	Object Account	Subledger	Amount
Current Budgeted Revenue:	99915.5755		\$50,239,790
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$50,239,790</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various.7645		\$6,078,100
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$6,078,100</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT FOUR TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND ACCESS HOUSING, INC. TO PROVIDE HOUSING SERVICES

WHEREAS, in 2018, the Board of County Commissioners approved an agreement with Access Housing, Inc., to provide Housing Services for the Adams County Human Services Department, Temporary Assistance for Needy Families (TANF) Division (the “Original Agreement”); and,

WHEREAS, the Original Agreement has been previously amended and extended by Amendment One, Amendment Two, and Amendment Three to the Original Agreement in December 2019, June 2020, and September 2020, respectively; and,

WHEREAS, Adams County Human Services TANF Program would like to once again amend the Original Agreement in order add additional funds; and,

WHEREAS, Access Housing, Inc., agrees to provide Housing Services in the not to exceed amount of \$75,000.00, for a total not to exceed agreement amount of \$732,044.00; and,

WHEREAS, the program is being funded eighty-five (85%) percent by TANF Block Grant Funds, with Adams County responsible for the remaining fifteen (15%) percent.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Four to the Agreement with Access Housing, Inc. to Provide Housing Services is hereby approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is hereby authorized to sign said Amendment Four to the Agreement with Access Housing, Inc. on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO PRC2020-00010
CASE NAME: Sherrelwood Village PUD Amendment

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

March 2, 2021

Case Number:	PRC2020-00010
Case Name:	Sherrelwood Village PUD Amendment
Property Owner's Name:	Delwest Development Corp.
Applicant's Name:	Delwest Development Corp. / Craig Fitchett
Applicant's Address:	155 Madison St. Ste. 155, Denver, CO 80209
Location of Request:	7996 Pecos St. and 8000 Pecos St., Denver, CO 80221
Parcel Numbers:	0171928400003, 0171933100009, 0171933124036, 0171933124037, 0171933124038, 0171933124039, 0171933124057, 0171933124058.
Nature of Requests:	1) Zoning Map Amendment (Rezone from R-1-C to PUD). 2) Major Amendment to Preliminary PUD to construct 47 single-family attached dwelling units north of the existing Sherrelwood Village PUD development.
Current Zone District:	Residential-1-C (R-1-C), Planned Unit Development (PUD)
Proposed Zone District:	Planned Unit Development (PUD)
Future Land Use:	Urban Residential
Site Area:	10.4 acres (450,875 sq. ft.)
Existing Use:	Single-Family Residential (detached), Day Care Center (vacant)
Proposed Use:	Single-Family Residential (detached and attached)
Hearing Date(s):	PC: February 11, 2021 / 6:00 pm BoCC: March 2, 2021 / 9:30 am
Report Date:	February 18, 2021
Case Manager:	Alan Sielaff
Staff Recommendation:	APPROVAL with 12 findings-of-fact, 2 conditions, and 7 notes

SUMMARY OF APPLICATIONS

Background:

The applicant, Delwest Development Corporation, is requesting a rezone to Planned Unit Development (PUD) and a Preliminary Development Plan (PDP) in order to amend the existing Sherrelwood Village PUD to construct 47 townhome units on 3.3 acres north of the existing PUD. The Sherrelwood Village PUD first received preliminary approval in 2015 under case PRC2015-00014 (Roush/Delwest) and received final approval in 2018 under case PRC2016-00008 (Roush/Sherrelwood Village). The existing Sherrelwood Village PUD provided for 45 single-family detached residential lots on 8.3 acres and included right-of-way dedication, infrastructure improvements, and tracts for emergency access, drainage, landscaping, and community open space.

The applicant has since acquired an additional 2.48 acres in two properties to the immediate north at 7996 Pecos Street and 8000 Pecos Street. This proposal seeks to rezone those two parcels from Residential-1-C (R-1-C) to Planned Unit Development (PUD) and to combine these parcels with Lots 1-4 and Tracts B and D of the original Sherrelwood Village Subdivision (approved as part of the combined Final Development Plan (FDP) and Major Subdivision - Final Plat in case PRC2016-00008). The result will be a single Sherrelwood Village PUD that includes 41 single-family detached homes and 47 single-family attached units in a townhome product for a total of 88 residential units on 10.4 acres. Because the proposal increases the number of dwelling units in the existing PUD by more than 5%, the amendment is a major amendment and must be processed in the standard two-phased PUD approval process as separate preliminary and final development plans.

A subdivision will also be required to accommodate this request. Initially the applicant had proposed individual lots for the townhome units and would have required a Major Subdivision - Preliminary Plat with this request. However, the application has since been revised to propose only two lots on each side of Osage Street as a common lot layout and so qualifies as a Minor Subdivision (less than 4 new lots, under 20 acres in size). The subdivision will require a single review process and will be reviewed as a Minor Subdivision - Final Plat along with an FDP to follow should this Rezone and PDP request be approved.

Site Characteristics:

The subject property is bounded by Pecos Street to the west, Sherrelwood Park to the north and east, and the existing Sherrelwood Village development to the south. Lots 1-4 of the original Sherrelwood Village Subdivision were intended for single-family detached residences, while Tracts B and D provided for emergency access. This area has not been developed yet, and aside from emergency access improvements on Tract B, the area remains vacant. The one-acre property at 7996 Pecos Street is zoned R-1-C and previously contained a single-family home. The structure has since been removed and the parcel is currently vacant. The 1.48-acre property at 8000 Pecos Street features the distinctive concrete dome structure that formerly housed the Children's Outreach Project, a child day care center that operated on property formerly owned by the Westminster 50 School District. This structure, which building records indicate was constructed in 1986, has since been sold by the school district to the applicant and the building has sat vacant for several years. The building has garnered attention as many public comments have been

received expressing opposition to its demolition. Further discussion on this structure will be included in the public comment section of the staff report.

The location of the proposed expansion to the Sherrelwood development is relatively flat along Pecos Street, but drops in elevation to the north and east along the boundary with Sherrelwood Park. Existing vegetation includes grasses and trees interspersed through the site. There is an attached sidewalk along the east side of Pecos Street adjacent to the site. The entrance to the approximate 17-acre Sherrelwood Park, owned and maintained by the Hyland Hills Park and Recreation District, is immediately north of the development site at Orchard Drive. Pecos Street is the main north-south road in the vicinity and accommodates two lanes of traffic and a parking lane in each direction. The intersection of Pecos Street and Sherrelwood Drive is signalized and anticipated to be improved to accommodate a new entrance to the development, which would facilitate full intersection turning movements in and out of the development. The existing Sherrelwood Village development has automobile access to Pecos Street at Elmwood Place and provides pedestrian access to Sherrelwood Park.

Development Standards and Regulations (DSR) Requirements:

Zoning Map Amendment (Rezoning):

As required by Section 2-02-11-03-02, a Preliminary Development Plan (PDP) must be accompanied by an application to first rezone the property to the PUD zone district. This will change the Zoning Map for the two R-1-C parcels not previously included in the Sherrelwood Village PUD. Section 2-02-15 of the DSR outlines the process and four criteria for rezoning a site. A rezoning must be found to be consistent with the Adams County Comprehensive Plan, consistent with the purposes of the DSR and comply with the DSR, and be compatible with the surrounding area.

The site is designated as Urban Residential in the County's 2012 Comprehensive Plan, which Chapter 5 describes the intended uses to accommodate for single and multiple family housing, at urban densities of one dwelling per acre or greater. The PDP will be described in greater detail in the following section, but has been reviewed for conformance with the requirements of a PUD, the closest comparable zone district for an attached residential townhome product in the Residential-3 zone district, and other applicable residential design, parking, and landscaping standards. The site also directly adjacent to the existing Sherrelwood Village PUD, a single-family residential development, and is buffered from surrounding established residential areas by Sherrelwood Park to the north and east, and Pecos Street to the west. The rezoning is generally considered by staff to be compatible with the surrounding area.

Preliminary Planned Unit Development:

Section 3-30 of the DSR describes the applicability and additional requirements of the PUD district as a form of customized zone district. It states that "the purpose and objective of a PUD is to encourage the development of land as a single unit. A PUD allows greater flexibility in the design of a development, more variety and diversification in the relationships between buildings, open spaces and uses, and conservation and retention of historical and natural topographic features while meeting the goals, policies and objectives of the comprehensive plan." As part of the PUD review

process, development standards commonly found in general zone districts may be waived or modified to accommodate the development if found to further the objectives of the PUD regulations.

Key considerations of a PUD are described in Section 3-30-03 General Site Design Standards. These include meeting standards of superior design in order to accomplish a development that is as good or better than one resulting from traditional lot by lot development. Elements such as site circulation, conservation of natural features, harmonious design, and additional open space should be met. The development should also be compatible with adjacent uses or designed to mitigate impacts, include practical access connections and include bicycle and pedestrian amenities. Open space is a key consideration of review for a PUD, and as Section 3-30-03-05-08 Calculation of Open Space Area describes, at least 25% of the minimum open space area must be designated for active recreation purposes. The minimum open space area is based on 30% of the total site area, which includes any common area that is not a structure including, “all common public or privately held open space areas, all provisions for the right-of-way for public roads and the easement width for private roads, storm water facilities, recreational areas, trails and greenways.” Because the additional development does not include any private yard spaces, all portions of the site uncovered by structures contribute towards this 30% requirement.

Section 2-02-11-03-05 of the DSR outlines eight criteria for approval for a Preliminary Development Plan (PDP). These include that a PDP shall be found to be in general conformity with the Adams County Comprehensive Plan and any applicable area plans, consistent with the purposes of the DSR, compatible or designed to mitigate externalities with the existing or allowed adjacent land uses, conform to the Adams County Transportation Plan and not negatively impact utilities or traffic in the area, consistent with any applicable drainage plans, address specific issues or concerns due to unusual and unique circumstances or where alternative design concepts are desired, consistent with any approved Overall Development Plan for the property (if applicable), and compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

The proposed Sherrelwood Village PUD Amendment proposes a total of 47 additional townhome units in seven buildings. The PDP proposes 15-foot front setbacks and 10-foot rear setbacks, reduced from the 20-foot setbacks required in the R-3 district. Each townhome is proposed to contain a front-loaded two-car garage accessing either 79th Way, Osage Street, or additional internal parking areas. The townhomes will be three stories in height, with the proposed maximum height of 35 ft. matching the the maximum height in the R-3 district. Typical units will range from 1,700 sq. ft. to 2,300 sq. ft., contain three bedrooms and two and half bathrooms per unit. Additional architectural standards are provided to require first floor masonry, minimum window elevation coverage, and minimum roof pitch.

With each unit containing a two-car garage, the minimum parking requirement for single family units is met. It was recommended at least an additional 15% of required parking is provided for visitor parking as applied to the standard for multifamily residential uses. With 47 units, 94 off-street parking spaces are provided in garages. 15% of this total would require 14.1 visitor spaces (rounded up to 15). The PDP proposes additional off-street parking spaces in separate parking

areas towards the north of Lot 1 in front of the units, and to the south of Lot 2 to the side of the units. These two parking areas will contain between 17 and 22 parking spaces depending on final configuration of emergency access. Additionally, the applicant has pointed out that additional standard and compact parking can be accommodated on the driveways of individual units along Osage Street and W. 79th Way.

The existing PUD includes an active open space community amenity in the form of a shade structure and picnic table with pedestrian connection to Sherrelwood Park to the east. An additional active open space amenity in the form of a pocket park will be installed on the east side of the new development and include benches and a play structure, with an extension of the pedestrian path connecting to the shade structure to the south. Overall, 30% of the site is required to meet the broad definition of open space, or 3.1 acres, and 4.4 acres are provided. Of the 3.1 acres required, 25% must be considered active, or 0.8 acres, with one (1) acre being provided.

With a common lot concept proposed for the townhome units, there will not be private front or back yard space. Landscaping will be provided on all areas not dedicated to buildings, parking, or right-of-way, with additional street frontage landscaping provided along Pecos Street as a continuation of the existing development to the south. Additional right-of-way will be required to complete the Pecos Street right-of-way adjacent to the previously unplatted property at 7996 Pecos Street. And at the request of RTD, staff is recommending a condition of approval that the bus stop adjacent to the site will be relocated and improved.

The PDP document includes all elements of the original Sherrelwood Village PUD to accommodate the existing single-family units, lot configurations, and development standards. This will facilitate amendment of the PDP to allow the existing Sherrelwood Village FDP to remain in conformance, while allowing the future FDP for the townhome units to also be in conformance with the PUD. The overall residential density of the site with 88 units on 10.4 acres is 8.5 units per acre. This is under the R-3 maximum of 14 units per acre for comparison. However, the proposed 47 townhome units within 3.3 acres equals 14.24 units per acre, slightly over the 14 unit per acre benchmark.

The request to rezone to PDP is found to be in conformance to the requirements of the Planned Unit Development district and general development standards and regulations with relatively minor deviations from the setbacks and height of the R-3 zone district, the closest comparable district to allow a single-family attached townhome housing product.

Future Land Use Designation/Comprehensive Plan:

The future land use designation on the property is Urban Residential. Chapter 5 of the Adams County Comprehensive Plan describes the purpose of urban residential as areas designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents. This designation generally supports the full range of residential zone districts and is consistent with the Comprehensive Plan. This request is further supported by Comprehensive Plan Policy 2 – Urban Growth, which states the County will encourage new urban residential

development primarily within unincorporated infill areas and/or within County and municipal growth areas where it can be served by a full range of urban services.

Additional planning documents which implement the Comprehensive Plan can be used as further guidance regarding a development’s contribution towards County goals. The Balanced Housing Plan seeks to build a platform that allows all areas of the County to achieve housing of all types, and meets the needs of the County’s diverse and growing population. Several policies within this plan (summarized on page 19 of the plan) generally support this development request, including Policy 1 which seeks to improve and support housing opportunities for all residents in Adams County, Policy 2 which supports fostering an environment that promotes “balanced housing”, and Policy 5 which directs to integrate development practices that increase diversity in housing options. The attached townhome product is broadly included in the plan’s definition of “missing middle” housing that falls within the range of detached 1-unit homes and large apartment complexes.

Surrounding Zoning Designations and Existing Use Activity:

Northwest R-1-C Single-family dwellings	North R-1-C Parks and Open Space (Sherrelwood Park)	Northeast R-1-C Parks and Open Space (Sherrelwood Park)
West R-1-C, R-4 Single-family dwellings / Multifamily apartment building	Subject Property R-1-C, PUD Child Care Center (vacant) / Sherrelwood Village PUD	R-1-C Parks and Open Space (Sherrelwood Park)
Southwest R-1-C Single-family dwellings	South R-1-C Single-family dwellings	Southeast R-1-C Single-family dwellings

Compatibility with the Surrounding Area:

The surrounding properties contain a mix of residential and open space uses, with the zone districts of R-1-C, R-4, and PUD in the immediate area. The site, when considering the entirety of the Sherrelwood Village PUD, is entirely self-contained with no automobile access to the neighboring land uses; all automobile traffic will only access Pecos Street. The only location where the PUD borders existing residential units is with the existing single-family detached units south of the Sherrelwood Village single family homes. The development will tie into the existing pedestrian connection to Sherrelwood Park to the east to provide a direct connection for residents. This site is also adjacent to an RTD bus route on Pecos Street which can provide transit access to the Pecos Junction RTD rail station approximately two miles to the south. As part of the development referral RTD has requested a slight relocation of the existing bus stop, and to provide bus stop improvements adjacent to the site. Intersection improvements at Pecos Street and Sherrelwood Drive have also been requested and will be addressed at time of final approvals.

The surrounding neighborhoods are mostly single-family residential, with some two-family units further south along Pecos Street, as well as a single R-4 zoned multifamily building directly to the west of the site on 79th Way. There is also a collection of more recent and larger single family

homes north of the entrance to Sherrelwood Park accessed by Lofton Court. The proposed rezoning from R-1-C to PUD and the amendment to the existing Sherrelwood Village PUD would introduce additional residential density to the area, but can be considered compatible due to conformance with the Comprehensive Plan, lack of direct adjacency and access to existing residential areas, and its location on a heavier traffic roadway such as Pecos Street, which is designated as a minor arterial.

Development Engineering staff has reviewed preliminary traffic and drainage studies on the proposed development and has no outstanding concerns at this time. Full studies will be required during review of the Final Development Plan and Final Plat and in conjunction with a Subdivision Improvement Agreement (SIA). Any required public improvements will need to be constructed prior to approval of a building permit for new development.

Planning Commission Update:

The Planning Commission (PC) considered the applications for a zoning map amendment (rezoning), and planned unit development – preliminary development plan on February 11, 2021 and voted (4-3) to recommend approval of the requests. The PC made 12 findings-of-fact, 2 conditions, and 7 notes to the applicant.

Among the discussion by the PC, was a discussion about applicability of notes to the applicant rather than conditions of approval. Staff explained that despite many of these notes being included as conditions in the past, they are more appropriate as notes to the applicant to remind them about upcoming submittal and process requirements identified in the code. The PC asked questions related to the potential to historically designate the former Children’s Outreach Center building, if any efforts by the applicant to preserve the building had been explored, and questions regarding the role of the public comment that provided online petition signatures in support of preservation. Staff explained that the County does not currently have the ability to designate historic structures at the local level. Structures are generally required to be at least 50 years in order for designation at the state and national level, and the structure is 35 years old according to County records. The applicant explained their initial identification of the needs to preserve the building, and that ultimately it was not compatible with the needs of the previous user, and not able to be incorporated into the intended residential development. Finally, staff explained that the submitted signatures did not trigger any additional land use entitlement processes, but served as additional documentation and evidence from the individual public commentor who has organized the effort. The PC also asked about the intended end market product as being for rent or for ownership, which the applicant stated it has not yet been determined. The PC also discussed additional concerns related to the overall compatibility of the townhome product in terms of the size and scale of the structures in comparison to the existing Perl-Mack homes in the surrounding area and asked about any intended fencing between the development and Sherrelwood Park, which the applicant stated fencing was not envisioned at this time.

Three members of the public spoke in opposition to the development and voiced concerns over the potential traffic impact to volume and signal synchronization to Pecos Street, concerns about pricing and intended market of the townhomes in comparison to the surrounding neighborhood, concerns about existing needs of the community and area poverty, concerns about long-term impact to the region’s water supply to serve new housing, and concerns related to other

development projects associated with the applicant. The also applicant gave a presentation at the meeting to provide an overview of the development and addressed public engagement efforts and public concerns with the development. It is expected the applicant will also present to the Board of County Commissioners as well at the public hearing.

Staff Recommendation:

Based upon the application, the criteria for approval, and a recent site visit, staff recommends approval of these requests (rezoning and major amendment to the Sherrelwood Village Preliminary PUD) with 12 findings-of-fact, 2 conditions and 7 notes.

Recommended Findings-of-Fact:

Zoning Map Amendment (see Section 2-02-15-06-02):

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Planned Unit Development – Preliminary Development Plan (see Section 2-02-11-03-05):

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any - applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any approved ODP for the property.
8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;

- b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
- c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and
- f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

Recommended Conditions of Approval:

- 1. The applicant shall enter into a formal agreement with the Hyland Hills Park and Recreation District prior to approval of a Final Development Plan for proposed improvements to Sherrelwood Park unless the recreation district submits in writing that it does not need improvements to the park at this time.
- 2. The applicant shall include the bus stop improvements requested by RTD adjacent to the site as part of the Final Development Plan and any required public improvements.

Recommended Notes to the Applicant:

- 1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
- 2. The preliminary development plan approval shall lapse on March 2, 2024 if a final development plan application is not submitted in accordance with Section 2-02-11-03-07 of the Adams County Development Standards and Regulations.
- 3. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
- 4. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
- 5. A Subdivision Improvements Agreement and collateral shall be submitted prior to scheduling any public hearing for a final plat application.
- 6. A public land dedication fee for parks and schools shall be paid to Adams County and submitted prior to scheduling any public hearing for a final plat application. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
- 7. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.

PUBLIC COMMENTS

Notifications Sent	Comments Received
809	38

All property owners and residents within 750 feet of the subject property were notified of the request. As of writing this report, staff has received public comments from 38 individuals on this case during the project referral period and included in the summary box above. Many of the commentors have provided multiple rounds of comment as following applicant resubmittals, with 73 different comments from the 38 commentors provided in total. There was also an additional collection of comments originating on Nextdoor.com forwarded to staff to be included with public comment. Four (4) of the comments are in support of the development, with the remaining in opposition.

There were a number of different concerns with the proposed development shared with staff during the public referral period. Among the most common is opposition to the loss of the former Children’s Outreach Center building. Many residents shared stories of their connections to the building, how it represents a vital need in the community, and a what it means as a loss of a community space. The site was previously owned by the Westminster School District, which has in recent decades sold several former school district properties in the area. One of the most engaged members of the public has created an online petition to save the building with over 1,000 respondents from across the region, state, and even the country. She also provided details about the history of the structure and proposed a counterproposal for the building, providing analysis on potential use as a community or event space, community partnerships, and financing to repurpose and preserve the building. Staff has encouraged the applicant to engage with residents and address the various aspects of the comments received. While the applicant has not revised their proposal to retain the building, they held a second neighborhood meeting earlier this year following their initial application submittal, have reached out to members of the public directly and explored improvements to Sherrelwood Park to address some of the comments and concerns about the loss of a community space, additional detail on that effort is provided below.

Other comments and issues identified by the public related to infrastructure concerns regarding impacts on traffic, parking, and drainage on surrounding areas and at other Delwest developments. Comments also expressed concern over a perceived loss of park space, though no public land is being lost as result of this development; the previous sale of school district properties is fresh in the minds of many community members. The size and intensity of the development has been criticized and cited as a compatibility concern, drawing comparisons to other recent infill development in the area such as the Midtown development to the south on Pecos Street, and other Delwest infill developments in the area. Some comments also touched on concerns of gentrification and whether the proposed housing would be able to be enjoyed by existing members of the community.

Two residents also provided comment citing concern with a potential historic landfill near the site. While County records could not identify any such landfill site, and Tri-County Health and the Colorado Dept. of Public Health and Environment (CDPHE) did not provide referral comment addressing any such environmental hazards, staff has recently engaged with Tri-County to research

a possible landfill in the area. The applicant has provided staff with previous soils testing results, which were forwarded to Tri-County and CDPHE for review and cross-referencing with any historical documentation they may have. The agencies did note that a nearby City of Thornton water treatment facility may have had waste disposal impacts in the past, and there was an inert fill on file to the north of the project, but neither agency had additional concerns in light of the additional information provided by the applicant and neither chose to amend their previous referral comments.

While the majority of public comment has been in opposition to this development, four comments have been received in general support. Commentors cited support for removal of the unmaintained Children's Outreach Center building, support for added residential density at that specific location, potential positive impact to property values, support for private investment in the community, and greater use of Sherrelwood Park.

The applicant has provided responses to the public comments received following the initial application submittal, and elected to conduct an additional neighborhood meeting on Aug. 25, 2020 to discuss community concerns. In the months since the neighborhood meeting, the applicant has approached the Hyland Hills Park and Recreation District about contributing towards creation of an outdoor amenity space in response to the concerns relating to a loss or lack of community gathering spaces in the neighborhood. Final details of this additional off-site improvement have not yet been determined, but the applicant has pledged to contribute \$50,000 towards the improvement. Finally, the applicant has also provided eight letters of support from existing residents in other Adams County Delwest developments, include the existing Sherrelwood Village PUD.

COUNTY AGENCY COMMENTS

Adams County Development Services staff and other County offices and departments reviewed the request and have no outstanding concerns with the proposed applications at this stage in the development process.

REFERRAL AGENCY COMMENTS

Responding with Comments or Concerns:

Adams County Fire Rescue (ACFR)

- ACFR responded to referral requests throughout the review period requesting the applicant provide additional information related to site access and fire hydrant location. The applicant has addressed all concerns for this stage of the development.

Colorado Division of Water Resources (CDWR)

- CDWR responded to the initial referral seeking sufficient documentation that service can be provided to the development and by Thornton Water. The applicant has provided requested documentation regarding eligibility to be served. CDWR commented that in its opinion Thornton has sufficient water supply as long as it is committed to serving the development.

Regional Transportation District

- RTD responded requesting that a bus stop boarding area be installed adjacent to the site to improve the existing bus stop in the area and provided diagrams specifying requested dimensions and design.

Xcel Energy

- Xcel has provided review of the proposed plat, which is not required at this time for rezone and PDP review, and has provided information on easement size and locations to meet their requirements.

Responding without Concerns:

Colorado Department of Public Health and Environment

Colorado Department of Transportation

Colorado Geological Survey

Thornton Fire

Tri-County Health Department

Notified but not Responding / Considered a Favorable Response:

Century Link

City of Federal Heights

City of Thornton

City of Westminster

Colorado Division of Mining and Reclamation Safety

Colorado Division of Wildlife

Comcast

Crestview Water and Sanitation District

Federal Heights Fire Dept.

Metro Wastewater Reclamation District

Perl Mack Neighborhood Group

U.S. Environmental Protection Agency

U.S. Post Office

Westminster Fire Dept.

Westminster School District #50

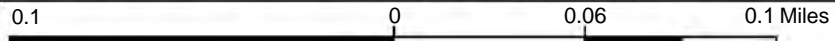


Simple Map



- Legend**
- Address
 - Highways
 - Interstate
 - Highway
 - Tollway
 - Streets
 - Streets
 - Ramp
 - Building
 - County Parks and Open Space
 - Small Lakes
 - Major Lakes
 - Rivers
 - Canal
 - Ditch
 - Primary Creek
 - River
 - Secondary Creek
 - Stream
 - Parcels
 - County Boundary

1: 4,048











This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
PRC2020-00010
Shererwood Village Fig. No. 2



Legend

- Address
- Highways
 -  Interstate
 -  Highway
 -  Tollway
- Streets
 -  Streets
 -  Ramp
-  Building
-  Parcels

1: 4,048 

0.1 0 0.06 0.1 Miles

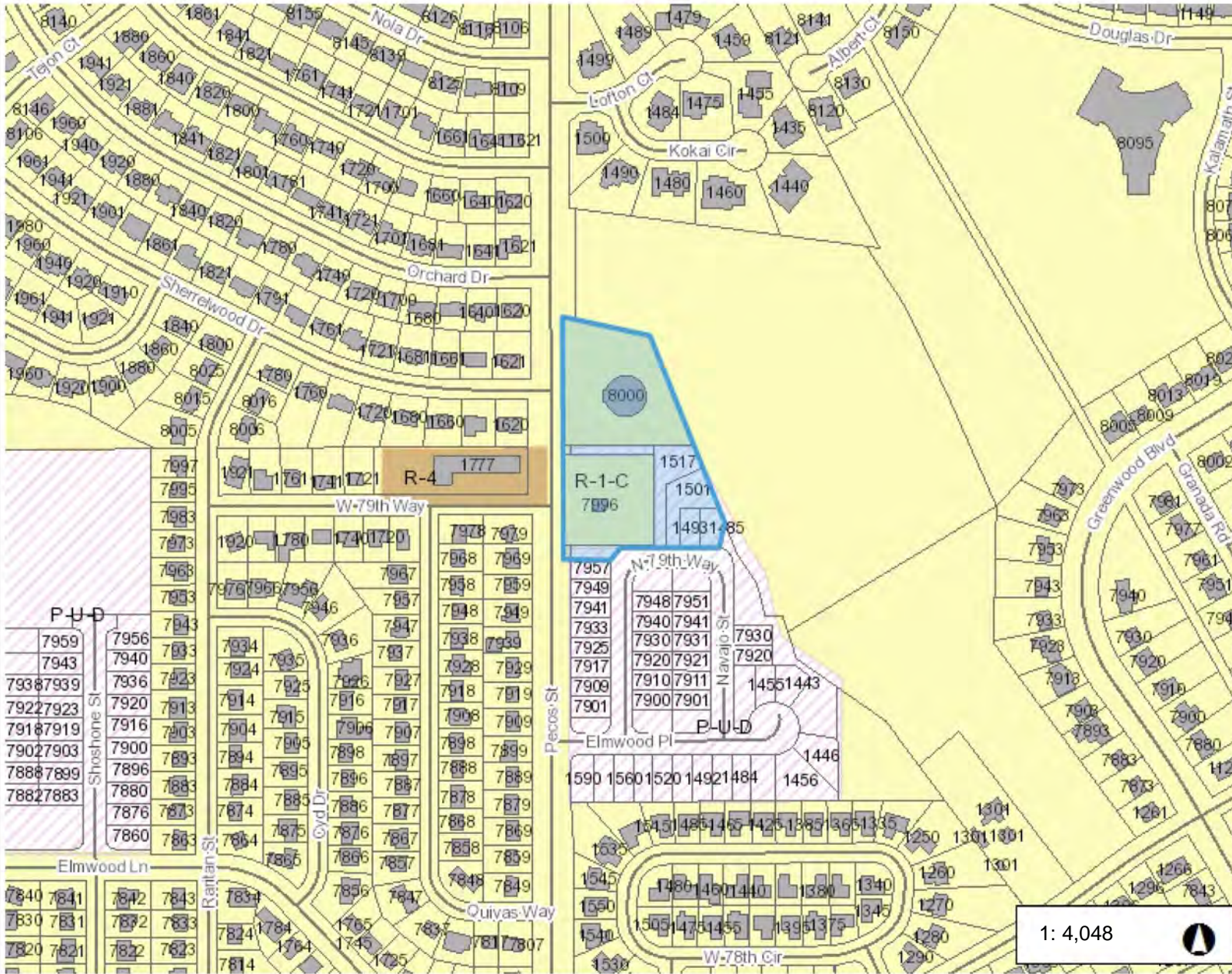
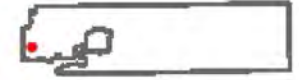
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Notes

PRC2020-00010
Shererwood Village Fig. No. 2



Zoning Map



Legend

- Address
- Highways
 - Interstate
 - Highway
 - Tollway
- Streets
 - Streets
 - Ramp
- Building
- Parcels
- Zoning
 - A-1
 - A-2
 - A-3
 - Conditions
 - TOD
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - L-1

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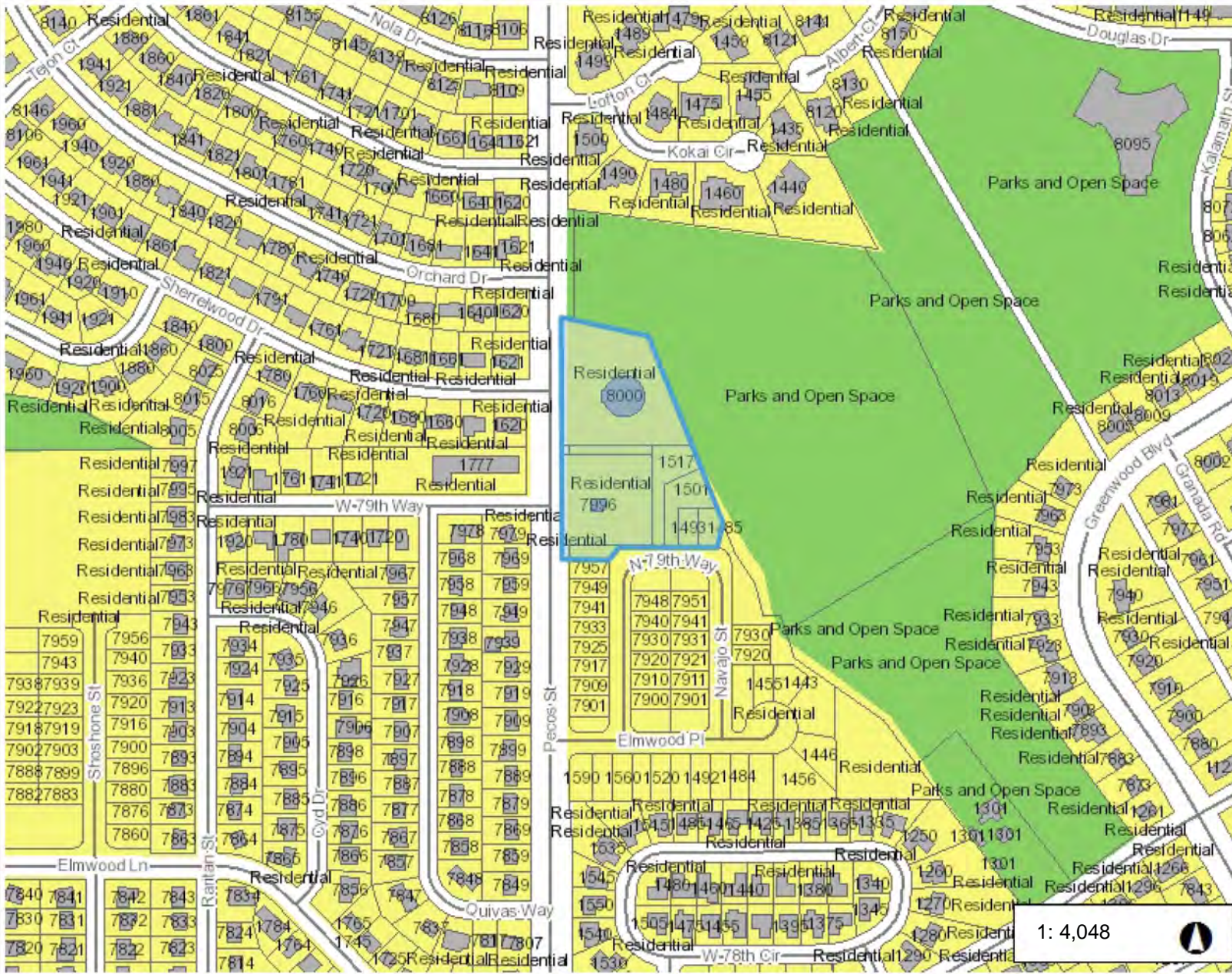
0.1 0 0.06 0.1 Miles

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Notes


PRC2020-00010
Sherrelwood Village Fig. No. 2

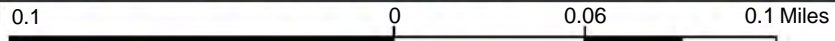
Future Land Use Map



Legend

- Address**
- Highways**
 - Interstate
 - Highway
 - Tollway
- Streets**
 - Streets
 - Ramp
- Building**
- Parcels**
- Comprehensive Plan**
 - Urban Residential
 - Estate Residential
 - Local District Mixed Use
 - Mixed Use Neighborhood
 - Activity Center
 - Mixed Use Employment
 - Commercial
 - Industrial
 - Agriculture
 - DIA Reserve
 - Parks and Open Space
 - Public
 - Municipal Area

1: 4,048 



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Notes
PRC2020-00010
Sherrelwood Village Fig. No. 2



Narrative Rezoning

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

In order to build the proposed townhomes, we are proposing to rezone 7996 and 8000 Pecos Street from R-1-C to PUD. PUD zoning will allow for the proposed higher density of townhomes that R-1-C zoning would not allow. By combining the single-family PUD zoning with the townhomes, we will be allowed certain setbacks and other standards as outlined in the PUD-PDP document that the townhomes require.

We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest



Narrative PUD-PDP Amendment 1

Delwest Development Corporation is proposing to amend their current Sherrelwood Village PUD-PDP to include approximately 47 new townhomes on 3.3 Acres of additional land adjacent and to the north of the single-family homes we are currently building.

7996 and 8000 Pecos St were purchased to offer a lower, more “workforce” focused priced housing solution for the community than a new traditional single-family home. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.

Within this PUD amendment, several features of the site exhibit superior design over County requirements as described below:

With the addition of Townhomes to the PUD, we are required to provide 3.3 Acres of open space with 25% of that being active open space. This PUD now provides 4.4 Ac of open space with 1.0 Ac of that being active open space which exceeds the requirements. Within the active open space we are providing a play structure and seating areas by the townhomes for family gathering. This is in addition to the shade structure and seating provided near the single-family homes. Walkways connect both active open space areas to the rest of the neighborhood.

To the east of the project site sits Sherrelwood Park which is a fantastic community amenity. To enhance this park even further we have been working with Hyland Hills to create an outdoor amenity space within the park itself in exchange for using offsite detention. This amenity will be an additional gathering place for the community that everybody can use. Ongoing coordination with Hyland Hills and neighbors will determine the final amenity, whether it be a shade structure, playground, or other type of activity area.

The townhome addition to the PUD will have little to no impact on public infrastructure. Delwest is responsible for all onsite infrastructure and associated costs. This includes the stoplight at Sherrelwood Dr which connects into the townhomes area and down into the single-family portion. This improves access to the current subdivision by creating a loop, with 2 access points on Pecos St and especially enhances ingress and egress to and from southbound traffic. Residents will also have a safe location to cross Pecos Dr.



Additional parking will be provided as part of the townhome addition to the PUD. Each unit will have a 2-car tandem garage which meets the minimum parking requirement of parking. This townhome addition also provides 22 guest spaces in parking lots and 40 driveways spaces in front of units for a total of 62 guest spaces. This an improvement over the required 24 guest spaces.

We at Delwest are excited to have the opportunity to enhance this neighborhood and bring market rate housing to the area. We look forward to working with the community and staff moving forward.

Sincerely,

W. Craig Fitchett

Director of Acquisitions & Business Development, Delwest

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

LEGAL DESCRIPTION

A PARCEL OF LAND BEING SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000075343 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT DEED RECORDED AT RECEPTION NO. 2019000073502 ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN PORTIONS OF THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NO. 2019000075343;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.10 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING THREE (3) COURSES:

1. S 76°46'55" E, A DISTANCE OF 178.58 FEET;
2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED AT RECEPTION NO. 2019000075343 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 534.54 FEET;
3. S 33°40'19" E, ALONG THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 83.13 FEET;

THENCE ALONG THE EAST AND SOUTH LINES OF SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING SIX (6) COURSES:

1. S 14°37'52" E, A DISTANCE OF 76.08 FEET;
2. N 88°03'04" E, A DISTANCE OF 39.50 FEET
3. S 17°49'46" E, A DISTANCE OF 104.05 FEET;
4. S 55°05'47" E, A DISTANCE OF 112.26 FEET;
5. S 01°01'29" E, A DISTANCE OF 259.37 FEET, TO A POINT ON THE NORTH LINE OF ELMWOOD PARK SUBDIVISION, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. C0184761, SAID ADAMS COUNTY RECORDS;
6. S 89°32'44" W, ALONG SAID NORTH LINE, A DISTANCE OF 611.65 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 586.62 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;
3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

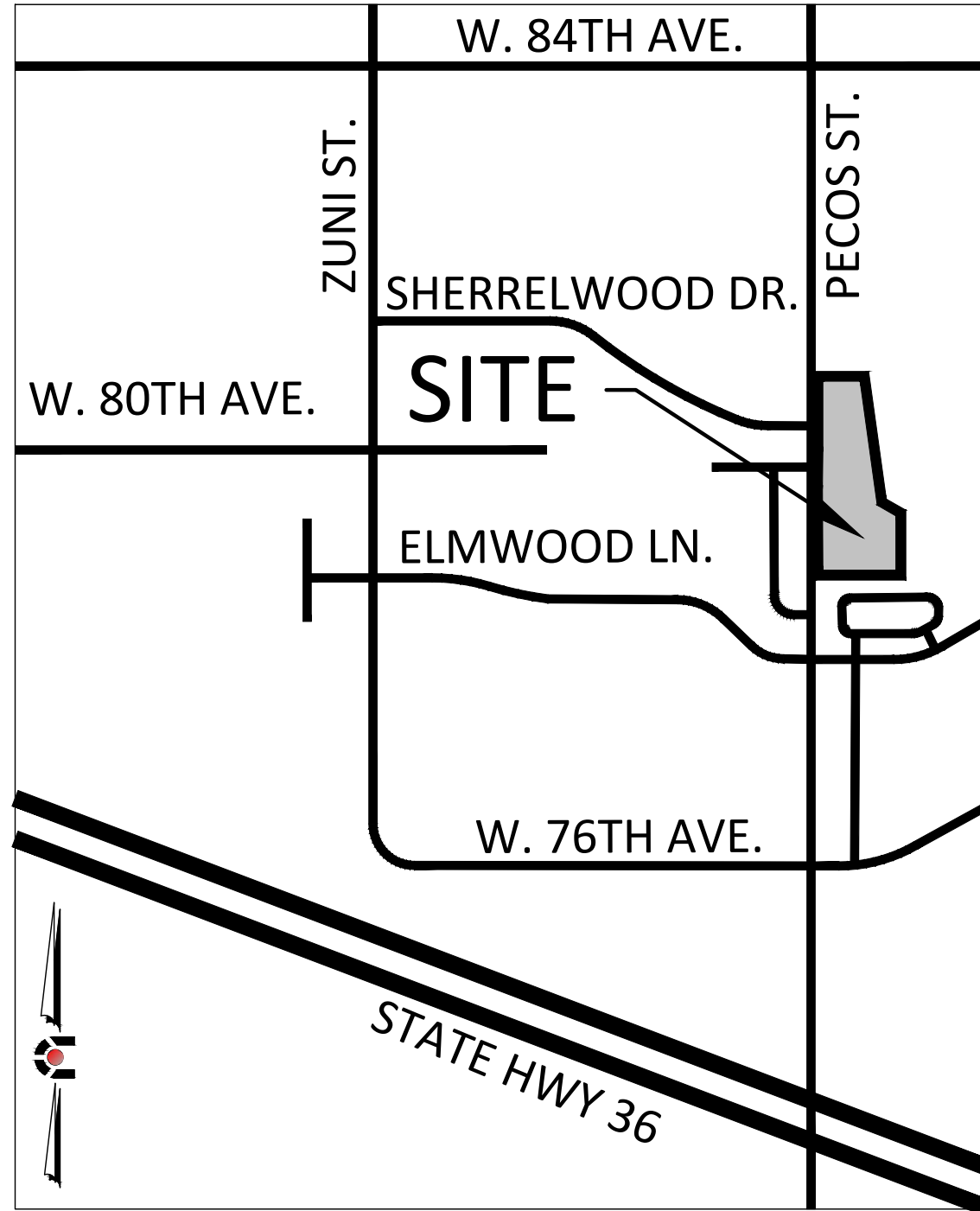
CONTAINING AN AREA OF 450,875 SQUARE FEET OR 10.351 ACRES, MORE OR LESS.

STAFF REVIEW

Approved as to form by:

Director of Community and Economic Development

County Attorney



VICINITY MAP

SCALE: 1"= 1000'

PLANNER

Terracina Design
10200 E. Girard Avenue, Ste. A314
Denver, Colorado 80231
Contact: Layla Rosales
(303) 632-8867

ARCHITECT

Lawrence Architecture Inc.
2686 Alamo Avenue
Littleton, Colorado 80120
Contact: Rick Lawrence
(303) 794-8798

APPLICANT

DelWest Development Corp.
155 South Madison St. Ste. 326
Denver, Colorado 80209
Contact: Derrell Schreiner
(720) 708-4065

ENGINEER/SURVEY

Core Consultants
1950 W Littleton Blvd. Ste. 109
Littleton, Colorado 80120
Contact: Dave Forbes
(303) 703-4444

SHEET INDEX

COVER SHEET	1
EXISTING SITE PLAN	2
OVERALL SITE & UTILITY PLAN	3
GENERAL NOTES	4
NARRATIVE	5
DEVELOPMENT STANDARDS	6
OPEN SPACE PLAN	7
LANDSCAPE PLAN	8-12
LANDSCAPE DETAILS	13-16
SAMPLE HOUSE EXHIBITS	17-18
ARCHITECTURAL STANDARDS	19-20

CERTIFICATE OF OWNERSHIP

Delwest Development Corp, A Colorado Corporation, being the owner of Sherrelwood Village located in the county of Adams, State of Colorado, hereby submit this Planned Unit Development - Preliminary Development Plan and agree to perform under the terms noted hereon.

Owner's Signature _____

State of _____)
County _____) ss
City _____)

The foregoing ownership certificate was acknowledged before me this _____ day of _____, 20__.

Notary Public _____

My Commission Expires: _____

PLANNING COMMISSION APPROVAL

Approved by the Adams County Planning Commission this _____ day of _____, 20__

Chair _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

Approved by the Adams County Board of County Commissioners this _____ day of _____, 20__

Chair _____

CLERK & RECORDERS CERTIFICATE

This Preliminary Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the _____ day of _____, 20__.

County Clerk and Recorder _____

By Deputy _____

ADDITIONS AND DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

SHEET TITLE

COVER SHEET

SHEET NUMBER

1 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

01-27-2021

NOT FOR CONSTRUCTION

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

3 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

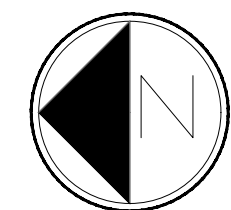
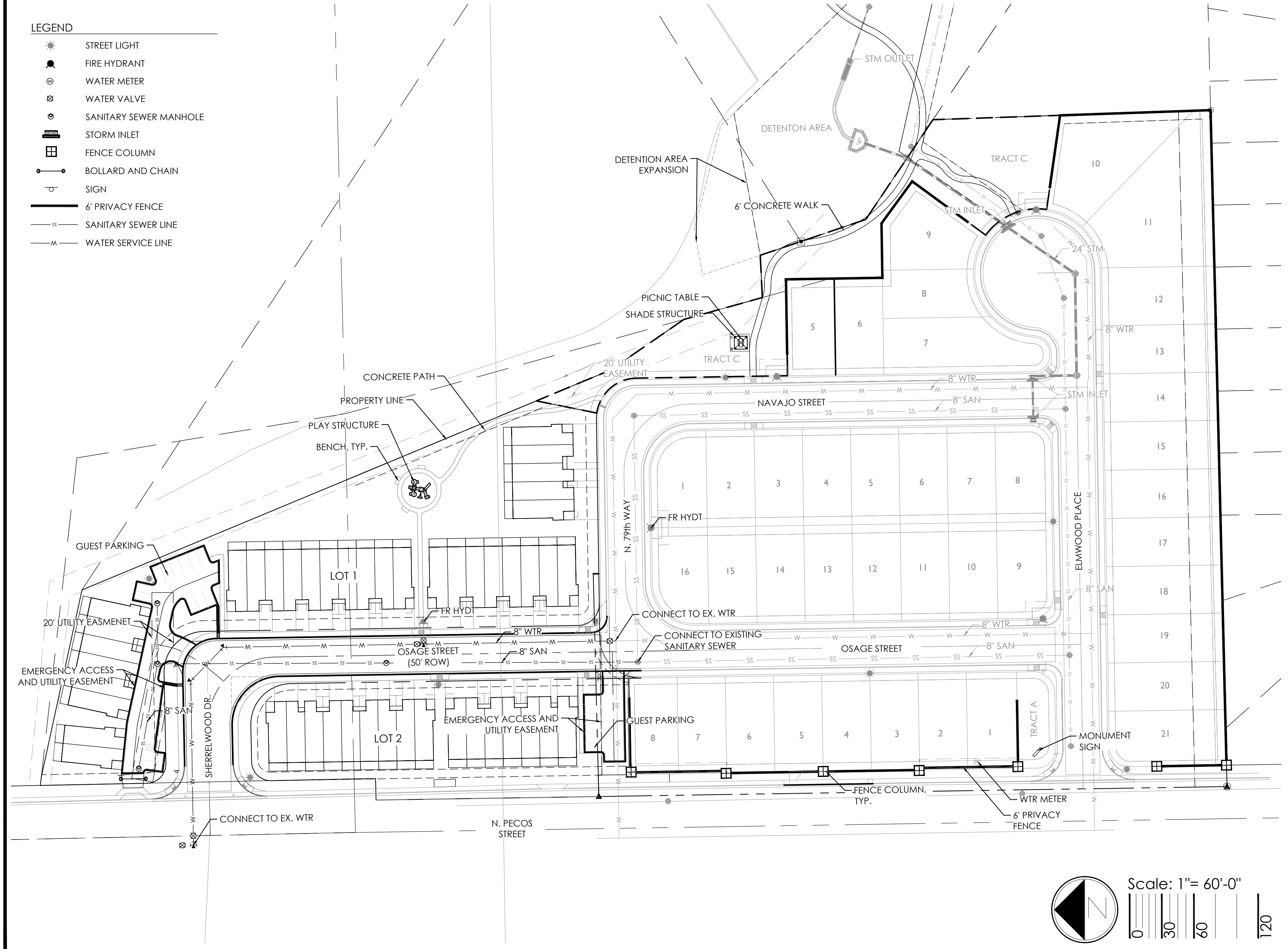
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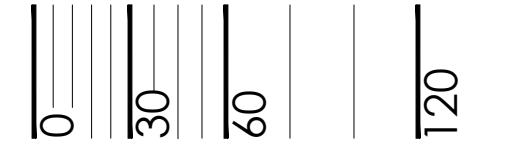
NOT FOR CONSTRUCTION

LEGEND

- STREET LIGHT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM INLET
- FENCE COLUMN
- BOLLARD AND CHAIN
- SIGN
- 6' PRIVACY FENCE
- SANITARY SEWER LINE
- WATER SERVICE LINE



Scale: 1"= 60'-0"



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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

GENERAL NOTES

A. SITE COMPLIANCE NOTE:

1. A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED BY ADAMS COUNTY UNTIL ALL ON-SITE AND PUBLIC IMPROVEMENTS SUCH AS GRADING, DRAINAGE, SIDEWALKS, CURB AND GUTTER, SPECIALTY PAVING AND ALLOTHER FEATURES THAT APPEAR ON THE APPROVED SITE PLAN ARE COMPLETED.
2. SURFACED ACCESS ROADS OR STREETS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
3. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PROVIDED DRIVES.
4. ADAMS COUNTY IS NOT RESPONSIBLE FOR PRIVATE LANDSCAPING, STRUCTURES AND FACILITIES (WALLS, FENCES, ETC.) WITHIN STORM AND SANITARY SEWER EASEMENTS.
5. ON-SITE STORM DRAINAGE FACILITIES AND LANDSCAPING SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER; ITS SUCCESSORS AND/OR ASSIGNS.

B. LIGHTING NOTE:

1. IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHERE IT ORIGINATES.
2. OPERATIONS AND MAINTENANCE OF ALL STREET LIGHTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION, DEVELOPER, OR THEIR ASSIGNS.

C. MAINTENANCE RESPONSIBILITY NOTES:

1. THE OWNERS OF THE SINGLE FAMILY LOTS, THEIR SUCCESSORS, HEIRS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO AN APPROVED SITE PLAN. THAT AREA SHALL BE DEEMED TO INCLUDE AN AREA MEASURED FROM THE BACK OF THE CURB LINE TO, AND INCLUDING ALL AREAS SUBJECT TO THE APPROVED SITE PLAN AND DRAINAGE REPORT.
2. THE TOWNHOME LANDSCAPE AREA WITHIN LOTS 1 AND 2 OF SHERRELWOOD VILLAGE FIRST AMENDMENT OF THE PLAT WILL BE MAINTAINED BY THE HOA.
3. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. REPLACEMENT FOR DEAD OR DISEASED PLANT MATERIAL SHALL BE THE SAME TYPE OF PLANT MATERIAL AS SET FORTH IN THE APPROVED SITE PLAN; FOR EXAMPLE A TREE MUST REPLACE A TREE, A SHRUB MUST REPLACE A SHRUB, A GROUND COVER MUST REPLACE A GROUND COVER, ETC.. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR. ANY REPLACEMENT WHICH CONFORMS TO THE REQUIREMENTS OF THIS SECTION, SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.

D. SIGNAGE NOTE:

1. APPROVAL OF A SIGN PERMIT IS REQUIRED WHICH WILL INCLUDE A SITE PLAN TO VERIFY ANY POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND UTILITY EASEMENTS.

E. DOWNSPOUT NOTE:

1. NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY PEDESTRIAN ROUTE.

F. MAILBOX LOCATION:

1. MAILBOXES SHALL BE LOCATED ON OSAGE STREET, ADJACENT TO TRACT A FOR SINGLE FAMILY HOMES. MAILBOXES WILL BE CENTRALLY LOCATED FOR THE TOWNHOMES. EXACT LOCATION AND CONFIGURATION TO BE DETERMINED BY UNITED STATES POSTAL SERVICE REQUIREMENTS AND GUIDELINES.

G. FENCING:

1. SIX FOOT HEIGHT PRIVACY FENCE IS PROVIDED ON THE PDP. HOWEVER, HOMEOWNERS ADJACENT TO OPEN SPACE MAY INSTALL 42" HEIGHT OPEN RAIL OR OPAQUE FENCING.
2. PRIVATE LOT OWNERS WILL BE ALLOWED TO INSTALL SIX FOOT HEIGHT PRIVACY FENCE ALONG SIDE AND REAR LOT LINES WHERE ADJACENT TO NEIGHBORING LOTS. WING WALL PRIVACY FENCE MAY BE INSTALLED FROM THE SIDE YARD FENCE TO THE FRONT CORNER OF THE HOUSE. FENCING MAY NOT BE PLACED ANY FURTHER FORWARD ON THE LOT THAN THE FRONT CORNERS OF THE MAIN LIVING AREA OF THE HOME, INCLUDING THE GARAGE
3. FENCING MAY NOT BE PAINTED ANY COLORS. ONLY A SEALANT PRODUCT TO PROTECT THE WOOD MAY BE USED AS LONG AS IT DOES NOT ALTER THE NATURAL COLOR OF THE WOOD.

H. PUBLIC LAND DEDICATION FEE.

1. DEDICATION OR CASH-IN-LIEU WILL BE DETERMINED FOR ADDITIONAL FILING 2 AREA AT TIME OF FINAL PLAT AND FDP.

I. TRASH NOTE:

1. TRASH SHALL BE LOCATED IN INDIVIDUAL UNITS VIA TRASH CONTAINERS.

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

4 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
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 ADAMS COUNTY, COLORADO

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SHERRELWOOD VILLAGE

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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

NARRATIVE

A. EXPLANATION OF THE CHARACTERISTICS OF THE PUD AND ITS POTENTIAL IMPACT ON THE SURROUNDING AREA:

SHERRELWOOD VILLAGE PUD CONSISTS OF APPROXIMATELY 10.4 ACRES IN ADAMS COUNTY, COLORADO. THE SITE IS BOUNDED BY RESIDENTIAL HOMES TO THE WEST AND SOUTH, SHERRELWOOD ELEMENTARY AND PARK TO THE EAST AND VACANT LAND AND PRIVATE BUSINESS TO THE NORTH. SHERRELWOOD VILLAGE IMPROVEMENTS INCLUDE 41 SINGLE FAMILY DETACHED HOMES, 47 TOWNHOME UNITS, ROADWAYS AND OPEN SPACE. THE CONDITION OF THIS SITE IS SUITABLE FOR BOTH SINGLE FAMILY RESIDENTIAL UNITS AND TOWNHOME UNITS WITHOUT ANY LIMITATIONS OR RESTRICTIONS.

B. EXPECTED DENSITIES AND LAND COVERAGE:

SHERRELWOOD VILLAGE CONSISTS OF 41 SINGLE FAMILY DETACHED LOTS AND 47 TOWNHOMES UNITS ON 10.4 ACRES FOR A MAXIMUM DENSITY OF 8.5 DU/AC.

C. NUMBER, TYPE AND SIZE OF BUILDING UNITS:

FORTY-ONE (41) SINGLE FAMILY DETACHED LOTS AND FORTY-SEVEN (47) TOWNHOMES ARE PROPOSED IN THE SHERRELWOOD VILLAGE PDP. THE HOMES WILL BE ONE AND TWO STORY FRONT LOADED WITH A STANDARD TWO CAR GARAGE. THE SIZES OF THE HOMES WILL VARY FROM 1,300 TO 2,000 SQUARE FEET FOR SINGLE FAMILY AND 1,700 TO 2,300 SQUARE FEET FOR TOWNHOMES.

D. PROVISIONS FOR PARKING:

EACH SINGLE FAMILY HOME WILL HAVE A TWO CAR ATTACHED GARAGE AND AN OFF-STREET DRIVEWAY. EACH TOWNHOME UNIT WILL HAVE A 2 CAR TANDEM GARAGE. MOST TOWNHOME UNITS HAVE DRIVEWAYS ALONG WITH (22) OFF STREET PARKING SPACES FOR GUESTS. THESE FRONT ACCESSED GARAGES AND DRIVEWAYS WILL EASILY ACCOMMODATE THE MINIMUM REQUIRED TWO (2) PARKING SPACES PER HOME AND (1) GUEST SPACE FOR EVERY 2 TOWNHOMES.

E. CIRCULATION AND ROAD PATTERNS:

TWO (2) PUBLIC LOCAL STREETS, A LOOP ROAD AND ONE WITH A CUL-DE-SAC ARE PROVIDED ALLOWING EASY ACCESS TO ALL HOMES. TWO PRIMARY ACCESSES ARE PROVIDED OFF OF PECOS STREET ELMWOOD LANE AND SHERRELWOOD DRIVE. ACCESS TO REGIONAL TRANSPORTATION ROUTES IS VIA PECOS. ALL STREETS WILL HAVE ATTACHED CONCRETE SIDEWALKS AND WILL MEET THE CURRENT STANDARDS FOR STREET CONSTRUCTION WITHIN ADAMS COUNTY. A CONCRETE TRAIL CONNECTION WILL BE PROVIDED TO CONNECT THE DEVELOPMENT TO THE PARK AND PUBLIC SCHOOL TO THE EAST.

F. OWNERSHIP AND MAINTENANCE OF COMMON AREAS:

LANDSCAPE EASEMENT ALONG PECOS ST WILL BE OWNED AND MAINTAINED BY THE HOA
 TRACTS A AND C, INCLUDING THE LANDSCAPE WITHIN TOWNHOME LOTS WILL BE OWNED AND MAINTAINED BY THE HOA, ITS SUCCESSORS AND/OR ASSIGNS.

G. TYPE, LOCATION, EXAMPLES OF COPY AND CONSTRUCTION SIGNS.

PERMANENT SIGNS
 THE COMMUNITY MAY HAVE ONE ENTRY MONUMENT SIGN LOCATED WITHIN TRACT A; SETBACK AT LEAST EIGHT (8) FEET FROM THE FRONT PROPERTY LINE (ROW) AND EQUAL TO THE HEIGHT OF THE SIGN FROM SIDE AND REAR PROPERTY LINES. THE MONUMENT WILL BE A MAXIMUM OF SIX (6) FEET IN HEIGHT AND TEN(10) FEET IN LENGTH WITH A MAX SIGN AREA OF THIRTY (30) SQUARE FEET PER SIGN FACE. THE MONUMENT MAY BE INTERNALLY LIGHTED OR HAVE ACCENT LANDSCAPE LIGHTING AND INCLUDE LANDSCAPING OF 2.5 SQUARE FEET PER SQUARE FOOT OF SIGN AREA. THE ENTRY MONUMENT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER, ITS SUCCESSORS AND/OR ASSIGNS.

TEMPORARY MARKETING SIGNS:
 INTERIM PROJECT ID - ONE (1) THIRTY-TWO (32) SF (PER SIGN FACE) FREESTANDING MARKETING SIGN, NOT EXCEEDING TWELVE (12) FEET IN HEIGHT IS PERMITTED WITHIN TRACT A. THE SIGN WILL BE REMOVED UPON BUILD OUT OF THE DEVELOPMENT.

MARKETING BANNERS:
 UP TO TWO (2) MARKETING BANNERS WITH A MAXIMUM OF THIRTY-TWO (32) SF OF SIGN AREA TO BE MOUNTED ON TEMPORARY OR PERMANENT SITE WALLS. SIGNS MAY NOT BE MOUNTED ON FENCES. MARKETING BANNERS MAY BE INCORPORATED INTO CONSTRUCTION SCREENING.

H. TYPE AND ALLOCATION OF ALL USES INCLUDING PERMITTED USES, USE AS PERMITTED AFTER AMENDMENT TO THE PUD AND PROHIBITED USES:

PERMITTED USES WITHIN SHERRELWOOD VILLAGE INCLUDE SINGLE FAMILY DETACHED RESIDENTIAL, TOWNHOMES, OPEN SPACE AND HOME BASED OCCUPATIONS AS PERMITTED BY ADAMS COUNTY. TEMPORARY USES INCLUDE OPEN SPACE AND LANDSCAPE IMPROVEMENTS, CONSTRUCTION OFFICES, SALES CENTER AND RELATED IMPROVEMENTS. SALES CENTERS AND TEMPORARY CONSTRUCTION TRAILERS REQUIRE PERMITS FROM ADAMS COUNTY PRIOR TO LOCATING ON THE PROPERTY.
 ANY STANDARDS AND ALLOWANCES FOR TOWNHOMES NOT EXPLICITLY LISTED IN THIS PUD SHALL FOLLOW R-3 ZONING

I. LOCATION AND TYPES OF LANDSCAPING AND MAINTENANCE PROVISIONS:

PRIVATE LOT OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THEIR PROPERTY. ADAMS COUNTY IS NOT RESPONSIBLE FOR REPAIRING OR MAINTAINING LANDSCAPING THAT IS DAMAGED AS A RESULT OF ROADWAY MAINTENANCE ACTIVITIES, INCLUDING BUT NOT LIMITED TO DE-ICING CHEMICALS AND STREET REPAIRS.

J. DESCRIPTION OF BUILDING ENVELOPES INCLUDING SQUARE FOOTAGE AND/OR MINIMUM SETBACKS, HEIGHT AND GENERAL EXTERNAL CHARACTERISTICS:

THERE ARE 41 SINGLE FAMILY DETACHED RESIDENTIAL AND 47 TOWNHOME UNITS IN THIS PDP. SETBACKS, BUILDING HEIGHT AND SQUARE FOOTAGES SHALL BE CONSISTENT WITH THE DEVELOPMENT STANDARDS TABLE ON SHEET 6.

K. COVENANTS, CONDITIONS & RESTRICTIONS TO BE IMPOSED ON THE PUD:

ARCHITECTURAL AND LANDSCAPE DESIGN GUIDELINES WILL BE DEVELOPED FOR SHERRELWOOD VILLAGE THROUGH THE COVENANTS, CONDITIONS & RESTRICTIONS (CC&R'S); TO BE ADMINISTERED BY THE ESTABLISHED ASSOCIATION OR DISTRICT.

L. ADDITIONAL CONTROLS SUCH AS ARCHITECTURAL CONTROL COMMITTEE OF A PROPERTY OWNER'S ASSOCIATION:

THE COMMUNITY WILL HAVE AN ASSOCIATION OR DISTRICT THAT WILL ENFORCE THE DESIGN STANDARDS THROUGH THE CC&RS.

M. UTILITY SERVICE PROVIDERS:

THE CITY OF THORNTON WILL PROVIDE WATER AND SANITARY SEWER; XCEL ENERGY PROVIDES GAS AND ELECTRIC SERVICES TO THE SITE.

N. ESTIMATED TIMETABLE FOR DEVELOPMENT:

THE ESTIMATED LENGTH OF TIME FOR BUILD-OUT IS BETWEEN TWO (2) AND THREE (3) YEARS.

O. ANY OTHER PERTINENT FACTORS CONCERNING DEVELOPMENT:

ADAMS COUNTY FIRE PROTECTION DISTRICT SERVICES THE PROPERTY.

SHEET TITLE

NARRATIVE

SHEET NUMBER

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PROJECT NAME

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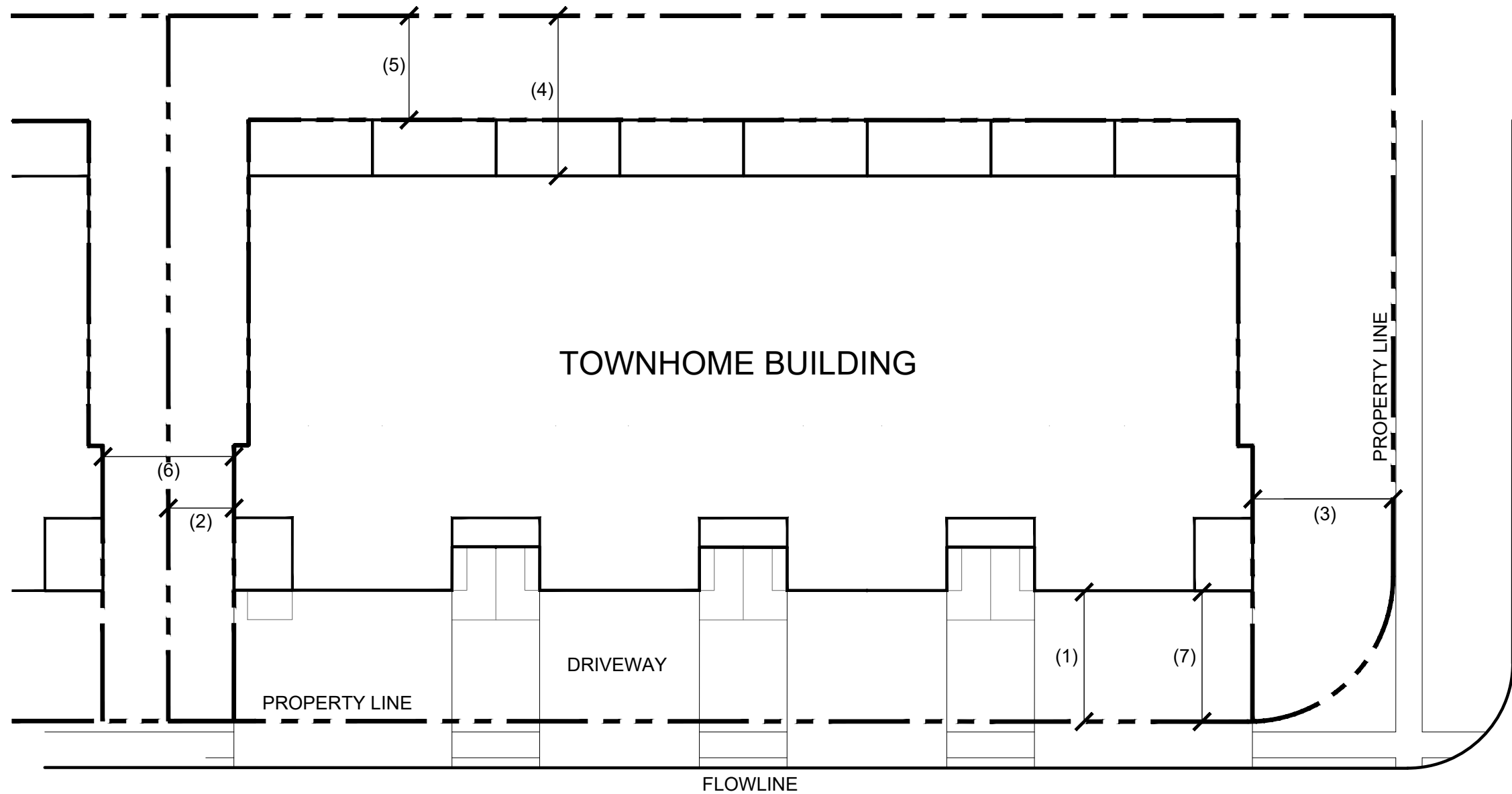
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SHERRELWOOD VILLAGE

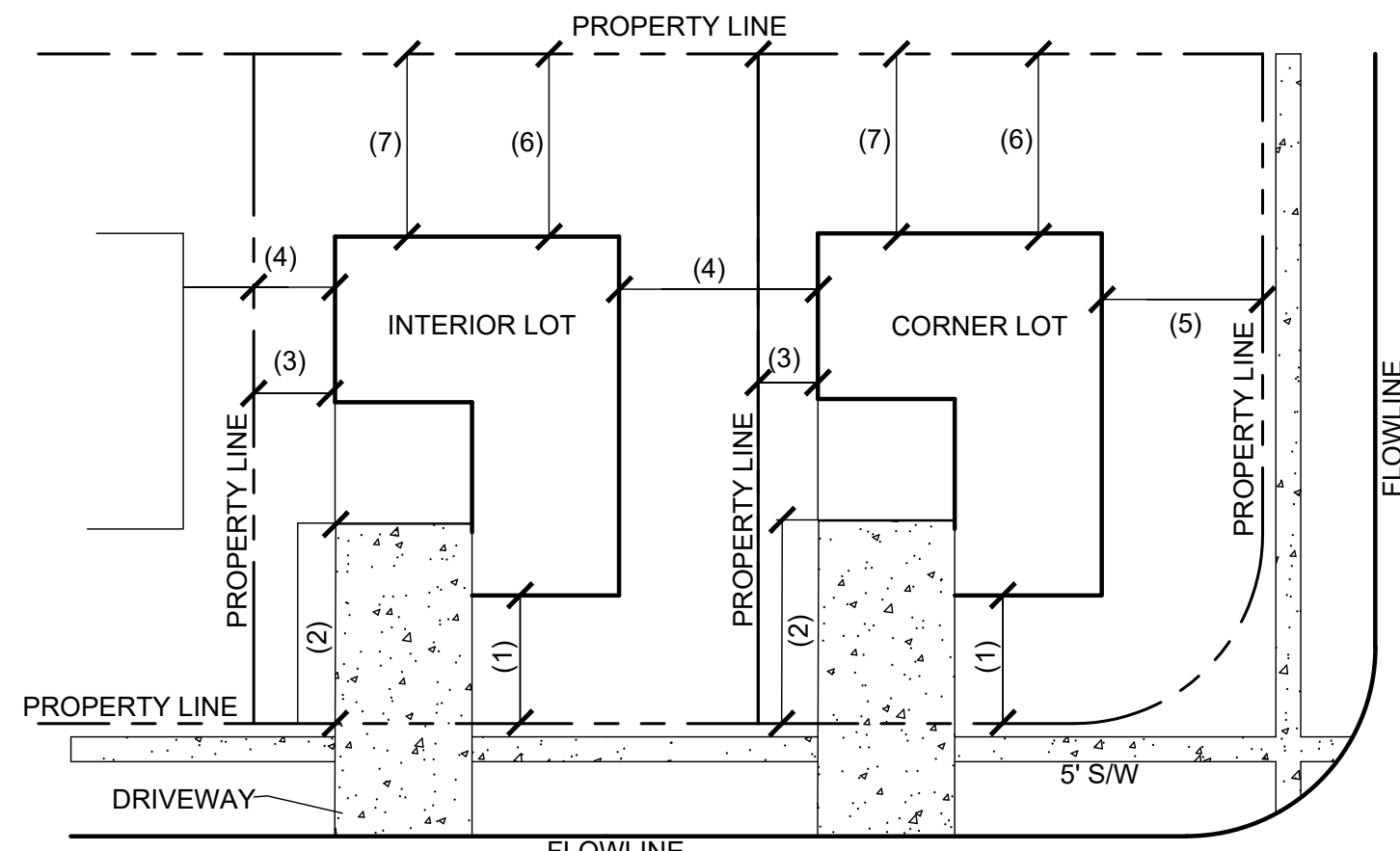
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TYPICAL TOWNHOME SETBACK DETAIL
NTS

TOWNHOME LOT SETBACKS

- (1) 15' FRONT SETBACK
- (2) 5' SIDE SETBACK
- (3) 10' SIDE ON STREET SETBACK
- (4) 10' REAR SETBACK
- (5) REAR PORCH - MAY ENCROACH INTO REAR SETBACK BY 8'
- (6) 10' BUILDING SEPARATION
- (7) 8' PORCH SETBACK



TYPICAL SINGLE FAMILY SETBACK DETAIL
NTS

SINGLE FAMILY LOT SETBACKS

- (1) 10' FRONT SETBACK
- (2) 18' GARAGE SETBACK
- (3) 5' SIDE SETBACK
- (4) 10' BUILDING SEPARATION
- (5) 10' SIDE ON STREET SETBACK
- (6) 10' REAR SETBACK
- (6) 30' REAR SETBACK (BLOCK 1: LOTS 11-21)
- (7) REAR PORCH SETBACK - MAY ENCROACH INTO REAR SETBACK BY 8'. CANNOT BE LOCATED OVER AN EASEMENT.

SINGLE FAMILY ACCESSORY STRUCTURE SETBACKS

- 5' REAR SETBACK
- 5' SIDE SETBACK
- 10' SIDE ON STREET SETBACK

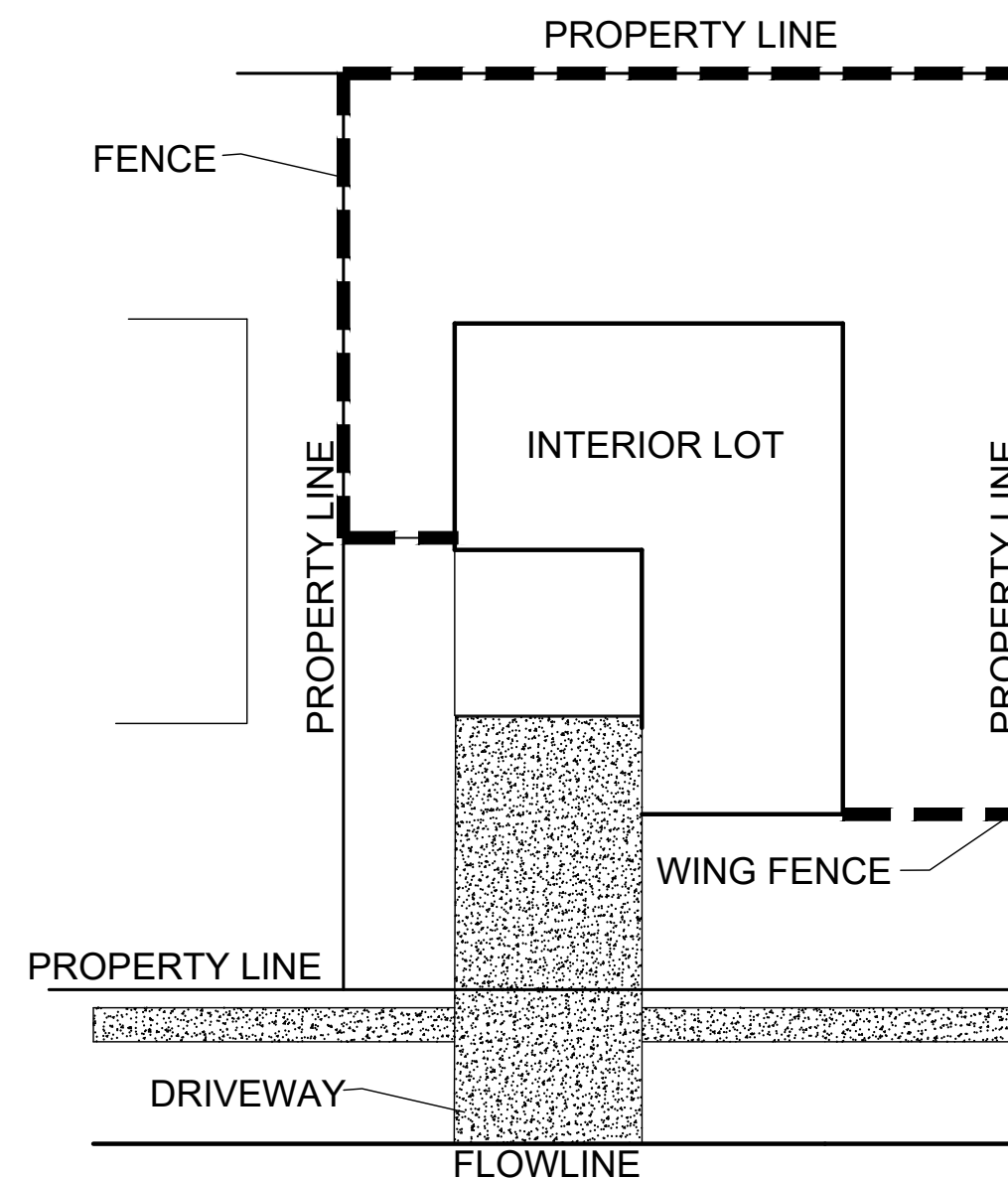
DEVELOPMENT SUMMARY				
LAND USE	ACRES	% ACRES	UNITS	DU/AC
SINGLE FAMILY RESIDENTIAL	4.4	42.9%	41	
TOWNHOMES	1.5	14.4%	47	
OPEN SPACE - TRACTS	1.7	16.9%		
OPEN SPACE - RIGHT OF WAY	2.7	25.8%		
TOTAL	10.4	100.0%	88	8.5

DEVELOPMENT STANDARDS		
USE	SINGLE FAMILY DETACHED HOME	TOWNHOMES
MINIMUM LOT AREA	4,000 S.F.	N/A
MINIMUM FLOOR AREA	1,500 S.F.	1,700 S.F.
MINIMUM LOT WIDTH, (CORNER LOT)	45' (50')	N/A
MAXIMUM LOT COVERAGE	70%	70%
BUILDING COVERAGE		70% MAX
MAXIMUM DENSITY	41 LOTS	47 LOTS
MAXIMUM BUILDING HEIGHT:		
PRIMARY (ACCESSORY)	30' (18')	35' (N/A)

* ANY STANDARDS AND ALLOWANCES NOT EXPLICITLY LISTED IN THIS PUD SHALL FOLLOW R-3 ZONING

NOTES:

- (A) BAY WINDOWS, CANTILEVERS, CHIMNEYS, EXTERIOR POSTS, SOLAR PANELS, MECHANICAL EQUIPMENT, LIGHT FIXTURES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH TWO (2) FEET INTO SETBACKS. IN NO INSTANCE MAY AN ENCROACHMENT CROSS A PROPERTY LINE OR UTILITY EASEMENT.
- (B) SETBACKS ARE MEASURED TO RIGHT OF WAY OR PROPERTY LINE.
- (C) ACCESSORY STRUCTURES ARE NOT PERMITTED IN FRONT YARDS
- (D) 'FRONT YARD' SHALL BE CONSIDERED THAT AREA DEFINED BY THE WIDTH OF THE LOT AND THE DEPTH FROM THE RIGHT-OF-WAY LINE TO FRONT WALL OF THE PRINCIPAL STRUCTURE.



TYPICAL SINGLE FAMILY FENCE DETAIL
NTS

SHEET TITLE
 DEVELOPMENT STANDARDS
 SHEET NUMBER
 6 OF 20



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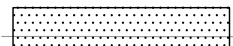
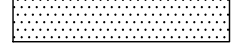

SHERRELWOOD VILLAGE

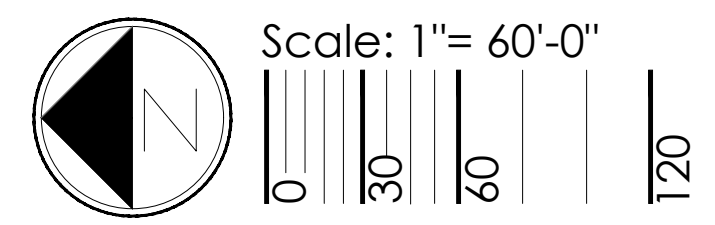
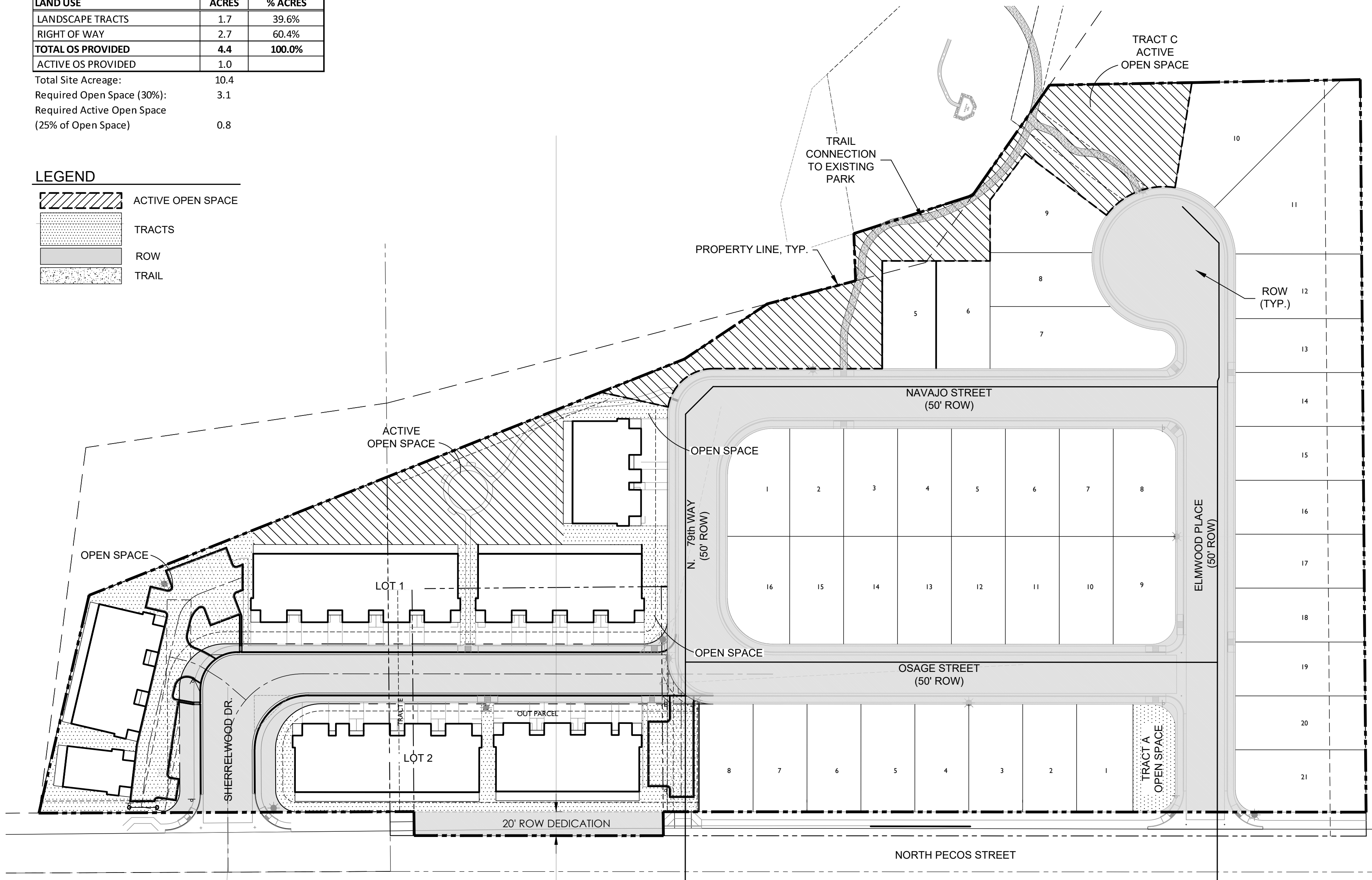
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OPEN SPACE SUMMARY		
LAND USE	ACRES	% ACRES
LANDSCAPE TRACTS	1.7	39.6%
RIGHT OF WAY	2.7	60.4%
TOTAL OS PROVIDED	4.4	100.0%
ACTIVE OS PROVIDED	1.0	

Total Site Acreage: 10.4
 Required Open Space (30%): 3.1
 Required Active Open Space (25% of Open Space): 0.8

LEGEND

-  ACTIVE OPEN SPACE
-  TRACTS
-  ROW
-  TRAIL



SHEET TITLE
 OPEN SPACE PLAN
 SHEET NUMBER

7 OF 20

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SHEET TITLE
 LANDSCAPE PLAN
 SHEET NUMBER
 9 OF 20

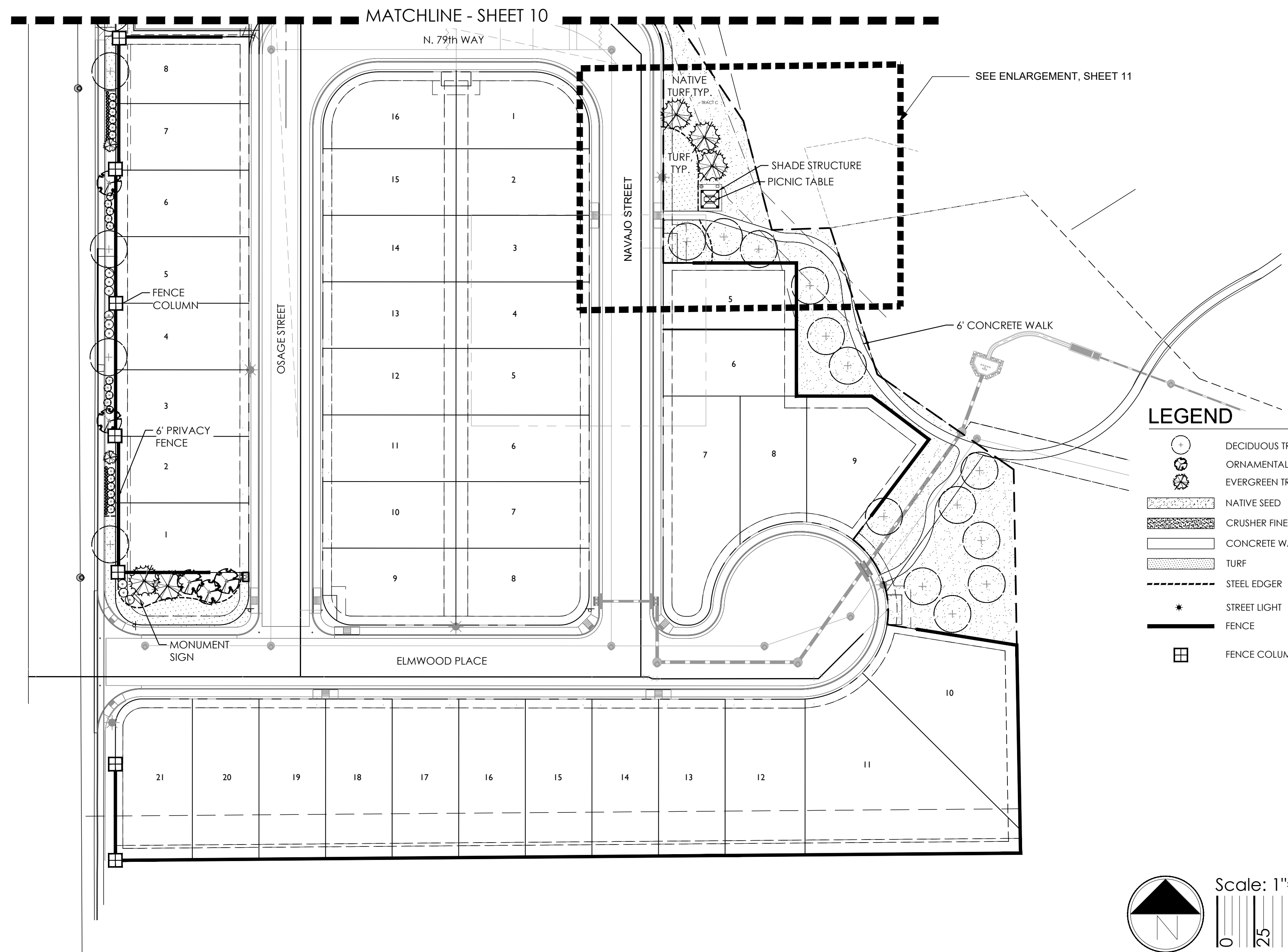
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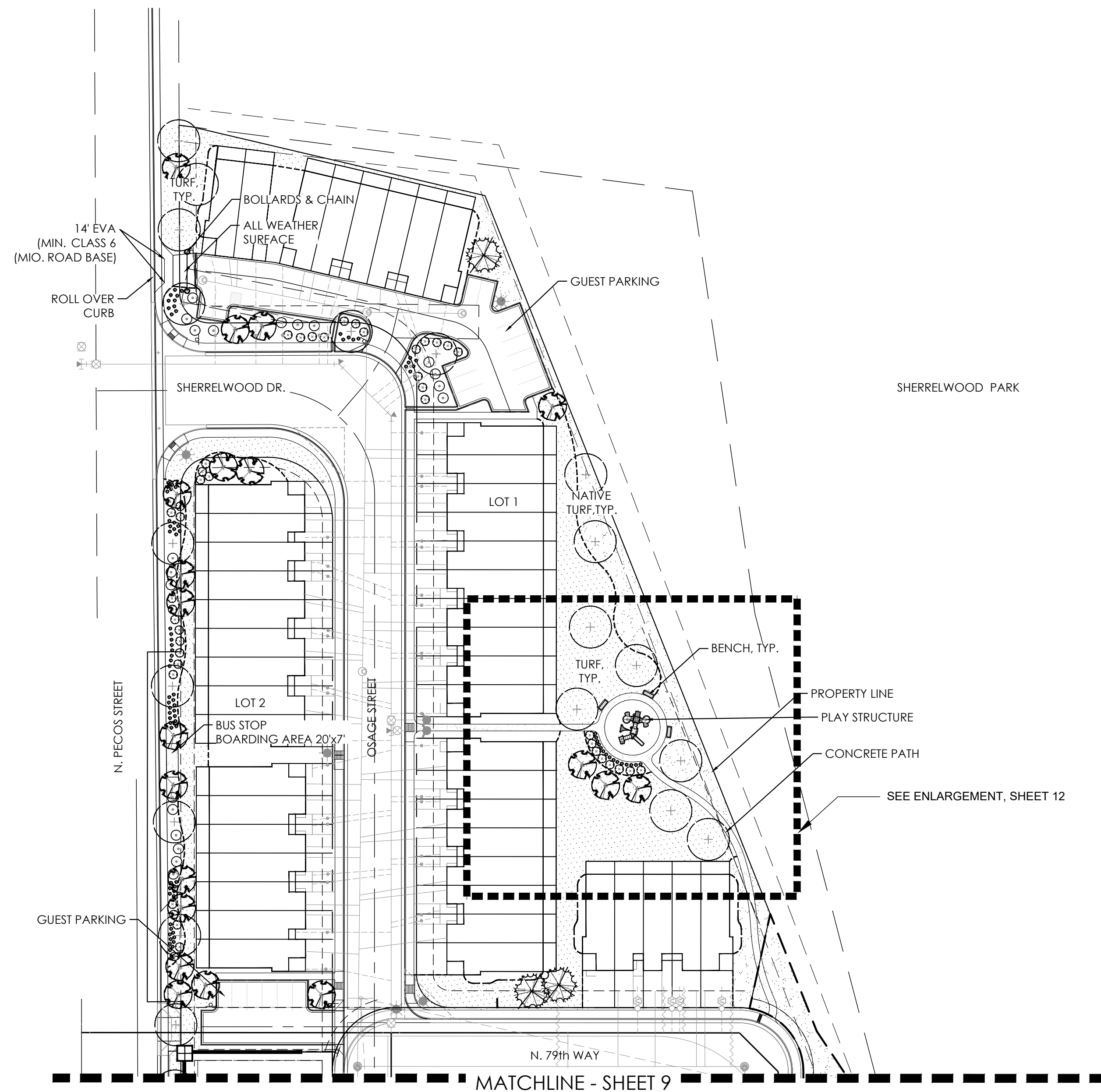
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN

Scale: 1" = 50'-0"

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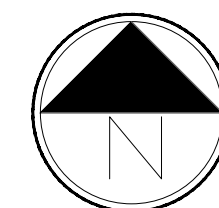
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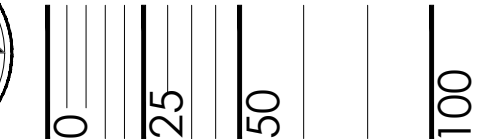


LEGEND

- DECIDUOUS TREE
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- NATIVE SEED
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- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN



Scale: 1" = 50'-0"



SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

10 OF 20



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 LANDSCAPE PLAN
 SHEET NUMBER
 11 OF 20

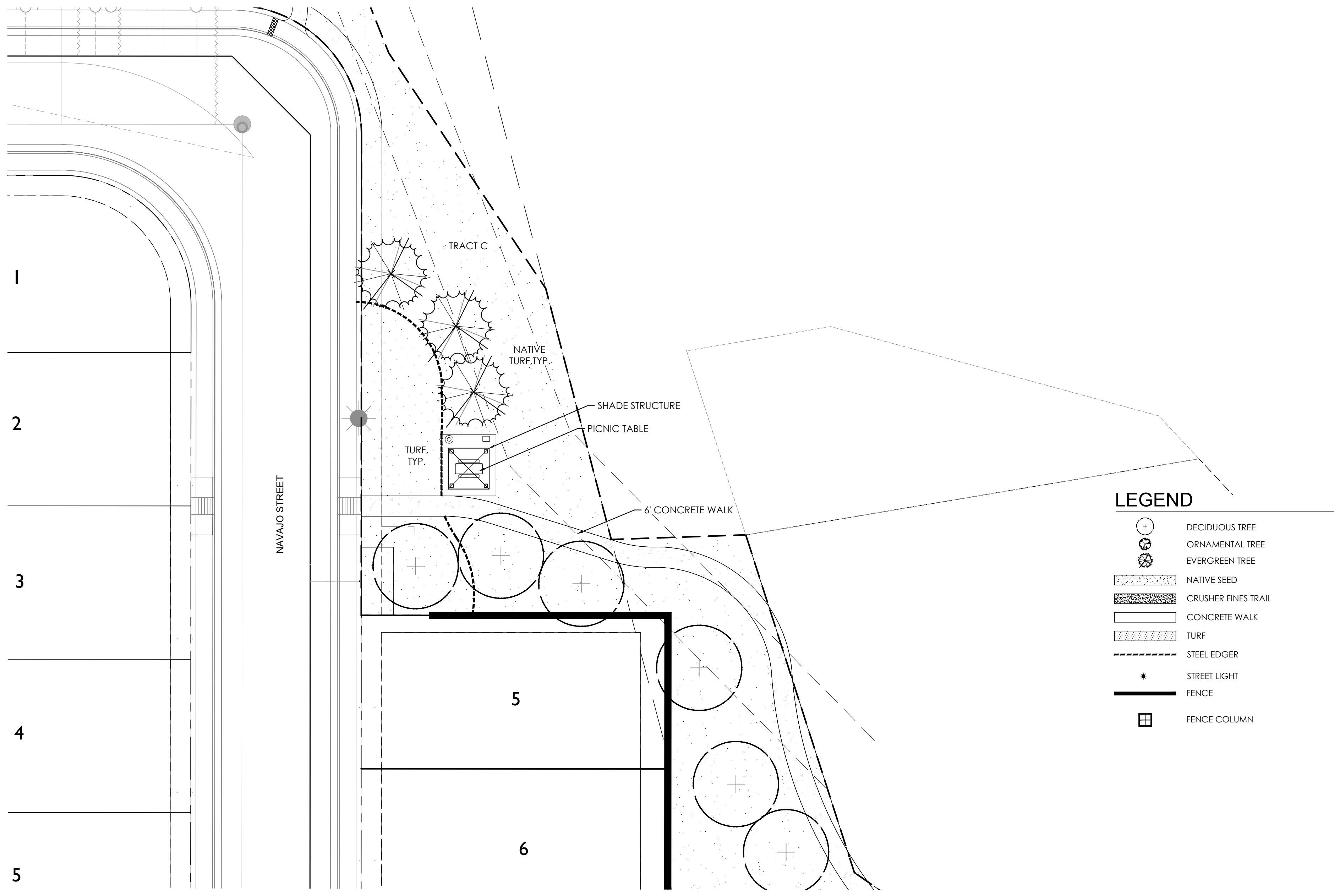
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 CONSTRUCTION



LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN

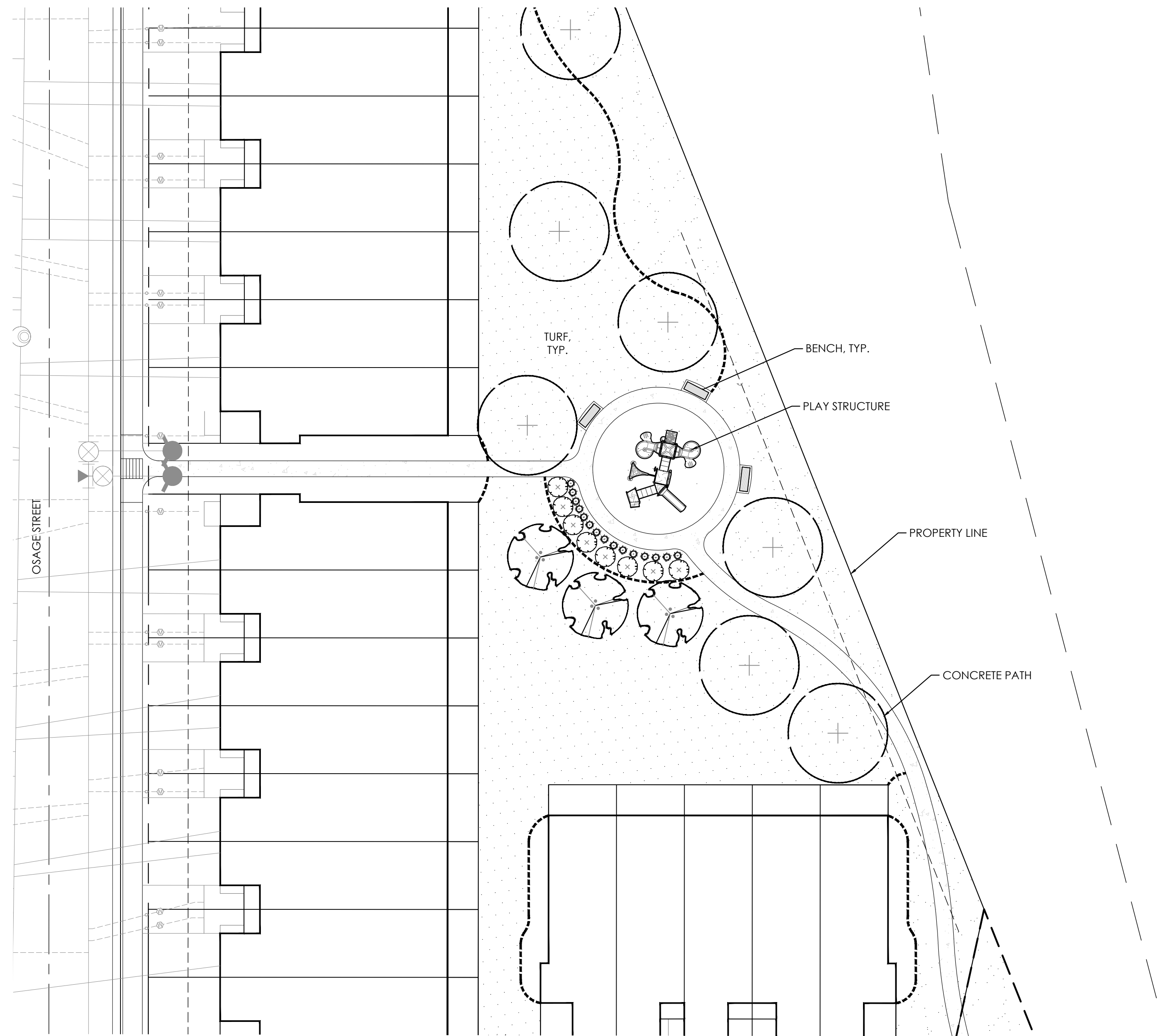
A SINGLE FAMILY ACTIVE OPEN SPACE DETAIL

Scale: 1" = 20'-0"

z:\delwest\master\rough\78th-pecos\cad\submit\rais\pdp amend submit\ra1 2\rough pdp 06-10 is plan current.dwg

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
 PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010



LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
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- NATIVE SEED
- CRUSHER FINES TRAIL
- CONCRETE WALK
- TURF
- STEEL EDGER
- STREET LIGHT
- FENCE
- FENCE COLUMN

SHEET TITLE

ENLARGED
TRACT XX
LANDSCAPE
PLAN

SHEET NUMBER

12 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

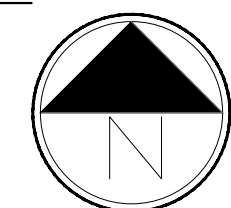
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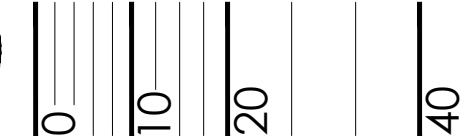
01-27-2021

NOT FOR
CONSTRUCTION

A TOWNHOME ACTIVE OPEN SPACE DETAIL



Scale: 1"= 20'-0"



SHERRELWOOD VILLAGE

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PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH

PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO

PROJECT NO: PRC2020-00010

SHEET TITLE

LANDSCAPE
DETAILS

SHEET NUMBER

13 OF 20

tterraccia
design
10200 E. Grand Ave., A-314
Denver, CO 80231
ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

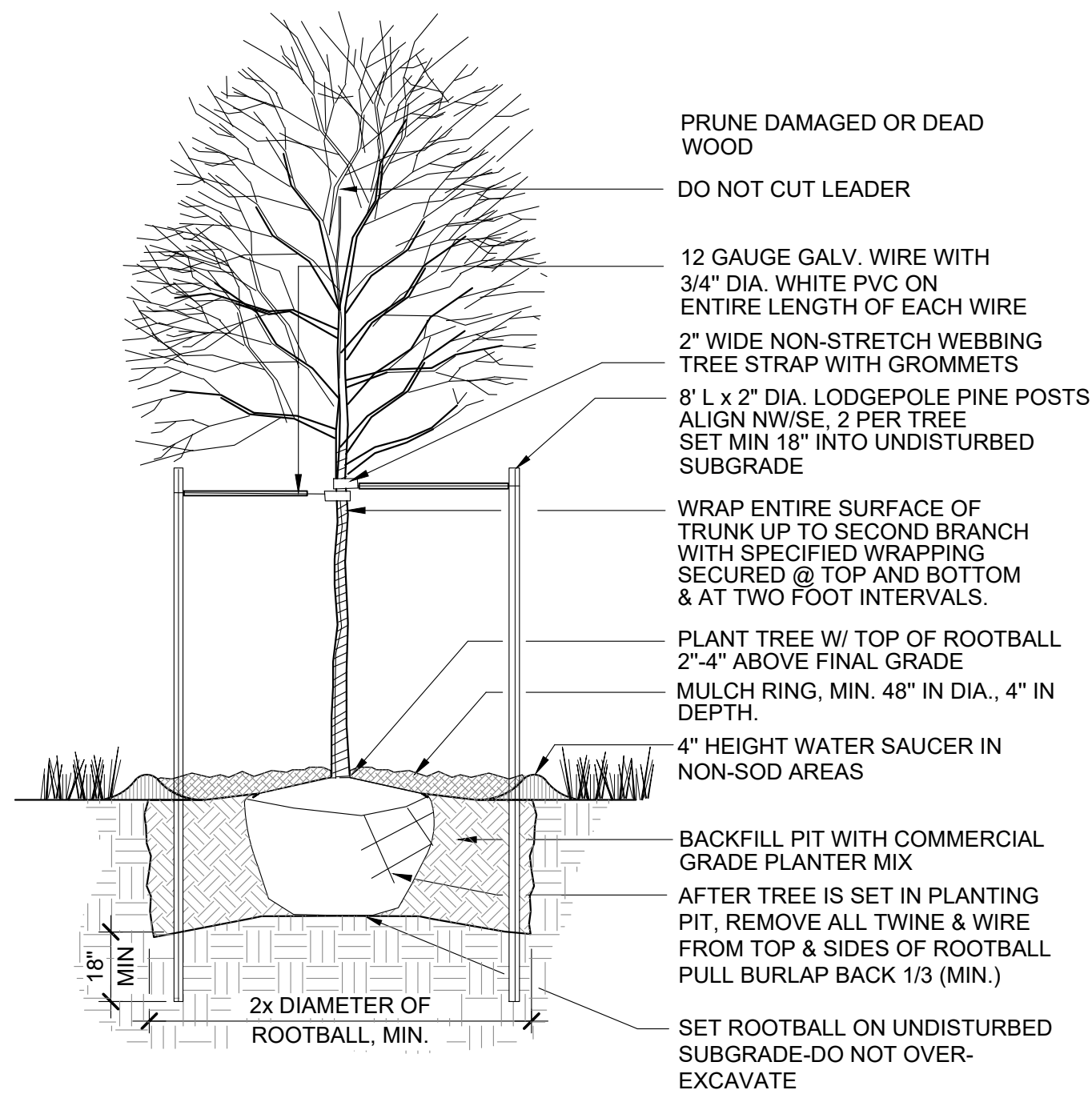
ISSUE DATE

10-16-2020

12-16-2020

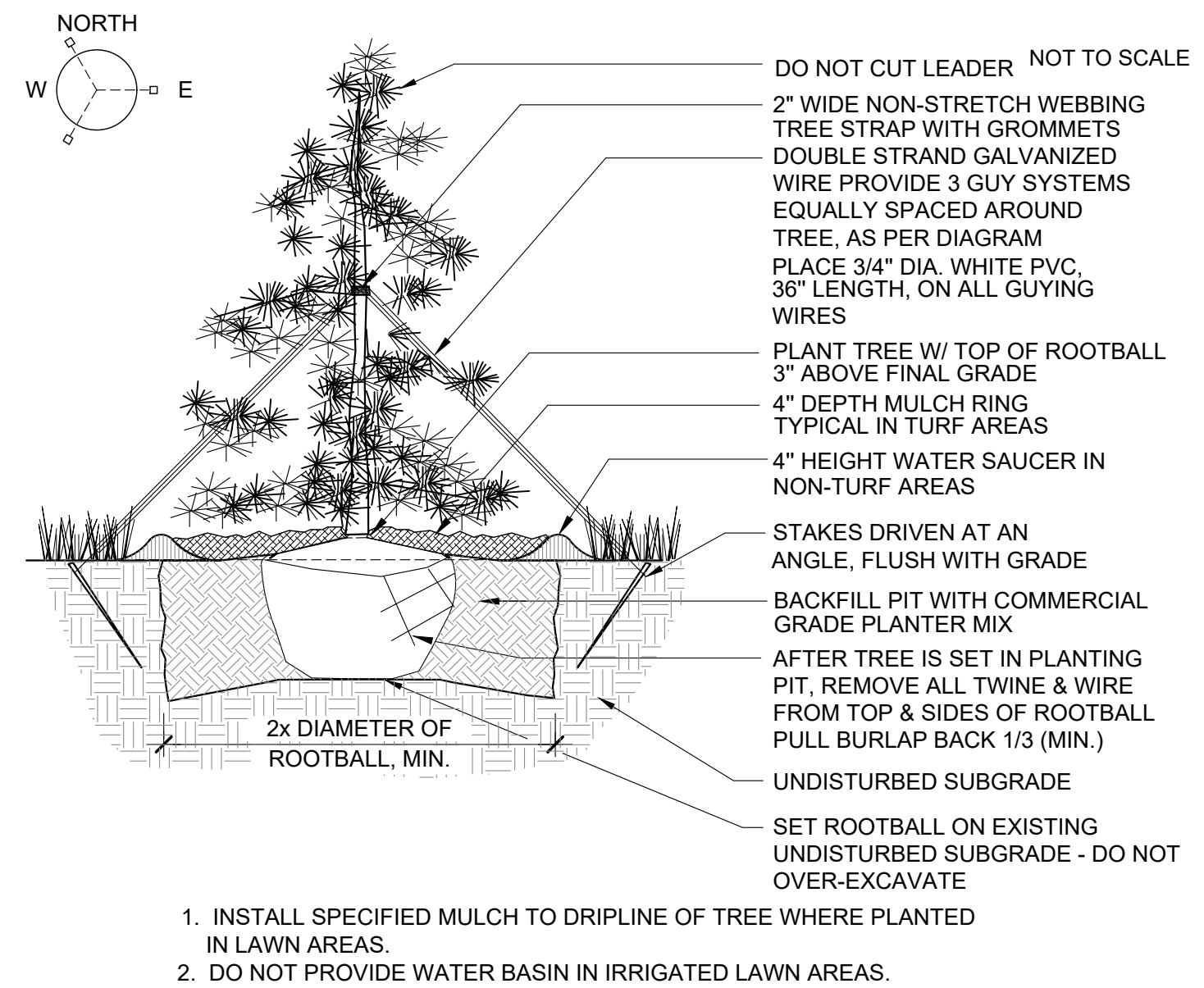
01-27-2021

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CONSTRUCTION



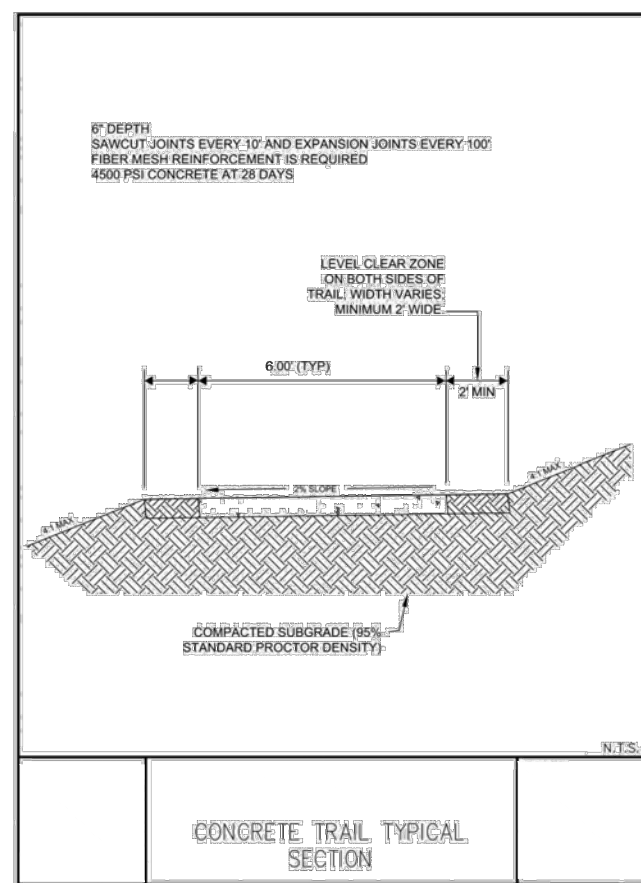
1 DECIDUOUS TREE PLANTING

NOT TO SCALE



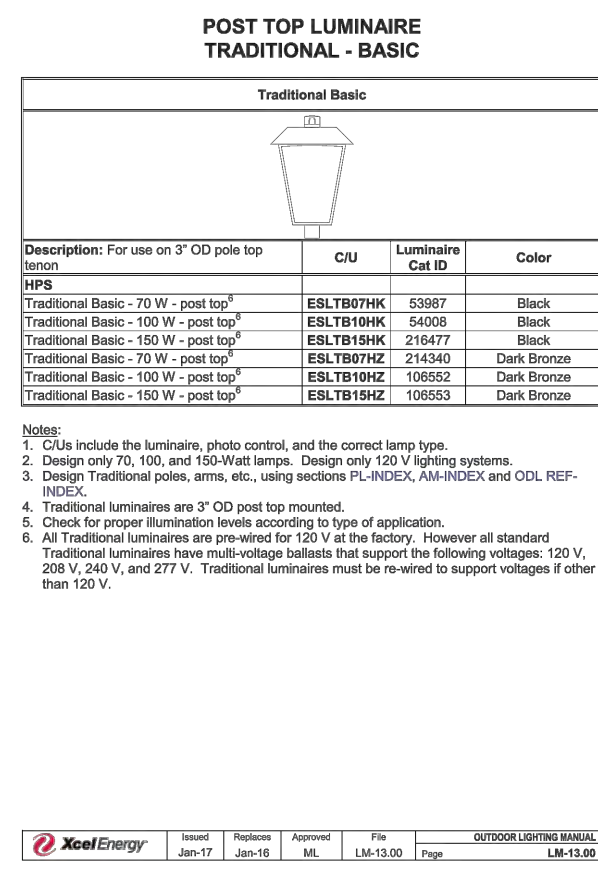
2 EVERGREEN TREE PLANTING

NOT TO SCALE



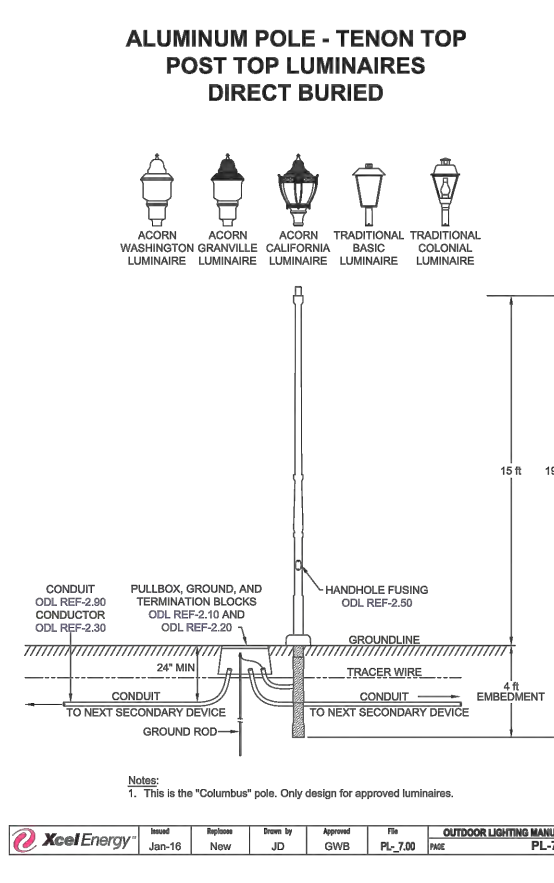
3 6' CONCRETE TRAIL

NOT TO SCALE



4 STREET LIGHTING DETAIL

NOT TO SCALE



5 6 HT. PRIVACY FENCE

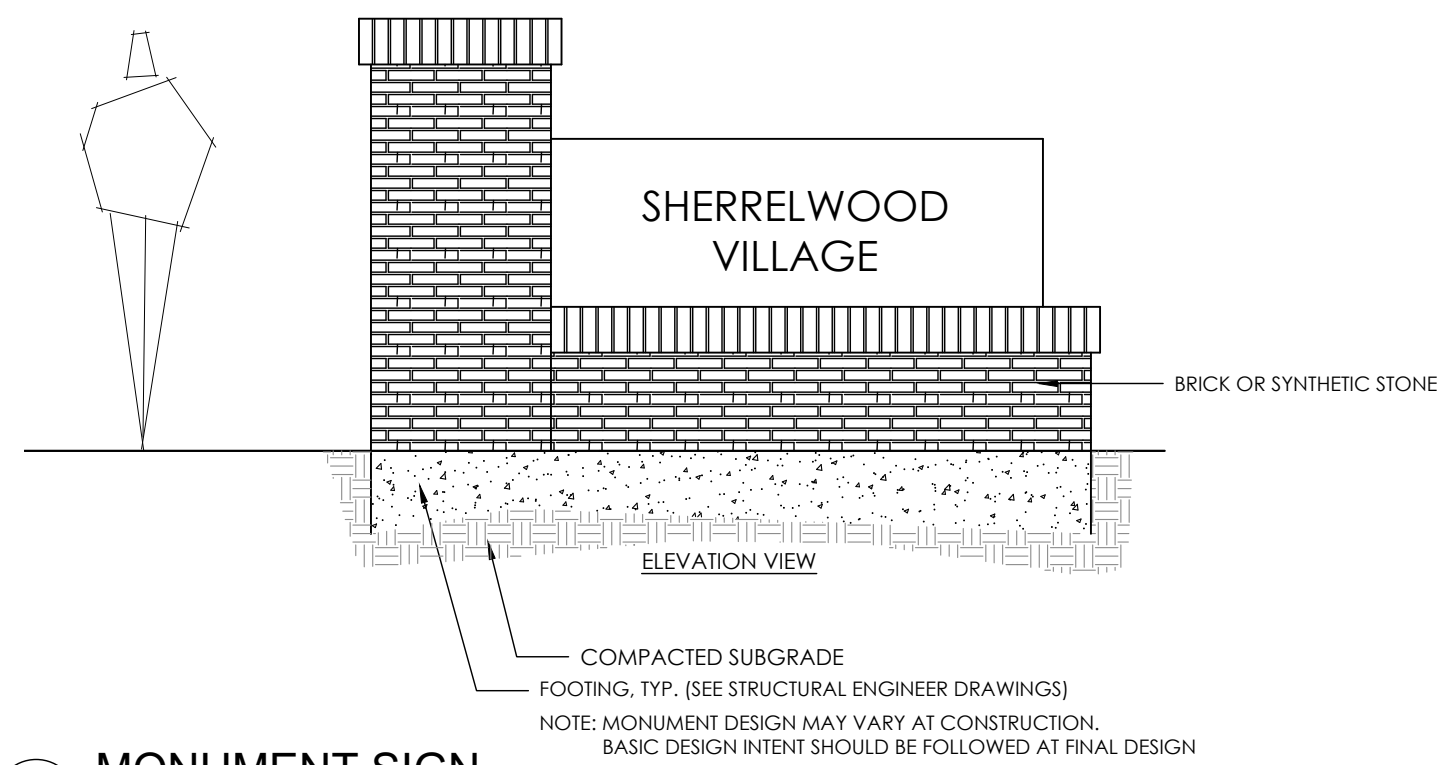
NOT TO SCALE

* ALL IMAGES ARE CONCEPTUAL. FINAL STRUCTURES TO BE DETERMINED

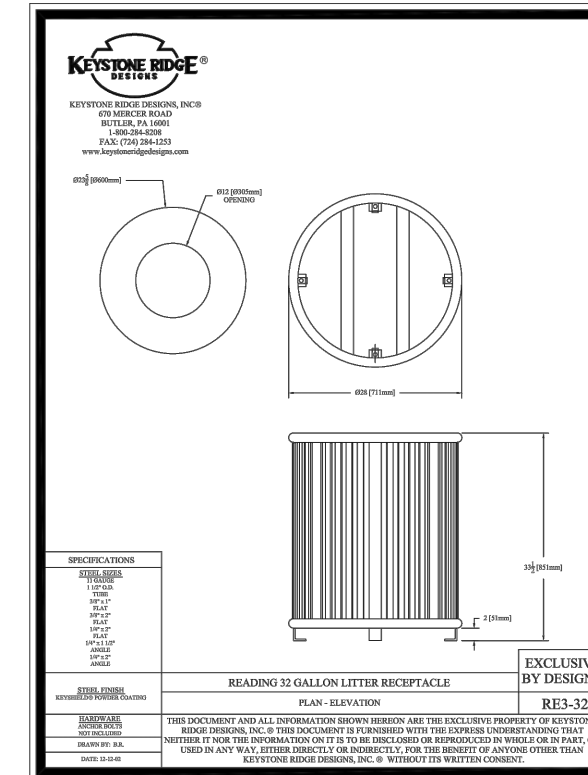
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SHERRELWOOD VILLAGE

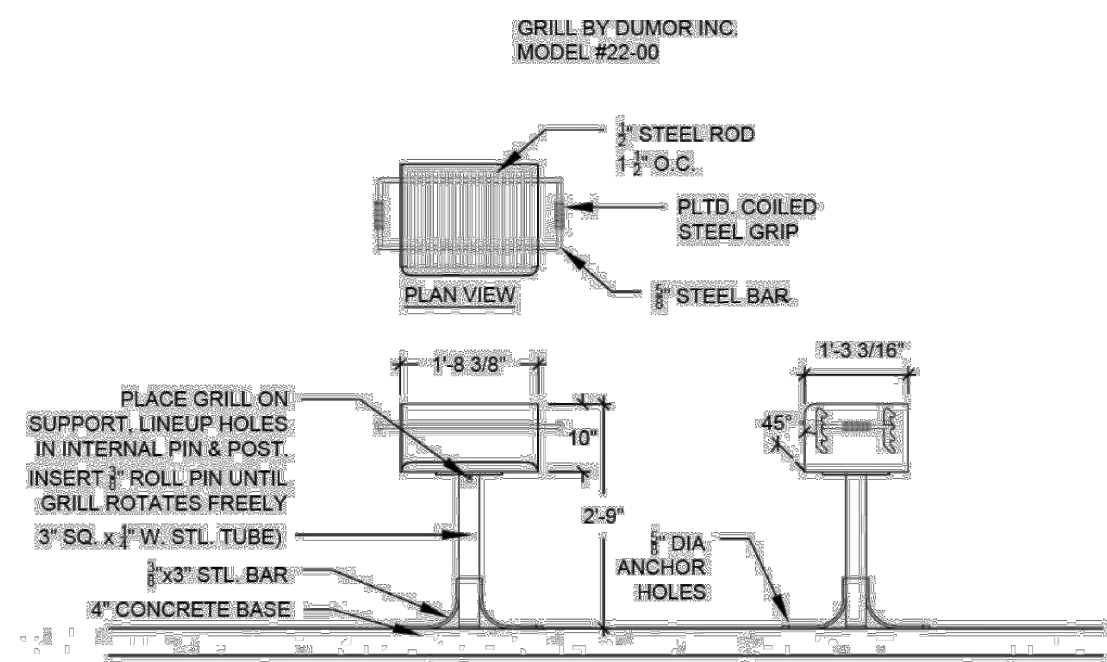
PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
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1 MONUMENT SIGN
 SCALE: 3/8" = 1'



2 TRASH CAN
 TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



3 BBQ
 TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



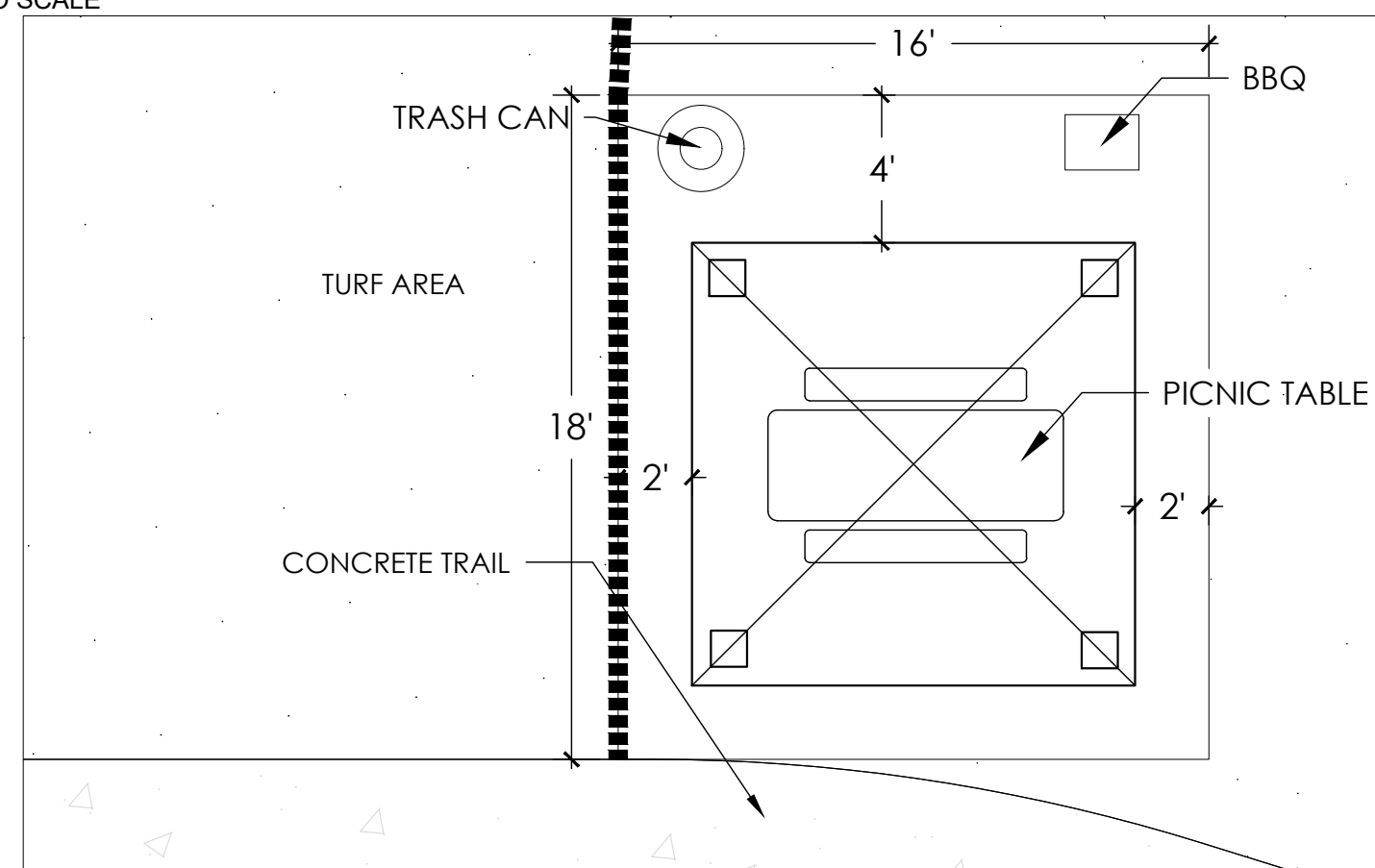
Icon Shelter System
 Model: SQ12M-P6
 Pole Color: Surrey Beige
 Roof Color: Evergreen
 Roof Type: 24 gauge pre cut metal

4 PICNIC SHELTER
 TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE

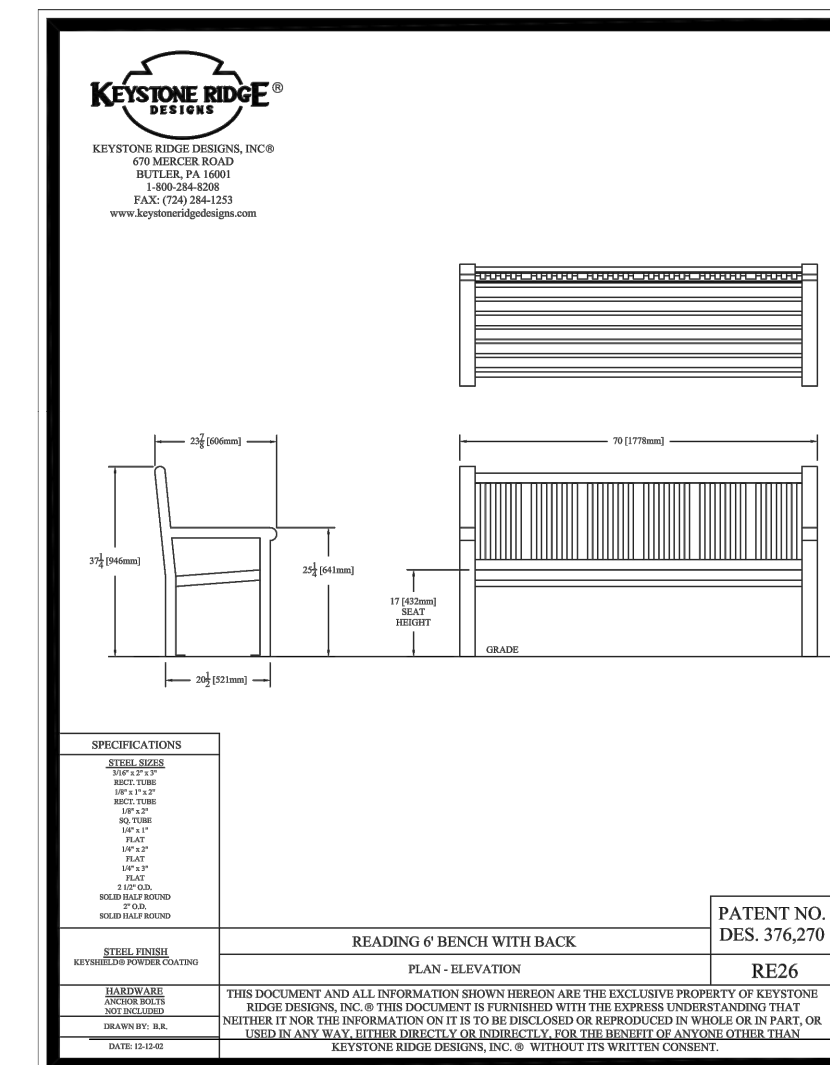


Wausau Table MF1059
 Contact: Wausau Made
 wtile@wausautile.com
 PH: (715) 359-3121
 FAX: (715) 355-4627

5 PICNIC TABLE
 TYPICAL, BUT SUBJECT TO CHANGE NOT TO SCALE



6 ACTIVE RECREATION DETAIL AT PICNIC SHELTER
 TYPICAL, BUT SUBJECT TO CHANGE SCALE: 1" = 5'



6 6' BENCH
 NOT TO SCALE

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SHEET TITLE

LANDSCAPE
 DETAILS

SHEET NUMBER

14 OF 20

terracina
 design
 10200 E. Grand Ave., A-314
 Denver, CO 80231
 ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

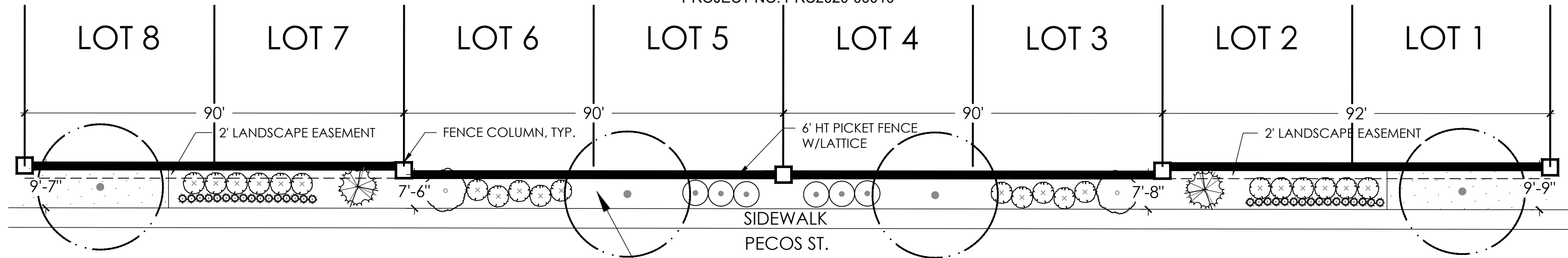
12-16-2020

01-27-2021

NOT FOR
 CONSTRUCTION

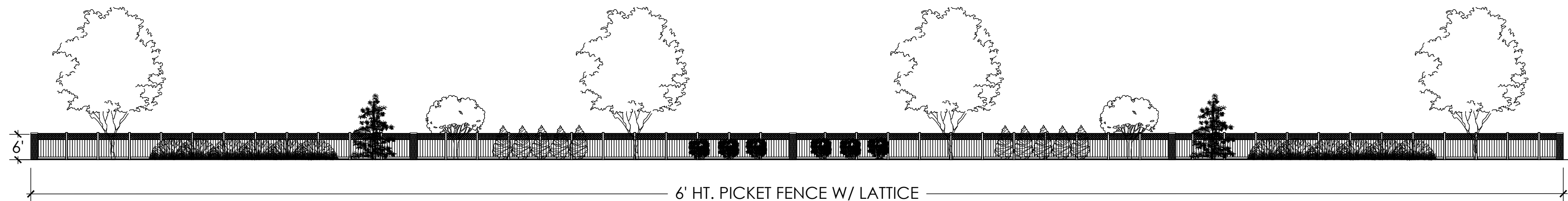
SHERRELWOOD VILLAGE

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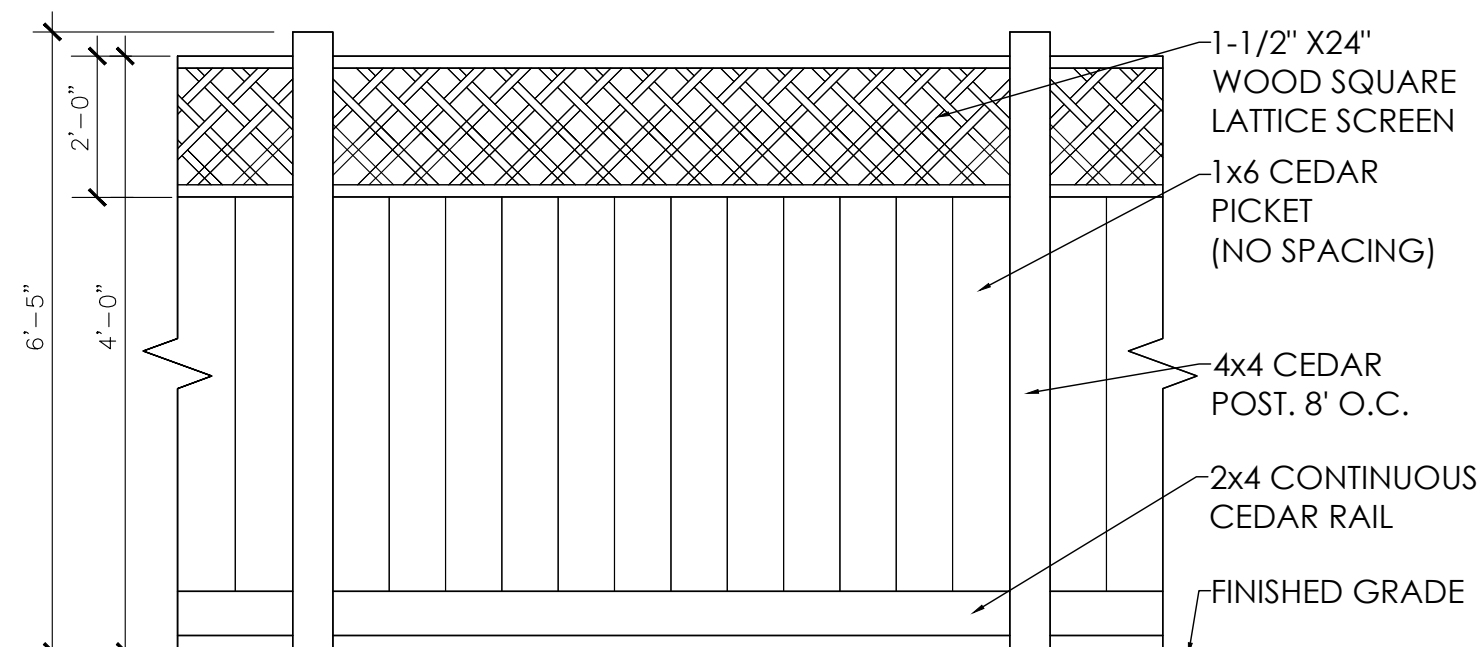
1 PLAN VIEW ALONG PECOS ST.

NOT TO SCALE



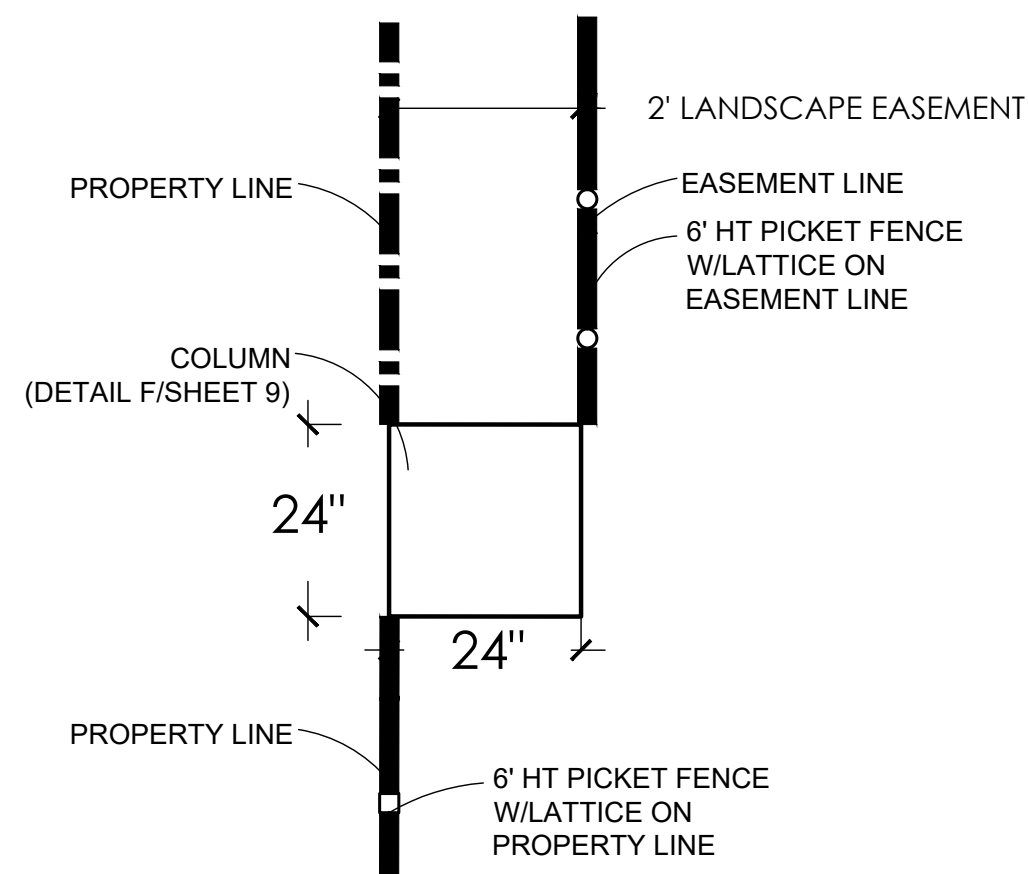
2 ELEVATION FACING PECOS ST.

NOT TO SCALE



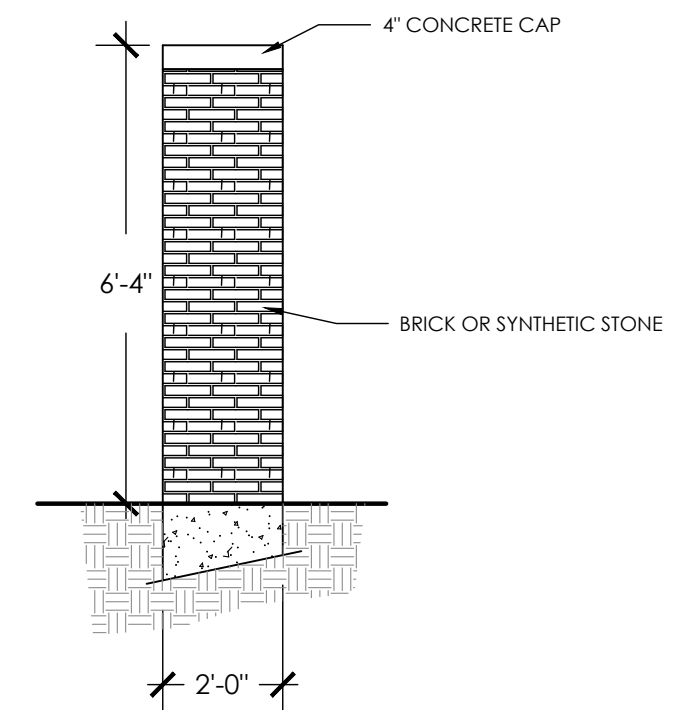
3 6' HT. PICKET FENCE W/LATTICE

NOT TO SCALE



4 6' HT. PICKET FENCE W/LATTICE CONNECTION - PLAN VIEW

NOT TO SCALE



5 FENCE COLUMN

TYPICAL, BUT SUBJECT TO CHANGE

NOT TO SCALE

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

15 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
PROJECT NO: PRC2020-00010

LANDSCAPE NOTES

- THE HOMEOWNERS OR THEIR SUCCESSORS AND ASSIGNS SHALL MAINTAIN ALL IRRIGATION AND LANDSCAPING WITHIN EACH RESPECTIVE LOT. SEE ALSO 'GENERAL NOTES' 'C' INCLUSIVE.
- FRONT AND SIDE SETBACKS: THE ENTIRE FRONT AND SIDE SETBACKS SHALL BE LANDSCAPED, EXCEPT FOR DRIVEWAYS.
- BACK YARD SETBACK: A MINIMUM OF THIRTY PERCENT (30%) OF THE BACK YARD SHALL BE LANDSCAPED IN SINGLE FAMILY LOTS
- REQUIRED GROUND COVER: A MINIMUM OF THIRTY PERCENT (30%) OF THE REQUIRED FRONT AND SIDE LANDSCAPE AREA MUST BE COVERED BY LIVING GROUND MATERIAL, SUCH AS LOW GROWING GROUND COVER, SHRUBS, OR GRASS, WITHIN ONE (1) YEAR FOLLOWING OCCUPANCY AND THEREAFTER.
- REQUIRED TREES AND SHRUBS: A MINIMUM OF ONE (1) LARGE TREE AND FIVE (5) SHRUBS, OR TWO (2) ORNAMENTAL TREES AND FIVE (5) SHRUBS, SHALL BE REQUIRED FOR EACH SINGLE FAMILY LOT. EVERGREENS SHALL BE CONSIDERED ORNAMENTAL.
- MINIMUM SIZE REQUIREMENTS: MINIMUM SIZE REQUIREMENTS FOR TREES AND SHRUBS SHALL BE:

PLANT TYPE	MATURE HEIGHT	MINIMUM PLANT SIZE AT PLANTING
ORNAMENTALS	LESS THAN 20'	1" TO 1-1/2"
LARGE DECIDUOUS	OVER 20'	2" TO 2-1/2"
EVERGREENS (SM.)	LESS THAN 20'	5' TALL
EVERGREENS (LG.)	OVER 20'	6' TALL
LOW SHRUBS	1' TO 3'	5 GALLON
UPRIGHT SHRUBS	3' TO 10'	5 GALLON

- CONTRACTOR TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO BEFORE DIGGING, INCLUDING BUT NOT LIMITED TO, TRENCHING AND SHRUB AND TREE PLANTING PITS. IF UTILITIES OCCUR AT LOCATIONS OF PROPOSED SHRUBS, OR WITHIN EIGHT (8) FEET OF PROPOSED TREES, THE CONTRACTOR SHALL REPORT SUCH CONDITIONS TO THE OWNER'S REPRESENTATIVE. DAMAGE TO EXISTING UTILITIES BY THE LANDSCAPE CONTRACTOR IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- ALL SHRUB BEDS TO BE CONTAINED WITH GREEN 4" DEPTH, 3/16" THICK PRO STEEL EDGING.
- INSTALL 3" DEPTH OF 3/4" CRUSHED GRANITE MULCH OVER SPUNBOND POLYESTER FABRIC IN ALL SHRUB BEDS.
- BLUEGRASS TURF AREAS, NATIVE GRASS AREAS AND SHRUB BEDS SHALL BE PREPARED WITH ASPEN RICH COMPOST OR AN APPROVED EQUAL AT A RATE OF 3 CUBIC YARDS PER 1,000 SQUARE FEET. THIS PREPARATION SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6" OF SOIL.
- TURF AND SHRUB BEDS SHALL BE IRRIGATED WITH AN UNDERGROUND AUTOMATED IRRIGATION SYSTEM AND SHALL PROVIDE HEAD TO HEAD COVERAGE. NATIVE SEED AREAS DO NOT REQUIRE PERMANENT IRRIGATION.

LANDSCAPE INSTALLATION & MAINTENANCE CHART

INSTALLATION AND MAINTENANCE		
AREA	INSTALLATION	MAINTENANCE
TOWNHOME LOTS 1-2	OWNER/DEVELOPER	HOA
TRACT A AND C	OWNER/DEVELOPER	HOA
LANDSCAPE ADJACENT TO:		
BLOCK 1: LOTS 1-21	BUILDER	HOMEOWNER
BLOCK 2: LOTS 1-8	BUILDER	HOMEOWNER
BLOCK 3: LOTS 1-16	BUILDER	HOMEOWNER
NORTH PECOS STREET	OWNER/DEVELOPER	HOA
LANDSCAPE EASEMENT ALONG PECOS ST	OWNER/DEVELOPER	HOA

PLANT LIST

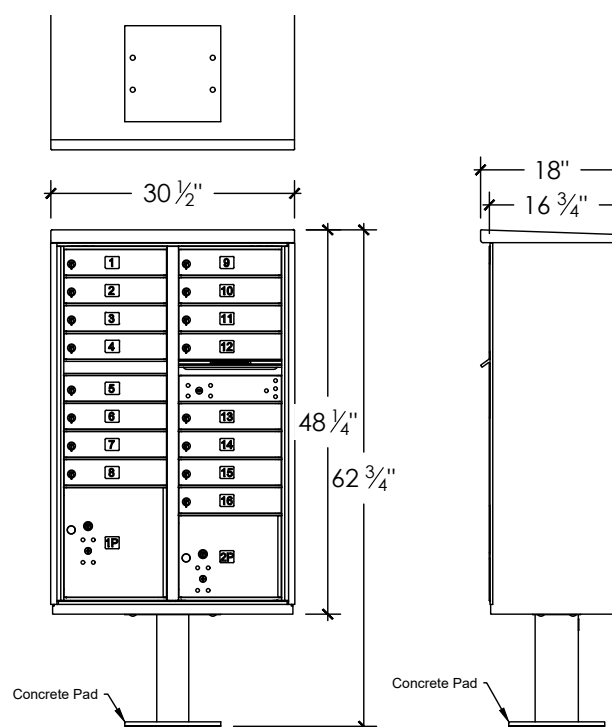
SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	QUALITY
DECIDUOUS SHADE TREES				
CS	WESTERN CATALPA	CATALPA SPECIOSA	2.5" CAL	B&B, SPECIMEN QUALITY
QR	ENGLISH OAK	QUERCUS ROBUR	2.5" CAL	B&B, SPECIMEN QUALITY
QM	BUR OAK	QUERCUS MACROCARPA	2.5" CAL	B&B, SPECIMEN QUALITY
PA	LANCELEAF COTTONWOOD	POPULUS X ACUMINATA	2.5" CAL	B&B, SPECIMEN QUALITY
DECIDUOUS ORNAMENTAL TREES				
AGA	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL	B&B, SPECIMEN QUALITY
MSS	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	2" CAL	B&B, SPECIMEN QUALITY
EVERGREEN TREES				
PN	AUSTRIAN PINE	PINUS NIGRA	8' HT	B&B, SPECIMEN QUALITY
PE	PINON PINE	PINUS EDULIS	8' HT	B&B, SPECIMEN QUALITY
EVERGREEN SHRUBS				
JSM	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	5 GAL	CONT.
PAR	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL	CONT.
PCP	PURPLE-LEAF SAND CHERRY	PRUNUS X CISTENA	5 GAL	CONT.
SJM	SPIREA, MAGIC CARPET	SPIREA JAPONICA, MAGIC CARPET	5 GAL	CONT.
PAH	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	5 GAL	CONT.
PVS	SWITCHGRASS, SHENANDOAH	PANNICUM VIRGATUM, SHENANDOAH	5 GAL	CONT.

* ALL IMAGES ARE CONCEPTUAL. FINAL STRUCTURES TO BE DETERMINED



1 PLAY STRUCTURE

IMAGES FOR REFERENCE ONLY



NOTES:
1) MODEL # 3300 SERIES "F" CBU OR APPROVED EQUAL
2) COLOR TO BE SANDSTONE
3) (16) MAILBOXES, (1) OUTGOING, (2) PARCEL LOCKERS
4) MANUFACTURER: SALSBUURY INDUSTRIES
1010 E. 62ND STREET
LOS ANGELES, CA 90001
P: (800) 624-5269
ENGINEERING@MAILBOXES.COM

2 MAIL KIOSK

NOT TO SCALE

TOWNHOME LANDSCAPE REQUIREMENTS

TOWNHOME LANDSCAPING AREA						
AREA (SF)	TREES REQUIRED (1/1500SF)	TREES PROVIDED	SHRUBS REQUIRED (2/1500 SF)	SHRUBS PROVIDED		
44,926	30	31	60	64		
REQUIRED LOT LANDSCAPING						
AREA	LOT AREA	REQUIRED LANDSCAPING (10% OF LOT AREA)	TOTAL LANDSCAPE AREA PROVIDED	ROW REQUIRED LANDSCAPING (50% OF REQUIRED LANDSCAPE)	ROW LANDSCAPE AREA PROVIDED	
TOWNHOMES	111,000	11,100	44,926	5,550	8,100	
STREE FRONTAGE LANDSCAPING						
AREA	LENGTH (LF)	DEPTH OF LANDSCAPE (LF)	TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
TOWNHOME LOTS (OPTION 3)	408	17	20	20	51	54

- NOTES:
1. OPTION 3 REQUIRES 2 TREES AND 5 SHRUBS EVERY 40 LF
2. SHRUB EQUIVALENT: (1) 5 GAL SHRUB = (3) 1 GAL GRASSES

SHEET TITLE

LANDSCAPE DETAILS

SHEET NUMBER

16 OF 20

tterraccia
design
10200 E. Girard Ave., A-314
Denver, CO 80231
ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

01-27-2021

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SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
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 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

SHEET TITLE

SAMPLE HOUSE EXHIBIT

SHEET NUMBER

17 OF 20



PROJECT NAME

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 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
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ISSUE DATE

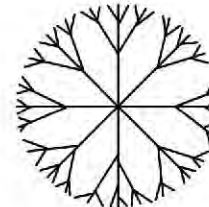
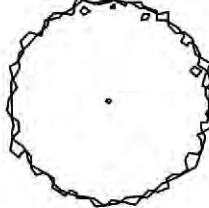


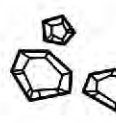
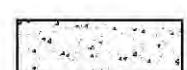
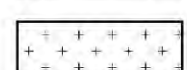


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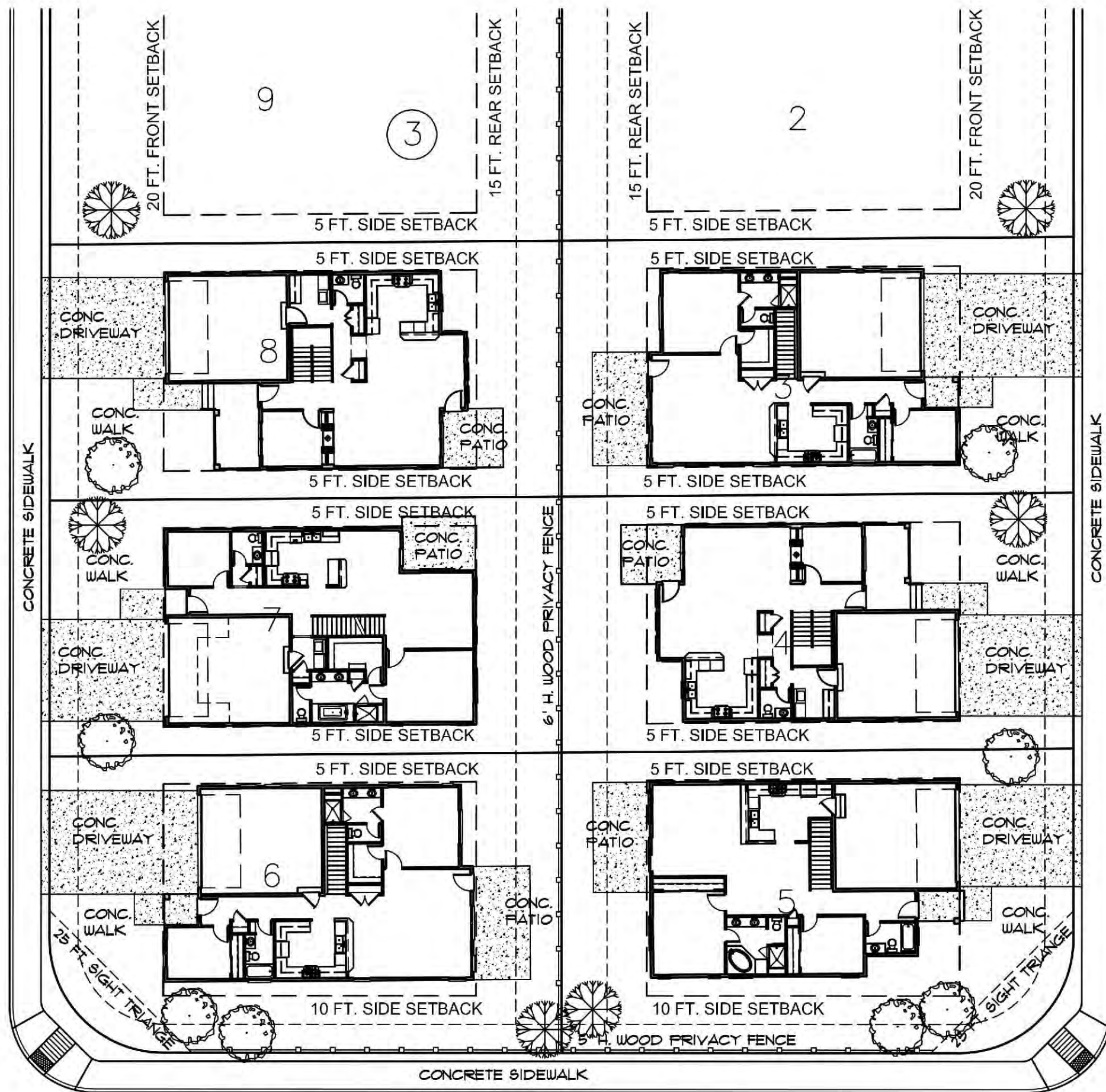
12-16-2020

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LANDSCAPE LEGEND:

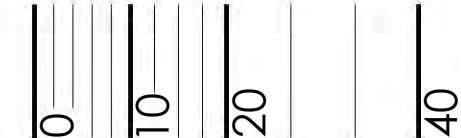
-  EVERGREEN TREE
-  DECIDUOUS TREE
-  EVERGREEN SHRUB
-  DECIDUOUS SHRUB
-  DECORATIVE BOULDERS
-  CONCRETE PAVING
-  SOD
-  BARK MULCH
-  RIP-RAP (ROCK)



1 SAMPLE HOUSE LAYOUT

DISCLAIMER:
 ACTUAL HOUSE PLANS AND ELEVATIONS MAY VARY FROM THOSE REPRESENTED ON THIS DRAWING.

Scale: 1"= 20'-0"






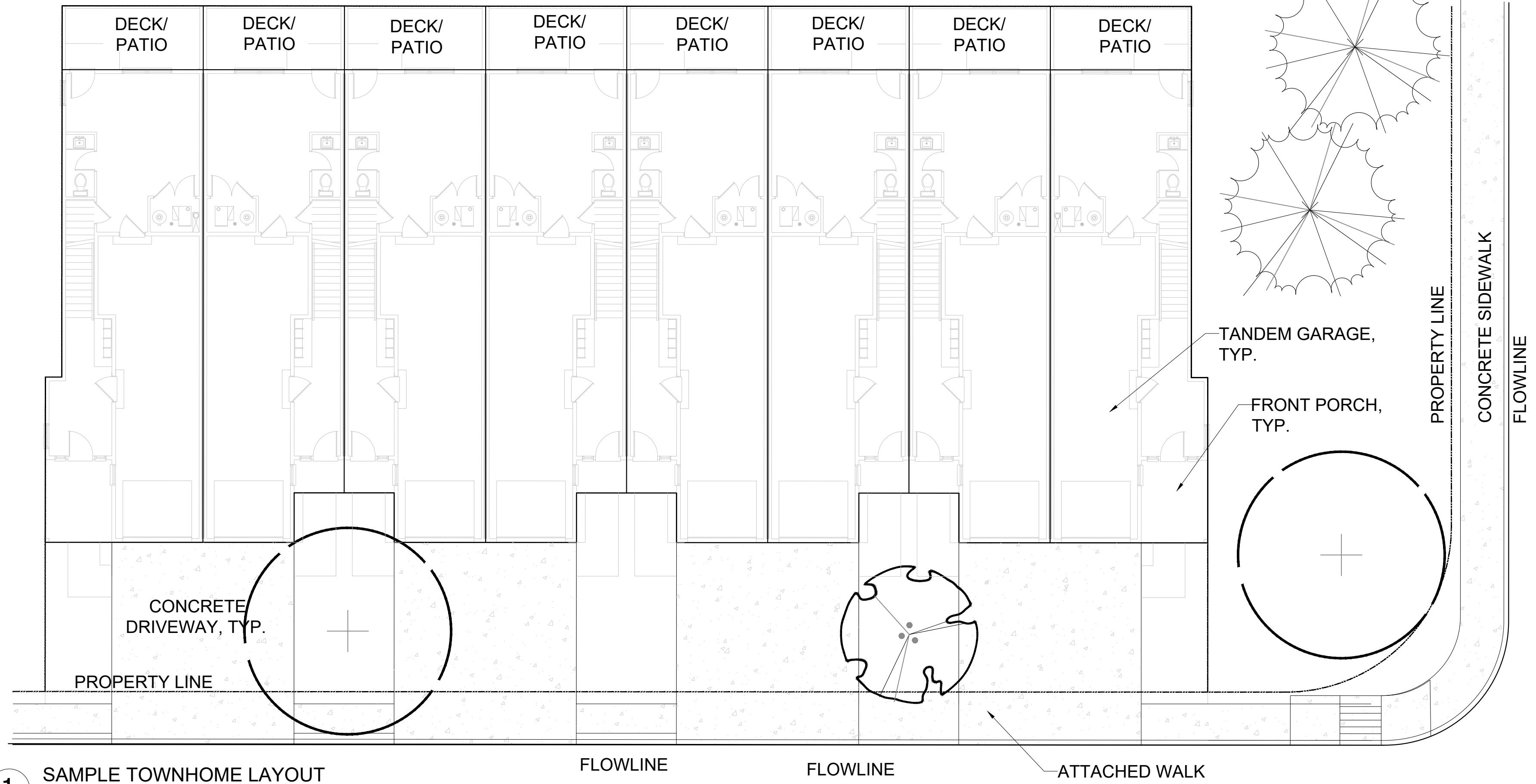
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SHERRELWOOD VILLAGE

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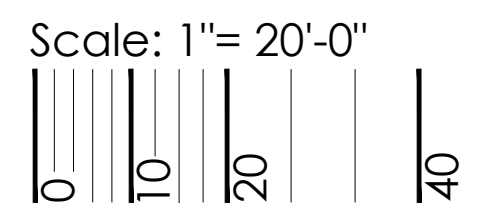
LANDSCAPE LEGEND

-  DECIDUOUS TREE
-  ORNAMENTAL TREE
-  EVERGREEN TREE



1 SAMPLE TOWNHOME LAYOUT

*ACTUAL PLANS MAY VARY & WILL COMPLY WITH THE STANDARDS HEREON



SHEET TITLE	SHERRELWOOD VILLAGE
SAMPLE HOUSE EXHIBIT	
SHEET NUMBER	18 OF 20
PROJECT NAME	SHERRELWOOD VILLAGE PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1 ADAMS COUNTY, COLORADO
ISSUE DATE	10-16-2020 12-16-2020 01-27-2021
NOT FOR CONSTRUCTION	

t terracina design
 10200 E. Girard Ave., A-314
 Denver, CO 80231
 ph: 303.632.8867

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SHERRELWOOD VILLAGE

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SINGLE FAMILY ARCHITECTURAL STANDARDS

- 1.1 Facades
- A minimum of thirty percent (30%) of the homes in Roush Village (14 homes) shall have an area equivalent to at least 20 percent of the first floor front façade elevation (excluding window and door areas and related trim areas) clad in brick, stone, stucco, or other approved masonry materials.
 - All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, stucco, rust resistant architectural metals or a combination of the above.
 - Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallops, fish-scale, lap siding, board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
 - Each elevation shall have a minimum window area of 20 square feet. Garage, basement or entry door windows shall not be used to satisfy the window requirement. There shall be no windowless elevations.
- 1.2 Roofs
- The homes shall have a minimum pitch on the predominant roof planes of at least 4:12 (excluding dormers, porch roofs, and other extensions).
 - Acceptable roofing materials includes architectural grade composition roofing.
 - All rooftop equipment, including without limitation HVAC units, swamp coolers and antennas, shall not be placed on the street facing portion of the roof. This standard does not apply to those items listed below.
 - Piping, venting, flashing, solar panel frames, and other rooftop equipment exposed to view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.
- 1.3 Windows and Doors
- Each window that is not located in a portion of the wall clad in masonry shall have either:
 - A minimum four-inch nominal wide wood trim border.
 - Shutters a minimum of 12-inches wide.
 - Window frames other than wood shall be either anodized, electrostatically-painted, vinyl clad or vinyl. Unpainted aluminum window frames are prohibited except for basement windows. Wood frames shall be painted, sealed or stained.
 - Each door that is not located in a portion of the wall clad in masonry shall have a minimum four-inch nominal wide wood trim border.



1 MODEL 1 ELEVATION A
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



2 MODEL 1 ELEVATION B
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SINGLE FAMILY (MODEL 1)

- 1,480 S.F.
- 3 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS (TANDEM)



3 MODEL 2 ELEVATION A
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



4 MODEL 2 ELEVATION B
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SINGLE FAMILY (MODEL 2)

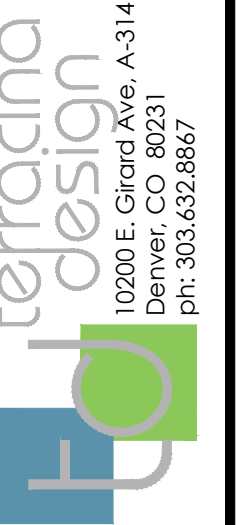
- 1,950 S.F.
- 4 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS

SHEET TITLE

SINGLE FAMILY ARCHITECTURAL STANDARDS

SHEET NUMBER

19 OF 20



PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN- AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE

10-16-2020

12-16-2020

01-27-2021

NOT FOR CONSTRUCTION

SHERRELWOOD VILLAGE

PLANNED UNIT DEVELOPMENT - PRELIMINARY DEVELOPMENT PLAN - AMENDMENT 1
 PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH
 PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO
 PROJECT NO: PRC2020-00010

TOWNHOME ARCHITECTURAL STANDARDS

- 1.1 Facades
- Each unit shall have 75 percent of the first floor front façade elevation (excluding window and door areas and related trim areas) clad in brick, stone, stucco, or other approved masonry materials.
 - All facades shall have durable siding materials which may include vinyl, cement fiber, engineered wood composite, stucco, rust resistant architectural metals or a combination of the above.
 - Material diversity is required. A minimum of two different materials shall be incorporated in each elevation. Variations of the same material (scallops, fish-scale, lap siding, board and batten) of the same or different color will be considered different materials. The coverage of the second material does not need to be evenly distributed.
 - Each unit elevation shall have a minimum window area of 100 square feet. Garage, basement or entry door windows shall not be used to satisfy the window requirement. There shall be no windowless elevations.
- 1.2 Roofs
- Each unit shall have a minimum pitch on the predominant roof planes of at least 1:7 (excluding dormers, porch roofs, and other extensions).
 - Acceptable roofing materials includes architectural grade composition roofing.
 - All rooftop equipment, including without limitation HVAC units, swamp coolers and antennas, shall not be placed on the street facing portion of the roof. This standard does not apply to those items listed below.
 - Piping, venting, flashing, solar panel frames, and other rooftop equipment exposed to view shall be finished to match the roof surface color or otherwise designed to blend with the roof surface.
- 1.3 Windows and Doors
- Each window that is not located in a portion of the wall clad in masonry shall have:
 - A minimum two-inch nominal wide wood trim border.
 - Window frames other than wood shall be either anodized, electrostatically-painted, vinyl clad or vinyl. Unpainted aluminum window frames are prohibited. Wood frames shall be painted, sealed or stained.
 - Each door that is not located in a portion of the wall clad in masonry shall have a minimum two-inch nominal wide border.



TYPICAL TOWNHOME UNIT

- 1,700-2,300 S.F.
- 3 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS

1 TYPICAL FRONT ELEVATION
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



2 TYPICAL SIDE ELEVATION
 ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

SHEET TITLE
 TOWNHOME ARCHITECTURAL STANDARDS

SHEET NUMBER
 20 OF 20

terracing design
 10200 E. Girard Ave., A-314
 Denver, CO 80231
 ph: 303.632.8867

PROJECT NAME

SHERRELWOOD VILLAGE
 PRELIMINARY DEVELOPMENT PLAN-AMENDMENT 1
 ADAMS COUNTY, COLORADO

ISSUE DATE
 10-16-2020
 12-16-2020
 01-27-2021

NOT FOR CONSTRUCTION

p:\delwest master folder\yoush 78th-pecos\cad\submittals\pdp amend submittal 2\yoush pdp 11 architecture.dwg

Supplemental Materials - Delwest Resident Letters

Happy Delwest Property Owners

Below is a collection of emails we have received from past or present homeowners in Delwest communities. This is just a small sampling of the positive experiences residents have had with us:

Homeowner #1

Hello. My name is Juan Carlos Gutierrez and I live on 7939 Tejon St, Denver CO 80221. I purchased my home two years ago and my experience with DelWest was phenomenal. The materials used in the construction are top quality and until today, I had no problems. I live in a beautiful and safe community surrounded by very friendly neighbors. I hope they keep modernizing the area with new developments that help our local economy.

Homeowner #2

Hello – My name is Sandy Padegimas. My Delwest home, 7905 Tejon Street, was purchased in early 2018. Because this was the third time purchasing a new build, I already had expectations--lots of cooperation and responsiveness from the builder before closing but not so much after move-in and, all too often, shoddy finish work. Happily, my experience with Delwest was the exact opposite. Rather than feeling like just one of many buyers, Delwest made me feel unique, worthy of their time. Both before and after closing, not only did Delwest representatives respond quickly to any question I might have but they also contacted me with questions concerning my preferences or just to check in how my new home was working for me after I moved in. Any issue that arose was handled immediately. As for the finish work, it was excellent!

Everyone (not just friends and family), who visit my home, comments about the style, quality, and livability of my model. Lastly, since moving in, there have been no issues that might suggest less than excellent construction.

Homeowner #3

Hello, My name is Veronica and I am a resident at 7933 Osage St at Elmwood Estates, I am very happy to say the team has been very supportive and helpful with us during our process, we are proud to say we are part of this community! We are happy the community is growing, and we love the neighborhood. It will definitely help with the economy and families.

Homeowner #4

We are original homeowners in Clear Lake Estates which was built by Delwest. We have had such a great experience through the showing, purchasing and post purchase of our home. Frank Gonzales was always a text or phone call away with a quick response. We achieved a super ideal Denver Metro location for an excellent price. The upgrades that were included

Supplemental Materials - Delwest Resident Letters

made the purchase on a new build a no brainer. We have watched the Elmwood homes across Pecos built and have again been in awe with how quickly Delwest gets work done and houses populated. That is a very important aspect now a days to continue to amplify an area.

We totally endorse any further builds in the immediate area by Delwest. It continues to bring value to the community and surrounding houses. Delwest is a reputable and honest builder that offers excellent customer service, outstanding prices and cutting-edge layouts.

Thank you!
Jessica & Ryan Benallo
7891 Tejon Street

Homeowner #5

Hello, My name is Aaron Jamili and recently purchased a house in the Elmwood Estates community in Adams County. My experience from day one with Delwest has been fantastic. This is our first home, and we were looking for a new build. When we arrived to take a tour, we were greeted warmly by TK Lightfoot, and were shown 2 model homes. I honestly felt that he had my best interest in mind and was always available for questions throughout the purchasing process. Since this was my first time ever living in a house, let alone owning one, I had several questions around maintenance and upkeep, and have always felt that I had someone that has gone above and beyond in every way.

All this to say I think that using the land just north of the community would be suited best for the development of new homes for several reasons.

1. I truly believe Delwest has the best interests of the community in mind.
2. It would create more opportunity for 30-somethings like me to be able to purchase a home at an affordable price.
3. It would pour more money into the local community.
4. It would increase values of surrounding homes, allowing homeowners to have more equity in their investment.

I know I am not alone in these sentiments in this community.

Thank you for your time,

-Aaron Jamili

Supplemental Materials - Delwest Resident Letters

Homeowner #6

Hello, My name is Connor Phillips. My wife Aly Phillips and I live at 7911 Navajo Street in Elmwood Estates. As first-time homebuyers, our experience with Delwest has been exceptional. This neighborhood is revitalizing the Sherrelwood Community and we believe by extending the zoning the surrounding area will further benefit from new additions by Delwest.

Best Regards,
Connor & Aly Phillips

Homeowner #7

Near the end of 2018 I bought a Delwest home in Sherrelwood, CO. The development is called Clear Lake Estates. The development consists of 56 homes built from 4 different models. At first glance the homes seemed to have everything necessary to start off a move in and then a start living . They actually did have everything except window coverings. Landscaping was done, fencing was done. Everything on the inside was done; refrigerator, stove, dishwasher etc. All I had to add was a washer and drier.

Shortly after move in, one of the superintendents called and made an appointment for a walk through. When he came to the house I couldn't find anything wrong, even though I had done several construction projects of my own. The superintendent found several things that he was not pleased with and immediately made arrangements to have them corrected. The corrections were made and I was very pleased. Again, after living in the house for 11 months I received a phone call to schedule another walk thru to make sure that the home was still up to the Delwest Standards of Excellence. Once again the superintendent came over and together we examined the entire home and found one very small item that the superintendent was not happy with and that was corrected within a very short time.

I have enjoyed living in this small community and am very glad that I purchased this home. To this day Delwest seems to have a way to assist the homeowners with any problems that occur. Throughout my lifetime I have purchased 6 new homes, renovated several and built one by myself. I have never had such a caring builder and helpful persons working for a goal of excellence as the Delwest company.

By building Clear Lake Estates in Sherrelwood there has been a new revival with all of the surrounding neighbors. The upgrade has improved the lifestyles of the other residents and made this area very attractive to all buyers and has greatly increased the value of the neighborhood. Because of Delwest the entire area has gained a new revival. Whoever buys a home from Delwest will be pleased and very happy that they bought from them.

Will Ensign
7888 Tejon St.
Denver, CO 80221

Supplemental Materials - Delwest Resident Letters

Homeowner #8

As residents of Elmwood Estates, we believe that it would be in the cities best interest to tear down the Children's Center located on 80th and Pecos. This building serves no purpose to the neighborhoods around it except constantly filling with trash. It is a sore sight for eyes since it is all boarded up and has graffiti all over it. After doing much research on the building in the past, it did seem as though it was a safe place for children to go. The original owners should be very proud of the success that the building had while it was opened. We would be more understanding of keeping the building around, but since the original owners do not own it anymore, this building clearly does not have sentimental meaning to them nor does the neighborhood. The upcoming area that Elmwood Estates and the surrounding neighborhoods would benefit immensely and provide a safer environment for future and current children with the building knocked down. We look forward to welcoming our new neighbors in the townhomes that should be built. Del West has worked very hard to clean up the area and provide beautiful homes for their current residents. We know that they will do a great job in helping Adam's County achieve an upcoming and safe neighborhood that can continue to grow.

Sincerely,

The Residents of Elmwood Estates



ADAMS COUNTY FIRE RESCUE

FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
(303) 539-6862 / email: :fireprevention@acfpd.org

Melissa Hale
155 South Madison St Suite 326
Denver, CO 80209
720-819-1004
melissa@delwest.com

May 13, 2020

RE: 7840, 7996, and 8000 Pecos St
Denver, CO 80221

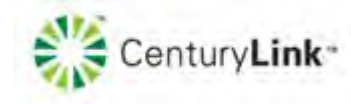
Ms. Hale,

The addresses of 7840, 7996, and 8000 Pecos St Denver, CO 80221 are within the Adams County Fire Protection District's jurisdiction and will be covered by its services. We will need to complete a site development plan review to go along with this letter. The site development plan review needs to include a full set of civil plans and an auto turn exhibit. If you have any questions regarding this location, please call 303-539-6862 and we will be able to answer your questions.

Sincerely,

Chris Wilder
Fire Marshal
Adams County Fire Protection District

Supplemental Materials - CenturyLink Letter



5325 Zuni, Room 728
Denver, CO, 80221
September 29, 2020

Rose Gallucci
Delwest Development Corp
155 South Madison St. Suite 326
Denver, CO 80209
D: 720-708-4065
F: 303-974*5239
E: rose@delwest.com
W: www.delwest.com

RE: 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado.

Recently you approached CenturyLink about providing a “Will Serve” letter to serve 7996 N. Pecos St and 8000 N. Pecos St. in Unincorporated Adams County, State of Colorado. CenturyLink appreciates the opportunity to provide Delwest Development Corp. with its future communication needs.

In response to the request for a commitment to serve, CenturyLink will work with Delwest Development Corp. on determining what the needs will be. Upon such determination, CenturyLink will undertake an analysis of the construction required and the cost to complete that construction. It is only at that point and given the prevailing Tariffs that CenturyLink will make a determination on whether it can or cannot provide service.

As you may or may not know, many of the telecommunications services provided by CenturyLink are regulated and the services you request will be provided for under the tariffs on file with the Colorado Public Utilities Commission.

If there are any further questions, or if I can be of any help, please do not hesitate to call me on 720-578-3560.

Regards,

Robert Davis
Sr. Local Network Engineer
5325 Zuni Street, Room 728
Denver, CO 80221
720-548-3560
Robert.Davis@CenturyLink.com

Supplemental Materials - Comcast Letter



September 29, 2020

**Delwest Development Corporation
C/O Derrell Schreiner
155 S Madison St Suite 326
Denver CO 80209**

RE: Elmwood North
7996 N Pecos St., 8000 N Pecos St
Denver, CO 80221

Dear Derrell Schreiner:

Please accept this letter as confirmation of Comcast Cable Corporation ability to provide cable service to the captioned location. The project consists of 50 townhomes. The provision of service is contingent upon successful negotiations of an agreement between the developer and Comcast Cable Corporation.

If you have any questions at all, please contact Brian Jones at (303) 603-5661, or me with the information below.

Sincerely,

Sean Hofer
Xfinity Communities
303-603-2019
Sean_hofer@cable.comcast.com

This letter is not intended to give rise to binding obligations for either party. Any contractual relationship between the parties will be the result of formal negotiations and will only become effective upon execution of the contract by representatives of the parties authorized to enter into such agreements. During any negotiations, each party will bear its own costs and will not be responsible for any costs or expenses of the other party, unless separately agreed to in writing.



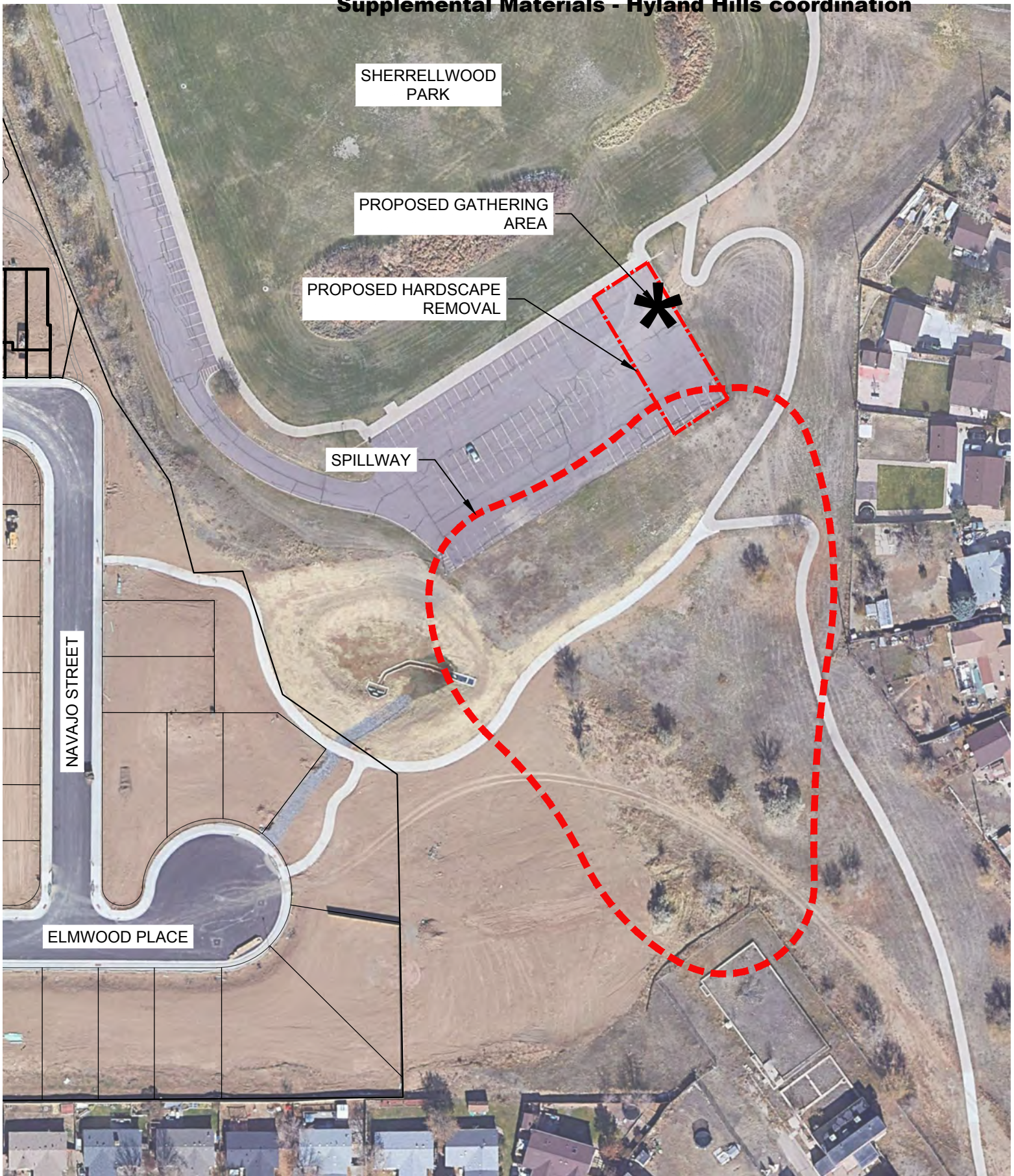
December 16, 2020

Re: The Proposed Construction of a Community Gathering Area in Sherrelwood Park

Delwest has been working diligently with the Hyland Hills Park & Recreation District to determine how best to build a community gathering area in Sherrelwood Park. While the details have yet to be finalized, Delwest has made a firm commitment to donate \$50,000 towards the project's costs.

155 South Madison Street, Suite 326
Denver, Colorado 80209
720.708.4065 | delwest.com

Supplemental Materials - Hyland Hills coordination



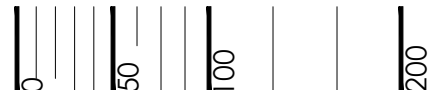
HYLAND HILLS
PROPOSED GATHERING AREA

terr design
10200 E. Girard Ave, A-314
Denver, CO 80231
ph: 303.632.8867



Scale: 1"=100'

October 16, 2020



Supplemental Materials - Hyland Hills coordination

Mike Weiher

Subject: FW: Sherrelwood Park Hill the way to the national anthem for national anthem

From: Yvonne Fischbach <YFischbach@hylandhills.org>

Date: October 12, 2020 at 10:48:47 AM MDT

To: W Craig Fitchett <cfitchett@me.com>

Cc: Joe Demers <JDeMers@hylandhills.org>

Subject: Sherrelwood Park

Good morning Craig,

I was able to connect with the folks at Mile High Flood Control District regarding the dam area at Sherrelwood Park. They have indicated that we could likely use some of the parking area on top of the dam for improvements as long as they are not buildings where somebody could get trapped in a flood event. So, we should be able to add a shelter and potentially a playground structure, as long as it was designed correctly.

Can you please share this information with your team and then we can talk about next steps on getting community involvement. Thank you.

Yvonne Fischbach, Executive Director
Hyland Hills Park and Recreation District
www.hylandhills.org

Supplemental Materials - Hyland Hills coordination

Mike Weiher

From: Mike Weiher
Sent: Wednesday, December 16, 2020 4:31 PM
To: Mike Weiher
Subject: FW: Meeting follow-up
Attachments: image.png

From: **Derrell Schreiner** <derrell@delwest.com>
Date: Wed, Dec 2, 2020 at 2:28 PM
Subject: Re: Meeting follow-up
To: Yvonne Fischbach <YFischbach@hylandhills.org>
Cc: W Craig Fitchett <cfitchett@me.com>, Joe Demers <JDeMers@hylandhills.org>, Mike Weiher <mweiher@terracinadesign.com>

Thanks Yvonne. Great talking with you! These are good!

Regards,

Derrell
Delwest
303-570-0910-Cell

On Wed, Dec 2, 2020 at 2:23 PM Yvonne Fischbach <YFischbach@hylandhills.org> wrote:

Gentlemen,

I just found this in my email drafts – apparently I neglected to hit the send button.

=====

Hi Craig and Derrell,

It was good catching up with you today. We are excited to partner with you to bring some great amenities to the Sherrelwood Park community. Our representative for Poligon shelters is below:

Eric Anderson

Churchich Recreation, LLC

eric@churchichrecreation.net

Supplemental Materials - Hyland Hills coordination

phone: 303-530-4414 x 12

And here is Poligon's website link:

[Steel Shade Structures - Poligon Open Air Shade Shelters](#)

Our master plan recommendations for the park were as follows:

Sherrelwood	Add playground equipment	\$200,000
	Add shade structure	\$60,000
	Add benches - 5	\$12,500

Joe will provide you with the approximate size of shelter we would need for about 40 people as well as confirming the amount of parking spaces we will have if we take out 1/3 to 1/2 of that southern parking lot.

Finally, here are some photos of shelters for ideas from Poligon's website:



Supplemental Materials - Hyland Hills coordination



Yvonne Fischbach, Executive Director

Hyland Hills Park and Recreation District

www.hylandhills.org

Supplemental Materials - Thornton Water Letter



City Hall
9500 Civic Center Drive
Thornton, Colorado 80229-4326

City Development Department
303-538-7295
FAX 303-538-7373
www.cityofthornton.net

September 14, 2020

Rose Gallucci
Delwest Development Corp
155 South Madison Street, Suite 326
Denver, CO 80209

Re: City Water and Wastewater Service for 8000 N Pecos St and 7996 N Pecos St

Dear Mrs. Gallucci,

This letter is to confirm that currently there is adequate capacity in the City of Thornton (City) water and wastewater systems to serve the above-identified proposed development subject to the limitations stated below. However, please be aware that the City does not guarantee capacity for proposed developments indefinitely or capacity for future developments. System capacity must be verified at the time of development.

The extension of City water and wastewater mains and service connections necessary to serve this property shall be installed at the expense of the property owner/developer. The design and installation of all water and wastewater improvements shall conform to all ordinances and regulations, codes and specifications in effect at the time of development. Also, the property owner shall comply with the requirements of any utility extension agreements or other agreements that may affect this property. This property will need to comply with the most current ordinances applicable to water and sewer rates and charges.

System capacity is based on a use consistent with development plans and can be affected by drought, emergency or lack of available water resources. The City has the authority to and may suspend the issuance of new water taps and connections to the City water mains for an indefinite period of time for these reasons, and/or take other emergency measures that may affect the availability of water service.

This letter is valid for a period of one (1) year from the date of this letter.

If you have any questions, please call me at 303-538-7207.

Sincerely,

A handwritten signature in blue ink that reads "Cassie Free".

Cassie Free
Development Engineering Manager

CF/hc

cc: Ralph Mitchell, Utilities Operations Manager
Emily Hunt, Water Resources Manager

Supplemental Materials - Westminster Schools Letter

March 11, 2020

Adams County Planning & Development Department
4430 South Adams County Parkway
Brighton, CO 80601-8216



To Whom It May Concern:

RE: Proposed Development at 8300 North Pecos: Sherrelwood Village/Elmwood North

The District welcomes both residential and commercial development within its boundaries and, while the District takes no position on the specific plans presented by Delwest Development Corp., we believe that a vibrant community should include a wide choice of housing options. This project proposes to provide additional housing options to the community.

In reviewing the Delwest proposal for the development of the site, an extension to the single family homes in Roush Estates, we have determined that the proposed development would have no additional impact on the District. Using an average number of students generated by housing type, based on information provided by Delwest, the District has conservatively calculated the following student yield:

Townhomes

Number of Bedrooms	Number of New Units of that Size	Average Number of School-Aged Residents Per Unit	New School-Aged Residents
1-3	48	x 0.25	=12 (low end estimate)
1-3	48	x 0.49	= 24 (high end estimate)

Estimated Total Number of Students Generated by Proposed Development:

12 to 24

In considering the minimal impact to the District by new students who may reside in the development, the District believes it is important to focus on the quality of the development and the degree to which it will revitalize the community in the years ahead. The District believes development on the southeast side of the District will provide economic benefit for the citizens of the community and, in general, will have an overall positive impact on the existing neighborhood.

Sincerely,



James Duffy, Ed.D.
Chief Operating Officer
Westminster Public Schools



WILL SERVE LETTER

October 1, 2020

Derrell Schreiner
Delwest Development Corp
155 S. Monroe St Suite 326
Denver CO 80209.

Re: Sherrelwood Village

Dear Derrell,,

This letter is to confirm that Xcel Energy is your utility provider for natural gas and electrical service. In accordance with our tariffs, on file with and approved by the Colorado Public Utilities Commission, gas and electric facilities can be made available to serve the project at Sherrelwood Village.

Your utility service(s) will be provided after the following steps are completed:

- ***Application submitted to Public Service's "Builders Call Line (BCL)"*** – once your application is accepted you will be assigned a design department representative who will be your primary point of contact
- ***Utility design is completed*** – you must provide your design representative with the site plan, the one line diagrams, and panel schedules for electric and gas loads if applicable
- ***All documents provided by design representative are signed and returned***
- ***Payment is received***
- ***Required easements are granted*** - you must sign and return applicable easement documents to your Right-of-Way agent
- ***Site is ready for utility construction***

A scheduled in-service date will be provided once these requirements have been met.

It is important to keep in mind that the terms and conditions of utility service, per our tariffs, require that you provide adequate space and an easement on your property for all gas and electric facilities required to serve your project, including but not limited to gas and electrical lines and meters, transformers, and pedestals. General guidelines for these requirements can be found at [Site Requirements. https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed_Documents_&PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf](https://www.xcelenergy.com/staticfiles/xe-responsive/Admin/Managed_Documents_&PDFs/Xcel-Energy-Standard-For-Electric-Installation-and-Use.pdf) Easement requirements can be found at [Utility Design and Layout](#).

Xcel Energy looks forward to working with you on your project and if I can be of further assistance, please contact me at the phone number or email listed below.

Sincerely,

Patrick Quinn
Xcel Energy Designer

Mailing address: Public Service Company of Colorado
5460 W 60th Ave
Arvada, CO 80003



Development Review Team Comments

Date: July 13, 2020

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to epermitcenter@adcogov.org. For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where "Section" or "DSR" is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>

Commenting Division: Planning Review

Name of Reviewer: Alan Sielaff, Planner II

Email: ASielaff@adcogov.org / 720-523-6817

Review Status: Resubmittal Required

PLN01: Application Formatting and General Comments

1. A Major PUD Amendment requires a repeat of the full PUD process. This is a two-phased review requiring a Preliminary Development Plan (PDP) followed by a Final Development Plan (FDP). The submitted documents included plans that had both titles applied (PDP and FDP), plans that were not labeled as either, and in some cases inconsistencies between the submitted plan sets. Please ensure consistent plans that are correctly titled with the next submittal. Additional comments on final formatting and content will likely come with a streamlined resubmittal.
2. The entire original Sherrelwood Village Preliminary PUD (which is a PDP) needs to be amended with this application to encompass the entire 10.35 acre site.
 - a. See submittal requirements included in Preliminary PUD Application for additional items needed. It is recognized this included additional detail compared to the general PUD Amendment application.
 - b. The original Sherrelwood Village (then titled 7840 Pecos Street) PDP has been included for reference. This document will need to be recreated or otherwise added on to as Amendment 1 while preserving the elements of the existing PUD.
 - c. The amended PDP will need to include the full geographic extent, new allowed land use (single-family attached housing, not just detached), and development standards for the new land use.

- d. If approved, an amendment to the Sherrelwood Village FDP would also be required. This would occur after any approval of PRC2020-00010.
3. The Rezoning, PUD Amendment – Preliminary Development Plan (PDP), and Major Subdivision - Preliminary Plat are being reviewed as a single case (PRC2020-00010). Only a single resubmittal under this case number is required. Please do not provide duplicate documents.
4. The Plat Correction (PLT2020-00015) resubmittal does not need to include a site plan or other plans included for the PUD.
5. There has been significant public comment in general opposition to this development. Public comment has discussed concerns with impact on infrastructure, public services, concern over loss of open spaces, and past performance of the applicant. Significant sentiment has also been expressed regarding the distinctive dome structure. An online change.org petition has been started and as of July 1 has gathered over 700 signatures. Staff encourages thoughtful review and response to the provided comments, and to explore if an opportunity exists to preserve the structure and incorporate it as a community amenity. These comments will all be provided following staff and referral agency comments and require response with the next submittal – either through documented outreach to those providing comment, or written responses to address specific concerns.
6. Two additional applications will be required with the next submittal, both being requests for a Waiver from Subdivision Design Standards. These are for two elements of the preliminary plat that will not meet subdivision standards, Lot Depth to Width Ratio no greater than 3:1, and avoidance of Double Frontage Lots. Additional detail provided as part of preliminary plat comments below.
7. Process Summary Code References:
 - a. 2-01-10-02 MAJOR AMENDMENTS: ...Amendments to development plans shall be reviewed and processed in the same manner as the original development plan for which the amendment is sought. Any approved major amendments shall be recorded in accordance with the procedures for recording the original development plan approval...
 - b. 2-02-11-01 PURPOSE / OBJECTIVES: ...The Standard P.U.D. process requires a minimum of two (2) approvals prior to development of a site, a Preliminary Development Plan (PDP) and Final Development Plan (FDP)...
 - c. 2-02-11-01-01 PRELIMINARY DEVELOPMENT PLAN (PDP): ...The PDP should include the proposed land uses, the layout of landscaping, circulation, architectural elevations, buildings and, if required, a preliminary plat....

PLN02: Plat Correction – Specific Comments

1. What is the purpose of the Exhibit pages to the Plat Correction? While helpful to understand the extent of the proposed alterations as part of this request, it will not be recorded along with the Plat Correction.
2. Please provide a written explanation specific to the Plat Correction request.
3. Staff will recommend a condition of approval that this Plat Correction is not recorded until the Final Plat of filing 2 is approved, as this Plat Correction removes required emergency access and drainage Tract B into a Lot. This Tract is only rededicated as part of the proposed filing 2.
4. See specific comments to the plat document in redlined .pdf from Mark Alessi, ROW Agent.
5. Please review the approval criteria to be reviewed by the The Director of Community and Economic Development: 2-02-18-02-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request meets the criteria as long as the condition referenced above is included.

1. The correction complies with these standards and regulations, and the original conditions of approval.
2. Nonconforming lots are not created, and in the case of nonconforming lots, the nonconformity is not increased.
3. The correction is in keeping with the purpose and intent of the subdivision regulations.
4. The approval will not adversely affect the public health, safety, and welfare.

PLN03: Major Subdivision - Preliminary Plat – Specific Comments

1. Subdivision name should be preceded by “Preliminary Plat”. This can be in smaller font above the main title block.
2. Please provide an updated will serve letter from the City of Thornton for water and sewer services, and provide responding documentation as requested by the Colorado Division of Water Resources (CDWR). Provided letter from the City of Thornton is from 2017 in regards to the original development.
3. Two subdivision design standards are not met and will require additional requests for a “Waiver from Subdivision Design Standards” to be approved. This application can be found on Land Use and Development Applications webpage and will be provided with this comment letter. See Section 2-02-17 for process and approval criteria and provide a separate written narrative for each explaining why this standard cannot feasibly be met.
 - a. 5-03-03-06 LOT DEPTH TO WIDTH RATIO - No lot shall have an average depth greater than three times the average width (maximum of 3:1 lot depth to width ratio).
 - b. 5-03-03-08-01 DOUBLE FRONTING LOTS - Lots with double frontage shall be avoided (those that back up to Pecos St).
 - c. Multiple requests for waivers from subdivision standards require separate applications for each. Volume of waiver requests will be taken into account in consideration of approval criteria for a Preliminary Plat, specifically #3.
4. Right-of-Way landscaping is required on arterial and collector roads (Pecos St.).
5. Land Dedication Standards are found Section 5-05. Cash-in-leiu is preferred for a development of this size to satisfy the requirements. Calculation of fees will be done with the Final Plat and expected to be paid prior to final recording. An estimate of fees based on current regulations would require approximately \$\$77,000.
6. Final Plat requires only final approval by the BoCC along with a Subdivision Improvements Agreement (SIA) and approved construction plans for any required public improvements. Final engineering review and required reports will be required following approval of a Preliminary Plat.
7. Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-19-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional documentation or community outreach to better meet Criteria #3, 4, 8 and 9.

1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is consistent with the purposes of these standards and regulations.
3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.

4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.

PLN04: Rezoning – Specific Comments

1. Only the two unplatted parcels at 7996 Pecos St. and 8000 Pecos St. currently zoned R-1-C need to be rezoned to PUD in order to be incorporated into the Sherrelwood Village PUD.
 2. If the lot at 8000 Pecos St. is to be preserved as much public comment received has requested, this lot may need to be excluded from this request, or rezoned to a different zone district. Please consult with staff on the most appropriate approach if this direction is pursued.
 3. Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-15-06 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional community outreach to better meet Criteria #4.
1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.

2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

PLN05: Major PUD Amendment - Preliminary PUD – Specific Comments

1. PUD name should be preceded by “Preliminary Development Plan”. This can be in smaller font above the main title block.
2. It is recommended to provide an updated written narrative. PUD’s require elements of Superior Design over standard zoning to justify approval, see Section 3-30-03-01. Unique or challenging features of the existing site, as well as open space, pedestrian, and bicycle amenities should be discussed. Please include an overview of any other elements that exhibit superior design to standard zoning requirements. Please also update letter to include a more professional appearance such as author signature, company letterhead, etc.
3. It is suggested to add a reference to the PUD to refer to an existing standard zone district to capture any standards and allowances not explicitly prohibited by this PUD. This will aid in administration of the PUD in the future. The R-3 zone district would be the most appropriate.
4. Additional elements are required for a PDP including a Landscape Plan and Building Elevations.
5. The proposed 48 townhome units on 2.2 acres as described in the applicant letter equates to a project density of 21.8 dwelling units per acre. If calculated based on the Land Use Table on the Sherrelwood Village 1st Amendment document and include the 45 lots and Tracts A & B (but not right-of-way), the project density is 15 units per acre. Both of these place it within the Residential-4 district (high density) for as a comparison. The maximum density of R-3 is 14 units per acre (moderate density). The existing Sherrelwood Village PUD is 45 single family units and may represent a challenging argument of compatibility of low/moderate density with high density. This difference is more pronounced compared to the older single-family uses in the larger Sherrelwood neighborhood. Staff recommends lowering unit counts to fall within the R-3 district density.
6. Open Space Requirements – PUD
 - a. 30% of overall PUD required. Provided FDP summary table states 39% of overall PUD is open space (Calculation includes common public or privately held open space, ROW, stormwater facilities, etc. See 3-30-03-05-08).
 - b. 25% of required Open Space must be active (25% of 30% of 10.7 acres = 0.8 acres). 0.9 acres listed as active. No detail on what makes it active, just sidewalk/trails shown in 1 location. Parking lot shown in another of the “active” areas on one of the plans. Please describe programming for active open spaces areas.
 - c. Are additional connections to Sherrelwood Park possible?
 - d. HOA is required for common area maintenance.
 - e. Though the Hyland Hill Recreation District did not provide comment on this request, it is recommended to provide evidence of cooperation and integration with the existing open space to ensure cohesive design and proper maintenance.
7. The PUD is reviewed according to the applicable sections of the development code, including Residential Uses Performance Standards (Section 4-07). See Architectural Standards / Project Compatibility for building and site design considerations. Example standards provided below.

- a. 4-07-02-02 DWELLING, ATTACHED SINGLE-FAMILY
 - b. 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide sample lot coverages subject to principal structure maximum of 70% for townhome/single-family attached housing products.
 - c. 4-07-02-02-03 HOUSING MODEL VARIETY - Any development between three (3) and one hundred (100) single-family dwelling units shall have at least three (3) different types of housing models. Please describe and provide sample layouts if available.
 - d. 4-07-02-03 DWELLING, TOWNHOUSE
 - e. Though found in our Transit-Oriented Development standards, it is recommend to adhere to the requirement that no more than 6 units be attached in a series per structure.
8. Parking Standards, Section 4-12
- a. 4-12-04-03 SPACES REQUIRED - 2 spaces for each dwelling unit. 1 additional visitor space for every 2 units is recommended.
 - b. Appears there will be minimal street parking due to driveways. Please address visitor and required off-street parking.
 - c. If 96 spaces required (2 per unit), 15% visitor would require 15 spaces (rounded up).
9. Landscaping Standards, Section 4-16
- a. A Landscape Plan is required showing conformance with standards. See Section 4-16-10 for plan requirements.
 - b. Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of ten (10) percent of the lot area. At least fifty (50) percent of the required landscape area shall be placed so it abuts adjoining public rights-of-way, excluding alleys and drives.
 - c. Single-Family Attached Dwelling Landscaping, see Section 4-16-09-01-02.
10. Sidewalk requirements are included in Section 4-20-06-04.
11. Garbage and loading requirements are included in Section 4-03-04-02-03.
12. Approval criteria to be reviewed by the Planning Commission and Board of County Commissioner: 2-02-11-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional documentation or community outreach to better meet Criteria #2, 3, 6, and 8.

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any approved ODP for the property.
8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development

of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:

- a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
- b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
- c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and
- f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

PLN06: Long Range Plans Review - Applicable County plans and policies provided for review and reference below. No response needed for these items, but they may be referenced in applicant narratives and responses to public comment, and will be referenced in staff reports prepared as part of case materials.

Overall, the proposal generally conforms to County Comprehensive Plan, Balanced Housing Plan, Southwest Area Framework Plan, and Making Connections Plan.

1. Imagine Adams County Comprehensive Plan:
 - a. Chapter 3, #2 – Urban Growth
 - i. The County will encourage new urban residential development primarily within unincorporated infill areas and/or within County and municipal growth areas, where it can be served by a full range of urban services (p.18).
 - ii. The County's policy is that urban residential development is most appropriate if located within unincorporated infill areas and/or within municipal and county growth areas (p. 20).
 - i. Site is located within Adams County Urban Growth Area.
 - b. Chapter 4 #1 – Southwest Area
 - i. Policy 14.5 Maintain and Enhance the Quality of Existing Residential Neighborhoods.
 - ii. 14.5.b. Public Infrastructure Improvements – Continue to make public infrastructure improvements— such as installing curbs and gutters, improving roadways, pedestrian/trail connections, and park facilities—to enhance the image of established residential neighborhoods and improve the health and quality of life of area residents (p. 70).
 - c. Chapter 5, Future Land Use Designation: Urban Residential
 - i. Purpose: Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These

areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.

2. Balanced Housing Plan:

- a. Policies - Thoughtful housing policies should provide support for initiatives that fosters housing stock that includes smaller, more densely developed units in appropriate areas near high capacity transit, job centers, schools, and other amenities. The following policies were developed as a step towards recognizing the County's diverse housing needs.
 - i. Policy 1. Improve and Support housing opportunities for all residents in Adams County. Direction to explore missing middle housing opportunities. The "missing middle" housing problem is defined in the HNA as a lack of housing units of medium density. Middle housing includes housing types that fall between 1-unit homes and large apartment complexes (20+ or more units). Typically, these middle housing options include accessory dwelling units (ADUs), duplexes, triplexes and fourplexes, courtyard apartments, bungalow courts, townhomes and multiplex and live/work units. Additionally, the "missing middle" includes those households making 80-120% Area Median Income (AMI).
 - ii. Policy 2. Foster and Environment that promotes "balanced housing"
 - iii. Policy 5. Integrate development practices that increase diversity in housing options.
- b. Recommendations:
 - i. Infill development occurs on vacant or under-utilized parcels and helps to increase density in areas already established, stimulating the creation of diverse housing types.
 - ii. Action: County will identify and use infill development as a development method that uses existing hard and soft infrastructure investments in established communities.
 - iii. Diversity of housing stock accommodates a variety of housing needs: type, size, and location. It creates a balance between traditional single-family homes and apartment complexes with missing middle type housing. Additionally, the HNA identified at-risk and severely cost burdened populations where middle income housing needs are higher. More affordable housing is needed to ensure the diversity of stock is available for middle income households (80-120% AMI).
 - iv. Action: Explore development opportunities to add to the "missing middle" housing stock. Accessory Dwelling Units (ADUs) are a housing type that can increase density, allow for aging in place and multi-generational households while utilizing existing infrastructure.

3. Making Connections Plan:

- a. Broader Triangle of Opportunity - Greatest potential for development and redevelopment Opportunities include transit-oriented development, trail-oriented development, mixed-use development.

Commenting Division: Development Engineering Review

Name of Review: Greg Labrie, Senior Civil Engineer

Referral Comments - Adams County Staff

Email: GLabrie@adcogov.org / 720-523-6824

Review Status: Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3: The project site is within the County's MS4 Stormwater Permit area. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The disturbed area of the site exceeds 1 acre, therefore, the applicant is responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG4: The applicant plans to subdivide the property. In a subdivision case, the developer should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall also enter into a Subdivision Improvement Agreement (SIA) with the County and provide a security bond for all public improvements. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents and the SIA. The development review fee for this project shall be in accordance to the fee schedule as described on the Adams County website.

ENG5: The traffic study shall utilize information from the trip generation analysis and it is required to be signed and stamped by a professional engineer with the state of Colorado. The traffic impact study must be submitted to the Adams County Community and Economic Department for review and approval. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG6: The existing drainage report and the existing traffic impact study must be revised to incorporate the proposed amendment to the PUD and the proposed infrastructure improvements. The final studies should provide information that addresses the concerns of the citizens who have commented on drainage and traffic issues and live in the immediate area.

ENG7: No certificate of occupancy will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Public Works Department.

Commenting Division: Public Works

Name of Review: Gordon Stevens, Construction Inspection Supervisor

Email: GStevens@adcogov.org / 720-523-6965

Review Status: Complete

Referral Comments - Adams County Staff

PW1: A complete set of Construction Plans must be submitted for review and approval to the Community and Economic Development Department (CEDD). No permits for construction can be issued for construction, nor can construction begin prior to the approval of these construction plans. These construction Plans must address the Traffic Signal Reconstruction at Sherrelwood Dr. and Pecos St. Brian Staley (BStaley@adcogov.org) has been copied on this email to provide further direction and clarification on this issue. The costs related to this reconstruction must also be included in the final Subdivision Improvements Agreement (SIA) mentioned below.

PW2: As a result of this Traffic Signal Reconstruction, ADA Improvements may be required along the west side of Pecos St. in the vicinity of this signal reconstruction.

PW3: During the construction of Sherrelwood Village Subdivision, an emergency access was constructed at 79th Way and Pecos St. A Curb Cut was installed on Pecos St. at this location. It is not clear in this submittal, whether this emergency access point will be left in place. If not, this curb cut needs to be removed and replaced with Vertical Curb, Gutter and Walk.

PW4: A Subdivision Improvements Agreement (SIA) with appropriate collateral will be required prior to the issuance of any Construction Permits for this location. This SIA must be approved by the BoCC prior to the issuance of any construction permits for this site.

PW5: No Building Permits/CO's will be issued for any structure at this site until all construction has received Preliminary Acceptance from the Adams County Department of Public Works.

PW6: It is apparent that construction from this subdivision will directly affect the newly constructed facilities that lie within the adjacent Sherrelwood Village Subdivision. The utility cuts for the proposed lots on 79th Way will require patching, mill and overlay in the area associated with these utility cuts. This work will have direct impact on the Final Acceptance of The Sherrelwood Village Subdivision Improvements which received Preliminary Acceptance on Sept. 10, 2019 and may hold up Final Acceptance for the Sherrelwood Village Subdivision.

PW7: A Pre-Construction Meeting will be required prior to the start of any construction.

PW8: This submittal has been referred to other members of the Public Works Staff for additional review and comment if necessary.

Commenting Division: Addressing and Right-of-Way Review

Name of Review: Mark Alessi, Right-of-Way Agent

Email: MAlessi@adcogov.org/ 720-523-6825

Review Status: Resubmittal Required

ROW1: Pecos Street is considered a Minor Arterial with a 120' ROW, with half right-of-way of 60'. Further dedication of ROW on Pecos Street is necessary.

ROW2: Please update title to within 30 days of application and update plat.

ROW3: Make sure all dedication statements appear on plat.

Referral Comments - Adams County Staff

ROW4: Consistency with the labeling of Sheets. Sheet 1 of X, Sheet 2 of X.

ROW5: Please show book and page number or reception number for all easements.

ROW6: Addresses will be required for the new parcels/lots and will be assigned at Final Plat.

ROW7: See specific redline comments on both the Plat Correction and the Amendment #1 documents.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe, Environmental Programs Manager

Email: KKeefe@adcogov.org / 720-523-6986

Review Status: Complete

ENV1: A separate permit must be obtained prior to importing fill material onto the subject parcels.

Commenting Division: Building Safety Review

Name of Reviewer: Justin Blair, Chief Building Official

Email and Phone Number: JBlair@adcogov.org / 720-523-6843

Review Status: Complete

No comment.

Commenting Division: Parks and Open Space Review

Name of Reviewer: Aaron Clark, Natural Resource Specialist **Contact:** AClark@adcogov.org / 720-523-8005

Review Status: Complete

No comment.

Commenting Division: Neighborhood Services Review

Name of Reviewer: Kerry Gress, Code Compliance Officer

Contact: KGress@adcogov.org / 720-523-6832

No comment.

Commenting Division: Parks and Open Space Review

Name of Reviewer: Aaron Clark, Natural Resource Specialist

Contact: AClark@adcogov.org / 720-523-8005

Review Status: Complete

No comment.

Commenting Division: External Agencies

Review Status: Response Required

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: ACFR, CDOT, CDPHE, CGS, CDWR, RTD, TCHD, and Xcel Energy.

Referral Comments - Adams County Staff

Of the responding agencies, the following have offered suggestions or requested additional information. Please provide a response with the next submittal: ACFR, CDWR, RTD, and Xcel Energy. Agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved.

Commenting Division: Public Comment

Review Status: Response Required

PC1: As of the date of this comment letter, 19 public comments have been received and are provided in the following pages. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. Please provide a response to individual public comments or evidence of direct outreach with the next submittal, and describe in your comment response letter any revisions that may address concerns. Staff encourages direct outreach to individuals as appropriate. Any additional comments offered by the responding public will also be included with the staff report.



Development Review Team Comments

Date: November 18, 2020

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to epermitcenter@adcogov.org. For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where "Section" or "DSR" is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>

Commenting Division: Planning Review

Name of Reviewer: Alan Sielaff, Planner II

Email: ASielaff@adcogov.org / 720-523-6817

Review Status: Resubmittal Required

Only remaining or new comments will be noted below. References to applicant response will be included as necessary.

PLN01: Application Formatting and General Comments

1. (New) With resubmittal for the plat now constituting only 2 lots for a common lot attached single family concept, the proposal qualifies as a Minor Subdivision as 4 or less lots are now proposed and the development overall comprises less than 20 acres. Any outstanding comments on the Plat Correction to the existing Sherrelwood Village Subdivision, and the current Sherrelwood Village Filing No. 2 proposal, can be addressed at time of final review as a Minor Subdivision (processed as a combined preliminary and final plat) in conjunction with the Final Development Plan (FDP) of the Major PUD Amendment. The preliminary plat will be provided for context with the Rezone and Preliminary Development Plan (PDP) of the PUD, so it is encouraged to address any major outstanding issues, but no preliminary approval is granted unless the applicant chooses to continue with the separate Preliminary and Final Plat review process.
2. (New) With the proposal now consisting of only two lots, please provide information on the envisioned management of the new development. Will it be maintained under common ownership and rented? Will the site be condominiumized? This information will be helpful to

Referral Comments - Adams County Staff

understand at time of FDP, the Final Plat, and for consideration with review of a Subdivision Improvement Agreement (SIA) at time of final platting to ensure the site has clear delineation of maintenance and improvement responsibilities.

3. (New) Please provide the existing legal description of the two parcels to be rezoned to PUD (7996 and 8000 Pecos St.). These separate legal descriptions are required at time of noticing for the rezoning as only these two properties are sepctfiically being rezoned, while the rest of the existing PUD is only being amended.

PLN02: Plat Correction – Specific Comments

1. (Repeat with revision) Staff will recommend a condition of approval that this Plat Correction is not recorded until the Final Plat of filing 2 is approved, as this Plat Correction removes required emergency access and drainage Tract B into a Lot. This Tract is only rededicated as part of the proposed filing 2.
 - a. Please confirm allowance for continuation of emergency access and drainage. Will it be in a separate Tract or easement on Filing 2? It appears to only be easements in filing 2.
2. (Repeat) See any specific comments to the plat document in redlined .pdf once review comments are ready.

PLN03: Major Subdivision - Preliminary Plat – Specific Comments

1. (Repeat for with revision reference) Whether plat process continues as a Major Subdivision or as a combined Minor Subdivision, final engineering review and required reports will be required following Preliminary PUD approval. Subdivision Improvements Agreement (SIA) and construction plans for any required public improvements will be determined with the Final Development Plan (FDP).
2. (Repeat for reference with revision) Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-19-03-05 CRITERIA FOR APPROVAL. Preliminary review finds outstanding approval criteria issues have largely been addressed through confirmation of utility service providers, conformance with subdivision standards, and no remaining development engineering review comments requested until time of Final Plat. Criteria # 9 is open to more subjective interpretation, but largely meets the standards for adequate demonstration of compatibility. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant.

PLN04: Rezoning – Specific Comments

1. (Repeat for reference with revision) Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-15-06 CRITERIA FOR APPROVAL. Preliminary staff review finds the request meets most criteria through conformance with County long range planning documents and the Comprehensive Plan, however, Criteria # 4 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant.

PLN05: Major PUD Amendment - Preliminary PUD – Specific Comments

1. (New) PDP approval title blocks:
 - a. Planning Commission should be updated to read “Approved by the Adams County Planning Commission”.

Referral Comments - Adams County Staff

- b. Board of County Commissioners should be updated to read “Approved by the Adams County Board of County Commissioners”.
2. (New) PDP title block includes old legal description which references Perl-Mack Manor. This is a remnant of the previous PDP which was accurate at the time before the Sherrelwood Subdivision had been recorded. This should be updated to the current legal descriptions.
3. (New) PDP Sheets 2 and 3 should both capture the full extent of the PUD area (existing and new). Please also more clearly delineate the boundaries of the entire PUD area. Southern boundary is obscured or has been removed. Additional dashed utilities lines throughout, especially along eastern boundary, obscures project boundary.
4. (New) PDP General Notes, Sheet 4
 - a. Note G includes references to Tracts A-D while the overall site plan (sheet 3) does not clearly locate all of these, and the open space plan (sheet 7) includes a Tract H. The new result of the plat correction to the existing Sherrelwood Village Subdivision looks to only include a Tract A and C, and the proposed filing 2 does not include any Tracts. Please review for consistency and include all tracts on the preliminary plat to ensure correct PUD references.
 - b. Note F also references landscape maintenance of townhomes falls to property owner, suggesting notes remain from previous individual lot proposal.
 - c. Note H should be updated to include footer note on Development Standards table on Sheet 5, “any standards and allowances not explicitly listed in this PUD shall follow R-3 zoning”.
5. (New) PDP Development Standards, sheet 6, lists 15 ft. front setback and 10 ft. side on street setback (side corner for consistency with County zoning language). It is suggested these match at 15 ft. as the proposed northeast intersection at Osage St. and 79th Way appears to provide a matching setback line between the side of one building and the front of another.
6. (New) Reference to additional parking availability in Sherrelwood Park should be removed from project narrative as parking demands need to be met onsite. The discussion of 62 additional spaces above the 2 spaces in each garage means the new units will have more than 3 spaces per unit, well exceed parking requirements.
7. (Repeat with revision) 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide sample lot coverages subject to principal structure maximum of 70% for townhome/single-family attached housing products. Specific table with proposal in light of new two lot configuration is not identified.
8. Landscaping Standards, Section 4-16.
 - a. (Repeat) Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of ten (10) percent of the lot area. At least fifty (50) percent of the required landscape area shall be placed so it abuts adjoining public rights-of-way, excluding alleys and drives. This and following landscape comments can be confirmed at time of FDP.
 - b. (New) Additionally, arterial street landscaping should meet on the five options available in Section 4-16-07-01 STREET FRONTAGE LANDSCAPING, with sufficient detail to confirm calculations for trees and landscape depth along Pecos St.
 - c. (New) Specific landscaping for townhome dwelling is included in Section 4-16-09-01-03. This includes minimum tree and shrub counts per 1,500 s. ft. of landscaping.
 - d. (New) Trash Can label on sheet 14 overlaps with detail outline box.
9. (New) Though RTD did not respond to this submittal request, they had previously requested a bus stop boarding area to be installed along the new development. Previous comments are provided, please address feasibility in resubmittal. Any final improvements in the public right-of-

way can be determined at time of Final Plat and SIA, but do not need to be included in the PUD if not accommodated within the site.

10. (Repeat for reference with revision) Approval criteria to be reviewed by the Planning Commission and Board of County Commissioner: 2-02-11-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request largely meets most criteria through response and revision to original staff comments. Criteria #3, 6, and 8 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant.

Commenting Division: Development Engineering Review

Name of Review: Greg Labrie, Senior Civil Engineer

Email: GLabrie@adcogov.org / 720-523-6824

Review Status: Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG3: The project site is within the County's MS4 Stormwater Permit area. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The disturbed area of the site exceeds 1 acre, therefore, the applicant is responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.

ENG4: The applicant plans to subdivide the property. In a subdivision case, the developer should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall also enter into a Subdivision Improvement Agreement (SIA) with the County and provide a security bond for all public improvements. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents and the SIA. The development review fee for this project shall be in accordance to the fee schedule as described on the Adams County website.

ENG5: The traffic study shall utilize information from the trip generation analysis and it is required to be signed and stamped by a professional engineer with the state of Colorado. The traffic impact study must be submitted to the Adams County Community and Economic Department for review and approval. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG6: The existing drainage report and the existing traffic impact study must be revised to incorporate

the proposed amendment to the PUD and the proposed infrastructure improvements. The final studies should provide information that addresses the concerns of the citizens who have commented on drainage and traffic issues and live in the immediate area.

ENG7: No certificate of occupancy will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Public Works Department.

Commenting Division: Addressing and Right-of-Way Review

Name of Review: Holden Pederson, Planner II

Email: HPederson@adcogov.org/ 720-523-6847

Review Status: Resubmittal Required

Separate comments and redlines for both the Plat Correction (PLT2020-00015) and Filing 2 (PRC2020-00010) provided in following pages.

Commenting Division: External Agencies

Review Status: Response Required

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: ACFR, CDWR, RTD and Xcel Energy. All except CDWR request revision with the next submittal. Agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved.

Commenting Division: Public Comment

Review Status: Response Optional

PC1: As of the date of this comment letter, 22 additional public comments have been received since the previous review period closed and are provided in the following pages. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. Staff encourages the applicant work to address any identified issues to the best of their ability.



Development Review Team Comments

Date: January 12, 2021

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Commenting Division: Planning Review

Name of Reviewer: Alan Sielaff, Planner II

Email: ASielaff@adcogov.org / 720-523-6817

Review Status: Complete – Minor Revisions Requested

Review responses provided to comment number from previous review letter.

PLN01: No further revisions or information requested

#1: Confirming that only Rezone and PDP to be brought forward to public hearings at this time.

2: Response indicates an HOA or metro district will provide common area maintenance. An HOA seems more applicable to the scope of responsibilities, as generally a metro district is a public taxing district that would provide water and sewer utilities as well as maintenance and other development responsibilities. If a metro district is to be proposed, it will require a separate application and review process, ultimately requiring BoCC approval and coordination ahead of election deadlines.

3: Legal descriptions for 7996 and 8000 Pecos St. have been provided.

PLN02: Plat redline review still underway, but not required for Rezoning or PDP. No further revisions or information requested at this time.

#1: Plat Correction to be recorded in conjunction with Final Plat. Emergency access and drainage provided via separate easement.

#2: Redlines have been addressed and easements clarified. Will need to confirm review with new staff - David Dittmer, Right-of-Way Specialist, on plat review once completed but will not hold up Rezone and PDP.

PLN03: No further revisions or information requested

#1: Confirmed for Minor Subdivision process.

#2: Applicant provided further justification for conformance with criteria #9. With this now being approved under a Minor Subdivision – Final Plat, approval criteria found in Section 2-02-20-03-05. Criteria is mostly the same, but with a total of 11 criteria. This response will further support criteria # 11.

PLN04: No further revisions or information requested

#1: Applicant response provided. Final determination of support will be decided and communicated to applicant prior to finalizing public hearing dates.

PLN05: Minor revisions needed to PDP document. Can be accommodated if returned by Feb. 3.

#1: Updates made.

#2: Updates made on title page but legal description under main title block on sheets 2 and 3 do not match and appear to be old. Remaining sheets match sheet 1 correctly. Additionally, first line under Legal Description on sheet 1 states Elmwood North Overall Boundary. What is this? Previous subdivisions are not named Elmwood. This appears to be an error.

#3: Updates made.

#4: Updates made.

#5: Response noted.

#6: Updates made.

#7: Updates made.

#8: Updates made or confirmed.

#9: RTD has responded with initial approval stating "The RTD has no comments on this plan the relocated bus stop location works for RTD we just need to make sure that the bus stop meets the ADA guidelines." This will be coordinated at time of final construction documentation.

#10: Response noted.

NEW – Certificate of Ownership listed 7840 Pecos Investments LLC. Is this leftover from previous PDP? Please update to match existing ownership – Delwest Development Corp.?

NEW – Clerk and Recorders Certificate on title page should be updated to state Preliminary Development Plan, not Final.

NEW – Sheet 4, Note H regarding public land dedication. This includes specific calculations that were determined at time of the previous final plat and FDP. Previous PDP did not include this. Please adjust to reference previously required dedication and note additional dedication or cash-in-lieu will be determined for additional filing 2 area at time of final plat and FDP.

External Agencies – EA1: No further revisions or information requested

#1 Outstanding Referrals from Review #2: Xcel, RTD, ACFR – all concerns addressed for this stage in review.

Public Comment – PC1: No further revisions or information requested

#1 Public: Since the last comment letter provided, 4 additional commentors have submitted and are attached here. 1 was only recently delivered to staff though postmarked in November, and discussed concerns with Sherrelwood Park being an historic landfill. I have reached out to Tri-County Health and CDPHE for review to help provide a response and will share once received.



ADAMS COUNTY FIRE RESCUE FIRE PREVENTION BUREAU

Referral Comments - ACFR

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

Project:	Sherrelwood Village Filing 2	Type:	County Referral - PRC2020-00010
Address:	8000 & 7996 Pecos St	Date:	6/25/20
Reviewed By:	DFM Whitney Even		

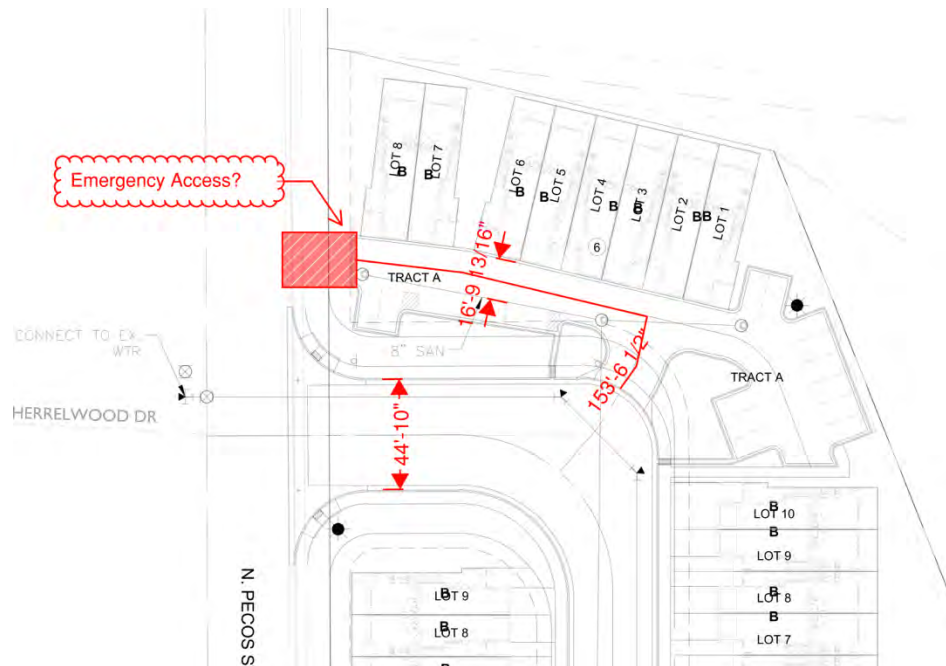
The following information provides guidance on general fire code requirements typically applicable to new development projects. However, please be aware that this list is NOT all encompassing. **It is the responsibility of the contractor to read this comment letter in its entirety and make sure that all requirements are satisfied.** **Comments in red below are specific to the preliminary development plan reviewed.**

General:

1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf.
2. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.
3. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews.

Access Requirements:

4. **Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site**, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections.
5. Fire apparatus access roads shall be a minimum of 24' wide or 26' when a hydrant is present or the building exceeds 30' in height.
 - a. **Tract A on the plan review does not appear to meet this requirement.**
6. Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building.
 - a. **Tract A would present a challenge to our responders for access and hose deployment. Is there any possibility of creating an emergency access connecting Tract A to North Pecos Street?**



7. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. For information on how to order this, please go to <https://www.acfpd.org/plan-submittals.html>.
8. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.
 - a. A temporary sign must be provided if the permanent signage is not yet installed.

Fire Protection Water Supply and Hydrants:

9. **Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site.** Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District. Any private fire service mains and fire hydrants and all fire sprinkler service lines shall be installed by a State of Colorado Licensed Fire Suppression System Contractor – Underground Contractor and meet the requirements of National Fire Protection Association Standard 24. Plans for the underground fire sprinkler service line shall be submitted for review and approval to ACFR. A current list of registered contractors can be found by going to <https://www.colorado.gov/dfpc/fire-suppression-system-contractors>. Once installed, all underground fire sprinkler service lines must be inspected by an ACFR inspector before covering. Attached is a guideline for the inspections required for an underground fire sprinkler service line.

10. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.
11. The FDC for each building with a fire sprinkler system must be located within 150 feet of a fire hydrant.
 - a. No FDC's will be required most likely based on the type of sprinkler system typically installed in Townhomes.
12. A fire hydrant shall be located within 400' (unsprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building.
 - a. The hydrant proposed on Osage Street appears to meet this requirement.
13. The number and distribution of fire hydrants is based on the required fire flow. You may refer to Appendix C of the 2018 IFC for guidance.

TABLE B105.1(1)
REQUIRED FIRE FLOW FOR ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES

FIRE-FLOW CALCULATION AREA (square feet)	AUTOMATIC SPRINKLER SYSTEM (Design Standard)	MINIMUM FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
0-3,600	No automatic sprinkler system	1,000	1
3,601 and greater	No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2) at the required fire-flow rate
0-3,600	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	500	1/2
3,601 and greater	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	1/2 value in Table B105.1(2)	1

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m.

TABLE C102.1
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS^a

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{b, c, f, g} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^{d, e, g}
1,750 or less	1	500	250
1,751-2,250	2	450	225
2,251-2,750	3	450	225
2,751-3,250	3	400	225
3,251-4,000	4	350	210
4,001-5,000	5	300	180
5,001-5,500	6	300	180
5,501-6,000	6	250	150
6,001-7,000	7	250	150
7,001 or more	8 or more ^c	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.
- f. A 50-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1 of the *International Fire Code*.
- g. A 25-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.2 or 903.3.1.3 of the *International Fire Code* or Section P2904 of the *International Residential Code*.
- h. The fire code official is authorized to modify the location, number and distribution of fire hydrants based on site-specific constraints and hazards.

Automatic Fire Sprinkler System:

14. As stated in Section 903.2.8 of the 2018 International Fire Code as adopted and amended by Adams County, an approved residential fire sprinkler system is **REQUIRED**. Please be aware that if a residential fire sprinkler system is going to be installed in accordance with NFPA 13D the fire sprinkler plans must be submitted to us for review under a separate permit. If the system will be a multipurpose system and designed and installed in accordance with IRC section P2904, plans shall be submitted to Adams County Building Division for review and permitting. If a P2904 system is to be installed, please provide us with a record of the Building Division's approval.

Other Helpful Information:

15. Please be aware that the fire code does not specify building fire rating or set-back requirements. These are located within the building code and therefore are out of our scope. This preliminary review does not approve anything covered under the building code. These requirements need to be verified with the County's Building and Planning Departments.
16. Please be aware that we are a separate entity from the County and anytime you submit to the county, you will need to submit to us separately utilizing a dropbox that you will be set up with by contacting us at 3030-539-6862.
17. The following reviews and permits are often needed for new development projects:
 - a. Site Development and Water Plans
 - i. Civil Plans
 - ii. Utility Plans
 - iii. Autoturn Exhibit (use attached apparatus specifications)
 - b. New Construction Building Plans
 - i. Architectural
 - ii. MEP
 - c. Fire Protection System Plans
 - i. Fire Alarm
 - ii. Fire Sprinkler
18. Site development plans must be reviewed and approved before plans for all buildings and fire protection systems are submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up.

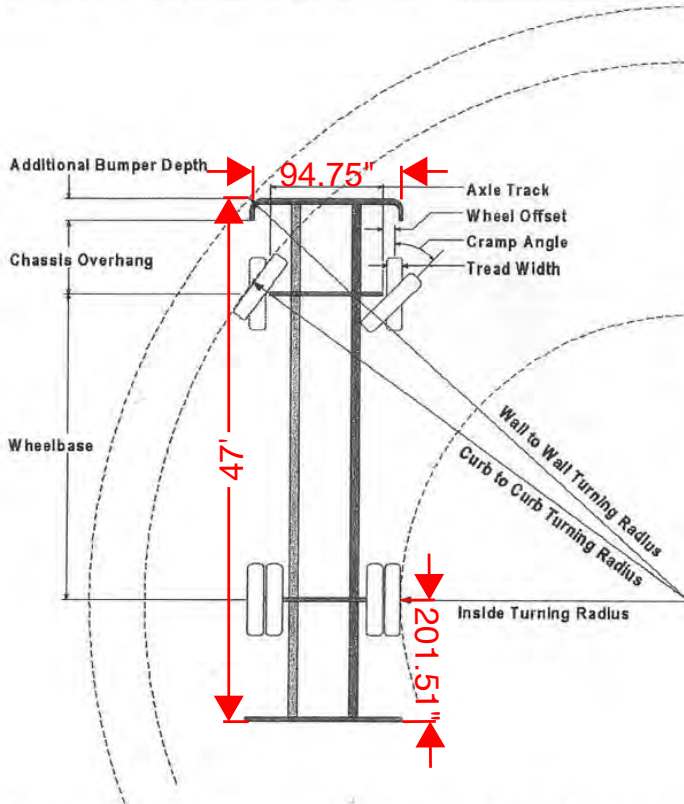


Turning Performance Analysis

09/28/2017

Bid Number: 593
Department: Adams County Fire Rescue

Chassis: Arrow XT Chassis, PAP, PUC
Body: Aerial, Platform 100', PUC, Alum Body



Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.50 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	277.50 in.

Calculated Turning Radii:

Inside Turn:	26 ft. 5 in.
Curb to curb:	42 ft. 8 in.
Wall to wall:	49 ft. 0 in.

Comments:

Other Notes:

The front bumper extends 16 inches from the face of the cab.

The width is 19' with outriggers fully extended.

Angle of approach & departure: 15 degree

Category Description:	OptionID:	Option Description:
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0606536	Bumper, 16" Extended, Steel Painted, Arrow XT
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

Notes:

Actual Inside cramp angle may be less due to highly specialized options.
 Curb to Curb turning radius calculated for 9.00 inch curb.

Underground Fire Sprinkler Service Line Requirements

When installing an underground fire sprinkler system service line in our jurisdiction, the installing contractor shall be responsible for the following:

1. Notifying the authority having jurisdiction and the owner’s representative of the time and date testing is to be performed
2. Performing all required acceptance tests below and completing and signing the contractor’s material and test certificate(s)

- **Visual:** All underground piping and joints must be uncovered and exposed, with labeling of the pipe legible from grade. All thrust blocks will be visually inspected and must be uncovered and exposed to grade. Depth of bury of the pipe shall be measured and verified. All ductile iron, retaining rods, and other non-plastic components shall be externally coated for corrosion and poly wrapped.
- **Hydrostatic Test:** Underground piping will have to have passed the visual inspection first. The hydrostatic test will be at 200 psi or at 50 psi in excess of the system working pressure, whichever is greater, and shall maintain that pressure ±5 psi for 2 hours. Testing to be from the gate valve to the top of the spigot. Pressure loss shall be determined by a drop in gauge pressure or visual leakage. Only liquid filled gauge rated for over 200 PSI will be accepted. Time stamped picture of the gauge will need to be provided to the inspector to show when pressure was put on the line.
- **Flush:** Underground piping, from the water supply to the system riser, and lead-in connections to the system riser shall be completely flushed before connection is made to downstream fire protection system piping. This flush needs to be witnessed by ACFR staff. The flushing operation shall be continued for a sufficient time to ensure thorough cleaning. The minimum rate of flow shall be not less than one of the following:

- Hydraulically calculated water demand rate of the system, including any hose requirements
- Maximum flow rate available to the system under fire conditions
- Flow necessary to provide a velocity of 10 ft/sec (preferred method)

Underground Pipe Size (in)	Required Flow Rate (gpm)	Hose/Pipe Sizes					
		2½"	3"	4"	5"	6"	8"
4	390	1	1	1	-	-	-
6	880	2	2	1	1	1	-
8	1560	4	3	2	1	1	1
10	2440	6	4	3	2	1	1
12	3520	8	6	4	2	2	1

Provision shall be made for the proper disposal of water used for flushing or testing. A mechanical method of securing the discharge flushing line(s), (like a Hose Monster, tube hitch adapter/Pipe Vice shall be used). The flushing discharge line shall be mechanically secured. The inspection will be failed immediately if the flushing line is not mechanically secured and creates a dangerous atmosphere. A diffuser attached to the end of the flushing line should be utilized.

- **Pitot Test:** The contractor shall provide all equipment required to take a pitot reading to ensure that all street or isolation valves are open, and the required flow for base of riser is available.

3. After the riser has been flushed and hydrostatically tested, a blank cover shall be installed /secured to cover any/ all open-end risers.

From: [Carla Gutierrez](#)
To: [Alan Sielaff](#)
Subject: Re: Submittal #2 PRC2020-00010 Sherrelwood Village Flg. No.2
Date: Thursday, October 22, 2020 1:25:21 PM

Please be cautious: This email was sent from outside Adams County

Good afternoon Alan,

We need additional information on the emergency access connecting Tract A to North Pecos Street. Will Tract A connect all the way to North Pecos Street? Plans show a side walk and turf landscaping. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e. 85,000 lbs.}, and must have a surface that provides all-weather driving capabilities.

Thank you!

Carla Gutierrez

Adams County Fire Rescue
7980 Elmwood Lane
Denver, CO 80221
O: 303-539-6862

From: Alan Sielaff <ASielaff@adcogov.org>
Date: Wednesday, October 21, 2020 at 10:29 AM
To: Alan Sielaff <ASielaff@adcogov.org>
Subject: Submittal #2 PRC2020-00010 Sherrelwood Village Flg. No.2

Hello,

You are receiving this message because you or someone from your organization previously provided comment and requested revisions or additional information on Adams County development application case PRC2020-00010 Sherrelwood Village Filing No. 2, summarized below. Due to file sizes, review and resubmittal materials are posted on our Current Land Use Case webpage here: www.adcogov.org/planning/currentcases.

Please review the updated application materials and provide further any comments or confirm if previous review comments have been satisfied. Please provide this response by 11/4/20. If you have any questions feel free to contact me.

Thank you,

<https://www.adcogov.org/>" style='position:absolute;margin-left:0;margin-top:80.3pt;width:67.15pt;height:82.05pt;z-index:251661312;visibility:visible;mso-wrap-style:square;mso-width-percent:0;mso-height-percent:0;mso-wrap-distance-left:9pt;mso-wrap-distance-top:0;mso-wrap-distance-right:9pt;mso-wrap-distance-bottom:0;mso-position-horizontal:left;mso-position-horizontal-relative:text;mso-position-vertical:absolute;mso-position-vertical-relative:text;mso-width-percent:0;mso-height-percent:0;mso-width-relative:page;mso-

From: [Carla Gutierrez](#)
To: [Alan Sielaff](#)
Cc: [Christina Marchese](#)
Subject: Re: Submittal #2 PRC2020-00010 Sherrelwood Village Flg. No.2
Date: Thursday, October 29, 2020 10:10:46 AM
Attachments: [image004.png](#)

Please be cautious: This email was sent from outside Adams County

Good morning Alan,

We would need more detailed information on the emergency fire access. The information provided doesn't specify the width or height of driveway cuts and the landscaped turf area does not meet the fire access requirements. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e. 85,000 lbs.}, and must have a surface that provides all-weather driving capabilities.

In regards to the meeting being held on 11/13 at 1:00pm, I think it's a good idea we attend to go over our comments and answer any questions.

Thank you!

Carla Gutierrez

Adams County Fire Rescue
7980 Elmwood Lane
Denver, CO 80221
O: 303-539-6862

From: Alan Sielaff <ASielaff@adcogov.org>
Date: Wednesday, October 28, 2020 at 2:59 PM
To: Carla Gutierrez <cgutierrez@acfpd.org>
Subject: FW: Submittal #2 PRC2020-00010 Sherrelwood Village Flg. No.2

Hi Carla, I passed along your message and received the below response. I'm not sure there's enough detail to definitively determine anything, so if you have specifics on what needs to be shown just include that in a comment response and we can include it with our review comments. I have scheduled a comment review meeting with the applicant for Friday, 11/13 at 1:00-1:45pm, would you like to attend that? It will just be held virtually over Zoom.

<https://www.adcogov.org/>" style='position:absolute;margin-left:0;margin-top:80.3pt;width:67.15pt;height:82.05pt;z-index:251663360;visibility:visible;mso-wrap-style:square;mso-width-percent:0;mso-height-percent:0;mso-wrap-distance-left:9pt;mso-wrap-distance-top:0;mso-wrap-distance-right:9pt;mso-wrap-distance-bottom:0;mso-position-horizontal:left;mso-position-horizontal-relative:text;mso-position-vertical:absolute;mso-position-vertical-relative:text;mso-width-percent:0;mso-height-percent:0;mso-width-relative:page;mso-height-relative:page' o:button="t"> **Alan Sielaff, AICP**
Planner II, *Community & Economic Development Department*
[ADAMS COUNTY, COLORADO](#)
4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Referral Comments - ACFR

From: [Carla Gutierrez](#)
To: [Alan Sielaff](#)
Subject: Re: Submittal #3 PRC2020-00010 Sherrelwood Village Flg. No.2
Date: Monday, December 28, 2020 12:37:26 PM

Please be cautious: This email was sent from outside Adams County

Good morning Alan,

The outstanding comments have been addressed.

Thank you!

Carla Gutierrez

Adams County Fire Rescue
7980 Elmwood Lane
Denver, CO 80221
O: 303-539-6862

From: [Loeffler - CDOT, Steven](#)
To: [Alan Sielaff](#)
Cc: [Bradley Sheehan - CDOT](#)
Subject: Re: PRC2020-00010 Request for Comments - Sherrelwood Village Fig. No.2
Date: Friday, June 12, 2020 6:45:58 AM

Please be cautious: This email was sent from outside Adams County

Alan,

I have reviewed the referral for Sherrelwood Village #2 and the proposal to build 48 new townhomes on property located near 79th and Pecos Street and have no objections. This development should have minimal impact to any state highways in the area.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

Referral Comments - CDPHE

From: [Localreferral - CDPHE, CDPHE](#)
To: [Alan Sielaff](#)
Subject: Re: PRC2020-00010 Request for Comments - Sherrelwood Village Flg. No.2
Date: Friday, June 12, 2020 9:32:09 AM

Please be cautious: This email was sent from outside Adams County

Thank you for contacting to the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.



Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

Hazardous and Solid Waste

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:
<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:
<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:
<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing comments.hmwm@state.co.us or calling 303-692-3320.

Water Quality

The applicant must comply with all applicable water quality rules and regulations. The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:
<https://www.colorado.gov/pacific/cdphe/water-quality-control-commission-regulations>.



Clean Water Requirements

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://www.colorado.gov/pacific/cdphe/cor400000-stormwater-discharge>

or contact:

[Email: cdphe_ceos_support@state.co.us](mailto:cdphe_ceos_support@state.co.us) or cdphe_wqcd_permits@state.co.us

[CEOS Phone: 303-691-7919](tel:303-691-7919)

[Permits Phone: 303-692-3517](tel:303-692-3517)

Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:

(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.

(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. For questions regarding drinking water regulation applicability or other assistance and resources, visit this website:

<https://www.colorado.gov/pacific/cdphe/tools-drinking-water-facilities-managers>



If you have any other questions regarding either clean or drinking water quality, please contact CDPHE’s WQCD by emailing cdphe.commentswqcd@state.co.us or calling 303-692-3500.

Air Quality

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here: <https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

Air Pollutant Emissions Notices (APENs) and Permits

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: http://www.colorado.gov/airquality/ss_map_wm.aspx.

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulation by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.



It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado’s APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

Asbestos and Lead-Based Paint

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbestos>

and the following website for lead-based paint: <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.



If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing cdphe.commentsapcd@state.co.us or calling 303-692-3100.

Health Equity and Environmental Justice

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)

[CDPHE's Checking Assumptions to Advance Equity](#)

[EPA's Environmental Justice and NEPA Resources](#)





June 17, 2020

Alan Sielaff, AICP
 Adams County Development Services Division
 Transmission via email: asielaff@adcogov.org

Re: Sherrelwood Village Subdivision (Filing No. 2)
 Case No. PRC2020-00010
 Part of the SW ¼ SE ¼ of Sec. 28 and NW ¼ NE ¼ of Sec. 33, T2S, R68W, 6th P.M.
 Water Division 1, Water District 2

Dear Alan Sielaff:

We have reviewed the above-referenced proposal to rezone two parcels located at located at 7996 and 8000 Pecos St from residential to planned unit development (PUD), a preliminary major subdivision, and a preliminary major PUD amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD (located at 7840 Pecos St). The land area subject of this proposal is 3.29 acres, including 2.2 acres of additional land to the existing PUD (the combined land area being 10.351 acres). The proposal involves subdividing the subject land into two tracts, Tracts A and B, and 45 lots to allow for the development of approximately 48 new townhomes.

Water Supply Demand

Estimated water requirements and proposed uses were not provided for this subdivision.

Source of Water Supply

As a copy of a will serve letter from the City of Thornton ("City") was included in the submitted material, it is assumed that the City is the proposed water supply source. The letter from the City dated July 10, 2017 was previously provided in the referral materials for Sherrelwood Village Filing No. 1 (PRC2016-00008). The letter indicates that the City has adequate capacity to provide water to the development; however the City reserves the right to suspend issuance of new water taps and connections indefinitely due to drought, emergency, or lack of available water resources. The letter is valid for a period of one year. This office has not received an updated letter or information that the City is committed to serving the new lots of the subdivision in this filing.

According to an April 5, 2018 letter from the City they have numerous water rights that divert from the South Platte River and Clear Creek as well as transmountain and native rights from the Cache la Poudre River. They also operate several reservoirs along the South Platte River that are utilized to store and regulate these water rights. According to the letter, the Clear Creek and South Platte water rights provide an annual firm yield of approximately 32,500 acre-feet. In addition, they are currently working on a project to transport their Cache la Poudre rights to Thornton. Once this project is complete Thornton estimates an annual firm yield of approximately 51,000 acre-feet total. In 2017, Thornton's total annual demand was approximately 25,000 acre-feet and the estimated annual demand for all existing commitments within the City service area is 30,000 acre-feet.



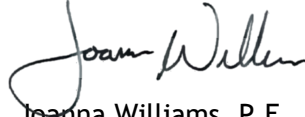
State Engineer's Office Opinion

Based on the above and pursuant to section 30-28-136(1)(h)(II), C.R.S., the State Engineer's Office has not received enough information to render an opinion regarding the potential for causing material injury to decreed water rights, or the adequacy of the proposed water supply. **Prior to further review of the subdivision water supply plan the following information is required:**

1. A completed Water Supply Information Summary Sheet (GWS-76), or report, that specifies the proposed uses and water requirements for the subdivision.
2. A letter of commitment from the City to serve the new lots of the proposed subdivision.

If you or the applicant have any questions, please contact Wenli Dickinson at 303-866-3581 x8206 or via email at wenli.dickinson@state.co.us.

Sincerely,

A handwritten signature in black ink that reads "Joanna Williams". The signature is written in a cursive, flowing style.

Joanna Williams, P.E.
Water Resources Engineer

Ec: Subdivision file no. 27178



October 26, 2020

Alan Sielaff, AICP
Adams County Development Services Division
Transmission via email: asielaff@adcogov.org

Re: Sherrelwood Village Subdivision (Filing No. 2)
Case No. PRC2020-00010
Part of the SW ¼ SE ¼ of Sec. 28 and NW ¼ NE ¼ of Sec. 33, T2S, R68W, 6th P.M.
Water Division 1, Water District 2

Dear Alan Sielaff:

We have reviewed the above-referenced proposal to rezone two parcels located at 7996 and 8000 Pecos St from residential to planned unit development (PUD), a preliminary major subdivision, and a preliminary major PUD amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD (located at 7840 Pecos St). The land area subject of this proposal is 3.29 acres, including 2.2 acres of additional land to the existing PUD (the combined land area being 10.351 acres). The proposal involves subdividing the subject land into two tracts, Tracts A and B, and 45 lots to allow for the development of 47 new townhomes. Our office previously commented on this subdivision proposal on June 17, 2020.

Water Supply Demand

Estimated water requirements and proposed uses were not provided for this subdivision.

Source of Water Supply

There are no permitted wells on the subject property. The proposed water supply source is service provided by the City of Thornton ("City"). A letter from the City dated July 10, 2017 was previously provided in the referral materials for Sherrelwood Village Filing No. 1 (PRC2016-00008). The letter indicates that the City has adequate capacity to provide water to the development; however the City reserves the right to suspend issuance of new water taps and connections indefinitely due to drought, emergency, or lack of available water resources. Another letter from the City dated September 14, 2020 confirms that service is available for the proposed development provided that service connections are paid for by the developer and that the property owner comply with the City's ordinances.

According to an April 5, 2018 letter from the City they have numerous water rights that divert from the South Platte River and Clear Creek as well as transmountain and native rights from the Cache la Poudre River. They also operate several reservoirs along the South Platte River that are utilized to store and regulate these water rights. According to the letter, the Clear Creek and South Platte water rights provide an annual firm yield of approximately 32,500 acre-feet. In addition, they are currently working on a project to transport their Cache la Poudre rights to Thornton. Once this project is complete Thornton estimates an annual firm yield of approximately 51,000 acre-feet total. In 2017, Thornton's total annual demand was approximately 25,000 acre-feet and the estimated annual demand for all existing commitments within the City service area is 30,000 acre-feet.



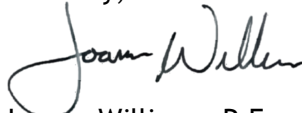
State Engineer's Office Opinion

Based upon the above and pursuant to sections 30-28-136(1)(h)(I) and 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights, **as long as the City is committed to supply water to the lots.**

According to the submitted material, there is a pond on the subject property that will be expanded as part of the development to receive drainage from this development. The applicant should be aware that unless the structure(s) meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), C.R.S, the structure may be subject to administration by this office. The applicant should review [DWR's Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#), to ensure that the notification, construction and operation of the proposed structure(s) meet statutory and administrative requirements. The applicant is encouraged to use [Colorado Stormwater Detention and Infiltration Facility Notification Portal](#) to meet the notification requirements.

If you or the applicant have any questions, please contact Wenli Dickinson at 303-866-3581 x 8206 or via email at wenli.dickinson@state.co.us.

Sincerely,



Joanna Williams, P.E.
Water Resources Engineer

Ec: Subdivision file no. 27178

Referral Comments - CGS
COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

July 2, 2020

Alan Sielaff, AICP
Adams County Community & Economic Development
ASielaff@adcogov.org

Location:
SW SE Section 28, and
NW NE Section 33,
T2S, R68W, 6th P.M.
39.8416, -105.0052

**Subject: Sherrelwood Village Filing No. 2
Rezone (R-1-C to PUD), Preliminary Major Subdivision, and Prelim Major PUD Amendment
Project Number PRC2020-00010; Adams County, CO; CGS Unique No. AD-20-0020**

Dear Mr. Sielaff:

Colorado Geological Survey has reviewed the Sherrelwood Village Filing No. 2 rezone, preliminary major subdivision, and preliminary major PUD amendment referral. I understand the applicant proposes 48 townhomes on 2.2 acres located adjacent to and north of Sherrelwood Village, physical address 7996 and 8000 Pecos Street. CGS reviewed the existing Sherrelwood Village site at major subdivision (preliminary plat), PDP (PUD-P), and rezoning (R-1-C to PUD), project number PRC2015-00014, on September 28, 2015.

The site does not contain steep slopes, is located in an "Area of Minimal Flood Hazard," is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed residential use and density. **Colorado Geological Survey therefore has no objection to approval of the proposed rezone, plat, and PUD amendment.**

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publications 5-A, Plate 2, and 5-B, Arvada Quadrangle, 1974), the subject property does not contain a mapped aggregate resource.

Existing building, pavements, fencing, etc. All building materials, foundations, utilities, pavements, etc. associated with the existing improvements must be completely demolished, removed and disposed of offsite, not graded into the existing fill.

All fill material encountered during site grading and within utility trenches and building foundation excavations should be removed or, if suitable for reuse (free of debris, organics, and contamination), reworked and replaced as a properly water conditioned and compacted, clean structural fill.

Soil and bedrock engineering properties. According to available geologic mapping (Lindvall, R.M, 1979, Geologic map of the Arvada quadrangle, Adams, Denver, and Jefferson Counties, Colorado: U.S. Geological Survey, Geologic Quadrangle Map GQ-1453, scale 1:24,000), most of the site is underlain by loess (wind-deposited sandy silt and clay). Loess deposits commonly exhibit collapse under wetting and loading but, depending on the clay content, can also exhibit shrink/swell (volume changes in response to changes in water content). The surficial soils are underlain at very shallow depths (near-surface toward the eastern portion of the site) by Denver formation interbedded sandstone, claystone, siltstone, shale and conglomerate. Claystone can exhibit low strength at high water content, very high swell potential and, if

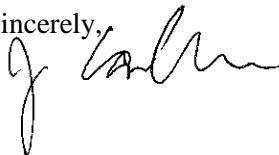
Alan Sielaff, AICP
July 2, 2020
Page 2 of 2

present at or near foundation depths, can cause significant damage to foundations and homes if not properly identified and mitigated.

Building-specific geotechnical investigations and analysis will be needed, once building locations are finalized, to identify the depth and extent of fill material, determine depths to bedrock and seasonal groundwater levels, and to characterize soil and bedrock engineering properties such as expansion/consolidation potential, density, strength, and allowable bearing pressures. This information is needed to determine subgrade preparation requirements, to design individual foundations, foundation perimeter drains and floor systems, and to determine the site's suitability for basements, if planned.

Corrosive soils. Adams County Soil Survey data indicate that local soils are moderately to highly corrosive to uncoated steel. Disturbance tends to increase corrosivity. The need for corrosion protection should be evaluated as part of the geotechnical investigation. On lots where groundwater levels are sufficiently deep to allow basement construction, epoxy-coated, fiberglass, plastic/composite, concrete, or otherwise corrosion-resistant or corrosion-proof window wells are recommended.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,


Jill Carlson, C.E.G.
Engineering Geologist

From: [Woodruff, Clayton](#)
To: [Alan Sielaff](#)
Subject: RE: PRC2020-00010 Request for Comments - Sherrelwood Village Flg. No.2
Date: Thursday, June 25, 2020 8:26:10 AM
Attachments: [PRC2020-00010-rfc with comment.pdf](#)
[boarding_areas.pdf](#)

Please be cautious: This email was sent from outside Adams County

Alan,

I have attached a drawing with our comment and also our standard bus boarding area diagrams for your use.

Thank you,



C. Scott Woodruff
Engineer III
Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202
o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com

From: Alan Sielaff <ASielaff@adcogov.org>
Sent: Thursday, June 11, 2020 4:47 PM
To: Alan Sielaff <ASielaff@adcogov.org>
Subject: PRC2020-00010 Request for Comments - Sherrelwood Village Flg. No.2

Greetings,

The Adams County Planning Commission is requesting comments on the following development application:

- 1) Rezone two parcels from R-1-C to PUD.**
- 2) Preliminary Major Subdivision, and;**
- 3) Preliminary Major PUD Amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD.**

This request is located at 7996 & 8000 Pecos St. The Assessor's Parcel Numbers are 0171928400003, 0171933100009, 0171933124036, 0171933124037, 0171933124038, 0171933124039, 0171933124057, 0171933124058

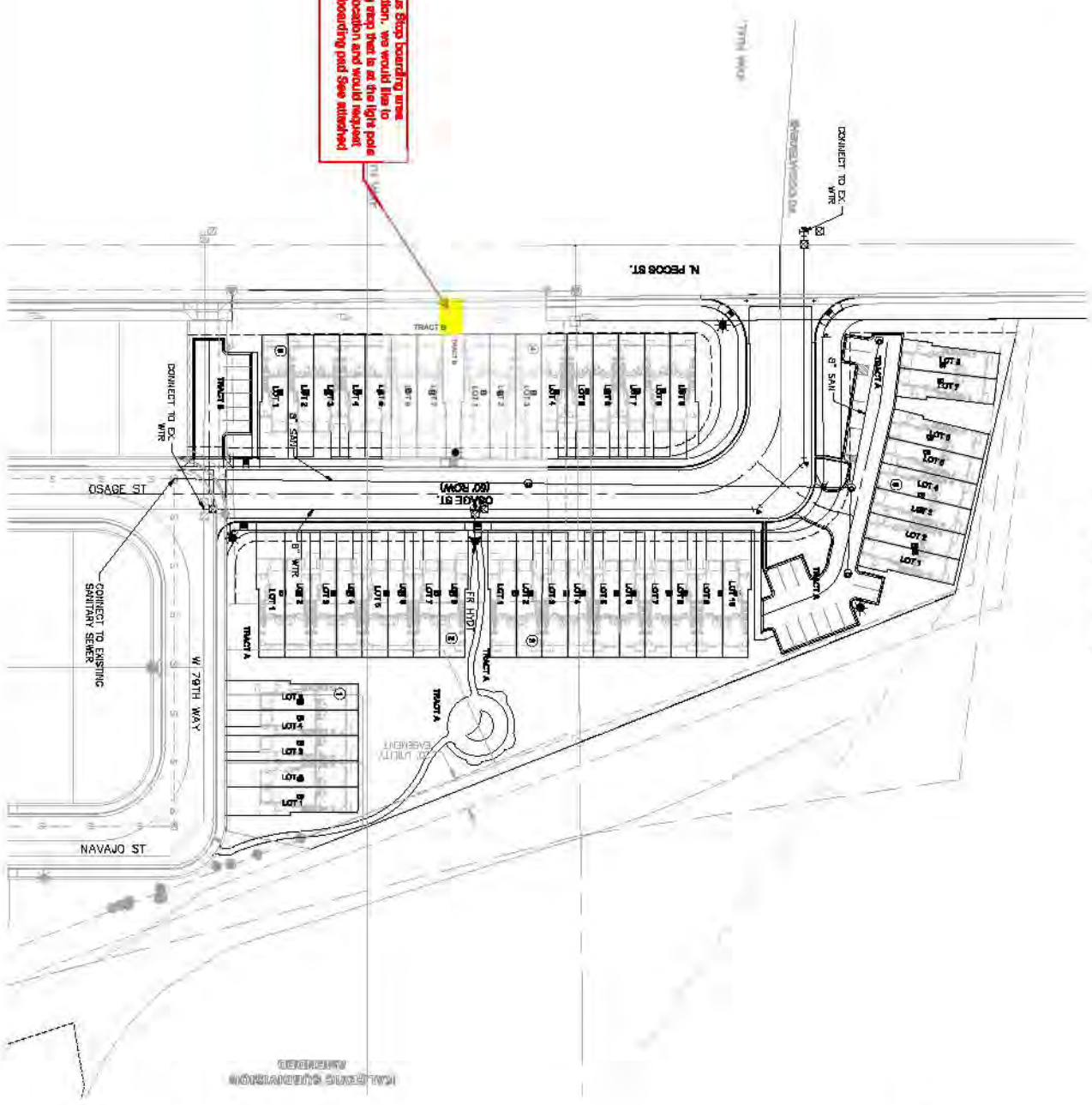
Applicant Information: DELWEST DEVELOPMENT CORP
CRAIG FITCHETT
155 MADISON ST STE 155
DENVER, CO 80209

Please forward any written comments on this application to the Community and Economic

Referral Comments - RTD

- LEGEND, DISTING**
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - SET NAIL AND TAG PLS 38151
 - FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
 - FOUND #4 REBAR, NO CAP PLS 34579
 - FOUND NAIL AND BRASS TAG PLS 34579
 - ✦ FOUND CHISELED CROSS
 - DECIDUOUS TREE & DIAMETER
 - E— ELECTRIC UTILITY MARKING
 - G— GAS UTILITY MARKING
 - ⊗ GAS VALVE
 - O— OVERHEAD UTILITY LINE
 - ⊕ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊕ SANITARY SEWER MANHOLE
 - W— WATER UTILITY MARKING
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ SIGN
 - ⊕ CHAINLINK FENCE
 - ⊕ WOOD FENCE
 - ⊕ AREA OF CONCERN
- LEGEND PROPOSED**
- P— PROPOSED WATER
 - S— PROPOSED SANITARY
 - ST— PROPOSED STORM

RTD would like a bus stop boundary area highlighted at this location. we would like to relocate the existing sign that is at the light pole to the south to this location and would require the installation of a bounding post. See attached Diagrams.



PRELIMINARY DEVELOPMENT PLAN
7996 & 8000 PECOS STREET
 PART OF THE NORTH-EAST QUARTER, SECTION 23, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 ADAMS COUNTY, STATE OF COLORADO
 PROJECT NO.: EBR 2020-000X



7996 & 8000 PECOS STREET
MAJOR PUD AMENDMENT
OVERALL SITE & UTILITY PLAN

DATE DATE	DATE DATE
BY BY	BY BY
SCALE SCALE	SCALE SCALE
SHEET SHEET	SHEET SHEET

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 NATURAL RESOURCES
 LAND SURVEYING

3025 W. 60th Ave
 1850 W. Littleton Blvd., Bldg. 100
 Littleton, CO 80120

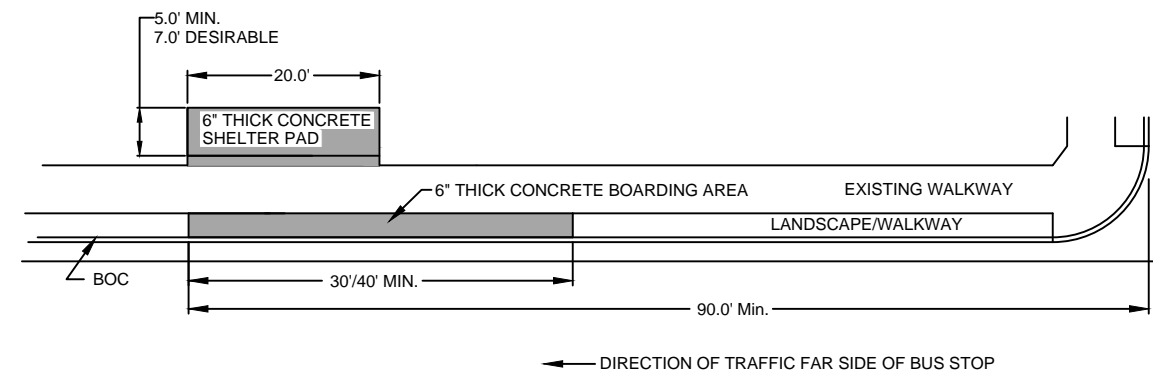
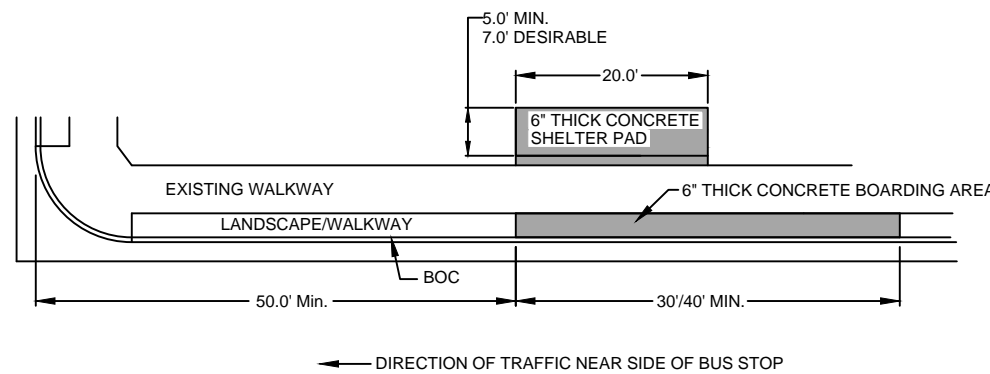
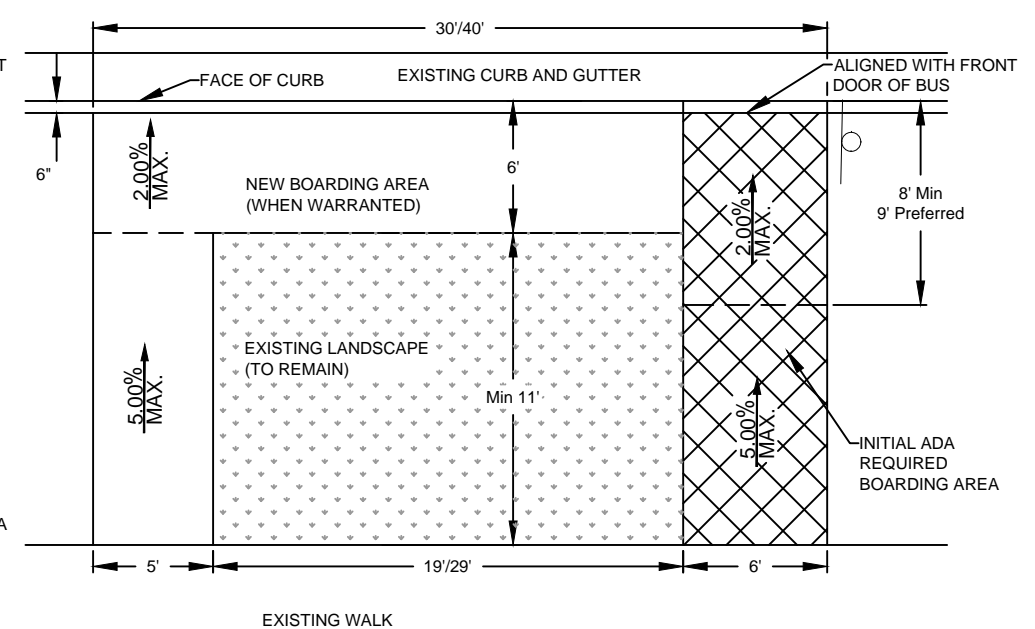
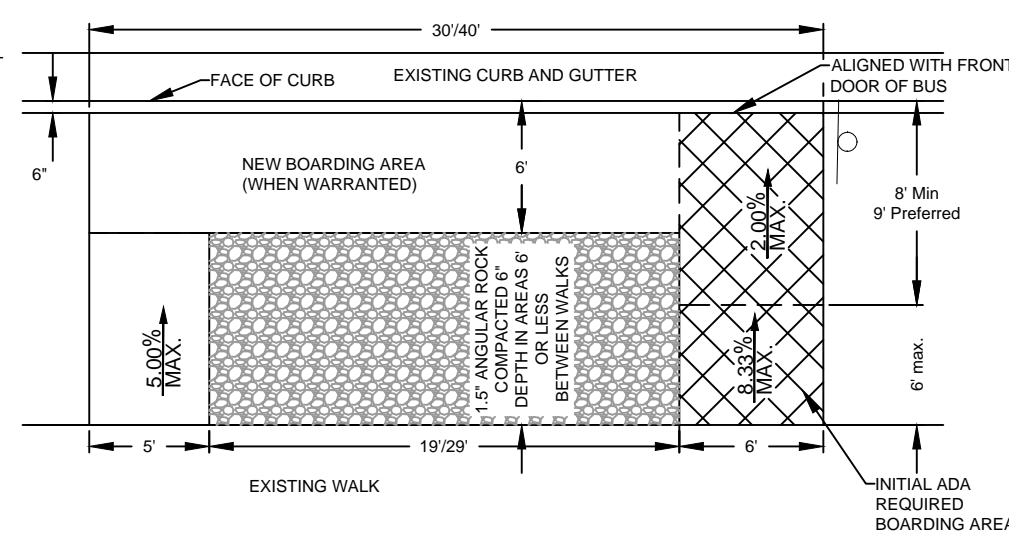
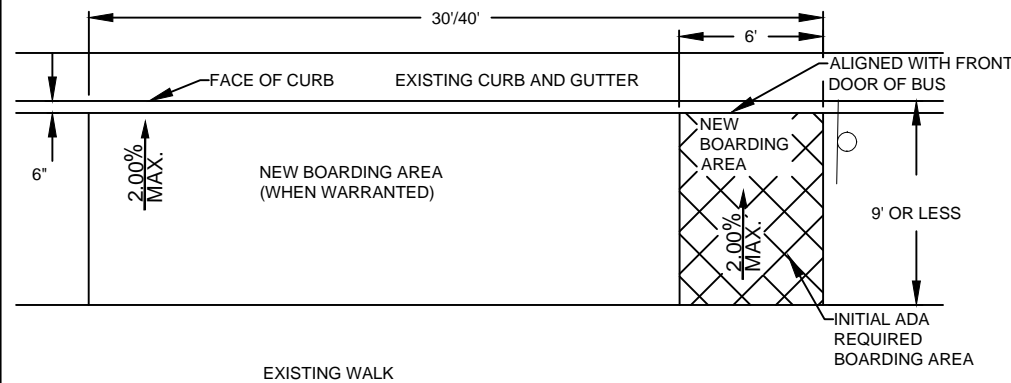
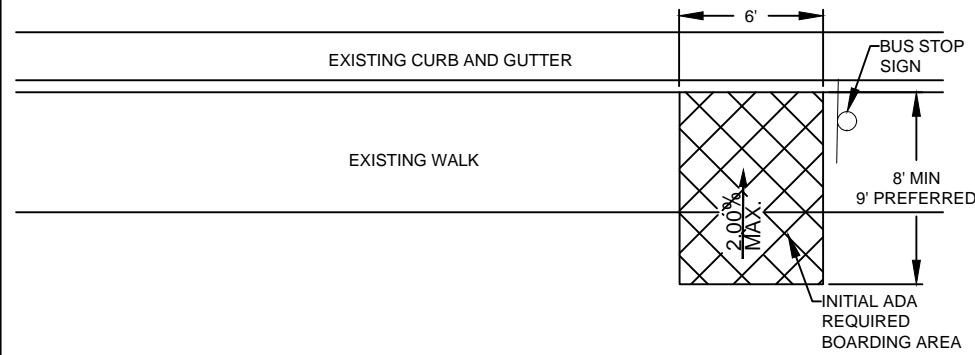
REVISIONS	
Date	Description
XX/XX/2015	FIRST SUBMITTAL

K:\CAD Library\StdDrawngSet\2015 Bus Std Dwgs\SD-C120-BsStpLyr-2016.dwg, 6/10/2016 10:11:08 AM, _AutoCAD PDF (General Documentation).pc3

NOTES:

Referral Comments - RTD

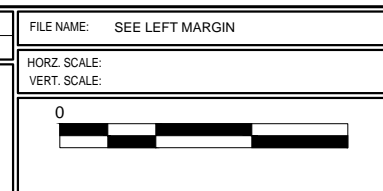
1. FAR SIDE BUS STOPS ARE PREFERRED.
2. BUS STOP LOCATIONS SHALL BE COORDINATED WITH RTD SERVICE PLANNING AND LOCAL AGENCIES.
3. BUS PAD INSTALLATION IS DETERMINED BY PAVING DESIGN, SOIL, AND SUBGRADE CONDITIONS, PREFERENCES OF LOCAL AGENCIES, AND FUNDING AVAILABILITY.
4. WIDTH OF BOARDING AREA CONCRETE BOARDING PAD SHALL BE 9' WHEN EXISTING ROW IS AVAILABLE, OTHERWISE A MINIMUM WIDTH OF 8' IS REQUIRED.
5. CONCRETE SHALL BE A MINIMUM THICKNESS OF 6".
6. A 6" THICK CONCRETE SHELTER PAD SHALL BE PROVIDED 20' IN LENGTH AND 5' MINIMUM (7' DESIRABLE) FOR PLACEMENT OF BUS SHELTER, SET BACK A MINIMUM OF 8' (9' DESIRABLE) TO ALLOW FOR DEPLOYMENT OF LIFTS FROM BUSES FOR THE AID OF DISABLED PASSENGERS.
7. FAR SIDE BUS STOPS SHALL HAVE FRONT OF BOARDING AREA PLACED 90' MINIMUM FROM FACE OF CURB OF THE EXISTING CROSS STREET.
8. NEAR SIDE BUS STOPS SHALL HAVE FRONT OF BOARDING AREA PLACED 50' MINIMUM FROM FACE OF CURB OF THE EXISTING CROSS STREET.
9. CONCRETE BOARDING AREA SHALL BE PROVIDED ENTIRE 30'/40' FROM FACE OF EXISTING WALK TO BACK OF CURB WHEN BUS SHELTER IS INSTALLED.



NO.	REVISIONS	BY	DATE

DESIGNED BY: --	DATE: #####	CHECKED BY: JS	DATE: #####
DRAWN BY: ##	DATE: #####	APPROVED BY: HJS	DATE: #####

FILE NAME: SEE LEFT MARGIN
HORIZ SCALE: 0
VERT SCALE: 0



BUS INFRASTRUCTURE STANDARD DRAWINGS
REGIONAL TRANSPORTATION DISTRICT

CIVIL
BUS STOP LAYOUT

SHEET REFERENCE NUMBER:
SD-C101
08 OF 68

From: [Clayton Woodruff](#)
To: [Alan Sielaff](#)
Subject: RE: Submittal #3 PRC2020-00010 Sherrelwood Village Flg. No.2
Date: Monday, January 4, 2021 4:44:40 PM

Please be cautious: This email was sent from outside Adams County

The RTD has no comments on this plan the relocated bus stop location works for RTD we just need to make sure that the bus stop meets the ADA guidelines.

Thank you



C. Scott Woodruff

Engineer III

Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com



July 6, 2020

Alan Sielaff
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Sherrelwood Village Filing 2, PRC2020-00010
TCHD Case No. 6316

Dear Mr. Sielaff,

Thank you for the opportunity to review and comment on the Rezoning, Major Subdivision Plat, and Minor Amendment to construct 48 new townhomes on 2.2 acres adjacent and to the north of the Sherrelwood Village development located at 7996 and 8000 Pecos Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

- A system of sidewalks, bike paths and open space trail networks that are well-designed and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
- Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
- Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.
- Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
- Bicycle facilities and racks are provided in convenient locations.

Healthy building design standards:

Sherrelwood Village Filing 2

July 6, 2020

Page 2 of 3

Building design can impact health in several ways including through the materials used and the amount of volatile organic compounds (VOCs) or other harmful chemicals that they contain, the air and water quality, the amount of daylight available, and even by encouraging physical activity and social interaction. TCHD encourages the applicant to consider incorporating design standards into the development to ensure a health-promoting environment. The applicant could pursue building certifications such as LEED, WELL Building Standard, Certified Healthy, or Living Building Challenge.

Connection to nearby bus stop or transit station:

It appears that the subject property is within 100 feet to bus stop Pecos Street and W 79th Way. Since research has shown that people who use transit regularly gain tremendous health benefits, TCHD encourages the applicant to consider providing a safe and direct connection to the transit stop. This could include designing the onsite pedestrian facilities to easily facilitate walking from the site to the nearby transit stop.

Connection to nearby trails

TCHD recommends that the applicant provide a direct connection from the internal pedestrian circulation system to the adjacent trail on Orchard Drive that goes around the development site.

Radon

Radon is a naturally occurring radioactive gas that is present at high levels in all parts of Colorado due to the presence of uranium in the soil. Radon can enter homes and long-term exposure causes lung cancer. In order to prevent radon from infiltrating the home, TCHD recommends designing new homes so that they are radon resistant. This includes laying a barrier beneath the flooring system, installing a gas-tight venting pipe from the gravel level through the roof, and sealing and caulking the foundation thoroughly. More information regarding radon and radon-resistant construction techniques can be found here:

<https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

Building Demolition

Fugitive Dust, Lead, and Asbestos

The application indicates that the existing vacant building on the site will be demolished.

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If asbestos is present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <http://www.cdphe.state.co.us/ap/asbestos>.

Buildings constructed prior to 1978 may contain lead paint. Environmental Protection Agency's (EPA) 2008 Lead-Based Paint Renovation, Repair and Painting (RRP) Rule (as amended in 2010 and 2011), aims to protect the public from lead-based paint hazards associated with renovation, repair and painting activities. These activities can create hazardous lead dust when surfaces with lead paint, even from many decades ago, are disturbed. More information can be found here <https://www.epa.gov/lead/lead-renovation-repair-and-painting-program-rules> and

Sherrelwood Village Filing 2
July 6, 2020
Page 3 of 3

<https://www.epa.gov/lead>. The applicant may contact, and the Environmental Protection Agency EPA at 1-800-424-5323 for more information.

Attainable Housing

Access to safe, attainable housing is directly associated with positive physical and mental health outcomes and underlies one's ability to access jobs, food, medical services, and other essentials that are vital to well-being. Providing permanent supportive housing is an integral element of promoting health in our communities. TCHD supports projects that include an attainable housing component.

Please feel free to contact me at 720-200-1537 or pmoua@tchd.org if you have any questions about TCHD's comments.

A handwritten signature in black ink, appearing to be 'Pang Moua', with a stylized, flowing script.

Sincerely,

Pang Moua, MPP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD

From: [Pang Moua](#)
To: [Alan Sielaff](#); [Katie Keefe](#); [Warren Brown](#); jennifer.reynolds@state.co.us
Cc: [Land Use](#); [Kathleen Boyer](#); [Annemarie Heinrich](#)
Subject: RE: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?
Date: Friday, January 29, 2021 9:21:02 AM
Attachments: [image007.png](#)

Please be cautious: This email was sent from outside Adams County

Alan,

Yes, go ahead and remove the condition of approval. Please continue with my original comment letter. Thank you everyone for taking time to look into this.

Pang Moua
she/her/hers
Land Use and Built Environment Specialist
Tri-County Health Department
6200 S Willow Dr
Suite 100
Greenwood Village, CO 80111
pmoua@tchd.org
Office 720.200.1537
Cell 720.519.2505

From: Alan Sielaff [mailto:ASielaff@adcogov.org]
Sent: Friday, January 29, 2021 8:53 AM
To: Katie Keefe <KKeefe@adcogov.org>; Warren Brown <wbrown@tchd.org>; Pang Moua <pmoua@tchd.org>; jennifer.reynolds@state.co.us
Subject: RE: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?

Great thank you Katie. Sounds like there's minimal concern then all around, and the developer did recently provide a Geotech report that Pang and Warren just reviewed which found no evidence of contamination.

Pang, Warren, seeing this information below from CDPHE. Are we all comfortable then moving forward without further study? If so, I'll remove this drafted condition of approval I had included in my draft staff report.

Recommended Conditions of Approval:

1. The applicant shall provide any requested additional study or documentation of the Tri-County Health Department as part of the final development plan to address potential environmental concerns associated with a possible historic landfill in the area.

Thanks,

<https://www.adcogov.org/>" style='position:absolute;margin-left:0;margin-top:0;width:67.5pt;height:81.75pt;z-index:251662336;visibility:visible;mso-wrap-style:square;mso-width-percent:0;mso-height-percent:0;mso-wrap-distance-left:9pt;mso-wrap-distance-top:0;mso-wrap-distance-right:9pt;mso-wrap-distance-bottom:0;mso-position-horizontal:left;mso-position-horizontal-relative:text;mso-position-vertical:absolute;mso-position-vertical-relative:line;mso-width-percent:0;mso-height-percent:0;mso-width-relative:page;mso-height-relative:page' o:allowoverlap="f" o:button="t"> **Alan Sielaff, AICP**
Planner II, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601
P: 720.523.6817 | Department: 720.523.6800
asielaff@adcogov.org | www.adcogov.org

Department operating are hours Tuesday through Friday, 7 a.m. to 5:30 p.m. [more information is available on our website.](#) [Access Adams Online](#) to take care of many services remotely, and find other [department schedules and information here.](#)

From: Katie Keefe <KKeefe@adcogov.org>
Sent: Thursday, January 28, 2021 6:26 PM
To: Alan Sielaff <ASielaff@adcogov.org>
Subject: FW: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?

Alan,

Just noticed Jennifer didn't include you in the following email regarding landfill regards around 8000 Pecos St.

Katie Keefe

Environmental Program Manager, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601
o: 720.523.6986 | kkeefe@adcogov.org
www.adcogov.org

Adams County buildings will be closed Tuesday, Dec. 1 through Monday, Jan. 4, with staff working and providing all services remotely during the building closure.

County operating hours are Tuesday through Friday, 7 a.m. to 5:30 p.m. Staff are working flexible schedules to accommodate operating hours, however, my office hours and availability remain Monday – Friday, 8 a.m. to 4:30 p.m.

From: Reynolds - CDPHE, Jennifer <jennifer.reynolds@state.co.us>
Sent: Tuesday, January 12, 2021 8:00 AM
To: Katie Keefe <KKeefe@adcogov.org>
Subject: Fwd: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?

Please be cautious: This email was sent from outside Adams County

Good morning Katie,

Curt and I looked into this email, and checked our records and closed landfill database. We didn't find anything located at/by 8000 N Pecos in our records. That does not mean that there isn't anything there, but that we don't show anything in our records. Do you know if the developer did a Phase I Site Assessment or geotechnical investigation?

----- Forwarded message -----

From: **Comments - CDPHE, HMWMD** <comments.hmwmd@state.co.us>
Date: Mon, Jan 11, 2021 at 10:26 AM
Subject: Fwd: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?
To: Jennifer Reynolds - CDPHE <jennifer.reynolds@state.co.us>

Hi, Jenny -

If you have any information on this, it would be appreciated. Thanks so much!

Caren

Customer Technical Assistance


HMWMD-B2, 4300 Cherry Creek Drive South, Denver, CO 80246-1530
P 303.692-3320 | F 303-759-5355
comments.hmwmd@state.co.us | www.colorado.gov/cdphe/hm

----- Forwarded message -----

From: **Alan Sielaff** <ASielaff@adcogov.org>



Referral Comments - TCHD

Date: Fri, Jan 8, 2021 at 4:13 PM

Subject: Citizen comment - former landfill near 8000 Pecos St. - Sherrelwood Park?

To: Pang Moua <pmoua@tchd.org>, comments.hmwmd@state.co.us
<comments.hmwmd@state.co.us>

Cc: Katie Keefe <KKeefe@adcogov.org>, Localreferral - CDPHE, CDPHE
<cdphe_localreferral@state.co.us>

Hello,

As part of a previous case referral for a proposed residential development (case # PRC2020-00010 Sherrelwood Village Flg. No. 2), I was just informed I received this attached letter in which a nearby resident discussed a former landfill site at what is today Sherrelwood Park and has concerns about new development possibly disturbing hazardous waste beneath the site. I do not show we have it identified as a former landfill, and previous referral comments did not state as much, but it looks like the resident has previously researched old landfills with CDPHE and provided additional information with the letter. I just wanted to ask on how you'd recommend responding or addressing this concern, and if it would impact any past review of this development? Attached are the previous comments for reference.

Unfortunately the letter appears to have sat in my mailbox in the office for a couple of months now since I've been working from home due to Covid, but the case is still currently under review.

Thanks for any guidance,

Alan Sielaff

Planner II, Development Services
Community & Economic Development Dept.
P: 720.523.6817 | asielaff@adcogov.org

--

Jennifer Reynolds, MPH
Environmental Protection Specialist

Solid Waste Compliance Assurance Unit

I am currently working remotely, email is the best way to reach me.
You can also call me at Google Voice number: 720-598-2831
P 303.692.3408
4300 Cherry Creek Drive South, Denver, Colorado 80246-1530
Jennifer.Reynolds@state.co.us | www.colorado.gov/cdphe

Referral Comments - Thornton Fire

From: [Dan Biro](#)
To: [Alan Sielaff](#)
Subject: RE: PRC2020-00010 Request for Comments - Sherrelwood Village Flg. No.2
Date: Sunday, June 14, 2020 5:06:10 PM
Attachments: [image001.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)

Please be cautious: This email was sent from outside Adams County

Alan,

No comments on this review.

Thanks,
Dan



Dan Biro, P.E.

DEPUTY FIRE MARSHAL

Thornton Fire Department

Main: 303-538-7602

Office: 303-538-7663

Fax: 303-538-7660

dan.biro@ThorntonCO.gov

gocot.net/fire





Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

July 2, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Alan Sielaff

Re: Sherrelwood Village F2, Case # PRC2020-00010

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Sherrelwood Village F2** and has a **conflict** in that there are no utility easements for electric distribution facilities. PSCo requests 8-foot wide utility easements within all lots abutting the rear lot lines.

Please be aware PSCo owns and operates existing underground and overhead electric distribution facilities within the rezone area and has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

November 7, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Alan Sielaff

Re: * AMENDED RESPONSE *
Sherrelwood Village F2 – 2nd referral, Case # PRC2020-00010

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Sherrelwood Village F2** and requests minimum 10' wide dry utility easements along all public rights-of-way. Please note that anything less will not accommodate all dry utilities which can include multiple feeder lines.

Please also note that the will-serve letter is *not a referral response* to this case.

Please be aware PSCo owns and operates existing underground and overhead electric distribution facilities within the rezone area and has no objection to this proposed rezone, contingent upon PSCo's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

Comment response requested.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

January 8, 2021

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Alan Sielaff

Re: Sherrelwood Village Filing No. 2 – 3rd referral, Case # PRC2020-00010

Public Service Company of Colorado's Right of Way & Permits Referral Desk has no additional comments or concerns to what has previously been conveyed for **Sherrelwood Village F2**.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



October 15, 2020

Alan Sielaff, AICP
Adams County Community & Economic Development Department
4430 S Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601

RE: Project Number: Rezone, Minor Subdivision, PUD-PDP Amendment (PRC2020-00010)
Plat Correction (PLT2020-00015)
Project Name: Sherrelwood Village Filing No. 2

Dear Mr. Sielaff,

On behalf of Delwest Homes, Terracina Design, and Core Consultants, we have reviewed the comments dated July 13, 2019 and the associated referral comments for Elmwood Estates (Sherrelwood Village Filing No. 2). The application package attached, including a response to comments, is for your review.

Development Review Team Comments

Commenting Division: Planning Review
Name of Reviewer: Alan Sielaff, Planner II
Email: ASielaff@adcogov.org / 720-523-6817
Review Status: Resubmittal Required

PLN01: Application Formatting and General Comments

1. A Major PUD Amendment requires a repeat of the full PUD process. This is a two-phased review requiring a Preliminary Development Plan (PDP) followed by a Final Development Plan (FDP). The submitted documents included plans that had both titles applied (PDP and FDP), plans that were not labeled as either, and in some cases inconsistencies between the submitted plan sets. Please ensure consistent plans that are correctly titled with the next submittal. Additional comments on final formatting and content will likely come with a streamlined resubmittal. **RESPONSE: We understand the PDP and FDP are separate processes. PDP is being submitted this round with a lot of information taken from the previously approved FDP for single family.**
2. The entire original Sherrelwood Village Preliminary PUD (which is a PDP) needs to be amended with this application to encompass the entire 10.35 acre site.
 - a. See submittal requirements included in Preliminary PUD Application for additional items needed. It is recognized this included additional detail compared to the general PUD Amendment application. **RESPONSE: Information required for a Preliminary PUD/PDP is included in resubmittal.**
 - b. The original Sherrelwood Village (then titled 7840 Pecos Street) PDP has been included for reference. This document will need to be recreated or otherwise added on to as Amendment 1 while preserving the elements of the existing PUD. **RESPONSE: Original PDP is modified to include new townhomes.**

Applicant Responses to Referral Comments

- c. The amended PDP will need to include the full geographic extent, new allowed land use (single-family attached housing, not just detached), and development standards for the new land use. **RESPONSE: Amended PDP now includes items listed above.**
 - d. If approved, an amendment to the Sherrelwood Village FDP would also be required. This would occur after any approval of PRC2020-00010. **RESPONSE: Noted**
3. The Rezoning, PUD Amendment – Preliminary Development Plan (PDP), and Major Subdivision - Preliminary Plat are being reviewed as a single case (PRC2020-00010). Only a single resubmittal under this case number is required. Please do not provide duplicate documents. **RESPONSE: These 3 applications are being submitted under the one number. Documents are not duplicated.**
4. The Plat Correction (PLT2020-00015) resubmittal does not need to include a site plan or other plans included for the PUD. **RESPONSE: Noted**
5. There has been significant public comment in general opposition to this development. Public comment has discussed concerns with impact on infrastructure, public services, concern over loss of open spaces, and past performance of the applicant. Significant sentiment has also been expressed regarding the distinctive dome structure. An online change.org petition has been started and as of July 1 has gathered over 700 signatures. Staff encourages thoughtful review and response to the provided comments, and to explore if an opportunity exists to preserve the structure and incorporate it as a community amenity. These comments will all be provided following staff and referral agency comments and require response with the next submittal – either through documented outreach to those providing comment, or written responses to address specific concerns. **RESPONSE: Written responses have been provided from public comment as part of this application. These are broken down in a spreadsheet with comments in one column and responses in another. Also included is a summary of our neighborhood meeting which was held on August 25.**
6. Two additional applications will be required with the next submittal, both being requests for a Waiver from Subdivision Design Standards. These are for two elements of the preliminary plat that will not meet subdivision standards, Lot Depth to Width Ratio no greater than 3:1, and avoidance of Double Frontage Lots. Additional detail provided as part of preliminary plat comments below. **RESPONSE: After further design, this site has been platted as 2 separate lots for the townhomes. Therefore, these waivers are not applicable to the 2 lots.**
7. Process Summary Code References:
 - a. 2-01-10-02 MAJOR AMENDMENTS: ...Amendments to development plans shall be reviewed and processed in the same manner as the original development plan for which the amendment is sought. Any approved major amendments shall be recorded in accordance with the procedures for recording the original development plan approval... **RESPONSE: Noted**
 - b. 2-02-11-01 PURPOSE / OBJECTIVES: ...The Standard P.U.D. process requires a minimum of two (2) approvals prior to development of a site, a Preliminary Development Plan (PDP) and Final Development Plan (FDP)... **RESPONSE: Noted**
 - c. 2-02-11-01-01 PRELIMINARY DEVELOPMENT PLAN (PDP): ...The PDP should include the proposed land uses, the layout of landscaping, circulation, architectural elevations, buildings and, if required, a preliminary plat.... **RESPONSE: PDP revised to include above information.**

PLN02: Plat Correction – Specific Comments

1. What is the purpose of the Exhibit pages to the Plat Correction? While helpful to understand the extent of the proposed alterations as part of this request, it will not be recorded along with the Plat Correction. **RESPONSE: Exhibits were provided to help staff understand the plat correction. We understand these will not be recorded.**
2. Please provide a written explanation specific to the Plat Correction request. **RESPONSE: Written explanation specific to plat correction provided.**

Applicant Responses to Referral Comments

3. Staff will recommend a condition of approval that this Plat Correction is not recorded until the Final Plat of filing 2 is approved, as this Plat Correction removes required emergency access and drainage Tract B into a Lot. This Tract is only rededicated as part of the proposed filing 2.
RESPONSE: Noted
4. See specific comments to the plat document in redlined .pdf from Mark Alessi, ROW Agent.
RESPONSE: Redlines addressed
5. Please review the approval criteria to be reviewed by The Director of Community and Economic Development: 2-02-18-02-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request meets the criteria as long as the condition referenced above is included.
RESPONSE: Section 2-02-18-02-05 CRITERIA FOR APPROVAL has been met.
 1. The correction complies with these standards and regulations, and the original conditions of approval. **RESPONSE: Condition met**
 2. Nonconforming lots are not created, and in the case of nonconforming lots, the nonconformity is not increased. **RESPONSE: Condition met**
 3. The correction is in keeping with the purpose and intent of the subdivision regulations.
RESPONSE: Plat correction meets the purpose and intent of county regulations.
 4. The approval will not adversely affect the public health, safety, and welfare. **RESPONSE: Condition met**

PLN03: Major Subdivision - Preliminary Plat – Specific Comments

1. Subdivision name should be preceded by “Preliminary Plat”. This can be in smaller font above the main title block. **RESPONSE: Revised**
2. Please provide an updated will serve letter from the City of Thornton for water and sewer services, and provide responding documentation as requested by the Colorado Division of Water Resources (CDWR). Provided letter from the City of Thornton is from 2017 in regards to the original development. **RESPONSE: Updated will serve letters provided.**
3. Two subdivision design standards are not met and will require additional requests for a “Waiver from Subdivision Design Standards” to be approved. This application can be found on Land Use and Development Applications webpage and will be provided with this comment letter. See Section 2-02-17 for process and approval criteria and provide a separate written narrative for each explaining why this standard cannot feasibly be met. **RESPONSE: Waivers are not necessary with the new 2 lot configuration.**
 - a. 5-03-03-06 LOT DEPTH TO WIDTH RATIO - No lot shall have an average depth greater than three times the average width (maximum of 3:1 lot depth to width ratio).
 - b. 5-03-03-08-01 DOUBLE FRONTING LOTS - Lots with double frontage shall be avoided (those that back up to Pecos St).
 - c. Multiple requests for waivers from subdivision standards require separate applications for each. Volume of waiver requests will be taken into account in consideration of approval criteria for a Preliminary Plat, specifically #3. **RESPONSE: Waivers are not necessary with new 2 lot configuration**
4. Right-of-Way landscaping is required on arterial and collector roads (Pecos St.). **RESPONSE: Arterial landscaping provided.**
5. Land Dedication Standards are found Section 5-05. Cash-in-leiu is preferred for a development of this size to satisfy the requirements. Calculation of fees will be done with the Final Plat and expected to be paid prior to final recording. An estimate of fees based on current regulations would require approximately \$77,000. **RESPONSE: Noted. This will be done with Final Plat as stated.**
6. Final Plat requires only final approval by the BoCC along with a Subdivision Improvements Agreement (SIA) and approved construction plans for any required public improvements. Final engineering review and required reports will be required following approval of a Preliminary

7. Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-19-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional documentation or community outreach to better meet Criteria #3, 4, 8 and 9. **RESPONSE: See responses below**
 1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan. **RESPONSE: Preliminary plat is consistent with Comp plan. The additional townhomes will be zoned PUD with the single family homes.**
 2. The preliminary plat is consistent with the purposes of these standards and regulations. **RESPONSE: Condition met**
 3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan. **RESPONSE: All other standards are being met.**
 4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards. **RESPONSE: An updated Will serve letter has been provided for Water and Sewer Services.**
 5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations. **RESPONSE: An updated Will serve letter has been provided for Water and Sewer Services.**
 6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions. **RESPONSE: Condition met**
 7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations. **RESPONSE: Drainage improvements comply**
 8. The overall density of development within the proposed subdivision conforms to the zone district density allowances. **RESPONSE: Overall density of townhomes combined with single family home area is in line with R-3 standards. Overall density of 88 units on 10.4 Acres is 8.5 DU/Ac. The townhome area is being rezoned to PUD which has different standards than R-3.**
 9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use; **RESPONSE: This development provides the required amount of passive and active open space per code. No amount of the adjacent Sherrelwood Park is being lost as part of this development.**
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; **RESPONSE: With this design we are providing a controlled intersection at Sherrelwood Drive that will allow for safe pedestrian access into the neighborhood as well as safe automobile entry and exit from the neighborhood. The previous access point at Elmwood Place was not as safe.**

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- c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures; **RESPONSE: Landscape buffers are provided around the perimeter of proposed townhomes. A guest parking lot is also provided for between the townhome area and single family homes to provide a transition between uses.**
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and **RESPONSE: No wetlands or wildlife corridors exist within this development.**
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities. **RESPONSE: The developer will be responsible for all utilities and infrastructure as part of this project. This will not negatively impact the level of service of the County.**

PLN04: Rezoning – Specific Comments

1. Only the two unplatted parcels at 7996 Pecos St. and 8000 Pecos St. currently zoned R-1-C need to be rezoned to PUD in order to be incorporated into the Sherrelwood Village PUD. **RESPONSE: Noted**
2. If the lot at 8000 Pecos St. is to be preserved as much public comment received has requested, this lot may need to be excluded from this request, or rezoned to a different zone district. Please consult with staff on the most appropriate approach if this direction is pursued. **RESPONSE: 8000 Pecos will not be preserved as open space. This lot is still being rezoned.**
3. Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-15-06 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional community outreach to better meet Criteria #4.
 1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan. **RESPONSE: Zoning map is consistent with the Comp Plan**
 2. The Zoning Map amendment is consistent with the purposes of these standards and regulations. **RESPONSE: Zoning Map is consistent with standards**
 3. The Zoning Map amendment will comply with the requirements of these standards and regulations. **RESPONSE: Zoning amendment complies with standards**
 4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. **RESPONSE: Neighborhood meeting was held to discuss a number of public concerns. Meeting summary has been provided.**

PLN05: Major PUD Amendment - Preliminary PUD – Specific Comments

1. PUD name should be preceded by “Preliminary Development Plan”. This can be in smaller font above the main title block. **RESPONSE: Revised**
2. It is recommended to provide an updated written narrative. PUD’s require elements of Superior Design over standard zoning to justify approval, see Section 3-30-03-01. Unique or challenging features of the existing site, as well as open space, pedestrian, and bicycle amenities should be discussed. Please include an overview of any other elements that exhibit superior design to standard zoning requirements. Please also update letter to include a more professional

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appearance such as author signature, company letter head, etc. **RESPONSE:** Written narrative has been updated to discuss items listed above. Letter has also been revised to a more professional appearance.

3. It is suggested to add a reference to the PUD to refer to an existing standard zone district to capture any standards and allowances not explicitly prohibited by this PUD. This will aid in administration of the PUD in the future. The R-3 zone district would be the most appropriate. **RESPONSE:** Note added stating “Any standards and allowances not explicitly listed in this PUD will follow R-3 zoning”
4. Additional elements are required for a PDP including a Landscape Plan and Building Elevations. **RESPONSE:** Landscape plan and building elevations provided in PDP.
5. The proposed 48 townhome units on 2.2 acres as described in the applicant letter equates to a project density of 21.8 dwelling units per acre. If calculated based on the Land Use Table on the Sherrelwood Village 1st Amendment document and include the 45 lots and Tracts A & B (but not right-of-way), the project density is 15 units per acre. Both of these place it within the Residential-4 district (high density) for as a comparison. The maximum density of R-3 is 14 units per acre (moderate density). The existing Sherrelwood Village PUD is 45 single family units and may represent a challenging argument of compatibility of low/moderate density with high density. This difference is more pronounced compared to the older single-family uses in the larger Sherrelwood neighborhood. Staff recommends lowering unit counts to fall within the R-3 district density. **RESPONSE:** When calculating densities in the previous PDP and FDP, we included right of way, but in comment above you exclude it. Shouldn't that be included in the total area?
Email correspondence: Our definition does not exactly specify. I took “gross” in the definition of density below to mean just the residential component, and the other planners agreed but we would want to be consistent if that is how the original FDP calculated the area. I'm looking at the FDP though and on page 3 the Development Summary table at the bottom left lists out residential, open space, and ROW separately. I was looking for a version of that for this new portion. Another factor is in comparing to our standard zone districts, the minimum lot size in an R-3 is 2,500 sq. ft. which this won't be meeting. Granted, this is a PUD, so if it won't be able to meet the density comparable that is part of the allowances for a PUD, but then the argument just needs to be made why this density is appropriate, how it's accommodated, and what sort of “Superior Design” the development is achieving. I'd point you to read through the PUD section, 3-30, for detail on what it needs to achieve and if you can work anything from this language in to your responses that be helpful.
RESPONSE: Per the approved PUD, right of way was included in the overall density calculations. Previously we had 45 units on 8.2 Acres for a density of 5.5 DU/Ac. With the addition of 47 townhomes and the subtraction of 4 single family homes we now have 88 units. Total area of the site is now 10.4 acres which includes right of way and open space as before. The amended PUD now has 8.5 DU/Ac which is in line with R-3 Zoning (14 DU/Ac allowed).
6. Open Space Requirements – PUD
 - a. 30% of overall PUD required. Provided FDP summary table states 39% of overall PUD is open space (Calculation includes common public or privately held open space, ROW, stormwater facilities, etc. See 3-30-03-05-08). **RESPONSE:** Open space requirements met
 - b. 25% of required Open Space must be active (25% of 30% of 10.7 acres = 0.8 acres). 0.9 acres listed as active. No detail on what makes it active, just sidewalk/trails shown in 1 location. Parking lot shown in another of the “active” areas on one of the plans. Please describe programming for active open spaces areas. **RESPONSE:** Further detail provided in PDP submittal in regards to active open space programming.
 - c. Are additional connections to Sherrelwood Park possible? **RESPONSE:** Connections to the park

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- are possible. Further studies are necessary to evaluate the possibility of traversing a 50% slope to the park.
- d. HOA is required for common area maintenance. **RESPONSE: Noted**
 - e. Though the Hyland Hill Recreation District did not provide comment on this request, it is recommended to provide evidence of cooperation and integration with the existing open space to ensure cohesive design and proper maintenance. **RESPONSE: We have been in communication with Hyland Hills on providing a gathering space. Attached exhibit shows a potential location for such a space. Also attached is the communication with them.**
 - f. The PUD is reviewed according to the applicable sections of the development code, including Residential Uses Performance Standards (Section 4-07). See Architectural Standards / Project Compatibility for building and site design considerations. Example standards provided below.4-07-02-02 DWELLING, ATTACHED SINGLE-FAMILY **RESPONSE: Noted**
 - g. 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide sample lot coverages subject to principal structure maximum of 70% for townhome/single-family attached housing products. **RESPONSE: Noted. Lot coverage noted in tables.**
 - h. 4-07-02-02-03 HOUSING MODEL VARIETY - Any development between three (3) and one hundred (100) single-family dwelling units shall have at least three (3) different types of housing models. Please describe and provide sample layouts if available. **RESPONSE: We have 2 single family models and 1 townhome model for a combined 3.**
 - i. 4-07-02-03 DWELLING, TOWNHOUSE
 - j. Though found in our Transit-Oriented Development standards, it is recommended to adhere to the requirement that no more than 6 units be attached in a series per structure. **RESPONSE: We will be staying with the current layout of units per building for efficiency since this is only a recommendation.**
7. Parking Standards, Section 4-12
- a. 4-12-04-03 SPACES REQUIRED - 2 spaces for each dwelling unit. 1 additional visitor space for every 2 units is recommended. **RESPONSE: 2 spaces for every unit is provided. Visitor parking is also provided. We have 22 guest spaces in parking lots, and 40 spaces within off-street driveways.**
 - b. Appears there will be minimal street parking due to driveways. Please address visitor and required off-street parking. **RESPONSE: Many of the units without street parking have off street parking within the driveways. Parking is also allowed on Pecos street for additional visitor parking.**
 - c. If 96 spaces required (2 per unit), 15% visitor would require 15 spaces (rounded up). **RESPONSE: Visitor parking requirements have been met.**
8. Landscaping Standards, Section 4-16
- a. A Landscape Plan is required showing conformance with standards. See Section4-16-10 for plan requirements. **RESPONSE: Noted**
 - b. Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of ten (10) percent of the lot area. At least fifty (50) percent of the required landscape area shall be placed so it abuts adjoining public rights-of-way, excluding alleys and drives.
RESPONSE: The language in this code reads a little funny. How do we measure 50% of landscape area so it abuts right of way?
Email correspondence: Agreed, I read it as essentially a 5% area of the site needs to have landscaping along right-of-way (50% of 10%). Considering the internal right-of-way and front yards, I don't imagine this would be an issue. If this was starting from scratch I'd want this along the exterior of the overall site, so along Pecos St., but it looks like the original didn't do that. If you do, I'd say that's an improvement, but

- c. Single-Family Attached Dwelling Landscaping, see Section 4-16-09-01-02.
RESPONSE: Standards have been met as part of the previously approved single family area.
9. Sidewalk requirements are included in Section 4-20-06-04. RESPONSE: Noted
10. Garbage and loading requirements are included in Section 4-03-04-02-03. RESPONSE: Each unit will have its own trash receptacle that is to be wheeled out on trash day.
11. Approval criteria to be reviewed by the Planning Commission and Board of County Commissioner: 2-02-11-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request needs additional documentation or community outreach to better meet Criteria #2, 3, 6, and 8.
1. The PDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan. RESPONSE: PDP is in general conformance with the Comp plan.
 2. The PDP is consistent with the purposes of these standards and regulations. RESPONSE: Per the Comp Plan, Sherrelwood Village's future land use is Urban Residential land use designed for single and multifamily housing. The purpose of this land use is to provide areas for a variety of housing types and to create and maintain healthy residential neighborhoods. Adequate urban services and transportation, water and sanitary service, and compatible uses are criteria for this as well. Sherrelwood Village is consistent with the Comp Plan in these respects.
 3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP. RESPONSE: The proposed townhomes are compatible with 1777 W 79th Way located directly across the street from this location. This neighboring location is zoned R-4. Within the proposed PUD, we separate the townhomes from the single-family homes with either parking, landscape, or adjoining streets. This helps separate the 2 hometypes physically.
 4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it. RESPONSE: Impact to traffic is negligible per the traffic generation letter provided.
 5. The PDP is consistent with any applicable drainage plans. RESPONSE: Drainage within PDP area is consistent historic flows. Drainage basin to the east of site is being expanded.
 6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions. RESPONSE: As detailed in the PDP, permitted uses within Sherrelwood Village include single-family residential, townhomes, open space, and home based occupations as permitted by Adams County. Refer to section H of sheet 5 of PDP for more information.
 7. The PDP is consistent with any approved ODP for the property. RESPONSE: PDP is consistent with ODP.
 8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by: RESPONSE: The proposed addition of Townhomes to the PUD will be a great addition to the neighborhood. The units will have the same high quality as the single-family homes and have a harmonious feel to that architecture. This will be a safe place to live for both neighboring and future residents. In terms of the density being proposed, an R-4 apartment building at 1777 W 79th Way is located directly across the street. Our PUD zoning will be more in line with R-3. Delwest also held a neighborhood

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meeting to show neighbors what to expect for the townhomes. We believe the response was relatively positive.

- a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use; **RESPONSE: This development provides the required amount of passive and active open space per code. No amount of the adjacent Sherrelwood Park is being lost as part of this development.**
- b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; **RESPONSE: With this design we are providing a controlled intersection at Sherrelwood Drive that will allow for safe pedestrian access into the neighborhood as well as safe automobile entry and exit from the neighborhood. The previous access point at Elmwood Place was not as safe.**
- c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures; **RESPONSE: Landscape buffers are provided around the perimeter of proposed townhomes. A guest parking lot is also provided for between the townhome area and single family homes to provide a transition between uses.**
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; **RESPONSE: No wetlands are present within this development.**
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and **RESPONSE: The developer will be responsible for all utilities and infrastructure as part of this project. This will not negatively impact the level of service of the County.**
- f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture. **RESPONSE: PDP includes landscape, parking, bicycle and ped circulation, architecture, and building placement.**

PLN06: Long Range Plans Review - Applicable County plans and policies provided for review and reference below. No response needed for these items, but they may be referenced in applicant narratives and responses to public comment, and will be referenced in staff reports prepared as part of case materials. **RESPONSE: No response provided in following section as noted above.**

Overall, the proposal generally conforms to County Comprehensive Plan, Balanced Housing Plan, Southwest Area Framework Plan, and Making Connections Plan.

1. Imagine Adams County Comprehensive Plan:
 - a. Chapter 3, #2 – Urban Growth
 - i. The County will encourage new urban residential development primarily within unincorporated infill areas and/or within County and municipal growth areas, where it can be served by a full range of urban services (p.18).
 - ii. The County's policy is that urban residential development is most appropriate if located within unincorporated infill areas and/or within municipal and county growth areas (p. 20).
 - i. Site is located within Adams County Urban Growth Area.
 - b. Chapter 4 #1 – Southwest Area

- i. Policy 14.5 Maintain and Enhance the Quality of Existing Residential Neighborhoods.
 - ii. 14.5.b. Public Infrastructure Improvements – Continue to make public infrastructure improvements— such as installing curbs and gutters, improving roadways, pedestrian/trail connections, and park facilities—to enhance the image of established residential neighborhoods and improve the health and quality of life of area residents (p. 70).
 - c. Chapter 5, Future Land Use Designation: Urban Residential
 - i. Purpose: Urban residential areas are designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater. These areas are intended to provide for development of residential neighborhoods with a variety of housing types, with adequate urban services and transportation facilities. Urban residential areas may include supporting neighborhood commercial uses designed to serve the needs of nearby residents.
- 2. Balanced Housing Plan:
 - a. Policies - Thoughtful housing policies should provide support for initiatives that fosters housing stock that includes smaller, more densely developed units in appropriate areas near high capacity transit, job centers, schools, and other amenities. The following policies were developed as a step towards recognizing the County’s diverse housing needs.
 - i. Policy 1. Improve and Support housing opportunities for all residents in Adams County. Direction to explore missing middle housing opportunities. The “missing middle” housing problem is defined in the HNA as a lack of housing units of medium density. Middle housing includes housing types that fall between 1-unit homes and large apartment complexes (20+ or more units). Typically, these middle housing options include accessory dwelling units (ADUs), duplexes, triplexes and fourplexes, courtyard apartments, bungalow courts, townhomes and multiplex and live/work units. Additionally, the “missing middle” includes those households making 80-120% Area Median Income (AMI).
 - ii. Policy 2. Foster and Environment that promotes “balanced housing”
 - iii. Policy 5. Integrate development practices that increase diversity in housing options.
 - b. Recommendations:
 - i. Infill development occurs on vacant or under-utilized parcels and helps to increase density in areas already established, stimulating the creation of diverse housing types.
 - ii. Action: County will identify and use infill development as a development method that uses existing hard and soft infrastructure investments in established communities.
 - iii. Diversity of housing stock accommodates a variety of housing needs: type, size, and location. It creates a balance between traditional single-family homes and apartment complexes with missing middle type housing. Additionally, the HNA identified at-risk and severely cost burdened populations where middle income housing needs are higher. More affordable housing is needed to ensure the diversity of stock is available for middle income households (80-120% AMI).
 - iv. Action: Explore development opportunities to add to the “missing middle” housing stock. Accessory Dwelling Units (ADUs) are a housing type that can increase density, allow for aging in place and multi-generational households while utilizing existing infrastructure.
- 3. Making Connections Plan:

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- a. Broader Triangle of Opportunity: Greatest potential for development and redevelopment Opportunities include transit-oriented development, trail-oriented development, mixed-use development.

Commenting Division: Development Engineering Review

Name of Review: Greg Labrie, Senior Civil Engineer

Email: GLabrie@adcogov.org / 720-523-6824

Review Status: Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required. **RESPONSE:**

Noted

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required.

RESPONSE: Noted

ENG3: The project site is within the County's MS4 Stormwater Permit area. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The disturbed area of the site exceeds 1 acre, therefore, the applicant is responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. **RESPONSE: Noted**

ENG4: The applicant plans to subdivide the property. In a subdivision case, the developer should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall also enter into a Subdivision Improvement Agreement (SIA) with the County and provide a security bond for all public improvements. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents and the SIA. The development review fee for this project shall be in accordance to the fee schedule as described on the Adams County website. **RESPONSE: Construction documents, drainage report, traffic report, SIA, Engineer review application, and review fees will be provided at Final Plat/FDP stage.**

ENG5: The traffic study shall utilize information from the trip generation analysis and it is required to be signed and stamped by a professional engineer with the state of Colorado. The traffic impact study must be submitted to the Adams County Community and Economic Department for review and approval. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study. **RESPONSE: Traffic impact study provided.**

ENG6: The existing drainage report and the existing traffic impact study must be revised to incorporate the proposed amendment to the PUD and the proposed infrastructure improvements. The final studies should provide information that addresses the concerns of the citizens who have commented on drainage and traffic issues and live in the immediate area.

Additional comment from Greg: The entire traffic report does not need to be updated if the traffic

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generation analysis letter can stand alone and demonstrate that the townhome impact to traffic is minimal. This letter shall reference, utilize and update information from the original traffic impact report.

RESPONSE: Drainage report updated as necessary. Traffic generation analysis letter includes all necessary detail for additional townhomes

ENG7: No certificate of occupancy will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Public Works Department. **RESPONSE:** Noted

Commenting Division: Public Works

Name of Review: Gordon Stevens, Construction Inspection Supervisor

Email: GStevens@adcogov.org / 720-523-6965

Review Status: Complete

PW1: A complete set of Construction Plans must be submitted for review and approval to the Community and Economic Development Department (CEDD). No permits for construction can be issued for construction, nor can construction begin prior to the approval of these construction plans. These construction Plans must address the Traffic Signal Reconstruction at Sherrelwood Dr. and Pecos St. Brian Staley (BStaley@adcogov.org) has been copied on this email to provide further direction and clarification on this issue. The costs related to this reconstruction must also be included in the final Subdivision Improvements Agreement (SIA) mentioned below. **RESPONSE:** Noted

PW2: As a result of this Traffic Signal Reconstruction, ADA Improvements may be required along the west side of Pecos St. in the vicinity of this signal reconstruction. **RESPONSE:** Noted

PW3: During the construction of Sherrelwood Village Subdivision, an emergency access was constructed at 79th Way and Pecos St. A Curb Cut was installed on Pecos St. at this location. It is not clear in this submittal, whether this emergency access point will be left in place. If not, this curb cut needs to be removed and replaced with Vertical Curb, Gutter and Walk. **RESPONSE:** Emergency access will removed at this location. Curb will be revised.

PW4: A Subdivision Improvements Agreement (SIA) with appropriate collateral will be required prior to the issuance of any Construction Permits for this location. This SIA must be approved by the BoCC prior to the issuance of any construction permits for this site. **RESPONSE:** Noted

PW5: No Building Permits/CO's will be issued for any structure at this site until all construction has received Preliminary Acceptance from the Adams County Department of Public Works. **RESPONSE:** Noted

PW6: It is apparent that construction from this subdivision will directly affect the newly constructed facilities that lie within the adjacent Sherrelwood Village Subdivision. The utility cuts for the proposed lots on 79th Way will require patching, mill and overlay in the area associated with these utility cuts. This work will have direct impact on the Final Acceptance of The Sherrelwood Village Subdivision Improvements which received Preliminary Acceptance on Sept. 10, 2019 and may hold up Final Acceptance for the Sherrelwood Village Subdivision. **RESPONSE:** Noted

PW7: A Pre-Construction Meeting will be required prior to the start of any construction. **RESPONSE:** Noted

PW8: This submittal has been referred to other members of the Public Works Staff for additional review and comment if necessary. **RESPONSE:** Noted

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Commenting Division: Addressing and Right-of-Way Review

Name of Review: Mark Alessi, Right-of-Way Agent

Email: MAlessi@adcogov.org / 720-523-6825

Review Status: Resubmittal Required

ROW1: Pecos Street is considered a Minor Arterial with a 120' ROW, with half right-of-way of 60'.

Further dedication of ROW on Pecos Street is necessary. **RESPONSE:** 20' of right of way dedication is provided along Pecos

ROW2: Please update title to within 30 days of application and update plat. **RESPONSE:** Title will be updated at time of recordation

ROW3: Make sure all dedication statements appear on plat. **RESPONSE:** Noted

ROW4: Consistency with the labeling of Sheets. Sheet 1 of X, Sheet 2 of X. **RESPONSE:** Sheet labels revised

ROW5: Please show book and page number or reception number for all easements. **RESPONSE:** Book and page numbers provided

ROW6: Addresses will be required for the new parcels/lots and will be assigned at Final Plat. **RESPONSE:** Noted

ROW7: See specific redline comments on both the Plat Correction and the Amendment #1 documents. **RESPONSE:** Redlines addressed

Commenting Division: Environmental Analyst Review

Name of Review: Katie Keefe, Environmental Programs Manager

Email: KKeefe@adcogov.org / 720-523-6986

Review Status: Complete

ENV1: A separate permit must be obtained prior to importing fill material onto the subject parcels. **RESPONSE:** Noted. Permits will be acquired as necessary.

Commenting Division: Building Safety Review

Name of Reviewer: Justin Blair, Chief Building Official

Email and Phone Number: JBlair@adcogov.org / 720-523-6843

Review Status: Complete

No comment.

Commenting Division: Parks and Open Space Review

Name of Reviewer: Aaron Clark, Natural Resource Specialist **Contact:** AClark@adcogov.org / 720-523-8005

Review Status: Complete

No comment.

Commenting Division: Neighborhood Services Review

Name of Reviewer: Kerry Gress, Code Compliance Officer

No comment.

Commenting Division: Parks and Open Space Review
Name of Reviewer: Aaron Clark, Natural Resource Specialist
Contact: AClark@adcogov.org / 720-523-8005
Review Status: Complete

No comment.

Commenting Division: External Agencies
Review Status: Response Required

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: ACFR, CDOT, CDPHE, CGS, CDWR, RTD, TCHD, and Xcel Energy.

Of the responding agencies, the following have offered suggestions or requested additional information. Please provide a response with the next submittal: ACFR, CDWR, RTD, and Xcel Energy. Agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved.

Commenting Division: Public Comment
Review Status: Response Required

PC1: As of the date of this comment letter, 19 public comments have been received and are provided in the following pages. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. Please provide a response to individual public comments or evidence of direct outreach with the next submittal, and describe in your comment response letter any revisions that may address concerns. Staff encourages direct outreach to individuals as appropriate. Any additional comments offered by the responding public will also be included with the staff report. **RESPONSE: Response to public comment have been provided. Via separate spreadsheet. A neighborhood meeting was held to discuss many of the public concerns. Attached in this submittal is a summary of that meeting.**

Commenting Division: Adams County Fire Rescue
Name of Reviewer: DFM Whitney Even
Contact: fireprevention@acfpd.org / 303-539-6862
Review Status: Response Required

Applicant Responses to Referral Comments

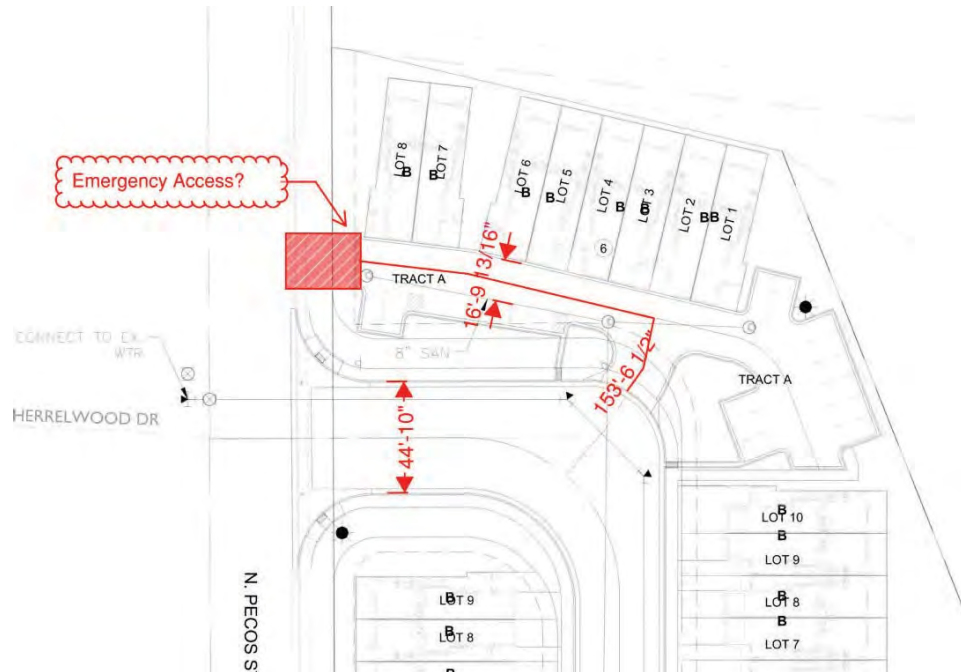
The following information provides guidance on general fire code requirements typically applicable to new development projects. However, please be aware that this list is NOT all encompassing. It is the responsibility of the contractor to read this comment letter in its entirety and make sure that all requirements are satisfied. **Comments in blue below are specific to the preliminary development plan reviewed.**

General:

1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf. **RESPONSE: Noted**
2. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*. **RESPONSE: Noted**
3. Please be aware that these comments are subject to change as more information is received or if there are changes to the plans during subsequent reviews. **RESPONSE: Noted**

Access Requirements:

4. **Approved access roads must be constructed prior to any vertical construction and/or to combustible materials being delivered to the site**, whichever comes first. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities. Vehicle access shall be provided to within 150 feet of temporary or permanent fire department connections. **RESPONSE: Noted**
5. Fire apparatus access roads shall be a minimum of 24' wide or 26' when a hydrant is present or the building exceeds 30' in height.
 - a. **Tract A on the plan review does not appear to meet this requirement.**
RESPONSE: Width revised
6. Fire apparatus access roads shall be within 150' of all ground level exterior portions of the building.
 - a. **Tract A would present a challenge to our responders for access and hose deployment. Is there any possibility of creating an emergency access connecting Tract A to North Pecos Street?** **RESPONSE: Emergency access provided between Tract A and Pecos per below diagram.**



7. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. For information on how to order this, please go to <https://www.acfpd.org/plan-submittals.html>. **RESPONSE: No security gates will be provided**
8. New and existing buildings shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.
9. a. A temporary sign must be provided if the permanent signage is not yet installed.
RESPONSE: Noted

Fire Protection Water Supply and Hydrants:

10. **Water mains and all required hydrants shall be installed before the delivery of combustible materials to the site.** Hydrants shall be maintained operational at all times thereafter, unless alternate provisions for water supply are approved by the Fire District. Any private fire service mains and fire hydrants and all fire sprinkler service lines shall be installed by a State of Colorado Licensed Fire Suppression System Contractor - Underground Contractor and meet the requirements of National Fire Protection Association Standard 24. Plans for the underground fire sprinkler service line shall be submitted for review and approval to ACFR. A current list of registered contractors can be found by going to <https://www.colorado.gov/dfpc/fire-suppression-system-contractors>. Once installed, all underground fire sprinkler service lines must be inspected by an ACFR inspector before

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covering. Attached is a guideline for the inspections required for an underground fire sprinkler service line. **RESPONSE: Noted**

11. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District. **RESPONSE: Noted**

12. The FDC for each building with a fire sprinkler system must be located within 150 feet of a fire hydrant.
 - a. No FDC's will be required most likely based on the type of sprinkler system typically installed in Townhomes. **RESPONSE: Noted**

13. A fire hydrant shall be located within 400' (unsprinklered building) or 600' (fully sprinkled building) of all ground level exterior portions of the building.
 - a. The hydrant proposed on Osage Street appears to meet this requirement. **RESPONSE: Noted**

14. The number and distribution of fire hydrants is based on the required fire flow. You may refer to

**TABLE B105.1(1)
REQUIRED FIRE FLOW FOR ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES**

FIRE-FLOW CALCULATION AREA (square feet)	AUTOMATIC SPRINKLER SYSTEM (Design Standard)	MINIMUM FIRE FLOW (gallons per minute)	FLOW DURATION (hours)
0-3,600	No automatic sprinkler system	1,000	1
3,601 and greater	No automatic sprinkler system	Value in Table B105.1(2)	Duration in Table B105.1(2) at the required fire-flow rate
0-3,600	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	500	1/2
3,601 and greater	Section 903.3.1.3 of the <i>International Fire Code</i> or Section P2904 of the <i>International Residential Code</i>	1/2 value in Table B105.1(2)	1

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m.

**TABLE C102.1
REQUIRED NUMBER AND SPACING OF FIRE HYDRANTS^a**

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a,b,c,t,g} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^{d,t,g}
1,750 or less	1	500	250
1,751-2,250	2	450	225
2,251-2,750	3	450	225
2,751-3,250	3	400	225
3,251-4,000	4	350	210
4,001-5,000	5	300	180
5,001-5,500	6	300	180
5,501-6,000	6	250	150
6,001-7,000	7	250	150
7,001 or more	8 or more ^c	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

- a. Reduce by 100 feet for dead-end streets or roads.
- b. Where streets are provided with median dividers that cannot be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis.
- c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.
- d. Reduce by 50 feet for dead-end streets or roads.
- e. One hydrant for each 1,000 gallons per minute or fraction thereof.
- f. A 50-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1 of the *International Fire Code*.
- g. A 25-percent spacing increase shall be permitted where the building is equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.2 or 903.3.1.3 of the *International Fire Code* or Section P2904 of the *International Residential Code*.
- h. The fire code official is authorized to modify the location, number and distribution of fire hydrants based on site-specific constraints and hazards.

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Appendix C of the 2018 IFC for guidance. **RESPONSE: Noted**

15. Automatic Fire Sprinkler System:

16. As stated in Section 903.2.8 of the 2018 International Fire Code as adopted and amended by Adams County, an approved residential fire sprinkler system is **REQUIRED**. Please be aware that if a residential fire sprinkler system is going to be installed in accordance with NFPA 13D the fire sprinkler plans must be submitted to us for review under a separate permit. If the system will be a multipurpose system and designed and installed in accordance with IRC section P2904, plans shall be submitted to Adams County Building Division for review and permitting. If a P2904 system is to be installed, please provide us with a record of the Building Division's approval. **RESPONSE: Noted**

Other Helpful Information:

17. Please be aware that the fire code does not specify building fire rating or set-back requirements. These are located within the building code and therefore are out of our scope. This preliminary review does not approve anything covered under the building code. These requirements need to be verified with the County's Building and Planning Departments. **RESPONSE: Noted**

18. Please be aware that we are a separate entity from the County and anytime you submit to the county, you will need to submit to us separately utilizing a dropbox that you will be set up with by contacting us at 3030-539-6862. **RESPONSE: Noted**

19. The following reviews and permits are often needed for new development projects:

- a. Site Development and Water Plans
 - i. Civil Plans
 - ii. Utility Plans
 - iii. Autoturn Exhibit (use attached apparatus specifications)
- b. New Construction Building Plans
 - i. Architectural
 - ii. MEP
- c. Fire Protection System Plans
 - i. Fire Alarm
 - ii. Fire Sprinkler **RESPONSE: Noted**

20. Site development plans must be reviewed and approved before plans for all buildings and fire protection systems are submitted to us for review and permitting. All fees (permit and impact) shall be paid at time of permit pick-up. **RESPONSE: Noted**

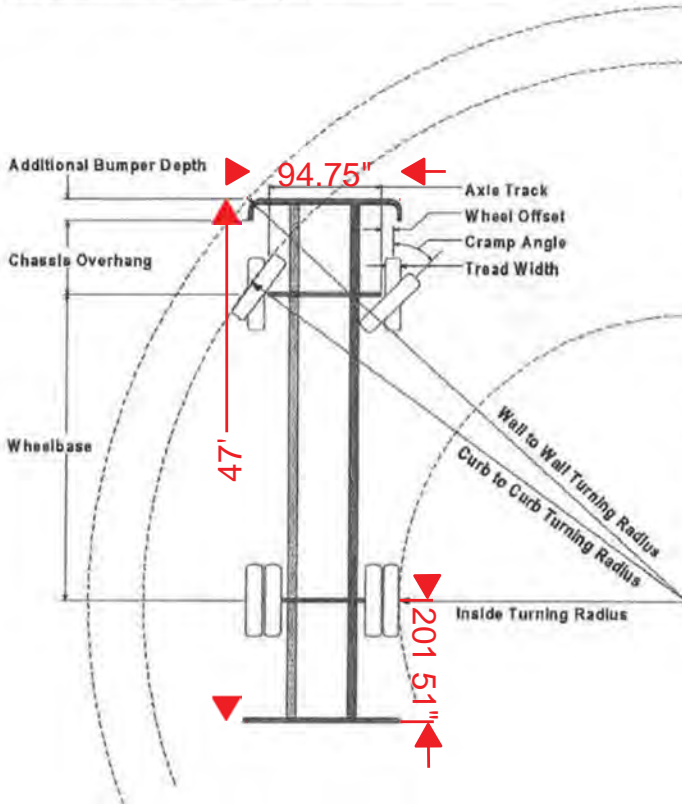


Turning Performance Analysis

09/28/2017

Bid Number: 593
Department: Adams County Fire Rescue

Chassis: Arrow XT Chassis, PAP, PUC
Body: Aerial, Platform 100', PUC, Alum Body



Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.50 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	277.50 in.

Calculated Turning Radii:

Inside Turn:	26 ft. 5 in.
Curb to curb:	42 ft. 8 in.
Wall to wall:	49 ft. 0 in.

Comments:

Other Notes:

The front bumper extends 16 inches from the face of the cab.

The width is 19' with outriggers fully extended.

Angle of approach & departure: 15 degree

Category Description:	OptionID:	Option Description.
Axle, Front, Custom	0090913	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Qtm/AXT/DCF
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0606536	Bumper, 16" Extended, Steel Painted, Arrow XT
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

Underground Fire Sprinkler Service Line Requirements

When installing an underground fire sprinkler system service line in our jurisdiction, the installing contractor shall be responsible for the following:

1. Notifying the authority having jurisdiction and the owner's representative of the time and date testing is to be performed
2. Performing all required acceptance tests below and completing and signing the contractor's material and test certificate(s)
 - **Visual:** All underground piping and joints must be uncovered and exposed, with labeling of the pipe legible from grade. All thrust blocks will be visually inspected and must be uncovered and exposed to grade. Depth of bury of the pipe shall be measured and verified. All ductile iron, retaining rods, and other non-plastic components shall be externally coated for corrosion and poly wrapped.
 - **Hydrostatic Test:** Underground piping will have to have passed the visual inspection first. The hydrostatic test will be at 200 psi or at 50 psi in excess of the system working pressure, whichever is greater, and shall maintain that pressure ± 5 psi for 2 hours. Testing to be from the gate valve to the top of the spigot. Pressure loss shall be determined by a drop in gauge pressure or visual leakage. Only liquid filled gauge rated for over 200 PSI will be accepted. Time stamped picture of the gauge will need to be provided to the inspector to show when pressure was put on the line.
 - **Flush:** Underground piping, from the water supply to the system riser, and lead-in connections to the system riser shall be completely flushed before connection is made to downstream fire protection system piping. This flush needs to be witnessed by ACFR staff. The flushing operation shall be continued for a sufficient time to ensure thorough cleaning. The minimum rate of flow shall be not less than one of the following:

- Hydraulically calculated water demand rate of the system, including any hose requirements
- Maximum flow rate available to the system under fire conditions
- Flow necessary to provide a velocity of 10 ft/sec (preferred method)

Underground Pipe Size (in)	Required Flow Rate (gpm)	Hose/Pipe Sizes					
		2½"	3"	4"	5"	6"	8"
4	390	1	1	1	-	-	-
6	880	2	2	1	1	1	-
8	1560	4	3	2	1	1	1
10	2440	6	4	3	2	1	1
12	3520	8	6	4	2	2	1

Provision shall be made for the proper disposal of water used for flushing or testing. A mechanical method of securing the discharge flushing line(s), (like a Hose Monster, tube hitch adapter/Pipe Vice shall be used). The flushing discharge line shall be mechanically secured. The inspection will be failed immediately if the flushing line is not mechanically secured and creates a dangerous atmosphere. A diffuser attached to the end of the flushing line should be utilized.

- **Pitot Test:** The contractor shall provide all equipment required to take a pitot reading to ensure that all street or isolation valves are open, and the required flow for base of riser is available.

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RESPONSE: Noted

3. After the riser has been flushed and hydrostatically tested, a blank cover shall be installed /secured to cover any/ all open-end risers. **RESPONSE: Noted**

Applicant Responses to Referral Comments

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Re-submittal Form

Case Name/ Number: PRC2020-00010 & PLT2020-00015

Case Manager: Alan Sielaff

Re-submitted Items:

- Development Plan/ Site Plan
- Plat
- Parking/ Landscape Plan
- Engineering Documents
- Subdivision Improvements Agreement
- Other: Plat Correction (PLT2020-00015)

*** All re-submittals must have this cover sheet and a cover letter addressing review comments.**

Please note the re-submittal review period is 21 days.

The cover letter must include the following information:

- Restate each comment that requires a response
- Provide a response below the comment with a description of the revisions
- Identify any additional changes made to the original document

For County Use Only:

Date Accepted:

Staff (accepting intake):

Resubmittal Active: ~~Addressing, Building Safety, Neighborhood Services,~~
~~Engineering, Environmental, Parks, Planner, ROW, STA~~ Finance, STA Attorney

Applicant Responses to Referral Comments

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Development Review Team Comments

Date: November 12, 2020

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Due to the ongoing COVID-19 pandemic, all land use applications and resubmittals are to be delivered electronically to epermitcenter@adcogov.org. For additional information on department operations, please visit <http://www.adcogov.org/CED>.

Please note where "Section" or "DSR" is referenced, please refer to the appropriate section of the Adams County Development Standards and Regulations. These can be viewed online here: <http://www.adcogov.org/development-standards-regulations>.

Land Use and Development Applications can be accessed here: <http://www.adcogov.org/current-planning-application-packets>

Commenting Division: Planning Review **Name of Reviewer:** Alan Sielaff, Planner II **Email:** ASielaff@adcogov.org / 720-523-6817 **Review Status: Resubmittal Required**

Only remaining or new comments will be noted below. References to applicant response will be included as necessary.

PLN01: Application Formatting and General Comments

1. (New) With resubmittal for the plat now constituting only 2 lots for a common lot attached single family concept, the proposal qualifies as a Minor Subdivision as 4 or less lots are now proposed and the development overall comprises less than 20 acres. Any outstanding comments on the Plat Correction to the existing Sherrelwood Village Subdivision, and the current Sherrelwood Village Filing No. 2 proposal, can be addressed at time of final review as a Minor Subdivision (processed as a combined preliminary and final plat) in conjunction with the Final Development Plan (FDP) of the Major PUD Amendment. The preliminary plat will be provided for context with the Rezone and Preliminary Development Plan (PDP) of the PUD, so it is encouraged to address any major outstanding issues, but no preliminary approval is granted unless the applicant chooses to continue with the separate Preliminary and Final Plat review process. **RESPONSE: We understand the minor subdivision will not be approved until the FDP process, but will be submitting the document as part of this PDP process to address any correction the County has at this time.**
2. (New) With the proposal now consisting of only two lots, please provide information on the envisioned management of the new development. Will it be maintained under common ownership and rented? Will the site be condominiumized? This information will be helpful to understand at time of FDP, the Final Plat, and for consideration with review of a Subdivision Improvement Agreement (SIA) at time of final platting to ensure the site has clear delineation of maintenance and improvement responsibilities. **RESPONSE: The Townhome landscape area will be maintained by the HOA/Metro district. It is yet to be determined if**

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these will be for sale products or rentals.

3. (New) Please provide the existing legal description of the two parcels to be rezoned to PUD (7996 and 8000 Pecos St.). These separate legal descriptions are required at time of noticing for the rezoning as only these two properties are specifically being rezoned, while the rest of the existing PUD is only being amended. **RESPONSE: Legal descriptions provided for 2 parcels being rezoned**

PLN02: Plat Correction – Specific Comments

1. (Repeat with revision) Staff will recommend a condition of approval that this Plat Correction is not recorded until the Final Plat of filing 2 is approved, as this Plat Correction removes required emergency access and drainage Tract B into a Lot. This Tract is only rededicated as part of the proposed filing 2. **RESPONSE: Noted that Plat Correction will not be recorded until Final Plat approval.**
 - a. Please confirm allowance for continuation of emergency access and drainage. Will it be in a separate Tract or easement on Filing 2? It appears to only be easements in filing 2. **RESPONSE: Emergency access and drainage provided via separate easement.**
2. (Repeat) See any specific comments to the plat document in redlined .pdf once review comments are ready. **RESPONSE: Redlines addressed. The 26' Wide Emergency Access and 20' Water Easement will continue to run across the south part of Lot 2. Drainage will be added to the Emergency Access Easement.**

PLN03: Major Subdivision - Preliminary Plat – Specific Comments

1. (Repeat for with revision reference) Whether plat process continues as a Major Subdivision or as a combined Minor Subdivision, final engineering review and required reports will be required following Preliminary PUD approval. Subdivision Improvements Agreement (SIA) and construction plans for any required public improvements will be determined with the Final Development Plan (FDP). **RESPONSE: This is now a minor subdivision.**
2. the Planning Commission and Board of County Commissioners: 2-02-19-03-05 CRITERIA FOR APPROVAL. Preliminary review finds outstanding approval criteria issues have largely been addressed through confirmation of utility service providers, conformance with subdivision standards, and no remaining development engineering review is requested until time of Final Plat. Criteria # 9 is open to more subjective interpretation, but largely meets the standards for adequate demonstration of compatibility. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: Per criteria 9 this development incorporates the required amount of open space as well as an active open space area for residents. The buildings are also oriented in a way to take advantage of the existing open space of Sherrelwood Park. This plan also improves the transportation system of the community by improving the signalized intersection where residents can safely cross Pecos. Cars also have a safer way of entering and exiting the community with a controlled intersection. Mass transit is being improved as well with a bus stop location. A visual opening onto the park is provided for at the main entry between buildings. Active open space is also provided for between the park and structures which help with the transition between uses. Roads and parking also help separate the single family and townhome uses on site. This development will have minimal impact on the existing County services.**

PLN04: Rezoning – Specific Comments

1. (Repeat for reference with revision) Please review the approval criteria to be reviewed by the Planning Commission and Board of County Commissioners: 2-02-15-06 CRITERIA FOR APPROVAL. Preliminary staff review finds the request meets most criteria through

Applicant Responses to Referral Comments

conformance with County long range planning documents and the Comprehensive Plan, however, Criteria # 4 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: We believe the zoning change is compatible with the surrounding residential uses and not detrimental to the community and future development of the area**

PLN05: Major PUD Amendment - Preliminary PUD – Specific Comments

1. (New) PDP approval title blocks:
 - a. Planning Commission should be updated to read “Approved by the Adams County Planning Commission”. **RESPONSE: Revised**
 - b. Board of County Commissioners should be updated to read “Approved by the Adams County Board of County Commissioners”. **RESPONSE: Revised**
2. (New) PDP title block includes old legal description which references Perl-Mack Manor. This is a remnant of the previous PDP which was accurate at the time before the Sherrelwood Subdivision had been recorded. This should be updated to the current legal descriptions. **RESPONSE: Titleblock and legal description updated.**
3. (New) PDP Sheets 2 and 3 should both capture the full extent of the PUD area (existing and new). Please also more clearly delineate the boundaries of the entire PUD area. Southern boundary is obscured or has been removed. Additional dashed utilities lines throughout, especially along eastern boundary, obscures project boundary. **RESPONSE: Sheet revised for clarity.**
4. (New) PDP General Notes, Sheet 4
 - a. Note G includes references to Tracts A-D while the overall site plan (sheet 3) does not clearly locate all of these, and the open space plan (sheet 7) includes a Tract H. The new result of the plat correction to the existing Sherrelwood Village Subdivision looks to only include a Tract A and C, and the proposed filing 2 does not include any Tracts. Please review for consistency and include all tracts on the preliminary plat to ensure correct PUD references. **RESPONSE: Tracts A&C shown on site plan to match recorded plat. Open space sheet also revised. Note G on sheet 5 revised to read Tracts A & C.**
 - b. Note F also references landscape maintenance of townhomes falls to property owner, suggesting notes remain from previous individual lot proposal. **RESPONSE: Notes revised to reflect that landscape tracts and townhome landscape to be maintained by HOA. Landscape on private single family lots to be maintained by property owner.**
 - c. Note H should be updated to include footer note on Development Standards table on Sheet 5, “any standards and allowances not explicitly listed in this PUD shall follow R-3 zoning”. **RESPONSE: Note H revised on sheet 5.**
5. (New) PDP Development Standards, sheet 6, lists 15 ft. front setback and 10 ft. side on street setback (side corner for consistency with County zoning language). It is suggested these match at 15 ft. as the proposed northeast intersection at Osage St. and 79th Way appears to provide a matching setback line between the side of one building and the front of another. **RESPONSE: These setbacks have been specifically chosen for certain locations on the site plan. We are going to keep the proposed setbacks as this allows for buildings in a couple tight spots.**
6. (New) Reference to additional parking availability in Sherrelwood Park should be removed from project narrative as parking demands need to be met onsite. The discussion of 62 additional spaces above the 2 spaces in each garage means the new units will have more than 3 spaces per unit, well exceed parking requirements. **RESPONSE: Parking at Sherrelwood park has been removed.**
7. (Repeat with revision) 4-07-02-02-01 MAXIMUM LOT COVERAGE – Please provide sample lot coverages subject to principal structure maximum of 70% for townhome/single-family

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attached housing products. Specific table with proposal in light of new two lot configuration is not identified. **RESPONSE: Maximum lot coverage added to tables of the PDP on sheet 6.**

8. Landscaping Standards, Section 4-16
 - a. (Repeat) Minimum Landscape Area, Section 4-16-07: All developments shall be required to landscape a minimum of ten (10) percent of the lot area. At least fifty (50) percent of the required landscape area shall be placed so it abuts adjoining public rights-of-way, excluding alleys and drives. This will be calculated at time of FDP. **RESPONSE: Landscape calculations shown in PDP**
 - b. (New) Additionally, arterial street landscaping should meet on the five options available in Section 4-16-07-01 STREET FRONTAGE LANDSCAPING, with sufficient detail to confirm calculations for trees and landscape depth along Pecos St. **RESPONSE: Landscape calculations shown in PDP**
 - c. (New) Specific landscaping for townhome dwelling is included in Section 4-16-09-01-03. This includes minimum tree and shrub counts per 1,500 s. ft. of landscaping. **RESPONSE: Landscape calculations shown in PDP**
 - d. (New) Trash Can label on sheet 14 overlaps with detail outline box **RESPONSE: Revised**

9. (New) Though RTD did not respond to this submittal request, they had previously requested a bus stop boarding area to be installed along the new development. Previous comments are provided, please address feasibility in resubmittal. Any final improvements in the public right-of-way can be determined at time of Final Plat and SIA. **RESPONSE: General location of bus stop shown in PDP**

10. (Repeat for reference with revision) Approval criteria to be reviewed by the Planning Commission and Board of County Commissioner: 2-02-11-03-05 CRITERIA FOR APPROVAL. Preliminary staff review finds the request largely meets most criteria through response and revision to original staff comments. Criteria #3, 6, and 8 is open to more subjective interpretation as substantial community opposition still exists. Final staff position of support or opposition will be determined ahead of scheduling of public hearings in consultation with the applicant. **RESPONSE: Noted. Agreed that this is subjective in nature.**

Commenting Division: Development Engineering Review

Name of Review: Greg Labrie, Senior Civil Engineer

Email: GLabrie@adcogov.org / 720-523-6824

Review Status: Complete

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0584H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required. **RESPONSE: Noted**

ENG2: The project site is not located in a NRCO district. An environmental assessment is not required. **RESPONSE: Noted**

ENG3: The project site is within the County's MS4 Stormwater Permit area. The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The disturbed area of the site exceeds 1 acre; therefore, the applicant is responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000. **RESPONSE: SWMP plan to be submitted with Civil CD's at FDP stage.**

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ENG4: The applicant plans to subdivide the property. In a subdivision case, the developer should know that prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall also enter into a Subdivision Improvement Agreement (SIA) with the County and provide a security bond for all public improvements. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, electronic copies of all construction documents and the SIA. The development review fee for this project shall be in accordance to the fee schedule as described on the Adams County website. **RESPONSE: Noted**

ENG5: The traffic study shall utilize information from the trip generation analysis, and it is required to be signed and stamped by a professional engineer with the state of Colorado. The traffic impact study must be submitted to the Adams County Community and Economic Department for review and approval. The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter, and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study. **RESPONSE: Noted. Traffic Study has been revised and submitted.**

ENG6: The existing drainage report and the existing traffic impact study must be revised to incorporate the proposed amendment to the PUD and the proposed infrastructure improvements. The final studies should provide information that addresses the concerns of the citizens who have commented on drainage and traffic issues and live in the immediate area. **RESPONSE: Traffic Study has been revised accordingly.**

ENG7: No certificate of occupancy will be issued until all public improvements have been constructed, inspected, and preliminarily accepted by the County's Public Works Department. **RESPONSE: Noted**

Commenting Division: Addressing and Right-of-Way Review

Name of Review: Holden Pederson, Planner II

Email: HPederson@adcogov.org / 720-523-6847

Review Status: Incomplete

Separate comments and redlines for both the Plat Correction (PLT2020-00015) and Filing 2 (PRC2020-00010) provided in following pages. **RESPONSE: Subdivision comments received and addressed.**

EA1: The following external agencies responded with a separate comment letter or email which will be provided in the following pages: ACFR, CDWR, RTD and Xcel Energy. All except CDWR request revision with the next submittal. Agency comments generally are described in the staff report and may be recommended conditions or notes of approval for the applicant to adhere to if the development application is approved. **Response: We have worked with external agencies to provide the easement widths satisfactory to them. The plat for Sherrelwood Village #2 has the new widths shown.**

Commenting Division: Public Comment

Review Status: Response Optional

PC1: As of the date of this comment letter, 21 public comments have been received since the previous review period closed and are provided in the following pages. Public comment will continue to be accepted moving forward and all comments will be included in appendices to the staff report provided to the Planning Commission and Board of County Commissioners once public hearings are scheduled. Staff encourages the applicant work to address any identified issues to the

Applicant Responses to Referral Comments

best of their ability. **RESPONSE: Responses to public comments have been provided in a spreadsheet addressing each comment to the best of our ability.**

Commenting Division: ROW Review 2nd Review

Name of Review: Holden Pederson, Planner II

Email: HPederson@adcogov.org/ 720-523-6847

Filing 2 (PRC2020-00010)

ROW1: Applicant must provide a Title Commitment that was prepared within 30 days of the initial application submittal. The provided Title was prepared in 2019 and needs to be updated.

a. All easements, deeds, ditch company agreements, or right-of-way agreements included in Schedule B of the updated Title must be depicted on the Plat with the applicable book/page or recording number. If any of these items are included in the Title but not shown on the Plat, please provide a written response to these staff comments describing why.

i. Easements: Book and page and/or reception number for all existing and newly created easements must be provided on the Plat drawing.

ii. Easements: All easements as required by Adams County and other public and quasipublic agencies. Said easements shall be clearly labeled to include width, use and identification as public or private, if necessary. Tie to property lines and annotate with bearings and distances as necessary. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

b. Owner information and legal description from the Title must match on Sheet 1 of the Plat.

c. Update note #2 on Sheet 5 to describe the Title used.

Response: an updated title commitment was not available at time of submittal

ROW2: Applicant must include a label for each sheet underneath the title heading. For example, "Sheet 1," "Sheet 2," etc. **Response: Added sheet x at bottom of all top headers for the plat.**

ROW3: Modify the heading of each sheet so that it is consistent. Heading should be: "Sherrelwood Village Filing No.2". **Response: Plat title revised on all sheets.**

ROW4: Right-of-Way to be dedicated is labeled on Sheets 3 and 4. Need to provide the same label for the area depicted on Sheet 2 as well. **Response: R.O.W. to be dedicated label added to sheet 2.**

ROW5: Change Planning Commission signature line to read "Chair" so that it matches the Board of County Commissioners signature line. **Response: Planning Commission Block revised as directed**

ROW6: Add the following Access Provisions note to Sheet 5:

Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval. **Response: Note has been added**

Plat Correction (PLT2020-00015)

ROW1: Applicant must provide a Title Commitment that was prepared within 30 days of the initial application submittal. The provided Title was prepared in 2019 and needs to be updated.

a. All easements, deeds, ditch company agreements, or right-of-way agreements included in Schedule B of the updated Title must be depicted on the Plat with the applicable book/page or recording number. If any of these items are included in the Title but not shown on the Plat, please provide a written response to these staff comments describing why.

i. Easements: Book and page and/or reception number for all existing and newly created easements must be

Applicant Responses to Referral Comments

provided on the Plat drawing.

ii. Easements: All easements as required by Adams County and other public and quasipublic agencies. Said easements shall be clearly labeled to include width, use and identification as public or private, if necessary. Tie to property lines and annotate with bearings and distances, as necessary. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

b. Owner information and legal description from the Title must match on Sheet 1 of the Plat.

c. Update note #2 on Sheet 5 to describe the Title used.

Response: an updated title commitment was not available at time of submittal

ROW2: Tracts B and D that are being removed through this Plat Correction are designated on the original Sherrelwood Village Plat as being platted for open space, utilities, and emergency access. Applicant must verify that none of these functions will be impeded by consolidating the tracts into the new Lot 1, Block 4. **Response: Easements for emergency access and utilities are still in place for these uses.**

ROW3: Include the Access Provisions and Storm Drainage Facilities Statement on Sheet 3 as Plat Notes, which are listed as items #5 and 6 on the "Plat Correction, Replat, and Vacation of Recorded Plat or Easement – Plat Document Requirements" document.

a. Access Provisions – Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval. **Response: Note added to sheet 3**

b. Storm Drainage Facilities Statement: The policy of the County requires that maintenance access shall be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owners shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdivision development agreement. Should the owner fail to maintain said facilities, the County shall have the right to enter said land for the sole purpose of operations and maintenance. All such maintenance cost will be assessed to the property owners. **Response: Note added to sheet 3**

ROW4: In order to be consistent with PRC2020-00010, please change the heading or title on each sheet to "Sherrelwood Village Filing No.1 Plat Correction". **Response: Revised all sheets**

Carla Gutierrez (Adams County Fire Rescue)

We need additional information on the emergency access connecting Tract A to North Pecos Street. Will Tract A connect all the way to North Pecos Street? Plans show a sidewalk and turf landscaping. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e., 85,000 lbs.}, and must have a surface that provides all- weather driving capabilities.

We would need more detailed information on the emergency fire access. The information provided does not specify the width or height of driveway cuts and the landscaped turf area does not meet the fire access requirements. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus {i.e., 85,000 lbs.}, and must have a surface that provides all-weather driving capabilities. **RESPONSE: Additional detail to the emergency access has been provided.**

Joanna Williams, P.E. (Water Resources Engineer)

We have reviewed the above-referenced proposal to rezone two parcels located at 7996 and 8000 Pecos St from residential to planned unit development (PUD), a preliminary major subdivision, and a

Applicant Responses to Referral Comments

preliminary major PUD amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD (located at 7840 Pecos St). The land area subject of this proposal is 3.29 acres, including 2.2 acres of additional land to the existing PUD (the combined land area being 10.351 acres). The proposal involves subdividing the subject land into two tracts, Tracts A and B, and 45 lots to allow for the development of 47 new townhomes. Our office previously commented on this subdivision proposal on June 17, 2020. **RESPONSE: Noted**

Water Supply Demand

Estimated water requirements and proposed uses were not provided for this subdivision. **RESPONSE: Typically this is included in the Utility Report which is part of the Civil CD submittal at final plat/FDP. We've gone ahead and included the water requirements as a 1 page exhibit in the PDP submittal.**

Source of Water Supply

There are no permitted wells on the subject property. The proposed water supply source is service provided by the City of Thornton ("City"). A letter from the City dated July 10, 2017 was previously provided in the referral materials for Sherrelwood Village Filing No. 1 (PRC2016-00008). The letter indicates that the City has adequate capacity to provide water to the development; however the City reserves the right to suspend issuance of new water taps and connections indefinitely due to drought, emergency, or lack of available water resources. Another letter from the City dated September 14, 2020 confirms that service is available for the proposed development provided that service connections are paid for by the developer and that the property owner comply with the City's ordinances. **RESPONSE: Noted**

According to an April 5, 2018 letter from the City they have numerous water rights that divert from the South Platte River and Clear Creek as well as transmountain and native rights from the Cache la Poudre River. They also operate several reservoirs along the South Platte River that are utilized to store and regulate these water rights. According to the letter, the Clear Creek and South Platte water rights provide an annual firm yield of approximately 32,500 acre-feet. In addition, they are currently working on a project to transport their Cache la Poudre rights to Thornton. Once this project is complete Thornton estimates an annual firm yield of approximately 51,000 acre-feet total. In 2017, Thornton's total annual demand was approximately 25,000 acre-feet and the estimated annual demand for all existing commitments within the City service area is 30,000 acre- feet. **RESPONSE: Noted**

State Engineer's Office Opinion

Based upon the above and pursuant to sections 30-28-136(1)(h)(I) and 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights, **as long as the City is committed to supply water to the lots.** **RESPONSE: Noted**

According to the submitted material, there is a pond on the subject property that will be expanded as part of the development to receive drainage from this development. The applicant should be aware that unless the structure(s) meet the requirements of a "storm water detention and infiltration facility" as defined in section 37-92-602(8), C.R.S., the structure may be subject to administration by this office. The applicant should review [DWR's Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#), to ensure that the notification, construction and operation of the proposed structure(s) meet statutory and administrative requirements. The applicant is encouraged to use [Colorado Stormwater Detention and Infiltration Facility Notification Portal](#) to meet the notification requirements. **RESPONSE: Noted**

Donna George (Public Service Company of Colorado dba Xcel Energy)

Applicant Responses to Referral Comments

Public Service Company of Colorado's (PSCO) Right of Way & Permits Referral Desk has reviewed the documentation for **Sherrelwood Village F2** and requests minimum 10' wide dry utility easements along all public rights-of-way. Please note that anything less will not accommodate all dry utilities which can include multiple feeder lines. **RESPONSE: A 10' easement has been provided on the east side of Osage for both gas and electric. A 10' esmt on the west side of Osage is problematic with the building corners. We propose splitting gas and electric to reduce the width of said easements. 6' easement along Osage for gas, and 6' easement along Pecos St.**

Please also note that the will-serve letter is *not a referral response* to this case. **RESPONSE: Noted**

Please be aware PSCO owns and operates existing underground and overhead electric distribution facilities within the rezone area and has no objection to this proposed rezone, contingent upon PSCO's ability to maintain all existing rights and this amendment should not hinder our ability for future expansion, including all present and any future accommodations for natural gas transmission and electric transmission related facilities. **RESPONSE: Noted**

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or *modification* to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities. **RESPONSE: Noted**

Clayton Woodruff (Regional Transport District)

I have attached a drawing with our comment and also our standard bus boarding area diagrams for your use. **RESPONSE: Noted. Bus location has been added to site plan.**

END OF RESPONSES

PRELIMINARY DEVELOPMENT PLAN
7996 & 8000 PECOS STREET

PART OF THE NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
ADAMS COUNTY, STATE OF COLORADO
PROJECT NO.: EGR 2020-000X



LEGEND, EXISTING

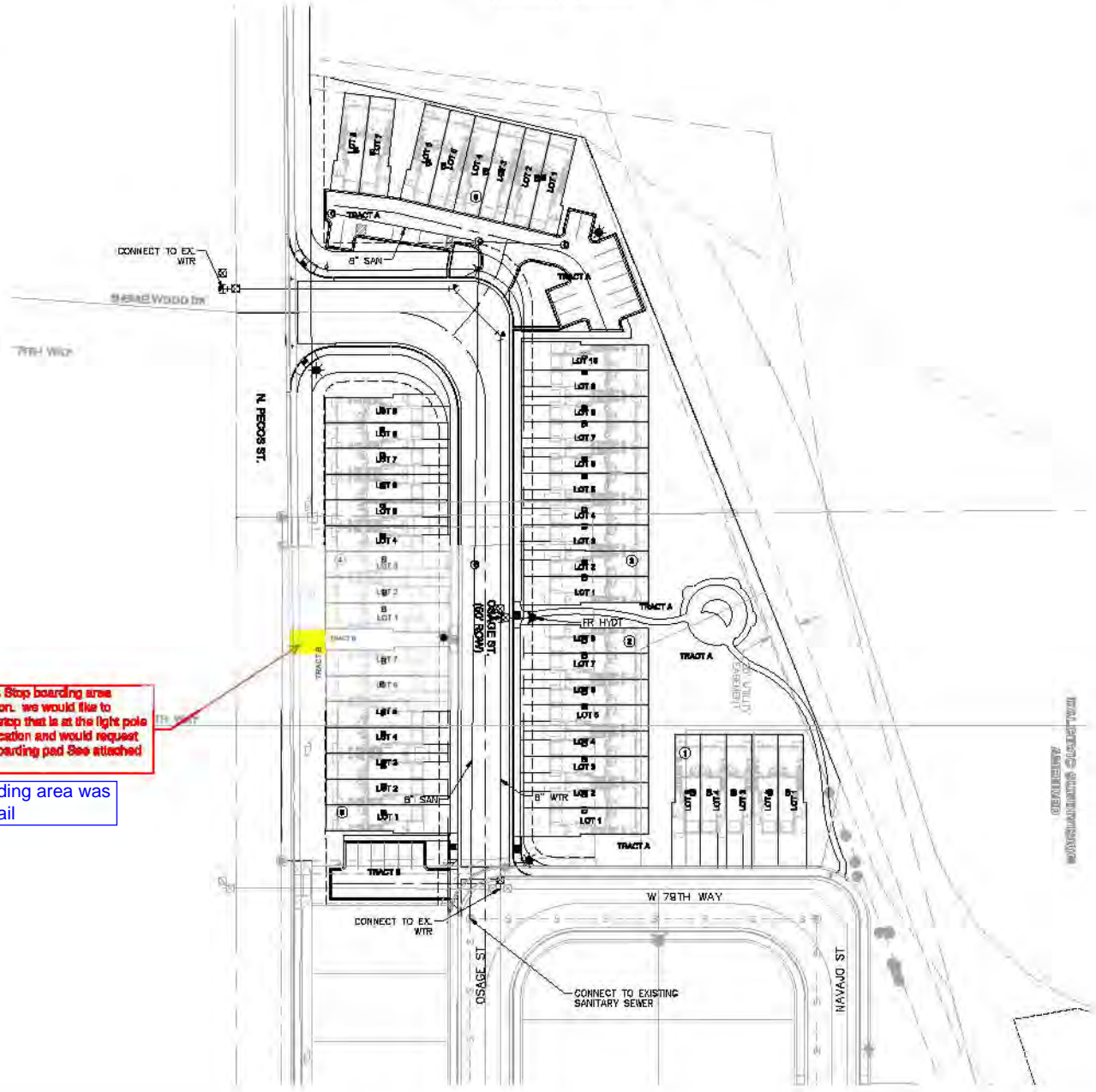
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
- SET NAIL AND TAG PLS 38151
- FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
- FOUND #4 REBAR, NO CAP
- FOUND NAIL AND BRASS TAG PLS 34579
- ✦ FOUND CHISELED CROSS
- DECIDUOUS TREE & DIAMETER
- COMM. UTILITY MARKING
- E— ELECTRIC UTILITY MARKING
- G— GAS UTILITY MARKING
- ⊗ GAS VALVE
- OH— OVERHEAD UTILITY LINE
- ⊕ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- W— WATER UTILITY MARKING
- ⊙ WATER METER
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIGN
- CLF CHAINLINK FENCE
- WF WOOD FENCE
- AOC AREA OF CONCERN

LEGEND PROPOSED

- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED STORM

RTD would like a bus stop boarding area installed at this location. we would like to relocate the existing stop that is at the light pole to the south to this location and would request the installation of a boarding pad See attached Diagrams.

Bus stop boarding area was added per detail



REVISIONS DATE 27/07/2015 FIRST ELEMENTAL	CIVIL ENGINEER CIVIL ENGINEER LAND SURVEYOR LAND SURVEYOR 1800 W. LEBLANCH BLVD., SUITE 100 LITTLETON, CO 80120
7996 & 8000 PECOS STREET MAJOR PUD AMENDMENT OVERALL SITE & UTILITY PLAN	
SCALE: AS NOTED	DATE: 07/2015
SHEET 4 OF 11	

Sherrelwood Village Filing No. 2

revised

SHERRELWOOD VILLAGE 1ST AMENDMENT

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

Sheet 1 added

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND, AS DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, BOTH IN TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3254 AT PAGE 139;

THENCE S 82°41'00" E, ALONG SAID NORTH LINE, A DISTANCE OF 8.12 FEET TO THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D, THE FOLLOWING TWO (2) COURSES:

1. S 76°46'56" E, A DISTANCE OF 178.56 FEET;

2. S 21°38'59" E, ALONG THE EAST LINES OF SAID PARCEL DESCRIBED IN BOOK 3254 AT PAGE 139 AND SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1, SAID SHERRELWOOD VILLAGE PLAT;

THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE;

THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY AND ALONG THE WEST LINE OF THE OSAGE STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET;

2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE;

3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET;

THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B;

THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES:

1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

2. N 00°01'53" E, ALONG SAID EAST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID RECEPTION NO. 2019000073502;

THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING THREE (3) COURSES:

1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, ALSO BEING A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT;

THENCE N 00°01'53" E, ALONG SAID EAST LINE AND ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33 A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE AMENDED. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

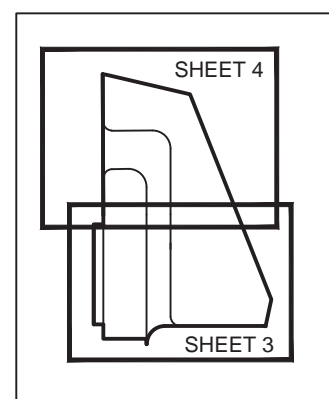
VICINITY MAP



LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
LOTS (2)	111,052	2.549
R.O.W DEDICATED	32,318	0.742
TOTAL	143,370	3.291

KEY MAP



SHEET INDEX

SHEET 1	COVER
SHEET 2	OVERALL BOUNDARY
SHEET 3	DETAIL
SHEET 4	DETAIL
SHEET 5	NOTES AND TABLES

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)

COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIRPERSON revised

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

CHAIR

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED IN APRIL 2020

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

RECEPTION NO. _____

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
303.703.4444
1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
1 OF 5
15-018

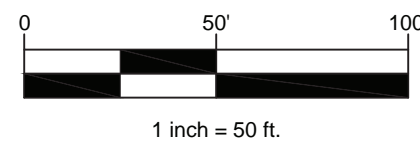
SHERRELWOOD VILLAGE AMENDED

revised

CASE NO. PRC2020-00010

PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

Sheet 2 added



1 inch = 50 ft.

- LEGEND**
- ◆ FOUND SECTION CORNER, AS NOTED
 - FOUND 3-1/4" ALUMINUM CAP, AS NOTED
 - FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
 - U.E. UTILITY EASEMENT

SE 1/4 SEC. 28

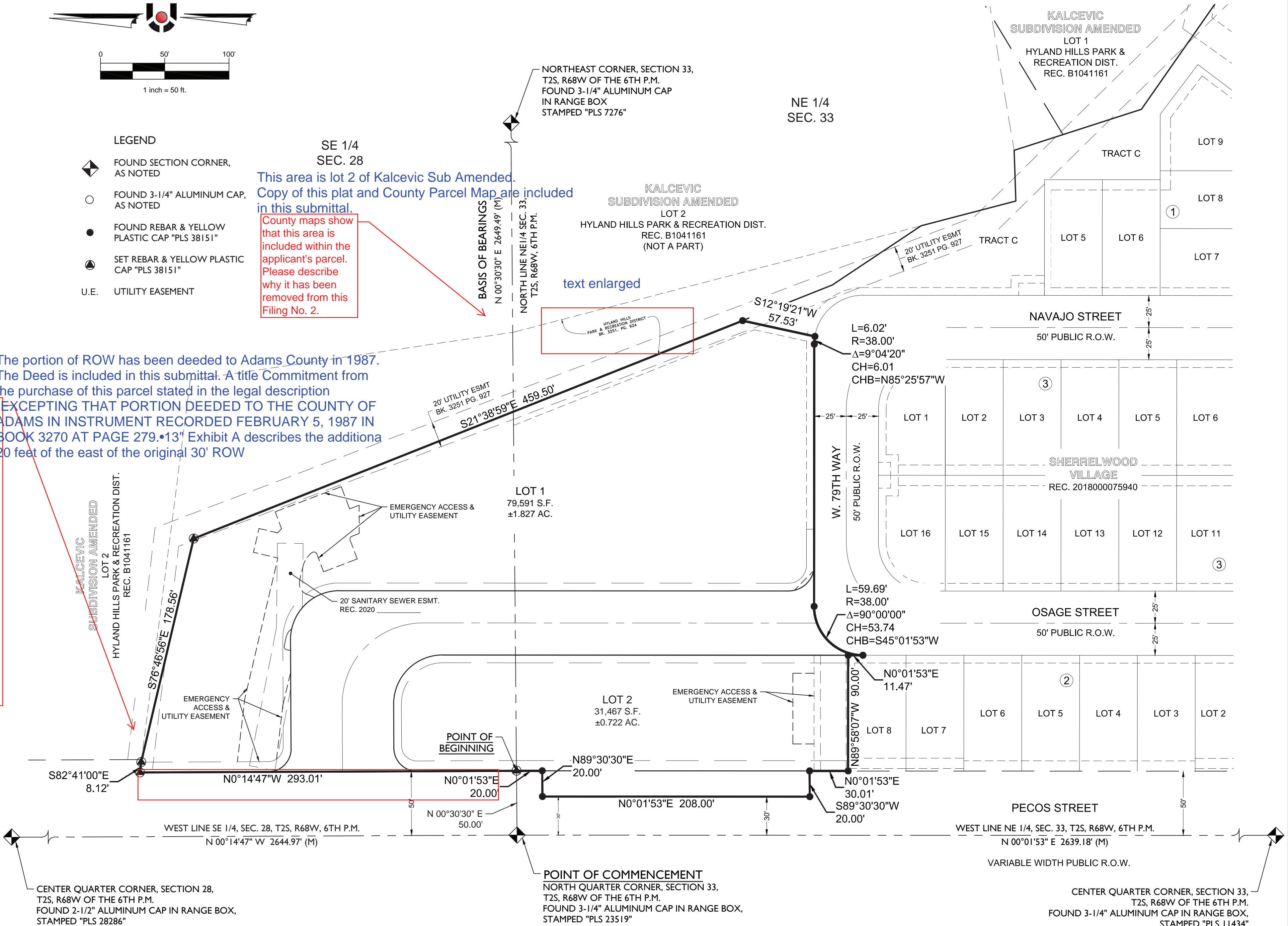
This area is lot 2 of Kalcevic Sub Amended. Copy of this plat and County Parcel Map are included in this submittal.

County maps show that this area is included within the applicant's parcel. Please describe why it has been removed from this Filing No. 2.

text enlarged

The portion of ROW has been deeded to Adams County in 1987. The Deed is included in this submittal. A title Commitment from the purchase of this parcel stated in the legal description "EXCEPTING THAT PORTION DEEDED TO THE COUNTY OF ADAMS IN INSTRUMENT RECORDED FEBRUARY 5, 1987 IN BOOK 3270 AT PAGE 279. •13" Exhibit A describes the additional 20 feet of the east of the original 30' ROW

County maps show that this area along Pecos Street has not yet been dedicated. Please confirm if this is true or not. If the area has not been dedicated, it should be dedicated by this Plat.



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
303.703.4444
1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
2 OF 5
15-018

SHERRELWOOD VILLAGE AMENDED

revised

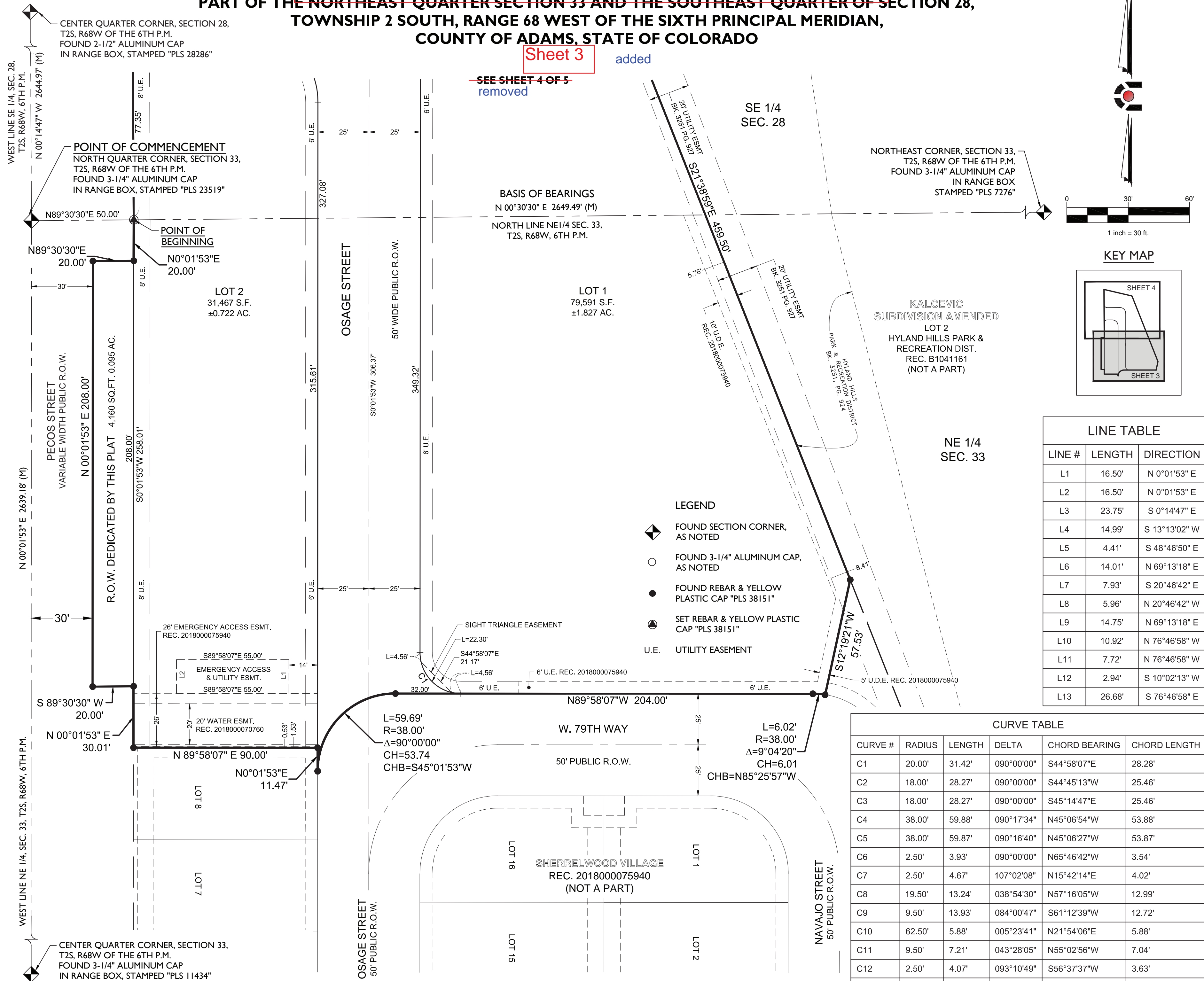
CASE NO. PRC2020-00010

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 3

added

SEE SHEET 4 OF 5
removed



CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
NATURAL RESOURCES
303.703.4444
1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRILWOOD VILLAGE AMENDED
NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

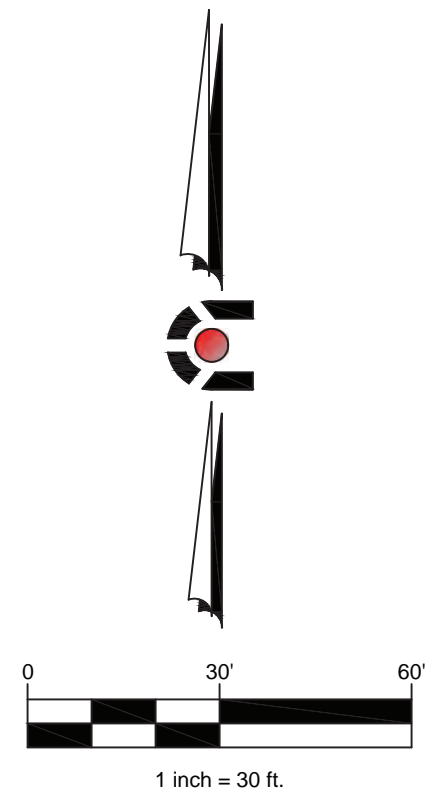
SHERRELWOOD VILLAGE AMENDED revised

CASE NO. PRC2020-00010

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 4
added

CENTER QUARTER CORNER, SECTION 28,
T2S, R68W OF THE 6TH P.M.
FOUND 2-1/2" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 28286"



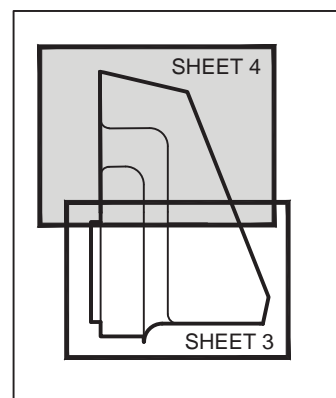
FOUND REBAR W/ 3-1/4" ALUMINUM CAP
IN RANGEBOX, ILLEGIBLE STAMPING

LEGEND

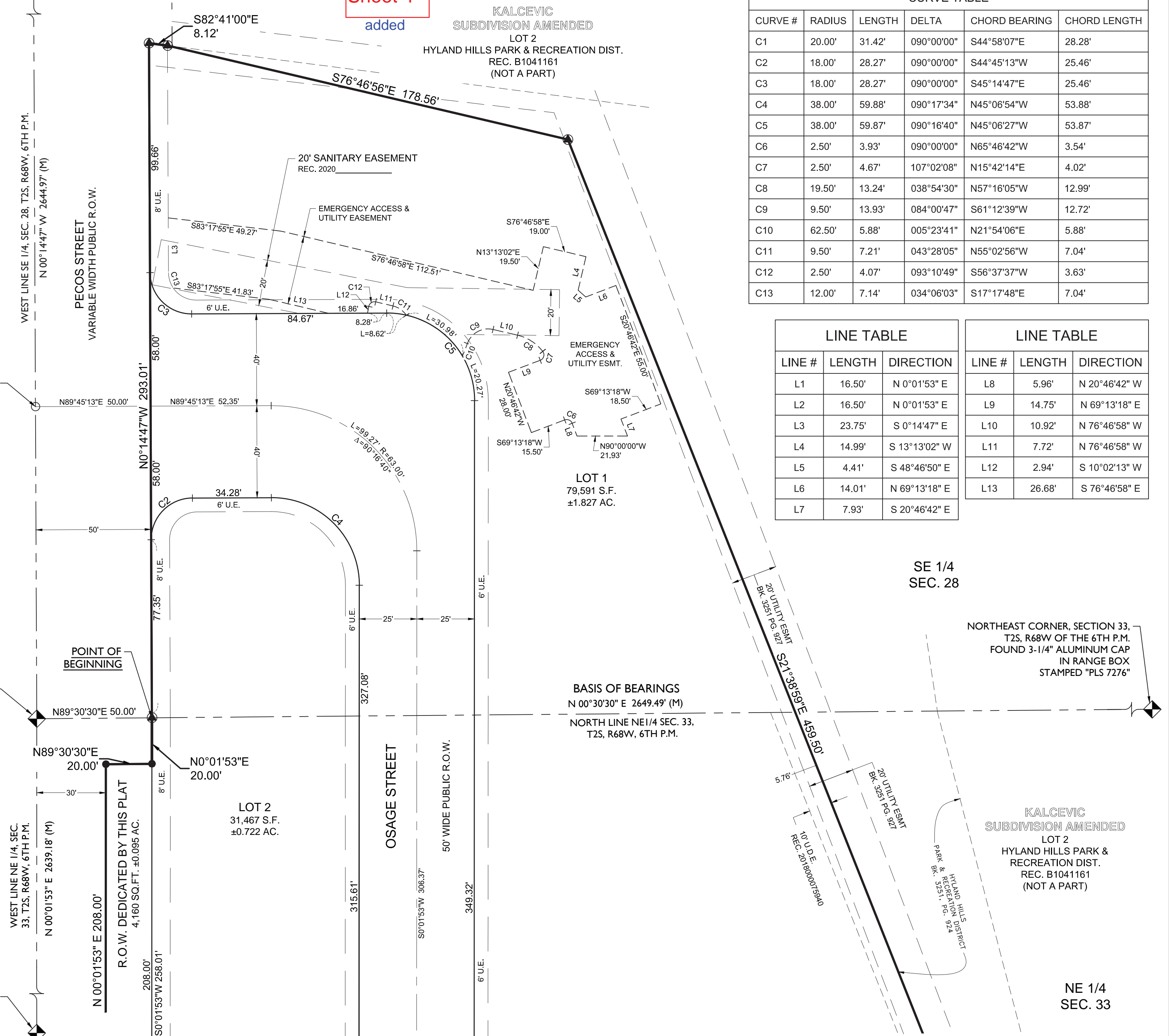
- FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- U.E. UTILITY EASEMENT

POINT OF COMMENCEMENT
NORTH QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 23519"

KEY MAP



CENTER QUARTER CORNER, SECTION 33,
T2S, R68W OF THE 6TH P.M.
FOUND 3-1/4" ALUMINUM CAP
IN RANGE BOX, STAMPED "PLS 11434"



CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	20.00'	31.42'	090°00'00"	S44°58'07"E	28.28'
C2	18.00'	28.27'	090°00'00"	S44°45'13"W	25.46'
C3	18.00'	28.27'	090°00'00"	S45°14'47"E	25.46'
C4	38.00'	59.88'	090°17'34"	N45°06'54"W	53.88'
C5	38.00'	59.87'	090°16'40"	N45°06'27"W	53.87'
C6	2.50'	3.93'	090°00'00"	N65°46'42"W	3.54'
C7	2.50'	4.67'	107°02'08"	N15°42'14"E	4.02'
C8	19.50'	13.24'	038°54'30"	N57°16'05"W	12.99'
C9	9.50'	13.93'	084°00'47"	S61°12'39"W	12.72'
C10	62.50'	5.88'	005°23'41"	N21°54'06"E	5.88'
C11	9.50'	7.21'	043°28'05"	N55°02'56"W	7.04'
C12	2.50'	4.07'	093°10'49"	S56°37'37"W	3.63'
C13	12.00'	7.14'	034°06'03"	S17°17'48"E	7.04'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	16.50'	N 0°01'53" E
L2	16.50'	N 0°01'53" E
L3	23.75'	S 0°14'47" E
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L5	4.41'	S 48°46'50" E
L6	14.01'	N 69°13'18" E
L7	7.93'	S 20°46'42" E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L8	5.96'	N 20°46'42" W
L9	14.75'	N 69°13'18" E
L10	10.92'	N 76°46'58" W
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L13	26.68'	S 76°46'58" E

CIVIL ENGINEERING
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NATURAL RESOURCES
303.703.4444
1850 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE AMENDED
NE 1/4 SECTION 33, T2S, R68W, 6TH P.M.
ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JAG
DATE: 10/10/2020

SHEET
4 OF 5
15-018

SEE SHEET 3 OF 5

SHERRELWOOD VILLAGE AMENDED revised

**PART OF THE NORTHEAST QUARTER SECTION 33 AND THE SOUTHEAST QUARTER OF SECTION 28,
TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO**

Sheet 5 added

CIVIL ENGINEERING
 DEVELOPMENT CONSULTING
 LAND SURVEYING
 NATURAL RESOURCES
 303.703.4444
 1850 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES. CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 01330-55373, PREPARED BY STEWART TITLE GUARANTY COMPANY, WITH AN EFFECTIVE DATE OF FEBRUARY 20, 2015 AT 5:30 PM
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5. THE LINEAL UNIT USED IN THE PREPARATION OF THIS ALTA/NSPS LAND TITLE SURVEY IS THE U.S. SURVEY FOOT. PURSUANT TO C.R.S. 38-52-103(2) METRIC CONVERSION IS: ONE METER EQUALS 3937 / 1200 FEET.
6. DATE OF FIELD SURVEY: APRIL 9, 2020
7. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 143,370 SQUARE FEET, OR 3.291 ACRES, MORE OR LESS.
8. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9. THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10. REFER TO THE OPERATION AND MAINTENANCE MANUEL RECORDED _____ AT RECEPTION NO. _____ FOR ADDITIONAL DRAINAGE GUIDELINES.
11. SIX-FOOT (6') WIDE UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT IN THE SUBDIVISION. IN ADDITION, EIGHT-FOOT (8') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED AROUND THE PERIMETER OF TRACTS, PARCELS AND/OR OPEN SPACE AREAS. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.
12. THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

Need to update prior to finalizing Plat

an updated title commitment was not available at the time of this submittal. Once received, we will forward the updated title commitment to the County.

LEGEND

- FOUND SECTION CORNER, AS NOTED
- FOUND 3-1/4" ALUMINUM CAP, AS NOTED
- FOUND REBAR & YELLOW PLASTIC CAP "PLS 38151"
- SET REBAR & YELLOW PLASTIC CAP "PLS 38151"
- UTILITY EASEMENT

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Add Access Provisions note that is listed as item #6 on the Preliminary Plat Subdivision Checklist Requirements' document.

access note added per Subdivision Checklist

SHERRELWOOD VILLAGE AMENDED
 NE 1/4 SECTION 33 AND SE 1/4 SECTION 28, T2S, R68W, 6TH P.M.
 ADAMS COUNTY, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JAG
 DATE: 10/10/2020

revised

SHERRELWOOD VILLAGE, FILING I, PLAT CORRECTION I

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

CASE NO. PLT2020-00015

Sherrelwood Village Filing No. 1 Plat Correction

CIVIL ENGINEERING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



SHERRELWOOD VILLAGE PLAT CORRECTION
NORTHEAST 1/4 SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

PROJ MGR: TMG
PROJ ENG: DF
CAD: JCA
DATE: 10/15/2020

SHEET
1 OF 3
15-018

SHEET 1 OF 3

LAND USE TABLE

TYPE	AREA (SF)	AREA (AC)
TRACTS A & C	30,019	0.689
LOTS (42)	231,957	5.325
INTERNAL R.O.W.	84,082	1.930
TOTAL	346,058	7.944

TRACT USE TABLE

TRACT	USE	OWNERSHIP	MAINTENANCE
A	OPEN SPACE, UTILITY	OWNER	OWNER
C	OPEN SPACE, UTILITY, DRAINAGE & ACCESS	OWNER	OWNER



VICINITY MAP
1" = 2000'

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNERS OF ALL LOTS AND TRACTS OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, SITUATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 23519 TO THE NORTHEAST CORNER OF SAID SECTION 33 BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276 WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG SAID NORTH LINE, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, AND THE POINT OF BEGINNING;

THENCE N 89°30'30" E, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, ALSO BEING THE SOUTH LINE OF THAT PARCEL OF LAND RECORDED IN RECEPTION NO. 2019000075343, IN RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, A DISTANCE OF 299.36 FEET TO A POINT ON THE WEST LINE OF THAT PARCEL OF LAND RECORDED IN BOOK 3251 AT PAGE 924, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINES OF SAID PARCEL OF LAND, THE FOLLOWING TWO (2) COURSES:

- S 21°38'59" E, A DISTANCE OF 266.92 FEET;
- S 33°40'19" E, A DISTANCE OF 83.13 FEET TO A POINT ON THE WEST LINE OF LOT 2, KALCEVIC SUBDIVISION AMENDED, AS RECORDED AT RECEPTION NO. B1041161, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE WEST LINES OF LOT 2 AND LOT 1, SAID KALCEVIC SUBDIVISION AMENDED, THE FOLLOWING FOUR (4) COURSES:

- S 14°37'52" E, A DISTANCE OF 76.08 FEET;
- N 88°03'04" E, A DISTANCE OF 39.50 FEET;
- S 17°49'46" E, A DISTANCE OF 104.05 FEET;
- S 55°05'47" E, A DISTANCE OF 112.26 FEET;

THENCE S 01°01'29" E, A DISTANCE OF 259.37 FEET TO A POINT ON THE NORTH LINE OF THE ELMWOOD PARK SUBDIVISION, AS RECORDED AT RECEPTION NO. CO184761, SAID ADAMS COUNTY RECORDS;

THENCE S 89°32'44" W, ALONG THE NORTH LINE OF SAID ELMWOOD PARK SUBDIVISION, A DISTANCE OF 631.65 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY;

THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, A DISTANCE OF 586.61 FEET TO THE SOUTHWEST CORNER OF THAT EXCEPTION PARCEL RECORDED AT RECEPTION NO. 2019000073502 OF SAID ADAMS COUNTY RECORDS;

THENCE N 89°30'30" E, ALONG THE SOUTH LINE OF SAID EXCEPTION PARCEL, A DISTANCE OF 208.00 FEET TO THE SOUTHEAST CORNER OF SAID EXCEPTION PARCEL;

THENCE N 00°01'53" E, ALONG A LINE BEING PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33;

THENCE S 89°30'30" W, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO THE NORTHWEST CORNER OF SAID EXCEPTION PARCEL AND A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY;

THENCE N 00°01'53" E, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE PORTIONS OF RIGHT-OF-WAY, AS DEDICATED BY SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT 2018000075940.

CONTAINING 346,058 SQUARE FEET, OR 7.944 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS AND BLOCKS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF SHERRELWOOD VILLAGE CORRECTION PLAT AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE STREETS AND EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

PUBLIC SERVICE COMPANY OF COLORADO NOTES

THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION, CABLE, AND TELECOMMUNICATIONS FACILITIES (DRY UTILITIES). UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COSTS TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION. PUBLIC SERVICE COMPANY OF COLORADO (PSCo) AND ITS SUCCESSORS RESERVE THE RIGHT TO REQUIRE ADDITIONAL EASEMENTS AND TO REQUIRE THE PROPERTY OWNER TO GRANT PSCo AN EASEMENT ON ITS STANDARD FORM.

OWNER

ELMWOOD POINTE LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

OWNER

7840 PECOS INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____, 20____, A.D.

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PURPOSE OF PLAT CORRECTION

THE PURPOSE OF THIS PLAT CORRECTION IS TO REMOVE TRACTS B AND D; AND RECONFIGURE LOTS 1, 2, 3 & 4 OF BLOCK 1 AND A PORTION OF LOT 8, BLOCK 2 OF SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940, IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, INTO ONE, CONTIGUOUS LOT.

TRACT NOTE

TRACTS B AND D HAVE BEEN REMOVED BY THIS PLAT CORRECTION. TRACTS A AND C, THEIR USES AND OWNERSHIP REMAIN UNCHANGED.

CITY OF THORNTON NOTES

WATER AND SANITARY SEWER EASEMENTS ARE HEREBY GRANTED TO THE CITY OF THORNTON, AS SHOWN ON THIS PLAT, FOR THE PURPOSE TO CONSTRUCT, MAINTAIN, REPAIR, REPLACE, INSPECT AND OPERATE MAINS, TRANSMISSION, DISTRIBUTION AND SERVICE LINES AND APPURTENANCES OR OTHER IMPROVEMENTS FOR WHICH THE EASEMENTS WERE GRANTED, TOGETHER WITH A RIGHT OF ACCESS, ON, ALONG AND IN ALL OF THE EASEMENTS, AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED PURPOSES OF THE EASEMENT. THESE EASEMENTS SHALL BE EXCLUSIVE, HOWEVER UTILITIES MAY CROSS THE EXCLUSIVE EASEMENTS AT SUBSTANTIALLY 90 DEGREES.

COMMUNITY AND ECONOMIC DEVELOPMENT APPROVAL

APPROVED BY THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT THIS ____ DAY

OF _____, 20____, A.D. AT ____ O'CLOCK ____ M.

DEVELOPMENT SERVICES MANAGER

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON APRIL 13, 2015

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC



ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY

CLERK AND RECORDER IN THE STATE OF COLORADO AT ____ M. ON THE ____

DAY OF _____, 20____.

COUNTY CLERK AND RECORDER

BY DEPUTY: _____

RECEPTION NO. _____

revised

Need to update to match heading.

SHERRELWOOD VILLAGE, FILING I, PLAT CORRECTION I

PART OF THE NORTHEAST QUARTER SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 3

CASE NO. PLT2020-00015

CIVIL ENGINEERING
 SURVEYING
 NATURAL RESOURCES
 LAND SURVEYING
 303.703.4444
 1950 W. Littleton Blvd., Ste. 109
 Littleton, CO 80120



NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES, CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. I6000310377-AMENDMENT NO. 1, PREPARED BY STEWART TITLE GUARANTY COMPANY, WITH AN EFFECTIVE DATE OF MAY 11, 2018 AT 5:30 PM.
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. BEARINGS FOR THIS SURVEY ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, STAMPED "PLS 23519", TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING A 3-1/4" ALUMINUM CAP IN RANGE BOX, PLS 7276, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
5. THE LINEAL UNIT USED IN THIS SURVEY IS THE U.S. SURVEY FOOT.
6. DATE OF FIELD SURVEY: APRIL 13, 2015
7. THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 346,058 SQUARE FEET, OR 7.944 ACRES, MORE OR LESS.
8. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
9. THE PROPERTY LIES WITHIN ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 08001C0584H, PANEL 584, REVISED MARCH 5, 2017.
10. THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO. 2018000026268
11. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE ON TRACTS A & C, AS SHOWN HEREON.
12. ADAMS COUNTY IS HEREBY GRANTED ACCESS ACROSS TRACT C FOR ACCESS AND MAINTENANCE PURPOSES RELATED TO DRAINAGE AND OFF SITE DRAINAGE FACILITIES.
13. THE TWO-FOOT LANDSCAPE EASEMENTS LYING WITHIN LOTS 1, 2, 7 AND 8, BLOCK 2, AS SHOWN HEREON, ARE FOR LANDSCAPING PURPOSES ONLY AND ARE HEREBY DEDICATED TO THE OWNER(S) FOR OPERATION AND MAINTENANCE.

updated title commitment not available at the time of this submittal. Will forward updated title to the County when received.

Revise to provide updated Title information.

Add Statement Restricting Access and Storm Drainage Facilities Statement as Plat notes.

requested notes added.

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	28.27	18.00	90°00'00"	25.46	S45°01'53"W
C2	28.27	18.00	90°00'00"	25.46	S44°58'07"E
C3	31.42	20.00	90°00'00"	28.28	N45°01'53"E
C4	31.42	20.00	90°00'00"	28.28	S44°58'07"E
C5	59.69	38.00	90°00'00"	53.74	S45°01'53"W
C6	59.69	38.00	90°00'00"	53.74	S45°01'53"W
C7	59.69	38.00	90°00'00"	53.74	S44°58'07"E
C8	59.69	38.00	90°00'00"	53.74	N44°58'07"W
C9	31.42	20.00	90°00'00"	28.28	S45°01'53"W
C10	23.56	15.00	90°00'00"	21.21	S44°58'07"E
C11	22.56	15.00	86°10'39"	20.49	N46°56'34"E
C12	278.77	60.00	266°12'24"	87.61	N43°02'33"W

SHERRELWOOD VILLAGE PLAT CORRECTION
 NORTHEAST 1/4 SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST, 6TH P.M.
 COUNTY OF ADAMS, STATE OF COLORADO

PROJ MGR: TMG
 PROJ ENG: DF
 CAD: JCA
 DATE: 10/15/2020

Applicant Responses to Referral Comments

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Development Review Team Comments

Date: January 12, 2021

Project Number: PRC2020-00010

Project Name: Sherrelwood Village Filing No. 2

Commenting Division: Planning Review

Name of Reviewer: Alan Sielaff, Planner II

Email: ASielaff@adcogov.org / 720-523-6817

Review Status: Complete – Minor Revisions Requested

Review responses provided to comment number from previous review letter.

PLN01: No further revisions or information requested

#1: Confirming that only Rezone and PDP to be brought forward to public hearings at this time.

2: Response indicates an HOA or metro district will provide common area maintenance. An HOA seems more applicable to the scope of responsibilities, as generally a metro district is a public taxing district that would provide water and sewer utilities as well as maintenance and other development responsibilities. If a metro district is to be proposed, it will require a separate application and review process, ultimately requiring BoCC approval and coordination ahead of election deadlines. **RESPONSE: HOA will be responsible for maintenance.**

3: Legal descriptions for 7996 and 8000 Pecos St. have been provided.

PLN02: Plat redline review still underway, but not required for Rezoning or PDP. No further revisions or information requested at this time.

#1: Plat Correction to be recorded in conjunction with Final Plat. Emergency access and drainage provided via separate easement.

#2: Redlines have been addressed and easements clarified. Will need to confirm review with new staff - David Dittmer, Right-of-Way Specialist, on plat review once completed but will not hold up Rezone and PDP.

PLN03: No further revisions or information requested

#1: Confirmed for Minor Subdivision process.

#2: Applicant provided further justification for conformance with criteria #9. With this now being approved under a Minor Subdivision – Final Plat, approval criteria found in Section 2-02-20-03-05. Criteria is mostly the same, but with a total of 11 criteria. This response will further support criteria # 11.

PLN04: No further revisions or information requested

#1: Applicant response provided. Final determination of support will be decided and communicated to applicant prior to finalizing public hearing dates.

Applicant Responses to Referral Comments

PLN05: Minor revisions needed to PDP document. Can be accommodated if returned by Feb. 3.

#1: Updates made.

#2 Updates made on title page but legal description under main title block on sheets 2 and 3 do not match and appear to be old. Remaining sheets match sheet 1 correctly. Additionally, first line under Legal Description on sheet 1 states Elmwood North Overall Boundary. What is this? Previous subdivisions are not named Elmwood. This appears to be an error. **RESPONSE: Reference to Elmwood removed on cover page. Sheet 2-3 legal revised.**

#3: Updates made.

#4: Updates made.

#5: Response noted.

#6: Updates made.

#7: Updates made.

#8: Updates made or confirmed.

#9: RTD has responded with initial approval stating "The RTD has no comments on this plan the relocated bus stop location works for RTD we just need to make sure that the bus stop meets the ADA guidelines." This will be coordinated at time of final construction documentation.

#10: Response noted.

(NEW) Certificate of Ownership listed 7840 Pecos Investments LLC. Is this leftover from previous PDP? Please update to match existing ownership – Delwest Development Corp.? **RESPONSE: Ownership revised.**

(New) Clerk and Records Certificate on title page should be updated to state Preliminary Development Plan, not Final. **RESPONSE: Revised**

(New) Sheet 4, Note H regarding public land dedication. This includes specific calculations that were determined at time of the previous final plat and FDP. Previous PDP did not include this. Please adjust to reference previously required dedication and note additional dedication or cash-in-lieu will be determined for additional filing 2 area at time of final plat and FDP. **RESPONSE: Land dedication information removed from note. Revised to state this would be finalized at FDP.**

External Agencies – EA1: No further revisions or information requested

#1 Outstanding Referrals from Review #2: Xcel, RTD, ACFR – all concerns addressed for this stage in review.

Public Comment – PC1: No further revisions or information requested

#1 Public: Since the last comment letter provided, 4 additional commentors have submitted and are attached here. 1 was only recently delivered to staff though postmarked in November, and discussed concerns with Sherrelwood Park being an historic landfill. I have reached out to Tri-County Health and CDPHE for review to help provide a response and will share once received.

Adams County Fire Rescue (Carla Gutierrez)

The outstanding comments have been addressed.

Applicant Responses to Referral Comments

Regional Transportation District (Clayton Woodruff)

The RTD has no comments on this plan the relocated bus stop location works for RTD we just need to make sure that the bus stop meets the ADA guidelines.

Xcel energy (Donna George)

Public Service Company of Colorado's Right of Way & Permits Referral Desk has no additional comments or concerns to what has previously been conveyed for Sherrelwood Village F2.

END OF RESPONSES

PUBLIC COMMENT - OPPOSITION

comments received as of 02/18/2021

From: [Steve O'Dorisio](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: Fwd: Zoning change
Date: Thursday, August 27, 2020 7:05:15 AM

Please add to the record.

From: Robert Aguiniga <raguiniga13@gmail.com>
Sent: Wednesday, August 26, 2020, 11:07 PM
To: Steve O'Dorisio
Subject: Zoning change

Please be cautious: This email was sent from outside Adams County

This is in response to recent request to change single housing zoning to ridiculous high density zoning on the blocks of 7900 -8000 Pecos.

That area cannot handle that amount of extra traffic. You cannot even pave the the roads now as it is. We used to be a beautiful and envied part of the westminster/ waterworld area, now we are being destroyed by greed, missappropriations of public monies, corruption, and downright horrible decisions by our so called trusted leaders. Atleast make these so called crackerjack homebuilders, construct BRICK HOMES, that are consistent with the beauty of our community. They already added a bunch of eyesores to our nieghborhood next door. If you have ANY, sense of pride left for our beloved community, please, No High Density Building...

Thank you,
R. Aguiniga...

From: [Blea, Leslie](#)
To: [Alan Sielaff](#)
Subject: 7800 Pecos headstart building
Date: Friday, December 11, 2020 4:05:57 PM

Please be cautious: This email was sent from outside Adams County

I went to this head start as a kid. I was very sad that I was not able to send my own kids there when started school a year ago. Its an amazing building look for the area and townhouses would ruin it. The historic building should stay please. Thank you for listening

From: [Blea, Leslie](#)
To: [Alan Sielaff](#)
Subject: 8000 n pecos
Date: Friday, December 11, 2020 4:11:39 PM

Please be cautious: This email was sent from outside Adams County

I attended this school as a kid. I was hoping to send my kids there when they were big enough but it was already closed. Its been closed for years always wondered why. I drive by it everyday and enjoy the sunrise over the historic building and the sun shining on the lake behind it makes it a very beautiful view. I was told townhouses will go up. All the townhouses I've seen go up in this state reminds me of low income housing they use to build in the 90's that packs everyone in like sardines only fancier looking less costing material. I believe tearing the building down for townhouses would be a fishy solution to that area and make it busy which it already is. North Pecos is always packed u get some room around on the road when u hit the school light. Townhouse will take that away making it like downtown when its a suburb not meant to look like the city

From: [Steve O'Dorisio](#)
To: [Jill Jennings Golich](#); [Ray Gonzales](#)
Subject: Fwd: Proposed zoning changes for 7996 and 8000 Pecos Street
Date: Wednesday, August 26, 2020 7:31:28 PM

Please add to the record.

From: Clarissa Burklund <cburk65@gmail.com>
Sent: Wednesday, August 26, 2020, 3:25 PM
To: Steve O'Dorisio
Subject: Proposed zoning changes for 7996 and 8000 Pecos Street

Please be cautious: This email was sent from outside Adams County

Hi Steve

I am reaching out as a concerned member / resident of the Sherrelwood neighborhood. The proposed zoning changes simply are not acceptable to this neighborhood. Originally slated for the individual homes, now Delwest wants to increase this to high density living with little option for parking. Our neighborhood is already over run with the amount of traffic and cars parked for each house due to such high cost of living and multi generation living. Sherrelwood park has remained somewhat clean and the only source for a park in this area, the new proposal will cause that to also change. There are also limited options for shopping already in this area and the push for more people will make it even harder for all residents to have any kind of decent shopping experience. We are at capacity!! Let's work harder on cleaning up what we have and making it safer for the long term residents already here. Get composer like Delwest out of our area!!!!

As always feel free to reach out to me at anytime.
Clarissa Burklund
720-217-1942

From: [Campbell, Susan M](#)
To: [Alan Sielaff](#)
Subject: Request for Comments Sherrelwood Village Filing No 2 Project Number PRC2020-00010
Date: Tuesday, June 30, 2020 3:55:55 PM

Please be cautious: This email was sent from outside Adams County

Alan Sielaff, AICP Case Manager / Planner II

Tuesday June 30, 2020

REGARDING: **REQUEST FOR COMMENTS ON SHERRELWOOD VILLAGE / Filing No 2 Project Number: PRC2020-00010**

Hello,

Given that Delwest Development Corp has already purchased the land listed above, I'm not sure why you're requesting "comments" or feedback regarding the construction of a 48 unit townhome complex that they will be building on the 2.2 acres directly across the street from my house. I can't begin to tell you how upsetting this is and how apposed I am to all of it! Here are just a few reasons:

The traffic on Pecos is already a disaster, morning, noon and night with a constant stream of loud vehicles going by at warp speed with absolutely no traffic oversite whatsoever! It continues year after year, with the traffic and noise level only getting worse!

I went to a "neighborhood meeting" sponsored by Delwest Development in the later part of last year. I spoke with a Delwest representative who said that these "proposed" townhomes were going to be "affordable housing". I think we know what that means...low rent and possibly Section 8 tenants! This rep also mentioned that they were going to conduct a "traffic study" before moving forward with the project. How did that turn out, what were the results?

Our property values will definitely suffer with a 48 unit "affordable housing" complex just across the street, not to speak of the crime that this will no doubt bring to the area. I really think it's a shame that Adams County sold this land to a developer that is going to put the final nail in the coffin, as far as the "Sherrelwood Estates" neighborhood goes. The "Baker School Apartments" (a Delwest creation) over off 64th and Lowell, new as it is, already looks like a total slum project... very trashy! Our 48 unit complex is already a "done deal" and we, as homeowners, have no say in any of this. Yes, you're asking for "comments" but what's done is done....and all this is a "moot issue", isn't it? It's just a matter of months before the building will start, with no regard as to what is best for our community! Talk about a terrible decision all the way around...or maybe it's only a bad decision for all of us!!

This is a total nightmare waiting to unfold. Noise, noise and more noise and increased traffic beyond belief. I know "Sherrelwood Estates" is by no means a "gated community", but it would be nice to know that Adams County is on our side for a change. Would it be too much to ask you to construct a high wall on the Sherrelwood side of the street to at least buffer some of the noise that this entire project is going to generate? Help us out here. We're not paying our taxes to live on a speedway!

Your consideration is appreciated,

Susan Campbell

1620 Sherrelwood Drive

Denver, CO 80221 sue_zztops@yahoo.com

From: [Andrew Dauernheim](#)
To: [Alan Sielaff](#)
Subject: 8000 N Pecos
Date: Wednesday, July 1, 2020 9:32:37 AM

Please be cautious: This email was sent from outside Adams County

Good morning, Mr. Sielaff,

My name is Andrew Dauernheim. I have a local firm that helps business owners with business and financial planning. I understand that you've been in discussions with Sarah Garner regarding the property at 8000 N Pecos. I was familiar with this property previously but until talking with Sarah and then hearing some stories from many other individuals, I didn't completely understand how important it was and still is to the community.

My understanding is Delwest is planning on redeveloping the property for affordable housing. But I just wanted to throw in my two cents regarding the situation. I reviewed Sarah's proposal as far as using it for a community center. And from strictly an economic standpoint, without even factoring in the community connection, I think it makes a lot of sense. In this time when municipal and county revenues are down, it would be nice to be able to create a quick influx of money as opposed to having to wait for months or even years for property tax revenues from the redevelopment to start being generated. Using her proposal, the money would flow much more quickly. And even after the potential redevelopment, Sarah's idea provides much more revenue on an ongoing basis.

I really hope that you take the time to review her analysis because I think it will be beneficial in so many ways. In addition to what was already discussed, the fact that her proposal maintains a property that is so important to so many members of the community is an aspect that can't be quantified. Not to mention the savings in terms of avoiding city and county related costs of building new roads, water and sewer lines, etc. And it creates an outstanding gathering place that is currently lacking in that area.

It's rare for a community to have such a unique structure that is beloved by so many. Instead of tearing it down, I really do think it makes a lot more sense to take what has already created a lot of community pride, build upon what is already there, and allow it to be used for the benefit of the community as a whole.

Please feel free to reach out to me at [720-971-3496](tel:720-971-3496) with any questions. I'd be happy to discuss it with you further.

Thank you,

Andrew Dauernheim

Rocky Mountain Financial Group

Karen Dunn

1800 Orchard Dr.

Denver, CO 80221

303 808 8925, 303 428 4226

haleend@att.net

Community and Economic Development Department

4430 South Adams County Parkway Suite W200A

Brighton CO 80501-~~8216~~ 80601

June 22, 2020

RE: Construction of 48 townhomes on 2.2 acres adjacent and the north of Sherrelwood Village development.

I am opposed to the development for the following reasons.

1. Pecos street has reached more than a maximum capacity of traffic. During rush hour often the traffic is backed up from Highway 76 beyond 84th Avenue.
2. When the home development at about 78th and Pecos is completed additional traffic will be added to Pecos Street. The absorption of this traffic will create "grid lock" conditions on Pecos Street.
3. The neighborhood has lost to development Clear Lake Middle School, Roush Elementary. Another development which increases crowding is inconsiderate for the current homeowners.
4. The additional pollution to the air quality is a health hazard to the local community.

The 2.2 acres could be additional open space for the community. Added to the current Sherrelwood Park, which is adjacent to the 2.2 acres, would enrich the community by providing recreation that would enhance the residents of the community.

Considering the needs of the community rather than the profits for developers is a priority for the people of Adams County.

Please show compassion for the people of Adams County.



Karen Dunn

From: [Sue Frauenfeld](#)
To: [Alan Sielaff](#)
Subject: Fwd: Proposed zoning changes for 7996 and 8000 Pecos Street
Date: Saturday, August 29, 2020 7:04:57 PM

Please be cautious: This email was sent from outside Adams County

Sent from my iPad

>

> Greetings Adams County,

> This proposed change in zoning is wrong for our neighborhood. I live on Ralph Lane and travel Pecos quite often. While I don't mind some new residential housing in this area, the changes proposed do not include enough parking per unit. Already apartment and other developments in our area has parking overflowing into residential streets. If you have been to Great Scott's on any evening or weekend you will see the many cars, trucks, and trailers on the streets surrounding the apartment building there. The townhome complex North of 84th has people parking in the residential area south of 84th. Townhome residents walk across 84th every evening, an accident waiting to happen. This will undoubtedly happen on Pecos. There is no way that two and a half parking spaces is enough per townhome unit when people have company. This is a headache we don't need, along with increased car and foot traffic on Pecos.

I also understand that DelWest is a bad actor in development, not planning for storm drainage in other developments in Adams County, which is ruining sidewalks and public property, bringing resale home values down. Unless this developer corrects it's errors in those cases, I think they should not be developing anything new in Adams County.

> Thank you,

> Susan Frauenfeld

> 8320 Ralph Lane

> Denver 80221

>

> Sent from my iPad.

From: [Jen Rutter](#)
To: [Alan Sielaff](#)
Subject: FW: Proposed zoning changes for 7996 and 8000 Pecos Street
Date: Tuesday, September 1, 2020 8:48:06 AM

Jen Rutter
Development Services Manager, Community & Economic Development
ADAMS COUNTY, COLORADO
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601
O: 720.523.6841 | jrutter@adcogov.org
www.adcogov.org

-----Original Message-----

From: Jill Jennings Golich <JJenningsGolich@adcogov.org>
Sent: Monday, August 31, 2020 8:04 AM
To: Jen Rutter <JRutter@adcogov.org>
Subject: FW: Proposed zoning changes for 7996 and 8000 Pecos Street

Please provide to Alan.
Thanks.

-----Original Message-----

From: Steve O'Dorisio <SODorisio@adcogov.org>
Sent: Saturday, August 29, 2020 11:42 AM
To: Ray Gonzales <RGonzales@adcogov.org>; Jill Jennings Golich <JJenningsGolich@adcogov.org>
Subject: FW: Proposed zoning changes for 7996 and 8000 Pecos Street

Please add to the record.

-----Original Message-----

From: Sue Frauenfeld <sjbf321@msn.com>
Sent: Saturday, August 29, 2020 8:54 AM
To: Steve O'Dorisio <SODorisio@adcogov.org>
Subject: Proposed zoning changes for 7996 and 8000 Pecos Street

Please be cautious: This email was sent from outside Adams County

Greetings Sir,

This proposed change in zoning is wrong for our neighborhood. I live on Ralph Lane and travel Pecos quite often. While I don't mind some residential housing there, the changes do not include enough parking per unit. Already apartment housing in that area has parking overflowing into residential streets. If you have been to Great Scott's on any evening or weekend you will see the many cars, trucks, and trailers on the streets surrounding the apartment building there. The townhome complex North of 84th has people parking in the residential area south of 84th. There is no way that two and a half parking spaces is enough per unit when people have company. This is a headache we don't need.

Thank you,
Susan Frauenfeld

Sent from my iPad

From: [Angel Garcia](#)
To: [Alan Sielaff](#)
Subject: Sherrelwood #2
Date: Tuesday, November 10, 2020 10:30:23 PM

Please be cautious: This email was sent from outside Adams County

I want to know what the plans are to remove the old dump ? I listened to the meeting the real estate company in the link. Is dell west willing to drop a ton amount of money to remove all of that junk to ensure that the neighbors doesnt get sick? I'm sure they don't want anything cutting into the profits from the new houses . So will gasses be monitored in the area? Whats gonna go up in the air when they knock thaat building down? It's going to be a dusty filthy mess and terrible for people to breathe. My children go to sherrellwood elementary and my wife is on oxygen! If Dellwest makes my family sick because they want to pack people in like sardines, I will personally take out a lawsuit against them and shame on adams county too if you allow this to happen. It's completely negligent!!!

Angel garcia

From: [Angel Garcia](#)
To: [Alan Sielaff](#)
Subject: I'd like to add onto my previous comment
Date: Wednesday, November 11, 2020 11:35:30 PM

Please be cautious: This email was sent from outside Adams County

Read these articles yourselves and give them with my previous comment please

<https://extras.denverpost.com/news/news0824q.htm> & <https://www.westword.com/news/dump-and-grind-5063953>

Other question- why are Dellwest's sketches of only white people moving in? Are they trying to push latinos out? But for real tho that makes my family and myself feel worried. Is there a motivation going on? the media dog will love that bone!

angel garcia

	<p>The Denver Post Online - News</p> <p>State says 2 sites are landfills. By Mike Soraghan Denver Post Staff Writer. August 24 - It looks like a dump. The neighbors say it smells like a dump. And now the state says it is a dump.</p> <p>extras.denverpost.com</p>
---	--

[Dump and Grind | Westword](#)

Paul Fox hits the brakes, and his pickup swerves onto the shoulder of 62nd Avenue, in the industrial fringe of Adams County. A dump truck roars by, shaking the ground as it passes, but Fox doesn't ...

www.westword.com

From: [Jen Rutter](#)
To: [Christine Fitch](#); [Alan Sielaff](#)
Subject: FW: Sherrelwood Village Filing No.#2 (PRC2020-00010 & PLT2020-00015)
Date: Thursday, February 11, 2021 9:09:21 AM
Attachments: [petition_signatures_jobs_22820299_20210211151719.pdf](#)
[petition_comments_jobs_22820299_20210211151653.pdf](#)

Good morning, Planning Commission,

We received several late comments for both cases to be heard this evening, so I will forward them along and try to compile them in as few emails as possible.

Thank you,
Jen

Jen Rutter

Development Services Manager, *Community & Economic Development*
ADAMS COUNTY, COLORADO
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601
o: 720.523.6841 | jrutter@adcogov.org
www.adcogov.org

County operating hours: Tuesday through Friday, 7 a.m. to 5:30 p.m.

For information related to the County's response and recovery related to COVID-19: [Find community resources and updates here.](#)

From: Sarah Garner <sgarner0203@gmail.com>
Sent: Thursday, February 11, 2021 8:57 AM
To: Jen Rutter <JRutter@adcogov.org>
Subject: Sherrelwood Village Filing No.#2 (PRC2020-00010 & PLT2020-00015)

Please be cautious: This email was sent from outside Adams County

The City of Sherrelwood and It's Spaceship

Dear members of the Adams County Planning Commission,

Hello! My name is Sarah and I've been a Sherrelwood resident for my entire life. Infact, I'm a 5th generation native to Colorado! Statistics on a screen are almost always literally black and white, therefore I would really appreciate a few moments of your time to be granted an opportunity to describe the colorful personality of this small municipality within your jurisdiction.

Sherrelwood is a 3 mile suburb just north of Denver nestled on the edge of an industrial zone. With the proximity of I-25 and cross-sections of major roads like 84th Ave and Federal Blvd, we have

always made an efficient commuter town filled with gas stations, small stores and fast food eateries. The construction of our roads and neighborhoods were seemingly designed to move people through along the way to their ultimate destination.

There have been a lot of changes in my small suburb over the past two decades, primarily in the form of apartment complexes and high-density housing. All of our former schools and open spaces have been replaced by featureless "boxy" structures that cost an arm and a leg for a leasable portion of their square footage. These have already caused a strain on our community, as we were never meant to have this many permanent residents. Roads are crumbling from the constant dense local traffic, and infrastructure maintenance has already been stretched thin. These complexes have directly resulted in more traffic, more pollution, and more crime without increasing any sort of neighborhood outreach or programs to deal with the influx of population.

This is raising tension and worry with everyone in the neighborhood, as it affects everyone in the neighborhood. Our community consists of three major categories; senior citizens and Veterans, youth (under 18), and single-parent families with grade-school aged children.

When Sherrelwood's first neighborhoods were getting built out, veterans of foreign wars were offered a steep housing discount for their service. Many of them still proudly own that home to this day. They now feel like there is a prominent danger to their livelihood as they've watched property taxes soar in recent times - significantly past what their set income allows.

I don't know how to put this any other way than bluntly, but our youth is troubled. The current social elements are escalating some of their tenuous feelings. There's no community connection, no sports, no place for the neighbors to reach out - nor a place for anyone else to reach out to our neighborhood. This also lends to rising crime statistics and the downfall of grades, education, and positive progress for our future.

Single parents are struggling to raise their children as it is while keeping food on the table and the heat on when it's cold outside. Many are on government assistance. COVID has eliminated jobs like food service and entertainment which act as a safety net for a lot of people who have to supplement their income, therefore barely avoiding poverty. Increasing the tax burden on these already financially strapped citizens could be the last thing needed to push them over the edge.

The Hispanic/Latino demographic feels like there are enough challenges in their daily life without the fear of gentrification intending to replace them. Sherrelwood isn't an affluent area, and there are concerns that there will be a culture clash which could lead to an even further detriment to our sensitive society.

Parents are crying out for programs to assist their families with economic and social relief brought on by the impact of the recent pandemic on kids and teenagers. They report that children are feeling disconnected, not as happy as they used to be, social butterflies who were always talking are direly missing being connected to their friends. Parents of children and teens who have a previously diagnosed mental health disorder are reporting that they're becoming more symptomatic; depression, anxiety, worry, loneliness. Suffering social isolation and learning to deal with loss

involving school closures and family distancing.

They have been limiting their living online, 65% of a study reporting little to no exercise over a week. An increasing number of children are saying that they miss the participation in sports/competition/games/outdoor recreation. Social media and gaming connections have replaced in-person connections. Kids are spending hours and hours online; more time on screens than ever are causing distraction/attention disorders. Social media and gaming have become the main way to meet their social needs. The study goes on to quote "...the extent of tech use and it's impacts aren't obvious even to those closest to teens." ('Are The Kids Alright' by California Associated Press)

"It's hard to form an identity and gain independence in a shutdown; can't separate from mom and dad, can't go hang out with friends - those stressors are very real," a teenage boy who lives across the street from Sherrelwood Park tells me. "I want an hour and a half out of the day to not think about what's going on in the world and just be a kid again."

There is a remarkable local landmark that lies within your district.

The structure on 8000 North Pecos is truly an incredible one! Nearby residents watched in awe as the unique building was being built. Part of the construction utilized a hot air balloon to form the base shape of the domed rooftop before it was reinforced with several layers of foam and concrete, awarding it the nickname "the bubble building". For four decades, local residents and commuters through the area knew where they were based on the location of this bubble building, or "spaceship house" as children now call it. It has appeared on several YouTube channels, websites and local attraction lists. It has always been a beloved building to our community!

Even though it has stood vacant for the past three years while a handful of different parties strived to take over ownership of it after the Children's Outreach Project moved out, we have all held onto the hope that it could be revitalized and a new spark of life could be breathed into it; allowing it to once again serve our community as our famed "round house" that we hold dear to our hearts. It may not be an official registered landmark yet (Westminster Historical Society said they will induct it as a 'unique' landmark pending the outcome of Adams County's decision on this matter), but it certainly has been a favorable navigational tool for seas of people who have come and gone over the years.

The "Spaceship of Sherrelwood" is literally the only place like it that there is across the country. This building has sparked the excitement, imagination, and local pride for generations of wide-eyed kids. Several members of our community have a special nostalgic connection with it from when it was operated as a daycare that they eagerly attended. There are more pages in the petition encouraging it to be allowed to remain than there are of Delwest's entire application for rezoning!

There's nothing significant about Delwest's homes except for the pricetag. Real estate developers

will always be enticed to come build their latest design for teeny houses made of nothing but siding; that opportunity isn't going anywhere. But once this unique structure has been demolished, it's gone forever. Please leave something left for our future generations. Denver's history is told by it's architecture! Delwest's townhomes aren't going to put Sherrelwood on the map, but the rare "dome home" does. Support for it to stand and operate as it is have come in from as far away as Germany! The petition currently has 1,500 signatures of supporters.

(www.change.org/spaceshiphouse)

This building could be an immediate economic relief hub for local residents. It could amplify opportunities for our community and protect our families. In the near future it could be utilized as a rentable public community center or commercial amenity operated by the County, exceeding far more annual monetary gain than any of Delwest's proposed housing installations. I have previously submitted an attachment called 'An Alternative Proposal for 8000 N Pecos' to the commentary on this case file which outlines how much money Adams County stands to make from operating this building as your own, and the possibility of creating local jobs to staff the business proceedings that you choose to take place.

Sherrelwood Park is the only open greenspace left in our municipality! Please don't let Delwest obliterate the public view of it with their townhomes. Encourage the outdoor recreation and social connection which our kids are so zealously desiring. Furthermore, this location would be the largest - and also the only - neighborhood welfare center belonging solely to Sherrelwood, as Perl Mack and Hyland Hills are considered Westminster and Federal Heights entities.

We implore you to consider enacting the 'eminent domain' process and reclaim this property for public use. Or, deny demolition permits for the building and require it to remain standing under ownership of Delwest.

Please not consider "Sherrelwood Village Filing No. 2" as yet another proposal by a real estate developer. Rather, you hold the power over one of the last countrywide iconic marvels in your hands. And if it's famous nationwide, please believe me when I say that the "bubble building" is a super special place to a countless number of people living within your district who grew up alongside it!

We beg of you to not let it go and slip through our fingers.

I really appreciate you reading my letter through to the end. I understand that your time is very valuable, I'm honored and thankful that you lent me your attention.

Thank you again for reading this, valued members of our Planning Commission, and may all of the best always find you.

- Sarah Garner

(303) 882-4586

SGarner0203@gmail.com

7982 Zuni Street

Sherrelwood, CO. 80221



Recipient: Alan Sielaff, Jill Jennings Golich, Board of County Commissioners, Adams County Planning Commission

Letter: Greetings,

You might have went to school here. Perhaps like me you have always wondered what it looked like inside, or your children hope to catch a glimpse of the rare structure while you're driving by. Many members of our community have a nostalgic connection with this location and it brings back memories of times and places in North Denver that are now lost to the sands of time.

The fate of the "Spaceship House" on 79th and North Pecos Street is now being held in your hands, Adams County. Recently, a development company purchased the lot that it sits on and they have intentions of tearing this unique building down in order to make way for yet another expensive multi-level residential complex; one which would block neighboring views of the surrounding Sherrelwood Park from multiple perspectives.

Our neighborhood would much rather see this building utilized as a public community center or economic relief hub. Recreation, performing arts, culture and pandemic recovery are all equally as important to a thriving population as housing is. Several complexes and development plots have already popped up in this densely populated area over the last few years, but the municipality of Sherrelwood doesn't have a single outlet for it's youth nor the creativity of it's residents, or a local gathering spot for seniors and Veterans. Perl Mack and Hyland Hills are considered Westminster and Federal Heights entities. The building itself is an iconic structure and the design alone would attract traffic through the doors. It has been recognized on www.roadarch.com and is currently being submitted to historic/unique landmark designation departments around the state of Colorado.

It's heartbreaking to think that one of the last staples of our childhood is now in danger of demolition. Not to mention that the lots slated for the new buildings along with Sherrelwood Park (which is located directly behind it) are the only active recreational open spaces left in this small city.

Please consider this petition and the voices of Adams County residents.

Public Comment - Garner

Please see how much we want the building on 8000 N. Pecos Street to remain intact and used as a public amenity for the benefit of our struggling community.

Thank you for reviewing this case, and the time you've invested into this important matter to our neighborhood.

Sincerely,

The Residents of Sherrelwood

Comments

Name	Location	Date	Comment
jaquenette wilmoth	chappell, NE	2020-06-13	"Historical odd buildings need to be saved"
Joseph Velasquez	Denver, CO	2020-06-14	"This unique building can still be used in so many ways! Why demolish it just for yet another apartment complex? 💎"
Chris Vigil	Denver, CO	2020-06-14	"Childhood memories, resident of the neighborhood"
Angelica Regal	Keene, NH	2020-06-14	"This has always been a landmark for me growing up. Was always facinated with the "bubble school"! Stop destroying Denver!"
Katlyn Hammond	Loveland, CO	2020-06-14	"I went to preschool here. I loved every minute off it. ##"
Sally Thee	Denver, CO	2020-06-14	"Stop demolition structures just to build ugly high rise apartments. This is a one of a kind leave it alone."
Micah Whatley	New Orleans, LA	2020-06-14	"I'm a Denver native and hate seeing so many unique and historic buildings getting razed and replaced with overpriced ugly housing ultimately ruining and erasing the charm the Denver metro area has."
laura ellis	Denver, CO	2020-06-14	"Because I live in the neighborhood and I am tired of what little land and old buildings we have lets knock it down for more cheaply made ugly homes"
Josh Gold	Denver, CO	2020-06-14	"Adam's county landmark"
Sondra castanos	Commerce City, CO	2020-06-14	"I love this house I always wanted to own it it should stay its part of history."
Dori Mondon	Mount Shasta, CA	2020-06-14	"What a landmark! Don't tear this down. Make use of it."
Kaitlin Woodward	Lakewood, CO	2020-06-14	"Keep history"
Wendy Ulibarri	US	2020-06-24	"It is important to preserve structures of history and character to add to the neighborhood identity! Make it the center of your development to help build Community heritage!"
Joseph Mendoza	Denver, CO	2020-06-24	"My grandma usta work there with my aunty,they would take me,with them.good memories.."
Tracy Beach	canon city, CO	2020-06-24	"Spaceship house is a local landmark and should be saved!"
Janine Mednansky	Manitou Springs, CO	2020-06-24	"Love the design, workmanship...would love to live in this...you don't destroy something that's still useful as well as what it has and does mean to the community where it is !!!"
Elizabeth Wright	Denver, CO	2020-06-25	"There's not a lot of remarkable spaces left. Please save this one"
Sarah Fausett	Westminster, CO	2020-06-25	"I'd only be semi-okay with this getting demolished if the new buildings were affordable housing. So, please don't demolish!!!!!"

Public Comment - Garner

Name	Location	Date	Comment
Audri Edwards	Denver, CO	2020-06-25	"It's a beautiful, historical property"
Gena Tagart	Commerce City, CO	2020-06-25	"i love that building, it should be used for something useful!"
Monica Martinez	Denver, CO	2020-06-25	"My son went there don't tear it down."
Chris Arguello	Denver, CO	2020-06-25	"It's a beautiful OLD building! I would hate to see it torn down just so someone can make some money."
alyssa montoya	Denver, CO	2020-06-25	"Formally known as Childrens Outreach Project, I worked there for 16 years and don't want to see it torn down. We were sad of the news we had to close and displace the families enrolled. Would love to see it used and not demolished"
Ashley Wilson	Aurora, CO	2020-06-25	"I taught here for 10 years, a lot of memories###"
kalli johnson	Commerce City, CO	2020-06-25	"It's a part of history. Keep it alive."
Kimberly Hoffman	Denver, CO	2020-06-25	"2 of my children went to school Amin this building. I would like to see it saved and used for more children to enjoy."
Debra Gow-Kennedy	US	2020-06-25	"I love this if I had the money I'd buy it and make it my house"
tonya garcia	Pueblo, CO	2020-06-25	"This building has been there forever.. It should stay!!!"
Zenta Jones	Tacoma, WA	2020-06-25	"It is a piece of history please dont destroy that."
Susan Dunlap	Denver, CO	2020-06-25	"Live near by"
Brittany Phillips	Northglenn, CO	2020-06-25	"My sister worked here for many years and my nieces grew up here!"
Amanda Musso	Denver, CO	2020-06-25	"This building means a lot to people"
tyler terhorst	Englewood, CO	2020-06-25	"architecture as such should be preserved. we as a society lack creativeness. this structure provokes creativity by sparking thee imagination."
Georgina Brown	Colorado	2020-06-25	"This childcare has been around my whole life I once went there as a child no need to replace with homes"
Kate Murphy	Denver, CO	2020-06-25	"I have many happy memories in there"
Sierra Sanchez	Federal Heights, CO	2020-06-25	"I used to go to Sherrelwood Elementary and we used to have so many stories about the UFO saucer that landed nearby! Us kids always promised that we'd grow up and buy it someday. I tried but was denied by the school district. Not right to say that it's blighted and then tear it down when people of the community have always wanted it!"
Alois Maehlor	Sherrelwood, CO	2020-06-25	"You're ruining local culture if you tear this place down! Very nostalgic location."

Public Comment - Garner

Name	Location	Date	Comment
Lindsey Nelson	Ignacio, CO	2020-06-25	"This was my preschool and it's a staple of this area please don't year it down!"
Sheila Ritter	DENVER, CO	2020-06-25	"This building is an icon to thousands of people in the neighborhood and across the world. It deserves to be kept intact for future children who's parents went here."
Dee Dukes	Denver, CO	2020-06-25	"The houses that Delwest are building nearby are ugly!!!! Please don't let them get rid of the bubble house to put more of these in.....we have plenty of their cookie-cutter "units" as it is!Deny the permits!"
debra johnson	thornton, CO	2020-06-26	"I love this build ## I drive by it ever day"
Joseph Velasquez	Denver, CO	2020-06-26	"Tearing down a unique structures & destroying part of a park & the view from the neighborhood just to build a few more townhomes is unbelievable. Please turn the most iconic building in our town into something useful like a community center instead!"
Marie Torrez	Denver, CO	2020-06-26	"We need this not more homes we can't afford to buy or rent"
Sierra Sanchez	Federal Heights, CO	2020-06-26	"I used to go to Sherrelwood Elementary and we used to have so many stories about the UFO saucer that landed nearby! Us kids always promised that we'd grow up and buy it someday. I tried but was denied by the school district. Not right to say that it's blighted and then tear it down when people of the community have always wanted it!"
Dee Dukes	Denver, CO	2020-06-26	"The houses that Delwest have built nearby are ugly!!!! Please don't let them get rid of the bubble house to put more of these in.....we have plenty of their eyesores as it is!Deny the permits!"
brianna cozad	Arvada, CO	2020-06-26	"Leave it alone turn it back into a daycare"
Sarah Garner	Denver, CO	2020-06-26	"It just wouldn't be right if this building wasn't here anymore. :("
Sarah Garner	US	2020-06-26	"The unique architecture of this property would make it the perfect spot for a community center!"
Amanda Demple	Lakewood, CO	2020-06-26	"I grew up seeing this cool building, it should be repurposed instead of torn down"
Sheila Roach	Denver, CO	2020-06-26	"Historical architecture needs to be saved."
Jane Rich	Portland, OR	2020-06-26	"I love the space ship house it's memories and must remain as a part of Denver"
Abigail DeMark	Colorado Springs, US	2020-06-27	"It looks cool"
Aaliyah Ugalde	Denver, CO	2020-06-27	"This is one of my child hood places i lived in front of it for many year and i would really like it to stay there"

Public Comment - Garner

Name	Location	Date	Comment
Victoria Biggins	Oklahoma City, OK	2020-06-27	"This building is a huge part of my childhood. I wish Denver would stop allowing these contractors to take our city away and turn it into a mertopolis."
Jaelen Lewis	Denver, CO	2020-06-27	"I've seen this building all my life!"
Adriana Basabe	New York, NY	2020-06-27	"I'm signing because this place means a lot to me ."
Daesia Garcia	Denver, CO	2020-06-27	"I"
Daniel Macias	Brighton, CO	2020-06-27	"This building was always pretty cool to look at when I was little."
Nicole Derwent	Westminster, CO	2020-06-28	"I grew up driving by this place with my grandma in the summer. My grandma isn't here now but it's just the little memories is all"
Daminick Chavez	Denver, CO	2020-06-28	"Love seeing this place everyday!"
Isaiah Lucero	Westminster, CO	2020-06-28	"I fuck with that school"
Anthony Solano	Denver, CO	2020-06-28	"That shit go hard"
Dominic Scurlock	Thornton, CO	2020-06-28	"DONTTTR"
JUSTICE FOR HIM	Denver, CO	2020-06-28	"im signing this petition bc I LOVE THIS SPACESHIP HOUSE i wanna take my future kids to this spaceship house"
Santi Aleman	Thornton, CO	2020-06-28	"i needa"
Kareem Barrera	Westminster, CO	2020-06-29	"Signing this because why should a beautifully ugly designed building be destroyed for the purpose of building yet another building and gentrifying this location."
Toni Palos	Westminster, CO	2020-06-29	"Historic"
Brianna Dimas	Denver, CO	2020-06-29	"BRIANNA DIMSS"
ricardo aldana	Westminster, CO	2020-06-29	"It is a landmark building"
Justice Humphrey	Northglenn, US	2020-06-29	"I love this building. Wouldn't be the same without it there."
Nic Etchells	Northglenn, CO	2020-06-29	"It's historical in my eyes"
Lisa Dehn	Denver, CO	2020-06-29	"The children in our community deserve more support. This historic building would make a great community center. Our neighborhood has thousands of new homes but the developers are not helping improve schools or community resources. Adam's County has open space funding to provide nice parks but NOT in our area."
Breauna Garcia	Northglenn, CO	2020-06-29	"It is a childhood memory and is so unique in its own way. It should not be teared down!"
jadyn cordova	Denver, CO	2020-06-29	"i went to school here and i want to see it become something for kids in the neighborhood"

Public Comment - Garner

Name	Location	Date	Comment
Evanna Ortiz	Arvada, CO	2020-06-30	"Monumental"
Erica Hernandez	Thornton, CO	2020-06-30	"We need to keep history."
Daniel Mings	golden, CO	2020-06-30	"I love in Adams county and live there people building it could be an amazing head start or kids outreach center"
deana campbell	Loveland, CO	2020-06-30	"I love this house. So many memories"
Benny Santistevan	Littleton, CO	2020-06-30	"Benny santistevan"
Elizabeth Gozy	Aurora, CO	2020-06-30	"Elizabeth gozy"
Juan Yanez	Denver, CO	2020-06-30	"I would hate to see it taken down"
Gloria Montoya	Thornton, CO	2020-07-01	"It's been there for years. Still looks Great.."
Derrick Sly	mesopotamia, OH	2020-07-02	"It's a neat looking building, if it can be feasibly saved and repurposed why not keep it and develop around it? So much interesting architecture is destroyed in favor of boring. Or worse... parking."
Carol Rosas	Denver, CO	2020-07-02	"I care"
Jose Luna	Denver, CO	2020-07-02	"We don't need more housing"
Richelle Healy	Henderson, CO	2020-07-07	"There are things worth preserving that would benefit everyone!"
Bobbi Mestepey	Arvada, CO	2020-08-24	"Historic, cool buildings like this need to be saved from demolition and used for the community. We dont need more pack n stack apts. Too many people crammed in using up natural resources! Stop building!"
Kiro Yiro	Orange Park, FL	2020-11-12	"this is a bucket list destination for me"
HC YY	US	2020-11-18	"I'm only signing this because it is a rare and exotic building."
Debra Green	Denver, CO	2020-12-07	"I do not want this school to be torn down"
mary sheppard	denver, CO	2020-12-08	"Art, architecture and history are sooo important for the future. Please save this building. It has it ALL."
Pat G	Sherrelwood, CO	2021-02-11	"Please keep this wonderfully unique building standing! My children used to attend when it was an active daycare; we would all be devastated to see it being torn down and replaced by something that looks just like every other complex around our town."

Recipient: Alan Sielaff, Jill Jennings Golich, Board of County Commissioners, Adams County Planning Commission

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The fate of the "Spaceship House" on 79th and North Pecos Street is now being held in your hands, Adams County. Recently, a development company purchased the lot that it sits on and they have intentions of tearing this unique building down in order to make way for yet another expensive multi-level residential complex; one which would block neighboring views of the surrounding Sherrelwood Park from multiple perspectives.

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Please consider this petition and the voices of Adams County residents.

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Thank you for reviewing this case, and the time you've invested into this important matter to our neighborhood.

Sincerely,

The Residents of Sherrelwood

Signatures

Name	Location	Date
Sarah Garner	US	2020-06-13
Joseph Velasquez	Northglenn, CO	2020-06-13
jaquenette wilmoth	chappell, NE	2020-06-13
Blanca Medrano	Denver, CO	2020-06-14
Chris Vigil	Denver, CO	2020-06-14
Nancy Nobbe	Westminster, CO	2020-06-14
donna boles	Aurora, CO	2020-06-14
Lacey Adams	Denver, CO	2020-06-14
Gene Cassidy	Denver, CO	2020-06-14
Val Garcia	Denver, CO	2020-06-14
Mark Leiby	Aurora, CO	2020-06-14
Bess Rael	Brighton, CO	2020-06-14
Angelica Regal	Keene, NH	2020-06-14
Ellen Vigil	Denver, CO	2020-06-14
Jessie Rodriguez	Atlanta, GA	2020-06-14
Edith Jones	denver, CO	2020-06-14
Marie Ranes	Denver, CO	2020-06-14
Katlyn Hammond	Loveland, CO	2020-06-14
Johnny Ringo	Brighton, CO	2020-06-14
Susan Polley	Westminster, CO	2020-06-14

Name	Location	Date
Shane Artrup	Westminster, CO	2020-06-14
JoEtta Joyce	Denver, CO	2020-06-14
Robynn Bartholomew	Denver, CO	2020-06-14
Dominique Mestas	Denver, CO	2020-06-14
Sally Thee	Denver, CO	2020-06-14
JON INWOOD	Brooklyn, NY	2020-06-14
Matthew Lopez	Denver, CO	2020-06-14
Micah Whatley	New Orleans, LA	2020-06-14
Nicholas Demos	Denver, CO	2020-06-14
Desna Orlovski	Brighton, CO	2020-06-14
laura ellis	Denver, CO	2020-06-14
Josh Gold	Denver, CO	2020-06-14
Teresa Pennetta	Kent, WA	2020-06-14
Sondra castanos	Commerce City, CO	2020-06-14
katie Ruybal	Holmdel, NJ	2020-06-14
Kimberly Sena	Denver, CO	2020-06-14
Marie B a r o s	Cheyenne, WY	2020-06-14
Andrew Dauernheim	Westminster, CO	2020-06-14
A gann	Denver, CO	2020-06-14
Carrie Gleason	Littleton, CO	2020-06-14
Patty Mosher Mosher	Cheyenne, WY	2020-06-14
Nicole Hall	Denver, CO	2020-06-14

Name	Location	Date
Dori Mondon	Mount Shasta, CA	2020-06-14
Dustin Sigaty	Westminster, CO	2020-06-14
Sarah Siegmund	Mahomet, IL	2020-06-14
Ambar McGregor	Phoenix, AZ	2020-06-14
Kaitlin Woodward	Lakewood, CO	2020-06-14
Jamie Holland	Denver, CO	2020-06-14
Suzanne Kutach	Houston, TX	2020-06-15
Kari Towe	Denver, CO	2020-06-15
Kalee Sorenson	Denver, CO	2020-06-15
Scott Gutshall	Denver, CO	2020-06-15
Barbara Addy	Denver, CO	2020-06-15
Sally Beaumont	Shasta Lake, CA	2020-06-15
Cindy Corbett	Denver, CO	2020-06-15
Jeanette Roberts	LaPorte, TX	2020-06-15
Brittney DeRosa	Windsor, CO	2020-06-15
Lisa Forsyth	Denver, CO	2020-06-15
martha crook	groveland, MA	2020-06-18
Francina Golem	Colorado Springs, CO	2020-06-24
Wendy Ulibarri	US	2020-06-24
Arthur Gray	Arvada, CO	2020-06-24
Zachary Huske	Denver, CO	2020-06-24
Richard Von Sneidern	Arvada, CO	2020-06-24

Name	Location	Date
Lindsay Jones	Longmont, CO	2020-06-24
Debra Haverfield	Cheraw, CO	2020-06-24
Erica Klingberg	Denver, CO	2020-06-24
Shelly Stanley	Loveland, CO	2020-06-24
Roy Wilmoth	Lebanon, NE	2020-06-24
Tanja Forte	Murfreesboro, TN	2020-06-24
lynda7038 driver rd carpenter	zebulo, NC	2020-06-24
Jerry Selph-Swann	La Plata, MD	2020-06-24
Jamie Starkey	Chillicothe, OH	2020-06-24
Nikolas Stephens	Rochester, NY	2020-06-24
Sierra Serrano	Windsor, CO	2020-06-24
Allen Rioux	Palm Bay, FL	2020-06-24
Glenn P.	Cypress, CA	2020-06-24
Patricia Bender	Constantia, NY	2020-06-24
Jesse Dahl	Thornton, CO	2020-06-24
Joseph Mendoza	Denver, CO	2020-06-24
Merk Trejo	Denver, CO	2020-06-24
Tracy Beach	canon city, CO	2020-06-24
Valerie Medina	Commerce City, CO	2020-06-24
Victoria lazare	Thornton, CO	2020-06-24
Shannon Mitchell	Colorado Springs, CO	2020-06-24
Jay Koepp	Arvada, CO	2020-06-24

Name	Location	Date
Adam Debaere	Denver, CO	2020-06-24
Cheryl Belt	Denver, CO	2020-06-24
Janine Mednansky	Manitou Springs, CO	2020-06-24
Hailee Parker	The Pas, Canada	2020-06-24
Elizabeth Wright	Denver, CO	2020-06-25
Christina Ishman	Rochester, NY	2020-06-25
Veronica Busey	Denver, CO	2020-06-25
Sarah Fausett	Westminster, CO	2020-06-25
Jessica Devonshire	Palmerston North, New Zealand	2020-06-25
Tara Barela	Denver, CO	2020-06-25
Derek Garner	Denver, CO	2020-06-25
Troy Meissner	Englewood, CO	2020-06-25
Audri Edwards	Denver, CO	2020-06-25
Jordan Conn	Fort Collins, CO	2020-06-25
Kaylee Stiffler	Boulder, CO	2020-06-25
Angela Lurtz	Thornton, CO	2020-06-25
Gena Tagart	Commerce City, CO	2020-06-25
Janet Peal	Northglenn, CO	2020-06-25
Keri Wainwright	Brighton, CO	2020-06-25
Rebekah Haley	Northglenn, CO	2020-06-25
Lyndsay Lofton	Denver, CO	2020-06-25
Anastasia Zarndt	Henderson, CO	2020-06-25

Name	Location	Date
Monica Martinez	Denver, CO	2020-06-25
Alyssa Sullivan	Brighton, CO	2020-06-25
Jamie Villa	Brighton, CO	2020-06-25
Alicia Trela	Denver, CO	2020-06-25
Chris Arguello	Denver, CO	2020-06-25
Lori Froehlich	Arvada, CO	2020-06-25
alyssa montoya	Denver, CO	2020-06-25
Colleen Hart	Thornton, CO	2020-06-25
Crystal Yost	North Las Vegas, NV	2020-06-25
Christine Montoya	Thornton, CO	2020-06-25
Ashley Wilson	Aurora, CO	2020-06-25
Dalena Mullica	Federal Heights, CO	2020-06-25
Mireya Montoya	Thornton, CO	2020-06-25
Erin Wright	Denver, CO	2020-06-25
Bethanie Deeds	Denver, CO	2020-06-25
Pete Montoya	Albuquerque, NM	2020-06-25
Brianna Moreno	Denver, CO	2020-06-25
Alexis Stepp	Westminster, CO	2020-06-25
Vanessa Wilcoxon	Brighton, CO	2020-06-25
Savannah Miller	Golden, CO	2020-06-25
Laura Bolton	Thornton, CO	2020-06-25
Jasmyne Lucero	Denver, CO	2020-06-25

Name	Location	Date
Jacob Wade	Denver, CO	2020-06-25
Glenda Baca	Aurora, CO	2020-06-25
Danielle McCorkle	Henderson, CO	2020-06-25
Natalie Tennant	Aurora, CO	2020-06-25
Paulina Rodriguez	Denver, CO	2020-06-25
Elizabeth Juhl	Denver, CO	2020-06-25
Wengel Iteffa	Denver, CO	2020-06-25
Marisa Phipps	Denver, CO	2020-06-25
kalli johnson	Commerce City, CO	2020-06-25
Jessica Rivera	Thornton, CO	2020-06-25
Kim ward	Denver, CO	2020-06-25
Alyssa Goss	Denver, CO	2020-06-25
randi barker	Fort Collins, CO	2020-06-25
Julie Martinez	Denver, CO	2020-06-25
Kimberly Hoffman	Denver, CO	2020-06-25
Emily Stlaurent	Brush, CO	2020-06-25
Trenton Schindele	Broomfield, CO	2020-06-25
Roy Moreland	Brighton, CO	2020-06-25
Debra Gow-Kennedy	US	2020-06-25
Theresa Cardenas	Elizabeth, CO	2020-06-25
tonya garcia	Pueblo, CO	2020-06-25
Samantha Wade	Thornton, CO	2020-06-25

Name	Location	Date
Samantha Andrews	Commerce City, CO	2020-06-25
Sarah Castillo	Las Vegas, NV	2020-06-25
Monique Trujillo	Denver, CO	2020-06-25
Stephanie Thompson	Denver, CO	2020-06-25
Amanda Crowell	Middletown, NY	2020-06-25
Charlotte Niteman	Denver, CO	2020-06-25
Lisa Quezada	Denver, CO	2020-06-25
Lisette Quezada	Denver, CO	2020-06-25
Leonard Martinez	Denver, CO	2020-06-25
Justin Underhill	San Francisco, CA	2020-06-25
Desiree Gonzales	Denver, CO	2020-06-25
Toni Charles	Hudson, CO	2020-06-25
Mya Green	Scobey, US	2020-06-25
Jennifer Carmack	Denver, CO	2020-06-25
Alaia Acheritogaray	Corte Madera, US	2020-06-25
Rylynn Lucero	Denver, CO	2020-06-25
Mia Vann	Lubbock, TX	2020-06-25
Danielle Dickinson	Olympia, WA	2020-06-25
Zenta Jones	Tacoma, WA	2020-06-25
Kate Kelly	Golden, CO	2020-06-25
Ino devora	Denver, CO	2020-06-25
Lottie Dones	Denver, CO	2020-06-25

Name	Location	Date
Steve Steere	Denver, CO	2020-06-25
Lue Scarpitta	Kansas City, MO	2020-06-25
Carolyn else	Thornton, CO	2020-06-25
Stormy Sandoval	Denver, CO	2020-06-25
Tim Brainard	Fort Collins, CO	2020-06-25
Michele Dones	PLATTEVILLE, CO	2020-06-25
Brandy Ragan	Denver, CO	2020-06-25
Susan Dunlap	Denver, CO	2020-06-25
Amanda Robinson	Denver, CO	2020-06-25
Theresa Barnett	Keenesburg, CO	2020-06-25
Taylor Jensen	San Angelo, TX	2020-06-25
Marilee Kissler	Platteville, CO	2020-06-25
Deborah Huske	Commerce City, CO	2020-06-25
Becky Eckhardt	Aurora, CO	2020-06-25
Christine Yarnes	North Las Vegas, NV	2020-06-25
Monica Piper	Westminster, CO	2020-06-25
Michelle Lim	Denver, CO	2020-06-25
Jeff Ward	Denver, CO	2020-06-25
Kayla Bott	Denver, CO	2020-06-25
Brittany Phillips	Northglenn, CO	2020-06-25
Kim Owen	Bellingham, WA	2020-06-25
Larry Barela	Littleton, CO	2020-06-25

Name	Location	Date
Jonathan Bencomo	Northglenn, CO	2020-06-25
Monique Obarski	Denver, CO	2020-06-25
Penny DeNoble	New Orleans, LA	2020-06-25
Kimberly Dicken	Las Vegas, NV	2020-06-25
Roger Jetter	Aurora, CO	2020-06-25
Ieasha Else	Denver, CO	2020-06-25
April Williams	Decatur, IL	2020-06-25
Stephanie Navarette	Denver, CO	2020-06-25
Menessa Brewer	Denver, CO	2020-06-25
Abby Pinkston	Arvada, CO	2020-06-25
Jacob Parker	Denver, CO	2020-06-25
Amanda Musso	Denver, CO	2020-06-25
Hector Ortega	Denver, CO	2020-06-25
abdul yacubu	denver, CO	2020-06-25
Patricia Greer	Denver, CO	2020-06-25
Justin lambert	Arvada, CO	2020-06-25
Daniel Valdez	Lakewood, CO	2020-06-25
Joshua Rowe	Denver, CO	2020-06-25
Justin Parker	Denver, CO	2020-06-25
tyler terhorst	Englewood, CO	2020-06-25
LeShane BILLY	Denver, CO	2020-06-25
Devon Harms	Flagler, CO	2020-06-25

Name	Location	Date
Deserae Hernandez	Denver, CO	2020-06-25
Erick Bernal	Westminster, CO	2020-06-25
Jacob hardin	Brighton, CO	2020-06-25
Georgina Brown	Colorado	2020-06-25
Sarah Tinney	Denver, CO	2020-06-25
Lena Hager	Denver, CO	2020-06-25
Aurora Rosas	Denver, CO	2020-06-25
Kate Murphy	Denver, CO	2020-06-25
Felicia Apodaca	Denver, CO	2020-06-25
Joseph Montano	Mesa, AZ	2020-06-25
Tyler Birkholtz	Longmont, CO	2020-06-25
Sierra Sanchez	Federal Heights, CO	2020-06-25
Nicole Sena	Commerce City, CO	2020-06-25
Cera Dacosta	Denver, CO	2020-06-25
Alois Maehlor	Sherrelwood, CO	2020-06-25
Sarah Sylvester	Denver, CO	2020-06-25
Brenda Sallee	Denver, CO	2020-06-25
Nathan Martinez	Broomfield, CO	2020-06-25
Dee Dukes	Denver, CO	2020-06-25
Lindsey Nelson	Ignacio, CO	2020-06-25
Amber Brecheisen	Thornton, CO	2020-06-25
Sheila Ritter	DENVER, CO	2020-06-25

Name	Location	Date
Deniss Shields	Denver, CO	2020-06-25
Nicole Mumma	Brighton, CO	2020-06-25
Michelle Kautz	Denver, CO	2020-06-25
Seannah Schenfeld	Denver, CO	2020-06-26
Tanya Ewing	Denver, CO	2020-06-26
Dwight Darden	Thornton, CO	2020-06-26
Amber Frost	westminster, CO	2020-06-26
holli razo	Denver, CO	2020-06-26
Leslie hunter	Rochester, NY	2020-06-26
debra johnson	thornton, CO	2020-06-26
Kate Flores	Thornton, CO	2020-06-26
Marie Torrez	Denver, CO	2020-06-26
Brian Sanchez	Westminster, CO	2020-06-26
Katie Murrin	Denver, CO	2020-06-26
Tonya Sedivy-Brown	Denver, CO	2020-06-26
Hector Santiago	Denver, CO	2020-06-26
Jessica Bocanegra	Longmont, CO	2020-06-26
Richard Brown	Brighton, CO	2020-06-26
Ray Garcia	Denver, CO	2020-06-26
Rebecca Lucero	Westminster, CO	2020-06-26
brianna cozad	Arvada, CO	2020-06-26
Kalie Rieger	Englewood, CO	2020-06-26

Name	Location	Date
Kayla Colvin	Louisville, CO	2020-06-26
Richard Hall	Denver, CO	2020-06-26
Aliyana McKie	Easton, US	2020-06-26
Em Ann	Chicago, US	2020-06-26
Jennifer Shipman	Aurora, CO	2020-06-26
Kioni Glasgow	Spring Hill, US	2020-06-26
Chloe Bowles	Brighton, CO	2020-06-26
Mystique Clay	Stockton, US	2020-06-26
Lisette Espinoza	Corona, US	2020-06-26
Vanda Black	US	2020-06-26
Logan Ober	US	2020-06-26
allison lopez	Green Bay, US	2020-06-26
Zayden Aqel	Burbank, US	2020-06-26
Nyana Lysz	Adrian, US	2020-06-26
alyssa nunes	Boston, US	2020-06-26
Ramiyah Tubbs	Suwanee, US	2020-06-26
Eli Brown	Greensboro, US	2020-06-26
Justin Mason	Grosse Pointe, US	2020-06-26
Hailey Dooley	Sacramento, US	2020-06-26
Daniel Alvarez	Abilene, TX	2020-06-26
Stacy Morales	San Francisco, CA	2020-06-26
Maria K.	Granger, US	2020-06-26

Name	Location	Date
Natalie Graciano	Commerce City, CO	2020-06-26
Nathan Vereb	Morrisville, US	2020-06-26
Tierra Jernberg	Littleton I, CO	2020-06-26
Rebecca Lawler	Westminster, CO	2020-06-26
Miranda Robledo	Aurora, CO	2020-06-26
Katrina Vigil	Federal Heights, CO	2020-06-26
Matthew Garrett	Denver, CO	2020-06-26
Jennifer Gutierrez	Anaheim, US	2020-06-26
Liliana Guevara	Wichita, US	2020-06-26
arleen estrada	North Hollywood, US	2020-06-26
Ethan Zartman	Fort Bragg, US	2020-06-26
sami nutter	Simi Valley, US	2020-06-26
cathy ulto	Redwood City, US	2020-06-26
Camila Musso	Calexico, US	2020-06-26
Melina Camacho	Phoenix, US	2020-06-26
Emily Almanza	Detroit, US	2020-06-26
Janelle Davenport	Saint Paul, US	2020-06-26
Chris Pichardo	Kenai, US	2020-06-26
Jordan Krolart	Phoenix, US	2020-06-26
Katie Sylvester	Watertown, NY	2020-06-26
Juan Miramontes	Denver, CO	2020-06-26

Name	Location	Date
finny2468@gnail.com finleigh lewis	hoosick falls, US	2020-06-26
Heather Feuerstein	Potomac, US	2020-06-26
Bailey Schreiber	Spring Hill, US	2020-06-26
Kensington Tonski	Medford, US	2020-06-26
Everyone Ever	Sackets Harbor, US	2020-06-26
Amanda Demple	Lakewood, CO	2020-06-26
laura b	Port Orange, US	2020-06-26
Greta Gottmann	Potsdam, US	2020-06-26
Mitchell Hautea	Union City, US	2020-06-26
Luis Arras	Denver, CO	2020-06-26
Claudia Govic	Sarasota, US	2020-06-26
Maria Shepherd	Deltona, US	2020-06-26
Gracie Guisewite	Milton, US	2020-06-26
faith powell	Lexington, US	2020-06-26
Sheila Roach	Denver, CO	2020-06-26
Shauna Eckart	Denver, CO	2020-06-26
Joe John	Arvada, US	2020-06-26
Jenna Hall	Austin, US	2020-06-26
Angelena Martin	Rochester, US	2020-06-26
Dominic Rinner	US	2020-06-26
Josephine Hoppes	Holland, US	2020-06-26

Name	Location	Date
Avaya Darden	Thornton, CO	2020-06-26
Medha Durisheti	Henrico, US	2020-06-26
anony mous	Gibsonville, US	2020-06-26
Riley Wolford	Springfield, US	2020-06-26
Jaclyn Brennan	Berkeley Springs, US	2020-06-26
kathryn varvarigos	Kirkland, US	2020-06-26
Z Schmigy	Germantown, US	2020-06-26
Jane Rich	Portland, OR	2020-06-26
Lillieanna Billinger	Denver, CO	2020-06-26
Tanya Ibarra	Denver, CO	2020-06-26
Patti Schwab	Broomfield, CO	2020-06-26
Megan Deeds	Westminster, CO	2020-06-26
Leahia Crowe	Longmont, CO	2020-06-26
Chris Sing	Denver, CO	2020-06-26
Shannon Nelson	Brighton, CO	2020-06-26
Michelle dalbotten	Henderson, CO	2020-06-27
Juliana Martinez	Thornton, CO	2020-06-27
Abigail DeMark	Colorado Springs, US	2020-06-27
Ladarian Grisby	Denver, CO	2020-06-27
Rachle Oxford	Westminster, CO	2020-06-27
haley piller	Bennett, CO	2020-06-27
Anthony Rueda	Denver, CO	2020-06-27

Name	Location	Date
Navy Roady	Broomfield, CO	2020-06-27
Laurie Hasbrouck	Denver, CO	2020-06-27
Sara Eskra	Thornton, CO	2020-06-27
Zachary Martinez	Brighton, CO	2020-06-27
Abby Fontes	Denver, CO	2020-06-27
Dominick Romero-hernandez	Westminster, CO	2020-06-27
Cassidy Wascher	Colorado Springs, CO	2020-06-27
Megan Nuanes	Northglenn, CO	2020-06-27
Cristian De La Rosa	Thornton, CO	2020-06-27
allen patterson	Denver, CO	2020-06-27
nancy aguilar	Denver, CO	2020-06-27
Angela Varela	Thornton, CO	2020-06-27
Destinee Vasquez	Thornton, US	2020-06-27
Gauge Gunning	Denver, CO	2020-06-27
Melissa Herrera	Denver, CO	2020-06-27
Guillermo Galindo	Denver, CO	2020-06-27
Omar Urquidi	Denver, CO	2020-06-27
Kelcee Braden	Thornton, CO	2020-06-27
Tracy Bates	Commerce City, CO	2020-06-27
Lilybeth Salcido Payan	Denver, CO	2020-06-27
Erick Acosta	Denver, CO	2020-06-27
Krista Vialpando	Denver, CO	2020-06-27

Name	Location	Date
Zowie Drayer	Denver, CO	2020-06-27
Brisell Haro	Denver, US	2020-06-27
Trina Moody	Denver, CO	2020-06-27
Eli Medina	Denver, CO	2020-06-27
Devanie Sanchr	Denvre, CO	2020-06-27
Chris Cordova	Westminster, CO	2020-06-27
Uriel Martinez	Thornton, CO	2020-06-27
Diego Montanez	Englewood, CO	2020-06-27
Jade Garcia	Westminster, CO	2020-06-27
Patricia Ballew	Aurora, CO	2020-06-27
Patricia Weti	Denver, US	2020-06-27
Giovanni Medina	Denver, CO	2020-06-27
ava stevens	Westminster, CO	2020-06-27
Micaela Oscars	Las Vegas, US	2020-06-27
Rocio Cardenas	Denver, CO	2020-06-27
Analicia Mergil	Commerce City, CO	2020-06-27
Jazmnn Perez	Englewood, CO	2020-06-27
Thomas Kautz	Denver, CO	2020-06-27
Tiffany Williams	Denver, CO	2020-06-27
Antesa Ortega	Denver, CO	2020-06-27
Aaliyah Casias	Denver, CO	2020-06-27
Sylvia Medina	Denver, CO	2020-06-27

Name	Location	Date
Sabrina Garcia	Sanford, NC	2020-06-27
Zar Garcia	Denver, CO	2020-06-27
Renaë Mundis	Thornton, CO	2020-06-27
Isabel Espinoza	Denver, CO	2020-06-27
Jeremy Domben	Denver, CO	2020-06-27
Aaliyah Ugalde	Denver, CO	2020-06-27
Mona Kasim	Northglenn, CO	2020-06-27
Torin Lewis	Denver, CO	2020-06-27
Juan Herrera	Brighton, CO	2020-06-27
Alexis Becerra	Westminster, AZ	2020-06-27
Juan De Leon	Denver, CO	2020-06-27
Zachary Reid	Yukon, OK	2020-06-27
Victoria Biggins	Oklahoma City, OK	2020-06-27
Sophia Magallanes	Denver, CO	2020-06-27
Andrea Jah	Denver, CO	2020-06-27
Karina Aguayo	Westminster, CO	2020-06-27
Emily Bauer	Denver, CO	2020-06-27
Brisa Cruz	US	2020-06-27
Steven Archuleta-Burgette	Denver, CO	2020-06-27
Anyssa Solis	Thornton, CO	2020-06-27
Chelsea Wolff	US	2020-06-27
Jaelen Lewis	Denver, CO	2020-06-27

Name	Location	Date
Debbie BROWN	Denver, CO	2020-06-27
Damaris Hernandez	Bonita, CA	2020-06-27
Raul Gomez	Denver, CO	2020-06-27
Jamie Sposato	Denver, CO	2020-06-27
Jessica Rhyne	Thornton, CO	2020-06-27
Fatima Sanchez	Westminster, CO	2020-06-27
Amelia Beaman	Brighton, CO	2020-06-27
Vanessa Villa	Broomfield, CO	2020-06-27
Adriana Basabe	New York, NY	2020-06-27
Shae Roundy	Arlington, TX	2020-06-27
Irving Mena	Commerce City, CO	2020-06-27
Victor Poyang	Federal Heights, CO	2020-06-27
Valeria Galvan	Denver, CO	2020-06-27
Lynette Buchner	Denver, CO	2020-06-27
Jay Medina	Thornton, CO	2020-06-27
Alex Jaramillo	Denver, CO	2020-06-27
Devin Manseau	Denver, CO	2020-06-27
Dazea Callender	Denver, CO	2020-06-27
Tiffany Seitz	Denver, CO	2020-06-27
Oscar Mireles	Westminster, US	2020-06-27
Trystian Martin	Denver, CO	2020-06-27
Olivia Baca	Denver, CO	2020-06-27

Name	Location	Date
Levi Leos	Kansas City, MO	2020-06-27
Christopher Roberts	Commerce City, CO	2020-06-27
Brian Orcutt	Denver, CO	2020-06-27
Cory Ragsdale	Grand Junction, CO	2020-06-27
Amber Gerace	Denver, CO	2020-06-27
DRIZZLES Benitez	Denver, CO	2020-06-27
Daesia Garcia	Denver, CO	2020-06-27
Ashley Esperanza	Westminster, CO	2020-06-27
Luis Melendez	Westminster, CO	2020-06-27
Jacob Broaddus	Northglenn, CO	2020-06-27
daniel octave	Denver, CO	2020-06-27
J K	Arvada, CO	2020-06-27
Daniel Macias	Brighton, CO	2020-06-27
Ashley Hutchins	Denver, CO	2020-06-27
Travis Grisby	Denver, CO	2020-06-27
Esperanza Basaldua	Denver, CO	2020-06-27
Gabrielle Tafoya	Denver, CO	2020-06-27
Dezirae Blea	Denver, CO	2020-06-27
Nastajah Silvera	Fort Worth, TX	2020-06-27
Marco Renteria	Denver, CO	2020-06-27
Tiffany Hines	Denver, US	2020-06-27
Kimberly Lee	Denver, CO	2020-06-28

Name	Location	Date
Ashlyn Magana	Denver, CO	2020-06-28
Guillermo Macias	Denver, CO	2020-06-28
Itzel Camargo	Arvada, CO	2020-06-28
Elsa Fernandez	Denver, CO	2020-06-28
Maria De La Cruz Rodriguez	Westminster, CO	2020-06-28
Axel Avelar	Denver, CO	2020-06-28
Steven Juarez	Commerce City, CO	2020-06-28
Chris Johnson	Parker, CO	2020-06-28
Wendy Marrufo	Westminster, CO	2020-06-28
Thalia Arzola	Denver, CO	2020-06-28
viviana caldera	Denver, CO	2020-06-28
Hector Zamarron	Denver, CO	2020-06-28
Lizzette Gonzalez	Westminster, CO	2020-06-28
Kimberly Phaimany	Sacramento, CO	2020-06-28
Miranda Saragosa	Denver, CO	2020-06-28
Leslie De Lira	Denver, CO	2020-06-28
Glee Zo	Denver, CO	2020-06-28
Alejandra Garcia	Hayward, US	2020-06-28
Nicole Derwent	Westminster, CO	2020-06-28
Ruby Arana	Burbank, US	2020-06-28
Gabi Hoflin	Denver, CO	2020-06-28
Daminick Chavez	Denver, CO	2020-06-28

Name	Location	Date
Nikki Apodaca	Denver, CO	2020-06-28
Maylenn Vargas	Denver, CO	2020-06-28
Isabel Fernandez	Denver, CO	2020-06-28
Catherine Leslie	Berthoud, CO	2020-06-28
Dennis Velarde	Thornton, CO	2020-06-28
Jordan Meltz	Westminster, CO	2020-06-28
Eloy TAFT	Arvada, CO	2020-06-28
Matthew Romero	Greeley, CO	2020-06-28
Issac Montano	Arvada, CO	2020-06-28
Haley Muniz	Thornton, CO	2020-06-28
Jarred Sharpe	Bronx, NY	2020-06-28
Jasmine Ward	Westminster, CO	2020-06-28
Trinh Le	Denver, CO	2020-06-28
Britney c Martinez	Denver, CO	2020-06-28
chloe kaye	New York, CO	2020-06-28
Nicholas Headley	Denver, CO	2020-06-28
Jonathan Ruiz	Carbondale, CO	2020-06-28
Jesus Fierro	Denver, CO	2020-06-28
Wayne Stokes	Denver, CO	2020-06-28
Isaiah Lucero	Westminster, CO	2020-06-28
Anthony Solano	Commerce City, CO	2020-06-28
Jordan Meissner	Denver, CO	2020-06-28

Name	Location	Date
Alea Dafler	Denver, CO	2020-06-28
Shanna Leonard	Westminster, CO	2020-06-28
Christopher Nunez	Denver, CO	2020-06-28
Leo Rico	Denver, CO	2020-06-28
Dominic Scurlock	Thornton, CO	2020-06-28
Serena Rivera	Denver, CO	2020-06-28
Rebekah Tiffany	Denver, CO	2020-06-28
Jose Cordero	Thornton, CO	2020-06-28
Levi Montoya	Littleton, CO	2020-06-28
Jorge Lopez	Denver, CO	2020-06-28
Jonathan Sanchez	Thornton, CO	2020-06-28
Carla Martinez	Denver, CO	2020-06-28
Asiel Arroyo	Denver, CO	2020-06-28
isabel ruiz	Thornton, CO	2020-06-28
Jackie Rodriguez	Denver, CO	2020-06-28
saul rodriguez	Denver, US	2020-06-28
Ivan Garcia	Denver, CO	2020-06-28
Brittany Rice	Calhoun, GA	2020-06-28
Aridaya Hernandez Meyers	Lochbuie, CO	2020-06-28
Alan Benz	Aurora, CO	2020-06-28
Bryan Martinez	Westminster, CO	2020-06-28
Nikala Smith	Northglenn, CO	2020-06-28

Name	Location	Date
Jaslynn Vigil	Englewood, CO	2020-06-28
Joseph McCREERY	Arlington, TX	2020-06-28
Itzel De la cruz	Englewood, CO	2020-06-28
Miguel Rodriguez	Denver, CO	2020-06-28
Alan Knutson	Greeley, CO	2020-06-28
Maleah Kotowski	Denver, CO	2020-06-28
Maurine Reef-Fernandez	Denver, CO	2020-06-28
Marcus Davis	Denver, CO	2020-06-28
Danielle Jiron	Denver, CO	2020-06-28
Jessica Tello	Denver, CO	2020-06-28
JUSTICE FOR HIM	Denver, CO	2020-06-28
Johana Lugo	Denver, CO	2020-06-28
Veronica Desantos	Denver, CO	2020-06-28
Remigio Maestas	Denver, CO	2020-06-28
Justin Livesay	Broomfield, CO	2020-06-28
Rojasie Rojas	Denver, CO	2020-06-28
Lana Evans	Denver, CO	2020-06-28
felisa varra	Broomfield, CO	2020-06-28
Fidel Romero	Denver, CO	2020-06-28
Diana Barrales	Denver, CO	2020-06-28
Malia Gallegos	Denver, CO	2020-06-28
Dante Rafaela	Denver, US	2020-06-28

Name	Location	Date
Nicole Perez	Westminster, CO	2020-06-28
Maria Ibarra	Denver, CO	2020-06-28
Eden deleon	Westminster, CO	2020-06-28
Jacquelin Valdivia	Thornton, CO	2020-06-28
DArtagnan Devereux	Denver, CO	2020-06-28
Alicia Romo	Denver, CO	2020-06-28
Dianna Rivera	Denver, CO	2020-06-28
Erika Chacon	Brighton, CO	2020-06-28
Jose Medrano	Denver, CO	2020-06-28
Kierstin Broaddus	Denver, CO	2020-06-28
Uriah Conley	El paso, US	2020-06-28
Sari Ferrari	Westminster, CO	2020-06-28
Amber Strock	Denver, CO	2020-06-28
Thalia Leon	Littleton, CO	2020-06-28
Kayleen Williams	Mishawaka, IN	2020-06-28
Sarah Ankrom	Jacksonville Beach, FL	2020-06-28
LEXXIS Bates	Brighton, CO	2020-06-28
Santi Aleman	Thornton, CO	2020-06-28
Kareem Barrera	Westminster, CO	2020-06-29
Westy West	Denver, CO	2020-06-29
Cecilia Valdivia	San Antonio, TX	2020-06-29
Yazi Cossio	Denver, CO	2020-06-29

Name	Location	Date
Toni Palos	Westminster, CO	2020-06-29
Jayde Olive	Denver, CO	2020-06-29
Vincent Tafoya	Thornton, CO	2020-06-29
Ariana Aldana	Las Vegas, NV	2020-06-29
Brianna Dimas	Denver, CO	2020-06-29
ricardo aldana	Westminster, CO	2020-06-29
Alyssa Melder	US	2020-06-29
Katrina Schmidt	Denver, CO	2020-06-29
Madison Revier	Denver, CO	2020-06-29
Trisha Vaughan	Duncan, OK	2020-06-29
Colter Pelletier	Broomfield, CO	2020-06-29
Edgar Regalado	Englewood, CO	2020-06-29
Justice Humphrey	Northglenn, US	2020-06-29
Jae Humphrey	Denver, CO	2020-06-29
Daniela Castor	Denver, CO	2020-06-29
Trella Palos	Commerce City, CO	2020-06-29
Kayla Lopez	Westminster, CO	2020-06-29
Destiny Archibeque	Denver, CO	2020-06-29
Angelica Martinez	Denver, CO	2020-06-29
Jessica Thurston	Lafayette, US	2020-06-29
Eva Lucero	Denver, CO	2020-06-29
Heidi Cook	Brighton, CO	2020-06-29

Name	Location	Date
Kathleen Fernandez	Broomfield, CO	2020-06-29
Adrian Saldana	Denver, CO	2020-06-29
Morrai Reyes	Denver, CO	2020-06-29
Gabriel Carrillo	US	2020-06-29
Nic Etchells	Northglenn, CO	2020-06-29
Rachel Rivera	Englewood, CO	2020-06-29
Jazmin Jurado	Denver, CO	2020-06-29
James Wright	Broomfield, CO	2020-06-29
Jacob Hoff	Denver, CO	2020-06-29
Arisbeth Olivas	Apo, AE	2020-06-29
Ivy Flores	Denver, CO	2020-06-29
Grace Lewis	Westminster, CO	2020-06-29
Gabby Gomez	Aurora, CO	2020-06-29
Rodolfo Andrade	Denver, CO	2020-06-29
Rachel Whitney	Littleton, CO	2020-06-29
Alondra Villa	Arvada, CO	2020-06-29
David Flores	Juarez, Mexico	2020-06-29
Alan Holguin	Denver, CO	2020-06-29
ashlynn waite	Denver, CO	2020-06-29
Deyonna Terry	Los Angeles, CA	2020-06-29
Edgar Carrillo	Westminster, CO	2020-06-29
Torrie Dehn	Denver, CO	2020-06-29

Name	Location	Date
Jamie meyers	Lochbouie, CO	2020-06-29
Brianna Zellner	Brighton, CO	2020-06-29
Stephanie Gutierrez	Denver, CO	2020-06-29
Randy King	Dallas, TX	2020-06-29
Devon King	Denver, CO	2020-06-29
William Baldwin	El Paso, TX	2020-06-29
Lisa Dehn	Denver, CO	2020-06-29
Yamileth Salinas	Parral, Mexico	2020-06-29
Steve Dehn	Denver, CO	2020-06-29
Kimberly Martinez	Denver, CO	2020-06-29
Mary K	Northglenn, CO	2020-06-29
Danny Fernandez	Thornton, CO	2020-06-29
Joshua Huffman	Denver, CO	2020-06-29
Savannah ODowd	Loveland, CO	2020-06-29
Breana Garcia	Northglenn, CO	2020-06-29
Victor Vargas	Denver, CO	2020-06-29
Alyssa Cordova	Brighton, CO	2020-06-29
Zach Lara	Commerce City, CO	2020-06-29
Jens Martin	Denver, CO	2020-06-29
Samantha Cummins	Denver, US	2020-06-29
Vanessa Murphy	Westminster, CO	2020-06-29
jadyn cordova	Denver, CO	2020-06-29

Name	Location	Date
Shane Aguilae	Denver, CO	2020-06-30
Sunni arnold	Thornton, CO	2020-06-30
Edgar Quinonez	Denver, CO	2020-06-30
Karen Munoz	Denver, CO	2020-06-30
Dominique Rivas	Denver, CO	2020-06-30
Brittney Stanton	Arvada, CO	2020-06-30
Leroy Quezada	Denver, CO	2020-06-30
genesis ortiz	Denver, CO	2020-06-30
Georgia Zavala	Frederick, CO	2020-06-30
David Rivera	Denver, CO	2020-06-30
Breann Ponce	Westminster, US	2020-06-30
Evanna Ortiz	Arvada, CO	2020-06-30
Luis Burciaga	Brighton, CO	2020-06-30
Erica Hernandez	Thornton, CO	2020-06-30
Tiffany Smith	Aurora, CO	2020-06-30
Aspen Spilman	US	2020-06-30
Tony Rodriguez	Denver, CO	2020-06-30
Benjamin Spatz	Broomfield, CO	2020-06-30
Daniel Mings	golden, CO	2020-06-30
deana campbell	Loveland, CO	2020-06-30
Benny Santistevan	Littleton, CO	2020-06-30
Alexis Starks	Lubbock, TX	2020-06-30

Name	Location	Date
Cyndi Kennedy	Westminster, CO	2020-06-30
Elizabeth Gozy	Aurora, CO	2020-06-30
Marley Baca	Arvada, CO	2020-06-30
Daniel Gonzales	Denver, CO	2020-06-30
Danielle Strange	US	2020-06-30
Makayla Freese	Denver, CO	2020-06-30
Katelynn Akin	Arvada, CO	2020-06-30
Alesia Lujan	Brighton, CO	2020-06-30
Raymond Benavides	Denver, CO	2020-06-30
Isaac Torres	Englewood, CO	2020-06-30
Tiffany Patterson	Littleton, CO	2020-06-30
Vicki Wilson	Colorado Springs, CO	2020-06-30
Juan Yanez	Denver, CO	2020-06-30
Tiffany Melchor	Denver, CO	2020-06-30
Rhonda Lofgren-zike	Thornton, CO	2020-06-30
Krystal Ches	Temecula, CA	2020-06-30
Nancy Costalez	Denver, CO	2020-06-30
Liliana Rodriguez	Denver, CO	2020-06-30
Nickie Garcia	Denver, CO	2020-06-30
Alex Bouque	Denver, CO	2020-06-30
Maria Manchego	Denver, CO	2020-06-30
Cassandra Hernandez	Denver, CO	2020-06-30

Name	Location	Date
Taylor Rivera	Denver, CO	2020-06-30
Alena Sandoval	Denver, CO	2020-06-30
David Perez	Denver, CO	2020-06-30
Paulo Leon	Denver, CO	2020-06-30
Victor Magallanes	Denver, CO	2020-07-01
Analena Chavez	US	2020-07-01
Kayla Lozoya	Westminster, CO	2020-07-01
Mariah Namanny	Arvada, CO	2020-07-01
Maria Ramos	Denver, CO	2020-07-01
Wes Mastay	Westminster, CO	2020-07-01
Gloria Montoya	Thornton, CO	2020-07-01
Val Martinez	Westminster, CO	2020-07-01
Joseph Lauro	Denver, CO	2020-07-01
Xavier Culp	Denver, CO	2020-07-01
Emilie Johnson	Arvada, CO	2020-07-01
Jason Torrez	Cheyenne, WY	2020-07-01
Reyna Romero	Denver, CO	2020-07-01
Maria Gomez	Westminster, CO	2020-07-01
Lori Lombardi	Boulder, CO	2020-07-01
Christina Bujaci	Brownsburg, IN	2020-07-01
Gesselle Salayandia	Brighton, CO	2020-07-01

Name	Location	Date
juanagonzales45@gmail.com Gonzales	Denver, CO	2020-07-01
Leslie Martinez	Westminster, CO	2020-07-01
Brisa Solis	Fort Collins, US	2020-07-01
Lesly Ramirez	Denver, CO	2020-07-01
Trinity Levitt	Westminster, CO	2020-07-01
Crystal Lucio	Denver, CO	2020-07-01
miriam silva	Denver, CO	2020-07-01
Abi Estrada	Denver, CO	2020-07-01
Susan Hernandez	Denver, CO	2020-07-01
Jennifer Andrade	Denver, CO	2020-07-01
Daniel Wittek	Denver, CO	2020-07-01
Andria Maes	Englewood, CO	2020-07-01
Irvin Ruiz Varo	Broomfield, CO	2020-07-02
Jasmine Meza-Polvon	Westminster, CO	2020-07-02
Leonardo Rodriguez	Denver, CO	2020-07-02
Jimena Marin	Federal heights, CO	2020-07-02
Alex Ware	Aurora, CO	2020-07-02
Virginia Dineen	Denver, CO	2020-07-02
MICHELLE Petty	Denver, CO	2020-07-02
Maria Mendez	Denver, CO	2020-07-02
Donna Ciancio	Commerce City, CO	2020-07-02

Name	Location	Date
Derrick Sly	mesopotamia, OH	2020-07-02
Marina Reyes	Denver, CO	2020-07-02
Andraya Cervantes	Englewood, CO	2020-07-02
Marguerite Brewer	Denver, CO	2020-07-02
Victoria Pine	Denver, CO	2020-07-02
Lisa Seigal	Denver, CO	2020-07-02
Thea Lanford	Denver, CO	2020-07-02
Jayline Monteon	Denver, CO	2020-07-02
Carol Rosas	Denver, CO	2020-07-02
Memo Gvsaz	Denver, CO	2020-07-02
Jose Luna	Denver, CO	2020-07-02
Alondra Cordero	Denver, CO	2020-07-02
Desirae Dillman	Clearwater, FL	2020-07-03
Erika Nunez	Antioch, US	2020-07-03
Amanda Ferrin	Denver, CO	2020-07-03
Sabby alien	Denver, CO	2020-07-03
Gisela Holter	Denver, CO	2020-07-03
Arlene Mathiesen	Denver, CO	2020-07-03
Tanya Pidtergerya	Denver, CO	2020-07-03
Mike Kluge	Denver, CO	2020-07-03
Bethany Vaughn	Denver, CO	2020-07-03
Amanda Carmona	Denver, CO	2020-07-03

Name	Location	Date
Diana Carrasco	Denver, CO	2020-07-03
Hannah Montoya	Denver, CO	2020-07-03
Janeth Stinehelfer	Denver, CO	2020-07-03
Karen Lindstrom	Northglenn, CO	2020-07-03
Gregory Speicher	Tampa, US	2020-07-03
Michelle Cordova	Denver, CO	2020-07-03
Doronna Konrath	Northglenn, CO	2020-07-04
Maribel Marulanda	New York, US	2020-07-04
Jonathon Reynolds	Thornton, CO	2020-07-04
David Pollock	Denver, CO	2020-07-04
Brenda Ralph	Westminster, CO	2020-07-04
ARIANE DAGILIS	Denver, CO	2020-07-04
Destiny Jacobs	Denver, CO	2020-07-04
Sophia Goans	Denver, CO	2020-07-04
Abel Lechuga	Colorado Springs, US	2020-07-04
Joseph Dixon	Orangeburg, US	2020-07-04
Thomas McRill	Denver, CO	2020-07-05
Sherrie Ramirez	Brighton, CO	2020-07-05
Kelly Barrett	Northglenn, CO	2020-07-05
Michelle Johnson	Northglenn, CO	2020-07-05
Sally Baumann	Northglenn, CO	2020-07-05
Jaki Massey	Brighton, CO	2020-07-05

Name	Location	Date
Kanoë Francisco	Denver, CO	2020-07-06
Maria Jimenez	Denver, CO	2020-07-06
Jesus Sanchez	Denver, CO	2020-07-07
Tina Warne	Northglenn, CO	2020-07-07
Whitney Knochelmann	Thornton, CO	2020-07-07
Richelle Healy	Henderson, CO	2020-07-07
Christine Friend	Denver, CO	2020-07-07
Mayra Bocanegra	Denver, CO	2020-07-08
Michelle Hoops	Denver, CO	2020-07-10
Jessica Blohm	gainesville, US	2020-07-10
Kylen Reagan	Portland, US	2020-07-11
Brian Anderson	Mchenry, US	2020-07-11
taylor trofholz	Tacoma, US	2020-07-11
Sean Ryan	Brooklyn, US	2020-07-11
Kaitte Murry	Rocky Ford, CO	2020-07-11
Landon Hagan	Louisville, US	2020-07-12
Theo Fleig	Berkeley, US	2020-07-13
Tyler Kindberg	Rehoboth, US	2020-07-13
Vanessa Zavala	Denver, CO	2020-07-15
Sarah Flick	Denver, CO	2020-07-17
Lonnie Pelfrey	Houston, TX	2020-07-19
Ian Aldridge	thronton, CO	2020-07-23

Name	Location	Date
Cole Lenhart	Columbus, US	2020-07-24
Justin VanDyke	Macon, US	2020-07-25
Jose Olmos	Dallas, US	2020-07-25
Bryce Sullivan	Wagarville, US	2020-07-26
Luke Wilson	Jonesboro, US	2020-07-27
Chris V	Glendora, US	2020-07-27
Melissa Heithaus	Mckinney, US	2020-07-28
Victor Camacho	Milton, US	2020-07-29
Tim Franklin	Oxford, US	2020-07-30
Christian Lee	Princeton, US	2020-07-30
Danielle Perea	Englewood, CO	2020-07-31
Bryan Rodriguez	Springfield, US	2020-07-31
Tyson Tran	Tracy, US	2020-08-01
Roy Rennells	Medford, US	2020-08-01
Andrea Gerlach	Pearland, US	2020-08-05
Kate Rockwood	Abington, US	2020-08-06
Kayley Crown	Plainview, US	2020-08-06
Donna Mauro	Lindenhurst, US	2020-08-06
Daniel Epifanio	Bolingbrook, US	2020-08-06
Harlan skater Mckinney	Andover, US	2020-08-07
Alex Ramirez	Carson, US	2020-08-07
louis merlini	Lake Forest, US	2020-08-07

Name	Location	Date
Angel Garcia	Houston, US	2020-08-11
Yogurt Boi	Cranford, US	2020-08-12
Yannis Valais	Oakland, US	2020-08-13
Angel Toro	Camden, US	2020-08-14
Connor Mahooty	Newburgh, US	2020-08-14
Julian Ortiz	Pearland, US	2020-08-15
Nathan Fullmer	Sheppard Afb, US	2020-08-16
Logan Jordan	Arlington, US	2020-08-16
Jacob Briggs	Berea, US	2020-08-17
Alex Devine	Marquette, US	2020-08-18
Venita lane	Charlotte, US	2020-08-20
Cristina Compian	Denver, CO	2020-08-20
Tedd Salas	Denver, CO	2020-08-21
Amanda McDonald	El Reno, OK	2020-08-21
Jake T	West Bloomfield, US	2020-08-23
Marisa Kast	Aurora, CO	2020-08-24
Patty Lopez-Nickoloff	Englewood, CO	2020-08-24
Sabrina Montoya	Thornton, CO	2020-08-24
Bobbi Mestepey	Arvada, CO	2020-08-24
Lorie Landmark	Colorado Springs, CO	2020-08-24
Dyani Silvas	Westminster, CO	2020-08-24
Kevin Wendt	US	2020-08-24

Name	Location	Date
Anthony Salazar	Denver, CO	2020-08-24
Elaina Ellis	Denver, CO	2020-08-25
stacey young	wrightsville, PA	2020-08-25
Jaimie Jewell	Chesapeake, VA	2020-08-25
Alyssa Hatch	Denver, CO	2020-08-25
Korin Redig	Arvada, CO	2020-08-25
Michele Martinez	Denver, CO	2020-08-25
Dilia Ames	Englewood, CO	2020-08-25
Brian Zimmer	Aurora, CO	2020-08-25
Tina Cordero	Morrison, CO	2020-08-25
Lamonique Allen	Harker Heights, US	2020-08-26
Brandon boulter	Chesapeake, VA	2020-08-26
Janna Bernshausen	Denver, CO	2020-08-27
R Schneider	Wilsonville, OR	2020-08-27
Jeremiah Cabazos	Westminster, CO	2020-08-27
Cassandra Hairston	Cross Lanes, WV	2020-08-27
Laura Gonzales	US	2020-08-27
Marianna McMann	Coeur D Alene, ID	2020-08-27
Richard Morehead	Denver, CO	2020-08-27
Reina Chavez	Denver, CO	2020-08-27
Dominic Gonzales	Federal heights, CO	2020-08-28
James Fleming	Thornton, CO	2020-08-28

Name	Location	Date
Lisett Cardenas	Denver, CO	2020-08-29
Nathan Bawden	Boiling Springs, US	2020-08-29
Elizabeth Kusterle	Woodland Park, CO	2020-08-29
Juanita Perez	Thornton, CO	2020-08-30
Alison Koppang	Denver, CO	2020-08-30
Debby Willette	Greencastle, US	2020-09-02
Lilly T	Mandeville, US	2020-09-02
Drew Adams	Charlotte, US	2020-09-04
Rit Pho	US	2020-09-04
Leslie Martinez	Kannapolis, US	2020-09-04
Anaya Teves	Reno, US	2020-09-06
Landon Graves	Paducah, US	2020-09-07
Bob Jeffrson	Dallas, US	2020-09-12
Emily Howland	La Crosse, US	2020-09-15
Cajla Gbedey	Milwaukee, US	2020-09-23
Jack Keough	Iowa City, US	2020-09-23
Alexander Berger	New York, NY	2020-09-30
Patrick Berger	Denver, CO	2020-09-30
Alesha Sheftic	Charleston, US	2020-10-08
Sahyly Felix	Peachtree City, US	2020-10-13
Gregory Proga	Hamburg, US	2020-10-17
Mickey McGurk	Thornton, CO	2020-10-21

Name	Location	Date
Ebony Henderson	Atlanta, US	2020-10-25
Jaida Sieu	Alameda, US	2020-10-27
guerrero vivian	San Diego, US	2020-10-30
Franco Carlo	New York	2020-11-03
Susan Holt	Parma Hts, US	2020-11-06
Brandy Moses	Denver, CO	2020-11-08
Raymond Berrios	US	2020-11-09
mia celado	Sierra Vista, US	2020-11-09
Annette Herrera	Phoenix, US	2020-11-09
Christina Van Acker	San Marino, US	2020-11-09
Sabrina Haley	Northglenn, CO	2020-11-10
Tijay Smalls	Sierra vista, US	2020-11-10
Jeremy Vlad	Denver, CO	2020-11-11
Andrea Gulde	Virginia Beach, VA	2020-11-11
Oliver Gärtner	Wäschenbeuren, Germany	2020-11-11
David Greer	Thornton, CO	2020-11-11
Laura Porter	Arvada, CO	2020-11-11
Erica Sanchez	Federal Heights, CO	2020-11-11
B Houston	Longmont, CO	2020-11-11
Elizabeth Musso	Denver, CO	2020-11-11
Crystal Cordova	Denver, CO	2020-11-11
Sherry Cordova	Denver, CO	2020-11-12

Name	Location	Date
Juana Galindo	US	2020-11-12
Julian Morgan	Tucson, US	2020-11-12
Luzviminda Fajardo	Westminster, CO	2020-11-12
Maria Chairez	Huntsville, US	2020-11-12
Cameron Leist	Glendale, US	2020-11-12
Angel Garcia	Sherrelwood, CO	2020-11-12
brooke pascucci	Monroe Township, US	2020-11-12
RMCS Colorado	Denver, CO	2020-11-12
Danny Greer	Denver, CO	2020-11-12
Kevin Tamburello	Federal Heights, CO	2020-11-12
Juan Domingues	Denver, CO	2020-11-12
Konrad Kocon	US	2020-11-12
Christopher Stimson	Akron, US	2020-11-12
Becky Lombard	Phoenix, US	2020-11-12
Nicole Martinez	Littleton, CO	2020-11-12
Thomas Childs	Columbus, US	2020-11-12
Kathryn Dea	San Francisco, US	2020-11-12
Joel Craig	Columbia, US	2020-11-12
Yarid Larrazabal	Dallas, US	2020-11-12
John Freeman	Daphne, US	2020-11-12
Shanna James	Bisbee, US	2020-11-12
Brianna Davis	Joplin, US	2020-11-12

Name	Location	Date
Natalie Goldeman	Thomasville, US	2020-11-12
Adam Ahmad	Frankfort, US	2020-11-12
Kenya Sixtos	Los Angeles, US	2020-11-12
Brett Gorman	Bellevue, US	2020-11-12
Kristin Gulizia	Chelsea, US	2020-11-12
Abigail Pierce	Mount Pleasant, US	2020-11-12
Evelyn Malsberger	Lakewood, US	2020-11-12
Brendan O'Brien	Santa Monica, US	2020-11-12
Alexander Fu	San Francisco, US	2020-11-12
Jacob Wilson	Brandon, US	2020-11-12
MATTHEW MENDOZA	Phoenix, US	2020-11-12
Cheryl Gallegos	OR, US	2020-11-12
Tyler R	Havre De Grace, US	2020-11-12
Rain Colossus	Dillsburg, US	2020-11-12
Greta Britton Bauer	Columbus, US	2020-11-12
Ryan Gresham	San Diego, US	2020-11-12
Drew Rezak	Ocala, US	2020-11-12
Alessi Stinky	Madison, US	2020-11-12
Joseph Vega	Flagstaff, US	2020-11-12
Tino Rodriguez	Belen, US	2020-11-12
Alana Fitzgerald	US	2020-11-12
Clyde Rodriguez	Lone Pine, US	2020-11-12

Name	Location	Date
Florian Schneider	Berlin, US	2020-11-12
Gil Galindo	Colton, US	2020-11-12
Gabriel Ybarra	Yorkville, US	2020-11-12
Zander Donahue	Orlando, US	2020-11-12
Nicholas Hendrick	Carnegie, US	2020-11-12
Alberto Fernandez	Fort Lauderdale, US	2020-11-12
Alondra Ramirez	Fort Worth, US	2020-11-12
Krystal Martinez	San Antonio, US	2020-11-12
Samantha Martin	Chester, US	2020-11-12
Monica Castillo	Albuquerque, US	2020-11-12
Alia Witt	Milwaukee, US	2020-11-12
Ben Hewitt	Sacramento, US	2020-11-12
JB /demigoddities	Seattle, US	2020-11-12
Rajbir Singh	Nashville, US	2020-11-12
deb romero	Santa Fe, US	2020-11-12
Sean Siff	Harvard, US	2020-11-12
Catia Porter	Syracuse, US	2020-11-12
David Shearer	Houston, US	2020-11-12
Mira Klouda	Washington, US	2020-11-12
Aislynn Marsyada	Hazleton, US	2020-11-12
John Jones	Silver Spring, US	2020-11-12
bob marley	new york city, US	2020-11-12

Name	Location	Date
Ariana Lopez	Fontana, US	2020-11-12
Randa Black Eagle	Hardin, US	2020-11-12
Jay Fritch	Bloomington, US	2020-11-12
Roberto Lomeli	Los Angeles, US	2020-11-12
MARIA GONZALEZ	San Antonio, US	2020-11-12
Brye Kostopouelus	Newport, US	2020-11-12
Lori Moore	Harker Heights, US	2020-11-12
Alexis Caskey	Belleville, US	2020-11-12
Noe Chairez	Dallas, US	2020-11-12
Sven Svensson	Buford, US	2020-11-12
Angelo Pucci	Scottsdale, US	2020-11-12
Brody Marlatt	Inkom, US	2020-11-12
Mike romero	Fullerton, US	2020-11-12
Patrick Bobko	Exton, US	2020-11-12
cheyenne clay	Denver, US	2020-11-12
Alex Diaz	Jewett City, US	2020-11-12
Madison Gountanis	Neenah, US	2020-11-12
izzy o	Murfreesboro, US	2020-11-12
Aubrey Willing	Seattle, US	2020-11-12
Nalana Warfield	Beaverton, US	2020-11-12
Shyam Selvam	Canton, US	2020-11-12
Bridget Zengel	Toccoa, US	2020-11-12

Name	Location	Date
Ember Pooler	Bradley Beach, US	2020-11-12
Jacob McGrail	Leicester, US	2020-11-12
Jose Dominguez	Lilburn, US	2020-11-12
Christina Gonzalez	Baden, US	2020-11-12
Jaedyn Lee	Denver, US	2020-11-12
Hazel Lawrence	Caldwell, US	2020-11-12
Will Mclaughlin	Philadelphia, US	2020-11-12
amber tipton	Chattanooga, US	2020-11-12
Tohto Furuya	Portland, US	2020-11-12
Ma Socorro Manaog	Los Angeles, US	2020-11-12
Sarah Glasow	Eau Claire, US	2020-11-12
Tevice Wood	Elizabeth City, US	2020-11-12
Sabrina Piekarski	Elmhurst, US	2020-11-12
Amanda G	Carbondale, US	2020-11-12
Juan Melendez	US	2020-11-12
Ivan Krat	Sacramento, US	2020-11-12
Isaac K	Colorado Springs, US	2020-11-12
Lonny Kelley	Mesa, US	2020-11-12
Aiden Rong	Fredericksburg, US	2020-11-12
Zaid Osman	Boothbay Harbor, US	2020-11-12
Joshua Diggles	Tucson, US	2020-11-12
Vegas Thielen	Pompano Beach, US	2020-11-12

Name	Location	Date
Kevin Espinosa	Norcross, US	2020-11-12
Timothy Doody	Randolph, US	2020-11-12
Andrew Shaw	Clifton Park, US	2020-11-12
Seth Hayes	Denver, US	2020-11-12
Vincent Granada	Paso Robles, US	2020-11-12
Aidan Kucharski	Roy, US	2020-11-12
Sebastian Richardson	Eagle River, US	2020-11-12
jessica gruszecki	Cudahy, US	2020-11-12
Max Lee	New York, US	2020-11-12
Sophia Gonzalez	US	2020-11-12
Melanie Chacon Garay	Denver, US	2020-11-12
Abigail Chitwood	Yukon, US	2020-11-12
Heather Begay	Bellingham, US	2020-11-12
Celia Moreno	San Antonio, US	2020-11-12
kenton felker	Joplin, US	2020-11-12
Mia Vera	Hayward, US	2020-11-12
Jasmine Zhang	Carmel, US	2020-11-12
Jude Lucero	Lakeside, US	2020-11-12
Jackson Moses	Elyria, US	2020-11-12
Monica Segeren	Somerdale, US	2020-11-12
christina gonzalez	new martinsville, US	2020-11-12
Kenneth Davis	Las Cruces, US	2020-11-12

Name	Location	Date
Ashley Estrada	Loma Linda, CA	2020-11-12
Ava w	Los Angeles, US	2020-11-12
Matt Lucas	Shawnee, US	2020-11-12
Sara Schubert	Orlando, US	2020-11-12
Noor B	Ypsilanti, US	2020-11-12
Jc Vieira	Los Angeles, US	2020-11-12
Milena Kumcheva	Nottingham, US	2020-11-12
Sanjiv Raote	Scotch Plains, US	2020-11-12
Aleah Amelio	Algonquin, US	2020-11-12
Emma Braley	US	2020-11-12
Quadejia Crockett	Byram, US	2020-11-12
Louis Blair	Brooklyn, US	2020-11-12
Braden Gromley	US	2020-11-12
Larry Wallheart	Duluth, US	2020-11-12
Virginia Wilkes	Charlottesville, US	2020-11-12
Alex Flores	Santa Maria, US	2020-11-12
Mia Resto	Lakewood, US	2020-11-12
fdgsde sdfhdf	Santa Ana, US	2020-11-12
Faith Smith	McDonough, US	2020-11-12
jose del real	Fontana, US	2020-11-12
Destiny Mendoza	Palmdale, US	2020-11-12
AIVIN NI	US	2020-11-12

Name	Location	Date
Jayson Hensley	Rio Rancho, US	2020-11-12
mac rich	US	2020-11-12
Keegan Wilder	Mahomet, US	2020-11-12
Dominic Ritchie	Vevay, US	2020-11-12
Stephen riggs	New Martinsville, US	2020-11-12
Kevin Valencia	Lynnwood, US	2020-11-12
Kiro Yiro	Orange Park, FL	2020-11-12
Makayla Franklin	Opelika, US	2020-11-12
Gina Pucci	Gilbertsville, US	2020-11-12
Lois Ronis	US	2020-11-12
Jesus Feliciano	Melrose Park, US	2020-11-12
Augustine Castro	Saipan, US	2020-11-12
Chloe Mullins	Pennsylvania, US	2020-11-12
oshin Eskandarian	Sunland, US	2020-11-12
Aj Bis	Carmel, US	2020-11-12
Brittany J	Corpus Christi, US	2020-11-12
Rocio Rodríguez	Richmond, US	2020-11-12
Adrieanna Mouzone	Chesapeake, US	2020-11-12
Mark Blackcrow	Salem, US	2020-11-12
Autumn Turner	Foothill Ranch, US	2020-11-12
Lucas Petty	Adrian, US	2020-11-12
Mason Butner	Liberty, US	2020-11-12

Name	Location	Date
E L.	Schenectady, US	2020-11-12
Olivia Lander	Phoenix, US	2020-11-12
rowan serna	Oakland, US	2020-11-12
AKua Amponsah	Bronx, US	2020-11-12
Andrew Bray	Fort Riley, US	2020-11-12
Jillian Williams	Portland, US	2020-11-12
Mary Abrigo	North Bergen, US	2020-11-12
Calina Graff	Kansas City, US	2020-11-12
Elizabeth Dunlap	Roseville, US	2020-11-12
Atreyu Westphal	Las Vegas, US	2020-11-12
Matt DeLaPaz	Carol Stream, US	2020-11-12
Judith Romero	Anaheim, US	2020-11-12
Brianna Cantu	Dallas, US	2020-11-12
Oliver Mosqueda	Corpus Christi, US	2020-11-12
Maggie Wolfe	Oroville, US	2020-11-12
Ie He	Fullerton, US	2020-11-12
Milton Martinez	Houston, US	2020-11-12
Meghan Bhatia	San Ramon, US	2020-11-12
Leah Gibson	US	2020-11-12
Scott Underwood	Houston, US	2020-11-12
Alexis Reese	US	2020-11-12
Shayna Lee	Sammamish, US	2020-11-12

Name	Location	Date
Andy Garant	Prior Lake, US	2020-11-12
George Stanley	Watonga, US	2020-11-12
Carl Opont	Union, US	2020-11-12
Michael Lenardi	Elmhurst, IL	2020-11-12
Devon Ciurana	Pharr, US	2020-11-12
Leah Makonnen	San Jose, US	2020-11-12
Amberlynn Leota	Honolulu, US	2020-11-12
nadia aguirre	Santa Ana, US	2020-11-12
Victor Gonzalez	Noblesville, US	2020-11-12
Fidak Zaidi	Redlands, US	2020-11-12
Aracely Villalpando	South Gate, US	2020-11-12
Nathan G	Minneapolis, US	2020-11-12
katlyn puccio	Rochester, US	2020-11-12
Ellen McCann	Escondido, US	2020-11-12
William Cao	San Francisco, US	2020-11-12
Timothy Stout	Mena, US	2020-11-12
Deb Castaneda	Granbury, US	2020-11-12
Erika Estrada	Mission, US	2020-11-12
Emilia Liguori	Hillsdale, US	2020-11-12
maite dura	Ann Arbor, US	2020-11-12
vanessa vera	Compton, US	2020-11-12
Melinda Irie	Raymore, US	2020-11-12

Name	Location	Date
Phoenix Ash	Towson, US	2020-11-12
Evan Boerner	Doylestown, US	2020-11-12
Josh Brockton	Fairfax, US	2020-11-12
Vy Hoang	Pflugerville, US	2020-11-12
Nicole Spor	Clarksburg, US	2020-11-12
Alek Lambros	Philadelphia, US	2020-11-12
Nick Taweel	Cape May, US	2020-11-12
Carter Moss	Saint Louis, US	2020-11-12
Andre Moon	Cambridge, US	2020-11-12
Rebecca Madrid	Kootenai, US	2020-11-12
Nathaniel Dominguez-Cruz	Grand Rapids, US	2020-11-12
dja dan	Denver, US	2020-11-12
Jose Andrade	Federal Way, US	2020-11-12
Craig Robbins jr.	Ridgefield, US	2020-11-12
Mauricio Magallanes	Anaheim, US	2020-11-12
Alan Strama	Oak Lawn, US	2020-11-12
Rose Mcdaniel	Philadelphia, US	2020-11-12
Daniela Romero	Los Angeles, US	2020-11-12
Chris Ponce	San Leandro, US	2020-11-12
krissy hoover	Leander, US	2020-11-12
Thomas Huh	New York, US	2020-11-12
Daejah Perry	Valdosta, US	2020-11-12

Name	Location	Date
Renee Singer	Willoughby, US	2020-11-12
Victoria Degeytair	Lafayette, LA	2020-11-12
Wolf Dreesen	Plainfield, US	2020-11-12
Anatoliy Bovsun	Folsom, US	2020-11-12
Nathan Oakes	Las cruces, US	2020-11-12
Savannah Ball	Greensburg, US	2020-11-12
Jessica Sanisaca	Chicago, US	2020-11-12
micaiah page	Arlington, US	2020-11-12
Maya Davis	South Bend, US	2020-11-12
valeria magdaleno	Chula Vista, US	2020-11-12
Jerica Wilson	Arlington, US	2020-11-12
JOEL SOLANO-FONTANEZ	US	2020-11-12
Angeline Diaz	Newberry, US	2020-11-12
AKDragon907 / Emery	Anchorage, US	2020-11-12
Alex herbst	Morgantown, US	2020-11-12
Robert Clarke	Rocky Mount, US	2020-11-12
Gary Brown	Danville, US	2020-11-12
aysha agha	Hialeah, US	2020-11-12
Julie Rose	Costa Mesa, US	2020-11-12
Jojo Boss	US	2020-11-12
Eva Fischer Grunski	La Jolla, US	2020-11-12
Booble Shnookums	US	2020-11-12

Name	Location	Date
Alex Fragrance	Bryans Road, US	2020-11-12
Meher Oliaeey	Glendale, US	2020-11-12
Kiana Cruz	Lompoc, US	2020-11-12
Gabriel Alvarez-Gonzales	Chino, US	2020-11-12
Theo Thomas	Champaign, US	2020-11-12
Laurie Park	Omaha, US	2020-11-12
chxvez_ On instagram	Pacoima, US	2020-11-12
Meadow Chalepah	Carnegie, US	2020-11-12
Jack Gabrielyan	West Hills, US	2020-11-12
LaVanna Johnson	Chico, US	2020-11-12
Amanda Dean	Cape Coral, US	2020-11-12
Melissa Senderling	Boulder, US	2020-11-12
Dave Moody	Omaha, US	2020-11-12
Paul Cohen	Washington, US	2020-11-12
Alani Almonte	Springfield, US	2020-11-12
Alana Acosta	Mesa, US	2020-11-12
Jannet Torres	Hawthorne, US	2020-11-12
Not Offended	Braintree, US	2020-11-12
Payton Johnson	Hillsboro, US	2020-11-12
Reesa Lake	Columbus, US	2020-11-12
Cathy Wentling	Bronx, US	2020-11-12
saddsadsada sadadad	Green Bay, US	2020-11-12

Name	Location	Date
Kole Hines	Mission, US	2020-11-12
Alanis Dones	Brockport, US	2020-11-12
JeanPaul Burnett	Walnut, US	2020-11-12
Isaac Vaughn	Hartsville, US	2020-11-12
Chase Somers	Bridge city, US	2020-11-12
Tatiana Vales	Miami, US	2020-11-12
cin moc	Brooklyn, US	2020-11-12
nyles rodriguez	Fort George G Meade, US	2020-11-12
Melissa Ruth	Largo, US	2020-11-12
Nicole Martin	Lexington, US	2020-11-12
Brooke Metzger	Edmond, OK	2020-11-12
Radish Spoon	Seattle, US	2020-11-12
Luke Balika	Chicago, US	2020-11-12
Kaitlyn Cycak	US	2020-11-12
Marilyn McDonald	Denver, US	2020-11-12
Lana Rhodes	Los Angeles, US	2020-11-12
Francesca Wesley	Charleston, US	2020-11-12
Kimberly Salvey	Darby, US	2020-11-12
Dulce Rodriguez	Oakland, US	2020-11-12
Victoria Innocent	Norton, US	2020-11-12
Debbie Earley	Felton, US	2020-11-12
Liv Stevens	Westerville, US	2020-11-12

Name	Location	Date
Chase Gibson	Gloucester, US	2020-11-12
Angela Volgare	Mamaroneck, US	2020-11-12
Josiah Stevens	Baraboo, US	2020-11-12
Kathy Macey	Jonesville, US	2020-11-12
Beza Tedros	Texas, US	2020-11-12
Jordan Garrett	Denver, US	2020-11-12
Seleviea Eissa	York, US	2020-11-12
Aubrey Smith	Edmond, US	2020-11-12
Dale Williams	Oakland, US	2020-11-12
Garrett Wiseman	US	2020-11-12
Diego Delaross	San Antonio, US	2020-11-12
Alessandro Cappellini	San Jose, US	2020-11-12
Rich 876629_00900	Dallas, US	2020-11-12
Colton Poling	Orlando, US	2020-11-12
R C	Trenton, US	2020-11-12
Destiny Villaona	Newark, US	2020-11-12
Daisy Chander	Kent, US	2020-11-12
Abril Avalos	Arlington, US	2020-11-12
Elizabeth Flores	Oceanside, CA	2020-11-12
elyssa guleng	Chicago, US	2020-11-12
Leila T.	Austin, US	2020-11-12
saul moore	Oconomowoc, US	2020-11-12

Name	Location	Date
Anna Laidler	East Stroudsburg, US	2020-11-12
Maria Gallegos	Northglenn, CO	2020-11-12
Andre Lewis	Brighton, CO	2020-11-13
Derek Garner	Federal Heights, CO	2020-11-13
Jerry Dickerson	Colorado Springs, US	2020-11-13
Lesa Ray	Cuba, US	2020-11-13
Meaghan Keating	West Hempstead, US	2020-11-13
Jesse JudahBram	Redmond, US	2020-11-13
gabriel billie	Fort Lauderdale, US	2020-11-13
J G	Sioux City, US	2020-11-13
Noah Cook	Lafayette, US	2020-11-13
big black nigga balls HD	Bellflower, US	2020-11-13
Zachary Luallen	Niceville, US	2020-11-13
Michelle Bethel	Roanoke, US	2020-11-13
Estella Acosta	Tucson, US	2020-11-13
Molly Torinus	Middleton, US	2020-11-13
Mel Norris	Las Vegas, US	2020-11-13
Isabella Velasquez	Massillon, US	2020-11-13
Sandra Bland	Saint Paul, US	2020-11-13
Youa Lee	Schofield, US	2020-11-13
Johnathan Bonilla	Hawthorne, US	2020-11-13
Shifa Khanom	Warren, US	2020-11-13

Name	Location	Date
Shaqurah Zachery	Buffalo, US	2020-11-13
Alicia Vargas	Chicago, US	2020-11-13
Nubia Sykes	Tucson, US	2020-11-13
Evan Vann	Green Bay, US	2020-11-13
Erika Sanchez	San Antonio, US	2020-11-13
Zaa Buffalo	Duluth, US	2020-11-13
Miriam Ávila	Los Angeles, US	2020-11-13
Anahi Cabral	Albuquerque, US	2020-11-13
Norma salinas	Tucson, US	2020-11-13
Christopher Kumchev	US	2020-11-13
Ethan Schuster	Brockport, US	2020-11-13
Carole Obrien	Aiken, SC	2020-11-13
Mikuri Kokonszka	Japan, US	2020-11-13
Marcus Tindal	Montgomery, US	2020-11-13
Tait Zody	Columbus, US	2020-11-13
Cale Peterson	Omaha, US	2020-11-13
Mark Zappone	Northfield, US	2020-11-13
Nikki Irvine	Winchester, US	2020-11-13
Roberto Marquez	Chicago, US	2020-11-13
Lizzy Lambson	Denver, US	2020-11-13
William Lopez	Canyon Country, US	2020-11-13
Lalo Vera	Forney, US	2020-11-13

Name	Location	Date
Latt Gamping	Las Vegas, US	2020-11-14
Mariella Monroy	San Diego, US	2020-11-14
Michael Wziontko	Glastonbury, US	2020-11-14
Sam Voss	Middletown, US	2020-11-14
george torres	Hialeah, US	2020-11-14
Tyvan Klinger	Minneapolis, US	2020-11-14
Ariana Carrasquillo	Cleveland, US	2020-11-14
Solana Gilliland	columbus, US	2020-11-14
Paul Blackburn	Elizabethtown, KY	2020-11-14
Christina Josephy	Tucson, US	2020-11-15
Issa Ortiz	Tucson, US	2020-11-15
Susana Miranda	Tucson, US	2020-11-16
Alex English	Tucson, US	2020-11-16
Stepintothe Nexus	US	2020-11-16
Cade Herman	Oak Ridge, NJ	2020-11-18
HC YY	US	2020-11-18
Emma Anthony	Irwin, US	2020-11-18
Chandell Markham	Montpelier, US	2020-11-18
Amanda Purcell	Tiverton, US	2020-11-18
Karina Lillo	Philadelphia, US	2020-11-18
Harold Dale	Masury, US	2020-11-18
Yazmin Milan	Fort Lee, US	2020-11-18

Name	Location	Date
Coral Rivera	Tucson, US	2020-11-18
Long Dang	Austin, TX	2020-11-18
Leah Shannon	Sammamish, US	2020-11-18
Treasure Williams	Marrero, US	2020-11-18
Katherine Huckin	Charlotte, US	2020-11-18
Judith Velazquez	Pacoima, US	2020-11-18
Lily Allen	Rupert, US	2020-11-18
kenze conley	New Castle, US	2020-11-18
Myliani Looknanan	Killeen, US	2020-11-18
Laleh Javanbakht	Ontario, US	2020-11-18
Olivia Tyrrell	White Lake, US	2020-11-18
Floyd Scribner	Salem, US	2020-11-18
Mia Roberts	Batesville, US	2020-11-18
Chris Wharram	Chicago, US	2020-11-18
Grant Tudor	Ossian, US	2020-11-18
Carson Kubesh	Minneapolis, MN	2020-11-18
lily goldstein	glencoe, US	2020-11-18
Rodney Wells Jr	Terrell, US	2020-11-18
Jacquelyn Earley	Carmichael, US	2020-11-18
Annabelle Yoo	Bellevue, US	2020-11-18
Perry Gx	Tustin, US	2020-11-19
Aaron Feria	Jávea, Spain	2020-11-19

Name	Location	Date
Rania Taib	Richmond Hill, US	2020-11-19
Steve Elenich	Hancock, US	2020-11-19
Clarissa Czarnick	Columbus, US	2020-11-19
Adio Viora	Arkdale, US	2020-11-25
Susan Inman	Greer, US	2020-12-02
Phil Worley	Covington, US	2020-12-02
Kate Bachus	US	2020-12-02
Steven Morris	Sharps Chapel, US	2020-12-02
Elisa Edelstein	Westminster, CO	2020-12-06
Charlene Wright	Denver, CO	2020-12-06
Larry Van Vleet	Thornton, CO	2020-12-06
Jason Potter	Twentynine Palms, US	2020-12-06
Jared Gadf	Denver, US	2020-12-06
Justin Maggiore	West Haven, US	2020-12-06
Sarah Kennedy	Denver, US	2020-12-06
Timothy Davis	Paw Paw, US	2020-12-06
Hannah Lee	Los Angeles, US	2020-12-06
Krystal Elliott	Hollywood, US	2020-12-06
Nakia Hills	LA Place, US	2020-12-06
Marvin Pettet	Phoenix, US	2020-12-06
Mary Rose Burke	Fairfax, US	2020-12-06
Xiaoying Li	Greensboro, US	2020-12-06

Name	Location	Date
Bonnie Hernandez	Denver, CO	2020-12-06
Delores Lake	Denver, CO	2020-12-06
Justin Parsons	Denver, CO	2020-12-06
Karen Riley	Thornton, CO	2020-12-06
Denise Mingus	Denver, CO	2020-12-06
Rebecca Proctor	Thornton, CO	2020-12-07
Ashley de Andrade	Denver, CO	2020-12-07
zenon kampman	Denver, CO	2020-12-07
Kathleen Swift	Denver, CO	2020-12-07
Shawn Porter	Denver, CO	2020-12-07
Kelly McCain	Denver, CO	2020-12-07
Diane Fuhrman	Denver, CO	2020-12-07
Reanna Lane	Denver, CO	2020-12-07
Christopher Chavez	NOrthglenn, CO	2020-12-07
Gregory Lothrop	Denver, CO	2020-12-07
Renee Medina	Denver, CO	2020-12-07
Nathaniel Rotvold	Denver, CO	2020-12-07
Jessica Sandoval	Denver, CO	2020-12-07
Tammy Silva	Denver, CO	2020-12-07
Nancy Vasquez	Denver, CO	2020-12-07
Alejandro Pantoja	Denver, CO	2020-12-07
James Escalera	Denver, CO	2020-12-07

Name	Location	Date
Vanessa Balderas	Denver, CO	2020-12-07
Jesse Barnett	Westminster, CO	2020-12-07
Dray Chavez	Denver, CO	2020-12-07
Debra Green	Denver, CO	2020-12-07
Amanda Knudsen	Westminster, CO	2020-12-07
Tracey Grant	Thornton, CO	2020-12-07
Letta Cartlidge	Denver, CO	2020-12-07
Pamela Cooper	Denver, CO	2020-12-08
Mary Camarillo	Denver, CO	2020-12-08
mary sheppard	denver, CO	2020-12-08
Leticia Alvidrez	Denver, CO	2020-12-08
Tara Reichle	Arvada, CO	2020-12-08
Katherine Rhoadarmer	Denver, CO	2020-12-08
L Lau	Bonita Springs, FL	2020-12-08
Evalyn Parson	Denver, CO	2020-12-08
Lynne Biggs	Denver, CO	2020-12-08
Laurie Radcliffe	Westminster, CO	2020-12-08
Diana Ruiz	Northglenn, CO	2020-12-08
Brenda Breit	Northglenn, CO	2020-12-08
CONNOR MORENCY	Denver, CO	2020-12-08
Stephanie bynum	Denver, CO	2020-12-08
Jeanette Nunez	Denver, CO	2020-12-08

Name	Location	Date
Randy Mckinstry	Denver, CO	2020-12-08
Paul Bynum	Littleton, CO	2020-12-08
Brittany Sawaged	Denver, CO	2020-12-09
Veronica Garcia	Westminster, CO	2020-12-09
Lindsay Maestas	Thornton, CO	2020-12-10
Sandra Montoya	Denver, CO	2020-12-10
Angel Wilen	Mount Morris, US	2020-12-11
Jack Wilcox	US	2020-12-11
Angela Lash	Alma, US	2020-12-11
Karissa Csercse	Flushing, US	2020-12-11
Chloe Schaefer	Denver, CO	2020-12-11
Joe Becerra	Arvada, CO	2020-12-13
Pat Hall	Denver, CO	2020-12-13
Liz Koon	Longmont, CO	2020-12-13
Sinead Cooper	Denver, CO	2020-12-13
Kaylyn Hatfield	Denver, CO	2020-12-13
John and Esther. Pacheco	Denver, CO	2020-12-13
Carolina Gonzalez	Denver, CO	2020-12-13
Tabitha Shoemaker	Federal Heights, CO	2020-12-13
Marcus Smith	Westminster, CO	2020-12-13
Crystal Minjarez	Henderson, CO	2020-12-14
Jay Baker	Arlington, VA	2020-12-15

Name	Location	Date
jodie sanchez	thornton, CO	2020-12-15
Esmeralda Gonzalez	Denver, CO	2020-12-16
Nate C.	West Bloomfield, US	2020-12-16
Johnnie Martinez	Denver, CO	2020-12-17
Olga Madera	Denver, CO	2020-12-17
Lou Lou	alvarado, US	2020-12-21
Billy Reinschmidt	Ledyard, US	2020-12-21
Rhonda Bobak	Pittsburgh, US	2020-12-21
Jeremy Melick	Pittsburgh, US	2020-12-21
Austin Krieger	Carnegie, US	2020-12-21
Louis Viola	Levittown, US	2020-12-22
Melissa Rodriguez	Denver, CO	2020-12-23
Aedin Michael	Frankfort, US	2020-12-24
Rae Ilberg	Glen BeB, US	2020-12-27
Sam Glatt	Glen Head, US	2020-12-27
Steven King	Brooklyn, US	2020-12-29
Aaron Kaba	Glen Cove, US	2020-12-29
samad gates	Glen Cove, US	2020-12-30
sandi sexton	Marysville, US	2021-01-03
izzy contreras	Utica, US	2021-01-03
Grace Reamy	Smithtown, US	2021-01-06
Anthony Jacober	Denver, CO	2021-01-06

Name	Location	Date
alanis bracetti	Allentown, US	2021-01-13
Angela Garcia	Charleston, US	2021-01-17
Amber Clark	Thornton, CO	2021-01-26
zenon kampman	Denver, CO	2021-01-27
Angelica Avalos	Denver, US	2021-02-03
Pamela Sirilo	Yukon, US	2021-02-04
sandra weiner	Bell Gardens, US	2021-02-04
Raymond Matthews	Las Animas, US	2021-02-06
Barbara Swartz	Yukon, US	2021-02-07
Kyle Priddy	Edmond, US	2021-02-07
Jeannie Miller	Speedwell, US	2021-02-08
Jayden Garcia	Windsor, US	2021-02-08
Adrian Michalak	I don't want to say this, US	2021-02-08
PEachy Glum	Colorado Springs, US	2021-02-08
Zoe Dix	San Antonio, US	2021-02-08
Jolene Wyatt	Warren, US	2021-02-08
John Kramer	Marshfield, US	2021-02-08
Melody Gilkerson	Wentworth, US	2021-02-08
Karen BRYAN	Duffield, US	2021-02-09
Liliana Miranda	Chandler, US	2021-02-09
Ken Geesey	Altoona, US	2021-02-09
Danilo Hernandez	Oceanside, US	2021-02-09

Name	Location	Date
Barbara Harrison	Gainesville, US	2021-02-09
Marco Solis	Miami, US	2021-02-09
Rosie Rose	Waianae, US	2021-02-09
Melinda Chavez	Denver, CO	2021-02-09
Holt Bogdanowicz	Antelope, CA	2021-02-10
Tyler Brummit	Denver, CO	2021-02-10
Trisha Jernberg	Denver, CO	2021-02-10
Tevy Conway	Brighton, CO	2021-02-10
Kearstie Arledge	Sidney, NE	2021-02-10
Lori Brummit	Denver, CO	2021-02-10
Matthew Hicks	Mead, CO	2021-02-10
Grant Garner	Denver, CO	2021-02-10
Matt Ciancio	Denver, US	2021-02-10
Melanie Newbern	Denver, CO	2021-02-10
Elizabeth Floersch	Goodlettsville, US	2021-02-10
Jennifer Yellin	Detroit, US	2021-02-10
Bailey Leavitt	Phoenix, US	2021-02-10
Renee Liedig	Bethlehem, US	2021-02-10
Lillian Kielty	US	2021-02-10
Bruce Wayne	US	2021-02-10
sabina taneja	new York, US	2021-02-10
sophia vanhorn	Louisville, US	2021-02-10

Name	Location	Date
Diane Zuroweste	Palm Harbor, FL	2021-02-10
EJ Harvey	US	2021-02-10
Caleb O'Riley	Loris, US	2021-02-10
Elaina Dixon	North Charleston, US	2021-02-10
Jeannine DeAngelis	Chandler, US	2021-02-10
Mariela Doroteo	Union City, US	2021-02-10
fart Shit	Canal Winchester, US	2021-02-10
Emily Compas	Omaha, US	2021-02-10
Kanye West	Saint Joseph, US	2021-02-10
Lydia Peterson	Allegan, US	2021-02-10
Regina Brooks	Pittsburgh, US	2021-02-10
Alex Viancourt	Cleveland, US	2021-02-10
Michael Devlin	Philadelphia, US	2021-02-10
Elaine Joseph	Interlaken, US	2021-02-10
Emma Vander Vennen	Swedesboro, US	2021-02-10
Ashley Varg	New York, US	2021-02-10
Karima Abdelrahman	Orland Park, US	2021-02-10
Makayla Platero	Phoenix, US	2021-02-10
Lori Motak	Hamburg, US	2021-02-10
Debbie Stinehart	Park Hills, US	2021-02-10
Douglas Gundersen	Alhambra, US	2021-02-10
Marco Polo	Naples, US	2021-02-10

Name	Location	Date
Peggy Bancroft	Springfield, US	2021-02-10
Noah Mayer	Keizer, US	2021-02-10
Davidson Doyal	Goodyear, US	2021-02-10
Taylor Stephenson	Clemson, US	2021-02-10
Nevaeh Hess	Wheeling, US	2021-02-10
Ken Templeton	Edmond, US	2021-02-10
Sophia Morris	Bentonville, US	2021-02-10
Claudia Cumberworth	Myrtle Beach, SC	2021-02-10
Luna Rai	Sherrelwood, CO	2021-02-10
John David	Federal Heights, CO	2021-02-10
Pat G	Sherrelwood, CO	2021-02-11

From: [Sarah Garner](#)
To: [Alan Sielaff](#)
Subject: 8000 N Pecos Street & 7996 N Pecos Street
Date: Wednesday, July 1, 2020 4:18:24 PM
Attachments: [An Alternative Proposal for 8000 N Pecos.rtf](#)
[Venue Pricing Brittany Hill.pdf](#)
[Venue Pricing Hyland Hills.pdf](#)
[Venue Pricing Imperium Events.rtf](#)
[Chapter 3 R-1-C Table of Uses.pdf](#)

Please be cautious: This email was sent from outside Adams County

Sherrelwood Village Filing No. 2
Project Number: PRC2020-00010

Subject: Changing R-1-C to PUD

Dear Mr. Sielaff,

This email is in response to Adams County's request for commentary on the potential rezoning and redevelopment of 8000 N Pecos St. Please consider all attachments on this e-mail as part of the case file for this property. We would like to lend our support for this matter when/if it reaches the public hearing process.

Thank you for organizing all of the information for this case file, and for alerting the community to the intentions of rezoning and platting of this wonderfully rare facility with rounded walls.

We will be watching closely for further developments!

Sincerely,

- Sarah Garner

CEO/Director of Operations
Rocky Mountain Community Services

(303) 882-4586
infodesk@rmcscolorado.com

From: [RMCS Colorado](#)
To: [Alan Sielaff](#)
Subject: Public Commentary for Sherrelwood Village Filing No. 2
Date: Wednesday, November 11, 2020 6:34:48 PM
Attachments: [An Alternative Proposal for 8000 N Pecos.rtf](#)

Please be cautious: This email was sent from outside Adams County

Hello, Adams County!

We submitted a comment to this case file back in July. In that commentary, we provided materials supporting how Adams County could turn this location into a public community center or commercial amenity which would net them anywhere between \$500k to a million dollars ANNUALLY!

Once more, we'd like to suggest to Adams County how the unique structure of this building would consider it a 'destination' venue. It's already a popular location due to the nostalgia factor and the rare construction of the rounded rooftop.

The significant monetary return for AdCo could create excess funds available to distribute among other much-needed community & neighborhood services. Your district would be an ideal model for other counties around Colorado who wish to follow suit in the optimal welfare of their residents.

There's also new information that we'd like to add to the case file.

While searching for the original architect (a man named John Zimmerman whom we sadly believe to have passed away a number of years ago), we made contact with former colleagues of his who are familiar with one of his last works - the Children's Outreach Project (aka the 'bubble building' or the 'spaceship house'). They also have a strong desire for the building to remain standing, just as the community does, and has offered assistance in revitalizing it. We've also made contact with a gentleman from Boulder who was inspired to become an architect from AdCo's very own "landed saucer"! He's familiar with dome structures, particularly polyurethane dome structures, and would be more than happy to help restore his old muse.

The integrity of the building itself is still in great shape and could be fully restored by someone whose career path was sparked by it's creation. Quiet poetic, in our opinion! It would be cost efficient to renovate this building and bring it safely up to code.

As of the current date, 8000 North Pecos is the only one of it's sort in the entire country. It's one of the few commercial estates of it's square-footage in the surrounding cities, and would serve to be the only public center in the municipality of Sherrelwood.

If Adams County were to reclaim possession of this property, it would gain profits exceeding far more than ANY new housing installation could!

Thank you for your time and your consideration.

- Rocky Mountain Community Services



Alternative Proposals for 8000 N Pecos St.

Intro to RMCS:

Rocky Mountain Community Services is a local company that was formed in Northglenn, Colorado in 2018.

The mission of this company is to promote children's education, animal welfare, and mental health awareness to the communities of Adams County. We have several different programs and services that benefit the population of the provinces that lay within AdCo's district. RMCS seeks to aid these residents by utilizing various children, youth, adult and senior services.

One of our main focuses is hosting local events. Community events are a great way to build bonds which strengthen neighborhood pride and maintain their individual culture. Many families, private groups, citizens of the community and employers want a unique place to host their special occasions and projects.

That Pet Event! is a business vertical underneath the umbrella of RMCS. There is an internal program run by That Pet Event! called Growing Good Things. This program encourages children to respect local ecosystems and plant much needed flora, like trees. It also supports outdoor education and assists in the maintenance of the surrounding Sherrelwood Park to help it continue thriving.

Sherrelwood Overview:

Please consider the demographic of Sherrelwood. Many of the original home buyers in this area are still residing here. Complexes like the ones that Delwest are putting in have skyrocketed their property taxes which result in a quite uncomfortable living situation; this gentrification has led some to even be afraid to lose their housing.

There is a vast population of senior citizens in the vicinity who want a place right nearby where they could be taken to play cards or bingo, chat with their friends, and meet up with loved ones.

The younger population wants a place for recreation and celebrations. These members of our

community love to host personal events like birthday parties, weddings, quinceaneras, bridal showers, graduations and other occasions. They are also looking for a place to use as an outlet for social issues that are important to them where they can organize productions for local outreach purposes.

There isn't a single venue like this within the municipality of Sherrelwood. There isn't a venue of this size in the entire surrounding area! The residents of Sherrelwood want their own center belonging to the dense residential neighborhoods that make up the vast majority of this small city.

Alternative Proposals:

There are multiple benefits to keeping this structure standing and within its current zoning. One of the uses permitted (please see page 3 of the attachment 'Chapter 3 R-1-C Table of Uses') would be a neighborhood community center with outdoor recreation possible. The space could also be used as a rentable venue by the public and generate revenue for Adams County exceeding half a million dollars on an annual basis.

The gross leasable area of 8000 N Pecos is 15,000 square feet (please see attachment 'Leasable Area of 8000 N Pecos') which would make it the largest rentable venue in all of the surrounding counties. This also means that the space could be utilized for multiple events at once.

Sherrelwood Park surrounding the location gives you great advantages as well. Outdoor recreation is a very important topic and encourages healthy lifestyles to the citizens. Plots of the park could be rented out as 'pavilions', or it could provide beautiful scenery as a backdrop in wedding or reunion photos.

The public has wanted to see the interior of this structure for a long time and we encourage you to capitalize on that. It's size and unique design could easily make it a 'destination venue'.

Following is a list of some alternative ideas that 8000 N Pecos Street could be used for:

Bus route starting at Metropolitan Arts Academy (former Clara E. Metz elementary school)
Access-a-Ride or other transportation bus travels down Sherrelwood Drive collecting senior citizens and dropping them off at the end of the winding road - which is the round facility on 8000 N Pecos

Economic relief hub

Local school plays, productions, and events

Prom, homecoming, charter school celebrations

Holiday parties

Community outreach projects

Neighborhood recreation center with outdoor activities

Corporate meetings, seminars, keynote speakers

Birthdays, weddings, quinceaneras, reunions, bridal showers, celebrations

Benefits, fundraisers, employer team-building programs

Animal care center/shelter (secondary location working alongside AdCo Animal Control)

Rent out portions of the park plots as outdoor 'pavilions'

Closing Comments:

In conclusion, we urge you to focus on enriching the community that you already have instead of allowing the addition of even more residents. The people of Sherrelwood have been very vocal about how they believe there is enough housing that has gone up in recent years within the area and have expressed their wishes on this location becoming Sherrelwood's own (and only!) community center.

We suggest to Adams County that they obtain both lots (8000 N Pecos & 7996 N Pecos) from Delwest Development Company by enforcing the use of 'eminent domain process'. It is of our understanding that this utilization would allow Adams County to purchase the property back from Delwest given that the property is used for the community.

Financial Figures for 8000 N Pecos St

According to the County's demographic for the city of Sherrelwood

(<http://www.adcogov.org/sherrelwood-community-snapshot>) the median income of the population is \$45,000 with a housing cost average of \$350k.

Adams County currently calculates their residential housing tax by using a 7.15 tax mill levy on the assessed value of the property. Many of the local people whom I have spoken with have said that their property taxes have gone up significantly; some up to as much as \$2,500 due to the gentrification of new housing going up in the area.

Delwest has converted two other housing complexes in the area relatively recently; Clear Lake Estates and Elmwood Estates. These particular housing complexes are stand-alone units going for \$495k!! (<https://www.redfin.com/CO/Denver/7920-Navajo-St-80221/home/171253833>) Homeowners in the neighborhood are concerned because these properties are raising local property taxes even further for the residents who are already struggling with the cost of living.

According to the Sherrelwood Community Snapshot, 18.6% of the population live under the poverty line. No one can afford Delwest's properties nor the property taxes that are forced to increase with the new construction in the neighborhood.

Delwest's application suggests that they want to build 48 'workforce friendly' townhouses on the combined 2.7 acre lot with 7996 Pecos. 7996 Pecos is the lot right next to 8000 Pecos. It's thick with trees and is believed to be city property.

Since the townhomes are designed to be 'workforce friendly', we assume that their property taxes wouldn't be the same figure as those of their stand-alone \$495k housing units that Delwest has built nearby in the Elmwood Estates.

But in the example below, let's forecast that they are...

Delwest puts in 48 units, each unit carrying a potential of up to \$2500 in annual property tax:

48 units x \$2500 max property tax = \$120,000 in annual residential property tax that goes to AdCo

However, the total amount of annual revenue produced from Delwest's complex will be significantly reduced due to the cost of maintaining the infrastructure associated with a larger redevelopment, new streets being laid out, and providing consistent traffic control.

Now let's suppose that it were to be utilized and operated by the County as a rentable community center:

* There's NO community center in the municipality of Sherrelwood!

* However, there are a few different locations in the surrounding cities who do relatively similar things.

Hyland Hills Park & Recreation District (www.hylandhills.org) Carl Park and Perl Mack Community Centers (2,300 sq ft)

Non-alcoholic Event - \$150 deposit

- plus -
\$90/hour

Total for an 8 hour event = \$870

Event with Alcohol Allowed - \$300 deposit

- plus-

\$150/hour

Total for an 8 hour event = \$1,500

Imperium Event Center; Northglenn and Westminster (both locations approx 9,000 sq ft)
www.imperiumcenter.com

Two rooms; one ballroom and one conference = \$1,500 per event for the entire location for an 8- hour event (including an hour both beforehand and afterwards for set-up and teardown totalling event time to 10 hours)

Brittany Hill in Thornton

<https://www.wedgewoodweddings.com/venues/colorado/brittany-hill/pricing> (Rentable event space approx 8,000 sq ft; you don't have the entire building to yourself. Only outdoor wedding ceremony areas and an indoor reception room. Brittany Hill also employs a third-party organizer and event staff, Wedgewood Weddings)

This building has been deemed a destination venue due to the location and vintage design

They are consistently booked for bridal showers, weddings and other celebrations

That being said, they charge \$2,495 per event!

Additionally they offer wedding ceremonies for \$995, plus a \$50 - \$130 per person

'wedding package', and a 22% service fee will be included as well at the end of the event

Renting this vintage 'destination' venue could easily cost upwards of \$4000 per event - and people are happy to pay it!

8000 N Pecos has a gross leasable area of 15,000 square feet, which would make it the largest rentable public venue in the surrounding area. If AdCo were to utilize this place as a community center (which it's already currently zoned for - please see attachment 'Chapter 3 R-1-C Table of Uses'), here's some figures that we came up with...

****All of the above venues reported having a median 60% booking rate****

Venue employees project an even higher booking rate once the pandemic has passed and have already been receiving calls and requests for appointments to secure reservations in 2021.

Let's look at a few examples...!

(When using the examples below, I am basing the figures on an average 8-hour event with 50 guests)

If the cost per 8-hour event was to be the lowest in the range (which is a NON-ALCOHOL event @ Hyland Hills), that would be \$870...

\$870 (cost per event) x 20 days in a month rented out (this is approximately an 60% booking rate which the above centers reported on average before COVID-19) = \$17,400 monthly revenue

\$870 (cost per event) x 15 days rented out = \$13,050 monthly revenue

\$870 (cost per event) x 10 days rented out = \$8,700 monthly revenue

\$17,400 (monthly revenue) x 12 months in a year = \$208,800 (approx 60% booking)

\$13,050 (monthly revenue) x 12 months in a year = \$156,600 (approx 50% booking)

\$8,700 (monthly revenue) x 12 months in a year = \$104,400 (approx 30% booking)

Let's use the median cost per event between ALCOHOL ALLOWED event @ Hyland Hills and Imperium Event Center, which would both be \$1500...

\$1500 (cost per event) x 20 days rented out = \$30000 monthly revenue

\$1500 (cost per event) x 15 days rented out = \$22500 monthly revenue

\$1500 (cost per event) x 10 days rented out = \$15000 monthly revenue

\$30000 (monthly revenue) x 12 months in a year = \$360,000 (approx 60% booking)

\$22500 (monthly revenue) x 12 months in a year = \$270,000 (approx 50% booking)

\$15000 (monthly revenue) x 12 months in a year = \$180,000 (approx 30% booking)

If AdCo were to decide to turn this unique place that people already love and want to explore into a 'destination location', let's use the lowest price in the Brittany Hill figures which is the cost of a standard event without a wedding reception or guest packages. This working number would be \$2495k...

\$2495 (cost per event) x 20 days rented out = \$49,900 monthly revenue

\$2495 (cost per event) x 15 days rented out = \$37,425 monthly revenue

\$2495 (cost per event) x 10 days rented out = \$24,950 monthly revenue

\$49,000 (monthly revenue) x 12 months in a year = \$598,800 (approx 60% booking)

\$37,425 (monthly revenue) x 12 months in a year = \$449,100 (approx 50% booking)

\$24,950 (monthly revenue) x 12 months in a year = \$299,400 (approx 30% booking)

Many venues such as this one have additional services that you could add on for additional fees;

If you added the per-person packaging, wedding ceremony, and 22% service fee, it could be rented out for considerably more.

\$50 (cheapest per person wedding package) x 50 guests = \$2500

\$2495 event cost

\$995 wedding ceremony

Total = \$5990

PLUS 22% service fee of \$1318 which equals a grand total of \$7308

If you added the elite per person wedding package, that would be \$120 per person:

\$120 (elite wedding package per person) x 50 guests = \$6000

\$2495 cost of event

\$995 wedding ceremony

Total = \$9490

PLUS 22% service fee of \$2088 making a grand total of \$11,578

However, for the sake of example, let's use the cheaper of the two figures and round the cost down to \$7300 per cost of event for a destination venue with a wedding package:

\$7300 (cost of event) x 20 days rented out = \$146,000

\$7300 (cost of event) x 15 days rented out = \$109,500

\$7300 (cost of event) x 10 days rented out = \$73,000

\$146,000 (monthly revenue) x 12 months in a year = \$1,752,000 (approx 60% booking)

\$109,500 (monthly revenue) x 12 months in a year = \$1,314,000 (approx 50% booking)

\$73,000 (monthly revenue) x 12 months in a year = \$876,000 (approx 30% booking)

,

These are very basic costs of rental and don't include other things like: planning and coordination staff, vendor opportunities, transportation, hotel, attire rental, photography, DJ & MC services, centerpieces, invitations and accessories, and food & beverage which can all be additional services provided.

In conclusion, Adams County has a property on their hands which could easily earn them half a million dollars annually by hosting standard community events and could potentially exceed one million dollars annually if it's utilized as a destination venue. This location only has to be booked less than 30% of the month in order for AdCo to generate revenue that would make them up to ten times more money than the \$120,000 in property tax that Delwest could offer by building ANY of their housing complexes.

Imperium Event Center, Carl Park & Perl Mack Community Centers generate the figures listed above by hosting events in venues situated within stripmalls and otherwise general commercial buildings.

The backdrop beauty of nature in Sherrelwood Park combined with the desire of the public to explore the interior of this landmark vintage structure on 8000 N Pecos could easily elect it to be considered as a 'destination venue'.

An important note: we didn't include figures for a fully-booked month. 8000 N Pecos could easily have more than 30 events per month given the size of the building at 15,000 sq ft, as there can even be multiple events happening at once.

Given the size of the location, it is much bigger than any of the locations mentioned above and could be rented out for much more per hour or per event, if someone were to be interested in renting out the entire building like Derek Amato who wants to take advantage of it's acoustics and have "piano bar nights".

The County can hire an outside company to staff these events or staff them itself and therefore also create jobs within the community to host this location's events.

The property on 8000 N Pecos is already in great shape! The costs of landscaping and maintenance would be well worth the revenue it would generate for Adams County.

Rocky Mountain Community Services, 2020

Sarah Garner

CEO/Director of Operations

(303) 882-4586

infodesk@rmcscolorado.com

OFFICE OF THE SECRETARY OF STATE
OF THE STATE OF COLORADO

CERTIFICATE OF FACT OF GOOD STANDING

I, Jena Griswold, as the Secretary of State of the State of Colorado, hereby certify that, according to the records of this office,

Rocky Mountain Community Services, LLC

is a

Limited Liability Company

formed or registered on 08/18/2018 under the law of Colorado, has complied with all applicable requirements of this office, and is in good standing with this office. This entity has been assigned entity identification number 20181646472 .

This certificate reflects facts established or disclosed by documents delivered to this office on paper through 02/27/2020 that have been posted, and by documents delivered to this office electronically through 03/01/2020 @ 12:47:46 .

I have affixed hereto the Great Seal of the State of Colorado and duly generated, executed, and issued this official certificate at Denver, Colorado on 03/01/2020 @ 12:47:46 in accordance with applicable law. This certificate is assigned Confirmation Number 12119920 .

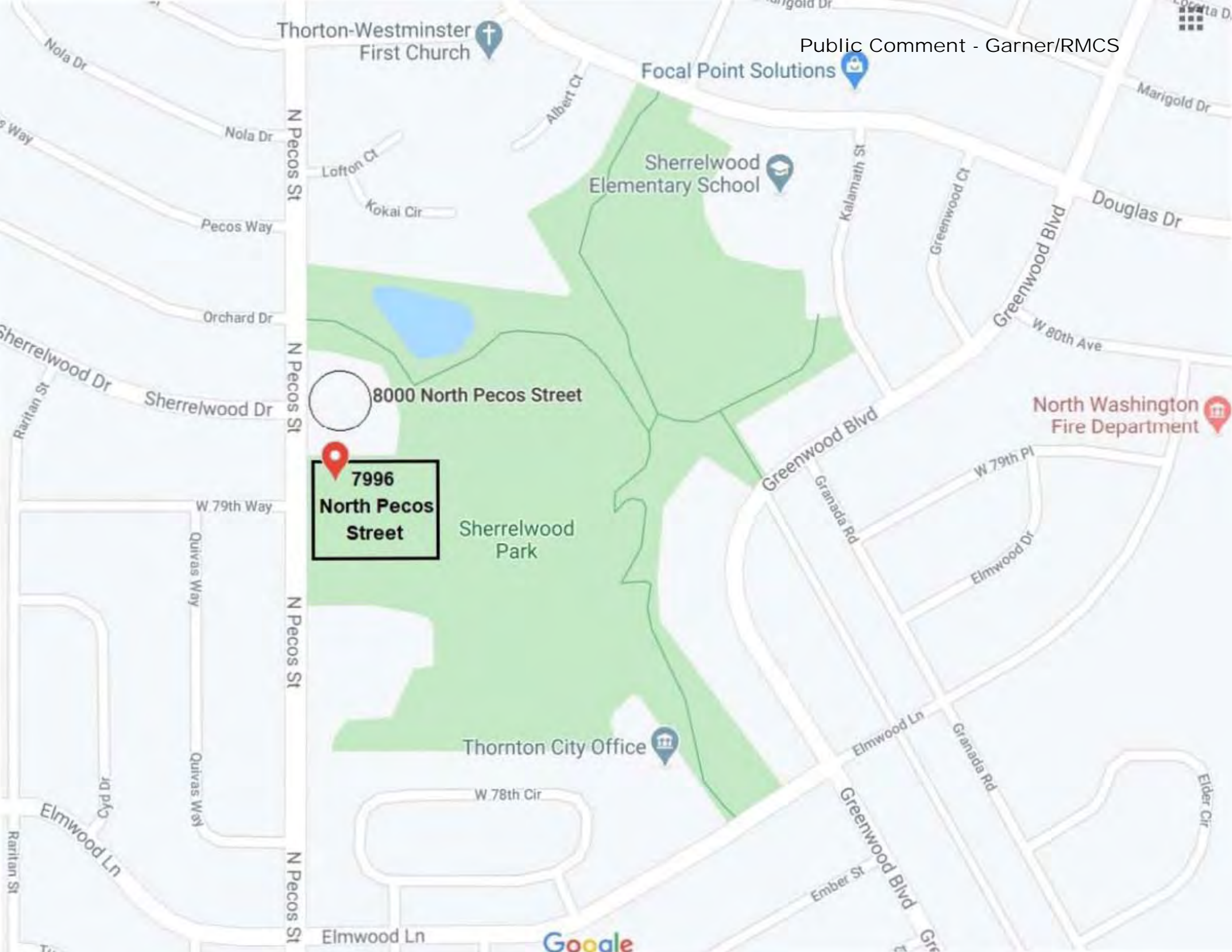


Jena Griswold

Secretary of State of the State of Colorado

*****End of Certificate*****

Notice: A certificate issued electronically from the Colorado Secretary of State's Web site is fully and immediately valid and effective. However, as an option, the issuance and validity of a certificate obtained electronically may be established by visiting the Validate a Certificate page of the Secretary of State's Web site, <http://www.sos.state.co.us/biz/CertificateSearchCriteria.do> entering the certificate's confirmation number displayed on the certificate, and following the instructions displayed. Confirming the issuance of a certificate is merely optional and is not necessary to the valid and effective issuance of a certificate. For more information, visit our Web site, <http://www.sos.state.co.us/> click "Businesses, trademarks, trade names" and select "Frequently Asked Questions."



Thornton-Westminster
First Church

Focal Point Solutions

Sherrelwood
Elementary School

8000 North Pecos Street

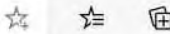
7996
North Pecos
Street

Sherrelwood
Park

Thornton City Office

North Washington
Fire Department

https://www.zillow.com/sherrelwood-co/home-values/

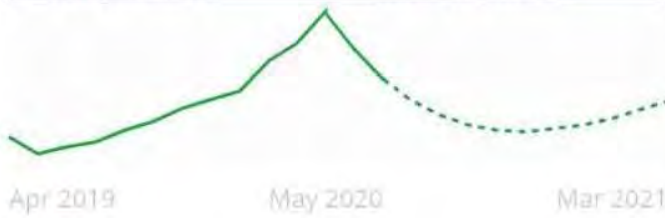


Sherrelwood Home Prices & Values

ZILLOW HOME VALUE INDEX

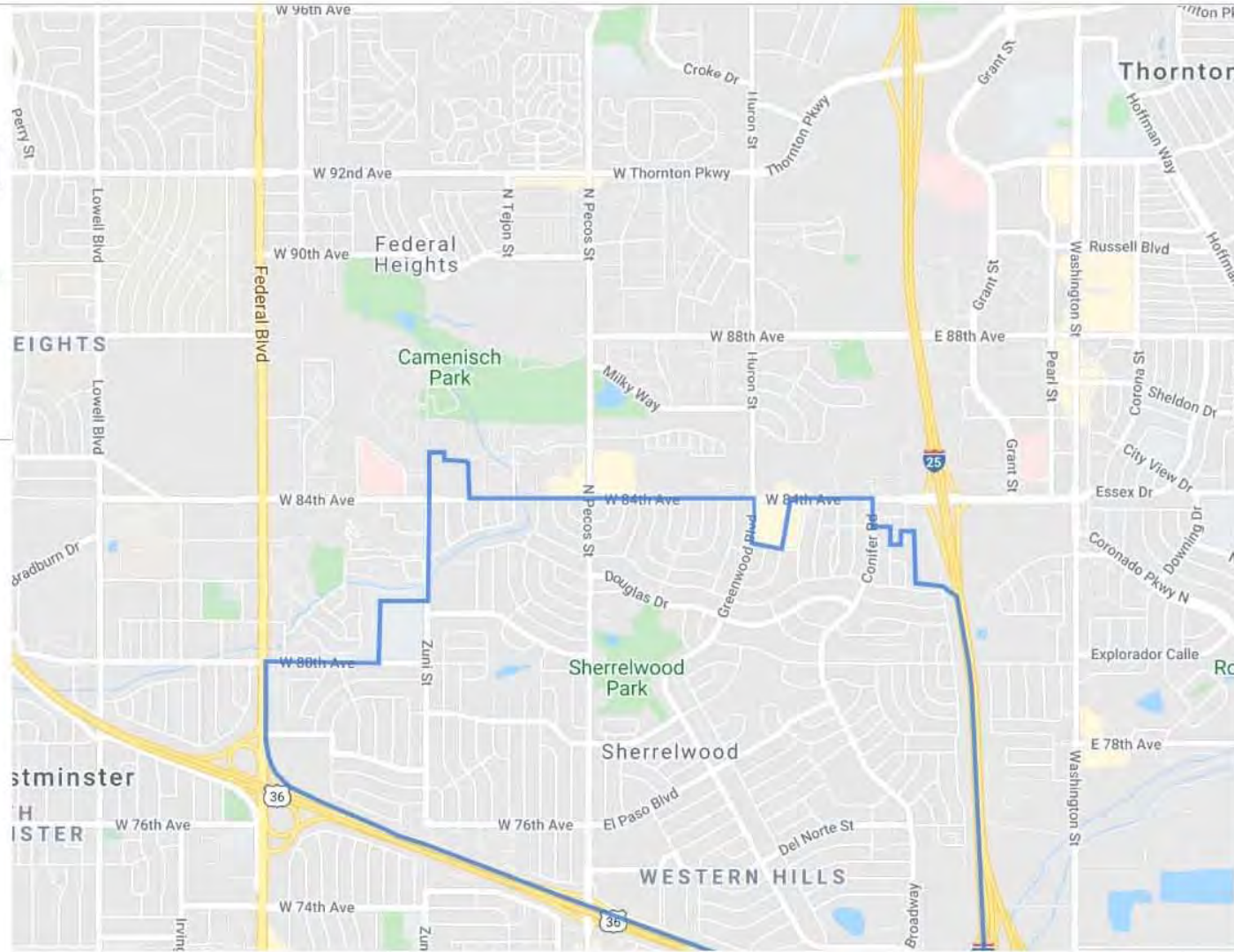
\$349,282

2.4% 1-year change -1.6% 1-year forecast



The median home value in Sherrelwood is \$349,282. Sherrelwood home values have gone up 2.4% over the past year and Zillow predicts they will fall -1.6% within the next year. The median list price per square foot in Sherrelwood is \$327, which is higher than the Denver-Aurora-Lakewood Metro average of \$265. The median price of homes currently listed in Sherrelwood is \$340,000 while the median price of homes that sold is \$345,200.

Foreclosures will be a factor impacting home values in the next several years. In Sherrelwood 0.0 homes are foreclosed (per 10,000). This is lower than the Denver-Aurora-Lakewood Metro value of 0.1 and also lower than the national value of 1.2



7920 Navajo St
Denver, CO 80221
Status: Active

Public Comment - Garner/RMCS
\$495,000 | — | — | **1,950** Sq.
Price | Beds | Baths | \$254 / Sq.
Built: 2020 | Lot Size: 4,050 Sq. Ft. | Active: 99 da

- view
- Property Details
- Property History
- Schools
- Public Facts
- Neighborhood
- Similar Homes



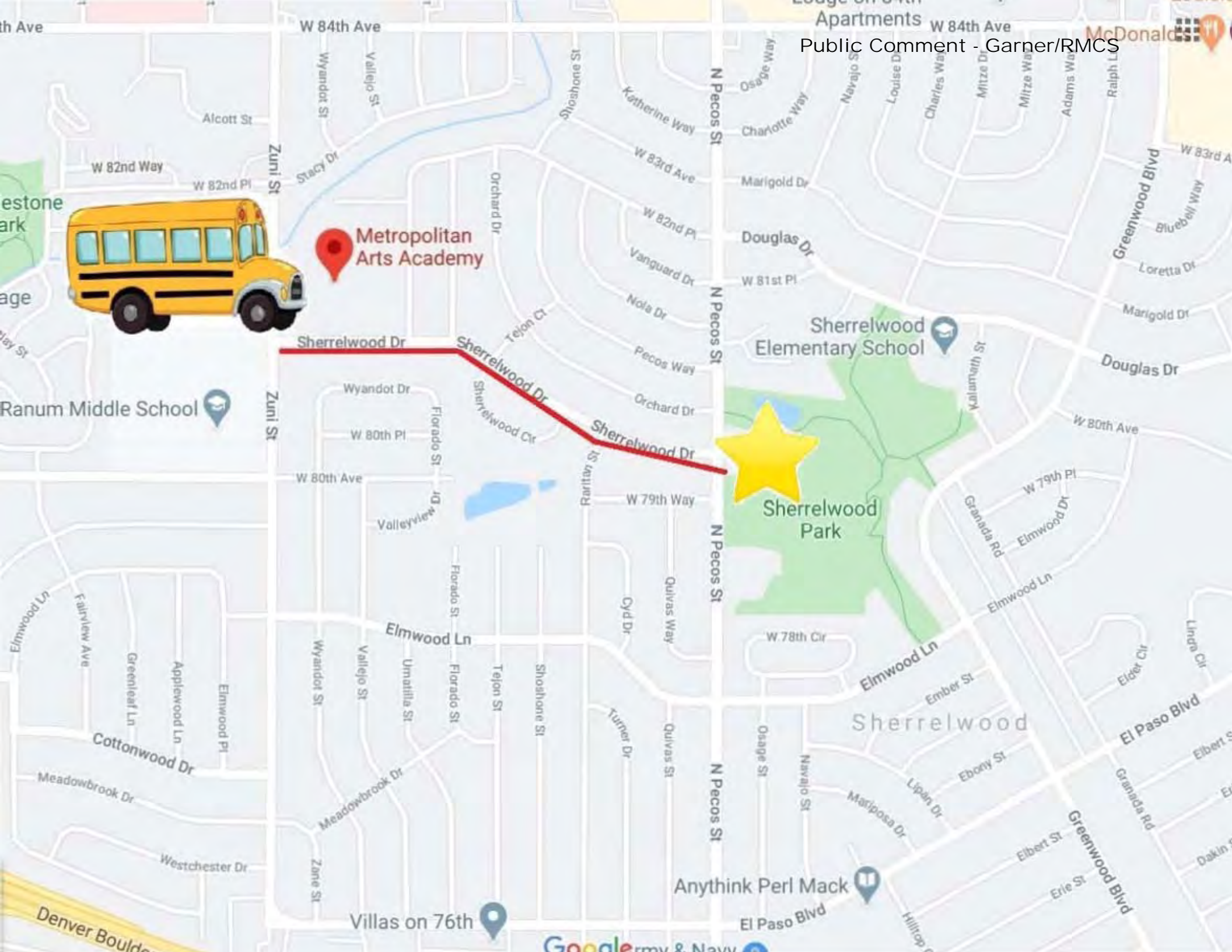
(A streetside view of Elmwood Estates facing North Pecos St.)

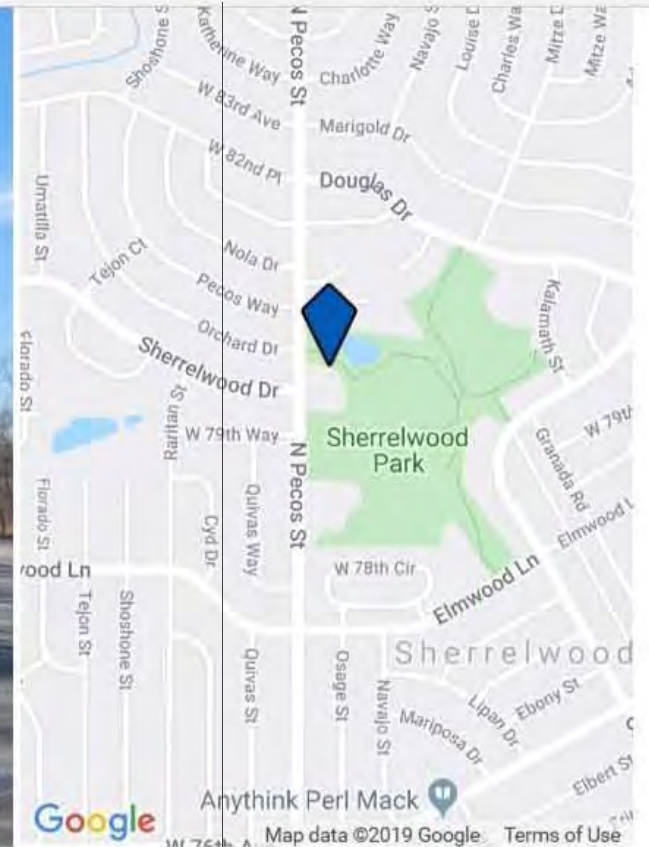


Metropolitan Arts Academy

Sherrelwood Elementary School

Sherrelwood Park





THE OFFERING

Price	Upon Request	No. Stories	1
Property Type	Retail	Year Built	1986
Property Sub-type	Day Care Center	Parking Ratio	1.86/1,000 SF
Building Class	B	Zoning Description	R-1-C
Lot Size	1.48 AC	APN/Parcel ID	1719-28-4-00-003
Gross Leasable Area	15,000 SF		

2020 Pricing

PACKAGES	Build Your Own	Classic	Premier	Elite
Price Per Person	\$47	\$62	\$92	\$117

CEREMONY PRICE	Dec - Mar	Apr, May, Nov	Jun - Oct
Includes Outdoor or Indoor Ceremony Space with Coordination, Rehearsal, Full Set-Up & Breakdown	\$0	\$0	\$995

VENUE PRICE	Dec - Mar	Apr, May, Nov	Jun - Oct
Monday, Tuesday, Wednesday, Thursday	\$100	\$295	\$395
Friday, Sunday	\$100	\$495	\$995
Saturday Day / Brunch	\$100	\$495	\$995
Saturday Evening	\$100	\$1,495	\$2,495

All pricing subject to 22% service fee and tax. Certain minimums apply.
Pricing is valid for events booked and celebrated between January 1, 2020 & December 31, 2020.

2021 Pricing

PACKAGES	Build Your Own	Classic	Premier	Elite
Price Per Person	\$50	\$65	\$95	\$120

CEREMONY PRICE	Dec - Mar	Apr, May, Nov	Jun - Oct
Includes Outdoor or Indoor Ceremony Space with Coordination, Rehearsal, Full Set-Up & Breakdown	\$0	\$0	\$995

VENUE PRICE	Dec - Mar	Apr, May, Nov	Jun - Oct
Monday, Tuesday, Wednesday, Thursday	\$100	\$295	\$395
Friday, Sunday	\$100	\$495	\$995
Saturday Day / Brunch	\$100	\$495	\$995
Saturday Evening	\$100	\$1,495	\$2,495

All pricing subject to 22% service fee and tax. Certain minimums apply.
Pricing is valid for events booked and celebrated between January 1, 2021 & December 31, 2021.



PERL MACK COMMUNITY CENTER

7125 Mariposa Street Denver, CO 80221
303-650-7580



PERL MACK FACILITY HOURS:

M-F: 8am-5:30pm; SA: 8am-1pm
Holiday closures: Dec 25 and Jan 1
The center will be closing early on Dec 24 and Dec 31 at 1pm

FACILITY FEATURES:

- Fitness studio and weight room
- Spacious multi-purpose ballroom for events
- Kitchen
- After school recreation clubs
- Westminster Public Schools Early Learning Center

Best accessibility



A variety of recreational classes for adults and children including:

- SilverSneakers® Classes
- Fitness & Wellness Classes
- Arts & Crafts Classes
- Weight & Personal Training Programs
- Dance Classes
- After School Recreation Club



EVENT VENUE INFORMATION

PERL MACK-MARIPOSA ROOM

RENTAL FEES

Non-Alcohol Deposit	\$150
Non-Alcohol Hourly Fee.....	\$ 90
Deposit with Alcohol.....	\$300
With Alcohol Hourly Fee.....	\$190
Mandatory security included in this fee	

ALL EVENTS NEED TO END NO LATER THAN 11pm.

The Mariposa room has many wonderful features including artistic lighting and an attached kitchen with granite countertops, double ovens and much more. **It can accommodate up to 200 people and is perfect for wedding receptions, graduation parties, quinceneras, conferences or any special event for a large group of people.**

CARL PARK COMMUNITY CENTER

5401 Meade Street Denver, CO 80221
303-650-7580

ALL EVENTS NEED TO END NO LATER THAN 11pm.

This bright and sunny community center can host your special event. It features 2,300 square feet and can accommodate a group up to 75 people. This community hall has a beautiful 216 square foot catering kitchen. **It can accommodate up to 75 people and is perfect for small wedding celebrations, graduation parties, quinceneras, conferences and special events. Please contact our friendly staff to help create the ultimate gathering.**

EVENT VENUE INFORMATION

CARL PARK ROOM

RENTAL FEES

Non-Alcohol Deposit	\$150
Non-Alcohol Hourly Fee.....	\$ 60
Deposit with Alcohol	\$300
With Alcohol Hourly Fee.....	\$135
Mandatory security included in this fee	



For more information on Carl Park Community Center or Perl Mack Community Center Call 303-650-7580. Make your reservations now! Please see information or fill out the facility use form on our website hylandhills.org, under Facility Rentals.

IMPERIUM EVENT CENTER

Locations in Northglenn and Westminster:

Northglenn Location: 500 Malley Drive

Westminster Location: 3051 W 74th Ave

Imperium Event Center hosts "all day" events which are 10 hours; an hour before and an hour after an 8 hour event for set-up and tear down:

Two rooms: one ballroom and one conference

Ballroom (7,000 sq ft) = \$500

Conference (2,000 sq ft) = \$300

All-day rental for entire location = \$1,500

(See photos below)

IMPERIUM EVENT CENTER



(Northglenn Location)



(Westminster Location)

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
AGRICULTURAL USES						
Agricultural Businesses and Farming Operations	C	C	C	-	-	-
Animal farms	P	P	P	-	-	-
Animal Feeding Operation (AFO) and Concentrated Animal Feeding Operation (CAFO)	C	C	C	-	-	-
Aquaculture facility	C	C	C	-	-	-
Crop farming, excluding Hemp	P	P	P	P	P	P
Crop farming, including hemp	P	P	P	-	-	-
Equestrian Arena, Commercial	C	C	C	-	-	-
Equestrian Arena, Personal	P	P	P	-	-	-
Agricultural Support Businesses and Services	C	C	C	-	-	-
Farm machinery sales and services	C	C	C	-	-	-
Farm supply sales	C	C	C	-	-	-
Grain mill	C	C	C	-	-	-
Grain elevators	C	C	C	-	-	-
Riding stables or academy	C	C	C	-	-	-
Nurseries	P	P	P	-	-	-
Forestry and Siviculture	P	P	P	-	-	-
Timbering and logging	P	P	P	-	-	-

December 10, 2019

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
RESIDENTIAL USES						
Accessory Dwelling Unit	P	P	P	P	P	P
Group Home for the Developmentally Disabled	C	C	C	C	C	C
Group Home for the Elderly	C	C	C	C	C	C
Group Living Facility (1 to 5 persons)	P	P	P	P	P	P
Group Living Facility (in excess of 5 persons)	C	C	C	C	C	C
Group Living Facility (with more than 1 registered sex offender)	C	C	C	C	C	C
Manufactured Home Park	-	-	-	-	C	C
Mobile Home Park	-	-	-	-	-	-
Multi-Family Dwelling	-	-	-	-	-	-
Single-Family Dwelling	P	P	P	P	P	P
Two-Family Dwelling	C	C	C	-	-	P
INSTITUTIONAL USES						
Funeral Home/Mortuary*	P	P	P	-	-	-
Funeral Home/Mortuary to include Cremation*	C	C	C	-	-	-
Halfway House*	-	-	C	-	-	-
Institutional Care	C	C	C	C	C	C
Boarding/rooming houses	C	C	C	C	C	C
Convalescent homes	C	C	C	C	C	C
Convents or monasteries	C	C	C	C	C	C
Foster homes	C	C	C	C	C	C
Hospitals/clinics	C	C	C	C	C	C
Nursing homes	C	C	C	C	C	C
Protective living facilities	C	C	C	C	C	C
Sanitariums	C	C	C	C	C	C
Sheltered care homes	C	C	C	C	C	C
Jails and Prisons	-	-	C	-	-	-
Jails	-	-	C	-	-	-
Penal institutions	-	-	C	-	-	-
Prisons	-	-	C	-	-	-
Neighborhood Indoor Uses	C	C	C	C	C	C
Branch libraries	C	C	C	C	C	C
Day care centers (day or nursery schools) (Adult* or Child)	C	C	C	C	C	C

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Gymnasiums	C	C	C	C	C	C
Handball	C	C	C	C	C	C
Handball courts	C	C	C	C	C	C
Indoor recreational centers	C	C	C	C	C	C
Indoor skating rinks (ice or roller)	C	C	C	C	C	C
Indoor swimming pools	C	C	C	C	C	C
Neighborhood community or recreational centers	C	C	C	C	C	C
Public or private primary and secondary schools (excluding trade schools)	C	C	C	C	C	C
Racquetball	C	C	C	C	C	C
Tennis	C	C	C	C	C	C
Outdoor Public Uses	P	P	P	P	P	P
Arboretums	P	P	P	P	P	P
Areas for hiking	P	P	P	P	P	P
Cemeteries, with or without caretaker residences*	C	C	P	-	-	-
Garden plots	P	P	P	P	P	P
Nature areas	P	P	P	P	P	P
Picnic areas	P	P	P	P	P	P
Public areas for active recreational activities	P	P	P	P	P	P
Recreation-oriented parks	P	P	P	P	P	P
Wildlife sanctuaries	P	P	P	P	P	P
Places of Worship	C	C	P	C	C	C
Public Service	C	C	C	C	C	C
All government-owned facilities except landfills or mining facilities	C	C	C	C	C	C
Emergency service buildings or garages	C	C	C	C	C	C
Government offices	C	C	C	C	C	C
Utility substations or transmission and distribution facilities	C	C	C	C	C	C
Universities	C	C	C	C	C	C

December 10, 2019

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
COMMERCIAL USES						
Airports, Landing Strips and Heliports	C	C	C	-	-	-
Animal Hospitals	C	C	C	-	-	-
Automobile Service Stations	-	-	-	-	-	-
Car washes	-	-	-	-	-	-
Convenience stores with gas pumps where vehicles are serviced with minor repairs, oil changes, etc.	-	-	-	-	-	-
Gas stations	-	-	-	-	-	-
Bed and Breakfast Establishments	P	P	P	C	C	-
Campgrounds, Commercial	C	C	C	-	-	-
Camps	C	C	C	-	-	-
Campsites	C	C	C	-	-	-
Recreational vehicle parks	C	C	C	-	-	-
Tents	C	C	C	-	-	-
Trailer parks	C	C	C	-	-	-
Communications Towers, Commercial	C	C	C	-	-	-
Antenna arrays (satellite dishes)	C	C	C	-	-	-
Radio or TV broadcasting towers	C	C	C	-	-	-
Telecommunications towers	A	A	A	A	A	A
Commercial Retail	-	-	-	-	-	-
Apparel and accessory stores	-	-	-	-	-	-
Building supplies	-	-	-	-	-	-
Cabinet sales	-	-	-	-	-	-
Dry cleaners	-	-	-	-	-	-
Engineering and management services	-	-	-	-	-	-
Food stores	-	-	-	-	-	-
Furniture and home furnishings stores	-	-	-	-	-	-

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
General merchandise stores	-	-	-	-	-	-
Greenhouses (retail) and greenhouses with garden supplies	-	-	-	-	-	-
Health services	-	-	-	-	-	-
Legal services	-	-	-	-	-	-
Membership organizations	-	-	-	-	-	-
Miscellaneous retail except fuel dealers	-	-	-	-	-	-
Miscellaneous services	-	-	-	-	-	-
Social services except care facilities	-	-	-	-	-	-
Convenience Retail Store	-	-	-	-	-	-
Drive-In Establishments	-	-	-	-	-	-
Golf Course/Driving Range, Commercial	C	C	C	C	C	C
Heavy Retail and Heavy Services	-	-	C	-	-	-
Auto/truck rental/leasing	-	-	C	-	-	-
Automobile dealers	-	-	C	-	-	-
Automotive repair except top, body, upholstery repair, paint, and tire retreading shops	-	-	C	-	-	-
Automotive services except wrecking or towing storage yards	-	-	C	-	-	-
Auto towing and storage yards	-	-	-	-	-	-
Cabinet manufacturing with sales	-	-	C	-	-	-
Cold storage	-	-	C	-	-	-
Firewood sales, storage, and splitting	-	-	C	-	-	-
Flea market	-	-	C	-	-	-
Mobile home and manufactured housing dealers with mobile home sales office	-	-	C	-	-	-
Pawn shops	-	-	C	-	-	-

December 10, 2019

<i>USE CATEGORIES</i>	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Radio and TV broadcasting station	-	-	C	-	-	-
Indoor Commercial Recreation/Entertainment	-	-	-	-	-	-
Event Centers	-	-	C	-	-	-
Bowling alleys	-	-	-	-	-	-
Indoor sports arenas	-	-	-	-	-	-
Movie theaters	-	-	-	-	-	-
Physical fitness facilities	-	-	-	-	-	-
Pool arcades	-	-	-	-	-	-
Video arcades	-	-	-	-	-	-
Kennel, Commercial	C	C	C	-	-	-
Lodging, Commercial	-	-	-	-	-	-
Convention centers	-	-	-	-	-	-
Hotels	-	-	-	-	-	-
Motels	-	-	-	-	-	-
Massage Business	-	-	-	-	-	-
Off-Premise Advertising Devices	-	-	-	-	-	-
Office	-	-	-	-	-	-
Banking and other credit agencies (offices only)	-	-	-	-	-	-
Business services	-	-	-	-	-	-
Commodity brokers and services	-	-	-	-	-	-
Holding and other investments	-	-	-	-	-	-
Insurance carriers	-	-	-	-	-	-
Medical offices	-	-	-	-	-	-
Real estate	-	-	-	-	-	-
Security	-	-	-	-	-	-
Outdoor Commercial Recreation	C	C	C	-	-	-
Amusement parks	C	C	C	-	-	-
Archery ranges	C	C	C	-	-	-
Batting cages	C	C	C	-	-	-
Drive-in theaters	C	C	C	-	-	-
Go-cart establishments	C	C	C	-	-	-
Ice and roller skating rinks	C	C	C	-	-	-

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Miniature golf establishments	C	C	C	-	-	-
Music arenas	C	C	C	-	-	-
Outdoor commercial amusement facilities	C	C	C	-	-	-
Pistol and shooting ranges	C	C	C	-	-	-
Theme parks	C	C	C	-	-	-
Water slides	C	C	C	-	-	-
Parking Lot, Commercial	-	C	C	-	-	-
Racing Facilities	-	-	C	-	-	-
Automobile racing	-	-	C	-	-	-
Dog tracks	-	-	C	-	-	-
Horse racing	-	-	C	-	-	-
Truck racing	-	-	C	-	-	-
Restaurants	-	-	-	-	-	-
Services	-	-	C	-	-	-
Sexually Oriented Business	-	-	-	-	-	-
Trade Schools	C	C	C	-	-	-
INDUSTRIAL USES						
Business Park Uses	-	-	-	-	-	-
Apparel and other finished products made from fabrics and similar materials	-	-	-	-	-	-
Arrangement of transportation of freight and cargo	-	-	-	-	-	-
Bakeries	-	-	-	-	-	-
Communications	-	-	-	-	-	-
Development and testing services	-	-	-	-	-	-
Measuring, analyzing, and controlling instrument manufacturing	-	-	-	-	-	-
Medical and optical goods	-	-	-	-	-	-
Motion picture production and allied services	-	-	-	-	-	-
Moving companies	-	-	-	-	-	-

December 10, 2019

<i>USE CATEGORIES</i>	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Musical instruments and sporting/athletic goods manufacturing	-	-	-	-	-	-
Photographic	-	-	-	-	-	-
Research	-	-	-	-	-	-
Space research and technology	-	-	-	-	-	-
United states postal service	-	-	-	-	-	-
Watches and clocks	-	-	-	-	-	-
Energy Facilities						
Major energy facility	C	C	C	C	C	C
Solar energy system, small-scale	C	P	P	C	C	C
Solar energy system, medium scale	C	C	P	C	-	-
Solar energy system, large-scale	C	C	C	-	-	-
Extraction or Disposal Uses	C/S	C/S	C/S	C/S	C/S	C/S
Heavy Industry	-	C	C	-	-	-
Alcoholic beverage manufacturing	-	-	C	-	-	-
Asphalt and concrete production facilities	-	-	C	-	-	-
Auction yards with livestock	-	C	C	-	-	-
Automobile manufacturing	-	-	C	-	-	-
Chemical manufacturing	-	-	C	-	-	-
Chemicals and allied products manufacturing except drugs	-	-	C	-	-	-
Heavy construction contractors	-	-	C	-	-	-
Heavy logistics center	-	-	-	-	-	-
Manufactured homes	-	-	C	-	-	-
Meat processing, packing, packaging, and slaughterhouses	-	C	C	-	-	-
Paper, pulp, or paperboard mills	-	-	C	-	-	-

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Petroleum products manufacturing	-	-	C	-	-	-
Railroad yard	C	C	C			
Railroad transportation	-	C	C	-	-	-
Rubber and miscellaneous plastics manufacturing	-	-	C	-	-	-
Salvage yards	-	-	C	-	-	-
Sawmills	-	-	C	-	-	-
Stone and clay products	-	-	C	-	-	-
The storage and disassembly of vehicles and the re-assembly of various parts	-	-	C	-	-	-
Trailer and truck manufacturing	-	-	C	-	-	-
Transportation equipment	-	-	C	-	-	-
Utility production or processing facilities	-	C	C	-	-	-
Heavy Manufacturing or Processing	-	-	-	-	-	-
Abrasive manufacturing	-	-	-	-	-	-
Acid manufacturing	-	-	-	-	-	-
Asbestos products manufacturing	-	-	-	-	-	-
Boiler or tank manufacturing	-	-	-	-	-	-
Bone reduction	-	-	C	-	-	-
Caustic soda manufacturing	-	-	-	-	-	-
Celluloid manufacturing	-	-	-	-	-	-
Coal, coke yards, or coal classifications	-	-	-	-	-	-
Detergent, soap, and by-products manufacturing using animal fat	-	-	-	-	-	-
Disinfectant, insecticide, or poison manufacturing	-	-	-	-	-	-
Distillation of bone, refuse, grain, and wood	-	-	-	-	-	-
Dye manufacturing	-	-	-	-	-	-
Felt manufacturing	-	-	-	-	-	-

December 10, 2019

<i>USE CATEGORIES</i>	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Fossil fuel manufacturing	-	-	-	-	-	-
Fuel, oil, gasoline, and petroleum products (bulk storage and/or sale)	-	-	-	-	-	-
Hazardous waste treatment facility	-	-	-	-	-	-
Linseed oil, shellac, and turpentine manufacturing and refinery	-	-	-	-	-	-
Lubrication and grease manufacturing	-	-	-	-	-	-
Lumber mills, planing mills, and storage of logs	-	-	-	-	-	-
Oil compounding	-	-	-	-	-	-
Paint and enamel manufacturing	-	-	-	-	-	-
Pickle manufacturing	-	C	C	-	-	-
Recycling Facilities	-	-	C	-	-	-
Scrap processing or shredding yard	-	-	-	-	-	-
Smelting or refining of metal	-	-	-	-	-	-
Sugar and beet refining	-	-	-	-	-	-
Tar and waterproofing (materials manufacturing, treatment, and bulk storage)	-	-	-	-	-	-
Landscape Storage Yards*	-	-	C	-	-	-
Light Industry	-	-	C	-	-	-
Auction houses without livestock	-	-	C	-	-	-
Automotive repair, including top, body, upholstery repair, paint, and tire re-treading shops	-	-	C	-	-	-
Bus repair	-	-	C	-	-	-
Dairy and food processing and manufacturing facilities	-	-	C	-	-	-
Drug manufacturing	-	-	C	-	-	-
Dry cleaning plants	-	-	C	-	-	-

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Electric and electronic equipment, including electronic distribution and electrical industrial	-	-	C	-	-	-
Fabricated metal, sheet metal shops, metal products manufacturing	-	-	C	-	-	-
Fuel and ice dealers	-	-	C	-	-	-
Furniture and fixtures	-	-	C	-	-	-
General building contractors	-	-	C	-	-	-
Instruments and related products	-	-	C	-	-	-
Leather and leather products, including tanning and finishing	-	-	C	-	-	-
Local and interurban passenger transit	C	C	C	-	-	-
Light logistics center	-	-	-	-	-	-
Lumber, building materials, and wood products	-	-	C	-	-	-
Meat processing and packaging, excluding meat packing and slaughter	-	-	C	-	-	-
Miscellaneous manufacturing industries	-	-	C	-	-	-
Paper products, except mills	-	-	C	-	-	-
Printing and publishing	-	-	C	-	-	-
Recreational vehicle storage	-	-	C	-	-	-
Special trade contractors	-	-	C	-	-	-
Special warehousing and storage	-	-	C	-	-	-
Textiles and apparel	-	-	C	-	-	-
Transportation services	-	-	C	-	-	-
Trucking and general warehousing, including mini-storage	-	-	C	-	-	-
Truck stops	C	C	C	-	-	-

December 10, 2019

<i>USE CATEGORIES</i>	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Welding repair	-	-	C	-	-	-
Wholesale trade (durable and non-durable)	-	-	C	-	-	-
Light Manufacturing or Processing	-	-	-	-	-	-
Beverage manufacturing	-	-	-	-	-	-
Book binding	-	-	-	-	-	-
Canvas products manufacturing	-	-	-	-	-	-
Clothing or cloth manufacturing	-	-	-	-	-	-
Office and computing machines	-	-	-	-	-	-
Electronics manufacturing	-	-	-	-	-	-
Furnace installation, repair, and cleaning	-	-	-	-	-	-
Hosiery manufacturing	-	-	-	-	-	-
Machine shops	-	-	-	-	-	-
Machine tool manufacturing	-	-	-	-	-	-
Machinery sales	-	-	-	-	-	-
Public utility storage, yards, and service installments	-	-	-	-	-	-
Shoe manufacturing	-	-	-	-	-	-
Sign manufacturing, repair, and maintenance	-	-	-	-	-	-
Moderate Manufacturing or Processing	-	-	-	-	-	-
Can manufacturing	-	-	-	-	-	-
Candy product manufacturing (for sale off premises)	-	-	-	-	-	-
Cement, cinder block, concrete, lime or plaster manufacturing	-	-	-	-	-	-
Cosmetic and perfume manufacturing	-	-	-	-	-	-
Creosote manufacturing or treatment plant	-	-	-	-	-	-
Fat rendering production	-	-	-	-	-	-

(P) Permitted (C) Conditional (S) Special Use Permit (-) Prohibited
(O) Oil and Gas Facility Permit (A) Administrative Review Permit

USE CATEGORIES	ZONE DISTRICT					
	A-1	A-2	A-3	RE	R-1-C	R-2
Fertilizer manufacturing and processing	C	C	C	-	-	-
Forging plant and foundry	-	-	-	-	-	-
Glass or glass product manufacturing	-	-	-	-	-	-
Hemp manufacturing and extraction	-	-	-	-	-	-
Metal ingots, casting sheets, or bearings, forging or rolling mills	-	-	-	-	-	-
Millinery manufacturing	-	-	-	-	-	-
Mobile homes manufacturing and storage	-	-	-	-	-	-
Vacation camper manufacturing	-	-	-	-	-	-
Oil and Gas Facility	-	O	O	-	-	-
Accessory Outdoor Storage (up to 25% of the building area)*	-	-	-	-	-	-
Accessory Outdoor Storage (in excess of 25% and up to 100% of the building area)*	-	-	-	-	-	-
Outdoor Storage (in excess of 100% of the building area)*	-	-	-	-	-	-
MARIJUANA ESTABLISHMENTS						
Medical Marijuana Center	-	-	-	-	-	-
Retail Marijuana Store	-	-	-	-	-	-
Medical Marijuana Infused Products Manufacturer	-	-	-	-	-	-
Retail Marijuana Product Manufacturing Facility	-	-	-	-	-	-
Medical Marijuana Optional Premises Cultivation Operation	-	-	P	-	-	-
Retail Marijuana Cultivation Facility	-	-	P	-	-	-
Retail Marijuana Testing Facility	-	-	-	-	-	-

From: [Debra Green](#)
To: [Alan Sielaff](#)
Cc: dougdebgreen@aol.com
Subject: Rezoning
Date: Sunday, November 22, 2020 10:18:30 PM

Please be cautious: This email was sent from outside Adams County

You really need to listen to us there is so much traffic it is 15 minutes just to make a left off of Pecos Way. These Delnort people will say anything they want just to get a reaction for you .Please reconsider putting in those ugly town homes single family look great Please do not let them do this

From: [Alan Sielaff](#)
To: [Alan Sielaff](#)
Subject: PRC2020-00010 resident comment
Date: Thursday, February 18, 2021 8:53:35 AM

Leroy T. Gomez, resident near Greenwood Blvd. and Elmwood Ln., called the afternoon of 2/11/21 to discuss this case. He spoke in opposition and cited concerns regarding increased traffic in area, particularly Pecos St., concerns Sherrelwood Park and Pecos St. cannot accommodate the increased residents and traffic generated. He spoke about possible need to move or add traffic lights, and an inconvenience to crossing Pecos St. for vehicles and concern with turning movements. He also discussed concerns with the small size of land to number of proposed units and thinks perhaps half of what is proposed would be more appropriate. Would support some improvements of the park such as improved walking paths within park. Finally, he discussed the turnover of residents in the neighborhood in recent years and increased impacts on parks and roads recently.

Alan Sielaff, AICP

Planner II, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

asielaff@adcogov.org | www.adcogov.org

Department operating are hours Tuesday through Friday, 7 a.m. to 5:30 p.m. [more information is available on our website.](#) [Access Adams Online](#) to take care of many services remotely, and find other [department schedules and information here.](#)

From: [Debra Green](#)
To: [Alan Sielaff](#)
Cc: dougdebgreen@aol.com
Subject: Town homes on 78th and Pecos
Date: Wednesday, November 25, 2020 2:08:47 PM

Please be cautious: This email was sent from outside Adams County

Please don't let them destroy our neighborhood can you just drive pass what would be town homes ! How awful they would look You have a park large beautiful homes and old beautiful Sherrelwood. We are asking please no town homes I have even heard RV and Truck parking Please think of us Thank you Debra Green 1680 Pecos Way

From: [Debra Green](#)
To: [Alan Sielaff](#)
Cc: dougdebgreen@aol.com
Subject: Delwest
Date: Monday, December 7, 2020 2:04:17 PM

Please be cautious: This email was sent from outside Adams County

MrSielaff I am writing to you in regarding Delwest townhomes I.am opposing these townhomes. Now that I know a school was to go in there. It makes me even more angry at Delwests greed. Please don't allow them to build there It is stupid that we have half million dollars homes on one side and beautiful Sherrelwood. We are hardworking people deserving a beautiful neighborhood. Hoping you are a good man. Thankyou Debra Green 1680 Pecos Way

From: [Debra Green](#)
To: [Alan Sielaff](#)
Cc: dougdebgreen@aol.com
Subject: 8000 Pecos Denver CO
Date: Monday, December 7, 2020 2:14:31 PM

Please be cautious: This email was sent from outside Adams County

Dear Mr Sielaff I am writing to you to oppose Delwest moving in to make Townhomes in the middle of our wonderful neighborhood. It seems these people are so greedy they only want to make another dime off of our backs Sherrelwood is a hard working people loving our homes I would like the school to go in. And let them take their greed somewhere else Thankyou for your time Debra Green 1680 Pecos Way

Public Comment - Greer

GREER
1701 STREET
ELWOOD, CO. 80221

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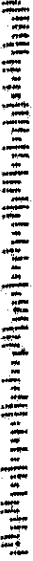


80601



1023

ADAMS COUNTY
COMMUNITY & ECONOMIC DEVELOPMENT
DEPARTMENT, c/o ALAN SIEGAF
4434 SOUTH ADAMS COUNTY PKWY
SUITE W2000PA
BRIGHTON, CO. 80601-82160



80601-821601

In regard to: Sherrelwood Village Filing Number 2 (PRC2020-00010 & PLT2020-00015)

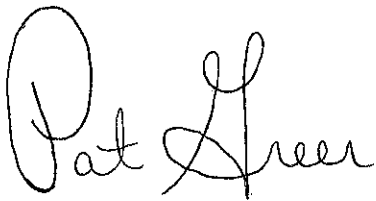
To whom it may concern,

I have been a Sherrelwood resident for over 50 years. I live with my two grandsons down the street from 8000 north Pecos. My husband and I bought an original brick house on Zuni Street when we first got married. Our real estate agent had to make sure we were legally informed that there was a hazardous waste dumping ground underneath Sherrelwood park as part of the BFI landfill that used to operate nearby and had to accept the health risks of living within the proximity. Before there were housing units surrounding Sherrelwood park, you could see the distortion in the air from the gasses and fumes coming out of the ground when the sun was just right. I suppose that's why our soil is of such a poor quality and our neighborhood has a particular odor sometimes still to this day. The park and the round building were installed there for a purpose. They're meant to serve as a protective measure from anyone unearthing extremely toxic materials just below it's surface. It could present a very serious environmental issue if not properly disposed of using extreme caution. What is the plan to mitigate the health risk to the surrounding neighborhood? Due to my age, I'm considered an at-risk resident as are both of my severely asthmatic grandchildren.

I appreciate the opportunity to speak on the public commentary. Please consider the health of all of your residents when making decisions on this case filing; there are many other elderly homeowners within the vicinity of this intended project.

Sincerely,

an otherwise happy neighbor,

A handwritten signature in cursive script that reads "Pat Greer". The signature is written in black ink and is positioned above the printed name.

Pat Greer



Old Landfill Sites

Many properties used historically for solid waste disposal were not well documented. As a result, each year redevelopment and construction projects across Colorado unexpectedly encounter landfill waste. What should project managers do when this happens?

Applicability

In this context, "landfilled waste" does not mean scattered surface litter like that found on any vacant lot, but instead refers to pockets or larger masses of debris or waste fill, with or without surface expression, that can indicate the area was used historically for landfilling. Although this guidance focuses on considerations that come into play when disturbing undocumented historic landfills, it's important for the sake of completeness to point out that similar requirements apply to disturbing landfill waste at permitted or recently closed landfills.

Immediate Steps

The most important thing to remember is to stop project work upon discovery of landfilled waste and re-evaluate how to move forward. Digging through landfilled material involves increased risks to human health and the environment above and beyond what is involved with a normal dirt work project. Unless planning to account for the presence of these materials was done up front, there are likely to be risks for which project personnel are not prepared. Employing the services of an environmental professional is recommended and may be required. At a minimum, whenever landfilled material is encountered, the regulatory requirements listed below must be implemented.

Conversely, if the project included a thorough site assessment during the planning stages, it is possible that a materials management plan was developed prior to beginning the project, including procedures for handling landfill waste if encountered. Contact your company's environmental compliance officer and/or safety manager immediately. You may be required to notify us or develop plans and procedures that we need to approve prior to proceeding with work.

Regulatory Requirements

Asbestos: Section 5.5 of the *Regulations Pertaining to Solid Waste Sites and Facilities* (6 CCR 1007-2 Part 1, the regulations), lists certain actions required of any person who disturbs buried debris. First, you must characterize the debris to determine if it contains regulated asbestos contaminated soil (RACS). Visual inspection to make this determination can be done by a qualified project monitor or a certified asbestos building inspector (CABI), depending on the materials present. Sampling for definitive confirmation of asbestos materials can only be performed by a certified asbestos building inspector. If regulated asbestos contaminated soil is found to be present, we must be notified and you will have to use engineering controls during the disturbance activities to protect human health and the environment, either under a site-specific plan or an off-the-shelf plan available in Section 5.5.7.

Other Solid Waste: For the most part, the regulations do not apply to waste generators as long as the newly generated waste is properly disposed of at a permitted landfill. On the

other hand, improper disposal (e.g., at an unpermitted solid waste disposal site and facility) would trigger all of the present day regulatory requirements. Ensuring proper disposal requires you to characterize the waste to make sure it is not hazardous or subject to other waste disposal prohibitions that would limit which disposal facilities are able to accept the waste. Examples include batteries, electronic waste, auto bodies, tires, medical waste, buried drums, pesticide containers, and impacted soil associated with the above. You should check with potential receiving landfills to make sure that you meet their waste acceptance requirements before deciding which landfill you will use.

Impact to Engineered Features: Section 3.6 of the regulations requires the owner or operator (which can be the same as, or different than, the entity conducting the disturbance) to seek the approval of our Solid Waste Permitting Unit prior to disturbing the cover of a closed landfill. In order to approve the disturbance, we will be looking for: 1) a materials management plan with procedures to cover regulated asbestos contaminated soil and other solid waste; 2) a plan for rebuilding the landfill cover if waste will remain in place (how extensive the plan needs to be depends on the extent of disturbance and the specifications in the original landfill cover design); and 3) financial assurance to cover the cost of rebuilding the landfill and conducting some limited post closure care to ensure the rebuilt and revegetated cover is stable.

Other Considerations

Worker Health and Safety: Although regulated by the Occupational Safety and Health Administration (OSHA), not us, it is important to recognize that there are hazards associated with historic landfills which pose risks to workers, including the previously mentioned asbestos, other special wastes and methane. These worker risks would be addressed separately in your Health and Safety Plan.

Future Land Use: Construction on or near buried waste requires attention to methane mitigation, geotechnical stability and potential indoor air issues associated with groundwater contamination. Most of these sites, even if they closed under a regulatory framework appropriate for the time when closure occurred, were not evaluated for potential indoor air issues. You should work with us to develop plans for safely addressing these issues.

Contacts

Solid Waste Permitting Unit: We divide responsibility among staff members according to county assignments. To obtain the phone number of the solid waste permitter having responsibility for your area, please refer to our website at www.colorado.gov/cdphe/swpermitting.

Section 5.5 involving regulated asbestos contaminated soil (RACS) management: Please contact Brian Long at 303-691-4033 or briant.long@state.co.us.

Voluntary Cleanup Program: For sites that predated the Solid Waste Act (1967) and adoption of its implementing regulations (1968), you may choose to work with the Voluntary Cleanup and Redevelopment Program. Their contact information can be obtained on our website at www.colorado.gov/cdphe/voluntary-cleanup-contacts.

For more information

Colorado Department of Public Health and Environment
Hazardous Materials and Waste Management Division
4300 Cherry Creek Drive South
Denver, Colorado 80246-1530

Customer Technical Assistance
303-692-3320
www.colorado.gov/cdphe/hm
comments.hmwmnd@state.co.us



26 June 2020

Adams County Planning
Request for Comments
Case Sherrelwood Village Filing No 2
Project Number PRC2020-00010

We are opposed to the PUD development proposed at 8000 Pecos Street.

We do not trust this developer, as this neighborhood was promised things that they did not do. One is the park that they promised both the Clear Lake new houses and the new houses at Roush School property or what they are calling the Elmwood project on Pecos St. The open field at Clear Lake is now a field of tall weeds. And there is no playground. The 45 houses on Pecos have a picnic table. And this developer wants the neighborhood recreation to build their kids a park at the existing Scherrelwood Park that was built out by Highland Hills. Our Community did not just continue a bond for Highland Hills to build a park for a well off developer.

The Delwest holding pond at the Clear Lake project is normally full with the overflow drainage going down a residential street. The neighborhood residents have been upset about it.

The holding pond at the Pecos project was snuck into the last amendment of the PUD to the County and it was placed onto the back side of the dam at the Highland Hills recreation area. The staff at Highland Hills had to identify the holding pond on their property and then Delwest had to pay Highland Hills to keep it there. The original plan was to have the holding pond on the SE corner of their PUD. (This was the plan that they showed the Community). Now they were able to build out 2-3 more houses, which gave them an extreme profit. Our neighborhood is tired of giving advantages to this builder.

We are opposed to this project for other reasons as well.

1. TRAFFIC ON AND AROUND PECOS ST

Traffic on Pecos St is at its maximum capacity. Four lanes running full all day. We have 14 traffic lights from 60th Ave to 80th Ave, none of which have been synced so you have cars backed up between lights blocking all the side traffic.

At the time that Delwest was planning to build out their original plan, 250 people at Clear Lake school opposed the plan. However Adams County chose to allow this to happen on both build-outs. One concern to everyone was the additional traffic at Elmwood Lane and Pecos St and to the entire community based on only one big grocery store in the whole of Southwest Adams County, located at 84th and Pecos. The other concern was the lack of parking planned in both projects. And now we don't see that in the new project either.

2. NO NEED FOR MORE HOUSING

With this project we will have 48 more high density units that are not needed. This neighborhood was never built in the 1950's and 60's for apartments, condos or townhomes. It was a nice one-family residential community. I grew up at 7849 Pecos.

We have all the new build outs and planned housing within 2 miles. Within the last 3 years we have 55 new homes built by this builder at 77th and Pecos at Elmwood Lane. Then Delwest is currently building 45 new homes at 7800 Pecos. A part of this proposed PUD.

Across the street at 79th and Pecos is an apartment complex with at least 25 units.

Midtown at 66th and Pecos has built hundreds of single family homes, townhomes, and apartments and now are requesting with PRC 2020-00008, Midtown at Clear Creek Filing for 147 new townhomes and a 20 acre park.

A new 4 story high rise building of condos are just being finished at 85th and Pecos consisting of 43 units. Roth Park. Surrounding those units is at least 100 other apartments.

Less than 4 blocks away just on 84th is another multi-unit housing currently being completed is Aspen Meadows. It has 48 units in 3 story buildings. Then just in the same location surrounding this development is Tuscan Heights, with at least 75 apartments.

Another apartment complex is on 84th just 4 blocks away is the Lodge on 84th with at least 75 apartments.

Less than a mile away at 7401 Broadway, Adams County conveyed the property to Unison Housing Partners . They are starting construction on re-designing the existing building into 44 affordable housing units, and then they are building 4 new buildings consisting of 72 units of new construction. For more affordable housing for our Community.

An interesting comment on Unison Housing's County proposal is:

"As proposed there are 181 parking spaces. One space per one bedroom unit, 1.5 per 2 bedroom and 2 spaces for a 3 bedroom unit and 25% more for guest parking." Which makes me wonder how Delwest ever gets away without providing adequate parking spaces.

The other comment in Unison's proposal is that they are offering in their project a shared courtyard with children's play areas, BBQ/picnic areas, raised bed gardens, and benches.

Less than 3 miles away at 6200 Federal is the “planned” Clear Creek Transit Village. It is mixed use dwelling units comprising 1125 units. Housing to be determined, but planning over 9 blocks and up to 7 stories high.

Less than 2 miles away is the Westminster planned community at the Pillar of Fire land for 3200-3800 new housing units.

3. AFFORDABLE HOUSING

Our neighbors can not afford these current houses at \$455,000 and \$489,000. When this current Delwest project was approved their housing was advertised on a very large bill board that the houses would be in the \$250,000's. You see why we don't trust this builder?

We now have not been told how much we can expect the “workforce” focused priced housing solution will be based on what they think is affordable housing for this Community at \$455,000.

One of my biggest concerns in this Community is that with the latest downturn in the economy; we will be seeing plenty of foreclosures and over building of housing. Our neighborhood would not be opposed, if Delwest wants to follow all the regulations for building R-1C, on this property.

We are not the only family opposed to this Development.

Roger and Pat Hall
8121 Albert Ct
halpat867@gmail.com
303-428-6189

11 November 2020

Adams County Planning
Request for Comments
Case Sherrelwood Village Filing No 2
Project Number PRC2020-00010

We are still opposed to the PUD zoning change proposed at 8000 Pecos Street.

After review of the input from Delwest to the Sherrelwood Village Plan we have the following comments.

1. In Craig's response he continually states that he is offering us a lower "workforce focused pricing" and that prices in Greater Metro Denver are \$600,000 and he will give us cheaper housing at less than \$400,000 or "market rate". Does he not know that we are Unicorporated Adams County?? That is why Perl Mack and others offered real affordable housing back in the 1950s and 60s for Family's. We know a Single Mom who makes \$14 per hour. Do you suppose she can afford one of these townhomes? Or how about all those people we know who have been on unemployment since March. We also know a formerly homeless lady who had to ask me for \$2.00 so she could have a telephone interview with her Doctor.

Craig says there is a shortage of housing in the Greater Metro Denver, but I am sure he hasn't taken into consideration the housing that he and other builders are currently adding to his perceived shortage.

Craig says that he can "open opportunities for a massive supply of residents who have no where to go." SO.....

WE NEED LOW INCOME HOUSING AND IF THIS SHOULD GET APPROVED, WE THINK THERE SHOULD BE AT LEAST 10 UNITS RESERVED FOR LOW INCOME PEOPLE WHO NEED HOUSING.

2. TRAFFIC Craig responds to people who mentioned that traffic is a “disaster” that he has a traffic letter. The study that was done used a National Standard to identify 780 trips per day from this PUD. Now add that to the existing traffic on Pecos and you have probably 10 times that in volume.

One thing that adds to the traffic is the new Fire Station on 70th and Pecos with emergency vehicles needing to use this same street.

(I have a call in to Adams County to get the actual daily traffic volume on Pecos, however the Public works person has not called me back. Last summer they said there was a fairly recent traffic count and that it had not been published yet.)

3. Craig claims that his 45 houses and 47 townhomes will have a negligible increase in population. What are we talking about, 250 individuals or 90 more Families using the park? Or adding to emergency services etc etc. More kids who need more teachers?

P.S. I am still opposed to Delwest calling this a blighted community, and feel that there is no need for new townhomes on Pecos Street.

Roger and Pat Hall
8121 Albert Ct
halpat867@gmail.com
303-428-6189

5 February 2021

Adams County Planning
Case Sherrelwood Village Filing Number 2
Project Number PRC2020-00010

The Community regrets not being able to address this request to re-zone in person. (250 people opposed Delwest's proposed PUD,s in this Neighborhood in 2015).

Unincorporated Adams County does not need to re-zone 8000 Pecos St to high density town homes.

1. HUNDREDS of Units of Housing are being built at this time in this Neighborhood.

MidTown at 68th and Pecos are building 72 new town homes priced between 450 and 500 thousand plus. And an additional 147 town homes are currently planned in there PUD. Over the last few years MidTown has built 1600 new residential units. (See photo)

43 condos just finished at 84th and Pecos Roth Park and at least 100 older units. Aspen Meadows 48 new units. 116 new units of affordable housing at 74th and Broadway. 1125 units proposed at the Clear Creek Transit Village. 215 new units in 7 buildings on Federal. And 3200-3800 new housing units at 84th and Federal. Housing needs in metro area are slowing per the Denver Post, and how about all the possible foreclosures due to the pandemic.

2. PECOS STREET and this neighborhood does not need any additional traffic.

TRAFFIC SIGNALS. Between 60th and 84th along Pecos is 14 traffic signals. Some 2 blocks apart.

PEDESTRIAN CROSSINGS. All students living on the East side of Pecos in the 82nd area and attending Ranum middle school must walk across Pecos. All High School students living on the West side in the 82nd area and riding the bus must cross Pecos. All pedestrians staying at the Valley High Motel at 74th must cross Pecos to get to food on the West side.

DELWEST NEW HOUSING. 100 new houses have recently been built by Delwest on or near Pecos. Delwest traffic information says they would add 780 trips per day just from the Pecos PUD.

The latest traffic count in 2012 on Pecos shows between 29,000 and 35,000 cars per day. Then add to this all the new construction and Sheriffs Department traffic and all the new emergency fire and ambulance traffic from the 70th and Pecos Fire house just opened 2 years ago. Then add all the traffic in on and off ramps at Highway 36.

3. EXTREME DROUGHT. Westminster, Northglenn and Thornton January 14, 2021 say that they are planning to deal with the lack of water this year. Thornton water permits may be limited and in the Thornton water plan they may stop all lawn watering or limit domestic watering and planning to increase rates. This drastically affects all our Neighbors on Thornton Water. So we don't need to add 45 new households for water use.

Delwest stated in the Neighborhood meeting dated July 22, 2015, that they were "interested in building Single Family Homes on this property to compliment the homes that are currently in the neighborhood". And in the County Framework Plan that the PUD referenced, they told the County that their "PUD would enhance the Quality of the existing Residential neighborhood".

R-1C is appropriate for these 2 properties.

Open space would be nice, as was promised by Delwest in there Roush Elementary PUD proposal to the County on October 22, 2015. They proposed 40% open space, roughly 3.3 acres of the site. Currently they have a picnic table for 45 houses.

ALL 7 FAMILIES ON ALBERT COURT OPPOSE THIS RE-ZONING.

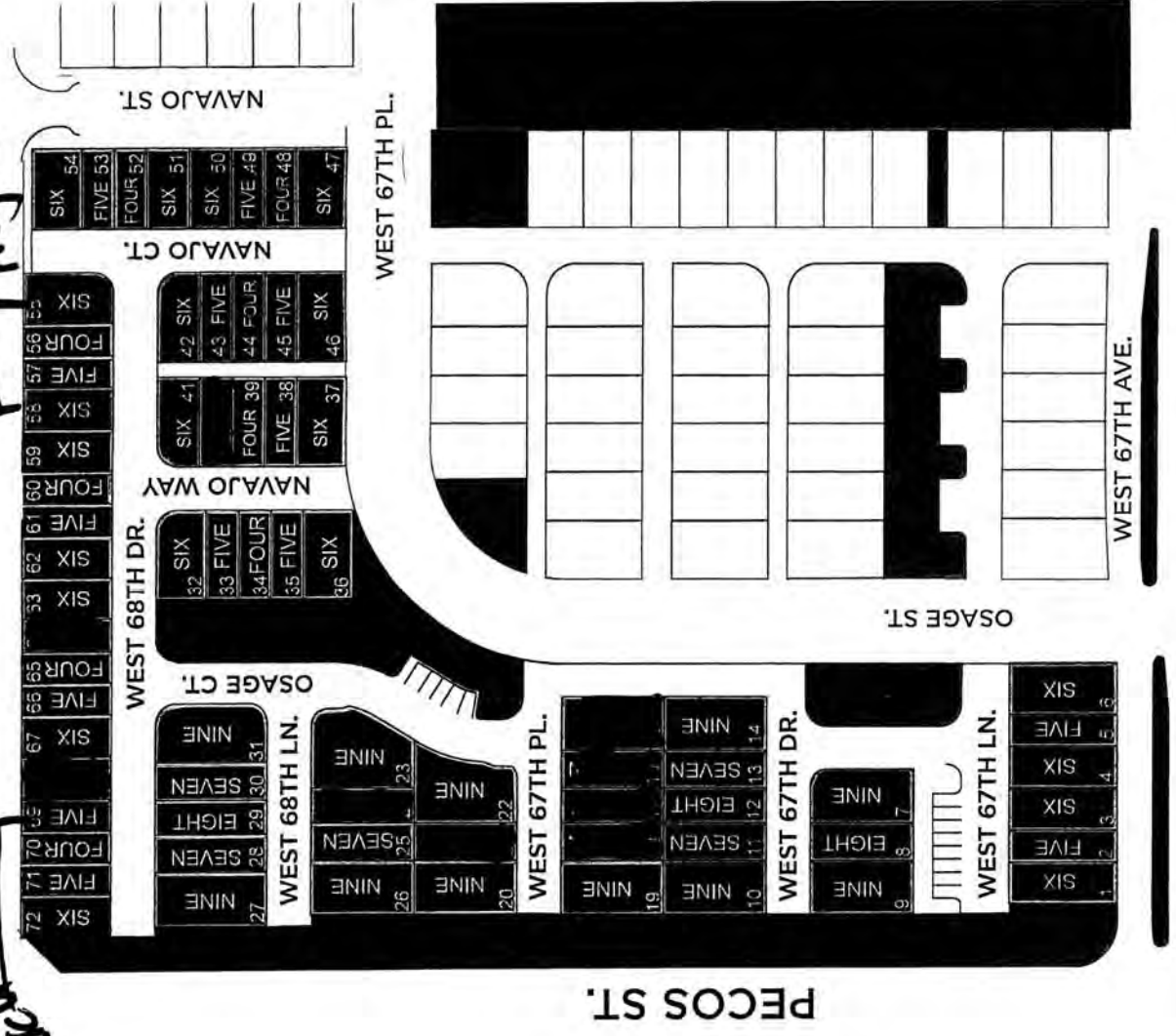
Please give us your sincere consideration.

Roger and Pat Hall
8121 Albert Ct
Denver CO 80221

MIDTOWN Fil. 11

COLLECTED FEES HERE

March *August*



- TOWNHOME LOTS
- MODELS
- SOLD
- CLOSED
- NEW STAR LOTS

Brookfield Residential

Artists rendering subject to change without notice. 01/25/21





From: [Jen Rutter](#)
To: [Alan Sielaff](#)
Subject: FW: Delwest proposed zoning change at 79th and 89th on Pecos
Date: Thursday, August 27, 2020 6:30:43 AM

Please add this comment to the case file for Sherellwood.

Jen Rutter

Development Services Manager, *Community & Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

o: 720.523.6841 | jrutter@adcogov.org

www.adcogov.org

From: Jill Jennings Golich <JJenningsGolich@adcogov.org>
Sent: Wednesday, August 26, 2020 7:25 PM
To: Jen Rutter <JRutter@adcogov.org>
Subject: Fwd: Delwest proposed zoning change at 79th and 89th on Pecos

Hi Jen. Please provide this to the case manager. Thanks.

Get [Outlook for iOS](#)

From: Steve O'Dorisio <SODorisio@adcogov.org>
Sent: Wednesday, August 26, 2020 7:24:11 PM
To: Ray Gonzales <RGonzales@adcogov.org>; Jill Jennings Golich <JJenningsGolich@adcogov.org>
Subject: Fwd: Delwest proposed zoning change at 79th and 89th on Pecos

Please add to the record.

From: Robin Wallace <pearlysmom@yahoo.com>
Sent: Wednesday, August 26, 2020, 7:11 PM
To: Steve O'Dorisio; Emma Pinter; Eva Henry; Chaz Tedesco; Mary Hodge
Subject: Delwest proposed zoning change at 79th and 89th on Pecos

Please be cautious: This email was sent from outside Adams County

Hi Steve,

No way! No, No, No! Absolutely not! We do not want a zoning change. All of these new high density housing areas are ruining the feel of the neighborhood. We want/need to know our neighbors and that's already difficult as it is. We don't have enough parking and the stores are already crowded. I moved away from Denver for this very reason.

With more high density housing comes more crime. More people = more crime. It's a simple as that. Denver officials are already in the pockets of developers and have been for a long time. That's

Public Comment - Hannon

another reason I moved away from Denver. The developers want to spread downtown all the way through Adams county. Up until the late 90s, they were big, beautiful open spaces between here and Boulder. Not anymore because developers HAD to put up cookie-cutter houses through it, marring the landscape. Please do not let them start here.

Yes, I'll have to look when public comment will be. I am kind of late to the party on this one. I'm working four 10 to 12 hour shifts, back in school, volunteering for 2 ADCO departments. So like many other people, we really need you to be our voice on this.

Please don't let them do it.

Thanks, Robin Hannon

720-365-5898

Sent from my iPad

From: [Dallis Harvey](#)
To: [Alan Sielaff](#)
Subject: Delete west town homes
Date: Monday, June 29, 2020 5:12:13 PM

Please be cautious: This email was sent from outside Adams County

We sure dont need to add to the terrible traffic on pacos, there is little need to keep adding to the problem, we need open spaces we've lost from midtown development, parks with dog access is what we need

[Sent from Yahoo Mail on Android](#)

From: [zach 9891](#)
To: [Alan Sielaff](#)
Subject: PRC2020-00010 Sherrelwood Village Filing No. 2
Date: Thursday, June 25, 2020 8:10:26 PM

Please be cautious: This email was sent from outside Adams County

To whom it may concern,

I am a longtime resident of federal heights and was born up the street at the former Saint Anthony north hospital on 84th Avenue in 1989. The building that is to be demolished to make way for the proposed plan would certainly be devastating to the culture and meaningful landmarks of my hometown. Like many in the area I grew up seeing the structure and I vividly remember being in awe of the masterpiece someone else had created. It has inspired so many minds to think differently, and appreciate things that aren't necessarily the "norm." I know seeing this building gives me that feeling of innocence and thinking I could do anything. Please, please, do not allow the former pre-school building to be demolished. Give the community an opportunity to utilize it as cultural center, a library or something to educate the neighborhood of how this area has come to be what it is. Please don't let this happen.

Sincerely a heartfelt citizen,
Zachary Huske
Zach1989h@gmail.com

From: [Alan Sielaff](#)
To: jflycreek@yahoo.com
Subject: Comment received for case # PRC2020-00010
Date: Thursday, June 18, 2020 1:56:00 PM

Ms. Jennie Johannesen,

Hello, I am writing to confirm I have received your voicemail comment on the proposed Sherrelwood Village Filing No. 2 development application. You wished to voice your opposition to the proposal. Your comment will be noted here and included as part of the case materials provided to the Planning Commission and Board of County Commissioners once this case is scheduled for public hearings. New public notices with the date, time, and location of the hearings will be mailed upon scheduling. As this is the applicant's first submittal, there will likely be at least a second submittal required to address staff comments and the opportunity to address public comment. Additionally, because this proposal requires a two-phased review process for both a preliminary and final subdivision plat and Planned Unit Development Amendment, there will be additional opportunities to review and provide comment moving forward.

Thank you for your review and comment. Please let me know if you have questions moving forward.

Alan Sielaff, AICP

Planner II, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

asielaff@adcogov.org | www.adcogov.org

Adams County buildings are now open with a four-day schedule. County buildings will have expanded hours – from 7 a.m. to 5:30 p.m. – on Tuesdays through Fridays to serve residents. Some departments are open by appointment only. [Find modified office hours here.](#)

From: [jennie.johannesen](#)
To: [Alan Sielaff](#)
Subject: Proposed new development on Pecos
Date: Saturday, July 4, 2020 11:09:30 AM

Please be cautious: This email was sent from outside Adams County

Please let's not build more homes in our area ! We need to keep traffic from getting worse , added pressure on already stressed infrastructure, and just plain unpractical development from our neighborhood.

Best Regards
Jennie Johannesen

From: [Kathy Lopez](#)
To: [Alan Sielaff](#)
Subject: Building new town homes
Date: Sunday, June 28, 2020 9:31:45 PM

Please be cautious: This email was sent from outside Adams County

We have lived in the area of 80th Pecos for sometime and dreadfully regret all the townhomes being built like crazy. Pretty soon it will be raising property taxes beyond our means, just so to keep up the demands of the wear and tare of our streets because of the high volume of traffic. This was once a nice place to live before all this development. It is only ruining a peaceful place to live and raise our children. Surely not appreciated!

Sent from my iPad

From: [Liz Mancha](#)
To: [Alan Sielaff](#)
Subject: Have you talked to the people who actually own the new homes put in by delwest?
Date: Monday, November 9, 2020 5:35:32 PM

Please be cautious: This email was sent from outside Adams County

Re: public comment for Delwest development sherrelwood village number #2

I own a new home put in by Delwest on Osage street and I want to let you know that they are complete and total crap!! We've had terrible foundation issues since day one and Delwest has been radio silent to our attempted communication with them other than saying to not get the county involved, that they'll take care of it themselves. Well we are waiting! They talk nice to get you to allow them into the neighborhood and then go ice cold when there's a problem they are responsible for. After you've given them your money of course. A family next to me is in the process of pursuing legal action against this shady developer for similar issues resulting in an injury to a member of their home.

Please DO NOT allow Delwest to continue to build homes here!!!!

The Mancha Family

From: [Steve Navarre](#)
To: [Alan Sielaff](#); [Steve O'Dorisio](#)
Subject: Rezoning 7996 and 8000 Pecos Street
Date: Wednesday, September 2, 2020 8:46:03 AM

Please be cautious: This email was sent from outside Adams County

Dear, Sirs.

Via our Nextdoor group for Sherrelwood it has been brought to our attention that there's a proposal for 45 new townhomes to be built on just two lots. There's already a new housing development on the old elementary school grounds to the south, crowding this area. The traffic on Pecos is already very heavy too. It's difficult to understand how the infrastructure of this neighborhood can sustain more growth. Also, the crime level in our new has grown more and more especially in the neighborhoods across the street from Pecos as we read on Nextdoor everyday. It was never like this. While the Adams County Sheriff does an admirable job, it's obvious they are overwhelmed as it is.

I have been a resident of this neighborhood for 25 years and wish to relay my opposition to this proposal. How about adding on to the adjacent Sherrelwood Park instead?

Regards,
Steve Navarre
8071 Greenwood Ct
Denver, CO 80221

Best, Steve

From: [Jen Rutter](#)
To: [Alan Sielaff](#)
Subject: FW: New Development
Date: Thursday, August 27, 2020 6:30:37 AM

Please add this comment to the case file for Sherellwood.

Jen Rutter

Development Services Manager, *Community & Economic Development*
ADAMS COUNTY, COLORADO
4430 South Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601
o: 720.523.6841 | jrutter@adcogov.org
www.adcogov.org

From: Jill Jennings Golich <JJenningsGolich@adcogov.org>
Sent: Wednesday, August 26, 2020 7:31 PM
To: Jen Rutter <JRutter@adcogov.org>
Subject: Fwd: New Development

Please forward.
Jill

Get [Outlook for iOS](#)

From: Steve O'Doriso <SOdoriso@adcogov.org>
Sent: Wednesday, August 26, 2020 7:29:54 PM
To: Jill Jennings Golich <JJenningsGolich@adcogov.org>; Ray Gonzales <RGonzales@adcogov.org>
Subject: New Development

Please add to the record.

Please, if you do not think having urban density housing in this suburban neighborhood is a good idea, say something. Otherwise, it will be decided for you by Delwest, whose representatives are fond of repeating, "We are your neighbors." They are NOT our neighbors, but they have no qualms about giving us an unsustainable number of new neighbors and then moving on to destroy the next bit of open space in our county as they pocket millions of dollars by exploiting US.

Posted in **General** to 36 neighborhoods





Sherry Liberato · 92nd and Grove



Not near enough parking. Cities are investigating allowing an increase for number of unrelated people living in a dwelling unit but limiting parking? That makes no sense.

1 hr ago

Like

Reply



Clarissa Burklund · Briarwood



I have emailed him my thoughts on why this should not happen! Can we start an online petition or something too?

1 hr ago

Like

Reply



Proposed zoning changes for 7996 and 8000

Pecos Street. I want to thank the neighbors who attended the virtual meeting with Delwest yesterday evening to discuss the proposed changes to zoning for 7996 and 8000 Pecos Street. These properties that include the domed building that formally housed the Children's Outreach Center are currently zoned to allow single family dwellings. Delwest wants to change that zoning to allow high density population and will, if this zoning change is approved, build 45 townhomes on those two lots. That will significantly increase the number of people and cars in that area, impacting traffic on Pecos St. which is already quite congested. They

are allowing two parking spaces per dwelling with an additional spot for every two townhouses for visitor parking. This does not seem to be enough parking for the amount of people who will be living there and may exacerbate parking problems in the nearby neighborhood streets. Sherrelwood, is this what you want? If not, please consider letting your Adams County Commissioner for District 4 know that you do not favor a zoning change here. Many of us have sent emails to Alan Sielaff of the Economic and Development Department who sends them to Delwest and Delwest, in my opinion, dismisses these complaints. Your Adams County Commissioner is Steve O'Dorisio who can be reached at sodorisio@adcogov.org.



From: [Esther Pacheco](#)
To: [Alan Sielaff](#)
Subject: Townhouses on Pecos
Date: Wednesday, July 15, 2020 1:53:51 AM

Please be cautious: This email was sent from outside Adams County

We completely object to anymore projects on Pecos Street. There is so much congestion in this area already! We reside in this area and am not happy with the projects that have been built here. Pecos Street right now has alot of congestion and it is getting worse. Conifer Blvd is starting to get congested as well due to the new schools being built! It's driving us crazy trying to fight the traffic that's building up here.

Secondly, we are not fond of Delwest Company projects. They don't complete what they promise. They are truly professional liars!! We do not need more housing in this area! What we might want is nice restaurants or small businesses for the general area but not on Pecos Street! That area on Pecos Street (east side) between I-36 and 72nd could use some cleaning though.

As for the new housing to be built on Federal and 84th Street, we were against that project but it went through anyway. Congestion again! Please take our feelings into consideration because we live in this area, you probably don't....we don't know! When we moved here in '69 it was all open space and we thought the area was pretty great!!. We are still in awe when we see the mountains on 84th and Federal and the open land on that site. It's discomfoting to see homes being built there. We can't do anything about it but we are just letting you all know our feelings on any new projects in this area where we reside. Enough is enough!!

John and Esther Pacheco

From: [Elizabeth Parker/Segler](#)
To: [Alan Sielaff](#)
Subject: Opposed to new townhomes
Date: Tuesday, June 30, 2020 10:31:30 AM

Please be cautious: This email was sent from outside Adams County

This is my email to express my opposition to the proposed construction of new townhomes in the Sherrelwood stew. Elm wood and Pecos. Nothing but problems here now. Thank you. Elizabeth Parker. 8330 Louise Drive , Denver Co. 80221. 720-651-1659.
Sent from my iPhone

Emily Peter
1641 Sherrelwood Drive
Denver, CO 80221
303-428-2034
goemily@comcast.net

Community and Economic Development Department
4430 South Adams County Parkway Suite W200A
Brighton CO 80501-8216

June 23, 2020

RE: Construction of 48 townhomes on 2.2 acres adjacent and north of Sherrelwood Village development.

I am writing to let you know I am strongly opposed to the development noted above for the following reasons.

1. Pecos Street traffic is at maximum capacity. During rush hour the traffic is backed up from Highway 76 beyond 84th Avenue.
2. The newly added home development at about 78th and Pecos will additionally increase traffic. The absorption of this traffic will create "grid lock" conditions on Pecos Street.
3. The neighborhood density has increased due to development of the areas previously occupied by Clear Lake Middle School and Roush Elementary. The increased density negatively impacts property values and the sense of community for current homeowners.

The 2.2 acres could be open space for the community. Added to the current Sherrelwood Park, which is adjacent to the 2.2 acres, would be a compatible addition enriching the neighborhood by encouraging outdoor activities and cultivating a greater sense of community.

Considering the needs of the community rather than the profits for developers is a priority for the people of Adams County.

Please show compassion for the people of Adams County.

Sincerely,

Emily Peter

From: [Elizabeth Pfalmer](#)
To: [Alan Sielaff](#)
Cc: [Steve O'Dorisio](#)
Subject: Opposed to proposed Delwest development on Pecos street
Date: Friday, June 26, 2020 4:34:22 PM

Please be cautious: This email was sent from outside Adams County

Hello,

I live 3 houses south of the development on Elmwood Lane.

1. My gutter runs multiple times a day from water pumped out of the retaining pond at Elmwood/Shoshone into the street gutter. It is eroding the cement in the gutter. The retaining pond always has water which results mosquito. According to the Storm Drain person in Adams County the pond can not have water beyond 72 hours following precipitation. It always has water regardless of precipitation. Though I am not an engineer it isn't a stretch to predict basement flooding downhill (south) from Elmwood since exterior watering in the development has already created the drainage issues. (Every single property had water runoff into the street for no fewer than 3 days after all the snow had melted.) It is a failed design. Who approved that development plan? Pray tell that it's not the same people considering the proposed development!

2. There has been a significant increase in traffic on Elmwood and on my street. The Sheriff Dept. has not been effective in curbing the dangerously excessive speed of many cars in the area and on my street. I have had 3 near miss accidents since January from cars racing down my street. (For context related to relevance, I am home sheltered and have left my property fewer than 10 times since February.) Posting 25 miles an hour speed limit signs had zero impact. Street racing at night has reached an untenable level on 84th, Greenwood and Hwy 36. I hear excessive noise from street racing in the afore mentioned areas. Late night racing on Elmwood has risen. More housing means more vehicles which will increase this problem. The Sheriff's Department can't keep up with the illicit activity aside from traffic.

3. Delwest has not honored its commitment to make park improvements adjacent to the Clear Lake site nor the former Roush Elementary site.

4. The increased traffic congestion Resulting from additional and high density housing between Elmwood Lane and 85th on Pecos street will further pressure the community in volume and unrestrained speeding.

5. It is my understanding that the county approved the new construction on Elmwood Lane and on the former Roush Elementary site without having storm drainage capacity. Please explain considering more construction when no drainage system exists? Who approved the sight development plan for drainage?

6. Suggestions that increasing affordable housing is reason to approve additional housing is false. The price range of the Elmwood Lane site and the Pecos street site homes is in most cases \$100,000 plus greater than existing homes in Sherrelwood.

Increasing property tax revenue must be a nearly irresistible temptation during the current budgetary crisis the county is experiencing. Will that revenue pay for storm drain expansion, street repair needed (as evidenced on streets near the Elmwood site), increased Sheriff Deputies to manage safety and traffic, and all other community service needs from the increase in population in Sherrelwood? Please provide the data used to extrapolate the predicted costs for providing these services and the anticipated tax revenue that will offset these costs. Please include the county's plan for meeting these needs.

Short sightedness for appraising community impact prevailed in approving the 2 DelWest development sites. Do not compound the negative results of past mistakes with approval of further expansion! Regardless of the price of housing in these developments Sherrelwood community is in progressive decline now. More housing units without sufficient infrastructure is absolutely not better and certainly will not garner support. Sherrelwood residents recently

Public Comment - Pfalmer

approved a tax increase and extension to support community services. Consider how many more mistakes in planning the community will forgive at election time.

Hear this clearly: no more development UNTIL community services and infrastructure catch up. If the chase for tax revenue exceeds rational planning then support for elected officials will plummet. I will work hard to assure it.

Sincerely,
Beth Pfalmer

Beth Sent from my iPhone

From: [Jen Rutter](#)
To: [Alan Sielaff](#)
Subject: FW: Townhouses
Date: Thursday, August 27, 2020 6:30:37 AM

Please add this comment to the case file for Sherellwood.

Jen Rutter

Development Services Manager, *Community & Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

o: 720.523.6841 | jrutter@adcogov.org

www.adcogov.org

From: Jill Jennings Golich <JJenningsGolich@adcogov.org>

Sent: Wednesday, August 26, 2020 7:29 PM

To: Jen Rutter <JRutter@adcogov.org>

Subject: Fwd: Townhouses

Please forward to the case manager. I assume it's the same case as the last email, but don't know.
Thanks.

Get [Outlook for iOS](#)

From: Steve O'Doriso <SODoriso@adcogov.org>

Sent: Wednesday, August 26, 2020 7:28:24 PM

To: Ray Gonzales <RGonzales@adcogov.org>; Jill Jennings Golich <JJenningsGolich@adcogov.org>

Subject: Fwd: Townhouses

Please add to the record.

From: Sharon Ramirez-Jiminez <sharonjiminez1302@yahoo.com>

Sent: Wednesday, August 26, 2020, 3:36 PM

To: Steve O'Doriso

Subject: Townhouses

Please be cautious: This email was sent from outside Adams County

We do not need any more townhouses in this area. There are plenty of vacancy and this will over crowd our neighborhood. Homeowners tend to take more pride in their neighborhood also.

[Sent from Yahoo Mail on Android](#)

From: [Sierra Sanchez](#)
To: [Alan Sielaff](#)
Subject: We need the Children's Outreach!
Date: Wednesday, November 11, 2020 1:24:20 PM

Please be cautious: This email was sent from outside Adams County

Adams County,

I am a single mother of three and it's very hard to make a living as it is in Federal Heights. My kids are falling behind education and need alternative stimulus. My kids' teacher said that there were going to be programs offered for students falling behind at the Children's Outreach starting in 2021 but it's looking like that's not going to happen. My elementary school aged children don't need a \$500 thousand dollar house. They need food education and recreation programs. We need an inclusive safe space for ALL people! The new homes are too expensive for anyone to afford and will slowly but surely force us out.

Thanks you,

Sierra Sanchez
1777 w 79th way

From: [Jen Rutter](#)
To: [Sierra Sanchez](#)
Cc: [Alan Sielaff](#)
Subject: RE: Comment for Sherrelwood Village #2
Date: Thursday, February 11, 2021 9:03:58 AM

Good morning, Sierra,

I am not on the Planning Commission, but would you like your comments relayed to them? Would you like to be added to the list for public comment at tonight's public hearing?

Thank you,
Jen

Jen Rutter

Development Services Manager, *Community & Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

o: 720.523.6841 | jrutter@adcogov.org

www.adcogov.org

County operating hours: Tuesday through Friday, 7 a.m. to 5:30 p.m.

For information related to the County's response and recovery related to COVID-19: [Find community resources and updates here.](#)

From: Sierra Sanchez <sanchiebaby12@yahoo.com>

Sent: Thursday, February 11, 2021 1:19 AM

To: Jen Rutter <JRutter@adcogov.org>

Subject: Comment for Sherrelwood Village #2

Please be cautious: This email was sent from outside Adams County

On Delwest's website, it boasts that Craig Fitchett "spearheaded a partnership between Delwest and the Westminster Public School District." Indeed he did! Craig incentivized the board of education members within the WPS to coax into existence a partnership between themselves and Delwest Development Corp. Members don't receive compensation for their service on the board, so persuading them was relatively easy to do.

This agreement states that the real estate developer gets the first opportunity to purchase and redevelop ANY of their school buildings which go vacant, or (get this!) become under-performing! They literally have no contenders. That's why no one else was able to buy the rounded property on 8000 N Pecos once Delwest set their profit-seeking eyes upon it.

You know what this means? This isn't the end of their developments in our area. Infact, it's just the beginning. They've already knocked down 3 of our schools under this partnership; Baker, Roush, and Clear Lake. Children's Outreach will be number 4. Here's a list of other properties owned by WPS which could also eventually be bulldozed...

Colorado STEM Academy

Crown Pointe Academy of Westminster
F.M. Day Elementary School
Fairview Elementary School
Flynn Elementary School
Harris Park Elementary School
Hidden Lake High School
Hodgkins Elementary School
Mesa Elementary School
Metz Elementary School
Ranum Middle School
Scott Carpenter Middle School
Shaw Heights Middle School
Sherrelwood Elementary School
Skyline Vista Elementary School
Sunset Ridge Elementary School
Tennyson Knolls Elementary School
Westminster Elementary School
Westminster High School

The only one standing in the way of this happening is Adams County and your decision on whether or not to let the sites be rezoned to dense housing, just like what's happening now with this case in question. If this project gets approved despite all of the community pushback to try and prevent it, then I think we need to take a hard look at who is sitting on our Commissioners Board before Delwest saturates our surrounding towns with their hastily constructed half-million dollar homes.

Thank you,

Sierra Sanchez

From: [Marilyn Shea](#)
To: [Alan Sielaff](#)
Subject: Proposed townhouses at 8000 Pecos St.
Date: Saturday, June 27, 2020 8:12:15 AM

Please be cautious: This email was sent from outside Adams County

I am very much opposed to Delwest's plan to build townhouses at 8000 Pecos St.. This area, my neighborhood, has suffered from the many construction projects that have ravaged our open space in recent years. There is not the infrastructure to support this added growth. There is trash on the streets with no one to clean it up. There are people speeding down the residential streets at speeds much faster than the posted 25 MPH limit but no one is patrolling the streets. Cars are blasting through stop signs and stop lights since there is no police presence. I take my life in my hands when I attempt to cross the street at crosswalks because people do not respect the rights of pedestrians. Parking is very intense, with as many as six vehicles parked outside each dwelling. People are parking on the sidewalks, making pedestrian travel quite difficult. Every night, people are setting off illegal fireworks but again, the police are not sufficiently staffed to catch the perpetrators. I worry about there being sufficient water supply to support all those perfect green lawns which are being watered without regard to the watering restrictions of time of day and frequency of watering. They are watering their driveways, b'god, using potable water to rinse leaves off driveways and into the streets. The drains at each intersection are clogged and are full of trash but no one is monitoring this. Please don't add to this already dire situation with more townhouses built by greedy developers who do not have to live here, like I do, with the effects of their greed.

Sincerely,

Marilyn Shea

From: [Marilyn Shea](#)
To: [Alan Sielaff](#)
Subject: Delwest developments in Sherrelwood
Date: Wednesday, August 5, 2020 6:34:01 AM

Please be cautious: This email was sent from outside Adams County

I am writing to you again about my concerns regarding the Delwest developments that have been and are being constructed in my neighborhood. I feel the Adams County government is not holding them to high standards and are not taking into account the impact these developments are having on the current residents of this neighborhood.

The water draining down the gutter at Shoshone Street from Clear Lake Estates is pretty much constant, sometimes very deep and at times looks like sewage. Why was Delwest not required to connect that development to the county drainage system? Why were a total of three (so far) developments not required to provide appropriate drainage for the houses being constructed?

I feel that the county government is quick to approve these Delwest developments without considering their impact on the current residents and does not follow up to see if they make good on their promises regarding storm drainage. A promised date for installing the appropriate drainage is 2025? Unacceptable. Delwest will be long gone, taking their money and running by then, pillaging some other community. In the meanwhile, the residents downhill from Clear Lake will be experiencing flooding of their basements, disintegration of the pavement and a real hazard to pedestrians who must navigate through treacherous slime filled with chemicals which is not underground as it should be, but instead allowed to flow above ground.

Delwest seems to be given carte blanche to build whatever wherever in the so called name of progress. Are we so desperate for tax money that we are willing to destroy existing neighborhoods with the addition of these developments that add to existing traffic congestion and noise and are not being held to basic construction standards such as being required to provide connection to underground stormwater drains?

Also, I wish you would drive by the new construction on Pecos Street called Elmwood Estates and note their very racist signs advertising the sale of these homes. There are two signs depicting a White couple heading toward their new home, carrying a picnic basket (tra la!). The underlying message is pretty clear. " People of color are not welcome here." I am attaching a picture of this sign. On their website, there is also an alternate sign showing a Black family. Why don't they post one of each sign at the development, to show that everyone is welcome?

Thank you for listening.

Marilyn Shea

From: [Steve O'Doriso](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: Fwd: No one is listening.
Date: Wednesday, August 26, 2020 7:32:23 PM

Please add to the record.

From: Marilyn Shea <shea.marilyn@gmail.com>
Sent: Wednesday, August 26, 2020, 2:21 PM
To: Steve O'Doriso
Subject: No one is listening.

Please be cautious: This email was sent from outside Adams County

I attended the virtual meeting with Delwest yesterday evening to discuss the proposed changes to the zoning for the property at 7996 and 8000 Pecos Street in the Sherrelwood neighborhood. I came away with one distinct impression: No one is listening.

Delwest is attempting to change the zoning for these properties from single family dwellings to high density housing, basically introducing urban density into this suburban neighborhood. They want to build 45 townhouses on these two lots, increasing the traffic, noise and congestion already seen to be a problem on Pecos Street and the surrounding area. They are allowing two parking spaces per dwelling with one additional spot for every two houses for visitor parking. If these houses will each be three bedroom structures, we already have insufficient parking allotted here. One of the meeting's moderators hinted at the fact that the next door Sherrelwood Park is "never being used," and the implication was that people from the townhouses could park there. The parking at Sherrelwood Park was not designed to accommodate overflow parking from Delwest developments but this is what will happen. People will also park in the neighboring streets across Pecos Street, exacerbating an already intense parking situation outside of those homes.

Sherrelwood Park is being used. It would be used even more if it had more than the two benches it currently has and more shade or maybe some picnic tables. The success of a park cannot be judged by it being overrun with people at any given moment. As it is, many of us enjoy the serenity of the park that affords views of wildlife like egrets and coyotes. I doubt we will see much wildlife once there are 45 additional households crammed next to it.

I really resented the characterization of our neighborhood as somehow criminal, derelict and bad. The townhouses, as the moderator last night said, would serve as "eyes on the park," meaning, I suppose, that all those people in the townhouses would deter the use of drugs or other illegal activity in the park as though this is a

problem. It is not a problem. The park is beautiful and safe, but once a whole lot of people move in, who knows?

The moderators both denigrated the dome building, currently empty, which once housed the Children's Outreach Center as an ugly and disgusting site that could only be bulldozed. Yes, it has been vandalized, but the building cannot be blamed for this, any more than a homeless person should be blamed for having poor hygiene. Rather, it is a very clear indication that this area does not have sufficient police presence to prevent this kind of activity. Putting in 45 townhouses will not improve this situation. Delwest's characterization of the dome building's worthlessness to us in Sherrelwood is despite hundreds of signatures from Sherrelwood residents on a Change.org petition supporting the preservation and renovation of this unique Sherrelwood structure.

Many of us have sent emails to Alan Sielaff of the county planning department and he has forwarded them to Delwest who are ignoring and dismissing all the concerns of the people who took the time to write about this. After the meeting last evening, I feel we are not being heard.

Delwest said they would throw some kind of party for the neighborhood. Now won't that be fun? This cavalier bread and circuses promise is insulting and ridiculous. It will take more than a weenie roast to make up for all the traffic, congestion and noise we will all be asked to put up with from now on, if this zoning request goes through.

Delwest representatives are fond of repeating, "We are your neighbors." No, Delwest employees are NOT our neighbors but they have no qualms about giving us an unsustainable number of new neighbors and then moving on to destroy the next bit of open space in our county while they pocket millions of dollars by exploiting us.

We have heard that you are a champion of the Sherrelwood neighborhood and have a vision for our future that is positive and sustainable. Most of us here would much rather see some amenities such as a bike path, a recreation center, a closed street shopping mall like Pearl Street in Boulder and all of these within walking distance from our homes to cut down on traffic and increase the beauty and quality of life for those already here. Please consider refurbishing the dome building and have it be something that we all can use and enjoy. Please deny the request to introduce urban housing density to this suburban neighborhood.

Thank you very much for your time and consideration of these concerns.

Sincerely,

Marilyn Shea

From: [Steve O'Dorisio](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: FW: Proposed zoning changes to 8000 Pecos St.
Date: Wednesday, August 26, 2020 10:12:19 PM

Please add to the record.

-----Original Message-----

From: Sarah Spica <amadea.spica@gmail.com>
Sent: Wednesday, August 26, 2020 8:17 PM
To: Steve O'Dorisio <SODorisio@adcogov.org>
Subject: Proposed zoning changes to 8000 Pecos St.

Please be cautious: This email was sent from outside Adams County

Hello Commissioner,

I live on Pecos Way just across the street from this proposed development. I oppose the zoning changes requested by Delwest. They are planning on squeezing 45 houses into those two lots and that's ridiculous. We need to preserve our suburban area and open spaces not sell out to more development and urbanization. This zoning change, if approved would substantially increase parked traffic in our neighborhood and commuter traffic on Pecos. What would be really excellent is to expand the park that is there already. Increase Community space where we can meet our neighbors and enjoy a green space. There is valuable investment in making a place better for the existing residents instead of the outside corporate businesses who claim to be our neighbors. Please help make Sherrelwood more walkable, preserve our open spaces and parks increase community funding and connections. Please do not increase density on Pecos with approving this zoning change.

Thank you for your time!

Sarah Spica
8241 Pecos Way
Denver, Co 80221
303-877-6857

From: [Steve O'Dorisio](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: Fwd: Proposed zoning change for Pecos st
Date: Thursday, August 27, 2020 7:04:40 AM

Please add to the record.

From: Arilyn Starling <satyrskiss@yahoo.com>
Sent: Wednesday, August 26, 2020, 11:15 PM
To: Steve O'Dorisio
Subject: Proposed zoning change for Pecos st

Please be cautious: This email was sent from outside Adams County

Hello Steve!

I would like to voice my dislike of the proposed zoning changes for the area that used to be the children's outreach center on Pecos.

There is already so much traffic on Pecos :(The idea of adding more condos that would further congest the area is disheartening. The area around the proposed changes is also already crowded on the street parking, and 2 spaces per condo plus one guest would only worsen that. Please do not allow this change!

Thank you
Arilyn Starling

[Sent from Yahoo Mail on Android](#)

From: [Kathy Swift](#)
To: [Alan Sielaff](#)
Subject: New properties in Sherelwood
Date: Tuesday, July 14, 2020 1:40:30 AM

Please be cautious: This email was sent from outside Adams County

I currently live in Sherelwood, and have for over 40 years. My house was built in 1959 and has had no major improvements made to it.

My house and those around us (including the new ones at 68th and Pecos , east side, \$500,000.00+) were built on prior garbage dump sites. The ground is full of Bentonite which swells and shrinks with the wet weather. This swelling/shrinking has caused my foundation to shift and crack.

Additionally, the ground is so hard I cannot get grass to grow despite tons of compost/fertilizer/grass seed and water.

I still have the original single pane sliding glass windows.

The driveway has heaved and if we get a heavy rain, my basement floods.

However, the county has determined that my property value is just under \$300,000, up from \$180,000 last year, which raised my property taxes from \$1,400 to \$2,400, because of these new properties. (We are senior citizens living on a fixed income.)

They cite comparables in my neighborhood for this higher amount- what they don't show is the properties are not selling, or are going for a lower amount.

I am all for growth, however, I also believe we are being over taxed because of algorithms. I am willing to pay my fair share, but that is not what is happening.

We are over charged for water service (we pay almost 250% more than Thornton for the same water), we are paying a "rainwater fee" (which was never submitted to the voters), and now we are being over taxed on our properties as a lump charge, not the actual value of the property because of "new growth".

Where is the equality?

Kathy Swift
900 Cuchara St.
Denver, Co 80221

From: [Steve O'Dorisio](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: FW: Delwest Project
Date: Wednesday, August 26, 2020 10:11:16 PM

Please add to the record.

From: Kathy Swift <swiftkathy47@gmail.com>
Sent: Wednesday, August 26, 2020 8:52 PM
To: Steve O'Dorisio <SODorisio@adcogov.org>
Subject: Delwest Project

Please be cautious: This email was sent from outside Adams County

Dear Sir,

We have lived in the Sherlwood neighborhood for over 45 years.

We have seen it go from a nice "family" suburban area to a totally out of control urban area, with over crowding, too many multiple families in single family dwellings.

We are currently surrounded by two major apartment complexes with totally inadequate parking spaces. It is not unusual to have 5 to 9 vehicles for each property.

Two newly built housing complexes were not built with regards to builders promises - Clear Lake and the former Rousch school properties. The sewers/open spaces/parks seem to have all been forgotten between the planning table and the finished product.

The houses built at MidTown were not up to fire codes, so they gave them a variance if they put in fireproof windows? House burns down around the windows, that's ok? Oh I forgot, we will build them a brand new fire station two blocks away. New police station next?

Adams County has gone tax happy and new complexes, such as being proposed, only serve to raise property taxes to unaffordable excesses.

What is being proposed is putting 20 lbs in a 5lb sack.

Enough already!!!

Vote "NO" TO THIS DELWEST PROPOSAL.

Ron and Kathleen Swift

900 Cuchara St.

Denver, Co 80221

From: [Kathy Swift](#)
To: [Alan Sielaff](#)
Subject: 8000 N Pecos
Date: Sunday, December 6, 2020 11:51:54 PM

Please be cautious: This email was sent from outside Adams County

I wrote to you previously regarding this property and my thoughts on the proposed "townhouses/apartments".

My thoughts and position has NOT changed.

We have more "homeless people" coming into the neighborhood daily. Due to the crappy year we have had because of the Covid virus, we are losing business's left and right.

The traffic/gunshots/deaths by homicide are rising weekly. If you read the "Nextdoor" column you can tell this area is spiraling downward.

We don't want/need more population. The builder has a reputation for not keeping promises or finishing what they start. They are in it for the money - NOT a committment to the neighborhood or community.

It is a lose - lose proposition and my husband and I are totally against it.

Kathy Swift
900 Cuchara St.
Denver, Co 80221

From: [Joseph Velasquez](#)
To: [Alan Sielaff](#)
Subject: 8000 n. Pecos - "Spaceship house"
Date: Thursday, June 25, 2020 5:55:03 PM

Please be cautious: This email was sent from outside Adams County

Good afternoon Mr. Sielaff,

My name is Joseph Velasquez.

Recently I've gotten involved with a group of people trying to keep the zoning @ 8000 N. Pecos from being changed. This is where I found your contact information asking for commentary on rezone of the property.

The developer DelWest is looking to tear down one of the most unique structures in the area by stating the building is "blighted" in their application for rezoning.

The structure is not dilapidated, unsafe or unsightly. The only reason the building has sat vacant is because the previous owner [Westminster School District] wouldn't sell to any interested parties until DelWest approached with their offer.

DelWest has already developed an area directly South of 8000 Pecos. The new buildings rear end face Pecos street. They are drab featureless walls with fencing the exact same color. It looks like you're driving down an alleyway, on Pecos Street!

This is what would replace the beautiful park view the neighborhood now enjoys. Please don't let a developer take away the little bit of natural beauty left along that stretch of Pecos Street.

Thank you for your time & consideration,
Joseph Velasquez

From: [joseph.v](#)
To: [Alan Sielaff](#)
Subject: 8000 n. Pecos
Date: Wednesday, November 11, 2020 6:01:21 PM

Please be cautious: This email was sent from outside Adams County

Hello Alan,

I am writing you today to express my displeasure at the potential rezoning of the property at 8000 North Pecos. The area is already heavily populated at 7222.5 people per square mile in only 2520.9 homes per square mile.

DelWest stated in their town meeting they will add over 40 homes and expect less than 2 people per unit.

Expecting 1.8 people per home when existing housing across the street holds an average of almost 3 people is actively obtuse.

Federal poverty line for one person is \$16,147 per year. Adams county website has a "snapshot" of Sherrelwood stating 18% of residents maintain an income below this poverty line.

Delwest's new development is slated to sell their townhomes in this area starting at \$430,000. See: <https://delwest.com/elmwood-estates-new-home-northwest-denver/>

This is blatant gentrification of the area.

The median home value in Sherrelwood is only \$363,871.

See: <https://www.zillow.com/sherrelwood-co/home-values/>

By allowing the rezone of the property and the plan Delwest has in line; we the community will see not only the elderly and those on fixed incomes hurting but full on 18% of the city population already in poverty; unable to afford the increase in their taxes. Keep in mind these figures are pre-Covid.

These properties are not "affordable" to a majority of residents and will not be "helping" the community thrive. This new growth will bring new elements into our town while pushing out the oldest. This has never been in line with the values of our city and I encourage the board of county commissioners to find another way to add to our population.

Durring the town hall meeting Del West stated they expect residents of the new housing units to use the parking available at the nearby sherrelwood city park for overflow parking. I object to this idea and maintain that private developers expecting to use city property for their financial gain is deplorable.

If Delwest expects "overflow parking" they should have to accommodate it.

This statement also seems indicative that DelWest expects more than 2 people per home, contrary to what they have stated otherwise.

There must be a time and place to say development isn't necessarily good growth.

Unplanned and unregulated populations always add to pollution and crime. I encourage the board to remember this when considering this change in zoning.

Lastly; This rezone in our little town will suddenly add a roughly 6% population increase in what's barely one city block.

Please do not rezone the area to dense residential.

-Joseph Velasquez

From: [janet.vigil](#)
To: [Alan Sielaff](#)
Subject: PRC202000010
Date: Wednesday, June 17, 2020 1:54:29 PM
Attachments: [adcodelwestdevelooment.pdf](#)

Please be cautious: This email was sent from outside Adams County

Good afternoon,

In regards to the townhomes DelWest is looking to build.

Why are we building so much? There is a small park there that many ride their bikes, walk or drive thru. There is very little around here that is walking distance.

The next thing I d like to say is ; the light at Sherrelwood Dr. should stay there. Many kids and animals were hit by cars here because people come barreling through here with no regard to any one else.

Why not stop being so greedy and leave something for us to look at .

You want to build townhomes and many of them. Why? Didn't you build houses where Clear Lake was? Didn't you build houses at Elmwood? Greed! Why no knock the old building down and expand the park or build one building for senior activities and/ or senior assistance programs & mental health.

I know this is falling a deaf ears . I do hope you will consider not creating so much more residential areas and will consider a recreational area.

Respectfully,

Janet Vigil

[Sent from Yahoo Mail for iPhone](#)

From: [janet.vigil](#)
To: [Alan Sielaff](#)
Subject: 45 townhomes
Date: Wednesday, November 11, 2020 2:45:03 PM

Please be cautious: This email was sent from outside Adams County

Help,

I have lived in Sherrelwood estates for 29 years. With all of the growth and changes, what has been positive for the neighborhood? The greed of DelWest? There is no control over the break ins or drugs in the neighborhood. Why do we need more housing? To clutter up the neighborhood and make it worse? To line the pockets of DelWest and the Adams county reps who have been paid to put this through? It's not safe around here now. Brining more people in and creating more traffic will do what other than line the pockets of DelWest? Pecos is backed up now . Why are you agreeing to make it worse?

I get the feeling that what the people want doesn't really matter. What matters to you is the dollar. You're going through the motions required with no real consideration of what the people want or need .

Please reconsider! Consider the neighborhood and the people! What are you doing to clean it up?

Respectfully,

Janet

[Sent from Yahoo Mail for iPhone](#)

From: [janet vigil](#)
To: [Alan Sielaff](#)
Subject: PRC2020-00010
Date: Saturday, January 23, 2021 12:36:42 PM

Please be cautious: This email was sent from outside Adams County

Good afternoon,

I have resided in Sherrelwood estates since August of 1991. I raised a family here. I know things change. We have a new housing development where Clear Lake middle school was.

Also all of the new homes in MidTown plus another whole division in Pecos. Why?

Why not build something for the neighborhood? The park should stay. What about a coffee shop (not Starbucks), a place to relax or a small arcade for children, a dog park, anything but not more housing. There are people struggling and there are empty houses. Why not re-vamp neighborhoods or help people keep their current homes. Why do we need so much housing? I know Colorado is growing but what are we going to do with the empty houses?

Janet Vigil

[Sent from Yahoo Mail for iPhone](#)

From: [Janet v](#)
To: [Alan Sielaff](#)
Subject: DelWest townhomes Pecos
Date: Monday, January 25, 2021 9:26:03 AM

Please be cautious: This email was sent from outside Adams County

Good morning!

I received another letter re: DelWest building the townhomes off of Pecos. Have you seen the amount of traffic on Pecos? It's ridiculous. Why do we need more housing? Or is it DelWest lining their greedy pockets. We already have 2 new housing areas. We have so many homeless people in this area now. Is it really the best thing all in the name of greed?

Empty houses throughout the state. Why would we not utilise what is existing? Please explain.

Why not put the money towards cleaning up the area?! Why not create something in the round building for the community? Perhaps spa treatment, meditation, massage. You can renovate the space and rent out spaces to various tenants. What about a cafe for the neighborhood? So many things that could be done for the neighborhood and not to line anyone's pockets.

I hope you will re-consider and not allow anymore housing. I hope people see the value of our area. A sense of community and unity. Housing won't do that.

Respectfully,

Janet

[Sent from Yahoo Mail for iPhone](#)

From: [Jen Rutter](#)
To: [Alan Sielaff](#)
Subject: FW: DelWest on Pecos
Date: Wednesday, February 17, 2021 8:23:34 AM

Jen Rutter

Development Services Manager, *Community & Economic Development*

ADAMS COUNTY, COLORADO

4430 South Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

o: 720.523.6841 | jrutter@adcogov.org

www.adcogov.org

County operating hours: Tuesday through Friday, 7 a.m. to 5:30 p.m.

For information related to the County's response and recovery related to COVID-19: [Find community resources and updates here.](#)

From: janet vigil <estershimfong@yahoo.com>
Sent: Friday, February 12, 2021 7:53 PM
To: Jen Rutter <JRutter@adcogov.org>
Subject: DelWest on Pecos

Please be cautious: This email was sent from outside Adams County

Help,

I have lived in Sherrelwood estates for 29 years. With all of the growth and changes, what has been positive for the neighborhood? The greed of DelWest? There is no control over the break ins or drugs in the neighborhood. Why do we need more housing? To clutter up the neighborhood and make it worse? To line the pockets of DelWest and the Adams county reps who have been paid to put this through? It's not safe around here now. Brining more people in and creating more traffic will do what other than line the pockets of DelWest? Pecos is backed up now . Why are you agreeing to make it worse?

I get the feeling that what the people want doesn't really matter. What matters to you is the dollar. You're going through the motions required with no real consideration of what the people want or need .

Please reconsider! Consider the neighborhood and the people! What are you doing to clean it up?

Respectfully,

Janet

[Sent from Yahoo Mail for iPhone](#)

From: [Alan Sielaff](#)
To: [Alan Sielaff](#)
Subject: FW: Message from Unknown sender (Unknown caller ID)
Date: Sunday, July 12, 2020 2:28:24 PM
Attachments: [VoiceMessage.wav](#)

Deborah Williams called to voice opposition to PRC2020-00010 Sherrelwood Village Flg. No.2. She explained how she lives right off of Pecos St. and has concerns with traffic safety and signal timing at the existing Sherrelwood Dr. She also commented on existing conditions at Sherrelwood Park, which is not very usable with limited existing programming at the park. She would like to see an addition to the park. Ms. Williams also voiced concern over height of additional development, does not want three and four story buildings overlooking the park. Finally, she commented on possibility of additional affordable housing as stated in the project description.

Alan Sielaff, AICP

Planner II, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

asielaff@adcogov.org | www.adcogov.org

Adams County buildings are now open with a four-day schedule with expanded operating hours – from 7 a.m. to 5:30 p.m. Tuesday through Friday. The Community and Economic Development Department is open for in-person meetings by appointment only, [more information is available on our website](#). The Department is also working under flexible schedules and individual staff may have limited email and phone availability early and late in the work day and on Mondays.

From: Cisco Unity Connection Messaging System <unityconnection@gccucsvr.admin.adams.county>
Sent: Friday, July 10, 2020 12:19 PM
To: sielaa@gccucsvr.admin.adams.county
Subject: Message from Unknown sender (Unknown caller ID)

From: [Alan Sielaff](#)
To: [Alan Sielaff](#)
Subject: FW: Message from Unknown sender (3034280090)
Date: Friday, June 26, 2020 10:50:11 AM
Attachments: [VoiceMessage.wav](#)

Warren Woodmancy called to discuss question, concerns and comments with PRC2020-00010. He lives nearby on Albert Ct. I was unable to reach him on 6/17/20 due to call blocking from numbers outside of the office while I am working remotely. Will try and call from my office phone prior to the comment period for the referral ending. Other staff did reach out on my behalf but was unable to connect as well.

Alan Sielaff, AICP

Planner II, *Community & Economic Development Department*
ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601

P: 720.523.6817 | Department: 720.523.6800

asielaff@adcogov.org | www.adcogov.org

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From: Cisco Unity Connection Messaging System <unityconnection@gccucsvr.admin.adams.county>
Sent: Wednesday, June 17, 2020 11:32 AM
To: sielaa@gccucsvr.admin.adams.county
Subject: Message from Unknown sender (3034280090)

From: [WARREN WOODMANSEE](#)
To: [Alan Sielaff](#)
Subject: 45 townhomes on Pecos
Date: Wednesday, November 11, 2020 10:21:05 AM

Please be cautious: This email was sent from outside Adams County

Dear ASIELAFF@ADCOGOV.ORG:

I have lived at 8130 Albert Court for approximately 47 years. I oppose the building of the townhomes on Pecos for a variety of reasons:

1. I do not want the zoning to change from residential
2. I am extremely concerned regarding the increase in traffic
3. There are new townhomes being built at midtown and that is enough for this neighborhood
4. The impact on local schools

Thank you for reviewing my concerns:

Susan M. Woodmansee

PUBLIC COMMENT - SUPPORT

comments received as of 02/01/2021

From: [Craig](#)
To: [Alan Sielaff](#)
Subject: Proposed Development 8000 Pecos
Date: Wednesday, July 1, 2020 6:40:16 PM

Please be cautious: This email was sent from outside Adams County

Dear Alan Sielaff,

I would like to voice my support for the proposed townhome development at 8000 Pecos. This development will replace a long vacant building and increase property tax revenue for the county.

Craig Cummins
7690 Tejon St
Denver, CO 80221

From: [Nardi, Giovanni J.](#)
To: [Alan Sielaff](#)
Subject: Comments PRC2020-00010
Date: Thursday, June 18, 2020 10:08:35 AM

Please be cautious: This email was sent from outside Adams County

Hi Alan,

Wanted to add my comments to this project - we live on Sherrelwood Drive right accross from the proposal.

We think this idea is great and really despise the building and lot at 8000 Pecos in particular. We feel almost any development of this land (and tearing down of that hideous building) will lead to an increase in property values for us and all of our neighbors.

That being said we had an additional idea - would it be possible to zone some of the land commercial and include either a small restaurant or brewery? We are thinking something similar to what the Midtown development has done, but obvioulsy not to that scale. It would be great to have a restaurant/bar/brewery in the neighborhood within walking distance.

Thanks!

Giovanni and Chelsey

Public Comment - Travis

From: [Steve O'Dorisio](#)
To: [Ray Gonzales](#); [Jill Jennings Golich](#)
Subject: FW: New development at 8000 Pecos
Date: Wednesday, August 26, 2020 10:13:34 PM

Please add to the record.

-----Original Message-----

From: Dustin Travis <dustin.travis@live.com>
Sent: Wednesday, August 26, 2020 7:51 PM
To: Steve O'Dorisio <SODorisio@adcogov.org>
Subject: New development at 8000 Pecos

Please be cautious: This email was sent from outside Adams County

Hey Steve,

I'm sure you probably get a million emails about gongs people hate and want you to magically fix them. Well the development at 80th and Pecos I feel is a good idea. We do need more affordable places in this area, especially with the new houses that have gone in and the huge increase in house prices in the area. I know some people are upset about the multi family development but I understand that it has to go somewhere and why not at 80th and Pecos. Thanks for all your hard work!

Dustin Travis

Sherrilwood Village comments

Cynthia Vitale <cynthiamvitale@gmail.com>

Thu 11/12/2020 9:03 PM

To: Alan Sielaff <ASielaff@adcogov.org>

Cc: Steve O'Dorisio <SODorisio@adcogov.org>; Ray Gonzales <RGonzales@adcogov.org>

Please be cautious: This email was sent from outside Adams County

Hello,

I am copying this to others who sent me to the website and where I found your email address. I want to assure that my comments are included in the official record.

If this is not where I should submit this please direct me to the appropriate location. I am adding my thoughts in case this is the appropriate place to submit my thinking.

I would like to make a comment about the Sherrilwood Village development. I am in favor of it for several reasons.

My caveats are expectations on Adams County to ask the developer to treat this community as investment in the community rather than a profit to be made. Of course, they will make a profit. I am asking for a perspective to build with heart for our community. Where, in the end, the developer would make a good profit and the community feels refreshed by what was developed.

Caveat: This is with a caveat that what is built is quality and well thought out. I don't mean expensive, I mean built well. Buildings can be built well without having to be high end. Building row homes as townhomes should be done in an attractive design. Aesthetics are important by design, materials used, setbacks and color. Good setbacks make buildings look more attractive and the street seems more pleasant. 48 units on 2.2 acres is fairly dense, with that it still needs trees and grass. The county needs to assure that what is built there is an inviting and pleasing experience to live in and to drive by, rather than another set of buildings on the side of the road.

I think that Delwest has built nice buildings but they still have to be watched to be sure their interest in quality continues.

Reasons:

Sherrilwood Park is a nice park and it needs more people in the park and people watching it. That will help to keep it safer.

It allows for a slightly higher density than single family and

provides people with nice homes who don't want a single family home and would not want to pay high HOA dues. There should be some HOA but not high as there will be no amenities.

Being on Pecos is good for several reasons. Some parts of Pecos need to be tidy up and these homes would be a compliment to that effort. The RTD G line station is close with a bus that runs along Pecos to the Pecos Junction station. This allows commuting to work without the use of a car. Many benefits to all of us for that.

Those are my thoughts on this development. I don't know how my caveat can be addressed but, I feel, it is important to build something that will look good years into the future. Will the community be involved in the review of the Sherrilwood Village design?

Best Regards,

Cynthia Vitale

Applicant Responses to Public Comments

Summary of Public Comments with Responses		10/15/2020
NAME	COMMENTS	RESPONSE
Elizabeth Pfalmer	Failed design of retaining pond at Elmwood/Shoshone. Water is always in pond. Lots draining into street. No capacity	Pond will be expanded as part of this development
	Increase in traffic / congestion. Excessive speeding	This is now 25 mph zone. Negligible increase in traffic (per traffic letter)
	Delwest not honored commitment to make park improvements at Clear Lake	Improvements will occur at future date
	It won't be affordable	Townhomes will be market rate and will fill the gap between the cost of single family and multifamily
	No more dev until services and infrastructure catch up	We installed a \$175k, 58" pipe that will sit at Clear Lake for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. Developer is responsible for all on site infrastructure.
	Will increase in tax revenue pay for storm drain expansion, street repair, increased sheriff deputies, and all other community service needs from increase in population	Cost of on site improvements will be on developer. Increase in other community services is difficult to predict.
Andrew Dauernheim	Thinks Sarah's proposal of making it a community center makes sense from a financial standpoint	No interest to make this a community center from Adams County
	Quick influx of money rather than prop tax revenue	Will cost a lot upfront to make this building suitable for anything
	Savings in terms of avoiding city and county costs related to buidling new roads, water and swere lines	Developer responsible for improvement costs
	Structure brings community pride	We understand the history and pride it brings to the community. However, in its current state the structure is rundown and expensive to bring back to the life if formly knew.
	Gathering place is lacking in the area	We are working with Hyland Hills to create a gathering space within the park.
Dallis Harvey	Terrible traffic on Pecos	Negligible increase in traffic (per traffic letter)
	Need open spaces we've lost from Midtown development, parks with dog access is what we need	The city did not want to buy it for more OS. Sherrelwood park will not be affected by this development and is available as open space.
Deborah Williams	Concerns with traffic safety and signal timing at Sherrelwod Dr	Daily trips will have small impact on signal timing st Sherrelwood Dr
	Existing conditions at S Park which is not very usable with poor programing; would like to see an addition to the park	We are working with Hyland Hills to create a gathering space within the park.
	Concern about height of additional developemnt, does not want 3 and 4 story buildings overlooking the park	Townhomes to be 3 stories in height - allowed per code
	Additional affordable housing	Townhomes will be market rate
Elizabeth Parker/Segler	Opposed to townhomes; "nothing but problems here"	New construction will be an improvement over blighted area. Construction temporary.
Emily Peter	Traffic on Pecos is at max capacity	Negligible increase in traffic (per traffic letter)
	Increased neighborhood density negatively impacts property values and the sense of community	Increase in quality of housing typically has positive impact on property value
	2.2. acres could be open space	The city did not want to buy it for more OS
	Adding the park would be better and enrich neighborhood by encouraging outdoor activities and cultivating a greater sense of community	The city did not want to buy it for more OS
Janet Vigil	Very little around here in walking distance except the park	Park is not getting smaller
	The light at Sherrelwood drive should stay there, danger from cars	Light will stay at Sherrelwood and be enhanced. This is a much safer entry/exit into Elmwood Estates when compared to Elmwood Place
	Leave something for us to look at	Current view is blight of old building and unmaintained landscape
	Expand the park or build a building for senior activities	Park will not be expanded as part of this development. We are working on creating a gathering space within the park with Hyland Hills.
	wants recreational rather than residential	In addition to residential we would like to help improve sherrelwood park.
Jennie Johannesen	No more homes built	There is a shortage of housing in the Greater Metro Denver area
	Need to stop traffic from getting worse and added pressure on stressed infrastructure	Negligible increase in traffic (per traffic letter)

Applicant Responses to Public Comments

Joseph Velasquez	Delwest says bldg is blighted	With the building being vacant for so long
	not dilapidated, unsafe or unsightly. The only reason the building has sat vacant is because the previous owner [Westminster School District] wouldn't sell to any	When you have a vacant building with weeds growing out of control, with nobody entering it and no controls over that from a security standpoint you get vandalism, breaking and entering, you get all sorts of crime. That happens because people break into a vacant building and take things from it.
	interested parties until DelWest approached with their offer.	We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district as well for a long time.
	Elmwood houses are drab, featureless walls with fencing the exact same color; looks like an alley	We believe the single family homes in Elmwood Estates have been very successful and residents have been very happy with the community. We have a number of letters of support from those residents. Fencing was enhanced with shifting and plantings along Pecos to avoid alley like conditions.
	This is what would replace the beautiful park view the neighborhood now enjoys	The view to the boarded up building is being improved. Existing trees around it block any view into the park.
	Don't let developer take away the little bit of natural beauty left along that stretch of Pecos	Park will remain same size
Karen Dunn	Pecos has more than max traffic capacity	Traffic increase negligible per traffic study; no additional improvements required; Pecos has recently been converted to 25 mph from 35 mph in this section
	Neighborhood has lost to development Clear Lake Middle School, Roush elementary,	Schools in this neighborhood were no longer necessary due to changing demographics.
	Increases crowding which is inconsiderate for current homeowners	There is a shortage of housing in the Greater Metro Denver area. Increase in population is negligible.
	Air quality	Air quality will remain relatively the same
	Wants 2.2. acres to be added to the park	Adams County did not purchase the property for the use of park space.
Kathy Lopez	"dreadfully regret all the townhomes being built like crazy"	There is a shortage of housing in the Greater Metro Denver area.
	All this development raise property taxes beyond our means	This will ultimately improve home values in the area
	Ruining peaceful place to live and raise children	This will still be a peaceful place to live and raise children. We want to enhance the community and neighborhood park.
Marilyn Shea	Area has suffered from construction	We apologize for the temporary mess. We hope the finished product makes up for it.
	Not enough infrastructure	We installed a \$175k, 58" pipe that will sit at Clear Lake for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. Developer is responsible for all on site infrastructure.
	Trash, speeding, no patrolling	This is now 25 mph zone. Negligible increase in traffic (per traffic letter). We've had trash cleanup days to help cleanup the park.
	Parking is intense	The plans do in fact contain parking per Adams County requirements. Extra guest parking is also available in off street lots and along Pecos street.
	Illegal fireworks	This development will in no way manufacture or ignite illegal fireworks.
	Not enough police, water supply	Letters from City prove there is enough water available.
	Drains are clogged and full of trash	There are existing, temporary erosion control measures in place that are designed to capture sediment that consequently slow the capture rates of the inlets. Once all construction is finished these can be removed and the system will function as intended
	Greedy developers	We've been in business for a long time, 1993 seems like a long time to me. We've seen a lot of ups and downs in the building industry and we've pivoted in the last 5 years. We build affordable housing for people.

Applicant Responses to Public Comments

Roger and Pat Hall	We do not trust this developer,	We hope to build that trust with you
	Promised park at Clear Lake and Elmwood and didn't do it	We did all items on the plans and documents for both Clear Lake and Elmwood. Do not know of a "promised "park on either site. Clear Lake is signed off by BOCC and Elmwood is all inspected and going to Final BOCC the 27th of this month.
	Developer wants bond from Hyland Hills to build kids a park	We've been working with Hylands Hills to create a gathering space for both the park and neighboring communities. Both Hylands Hills and Delwest will contribute to the funding of this space.
	Delwest holding pond at Clear Lake is normally full	The storm system in Sherrelwood has been sized for all the flows from Sherrelwood and Elmwood.
	Holding pond at Elmwood was snuck in	Water Quality Pond was necessary as part of this development and the park
	Traffic is at max capacity	Negligible increase in traffic (per traffic letter)
	Lack of planned parking	The plans do in fact contain parking per Adams County requirements. Extra guest parking is also available in off street lots and along Pecos street.
	48 more HDUs are not needed	There is a shortage of housing in the Greater Metro Denver area. Increase in population is negligible.
	Unison is offering parking and shared courtyard, kids play area, BBQ areas, raised garden beds and benches	Elmwood Estates offers parking, active open space
	When Elmwood was approved housing was advertised houses would be in the 250s so we don't trust the builder	Housing prices were sold at market rate and inflation occurs. The average home price in Denver is \$600k plus. This site is a location for people to afford living.
	Our neighborhood wouldn't be opposed if Delwest followed the regulations for building R-1c	Building at R-1c would not be feasible from a development perspective
Susan Campbell	Directly across from her house	Noted
	Very upset	We're here to talk thru this answer any questions you may have
	Traffic is disaster	We're sorry current traffic is not ideal. Negligible increase in traffic (per traffic letter)
	The "neighborhood meeting" Delwest had said they would be all affordable. Low rent and possibly section 8!	This will be market rate housing, not section 8.
	What is the traffic study results?	Negligible increase in traffic (per traffic letter)
	Property values will suffer with affordable housing	Increase in quality of housing typically has positive impact on property value
	Crime it will bring to the area	Quality housing does not typically bring crime
	Baker School Apartments already looks like a total slum project, very trashy	We disagree.
	Are these comments just moot?	No. We are here to answer your questions and provide clarity on the project.
	Total nightmare, noise and traffic	We didn't create the buyers or the traffic, but what we do is say there's a great amenity, lets take advantage of it. Let's make it better, lets make it safer and let's make this vacant land into something that will enrich lives and enrich the community.
	Asking for a wall on the street.	Fencing is required along Pecos per Adams County standards
Warren Woodmancy	No detail	No response
	Plan is devastating to culture and meaningful landmarks of his hometown	We've had a lot vandalism to the building. Anything of value has been taken by vandals and sold. Though some want to save and repurpose the building there isn't the budget to do that. It would take millions of dollars to get that building up to code and wouldn't be the best use of the site.
Zachary Huske	Was in awe of it growing up	Building was unique for its time
	Inspirational and makes people think outside the "norm"	Building was inspirational for many
	Give us the oppty to use it as cultural center or library about the neighborhood	Gathering space such as community centers are difficult during times like this and the social distancing. Repurposing this building is simply not feasible cost wise as well.
Mrs. Delson (?)	Weeds and homeless encampment	We are more than happy to work with the neighborhood to create a lace where this doesn't occur
	Park is unsafe	We'd like to change that
	Neighbors are getting nervous about unsavory activity	This development will put eyes on the park. When you have eyes on a space less unsavory activity occurs.
	Have leaves mowed and clean the area	Parks maintenance is doing the best they can
	Unightly	Agreed. We're working to clean up the park and community

Applicant Responses to Public Comments

Sarah Garner	There are enough multi-resident complexes in this area already	There is a shortage of housing in Greater Metro Denver
	Several members of community were interested in purchasing this structure	We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district.
	79th and Pecos already busy intersection; this creates more congestion	Negligible increase in traffic (per traffic letter)
	Infrastructure costs of additional roads, water lines, power, etc costing city a lot of money	Cost of on site improvements will be on developer. Increase in other community services is difficult to predict.
	Community didn't want the cupcake bldg any higher than it is today	Townhomes will be max 3 stories.
	Development obliterates views into park by going higher	This view is an improvement over a dilapidated structure and overgrown trees that block views already; Townhomes 3 stories max
	Concern over developer taking additional park property	No park space is being lost
	Who did DelWest acquire 7996 Pecos from? Was it included with 8000 Pecos? From Westminster school district?	Adams county school district 50
	She would like to rent out the building from the City for her business promoting childrens edu, animal welfare, mental health; other would like to purchase to host piano nights	We've had a lot of vandalism to the building and have spent money on clean up. Anything of value has been taken by vandals and sold. Though some want to save and repurpose the building there isn't the budget to do that. It would take millions of dollars to get that building up to code and wouldn't be the best use of the site.
	Cupcake aka Home Dome aka Spaceship House has never been blighted	We believe the sight is blighted, vandalized, and unkept per responses above
	Westminster School District refused to sell	We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district.
	Property never went to sale to the public or had disclosable pricetag	The District chose who they thought would best improve the site moving forward.
	646 signatures on petition to save the Spaceship	We appreciate the history and significance of the building. Unfortunately, COP (Children's Opportunity Project) wasn't able to stay in business and the building in the interim has been vandalized.
	The younger generation wants a place for recreation and celebrations. No venues in Sherrelwood area for this	We've partnered with Hyland Hills who owns Sherrelwood park. We are going to work with them to create the correct amenity. However, with Covid we've been thwarted in our efforts in designing the proper amenity there as of yet.
	No one can afford Delwest properties nor the property taxes that are forced to increase with this new construction	We've been in business for a long time, 1993 seems like a long time to me. We've seen a lot of ups and downs in the building industry and we've pivoted in the last 5 years. We build affordable housing for people. With the average house going for \$600k we can offer housing for less. We are going to open up opportunities for residents that have nowhere to go.
	I do not trust this developer	We hope to build that trust with you
Pat Hall emailed comments on 8/25	How much do they sell for?	These will be sold at market rate. With the average house going for \$600k we can offer housing for less than \$400k. We are going to open up opportunities for a massive supply of buyers that have nowhere to go.
	How will you mitigate the new amount of traffic on Pecos St.	Negligible increase in traffic (per traffic letter)
	These do not fit in this neighborhood nor do we need any. We have new units going in all up and down Pecos, new affordable housing on 74th and Broadway, 1100 new units at 60th and Federal and 3200 units going in at 92nd and Federal. 147 new townhomes by Midtown at 66th and Pecos	There is a shortage of housing in Greater Metro Denver
Email 8/28	Tell me why we need more to add to traffic?	Negligible increase in traffic (per traffic letter). Light will stay at Sherrelwood and be enhanced. This is a much safer entry/exit into Elmwood Estates when compared to Elmwood Place
	When are you going to clean up your weeds on the property between your development and the "dome building" or do I need to call zoning? You have had a year to clean up this so called blighted neighborhood.	We've had a lot of vandalism to the building and have paid at least \$6-\$7K on clean up. We've already invested money in a Sherrelwood Park cleanup as well.
	How much economic development money are you getting from Adams County?	Unknown at this time

Applicant Responses to Public Comments

Summary of Public Comments with Responses		12/16/2020
NAME	COMMENTS	RESPONSE
Angel Garcia	what are the plans to remove the old dump. Is Delwest willing to pay to ensure that the neighbors do not get sick	We are not aware of any dump in this area.
	will gasses be monitored in the area	We are not aware of any gases on site
	knocking down the building will be a dusty filthy mess for people to breathe.	We agree that knocking dow the building will be messy and will do everything we can to minimize pollution.
	why do sketches only show white people. Are you trying to push out latinos	Sketches shown are not meant to only depict one race. This is simply a graphic showing people, not races. All races are of course welcome to our communities.
Arilyn Starling	Already too much traffic on Pecos	Traffic on Pecos St is consistent with the arterial classification of this road. Additional traffic from elmwood Estates is negligible. Signal timing is currently optimal while also providing for safe crossing of Pecos St for the community. This signal also allows residents to go south on Pecos much more easily.
	Already too crowded on street parking	Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces
Clarissa Burkland	Already over run with the amount of traffic and cars parked for each house	Per Adams County code, this plan meets and exceeds the parking requirements for this type of housing.
	Limited options for shopping in the area already and this will only make it worse	This proposal for residential is an extension of the residential to the south which we feel is consistent with the neighborhood.
	Proposed zoning changes not acceptable to the neighborhood. Originally slated for individual homes now want to increase to high density living	Large homes on large lots would not be attainable to most people. These townhomes will be much more affordable to the community
	Sherrrelwood park has remained clean and only source for a park. New proposal will cause this to change.	This proposal in no way reduces the park space available. In fact, we are working with Hyland Hills to improve the park with an additional gathering space that the whole community can enjoy.
	Clean up what we have and makit it safer. Get Delwest out of area.	We have worked with the community in cleaning up the park already and will continue to do so. Building townhomes adjacent to the park will brings eyes onto the park which helps reduce any potential crime.
Janet Vigil	no control over drugs and break ins and more housing will make it worse	We try to build communities where residents feel safe. We do not believe this will make problems worse. In fact, having homes against the park will have more eyes on the park to monitor potential crime.
	Terrible Traffic on Pecos	Traffic on Pecos St is consistent with the arterial classification of this road. Additional traffic from elmwood Estates is negligible.
	Greed of Del west	Market rate townhomes are much more attainable than large single family homes.
	get the feeling what people want doesn't matter. Just lining the pockets of Del West	People also want more options of attainably priced housing which this provides. This brings in more taxes to the County as well versus only building a few homes on large lots.
	Consider the neighborhood and people. What are you doing to clean it up?	We have worked with the community in cleaning up the park already and will continue to do so. In fact, we are working with Hyland Hills to improve the park with an additional gathering space that the whole
John and Esther Pacheco	So much congestion in area already on Pecos and conifer blvd due to new schools being built.	Traffic increases are negligible on Pecos St.
	No more housing needed. Need restaurants or businesses but not on Pecos	A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
	Del West Doesn't complete what they promise	Without know specifically what wasnt finished, here is an example that came up during the Neighborhood meeting. In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is there.
	Against housing on Federal and 84th and it went through anyways causing more congestion.	Increase in traffic from 47 townhomes is negligible per traffic report.
	Completely object to anymore projects on Pecos.	Any oppportunity for infill with a bias towards open space, density, and farer traffic conditions is a win for everyone.

Applicant Responses to Public Comments

Joseph Velasquez	Area is already too heavily populated with 7222.5 per square mile and only 2520.9 homes.	Increase in population with 47 townhomes is negligible to overall density of Adams County.
	Gentrification of the area. Not "affordable" properties and will be pushing out the oldest unable to afford increase in taxes	Market rate townhomes are much more attainable than large single family homes. This will also increase property values of the surrounding community.
	Del West stated using Sherrelwood park for overflow parking and private developers using city property for financial gain is deplorable. If delwest expects overflow parking they should accommodate.	Parking in Sherrelwood park was viewed as an opportunity at one point in this process, but certainly not a necessity. Any plan for overflow parking in the park is off the table since there is enough parking on site for the townhomes.
	Unplanned and and unregulated populations will add to pollution and crime.	New energy efficient homes actually produces less pollution per unit than older homes. Crime fluctuates is is not associated with new development.
	Will cause a 6% population increase in what is barely one city block.	Any infill development on this site will cause an increase in population. Cities historically grow over time.
Kathy Swift	House built on prior garbage dump site. Ground full of bentonite which swells and shrinks in wet weather causing foundation cracks	That's unfortunate to hear.
	Property value increased which increased our property taxes. We are seniors living on a fixed income.	Property values rise when a low supply of homes for sale meets strong buyer demand, as buyers compete in bidding wars to secure a home from the limited inventory. Additional homes in this community will increase the available inventory and hopefully slow dow the increase in property values.
	All for growth, feel we are being over taxed due to algorithms. Willing to pay fair share, but not what is happening.	We like lower taxes as well.
	Over charged for water service. Having to pay a rainwater fee also.	Stormwater fees are common and help pay for the construction of storm lines, ponds, and other features.
Ron and Kathleen Swift	Over crowding turning suburban area into out of control urban area. Too many multiple families in single family dwellings	This is an affordable way for families to live in some neighborhoods.
	Totally inadequate parking. Not unusual to have 5-9 vehicles for each property	Per county code, this development meets and exceeds the parking requirements.
	Sewer, open spaces, parks seem to be forgotten	We are working with Hyland Hills to improve Sherrelwood Park.
	Adams county has become tax happy and new complexes and services being proposed only serve to raise property taxes.	If no homes are built there is an increase in demand for housing. With this increased demand, home prices increase. This in turn increases property taxes. Unfortunately with an increase in demand for housing throughour the greater metro Denver area, property values will continue to increase.
	Midtown houses not built to fire codes so gave a variance for fire proof windows? Solution is for a nearby fire station, then what next, a new police station?	As population increases, so do the services required. New fire stations and additional police are beneficial to the community.
Liz Mancha	Del west houses on osage street are complete crap. Terrible foundation issues. Del west never responds.	We'd be happy to continue to work with you regarding any construction defects.

Applicant Responses to Public Comments

Marilyn Shea	Adams county not taking into account the impact these developments have on the current residents.	We cannot speak to the thought process of Adams County
	Water in gutter at Shoshone St. from clear lake estates seems constant, very deep and looks like sewage. Why was Del West not required to connect to county drainage system.	In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban Drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is installed by Urban Drainage
	Government quick to approve Delwest developments without considering impact on current residents. Promise date of installing proper drainage by 2025 is unacceptable.	DelWest has installed its share of Stormwater improvements. Its now up to Urban Drainage to install their portion of this system to complete it.
	Residents downhill from Clear Lake will experience flooding of basements, disintegration of pavement, and a real hazard to pedestrians who must navigate through treacherous slime filled with chemicals.	The Clear Lake drainage system and facilities, approved by Adams County, have been designed so that residents downstream are not negatively affected by storm events due to the development.
	New construction on Pecos called Elmwood Estates depicts racist imagery with only white family showing people of color are not welcome here.	Thank you for bringing this to our attention. There was no intention to depict only one race in of the graphics. People of all races, colors, national origin, religion, sex, gender, age and disability are welcome in our communities.
	Delwest wants to increase traffic, noise, and congestion along pecos with high density dwelling.	Our goal is to build on 2 vacant lots an infill project consisting of market rate townhomes. Our goal is to never increase traffic, noise, or congestion, but with any type of development, there is bound to be negligible amounts of each.
	Sherrelwood park needs more benches, shade, and picnic tables. Enjoy the wildlife and doubt there will be any left after the installation of 45 homes next to it.	No portion of Sherrelwood Park is being removed as part of this proposal. In fact, we are working with Hylands Hills to improve Sherrelwood Park with an additional gathering space, shade structure, benches, etc. We look forward to working with both Hyland Hills and the community to improve this park.
	Resent the characterization that the neighborhood is derelict and bad. The park is already safe but who knows with more people moving in.	The vacant parcels DelWest wishes to build townhomes on are currently derelict and vandalized. The surrounding neighborhood is not derelict or bad. More people living adjacent to the park brings more people watching the park. This in turn helps reduce any potential crime. This doesnt mean there is a lot of crime currently though.
	Delwest is not out neighbors. They have no qualms with giving an unsustainable amount of new neighbors then moving on to destroy the next bit of open space while they pocket millions by exploiting us.	No amount of park space is being removed as park of this proposal. A few existing trees will be removed from vacant lots, but new trees will be installed as part of the project.
	would much rather see amenities such as bike path, rec center, closed street shopping mall within walking distance of homes.	We are working with Hylands Hills to improve the park amenities. We love closed street shopping malls as much as everyone else, but DelWest is a homebuilder.
	Please consider refurbishing the dome instead of destroying it.	Unfortunately anything of value in the building has been taken. Repurposing the building is just not financially possible.
	Inadequate parking proposed and sherrwelwood park cannot accommodate overflow parking. Peope will use neighboring streets across Pecos exacerbating an already intense parking situation.	Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces. Any connection to Sherrelwood Park for parking has been removed.
Roger and Pat Hall	Do you suppose a single mother can afford these new townhomes? Or all these people who have been unemployed since march?	Single mothers and those who have been unemployed will have a hard time purchasing any home in these tough economic times. These will be market rate townhomes which are more attainable than a brand new single family homes.
	If this should get approved, we think there should be at 10 units reserved for low income people who need housing.	We're currently building affordable units in various projects throughout Denver. More than half in last 10 yrs have been affordable. There is no requirement for affordable housing.
	Traffic on pecos is going to be terrible with additional homes and a new fire station that has to share the same street	Traffic increases on Pecos are marginal per Traffic Report provided.
	Craig not taking into consideration the population increase. More like 90 more families using the park, adding emergency services, more kids who need more teachers?	47 townhomes will bring in more people. This inevitably increases the need for more public services. Its hard to determine the number of children in this neighborhood, but in general the demand for school teachers has possibly gone down in this area. Clear Lake, for example, shut down.
	Still opposed to Delwest calling this blighted community, and feel there is no need for new townhomes on Pecos St.	The bubble building and vavant lot are blighted, not the neighborhood.
RMCS	Turn spaceship into public community center or commercial amenity which could net anywhere between \$500k to a million annually.	Due to Covid shutdowns and social distancing requirements, a recreation center is not feasible or needed.
	Suggest adams county how unique structure is and consider it a destination venue. Already popular due to nostalgic factor and rare construction.	The bubble building is truly unique. We attempted to get the COP (Children's Opportunity Project) relocated to a space to grow as a part of this project as the building did not fit their need and was in disrepair. Sadly, they had to shudder due to lack of funding. The building went into disrepair and most things of value were removed from the structure.

Applicant Responses to Public Comments

Robert Aguiniga	Area cannot handle that amount of extra traffic. Cannot even pave existing roads.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Use to be beautiful and envied part of westminster. Now being destroyed by greed, missappropriations of public monies, corruption, and downright horrible decisions.	Market rate townhomes that are more affordable than single family homes fill a need in the community.
	At least construct brick homes that are consistent with the beauty of our community. Already added bunch of eyesores to our neighborhood next door	There are many materials other than brick that make homes look beautiful and unique.
	If you have ANY sense of pride left, no high density building.	Pride is found in higher density building every day by people living in cities across this state.
Robin Hannon	We do not want zoning change. High density housing is ruining the feel of the neighborhood. Want/need to know our neighbors and that is already difficult.	Adams County will continue to grow to meet the needs of its current residents and future residents
	Don't have enough parking and stores are already crowded. Moved away from Denver for this reason.	Unfortunately many communities in the Denver Metro area are experiencing increases in population.
	More people and housing will equal more crime.	New housing doesn't always equal more crime
	No more big beautiful open spaces due to developers putting up cookie cutter houses through It marring the landscape.	No amount of Sherrelwood Park is being removed. Vacant lots are not considered a part of the Hyland Hills open space system.
Sarah Garner	Don't want to tear down spaceship-esque looking building. Trying to get it registered as local landmark.	Please keep us informed
	Community very concerned about the debris released in air upon demo causing serious health issues.	We will do our best to reduce air pollution during demo and construction
	Would like to ask county to reject rezoning and reclaim property since it was a government entity when owend by district. Better served as a unique hub for economic relief and community benefits.	DelWest now owns the property and the County cannot reclaim it. Converting the bubble building to an economic hub is just not feasible at this time.
	Maybe relocate building to regain confidence in the process and recognize county cares about plight of individual residents. Could help mitigate pollution of taken apart carefully and relocated.	Refurbishing the bubble building is just not economically feasible for any entity as its just too expensive. Vandals and thieves have either destroyed or stolen anything of value in the structure.
	Delwest said we could design homage we wanted. Collected a few sketches from people on their ideas and Delwest hasn't responded.	We are working with Hylands Hills to improve the park amenities. We'd love the communities input as we move forward with that process
Sarah Spica	Need to preserve our suburban area and open space, not sell out to more development and urbanization.	Demand for housing this close to Denver is quite high. Adams County will inevitably grow to meet these demands. No amount of open space has been lost as part of this proposal.
	If approved would substantially increase parked traffic in neighborhood and traffic on Pecos.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Would be excellent to expand existing park. Increase community space where we can meet our neighbors and enjoy green space.	Neither Hyland Hills or Adams County were interested in using this as open space.
Sharon Ramirez-Jiminez	Do not need more townhomes in the area. Plenty of vacancy and will overcrowd our neighborhood.	A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
Sierra Sanchez	Single mother of 3 and very hard to make a living as it is in federal heights.	Instead of single family homes, market rate townhomes are planned for this area which are more affordable.
	Kids are falling behind in education and need alternative stimulus. Don't need housing, need food education and recreation programs.	This a privately funded project and no amount of public funds is being taken away from schools.
	New homes are too expensive and will slowly but surely force us out.	Market rate townhomes that are more affordable than single family homes fill a need in the community.
	Need inclusive safe space for all people	We are working with Hylands Hills to improve the park amenities including a gathering space for all. We'd love the communities input as we move forward with that process
Steve Navarre	Traffic on Pecos is already terrible.	Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.
	Crime level has already increased espeially in neighborhoods across the street from Pecos as read on nextdoor. It was never like this and obvious Adam's County Sherriff is already overwhelmed.	We're sorry to hear about the increase in crime in the neighborhood.
	Already enough new housing development on the old elementary school grounds crowding the area	The higher density of townhomes take up less space than the same number of units in a single family development. This helps preserve open space.
	How about adding to the adacent Sherrelwood park instead	Neither Hyland Hills or Adams County were interested in using this as open space.

Applicant Responses to Public Comments

<p>Susan Frauenfeld</p>	<p>Changes proposed do not include enough parking. Already have overflow parking on our residential streets from other developments.</p>	<p>Each unit will have a tandem 2 car garage. 39 Off street parkingspaces are also provided for in driveway in front of most units. 22 additional guest parking spots are provided. Parking is also allowed on Pecos Street for additional guest parking. All of this well exceeds the requirement of 24 off street spaces. Any connection to Sherrelwood Park for parking has been removed.</p>
	<p>Will increase car and foot traffic on Pecos.</p>	<p>Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.</p>
	<p>Delwest is a bad actor in development. Not planning for storm drainage in other developments in Adams County, which is ruining sidewalks and public property. Bringing resale values down.</p>	<p>In Clear Lake Estates we installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban Drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is installed by Urban Drainage</p>
<p>Susan M. Woodmansee</p>	<p>Do not want zoning to change from residential.</p>	<p>The zoning being proposed (PUD) is for residential.</p>
	<p>Extremely concerned regarding increase in traffic.</p>	<p>Traffic increase is negligible. Traffic report has studied this increase which is available as part of this submittal.</p>
	<p>new townhomes being built at midtown and that is enough for this neighborhood</p>	<p>A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.</p>
	<p>The impact on local schools.</p>	<p>Its hard to predict the impact on schools since the demand for schools has beendropping in this area. Clar Lake shut down for example.</p>

Applicant Responses to Public Comments

Summary of Public Comments with Responses		01/27/2021
NAME	COMMENTS	RESPONSE
Debra Green	So much traffic trying to make a left off of Pecos.	Any additional traffic this project creates will be able to take a left off of Pecos at a stoplight. This is much safer than the entry furthur to the south.
	Please reconsider putting in those ugly town homes	The townhomes will look quite nice. Please refer to some of our other communities in Clear Lake, Berkeley Pointe and Highline Pointe
	Stupid. We have half a million dollar homes on one side. We are hardworking people deserving a beautiful neighborhood.	We consider the proposed Townhomes and already built single family homes beautiful.
	I would like the school to go in and let Del West take their greed somewhere else.	The preschool that was previously in this location could not afford to stay at that location or in business. The property was eventually sold to Delwest. There was never a plan for another school to take its place
	Oppose the Town homes	Noted
Kathy Swift	We have more "homeless people" coming into the neighborhood daily. And due to Covid, losing businesses left and right.	This is sad to here. Hopefully this community provides additional housing for those in need.
	Traffic/gunshots/deaths by homicide are rising weekly.	That is unfortunate.
	We don't want/need more population.	Every community is growing throughout greater metro Denver
	Builder has reputation for not keeping promises or finishing what they start. In it for the money.	We have a lot of finished communities that are successful. Every developer makes money on residential projects.
Leslie Blea	An amazing looking building for the area, but townhomes would ruin it. The historic building should stay please.	Unfortunately the existing building on site has been left there for years with no maintenance. There has been vandalism and theft.
	Townhomes remind me of low income housing built in the 90's	This is not low income housing. These have modern designs and will be market rate.
	North pecos is always packed	Traffic increases are marginal
	Make it look like a downtown and not a suburb anymore.	A handful of new townhomes will not make this a downtown. This area is still a suburb
Pat Greer	Before there were housing units surroundign sherrelwood park, you could see the distortion in the air from gasses and fumes. Park and round building were installed there for a purpose. To serve as a protective measure from anyone unearthing extremely toxic materials.	We have done soil tests on the proposed townhome site and have found no contaminants to date. This soils report has been included with the latest submittal. There may have been a dump site much furthur east located in the park at one point, but we do not have recorded of that at this time. Typically buildings full of children are not placed over contaminants to prevent others from digging there.
	What is the plan to mitigate health risk to the surrounding neighborhood.	If any health risks are found on the site thru testing, we will take appropriate actions.

DELWEST CORP. NEIGHBORHOOD MEETING SUMMARY

Date & Time August 20, 2019 | 5:30 – 7:30 p.m.

Location: Sherrelwood Elementary School (Westminster Public Schools), 8095 Kalamath St, Denver, CO 80221

Notice: Delwest contracted with Land Title to mail approximately 390 residents of 8.5x5.5 postcard mailers to a neighborhood mailing list provided by Greg Barnes, Adams County Planner #3. (Please see map below for coverage area.)



Summary

Delwest representatives including W. Craig Fitchett, Director of Acquisitions & Development, Melissa Hale, Resident Coordinator, Bree Neely, Executive Vice President of Marketing & Communications, and Tracy Garcia, Executive Assistant, set up the meeting in the gymnasium of the Sherrelwood Elementary School. Directional signs were hung on the school’s exterior doors.

Visual aids included several printed elevations of the proposed townhomes on tripods in a semi-circle (see attached for the elevations). Brochures of Delwest’s neighboring subdivision,

Sherrelwood Village DBA Elmwood Estates, business cards and sign-in sheets were available on two side tables. Refreshments were also served. Seating was provided around the main display area.

Throughout the event, local residents were greeted personally and invited to look at the elevations and other materials, get something to eat and drink, and sign in. Many walked in and slowly circled the elevations before asking direct questions about Delwest, the existing development at Elmwood Estates, and the plans for Elmwood North. (See below for photos.)

At 6:15 p.m., Fitchett addressed the audience with a summation of Delwest building and development experience, interest in the neighborhood and ideas about developing the plot into townhomes.

After speaking, Fitchett opened the discussion for questions and many were raised, including:

- How parking would be addressed
- How traffic on Pecos and surrounding streets would be affected
- How many residents were expected to move into the neighborhood
- What the proposed price range would be
- What the proposed timeline would look like

After discussing these questions, the meeting got slightly derailed by a woman expressing her opinions on the development with a raised voice and aggressive posturing about various societal issues in the neighborhood, including the lack of school funding, the increase in traffic, the increase in housing prices, child hunger and changing demographics, among others.

A local couple spoke up to defend themselves from her statements, which included that “the neighborhood was full,” by asking if they too had the right to a home in the neighborhood even though they had only been there for two years.

The debate between the two factions continued for a bit unabated, until Fitchett stepped in to refocus the discussion.

As the evening wore on and people felt that they had asked their questions and were relatively comfortable with Delwest and its plans, they made a point to shake hands on the way out. A group of engaged citizens also invited Delwest representatives to participate in a neighborhood Sherrelwood Park cleanup the following weekend. (See pictures below of the cleanup event).

At 7:30 p.m., Delwest shut the meeting down, escorted the remaining attendees out of the building, cleaned up the gymnasium, and concluded the event.



Westminster Public Schools

Where Education is Personal

Facility Use Contract Number: 120743

This Facility Use Contract hereby grants DelWest Development Corporation use of the following Westminster Public Schools facilities for the dates and times listed on the contract. If applicable an invoice will be provided in addition to this contract; payment is due in full five (5) business days prior to the first event date. In the event the building is not open 10 minutes after contracted start time, please call (303) 426-3274 for assistance.

Event Details

Event Name: Elmwood Estates Community Meeting
Event Location: Sherrelwood Elementary
Room(s): Gymnasium/Cafeteria
Event Dates: 8/20/19
Exclusion Dates: None
Event Times: 5:00 – 8:00 pm
Contracted Times: 4:30 – 8:30 pm
Number of Participants: 40

Event Requests

Equipment: None.
Personnel: Custodian to unlock/secure building.
Other: N/A

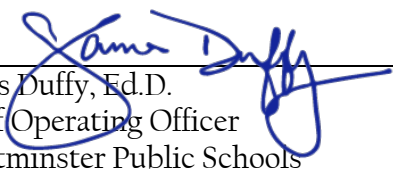
Contact Details

Name: Craig Fitchett
Phone Number: 720-708-4065
Cell Phone Number: 720-276-6098
Fax Number: 303-974-5239
Email: cfitchett@delwest.com
Address: 155 South Madison Street
Denver, CO 80209

Insurance Information

Company: Clear Blue Specialty Ins. Co.
Policy Number: AC010001185
Coverage: Commercial General Liability
Coverage Amount: \$1,000,000
Coverage Dates: 10/2/18 – 10/2/19

In consideration of permission to use facilities belonging to Westminster Public Schools, the undersigned agree to the District's governing rules and regulations as stated in Board of Education Policy FEIH and all applicable fee structures and rates.


James Duffy, Ed.D.
Chief Operating Officer
Westminster Public Schools

Individual Authorized to Sign for Party
Requesting Facility Use

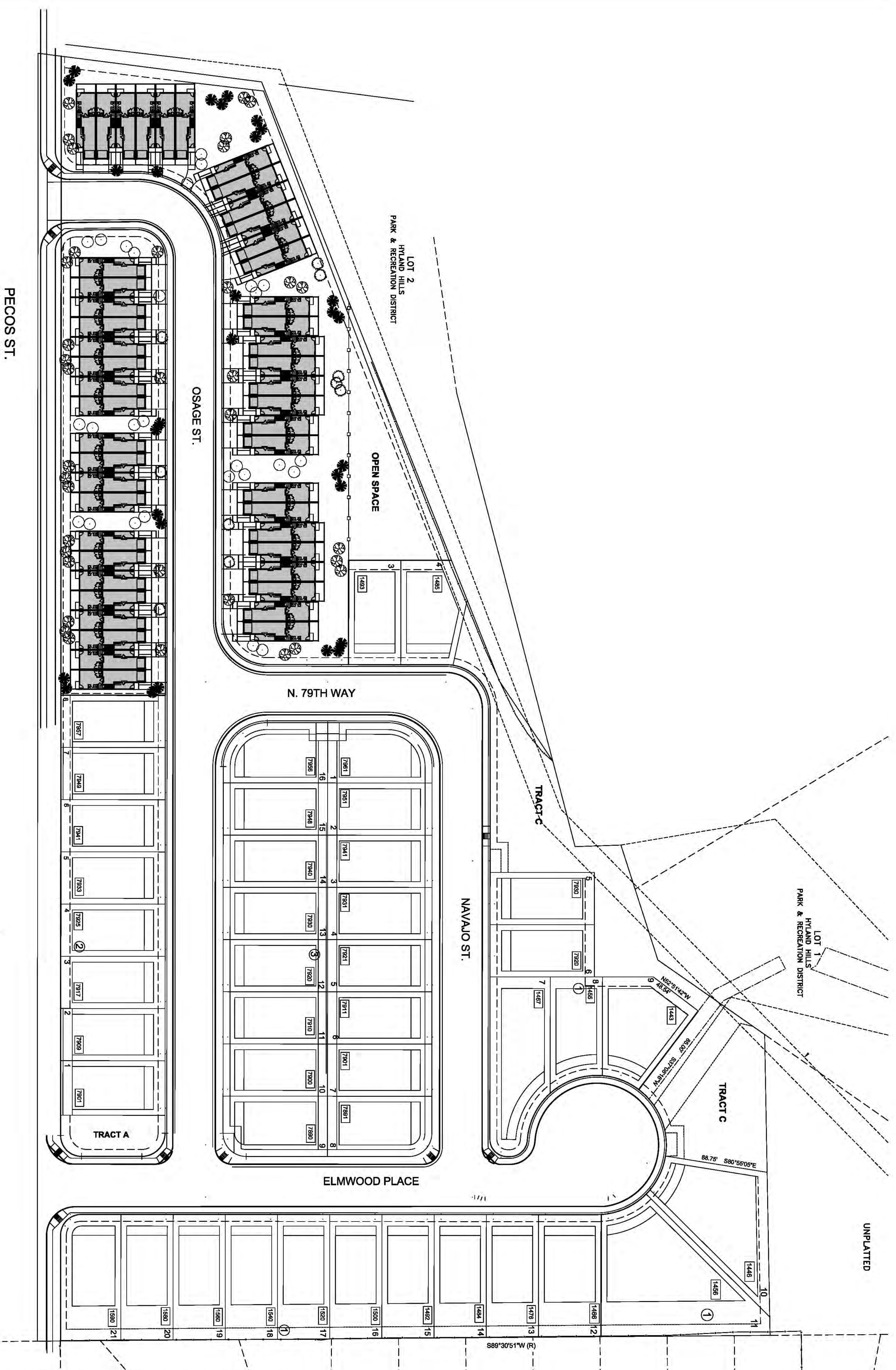
8/6/19

Date

Date

Internal Use Only:
Date:

Copy Distribution:	<input type="checkbox"/> District Operations	<input type="checkbox"/> Auxiliary Services	<input type="checkbox"/> Custodial & Event Personnel	<input type="checkbox"/> School	<input type="checkbox"/> Requestor
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PHASE TWO

48 TOWNHOME UNITS

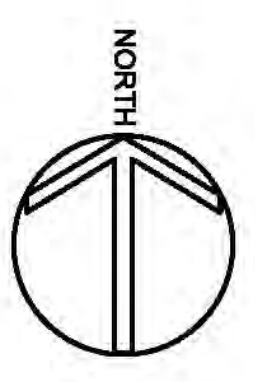
PHASE ONE

43 SINGLE FAMILY

ELMWOOD ESTATES (PHASE ONE & TWO)
PRELIMINARY DENSITY STUDY / SITE PLAN

1
C1

1"=40'-0"



PRELIMINARY - NOT FOR CONSTRUCTION !!

SHEET NO.:
AC1

SITE

DATE: 20 MAR 19
 REVISIONS:
 PRELIM REVIEW 26 MAR 19
 PRELIM REVIEW 13 AUG 19
 FILE NO.: 19009 AC1
 PROJECT NO.: 19009 / SITE

PROJECT: TOWNHOME RESIDENCES - CONCEPTUAL SITE STUDIES
 ELMWOOD ESTATES
 ADAMS COUNTY, COLORADO
 SHEET TITLE: PHASE ONE & TWO -
 OVERALL SITE PLAN



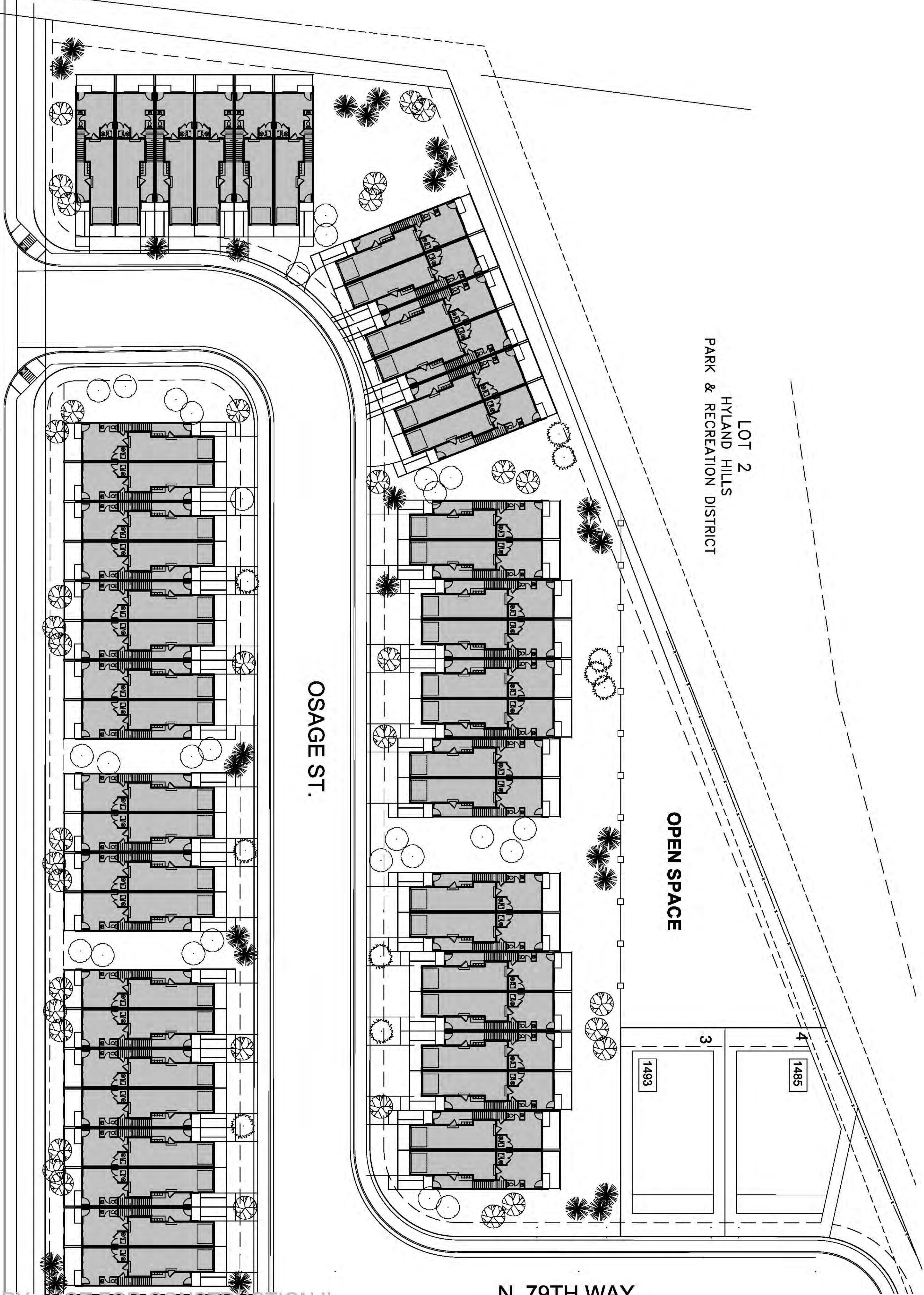
LAWRENCE
ARCHITECTURE INC.

2970 W. Long Drive, Unit B
 Littleton, Colorado 80120
 P: 303.799.4879
 F: 303.799.4890
 E: rick@lawarch.com
 W: lawarch.com

DEVELOPER / BUILDER:



Delwest Development Corp.
 155 South Madison Street, Suite 326
 Denver, Colorado 80209
 Office Phone: (720) 708.4065
 Office Fax: (303) 974.5239



PECOS ST.

OSAGE ST.

N. 79TH WAY

LOT 2
HYLAND HILLS
PARK & RECREATION DISTRICT

OPEN SPACE

1493

1485

1
C2

ELMWOOD ESTATES (PHASE TWO)
ENLARGED SITE PLAN

NORTH

PRELIMINARY - NOT FOR CONSTRUCTION !!

SHEET NO.:
AC2

SITE

DATE: 20 MAR 19
REVISIONS:
PRELIM REVIEW 26 MAR 19
PRELIM REVIEW 13 AUG 19
FILE NO.: 19009 AC2
PROJECT NO.: 19009 / SITE

PROJECT: TOWNHOME RESIDENCES - CONCEPTUAL SITE STUDIES
ELMWOOD ESTATES
ADAMS COUNTY, COLORADO
SHEET TITLE: ENLARGED SITE PLAN
PRELIMINARY - NOT FOR CONSTRUCTION !!

LAWRENCE ARCHITECTURE INC.
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Denver, Colorado 80209
Office Phone: (720) 708.4065
Office Fax: (303) 974.5239

DELWEST



1 FRONT ELEV. - UNIT 'B' (FULL BLDG.)
1/4" = 1'-0"

DELWEST
DEVELOPER / BUILDER:
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LAWRENCE ARCHITECTURE INC.
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F: 303.794.8908
W: lawarch.com

PRELIMINARY - NOT FOR CONSTRUCTION !!

PROJECT: TOWNHOME RESIDENCES - CONCEPTUAL SITE STUDIES
ELWOOD ESTATES CO.
ADAMS COUNTY, COLORADO
SHEET TITLE: PRELIMINARY BUILDING ELEVATION

DATE: 20 MAR 18
REVISIONS:
PRELIM REVIEW 26 MAR 19
PRELIM REVIEW 13 AUG 19
FILE NO.: 19009 MSTR
PROJECT NO.: 0029 / SITE

SHEET NO.: **A1**

Neighborhood Meeting Summary - 1







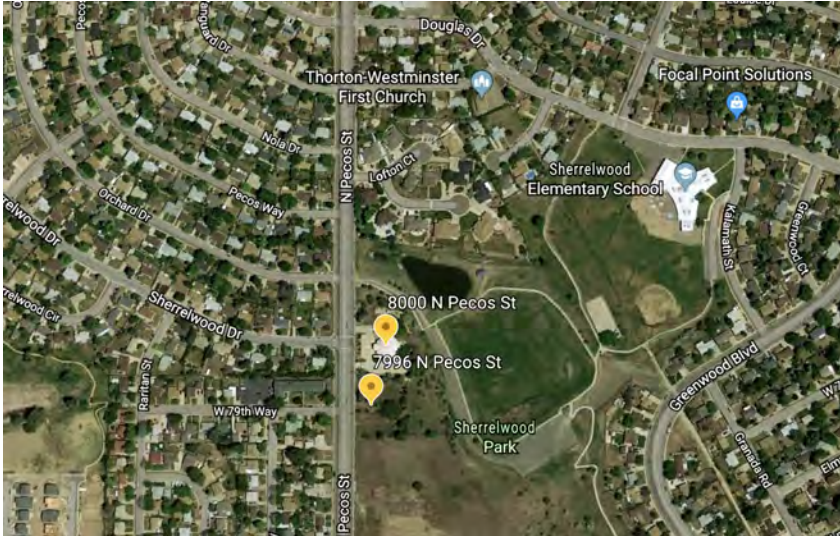
Neighborhood Meeting Summary - 1



Neighborhood Cleanup



JOIN US FOR A VIRTUAL NEIGHBORHOOD MEETING



WHEN: Tuesday, August 25, 2020, 6pm-7pm

WHERE: Via Microsoft Teams. Email sherrelwoodvillage@gmail.com for link: This presentation will also be made available for viewing following the meeting upon request.

PURPOSE: Delwest Development Corp. invites you to a virtual neighborhood meeting about the rezoning of 7996 and 8000 Pecos Streets to a PUD which allows for approximately 45 townhomes. 7996 Pecos Street is a vacant lot and 8000 Pecos Street is the vacated Children's Outreach Project property.

Thank you !

DELWESTSM
Building Community



Neighborhood Meeting Summary Elmwood Estates of Sherrelwood Village

The following is a summary of the virtual neighborhood meeting held on August 25, 2020.

The mailed notice informing residents of the neighborhood meeting was sent on August 14, 2020. Additional residents were notified via email if they had previously commented on the submittal. The notice outlined how residents could email an email address to get the virtual meeting link and other information if requested.

8 residents requested to participate in the Virtual format, and the following questions/answers were:

Marilyn Shea

- Have the Townhomes been approved yet or are they still under review?
- I would like to discourage the use of high-density residences in this area because parking in the area is already limited.
- I am not impressed with how the storm water was dealt with in Clear Water Estates (another Delwest project). It seems to be a temporary fix and not completed. I'm concerned that stormwater structures will be an issue in the Elmwood Estates, and we will have to foot the bill in the future.
- This will lead to increased traffic congestion in the area. I've seen a lot of bad traffic situations in this area and I do not believe a three-way stop will make the situation any better.

Andrew Dauernheim

- Agrees with the previous points made by Marilyn especially with her statements on the traffic standpoint.
- Concerned with the gathering area/park amenity. In the presentation it seemed like an afterthought.

Craig Fitchett of Delwest (response to Marilyn & Andrew)

- I wanted to clarify Marilyn's comment about the Clear Lake Estates. We installed a \$175k, 58" pipe that will sit there for maybe 8 years until Urban drainage can access it. Its not going to be a burden for Sherrelwood taxpayers. In the interim we've made that site plug and play as soon as the rest of the drainage facility is there.

terraccina design

Landscape Architecture & Planning

10200 E. Girard Ave, Suite A-314 Denver, CO 80231 Phone: 303.632.8867

- As far as parking, we do have a successful subdivision and I have not heard any complaints from any of the residents about parking. We are almost sold out there and we feel like we have parked this site adequately.
- The park to the east will allow for overflow parking. We will have integrated sidewalks that will allow pedestrian access from parking at the park to our neighborhood.
- One thing we were trying to do in Sherrelwood was to create an outdoor amenity and identify the park as a place to meet and create an annual outdoor activity. Whether it's a festival or music nights or something similar,
- We've partnered with Hyland Hills who owns Sherrelwood park. We are going to work with them to create the correct amenity. However, with Covid we've been thwarted in our efforts in designing the proper amenity there as of yet.
- I agree it feels as though it was a little bit of an afterthought. But we haven't truly designed that amenity space, we are working with Hyland Hills to do that. As soon as we get something, I promise it will be on the website and you will be the first to know about it.
- We look for your input to help us design what we are doing in the future and we will hopefully work with you to create community input that will help guide our design to create what you are looking for in a meeting place like that.

Kelly & Mike Adolf

- Why in our outdoor amenity space do we need to pay homage to the "bubble building"? Is there a group of people that requested homage be paid?
- I know that Covid has been an issue, but is there an expectation as to when the Children's Outreach Center ("Bubble building") will be torn down?
- Is Adams County/ Hyland Hills prepared to address the higher density/ use of the park area? Especially in terms of garbage and safety concerns?
- Will any of the existing trees be saved?

Craig Fitchett of Delwest (Kelly & Mike Adolf)

- We are working with the city council, community, and Hyland Hills to create neighborhood identity and a "rebirth" in some of these older communities and Sherrelwood Park gives us the perfect opportunity to do that.
- There is no proposal just yet for any events or festivals, but we are working on bringing an annual or quarterly event to the park.
- A million people have moved to the Denver area in the last 10 years, the metro area is under pressure for housing. We are here to create affordable housing for the growing population.
- Any opportunity for infill with a bias towards open space, density, and farer traffic conditions is a win for everyone.
- We attempted to get the COP (Children's Opportunity Project) relocated to a space to grow as a part of this project as the building did not fit their need and was in disrepair. Sadly, they had to shutter due to lack of funding.
- We've had a lot vandalism to the building and have paid at least \$6-\$7K on clean up. Anything of value has been taken by vandals and sold. Though some

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want to save and repurpose the building there isn't the budget to do that. It would take millions of dollars to get that building up to code and wouldn't be the best use of the site.

- We are going to map the site and attempt to save any trees possible, we have an green space area to the east that we should be able to keep existing trees. No promises but we will do our best to preserve as many of the existing trees as possible.

Joesph Valasquez

- Not everyone has open distain for the Children's Outreach Center ("Bubble building. I know that not everybody likes to see an old building standing and some would rather see progress than history last.
- I would like to make a counter point to Ms.Adolfs opinion: a building that is a bit beat up does not mean it's not decrepit. I've been in the building multiple times over the years and Its really sad to hear people talk about the building in a way that its disposable.
- If you are upset someone is throwing bottles, yell at them, call the cops. We have to protect our own communities and this is what this meeting is about.
- The development that went up south of Pecos had promises of a Recreation center that did not come through. How will we know you will fulfil all these promises without anything on paper?
- Also, I would like to support Marilyn's statements on traffic and density. I can't see how adding a stoplight and 40 families will relieve traffic congestion.
- I personally live in a townhome development and its packed; there are more than 3 cars per home.
- You using the city park area for overflow parking seems like you are using city tax dollars to fund extra parking for you guys which does not sound fair to me.
- You are buying/ using old school district 12 property. They would refuse to sell to anyone until you came along. I don't know if you taking the position that you are the stars of the neighborhood when the owners refused to sell it to anyone else is accurate.
- So are you really trying to leverage community space for private profits?
- 43 homes in that little area is crappy. Do you want 200 people living across from you. I've been in that area and its smaller than a city block and you are putting 40 homes.
- Finally, I am offended that you are talking like my community like some type of slum like it's a craphole. I would appreciate it if you didn't tear down the park to put another 200 people.

Craig (response to Joesph)

- Delwest has had a relationship with the previous owner, Adams county school district 50 (not district 12 as stated by Joseph), for 5 years now. We give money every time we sell a home to the Westminster foundation.
- We work with Westminster public schools. For example we used Westminster public school artwork in our new affordable project at Baker school apartments

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in the project we worked with elementary, middle, and high school students in creating the art on site.

- We asked the district to sell 3-4 years ago, and they were unable to sell it. It wasn't just us, everyone else did not get a chance to buy it. We did actively go after it but we were being told no by the district.
- We are not going to try to tear down the park we are going to enhance it with new structures. We believe the park is a fantastic community amenity.
- When you have a vacant building with weeds growing out of control, with nobody entering it and no controls over that from a security standpoint you get vandalism, breaking and entering, you get all sorts of crime. That happens because people break into a vacant building and take things from it.
- Unfortunately, COP (Children's Opportunity Project) wasn't able to stay in business and the building in the interim has been vandalized.

Joesph Valasquez

- I would like to ask how you came to own the property? I was personally interested in buying and building a single-family unit. I couldn't even get a hold of anyone to talk to me about selling it. I was told its unavailable, no one could buy the property, then all of sudden Delwest owns the property.
- You buy these properties for prime values and now you are going to make millions of dollars off of these 40 units. How does that work?

Craig Fitchett of Delwest (response to Joesph)

- We pay a lot more in property taxes.

Joesph Valasquez

- But how do you get ahead of me in purchasing this property?

Craig Fitchett of Delwest (response to Joesph)

- I don't know how that happened, but this is my job and I'm good at it. I apologize you didn't get to get an offer to the school district. I know many offers were made and we made a competitive offer.

Joesph Valasquez

- Do you know if this information is public information?

Craig Fitchett of Delwest (response to Joesph)

- I'm sure it is, I'm not sure how many offers were made.
- We don't just build single family homes; we build apartments where we bring in affordable housing. I have many housing choice vouchers for people that are unfortunately able to afford different locations throughout the city.
- Communication is the answer right now as we move forward, we would love your input. I know our intention is not to save the building, but to create community. So, help me build community by giving us your input.

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Joesph Valasquez

- How many people do you think will be living in this space once it is fully built out at 43 units?

Craig Fitchett of Delwest (response to Joesph)

- I am not totally sure, but it is close to 2.8 people per unit. The site would not be able to accommodate much more than that.

Joesph Valasquez

- I do not think it will be great to add 200 people to the community. There is no yards or place for the kids to play.

Craig Fitchett of Delwest (response to Joesph)

- I think there is a misconception that we are taking away from the park. When people say there is no place to play there is a 17AC park.
- We will try and enhance the park so we can get more utility from the park. Right now, the 17 ac will be maintained as a park as long as we know.

Sarah Garner

- My personal issue is that a development company that has only been Denver based since 1993 is going to come in and destroy one of the few nostalgic buildings in the area. I do want it known that the community doesn't feel like the "spaceship house" is a blighted building or ugly.
- The only reason it is vacant is because the Westminster School District refused to sell to a private party. I was told verbatim that they were waiting on "Developer money".
- I live across the street from the spaceship house and we keep eyes on the "bubble building" You mention its being vandalized, but I haven't seen it. All the windows are intact and there are security cameras on the outside of the building so if there are people throwing bottles at the building please call the cops and keep our neighborhood safe.
- Craig, you have a daughter from what I understand, what kind of community can our children have when every block is corner to corner with concrete and siding? They need outdoor recreation, outdoor space and parks. There are plenty of development complexes around the area
- I personally feel like you are trying to gentrify our neighborhoods with the sole intention of lining your pockets. I'm not personally comfortable with it. If you sell each unit for \$300k that would be \$14.5 million.
- I feel like you are trying to raise our property taxes and tear down our old buildings.
- As Joseph stated before, I attempted to buy the property and was told it's not a possibility, it was a commercial deal. I don't know, I just don't think its fair either.

Craig Fitchett of Delwest (response to Sarah)

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- We've been in business for a long time, 1993 seems like a long time to me. We've seen a lot of ups and downs in the building industry and we've pivoted in the last 5 years. We build affordable housing for people.
- With the average house going for \$600k we can offer housing for less than \$400k. We are going to open up opportunities for a massive supply of buyers that have nowhere to go.
- We didn't create the buyers or the traffic, but what we do is say there's a great amenity, lets take advantage of it. Let's make it better, lets make it safer and let's make this vacant land into something that will enrich lives and enrich the community.
- You bring up my daughter, she is an architectural student at CU, and she loves going on city walks with me. We really appreciate cities like NY where you can get to central park, you see these great pocket parks that are great gathering areas and a place to commune but they are surrounded by these high rises. It gives people a great way to live in the sense that they have a place to walk and gather.
- As we move forward, I really want to work with the community to create the best options for everyone.

Pat Hall (Messaged Questions/Comments)

- Listeners need to know this is a zoning change request to the County as a first effort.
- I want to know who is paying for the playground?
- No housing shortages in this neighborhood...
- Just build 4 new houses on this property.
- This is NOT blighted property and I have not heard of any vandalism...Is this a scare tactic?
- Where is this affordable housing?
- This is not NY City
- You won't be living here right?

-End of Meeting-

In attendance were Layla Rosales and Mike Weiher from Terracina Design, Craig Fitchett, Derrell Schreiner, and Bree Neely from Delwest, Alan Sielaff from Adams County, and local residents Marilyn Shea, Andrew Dauernheim, Kelly & Mike Adolf, Joseph Valasquez, Sarah Garner, and Pat Hall.

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10200 E. Girard Ave, Suite A-314 Denver, CO 80231 Phone: 303.632.8867



Request for Comments

Case Name: Sherrelwood Village Filing No. 2
Project Number: PRC2020-00010

June 12, 2020

The Adams County Planning Commission is requesting comments on the following application: **Delwest Development Corporation is proposing to construct 48 new townhomes on 2.2 acres adjacent and to the north of the Sherrelwood Village development. This includes the following applications:**

- 1.) Rezone two parcels from R-1-C to PUD.
- 2.) Preliminary Major Subdivision, and;
- 3.) Preliminary Major PUD Amendment to the Sherrelwood Village PUD to accommodate the new development into the existing PUD.

This request is located at 7996 & 8000 Pecos St. The Assessor's Parcel Numbers are 0171928400003, 0171933100009, 0171933124036, 0171933124037, 0171933124038, 0171933124039, 0171933124057, 0171933124058.

Applicant Information DELWEST DEVELOPMENT CORP
 CRAIG FITCHETT
 155 MADISON ST STE 155
 DENVER, CO 80209

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6817 by 07/03/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ASielaff@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

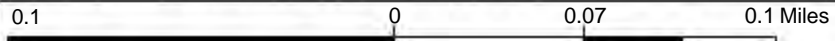
Alan Sielaff, AICP
Case Manager
Planner II



Legend

- Address
- Highways (3,000 - 5,000)
 - Interstate
 - Highway
 - Tollway
- Building
- Parcels

1: 4,595



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

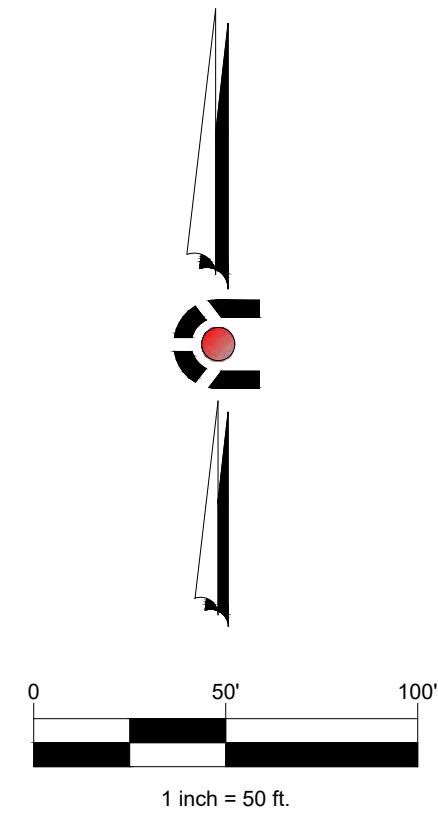
Notes
Vicinity Map

Delwest Development Corporation is proposing to amend their current Sherrelwood Village subdivision to include approximately 48 new townhomes on 2.2 Acres of additional land adjacent and to the north of the single family houses we are currently building. Delwest purchased 7996 and 8000 Pecos St for several reasons:

1. To offer a lower more “workforce” focused priced housing solution for the community than a new traditional single family home.
2. We can incorporate the traffic signal at Elmwood Drive into our street design. It improves access to the current subdivision by creating a loop, with 2 access points on Pecos St and especially enhances ingress and egress to and from southbound traffic.
3. Delwest has repurposed several Westminster Schools blighted properties. We will be demolishing a vacant, blighted building, the former Children’s Outreach Project, and building new attainable housing stock.
4. Delwest is working with Hyland Hills to bring some new improvements to Sherrelwood Park, in exchange for using offsite detention.

PRELIMINARY DEVELOPMENT PLAN 7996 & 8000 PECOS STREET

PART OF THE NORTHEAST QUARTER, SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
ADAMS COUNTY, STATE OF COLORADO
PROJECT NO.: EGR 2020-00XX



REVISIONS

Date	Description
XX/XX/2015	FIRST SUBMITTAL



**7996 & 8000 PECOS STREET
MAJOR PUD AMENDMENT
OVERALL SITE & UTILITY PLAN**

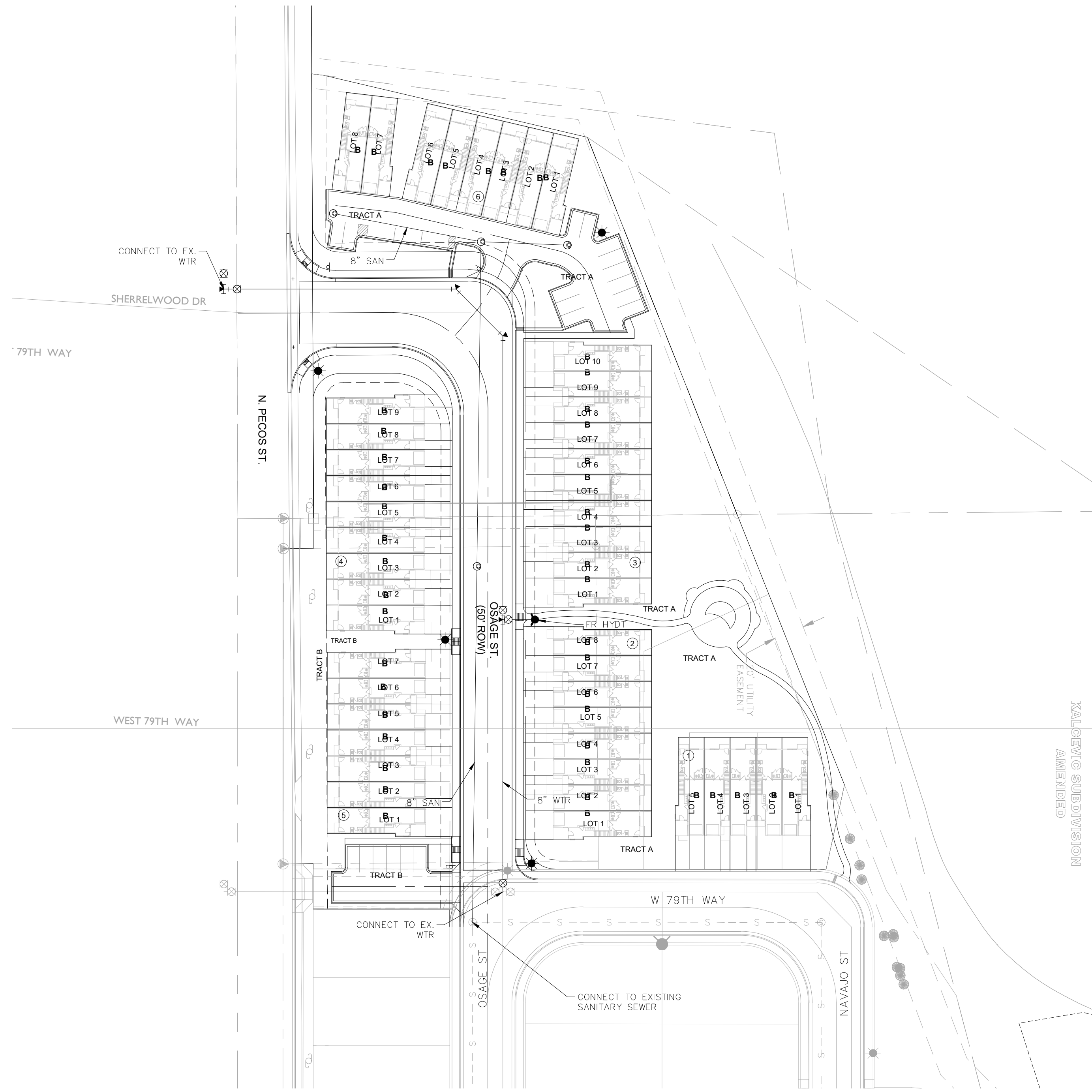
SCALE AS NOTED
DATE 03/19/2020
SHEET 4 OF 11

LEGEND, EXISTING

- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
- SET NAIL AND TAG PLS 38151
- FOUND 1.5" ALUMINUM CAP STAMPED AS SHOWN
- FOUND #4 REBAR, NO CAP
- FOUND NAIL AND BRASS TAG PLS 34579
- ⊕ FOUND CHISELED CROSS
- ⊗ DECIDUOUS TREE & DIAMETER
- FO— COMM. UTILITY MARKING
- E— ELECTRIC UTILITY MARKING
- G— GAS UTILITY MARKING
- ⊗_{GV} GAS VALVE
- OH— OVERHEAD UTILITY LINE
- ⊗ UTILITY POLE
- ⊙ LIGHT POLE
- ⊗ SANITARY SEWER MANHOLE
- W— WATER UTILITY MARKING
- ⊗ WATER METER
- ⊗_W WATER VALVE
- ⊗ FIRE HYDRANT
- ⊗ SIGN
- CLF CHAINLINK FENCE
- WF WOOD FENCE
- AOC AREA OF CONCERN

LEGEND PROPOSED

- ⊕ PROPOSED WATER
- ⊕ PROPOSED SANITARY
- ⊕ PROPOSED STORM





Public Hearing Notification and Request for Comments

Case Name:	Sherrelwood Village Flg. No. 2
Case Number:	PRC2020-00010
Planning Commission Hearing Date:	02/11/2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	03/02/2021 at 9:30 a.m.

January 21, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

- 1.) Rezone two parcels from R-1-C to PUD (Planned Unit Development), and;**
- 2.) Major Amendment to Preliminary PUD to construct 47 single family attached dwelling units north of the existing Sherrelwood Village PUD development.**

This request is located at 7996 & 8000 Pecos St. The Assessor's Parcel Numbers are 0171928400003, 0171933100009, 0171933124036, 0171933124037, 0171933124038, 0171933124039, 0171933124057, 0171933124058.

Applicant Information: DELWEST DEVELOPMENT CORP
155 MADISON ST STE 155
DENVER, CO 80209

The Adams County Planning Commission and Board of County Commissioners is requesting comments on this application. Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6817 by 02/11/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ASielaff@adcogov.org. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

A handwritten signature in blue ink that reads "Alan Sielaff". The signature is written in a cursive style.

Alan Sielaff, Planner II
asielaff@adcogov.org
720-523-6817

PUBLICATION REQUEST

Case Name: Sherrelwood Village Flg. No. 2

Case Number: PRC2020-00010

Planning Commission Hearing Date: 02/11/2021 at 6:00 p.m.

Board of County Commissioners Hearing Date: 03/02/2021 at 9:30 a.m.

Case Manager: Alan Sielaff, Planner II, asielaff@adcogov.org, 720-523-6817

Request: 1.) Rezone two parcels from R-1-C to PUD, and; 2.) Major Amendment to Preliminary PUD to construct 47 single family attached dwelling units north of the existing Sherrelwood Village PUD development.

Parcel Numbers: 0171928400003, 0171933100009, 0171933124036, 0171933124037, 0171933124038, 0171933124039, 0171933124057, 0171933124058

Address of the Request: 7996 Pecos St. & 8000 Pecos St.

Applicant: DELWEST DEVELOPMENT CORP.

Legal Description: A PARCEL OF LAND BEING TRACTS B & D, LOTS 1 THROUGH 4, BLOCK 1, AND A PORTION OF LOT 8, BLOCK 2, SHERRELWOOD VILLAGE, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 2018000075940 TOGETHER WITH THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000073502 AND THAT PARCEL OF LAND DESCRIBED IN THAT WARRANTY DEED RECORDED AT RECEPTION NO. 2019000075343, ALL IN THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 28 AND THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°30'30" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 23519" TO THE NORTHEAST CORNER OF SAID SECTION 33, BEING MONUMENTED BY A REBAR WITH A 3-1/4 INCH ALUMINUM CAP, STAMPED "PLS 7276", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO. COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 33, THENCE N 89°30'30" E, ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 50.00 FEET TO A POINT ON THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY THAT RESOLUTION RECORDED IN BOOK 3270 AT PAGE 279, SAID ADAMS COUNTY RECORDS, ALSO BEING THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT AND THE SOUTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED, RECEPTION NO. 2019000075343 AND THE POINT OF BEGINNING; THENCE N 00°14'47" W, ALONG THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY, AND THE WEST LINE OF SAID DEED, RECEPTION NO. 2019000075343, ALONG A LINE BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 28, A DISTANCE OF 293.01 FEET TO THE NORTHWEST CORNER OF SAID DEED, RECEPTION NO. 2019000075343; THENCE S 82°41'00" E, CONTINUING ALONG THE PECOS STREET ROW AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 8.10 FEET TO A POINT ON THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY AND THE WEST CORNER OF PARCEL D, AS DESCRIBED IN THAT QUIT CLAIM DEED RECORDED IN BOOK 3251 AT PAGE 924, SAID COUNTY RECORDS; THENCE ALONG THE SOUTH AND WEST LINES OF SAID PARCEL D THE FOLLOWING THREE (3) COURSES: 1. S 76°46'55" E, A DISTANCE OF 178.58 FEET; 2. S 21°38'59" E, ALONG THE EAST LINES OF SAID DEED, RECEPTION NO. 2019000075343 AND THE EAST LINE OF SAID SHERRELWOOD VILLAGE PLAT, A DISTANCE OF 459.50 FEET TO THE EAST CORNER OF LOT 4, BLOCK 1; THENCE S 12°19'21" W, ALONG THE SOUTHEAST LINE OF SAID LOT 4, BLOCK 1, A DISTANCE OF 57.53 FEET TO A POINT ON THE NORTH LINE OF WEST 79TH WAY RIGHT-OF-WAY, AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT AND A POINT OF NON-TANGENT CURVATURE; THENCE ALONG THE NORTH LINE OF THE WEST 79TH WAY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES: 1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 09°04'20" AND AN

ARC LENGTH OF 6.02 FEET, THE CHORD OF WHICH BEARS N 85°25'57" W, A DISTANCE OF 6.01 FEET; 2. N 89°58'07" W, A DISTANCE OF 204.00 FEET TO A POINT OF CURVATURE; 3. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND AN ARC LENGTH OF 59.69 FEET; THENCE N 00°01'53" E, A DISTANCE OF 11.47 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT B, SHERRELWOOD VILLAGE; THENCE ALONG THE SOUTH AND WEST LINES OF SAID TRACT B THE FOLLOWING TWO (2) COURSES: 1. N 89°58'07" W, A DISTANCE OF 90.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF SAID PECOS STREET RIGHT-OF-WAY; 2. N 00°01'53" E, ALONG SAID WEST LINE, A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED AT RECEPTION NO. 2019000073502; THENCE ALONG THE SOUTH, EAST AND NORTH LINES OF SAID DEED, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES: 1. S 89°30'30" W, ALONG A LINE BEING PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; 2. N 00°01'53" E, ALONG A LINE BEING 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 208.00 FEET TO A POINT BEING 20.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; 3. N 89°30'30" E, ALONG A LINE BEING 20.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF SAID SHERRELWOOD VILLAGE PLAT, ALSO BEING THE EAST LINE OF THE PECOS STREET RIGHT-OF-WAY AS DEDICATED BY SAID SHERRELWOOD VILLAGE PLAT, BEING 50.00 FEET EAST OF THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33; THENCE N 00°01'53" E, ALONG SAID EAST LINE OF THE PECOS STREET RIGHT-OF-WAY, BEING 50.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 33, A DISTANCE OF 20.00 FEET TO THE NORTHWEST CORNER OF SAID SHERRELWOOD VILLAGE PLAT, AND THE POINT OF BEGINNING. CONTAINING AN AREA OF 143,370 SQUARE FEET OR 3.291 ACRES, MORE OR LESS.

Virtual Meeting and Public Comment Information:

These meetings will be held virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.



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Sherrelwood Village Filing No. 2

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DENVER CO 80221-0151

MSR LLC II
1280 S PARKER RD
DENVER CO 80231-2128

PHAM DONNA HANHPHUC
7822 W 95TH DR
BROOMFIELD CO 80021-8659

PHILLIPS ALEXANDRA DANIELLE AND
PHILLIPS CONNOR KINGSBURG
7911 NAVAJO ST
DENVER CO 80221-4265

REYNOLDS KAREN E
38 W 81ST PL
DENVER CO 80221-4565

PONGPHACHANXAY VANDARA
2185 PINON CIR
ERIE CO 80516-7958

ROBINSON LANCE AND
ROBINSON GINA
1504 GREGDEN SHORES DR
STERLING IL 61081-9671

PORTUGAL VICENTE T
PO BOX 211413
DENVER CO 80221-0392

ROSALES DESIREE AND
CHAVEZ-TOLEDO RICARDO
1443 ELMWOOD PL
DENVER CO 80221-4262

POTUZAK ROGER C
3820 AMMONS ST
WHEAT RIDGE CO 80033-4436

RW BELT LLC
8460 W 13TH AVE
LAKEWOOD CO 80215-4801

PUBLIC SERVICE COMPANY
PO BOX 1979
DENVER CO 80201-1979

SALAZAR MELANO AND
SALAZAR ABELINA
6267 RALEIGH ST
ARVADA CO 80003-6745

QUIVAS 7958 LLC
PO BOX 19193
DENVER CO 80219-0193

SANGTHONGTONG KITTIKAN AND
LILLIE STELLA
1520 ELMWOOD PL
DENVER CO 80221-4263

RAMIREZ DAVID RAY
1484 ELMWOOD PL
DENVER CO 80221-4262

SCHIPANI NINA L AND BIELAWSKI ROBERT M AND
RAMONA BIELAWSKI 2019 IRREVOCABLE TRUST
2373 THORN LODGE DR

RAMIREZ JOSE AND GUZMAN MANUELA
2463 MEADOWBROOK DRIVE
DENVER CO 80221

SCHOOL DISTRICT NO.50
C/O SANDRA MCCLURE
7002 RALEIGH ST
WESTMINSTER CO 80030-5996

READY LLC
1420 ZAMIA AVE
BOULDER CO 80304-4430

SMITH MARTIN AND
SMITH FRANCESCA LUCERO
11371 W 71ST PL
ARVADA CO 80004-1343

REDFINNOW BORROWER LLC
2611 INTERNET BLVD STE 201
FRISCO TX 75034-9093

SMITH STEVE
C/O A T SMITH & CO
4425 ALLISON ST
WHEAT RIDGE CO 80033-3288

SOLIS JOSE
5480 BEACH CT
DENVER CO 80221-1626

VAN DUNG DINH AND
MACH NOAN LINH
1500 W KOKAI CIRCLE
DENVER CO 80221

STUDZINSKI CALVIN J AND
STUDZINSKI ANDREA J
7956 OSAGE ST
DENVER CO 80221-4267

VAN HORNE ROBERT
10920 PEARL WAY
NORTHGLENN CO 80233-3372

TALCOTT LORENZO AND
SHIPPLEY TAMMY
1446 ELMWOOD PL
DENVER CO 80221-4262

VIGIL DANIEL A
2550 WINDING RIVER DR UNIT O4
BROOMFIELD CO 80023-6549

TAMEZ MICHAEL J
1500 ELMWOOD PL
DENVER CO 80221-4263

VILLALOBOS DAVID AND VILLALOBOS OLGA
6670 MARIPOSA ST
DENVER CO 80221-2684

THOMPSON KELSEY MORGAN
7931 NAVAJO ST
DENVER CO 80221-4265

VILLALOBOS ERNESTO
1000 ABERNATHY RD NE BLDG 400 SUITE 200
ATLANTA GA 30328

TRANCHINA ROBERT J AND
CHRISTENSEN CHERI S
1789 EAST 83RD DRIVE
DENVER CO 80229

VINCENT MILDRED H LIVING TRUST THE
2041 SHERRELWOOD DR
DENVER CO 80221-4657

TRUJILLO CANDACE
1476 ELMWOOD PL
DENVER CO 80221-4262

VOSS JANE F
PO BOX 116
STRATTON NE 69043-0116

TRUJILLO MIKE A REVOCABLE LIVING TRUST &
TRUJILLO ISABEL R REVOCABLE LIVING TRUST
10656 URA LN
DENVER CO 80234-3660

WELTON MORTGAGE COMPANY
6045 W MANSFIELD AVE UNIT 245
DENVER CO 80235-3019

VALLEJOS FELIMON EDWARD AND
VALLEJOS BARBARA ANN
7930 NAVAJO ST
DENVER CO 80221-4265

WENDEL JOHN L
7968 QUIVAS STREET
DENVER CO 80221

VALLEY VISTA DEVELOPMENT CO

WENDOLYN L DAUENBAUGH IRREVOCABLE TRUST
5115 LAUREL VALLEY CIR
ELIZABETH CO 80107-9116

WESTERN HILLS UTILITY CO
NEED ADDRESS

ALLEN LORI K AND
ALLEN JAMES L
OR CURRENT RESIDENT
1520 W 78TH CIR
DENVER CO 80221-3996

1407 EMBER ST LLC
OR CURRENT RESIDENT
1407 EMBER ST
DENVER CO 80221-3749

ALMANZA MARIA LOURDES
OR CURRENT RESIDENT
1430 W 78TH CIRCLE
DENVER CO 80221

1781 PECOS WAY REALTY TRUST
OR CURRENT RESIDENT
1781 PECOS WAY
DENVER CO 80221-7716

ALVARADO RUDY JR AND
ALVARADO DORINE MARIE
OR CURRENT RESIDENT
1309 DOUGLAS DR
DENVER CO 80221-3915

ADAME JOLENE A AND
ADAME ALEXANDER S
OR CURRENT RESIDENT
8137 VANGUARD DR
DENVER CO 80221-4651

ALVAREZ JORGE ALBERTO
OR CURRENT RESIDENT
7873 GREENWOOD BLVD
DENVER CO 80221

ADOLF KELLIE J W AND
HAZZARD MICHAEL R
OR CURRENT RESIDENT
1480 KOKAI CIR
DENVER CO 80221-3998

AM DBEIT DINEEZ
OR CURRENT RESIDENT
1223 EBONY ST
DENVER CO 80221-3798

AGUIRRE JESS B AND
AGUIRRE VIRGINIA
OR CURRENT RESIDENT
920 W 79TH PL
DENVER CO 80221-3751

ANAYA DAVID P AND
ANAYA BARBARA ANN
OR CURRENT RESIDENT
1265 ELDER ST
DENVER CO 80221-8310

ALBAWWAB RAMY
OR CURRENT RESIDENT
1660 PECOS WAY
DENVER CO 80221

ANDERSON ERIC M
OR CURRENT RESIDENT
1129 DOUGLAS DR
DENVER CO 80221-3912

ALCALA JOSE G
OR CURRENT RESIDENT
7787 QUIVAS ST
DENVER CO 80221

ANDERSON MICHAEL L
OR CURRENT RESIDENT
7893 GREENWOOD BLVD
DENVER CO 80221-3770

ALENGI RUTH L
OR CURRENT RESIDENT
1243 EBONY ST
DENVER CO 80221-3798

ANDRADE MENDOZA ALEJANDRO AND
ANDRADE MENDOZA MAYRA
OR CURRENT RESIDENT
1681 SHERRELWOOD DR
DENVER CO 80221-4625

ALIRE KISHA M AND
ALIRE BRYAN A
OR CURRENT RESIDENT
7855 ELDER CIR
DENVER CO 80221-4026

ANDRE JEFFREY A AND
ANDRE AMELIA K
OR CURRENT RESIDENT
1310 MARIGOLD DR
DENVER CO 80221-3964

ANTILLON BIENVENIDO MORALES
OR CURRENT RESIDENT
1340 W 78TH CIR
DENVER CO 80221-3992

ARZOLA MIGUEL ANGEL AND
ARZOLA LUZ DEL CARMEN
OR CURRENT RESIDENT
1061 MARIGOLD DR
DENVER CO 80221-3925

APRICIO KARL AND
APRICIO MARIA MARTINEZ DE
OR CURRENT RESIDENT
8009 GREENWOOD BLVD
DENVER CO 80221-3740

AVILA JOSE A AND AVILA ALICIA
OR CURRENT RESIDENT
1149 DOUGLAS DR
DENVER CO 80221-3912

ARAGON CARMEN AND
GRUBBS CYNTHIA
OR CURRENT RESIDENT
7880 GREENWOOD BLVD
DENVER CO 80221-3769

AVILA JOSE CARLOS BARRANCO AND
WORSHAM GISELLA
OR CURRENT RESIDENT
7981 GRANADA RD
DENVER CO 80221-3764

ARAGON GREGORY J
OR CURRENT RESIDENT
1685 ELMWOOD LANE
DENVER CO 80221

AVITIA ALEJANDRO
OR CURRENT RESIDENT
7928 ELMWOOD DR
DENVER CO 80221-3755

ARAGON LEROY AND
ARAGON VIOLA M
OR CURRENT RESIDENT
7906 ELMWOOD LN
DENVER CO 80221-3763

AWALT DONALD G
OR CURRENT RESIDENT
8241 LOUISE DR
DENVER CO 80221-3965

ARAGON MISTY AND
ARAGON CLIFFORD
OR CURRENT RESIDENT
8271 LOUISE DR
DENVER CO 80221-3965

BAILIE LISA S
OR CURRENT RESIDENT
1760 PECOS WAY
DENVER CO 80221-7714

AREVALO ROMERO GREGORIO
OR CURRENT RESIDENT
7760 PECOS ST
DENVER CO 80221-3456

BALES RICHARD G
OR CURRENT RESIDENT
8221 LOUISE DR
DENVER CO 80221-3919

ARMSTRONG DENISE M
OR CURRENT RESIDENT
1380 W 78TH CIR
DENVER CO 80221

BALL MICHAEL G AND
BALL LORETTA R
OR CURRENT RESIDENT
8212 LOUISE DR
DENVER CO 80221-3920

ARNDT JENNIFER A
OR CURRENT RESIDENT
1244 EMBER ST
DENVER CO 80221-3748

BANUELOS LUIS MIGUEL
OR CURRENT RESIDENT
1301 MARIGOLD DR
DENVER CO 80221

ARNOLD BENJAMIN GORDON AND
ARNOLD ABBY IRENE
OR CURRENT RESIDENT
8102 KALAMATH ST
DENVER CO 80221-3942

BANUELOS SERGIO
OR CURRENT RESIDENT
1049 DOUGLAS DR
DENVER CO 80221-3933

BARBA ANA BERTHA
OR CURRENT RESIDENT
7904 RARITAN STREET
DENVER CO 80211

BENNINGHOVEN MARINA DIANE
OR CURRENT RESIDENT
7887 QUIVAS WAY
THORNTON CO 80221-3836

BARR KEN M AND
BARR DONNA D
OR CURRENT RESIDENT
8120 ALBERT CT
DENVER CO 80221

BERGLUND PATRICIA J LIVING TRUST THE
OR CURRENT RESIDENT
1764 ELMWOOD LN
DENVER CO 80221-4279

BARRON MARIA ISABEL
OR CURRENT RESIDENT
1341 MARIPOSA DR
DENVER CO 80221-3408

BERLIN ROBERT A AND
BERLIN JANE L
OR CURRENT RESIDENT
1263 EBONY ST
DENVER CO 80221-3798

BEACH ANDREW AND
BEACH BREANNA
OR CURRENT RESIDENT
1641 ORCHARD DR
DENVER CO 80221-4659

BETANCOURT GRACE
OR CURRENT RESIDENT
7906 CYD DR
DENVER CO 80221-3874

BEALL JOHN ROBERT AND
BEALL ANITA JANE
OR CURRENT RESIDENT
7867 QUIVAS WAY
DENVER CO 80221-3836

BLANCETT LINDA J AND
BLANCETT JOHN C
OR CURRENT RESIDENT
921 W 79TH PL
DENVER CO 80221

BEATON ALICIA
OR CURRENT RESIDENT
1121 MARIGOLD DR
DENVER CO 80221-3985

BLEA DOLORES
OR CURRENT RESIDENT
7911 GRANADA RD
DENVER CO 80221-3764

BECK RON WARREN AND
BECK ELIZABETH ANN
OR CURRENT RESIDENT
8217 LOUISE DR
DENVER CO 80221-3919

BOBKA ELVIRA
OR CURRENT RESIDENT
1183 EBONY ST
DENVER CO 80221-3709

BEER TERESA L
OR CURRENT RESIDENT
8156 NOLA DR
DENVER CO 80221-4616

BOWEN NOBLE S AND
BOWEN GRACE E
OR CURRENT RESIDENT
1282 LIPAN DR
DENVER CO 80221-3419

BELMONTES-PEREZ VICTOR MANUEL AND
BELO LARRY JR
OR CURRENT RESIDENT
1068 DOUGLAS DR
DENVER CO 80221-3934

BRADLEY MARY ANN
OR CURRENT RESIDENT
1240 MARIGOLD DR
DENVER CO 80221-3989

BENDT JACK W AND
BENDT KAREN S
OR CURRENT RESIDENT
7957 QUIVAS WAY
DENVER CO 80221-3838

BRAILEY EVERETT D AND BRAILEY VIRGENA MARIE
LOHR KIMBERLY AND LOHR KEITH
OR CURRENT RESIDENT
7956 CYD DR
DENVER CO 80221-3874

BREEDEN GLORIA AND
BREEDEN GENE
OR CURRENT RESIDENT
969 DOUGLAS DR
DENVER CO 80221-3931

BURCIAGA SERGIO AND
RODRIGUEZ MELISA M
OR CURRENT RESIDENT
7943 GREENWOOD BLVD
DENVER CO 80221-3736

BREWER TWILA R AND
WOLFE NICOLE
OR CURRENT RESIDENT
1780 ORCHARD DR
DENVER CO 80221-7727

BUSCH JUDITH M
OR CURRENT RESIDENT
980 MARIGOLD DR
DENVER CO 80221-3924

BREZALL PETE J AND
BREZALL VALERIE R
OR CURRENT RESIDENT
7977 QUIVAS WAY
DENVER CO 80221-3838

BUSTILLOS LUIS CARLOS
OR CURRENT RESIDENT
1455 KOKAI CIR
DENVER CO 80221-3998

BRIESKE ALEXANDRA AND
BRIESKE JEREMY
OR CURRENT RESIDENT
1423 LIPAN DR
DENVER CO 80221-3458

BYNUM PAUL/MCKINSTRY STEPHANIE AND
GODBAY BENJAMIN
OR CURRENT RESIDENT
8145 NOLA DRIVE
DENVER CO 80221

BROCKWAY KAITLIN
OR CURRENT RESIDENT
8072 GREENWOOD BLVD
DENVER CO 80221-3768

CALLAHAN HEWITT COLLEEN M
OR CURRENT RESIDENT
1440 W 78TH CIR
DENVER CO 80221-3994

BRUEGGEMANN CLETUS A AND SUSAN E
OR CURRENT RESIDENT
1449 DOUGLAS DR
DENVER CO 80221-3197

CAMPBELL SUSAN
OR CURRENT RESIDENT
1620 SHERRELWOOD DR
DENVER CO 80221-4626

BRUNEMEIER KENNETH E AND
BRUNEMEIER JEANIE E
OR CURRENT RESIDENT
1801 ORCHARD DR
DENVER CO 80221-4663

CANINO FRANK J AND
CANINO REGINA L
OR CURRENT RESIDENT
8160 ALBERT CT
DENVER CO 80221-3907

BRYAN BEN TURVIN JR AND
BRYAN MARY L
OR CURRENT RESIDENT
8012 GREENWOOD BLVD
DENVER CO 80221-3745

CANINO RUSSELL J
OR CURRENT RESIDENT
1000 W 79TH PL
DENVER CO 80221-3753

BUFORD KRISTY T AND
BUFORD NEAL H/RAMONA C
OR CURRENT RESIDENT
1324 EMBER ST
DENVER CO 80221

CANTRELL CLAYTON T AND
CANTRELL MELISSA H
OR CURRENT RESIDENT
8070 GREENWOOD CT
DENVER CO 80221-3938

BURANDT MATTHEW
OR CURRENT RESIDENT
1247 EMBER ST
DENVER CO 80221-3747

CAO HUNG VAN AND
CAO LUZ CHRISTINA
OR CURRENT RESIDENT
1250 W 78TH CIR
DENVER CO 80221

CARD DAVID KIRK AND
CARD CAROL ANN
OR CURRENT RESIDENT
1088 DOUGLAS DR
DENVER CO 80221-3934

CARVER WILLIAM R 1/4 INT ET AL
OR CURRENT RESIDENT
7874 RARITAN ST
DENVER CO 80221-3841

CARDONA JOSE FRANCISCO AND
BECERRA SANDRA LEAL
OR CURRENT RESIDENT
7927 QUIVAS WAY
DENVER CO 80221-3838

CASILLAS JORGE ALBERTO
OR CURRENT RESIDENT
1169 DOUGLAS DR
DENVER CO 80221-3912

CARGAL BOBBIE E AND
CARGAL PEGGY J
OR CURRENT RESIDENT
8051 GREENWOOD CT
DENVER CO 80221-3937

CASILLAS-SAUCEDO JUAN M AND
OR CURRENT RESIDENT
8116 NOLA DR
DENVER CO 80221-4616

CARRANCO DONALD G AND
CARRANCO BARBARA J
OR CURRENT RESIDENT
1435 W 78TH CIR
DENVER CO 80221-3995

CASTELLANOS JUAN L JR AND
CASTELLANOS ESTHER L
OR CURRENT RESIDENT
8151 PECOS ST
DENVER CO 80221-3953

CARRANCO NICK E AND
CARRANCO GLORIA
OR CURRENT RESIDENT
1661 PECOS WAY
DENVER CO 80221-4619

CASTILLO ANGELICA M
OR CURRENT RESIDENT
1437 W 81ST PL
DENVER CO 80221-3901

CARRASCO MARISSA L AND
ANDREW ROBERT E
OR CURRENT RESIDENT
1285 ELDER ST
DENVER CO 80221-8310

CASTORENA JAVIER
OR CURRENT RESIDENT
7885 CYD DR
DENVER CO 80221-3834

CARRILLO DOLORES C
OR CURRENT RESIDENT
1486 ELMWOOD LN
DENVER CO 80221-8314

CERVANTES JESUS ANTONIO CERVANTES
OR CURRENT RESIDENT
7871 GRANADA RD
DENVER CO 80221-3757

CARRILLO MARIO M AND
CARRILLO JESSICA A
OR CURRENT RESIDENT
1490 KOKAI CIR
DENVER CO 80221-3998

CERVANTES JOSE
OR CURRENT RESIDENT
1347 EMBER ST
DENVER CO 80221

CARROLL LEANNE Y AND
MUCHHOWSKI EDMUND
OR CURRENT RESIDENT
7780 GREENWOOD BLVD
DENVER CO 80221-3735

CERVANTES JUAN A
OR CURRENT RESIDENT
7789 PECOS ST
DENVER CO 80221

CARTER ALAN E AND
CARTER MARY J
OR CURRENT RESIDENT
8056 GREENWOOD BLVD
DENVER CO 80221-3745

CERVANTES ROBBIE
OR CURRENT RESIDENT
1229 DOUGLAS DR
DENVER CO 80221-3983

CHAVEZ ANA DEQUINTANA
OR CURRENT RESIDENT
1081 W 79TH PL
WESTMINSTER CO 80221-3752

CLAVERS STEPHEN J
OR CURRENT RESIDENT
7949 PECOS ST
DENVER CO 80221-3930

CHAVEZ LINDA L
OR CURRENT RESIDENT
8002 GREENWOOD BLVD
DENVER CO 80221-3745

CLOUSE ROBERTA
OR CURRENT RESIDENT
7941 GRANADA RD
DENVER CO 80221-3764

CHEA CHARLES M JR AND
DIAZ MARRISSA A
OR CURRENT RESIDENT
8100 GREENWOOD CT
DENVER CO 80221-3938

COEN TROY W AND
COEN DIANN J
OR CURRENT RESIDENT
7762 OSAGE ST
DENVER CO 80221-3451

CHILDERS CATHERINE-ANNE
GERMAINE JONI MARIE
OR CURRENT RESIDENT
1245 ELDER ST
DENVER CO 80221-8310

CONTRERAS LEONARDO
OR CURRENT RESIDENT
1510 W 78TH CIRCLE
DENVER CO 80221

CHOQUETTE STEVEN R
OR CURRENT RESIDENT
7870 GRANADA RD
DENVER CO 80221-3758

CONTRERAZ CLARENCE L
OR CURRENT RESIDENT
7790 GREENWOOD BLVD
DENVER CO 80221-3735

CISNEROS ANTONIO B AND
GONZALES RACHEL M
OR CURRENT RESIDENT
1081 MARIGOLD DR
DENVER CO 80221

COOPER TIMOTHY M
OR CURRENT RESIDENT
7797 QUIVAS ST
DENVER CO 80221-4227

CISNEROS DENISSE GUILLEN
OR CURRENT RESIDENT
1760 ORCHARD DR
DENVER CO 80221-7727

CORAY STEPHANIE AND
CORAY NATHANIEL KENDALL
OR CURRENT RESIDENT
7778 QUIVAS ST
DENVER CO 80221-4228

CLARK ANNA M
OR CURRENT RESIDENT
1460 W 78TH CIR
DENVER CO 80221-3994

CORNEJO MAGDALENE H
OR CURRENT RESIDENT
1525 W 78TH CIR
DENVER CO 80221-3997

CLARKE LETHA J
OR CURRENT RESIDENT
8201 LOUISE DR
DENVER CO 80221-3919

CORRAL JULIO C AND
CORRAL HEATHER K
OR CURRENT RESIDENT
8206 ADAMS WAY
DENVER CO 80221-3904

CLAUSS GREGORY L AND
SALAZAR DEBORAH F
OR CURRENT RESIDENT
1680 ORCHARD DR
DENVER CO 80221-4660

CORREA CARLOS G
OR CURRENT RESIDENT
1343 LIPAN DR
DENVER CO 80221-3458

COSTON MONTY R
OR CURRENT RESIDENT
1740 SHERRELWOOD DR
DENVER CO 80221-7722

DE VERA ALEXIES G
OR CURRENT RESIDENT
8164 VANGUARD DR
DENVER CO 80221-4652

COTTRELL MILTON L/BETTY J AS TRUSTEES
OF THE COTTRELL FAMILY TRUST THE
OR CURRENT RESIDENT
1741 PECOS WAY
DENVER CO 80221-7716

DEANDA ALAN L AND
DEANDA DOROTHY LORRAINE
OR CURRENT RESIDENT
1366 ELMWOOD LN
DENVER CO 80221-3767

COZAD VERNON L AND
COZAD MARLENE
OR CURRENT RESIDENT
7900 GREENWOOD BLVD
DENVER CO 80221-3739

DEPRIEST ALAN
OR CURRENT RESIDENT
1001 W 79TH PLACE
DENVER CO 80221

DALAL SHIYANI AND
DALAL SAMAY
OR CURRENT RESIDENT
1225 ELDER ST
DENVER CO 80221-8310

DIAZ ANTONIO R
OR CURRENT RESIDENT
8259 CHARLES WAY
DENVER CO 80221-3908

DALE DAVID AND
DALE ALLYSON
OR CURRENT RESIDENT
7928 QUIVAS WAY
DENVER CO 80221-3839

DODGE KENDRA B AND
DODGE CLIFTON G
OR CURRENT RESIDENT
929 DOUGLAS DR
DENVER CO 80221-3931

DALEY BRETT JARRYD
OR CURRENT RESIDENT
1080 MARIGOLD DR
DENVER CO 80221-3926

DOMINGGUEZ FRANCISCO G UND 90% INT AND
ARMIJO MONICA M UND 10% INT
OR CURRENT RESIDENT
1547 W 81ST PL
DENVER CO 80221-3901

DALLAS ELAINE M TRUST THE
OR CURRENT RESIDENT
7798 QUIVAS ST
DENVER CO 80221-4228

DOMINGUEZ LARRY D AND
TAFOYA-DOMINGUEZ BEVERLY J
OR CURRENT RESIDENT
8213 LOUISE DR
DENVER CO 80221-3919

DAM CATHERINE M
OR CURRENT RESIDENT
7783 NAVAJO ST
DENVER CO 80221-3426

DOMINGUEZ RICARDO R JR AND
DOMINGUEZ YOLANDA N
OR CURRENT RESIDENT
8125 NOLA DR
DENVER CO 80221-4615

DAY RONALD B
OR CURRENT RESIDENT
7869 PECOS STREET
DENVER CO 80221

DONATO GRACIELA AND
SANTOS JAZMIN
OR CURRENT RESIDENT
7890 GRANADA RD
DENVER CO 80221-3758

DAY TRAVIS AND
WATSON LINDSAY
OR CURRENT RESIDENT
1545 W 78TH CIR
DENVER CO 80221-3997

DRAPEAU MATTHEW R
OR CURRENT RESIDENT
8228 LOUISE DR
DENVER CO 80221

DUDLEY GLORIA F
OR CURRENT RESIDENT
8249 CHARLES WAY
DENVER CO 80221-3908

ESPARZA CASTRO JESUS MANUEL
OR CURRENT RESIDENT
1761 PECOS WAY
DENVER CO 80221-7716

DUFFY ANTHONY C
OR CURRENT RESIDENT
7851 GRANADA RD
DENVER CO 80221-3757

ESPINOZA BRITTANY C AND
DURAN ANTHONY M
OR CURRENT RESIDENT
1001 MARIGOLD DR
DENVER CO 80221-3925

DUNN KAREN H LIVING TRUST
OR CURRENT RESIDENT
1800 ORCHARD DR
DENVER CO 80221-4664

ESPINOZA JOHN B AND
ESPINOZA FRANCES I
OR CURRENT RESIDENT
1665 ELMWOOD LN
DENVER CO 80221-4278

DURAN FLOYD LEROY AND CHERYL M
OR CURRENT RESIDENT
1761 W 79TH WAY
DENVER CO 80221-3828

ESSLER STEPHEN E AND
ESSLER BEVERLY L
OR CURRENT RESIDENT
8032 GREENWOOD BLVD
DENVER CO 80221-3745

EACHEVERRIA MELBA I MEJIA AND
MULUL RONALDO MUNOZ
OR CURRENT RESIDENT
7894 RARITAN ST
DENVER CO 80221-3841

FEDERICO LOUIS J
OR CURRENT RESIDENT
7886 CYD DR
DENVER CO 80221-3835

EISCHEID MARY LOUISE
OR CURRENT RESIDENT
7880 GRANADA RD
DENVER CO 80221

FELPERIN AMY AND
FELPERIN DAWN
OR CURRENT RESIDENT
7791 OSAGE ST
DENVER CO 80221-3450

ELLIS ERIC H AND
ELLIS LAURA L A
OR CURRENT RESIDENT
1460 MARIGOLD DR
DENVER CO 80221-3936

FENNINGTON STEPHEN AND
FENNINGTON ALAINA M
OR CURRENT RESIDENT
8112 KALAMATH ST
DENVER CO 80221-3942

ELLSWORTH ISAAC A
OR CURRENT RESIDENT
7772 OSAGE STREET
DENVER CO 80221

FERARESE JANINE S
OR CURRENT RESIDENT
1760 SHERRELWOOD DR
DENVER CO 80221-7722

ENGLE JEFF R
OR CURRENT RESIDENT
7977 GRANADA RD
DENVER CO 80221-3764

FERGUSON JOSH E AND
FERGUSON ELIZABETH K
OR CURRENT RESIDENT
7905 CYD DR
DENVER CO 80221-3834

ESCALERA CORNELIO AND
ESCALERA ANNAMARIE
OR CURRENT RESIDENT
8174 VANGUARD DR
DENVER CO 80221-4652

FERNANDEZ RICHARD D AND
FERNANDEZ ANNABELLE
OR CURRENT RESIDENT
8090 GREENWOOD CT
DENVER CO 80221-3938

FERNANDEZ SHAWN D
OR CURRENT RESIDENT
8080 GREENWOOD CT
DENVER CO 80221-3938

GARCIA CLAYTON AND
GARCIA HOPE L
OR CURRENT RESIDENT
1740 PECOS WAY
DENVER CO 80221-7714

FICHTER SCOTT E AND
FICHTER DENISE L
OR CURRENT RESIDENT
1466 ELMWOOD LN
DENVER CO 80221-8314

GARCIA MARIA J AND
ST JAMES STEVEN
OR CURRENT RESIDENT
7917 ELMWOOD LN
DENVER CO 80221-3762

FIRST CHURCH OF CHRIST SCIENTIST
THORNTON/WESTMINSTER
OR CURRENT RESIDENT
1436 W 81ST PL
DENVER CO 80221

GARCIA RAMIREZ JUAN
OR CURRENT RESIDENT
1526 W 81ST PLACE
DENVER CO 80221

FISER RYAN AND
LUCAS KELLY L
OR CURRENT RESIDENT
1527 W 81ST PL
DENVER CO 80221-3901

GARCIA ROBLES MANUEL AND
GARCIA ANA MARIA
OR CURRENT RESIDENT
1280 MARIGOLD DR
DENVER CO 80221-3989

FLEISCHAUER WAYNE A AND
FLEISCHAUER MARILYN R
OR CURRENT RESIDENT
8119 NOLA DR
DENVER CO 80221-4615

GARCIA SHERRY
OR CURRENT RESIDENT
1021 W 79TH PL
DENVER CO 80221-3752

FOWLER DONNA L
OR CURRENT RESIDENT
1361 MARIGOLD DR
DENVER CO 80221-3935

GARCIA VIRGINIA
OR CURRENT RESIDENT
1325 ELDER ST
DENVER CO 80221-3743

FREEZE V EDGAR WILSON
OR CURRENT RESIDENT
7924 RARITAN STREET
DENVER CO 80221

GAWITH ROBERT D
OR CURRENT RESIDENT
8023 GREENWOOD BLVD
DENVER CO 80221-3740

FRICK TODD R AND
FRICK JANIS K
OR CURRENT RESIDENT
1121 ELMWOOD LN
DENVER CO 80221-3761

GERISH SYLVAN PATRICIA AND
GERISH EVAN MCPHEE
OR CURRENT RESIDENT
7856 CYD DR
DENVER CO 80221-3835

GALICIA CONSUELO
OR CURRENT RESIDENT
7780 PECOS ST
DENVER CO 80221-3456

GILES MATTHEW P
OR CURRENT RESIDENT
7879 PECOS STREET
DENVER CO 80221

GARCIA ADAM
OR CURRENT RESIDENT
8216 LOUISE DR
DENVER CO 80221-3920

GILMORE ROBERT D AND
GILMORE SHERRY L
OR CURRENT RESIDENT
1029 DOUGLAS DR
DENVER CO 80221-3933

GIRON VINCE J AND DANELLE KAY
OR CURRENT RESIDENT
8052 GREENWOOD BLVD
DENVER CO 80221-3745

GONZALES RUPERT B.
OR CURRENT RESIDENT
7929 PECOS ST
DENVER CO 80221-3930

GLASMANN MURRY E
OR CURRENT RESIDENT
1506 W 81ST PL
DENVER CO 80221-3902

GONZALES-CASTILLO ELEAZAR AND
GONZALEZ JESSICA
OR CURRENT RESIDENT
1365 W 78TH CIRCLE
DENVER CO 80221

GLOVER AUDRA
DOVE SEAN
OR CURRENT RESIDENT
8237 LOUISE DR
DENVER CO 80221-3919

GONZALEZ JOSE AND
GONZALEZ PHYLLIS
OR CURRENT RESIDENT
7934 RARITAN ST
DENVER CO 80221-3841

GO SHERWIN L AND
GO DEBORAH R
OR CURRENT RESIDENT
1060 W 79TH PL
DENVER CO 80221-3753

GONZALEZ RAFAEL/RAQUEL AND
ESPARZA IRENE
OR CURRENT RESIDENT
1620 PECOS WAY
DENVER CO 80221

GOMEZ ANTONIA
OR CURRENT RESIDENT
8261 LOUISE DRIVE
DENVER CO 80221

GRAHAM CAMERON T
OR CURRENT RESIDENT
1508 DOUGLAS DR
DENVER CO 80221-3918

GOMEZ LEROY T AND
ANGLO LIGAYA P
OR CURRENT RESIDENT
7843 GREENWOOD BLVD
DENVER CO 80221-3729

GRANDT KENNETH W
OR CURRENT RESIDENT
1061 W 79TH PLACE
DENVER CO 80221

GONZALES BARBARA CLARA
OR CURRENT RESIDENT
1262 LIPAN DR
DENVER CO 80221-3419

GRAY CARSON DAVID
OR CURRENT RESIDENT
1465 W 78TH CIR
DENVER CO 80221-3995

GONZALES EDWARD L
OR CURRENT RESIDENT
8005 GREENWOOD BLVD
DENVER CO 80221-3740

GRAY DEBORAH MARIE AND
GRAY JIMMY
OR CURRENT RESIDENT
1342 LIPAN DR
DENVER CO 80221-3421

GONZALES LEROY C
OR CURRENT RESIDENT
988 DOUGLAS DR
DENVER CO 80221-3932

GREEN DEBRA A AND
GREEN DOUGLAS L
OR CURRENT RESIDENT
1680 PECOS WAY
DENVER CO 80221-4620

GONZALES NATALIE
OR CURRENT RESIDENT
1661 SHERRELWOOD DR
DENVER CO 80221-4625

GRIEGO MARK ALBERT AND
GRIEGO LINDA DARLEEN
OR CURRENT RESIDENT
1320 MARIGOLD DR
DENVER CO 80221-3964

GUDENKAUF ROGER M AND
GUDENKAUF SHIRLEY C
OR CURRENT RESIDENT
1469 DOUGLAS DR
DENVER CO 80221-3917

HALL ROGER E AND
HALL PATRICIA J
OR CURRENT RESIDENT
8121 ALBERT CT
DENVER CO 80221-3907

GUERRERO ENVER
OR CURRENT RESIDENT
7779 PECOS ST
DENVER CO 80221-3455

HANSEN CATHERINE I AND
MINER ROBERT A
OR CURRENT RESIDENT
8270 LOUISE DR
DENVER CO 80221-3966

GUERRERO HENRY E AND
GUERRERO MARY C
OR CURRENT RESIDENT
1761 SHERRELWOOD DR
DENVER CO 80221-7723

HARRINGTON TOMMY A AND
HARRINGTON HELEN S
OR CURRENT RESIDENT
7866 CYD DRIVE
DENVER CO 80221

GUERRERO IVELISSE BURGOS AND
CRUZ PEDRO GERARDO MALDONADO
OR CURRENT RESIDENT
1267 EMBER ST
DENVER CO 80221-3747

HARRIS KELLIE AND
GILLEY JOY
OR CURRENT RESIDENT
8225 LOUISE DR
DENVER CO 80221-3919

GUTIERREZ JUADO ANTONIO AND
CHAVEZ TORRES DEISSY JANET
OR CURRENT RESIDENT
1315 W 78TH CIR
DENVER CO 80221-3993

HARSCH ELIZABETH JO
OR CURRENT RESIDENT
1740 W 79TH WAY
DENVER CO 80221-3831

GUTIERREZ JUAN M AND
GUTIERREZ ELVA K
OR CURRENT RESIDENT
1507 W 81ST PL
DENVER CO 80221

HART LARRY M/NAVARRE STEVEN D AND
PIIRTO JANE M
OR CURRENT RESIDENT
8071 GREENWOOD CT
DENVER CO 80221

GUTIERREZ RODRIGUEZ URIEL AND
CARRERA VALVERDE SUSANA
OR CURRENT RESIDENT
1744 ELMWOOD LN
DENVER CO 80221-4279

HARVEY ROBERT L
OR CURRENT RESIDENT
7897 QUIVAS WAY
DENVER CO 80221-3836

GUTIERREZ ROGELIO CASTRO
OR CURRENT RESIDENT
8260 LOUISE DR
DENVER CO 80221-3966

HAWKINS TOM J AND
HAWKINS NICOLE
OR CURRENT RESIDENT
7973 GREENWOOD BLVD
DENVER CO 80221-3736

HALEY JANEANE K
OR CURRENT RESIDENT
1410 W 78TH CIR
DENVER CO 80221-3994

HEGARTY NORA J
OR CURRENT RESIDENT
1021 MARIGOLD DRIVE
DENVER CO 80221

HALIW RANDY J
OR CURRENT RESIDENT
1363 LIPAN DR
DENVER CO 80221-3458

HERNANDEZ LORENZO SR AND
MORA-PLATA KARINA
OR CURRENT RESIDENT
8082 KALAMATH ST
DENVER CO 80221-3942

HERNANDEZ REBECA L
OR CURRENT RESIDENT
1515 W 78TH CIR
DENVER CO 80221-3997

HOLGUIN HECTOR M
OR CURRENT RESIDENT
942 W 80TH AVE
DENVER CO 80221-4426

HERNANDEZ ROSALIO VILLALOBOS
OR CURRENT RESIDENT
1568 DOUGLAS DR
DENVER CO 80221-3918

HULEN LACHELLE L AND
HULEN WILLIAM L
OR CURRENT RESIDENT
7820 GREENWOOD BLVD
DENVER CO 80221-3730

HERRERA ELOISA D
OR CURRENT RESIDENT
1203 EBONY ST
DENVER CO 80221-3798

HUSS MARCUS A AND
HUSS KELLEY JEAN
OR CURRENT RESIDENT
8208 LOUISE DR
DENVER CO 80221

HERRERA SERGIO M AND
HERRERA BENITO
OR CURRENT RESIDENT
7947 QUIVAS WAY
DENVER CO 80221-3838

HYMER NATHANIEL J AND
ROMERO BRENDA M
OR CURRENT RESIDENT
923 W 80TH AVE
DENVER CO 80221-4425

HERRERA SIMENTAL SAUL
OR CURRENT RESIDENT
1480 MARIGOLD DR
DENVER CO 80221-3936

IBARRA MARIA A AND
GARCIA DANIEL
OR CURRENT RESIDENT
8249 LOUISE DR
DENVER CO 80221-3965

HERRICK DENNIS E AND
HERRICK BETTY JEAN
OR CURRENT RESIDENT
8060 GREENWOOD CT
DENVER CO 80221-3938

INIGUEZ MADRIGAL DAVID
OR CURRENT RESIDENT
8154 VANGUARD DR
WESTMINSTER CO 80221-4652

HERTZ DAVID AND
HERTZ ANNETTE R MOORE
OR CURRENT RESIDENT
1445 W 78TH CIR
DENVER CO 80221

IVARSON DEBBRA L
OR CURRENT RESIDENT
1261 MARIGOLD DR
DENVER CO 80221-3927

HINZ MIKE
OR CURRENT RESIDENT
1350 W 78TH CIR
DENVER CO 80221-3992

IVERSON JANET E
OR CURRENT RESIDENT
1426 ELMWOOD LN
DENVER CO 80221-8314

HOFFMAN CAROLYN J
OR CURRENT RESIDENT
1306 ELMWOOD LN
DENVER CO 80221-3767

JAEN ANDRE L AND
ELMER CAITLIN G
OR CURRENT RESIDENT
7946 CYD DR
DENVER CO 80221-3874

HOLGUIN GUILLERMO
OR CURRENT RESIDENT
7963 GREENWOOD BLVD
DENVER CO 80221-3736

JAMERSON DEIDRE
OR CURRENT RESIDENT
1263 LIPAN DR
DENVER CO 80221-3459

JAMES LAWRENCE W AND
JAMES SHEILA J AND JAMES CRYSTAL A
OR CURRENT RESIDENT
7920 GREENWOOD BLVD
DENVER CO 80221-3739

KEYFAUVER JASMYNE AND
KEYFAUVER TANNER
OR CURRENT RESIDENT
1621 PECOS WAY
DENVER CO 80221-4619

JIMINEZ DONALD JOSEPH AND
RAMIREZ SHARON RAE AND JIMINEZ ANDRE A
OR CURRENT RESIDENT
1302 ELDER ST
DENVER CO 80221-3744

KINTZLEY MARK A AND
KINTZLEY DELORES M
OR CURRENT RESIDENT
8019 GREENWOOD BLVD
DENVER CO 80221-3740

JOHANESSEN JENNIE M
OR CURRENT RESIDENT
1741 ORCHARD DR
DENVER CO 80221-7728

KLINGENSMITH JOEL AND
KLINGENSMITH TERESA ANN
OR CURRENT RESIDENT
1302 LIPAN DR
DENVER CO 80221-3421

JOHNS JOSEPHINE DOLORES
OR CURRENT RESIDENT
1080 W 79TH PL
DENVER CO 80221-3753

KOKAI FRANK
OR CURRENT RESIDENT
1460 KOKAI CIR
DENVER CO 80221-3998

JOHNSON PRISCILLA/HODGSON KIMBERLY RAE
JOHNSON TAMARA AND WEISS KARLENE JOY
OR CURRENT RESIDENT
8149 NOLA DR
DENVER CO 80221

KOKAI MIKLOS AND KOKAI ANNA
OR CURRENT RESIDENT
1440 KOKAI CIRCLE
DENVER CO 80221

JOICE LAURA AND SLATE KEITH
OR CURRENT RESIDENT
7913 GREENWOOD BLVD
DENVER CO 80221-3736

KORODI ROBERT F
OR CURRENT RESIDENT
8224 LOUISE DR
DENVER CO 80221-3920

JOLLY DAWN MARIE AND
ROYBAL MEGAN MARIE
OR CURRENT RESIDENT
8220 LOUISE DR
DENVER CO 80221-3920

KRECH RANCE
OR CURRENT RESIDENT
8200 RALPH LN
DENVER CO 80221-3961

JUGERT DAVID D AND
JUGERT KATHY M
OR CURRENT RESIDENT
1741 SHERRELWOOD DR
DENVER CO 80221-7723

LA CHATA FAMILY LIVING TRUST THE
OR CURRENT RESIDENT
1881 W 79TH WAY
DENVER CO 80221-3832

KAMIBAYASHI RUTH AND KAMIBAYASHI DALE K
AND KAMIBAYASHI LISA M
OR CURRENT RESIDENT
7799 PECOS ST
DENVER CO 80221-3455

LACER GROVER ALLEN AND
LACER JUNE LEE
OR CURRENT RESIDENT
1546 W 81ST PL
DENVER CO 80221-3902

KENNY TIMOTHY E
OR CURRENT RESIDENT
1243 LIPAN DR
DENVER CO 80221-3410

LAM CUONG CHAN
OR CURRENT RESIDENT
1303 LIPAN DR
DENVER CO 80221-3459

LAMOS THOMAS
OR CURRENT RESIDENT
1425 W 78TH CIR
DENVER CO 80221-3995

LILGE RAFFAELE T
OR CURRENT RESIDENT
1282 ELDER ST
DENVER CO 80221-8309

LAN CHEONG YOKE
OR CURRENT RESIDENT
1781 ORCHARD DR
DENVER CO 80221-7728

LITWA KYLE ANTHONY AND
BROWN JESSICA IVORA
OR CURRENT RESIDENT
1505 W 78TH CIR
DENVER CO 80221-3997

LANGE KATHLEEN A
OR CURRENT RESIDENT
8236 LOUISE DR
DENVER CO 80221-3920

LOBATO MAXINE
OR CURRENT RESIDENT
1640 ORCHARD DR
DENVER CO 80221-4660

LARA OSCAR CHAVEZ AND
CHAVEZ MELINDA A
OR CURRENT RESIDENT
1721 ORCHARD DR
DENVER CO 80221-7728

LOMBARDI DOMINIC N AND
LOMBARDI ROSEMARIE E
OR CURRENT RESIDENT
1040 MARIGOLD DR
DENVER CO 80221-3926

LARKIN CAROL ANN
OR CURRENT RESIDENT
1429 DOUGLAS DR
DENVER CO 80221-3917

LOMBARDI DOUGLAS ALAN AND
LOMBARDI LORI ANN
OR CURRENT RESIDENT
7840 GREENWOOD BLVD
DENVER CO 80221-3730

LARSON KURT R
OR CURRENT RESIDENT
1060 MARIGOLD DRIVE
DENVER CO 80221

LOPEZ ELOY
OR CURRENT RESIDENT
1279 DOUGLAS DR
DENVER CO 80221-3914

LAURIENTI SUSAN
OR CURRENT RESIDENT
1009 DOUGLAS DR
DENVER CO 80221-3933

LOPEZ LORENZO
OR CURRENT RESIDENT
8136 NOLA DR
DENVER CO 80221-4616

LAW GARY CHRISTOPHER AND
LAW TINA M
OR CURRENT RESIDENT
1660 ORCHARD DR
DENVER CO 80221-4660

LOPEZ RAMIREZ JOSE G AND
CORNEJO SIFUENTES HILDA P
OR CURRENT RESIDENT
8251 LOUISE DR
DENVER CO 80221-3965

LE THU
OR CURRENT RESIDENT
1741 W 79TH WAY
DENVER CO 80221-3828

LOYA JESUS
OR CURRENT RESIDENT
1266 ELMWOOD LN
DENVER CO 80221-3766

LE TRANG QUYNH AND LE PHAT AND
LE LOC
OR CURRENT RESIDENT
8147 VANGUARD DR
DENVER CO 80221

LUCERO RAFAEL
OR CURRENT RESIDENT
8022 GREENWOOD BLVD
DENVER CO 80221

LUCERO-LESPERANCE DOLORES RENEE AND
LESPERANCE FELIX JR
OR CURRENT RESIDENT
1550 W 78TH CIR
DENVER CO 80221-3996

MADERA EBELIA A
OR CURRENT RESIDENT
7788 QUIVAS ST
DENVER CO 80221-4228

LUCHETTE LINDSAY
OR CURRENT RESIDENT
1440 MARIGOLD DR
DENVER CO 80221-3936

MADERA MARY
OR CURRENT RESIDENT
7770 PECOS ST
DENVER CO 80221-3456

LUEVANO EFRAIN AND
LUEVANO ALBA
OR CURRENT RESIDENT
1069 DOUGLAS DR
DENVER CO 80221-3933

MAESTAS CYNTHIA A AND
MAESTAS JOSEPH D AND MAESTAS GINA D
OR CURRENT RESIDENT
7959 PECOS ST
DENVER CO 80221

LUEVANO JULIETA MACIEL
OR CURRENT RESIDENT
8209 LOUISE DR
DENVER CO 80221-3919

MAESTAS VALENTINA AND
MAESTAS VICTORIA
OR CURRENT RESIDENT
7948 ELMWOOD DR
DENVER CO 80221-3755

LUJAN OTONIEL
OR CURRENT RESIDENT
7926 CYD DR
DENVER CO 80221-3874

MANCHA RUBEN AND LOERA AURELIA
OR CURRENT RESIDENT
1355 W 78TH CIRCLE
DENVER CO 80221

LUNA ABEL OLVERA
OR CURRENT RESIDENT
1389 DOUGLAS DR
DENVER CO 80221-3915

MANDUJANO-JIMENEZ FERNANDO
OR CURRENT RESIDENT
7888 QUIVAS WAY
DENVER CO 80221-3837

LYNCH MARGARET M AND
PRESTON NOREEN
OR CURRENT RESIDENT
1200 MARIGOLD DR
DENVER CO 80221-3928

MANZANARES JESUS AND
MANZANARES DEBRA E
OR CURRENT RESIDENT
1292 LIPAN DR
DENVER CO 80221-3419

LYPP MICHAEL A AND
GOOD EMILY ELIZABETH
OR CURRENT RESIDENT
1383 LIPAN DR
DENVER CO 80221-3458

MARINE MELVIN L AND
MARINE STEPHANIE A
OR CURRENT RESIDENT
1488 DOUGLAS DR
DENVER CO 80221-3918

MA KAM
OR CURRENT RESIDENT
8079 GREENWOOD BLVD
DENVER CO 80221-3789

MARQUEZ BELINDA ACOSTA AND
FLORES JOSE JUAN GAETA
OR CURRENT RESIDENT
1714 ELMWOOD LN
DENVER CO 80221-4279

MACK KIMBERLY M AND
MACK ROBERT J
OR CURRENT RESIDENT
7895 CYD DR
DENVER CO 80221-3834

MARR LOIS JEAN
OR CURRENT RESIDENT
7782 OSAGE ST
DENVER CO 80221-3451

MARRUJO SUSAN ROSE
OR CURRENT RESIDENT
8042 GREENWOOD BLVD
DENVER CO 80221-3745

MARTINEZ RANDY J AND
MARTINEZ ANNE L
OR CURRENT RESIDENT
8016 RARITAN ST
DENVER CO 80221-3843

MARTINEZ CARLOS D
OR CURRENT RESIDENT
7845 ELDER CIR
DENVER CO 80221-4026

MARTINEZ RAUL
OR CURRENT RESIDENT
8155 NOLA DR
DENVER CO 80221

MARTINEZ DAVID P
OR CURRENT RESIDENT
1455 W 78TH CIR
DENVER CO 80221

MARTINEZ RAYMUNDO AND
MARTINEZ CARMEN M
OR CURRENT RESIDENT
1754 ELMWOOD LN
DENVER CO 80221-4279

MARTINEZ ISAIAS ESPARZA
OR CURRENT RESIDENT
1567 W 81ST PL
DENVER CO 80221-3901

MARTINEZ RENTERIA GUSTAVO
OR CURRENT RESIDENT
1720 SHERRELWOOD DRIVE
DENVER CO 80221

MARTINEZ ISELA AND
MEDINA NEMORIO CISNEROS
OR CURRENT RESIDENT
1349 DOUGLAS DR
DENVER CO 80221-3915

MASCARENAS JAMES LEE AND
SANCHEZ-CORONA GRICELDA
OR CURRENT RESIDENT
7949 ELMWOOD DR
DENVER CO 80221-3754

MARTINEZ JUAN C AND
MARTINEZ ELIZABETH K
OR CURRENT RESIDENT
8216 ADAMS WAY
DENVER CO 80221

MASCARENAZ FRANSISCA M
OR CURRENT RESIDENT
1641 PECOS WAY
DENVER CO 80221-4619

MARTINEZ JULIE A
OR CURRENT RESIDENT
1720 PECOS WAY
DENVER CO 80221-7714

MCDANIEL CHARLES M
OR CURRENT RESIDENT
7978 QUIVAS WAY
DENVER CO 80221-3839

MARTINEZ LEGACY TRUST
OR CURRENT RESIDENT
8092 GREENWOOD BLVD
DENVER CO 80221-3768

MCKINNEY MELANIE A
OR CURRENT RESIDENT
7794 NAVAJO ST
DENVER CO 80221

MARTINEZ LEONOR
OR CURRENT RESIDENT
8245 LOUISE DR
DENVER CO 80221-3965

MEDINA ARCHIE M JR AND
MEDINA MARGARET
OR CURRENT RESIDENT
1305 ELDER ST
DENVER CO 80221-3743

MARTINEZ MARTIN ANTHONY AND
MARTINEZ JUSTINA NICOLE
OR CURRENT RESIDENT
7875 CYD DR
DENVER CO 80221-3834

MEDINA DONNA AND
MEDINA LAWRENCE
OR CURRENT RESIDENT
7914 RARITAN ST
DENVER CO 80221-3841

MEDRANO JOSE
OR CURRENT RESIDENT
7831 GRANADA RD
DENVER CO 80221-3757

MENZOR DENNIS
OR CURRENT RESIDENT
1360 MARIGOLD DR
DENVER CO 80221

MEJIA JESUS
OR CURRENT RESIDENT
1681 PECOS WAY
DENVER CO 80221-4619

MERCADO NESTOR J SR/ELNORA M REVOCABLE
TRUST/NESTOR J SR/ELNORA N TRUSTEES
OR CURRENT RESIDENT
1701 ORCHARD DR
DENVER CO 80221-7728

MEJIA JOSE/ESTELLA AND
ORDONEZ JOSE
OR CURRENT RESIDENT
7876 CYD DR
DENVER CO 80221-3835

MEZA MARGARITA
OR CURRENT RESIDENT
1625 ELMWOOD LN
DENVER CO 80221-4278

MENA VIDAL AND
LOYA MARIBEL
OR CURRENT RESIDENT
922 W 80TH AVE
DENVER CO 80221-4426

MIERA FLORENCIO RICHARD AND
MIERA LISA MARIE
OR CURRENT RESIDENT
1540 W 78TH CIR
DENVER CO 80221-3996

MENDEZ MARIA A AND
MENDEZ MARGARITO
OR CURRENT RESIDENT
1304 EMBER ST
DENVER CO 80221-8311

MILES JULIA
OR CURRENT RESIDENT
7850 GREENWOOD BLVD
DENVER CO 80221-3730

MENDOZA DARLENE A
OR CURRENT RESIDENT
8112 GREENWOOD BLVD
DENVER CO 80221-4405

MILLS RALPH JR AND
MILLS FLORA R
OR CURRENT RESIDENT
1287 EMBER ST
DENVER CO 80221-3747

MENDOZA RAMIRO C
OR CURRENT RESIDENT
7771 OSAGE ST
DENVER CO 80221-3450

MITCHELL WILLIAM J II AND
MITCHELL SUSAN E
OR CURRENT RESIDENT
8244 LOUISE DR
DENVER CO 80221

MENDOZA SYLVIA AND
TAYLOR JORDAN
OR CURRENT RESIDENT
7800 GREENWOOD BLVD
DENVER CO 80221-3730

MIWA STEVEN K AND
SCRUBY RANIE L
OR CURRENT RESIDENT
8042 KALAMATH ST
DENVER CO 80221-3942

MENO CATHERINE M AND
MENO MYLINDA G
OR CURRENT RESIDENT
1161 MARIGOLD DR
DENVER CO 80221-3985

MONDRAGON ODILON AND
MONDRAGON CAROLINA
OR CURRENT RESIDENT
8109 NOLA DR
DENVER CO 80221-4615

MENSCHER GLENN
OR CURRENT RESIDENT
1290 W 78TH CIR
DENVER CO 80221-3991

MONTANEZ REUBEN JOSEPH AND
MONTANEZ ARLENE ELIZABETH
OR CURRENT RESIDENT
1384 EMBER ST
DENVER CO 80221-8311

MONTOYA BERNABE A AND
MONTOYA GLADYS J
OR CURRENT RESIDENT
1456 W 81ST PL
DENVER CO 80221-3902

NARDI GIOVANNI J
OR CURRENT RESIDENT
1801 SHERRELWOOD DR
DENVER CO 80221-4645

MOORE DEBORAH JO
OR CURRENT RESIDENT
1605 ELMWOOD LN
DENVER CO 80221-4278

NAUGHTON TANA JO
OR CURRENT RESIDENT
7811 GRANADA RD
DENVER CO 80221-3757

MORENO ADRIAN AND
CHAVEZ MAYRA
OR CURRENT RESIDENT
1185 ELDER ST
DENVER CO 80221-3741

NAVARRETE ESEQUIEL AND NAVARRETE RUBY A
OR CURRENT RESIDENT
7827 QUIVAS WAY
DENVER CO 80221-3836

MORONEY EMILY
OR CURRENT RESIDENT
1120 MARIGOLD DR
DENVER CO 80221-3984

NAVIN JAMES WILLIAM
OR CURRENT RESIDENT
1202 ELDER ST
DENVER CO 80221-8309

MORRIS ARTHUR LESLIE AND
MORRIS LINDA MARIE
OR CURRENT RESIDENT
8250 LOUISE DR
DENVER CO 80221-3966

NEFF NEAL E JR AND
NEFF CHRISTIE L
OR CURRENT RESIDENT
8190 RALPH LN
DENVER CO 80221-3959

MOYA VIOLA E AND
MOYA ALBERT FRANKLIN JR
OR CURRENT RESIDENT
1141 MARIGOLD DR
DENVER CO 80221-3985

NELSON JAMES E
OR CURRENT RESIDENT
7857 QUIVAS WAY
DENVER CO 80221-3836

MULUL RONALDO MUNOZ AND
MEJIA MELBA I ECHEVERRIA
OR CURRENT RESIDENT
7807 QUIVAS WAY
DENVER CO 80221-3836

NEW SONG FELLOWSHIP INC
OR CURRENT RESIDENT
8242 PECOS ST
DENVER CO 80221-3956

MUNOZ RAMON S
OR CURRENT RESIDENT
1281 MARIGOLD DR
DENVER CO 80221-3927

NGO TRUNG HOANG AND
NGO NAM HOANG
OR CURRENT RESIDENT
1499 LOFTON CT
DENVER CO 80221-3999

MURRAY-STEELE ALEXANDRA AND
DOIG JORDAN B
OR CURRENT RESIDENT
1081 ELMWOOD LN
DENVER CO 80221-3761

NGUYEN HANHTHUC THI
OR CURRENT RESIDENT
1700 PECOS WAY
DENVER CO 80221-7714

MUSGRAVE ELIZABETH
OR CURRENT RESIDENT
1765 ELMWOOD LN
DENVER CO 80221-4274

NGUYEN KIM DUNG THI
OR CURRENT RESIDENT
1791 SHERRELWOOD DR
DENVER CO 80221-7723

NGUYEN LUXIA
OR CURRENT RESIDENT
8013 GREENWOOD BLVD
DENVER CO 80221-3740

OLIVAS JUANITA M
OR CURRENT RESIDENT
1189 DOUGLAS DR
DENVER CO 80221-3912

NIETO JOHNNY A AND
NIETO REBECCA
OR CURRENT RESIDENT
902 W 80TH AVE
DENVER CO 80221-4426

OLIVO ARTHUR JOSEPH AND
OLIVO MARY HELEN
OR CURRENT RESIDENT
7940 GREENWOOD BLVD
DENVER CO 80221-3739

NORTON JOHN
OR CURRENT RESIDENT
904 DOUGLAS DR
DENVER CO 80221-4432

OLLER DANIEL J AND
OLLER MARJEANE C
OR CURRENT RESIDENT
7916 CYD DR
DENVER CO 80221-3874

NUNEZ IRINEO
OR CURRENT RESIDENT
1780 W 79TH WAY
DENVER CO 80221-3831

OLSEN FRANK L
OR CURRENT RESIDENT
8222 ADAMS WAY
DENVER CO 80221-3904

NUNEZ OMAR
OR CURRENT RESIDENT
8082 GREENWOOD BLVD
DENVER CO 80221-3768

OMOTO RONNIE H AND
OMOTO JUSTIN H
OR CURRENT RESIDENT
7937 QUIVAS WAY
DENVER CO 80221-3838

ODONNELL COLE
OR CURRENT RESIDENT
1450 W 78TH CIR
DENVER CO 80221-3994

ORNELAS ARIANA AND
ORNELAS DONACIANO
OR CURRENT RESIDENT
1390 W 78TH CIR
DENVER CO 80221-3992

OKAMOTO KANYA WAYNE AND
OKAMOTO JUDY NATSUKO
OR CURRENT RESIDENT
1261 ELMWOOD LN
DENVER CO 80221-3765

ORTEGA ANNA MARIE
OR CURRENT RESIDENT
1386 ELMWOOD LANE
DENVER CO 80221

OKITA DOROTHY M
OR CURRENT RESIDENT
1321 MARIGOLD DR
DENVER CO 80221-3935

PACHECO STEVIE J AND
PACHECO LENORE M
OR CURRENT RESIDENT
1784 ELMWOOD LN
DENVER CO 80221-4279

OLAGUE ANTONIA AND
OLAGUE ABEL
OR CURRENT RESIDENT
7953 GREENWOOD BLVD
DENVER CO 80221-3736

PACKARD ZEBERIAN
OR CURRENT RESIDENT
1900 W 79TH WAY
DENVER CO 80221-3833

OLIVA JOSEPH
OR CURRENT RESIDENT
1535 W 78TH CIR
DENVER CO 80221-3997

PADGETT ELIZABETH F
OR CURRENT RESIDENT
1270 W 78TH CIR
DENVER CO 80221-3991

PADILLA STELLA LORRAINE
OR CURRENT RESIDENT
1326 ELMWOOD LN
DENVER CO 80221

PENA MICHAEL ANTHONY AND
CESPEDES CHAVEZ SHANDI MARIE
OR CURRENT RESIDENT
7858 QUIVAS WAY
DENVER CO 80221-3837

PALACIO MARK JR
OR CURRENT RESIDENT
1322 ELDER ST
DENVER CO 80221-3744

PERALTA CLAUDIA G
OR CURRENT RESIDENT
1620 ORCHARD DR
DENVER CO 80221-4660

PALM NORMAN V
OR CURRENT RESIDENT
8212 ADAMS WAY
DENVER CO 80221-3904

PERALTA ROBERT KEN
OR CURRENT RESIDENT
1761 ORCHARD DR
DENVER CO 80221-7728

PARDO JOE C AND
PARDO TERESA C
OR CURRENT RESIDENT
7861 GRANADA RD
DENVER CO 80221-3757

PEREZ DANIEL
OR CURRENT RESIDENT
1745 ELMWOOD LN
DENVER CO 80221-4274

PAREPA ELENA CARMEN
OR CURRENT RESIDENT
7979 PECOS ST
DENVER CO 80221-3930

PEREZ JESUS AND
SUAZO KATHERINE
OR CURRENT RESIDENT
1661 ORCHARD DR
DENVER CO 80221-4659

PARISH RANDALL W
OR CURRENT RESIDENT
1321 MARIPOSA DR
DENVER CO 80221-3408

PERINN LAURENCE AND
PERINN GWENDOLYN S
OR CURRENT RESIDENT
8221 RALPH LN
DENVER CO 80221-3960

PARSONS JUSTIN T AND
PARSONS MARY E
OR CURRENT RESIDENT
8121 GREENWOOD CT
DENVER CO 80221-3937

PETER EMILY ANN
OR CURRENT RESIDENT
1641 SHERRELWOOD DR
DENVER CO 80221-4625

PARSONS RONALD D AND
CORSON JUDITH ANN
OR CURRENT RESIDENT
1284 EMBER ST
DENVER CO 80221-3748

PEZZELLA LINDA L
OR CURRENT RESIDENT
1109 DOUGLAS DR
DENVER CO 80221

PASTORE FRANCES P
OR CURRENT RESIDENT
8062 KALAMATH ST
DENVER CO 80221-3942

PFANNENSTIEL THELMA M
OR CURRENT RESIDENT
1140 MARIGOLD DR
DENVER CO 80221-3984

PATZER SEAN MICHAEL
OR CURRENT RESIDENT
7865 CYD DR
DENVER CO 80221-3834

PHAIMANY THOMA AND
PHAIMANY THAMDY
OR CURRENT RESIDENT
1721 PECOS WAY
DENVER CO 80221

PIERSON JONATHAN
OR CURRENT RESIDENT
7969 PECOS ST
DENVER CO 80221-3930

QUINTANA CHAVEZ GABRIEL
OR CURRENT RESIDENT
1721 W 79TH WAY
DENVER CO 80221-3828

PINEDA FAE AND
ESPINOZA ROSALIE
OR CURRENT RESIDENT
1264 EMBER ST
DENVER CO 80221-3748

QUINTANA DESIRAE L AND
RODRIGUEZ RICHARD A
OR CURRENT RESIDENT
7976 CYD DRIVE
DENVER CO 80221

PINEDO SERGIO G AND
PINEDO MARIA
OR CURRENT RESIDENT
1296 ELMWOOD LANE
DENVER CO 80221

QUINTANA TOBY J
OR CURRENT RESIDENT
1040 W 79TH PL
DENVER CO 80221-3753

PINEIRA JESUS Y AND
PINEIRA KIMBERLY
OR CURRENT RESIDENT
1530 W 78TH CIR
DENVER CO 80221

RAMIREZ EUGENE R AND
RAMIREZ ANDREW
OR CURRENT RESIDENT
8232 LOUISE DR
DENVER CO 80221-3920

PLEVAKO IHOR AND
BATISHCHEVA OLHA
OR CURRENT RESIDENT
1370 W 78TH CIR
DENVER CO 80221-3992

RAMIREZ LUIS
OR CURRENT RESIDENT
1680 SHERRELWOOD DR
DENVER CO 80221-4626

PREWETT HAROLD RICHARD AND
PREWETT BARRI DEE
OR CURRENT RESIDENT
7978 ELMWOOD DR
DENVER CO 80221-3755

RAMIREZ-ENRIQUEZ SAUL AND
RAMIREZ ENRIQUEZ MAYRA
OR CURRENT RESIDENT
7817 QUIVAS WAY
DENVER CO 80221-3836

PROCTOR CLYDE AND
PROCTOR GINA
OR CURRENT RESIDENT
1409 DOUGLAS DR
DENVER CO 80221-3917

RAMOS BENCOMO MARCO A AND
CHACON MARIBEL
OR CURRENT RESIDENT
1621 ORCHARD DR
DENVER CO 80221-4659

PUYEAR KATHERN
OR CURRENT RESIDENT
7935 CYD DRIVE
DENVER CO 80221

RAWSON DUANE E
OR CURRENT RESIDENT
1701 PECOS WAY
DENVER CO 80221

QUINONEZ NANCY AND
QUINONES JESUS A
OR CURRENT RESIDENT
1260 W 78TH CIR
DENVER CO 80221-3991

REFUERZO ANDRES
OR CURRENT RESIDENT
7899 PECOS ST
DENVER CO 80221-3858

QUINTANA ANTHONY D AND
QUINTANA VICTORIA L
OR CURRENT RESIDENT
1181 MARIGOLD DR
DENVER CO 80221-3985

REIBER KIMBERLY S
OR CURRENT RESIDENT
1403 LIPAN DR
DENVER CO 80221-3458

REINHARDT ALEX L AND
REINHARDT GLORIA G
OR CURRENT RESIDENT
1345 ELDER ST
DENVER CO 80221-3743

RIVERA MARIBEL
OR CURRENT RESIDENT
8129 NOLA DR
DENVER CO 80221-4615

RENDON-SANCHEZ DANIEL
OR CURRENT RESIDENT
1283 LIPAN DR
DENVER CO 80221

ROBERTSON AUSTIN JAMES AND
WHITE MERANDA CODI
OR CURRENT RESIDENT
1367 EMBER ST
DENVER CO 80221-8312

RENNER JUDY GAIL
OR CURRENT RESIDENT
1385 W 78TH CIR
DENVER CO 80221-3993

ROBLES MARTIN
OR CURRENT RESIDENT
1329 DOUGLAS DR
DENVER CO 80221-3915

REYES DANIEL DOMINGUEZ
OR CURRENT RESIDENT
1020 W 79TH PL
DENVER CO 80221-3753

RODRIGUEZ AARON OLIVAS
OR CURRENT RESIDENT
7907 QUIVAS WAY
DENVER CO 80221-3838

REYES GONZALO
OR CURRENT RESIDENT
7933 GREENWOOD BLVD
DENVER CO 80221-3736

RODRIGUEZ ISABEL
OR CURRENT RESIDENT
1327 EMBER ST
DENVER CO 80221-8312

RICHARDS ROGER N
OR CURRENT RESIDENT
7859 PECOS ST
DENVER CO 80221-3858

RODRIGUEZ JOSE M AND
RODRIGUEZ CORINNE V
OR CURRENT RESIDENT
1435 KOKAI CIRCLE
DENVER CO 80221

RIGGI LISA A
OR CURRENT RESIDENT
1477 W 81ST PL
DENVER CO 80221-3901

RODRIGUEZ JOSEFINA AND
BELTRAN FABIAN E
OR CURRENT RESIDENT
7763 NAVAJO ST
DENVER CO 80221-3426

RILEY ARTHUR J AND
RILEY WANDA A
OR CURRENT RESIDENT
1415 W 78TH CIRCLE
DENVER CO 80221

RODRIGUEZ NATHANIEL AND
RODRIGUEZ JENNIFER
OR CURRENT RESIDENT
1222 ELDER ST
DENVER CO 80221-8309

RIVAS ALEX
OR CURRENT RESIDENT
1459 LOFTON CT
DENVER CO 80221-3999

RODRIGUEZ OLIVIA AND
RODRIGUEZ ARNULFO
OR CURRENT RESIDENT
7849 PECOS ST
DENVER CO 80221-3858

RIVAS NEVAREZ ORALIA AND
MIJARES BRICENO JORGE
OR CURRENT RESIDENT
7847 QUIVAS WAY
DENVER CO 80221-3836

RODRIGUEZ RAMON
OR CURRENT RESIDENT
1101 MARIGOLD DR
DENVER CO 80221

RODRIGUEZ SAN JUANA
RODRIGUEZ PEDRO JR AND CORTEZ BOBBY
OR CURRENT RESIDENT
1381 MARIGOLD DR
DENVER CO 80221-3935

SAENGSAVATH LILY ON AND
SAENGSAVATH CHANFONG
OR CURRENT RESIDENT
7939 ELMWOOD DR
DENVER CO 80221-3754

RODRIGUEZ-LUNA LUIS A
OR CURRENT RESIDENT
8146 NOLA DR
DENVER CO 80221-4616

SALGADO ANTONIO
OR CURRENT RESIDENT
7891 GRANADA RD
DENVER CO 80221-3757

ROMERO DENISE O
OR CURRENT RESIDENT
1395 W 78TH CIRCLE
DENVER CO 80221

SALGADO MARCO A/PALOMARES ANTONIO SALGADO AND
GREGORIO ROSALBA QUINTANA
OR CURRENT RESIDENT
7881 GRANADA RD
DENVER CO 80221-3757

ROSENTHAL JUSTIN AND
ROSENTHAL ERIN
OR CURRENT RESIDENT
1475 W 78TH CIR
DENVER CO 80221-3995

SAMUELSON JAY A AND
SAMUELSON BRENDA K
OR CURRENT RESIDENT
909 DOUGLAS DR
DENVER CO 80221-4433

ROYBAL EMMA J
OR CURRENT RESIDENT
8240 LOUISE DR
DENVER CO 80221-3966

SANCHEZ BULMARO AND
SANCHEZ JULIANA
OR CURRENT RESIDENT
7939 PECOS ST
DENVER CO 80221-3930

RUIZ LAURA S
OR CURRENT RESIDENT
1369 DOUGLAS DR
DENVER CO 80221-3915

SANCHEZ EFRAIN AND SANCHEZ NORMA R
OR CURRENT RESIDENT
7781 OSAGE ST
DENVER CO 80221-3450

RUMMEL PHILLIP R 2016 REVOCABLE TRUST WITH
RUMMEL PHILLIP R AS TRUSTEE
OR CURRENT RESIDENT
940 MARIGOLD DR
DENVER CO 80221-3924

SANCHEZ FERNANDEZ RAFAEL
OR CURRENT RESIDENT
7961 GRANADA RD
DENVER CO 80221-3764

RUTT PETER J III AND
RUTT KAREN S
OR CURRENT RESIDENT
1041 MARIGOLD DR
DENVER CO 80221-3925

SANCHEZ JUDY
OR CURRENT RESIDENT
1780 SHERRELWOOD DR
DENVER CO 80221-7722

RUYBAL ATANACIO E AND
RUYBAL MICHELE R
OR CURRENT RESIDENT
1182 ELDER ST
DENVER CO 80221-3742

SANCHEZ JULIA FONTES AND
RODRIGUEZ AMADO
OR CURRENT RESIDENT
7918 QUIVAS WAY
DENVER CO 80221

SACKS GARY H AND
SACKS ELIZABETH A
OR CURRENT RESIDENT
1163 EBONY ST
DENVER CO 80221-3709

SANCHEZ RAFAEL AND VILLALOBOS S AND
VILLALOBOS IGNACIO
OR CURRENT RESIDENT
7930 GREENWOOD BLVD
DENVER CO 80221

SANCHEZ SAVANNAH
OR CURRENT RESIDENT
1725 ELMWOOD LN
DENVER CO 80221-4274

SCHIMPF ALBERT C AND
SCHIMPF LAURA D
OR CURRENT RESIDENT
7915 CYD DR
DENVER CO 80221-3834

SANDOVAL APOLONIO AND
SANDOVAL ROSA ELVA
OR CURRENT RESIDENT
1344 EMBER ST
DENVER CO 80221-8311

SCHMIT LAWRENCE H AND
SCHMIT MARIA TRUST
OR CURRENT RESIDENT
1475 KOKAI CIR
DENVER CO 80221-3998

SANDOVAL PEDRO
OR CURRENT RESIDENT
7792 OSAGE ST
DENVER CO 80221-3451

SCHRECKENGOST T LENE AND
SCHRECKENGOST RALPH
OR CURRENT RESIDENT
7834 RARITAN ST
DENVER CO 80221-4272

SANISTEVAN DEBRA
OR CURRENT RESIDENT
1548 DOUGLAS DR
DENVER CO 80221-3918

SEBASTIAN DONALD K
OR CURRENT RESIDENT
1921 W 79TH WAY
DENVER CO 80221-3832

SANTISTEVAN ROBERT L JR AND
SANTISTEVAN LORI A
OR CURRENT RESIDENT
8126 NOLA DR
DENVER CO 80221-4616

SEGUNDO ESMERALDA REYES AND
SEGUNDO FRANCISCO REYES
OR CURRENT RESIDENT
8255 LOUISE DR
DENVER CO 80221-3965

SARENAC DAVOR AND
GIESLER COLE
OR CURRENT RESIDENT
1760 W 79TH WAY
DENVER CO 80221-3831

SELLERS MICHAEL A II AND
STALNAKER COLE
OR CURRENT RESIDENT
8039 GREENWOOD CT
DENVER CO 80221-3937

SAZPANSKY SHERI L AND
SAZPANSKY LAWRENCE J
OR CURRENT RESIDENT
8269 CHARLES WAY
DENVER CO 80221-3908

SHANTZ DIANNE L AND
SCHARFENBERG WILLIAM J
OR CURRENT RESIDENT
1470 W 78TH CIR
DENVER CO 80221-3994

SCHAFFER CAROLINA L
OR CURRENT RESIDENT
7921 GRANADA RD
DENVER CO 80221-3764

SMITH CHANNEN
OR CURRENT RESIDENT
1381 MARIPOSA DR
DENVER CO 80221-3408

SCHAFFER STEVEN
OR CURRENT RESIDENT
7910 GREENWOOD BLVD
DENVER CO 80221

SMITH J BRUCE AND
SMITH MARILYN K
OR CURRENT RESIDENT
8006 RARITAN ST
DENVER CO 80221-3843

SCHEI MICHELLE ANN AND
COLVIN CASEY LEE
OR CURRENT RESIDENT
1489 LOFTON CT
DENVER CO 80221-3999

SMITH KIRSTEN AND
WHITE ASHLEIGH D
OR CURRENT RESIDENT
1322 LIPAN DR
DENVER CO 80221-3421

SOLANO FRANCES M AND
SOLANO ELISEO P
OR CURRENT RESIDENT
7830 GREENWOOD BLVD
DENVER CO 80221-3730

SWIFT LOUIS R AND BROWN VICTORIA S
OR CURRENT RESIDENT
7917 QUIVAS WAY
DENVER CO 80221-3838

SOLANO MELVIN J AND
SOLANO DEBORAH R
OR CURRENT RESIDENT
8061 GREENWOOD CT
DENVER CO 80221-3937

TAYLOR PATRICIA A
OR CURRENT RESIDENT
1307 EMBER ST
DENVER CO 80221-8312

SOTO JOSE R AND SOTO ELVIRA
OR CURRENT RESIDENT
8096 GREENWOOD BLVD
DENVER CO 80221-3768

TENNAL III DARYL L AND TENNAL VERONICA S
OR CURRENT RESIDENT
951 MARIGOLD DRIVE
DENVER CO 80221

SPRECHER DAWN
OR CURRENT RESIDENT
7938 ELMWOOD DR
DENVER CO 80221-3755

THE QUIVAS TRUST
OR CURRENT RESIDENT
7948 QUIVAS WAY
DENVER CO 80221-3839

STEBBINS GARY CALVIN AND
STEBBINS JEANNE E
OR CURRENT RESIDENT
7889 PECOS ST
DENVER CO 80221-3858

THE ZAMORA FAMILY TRUST
OR CURRENT RESIDENT
8204 LOUISE DR
DENVER CO 80221-3920

STECHEP PAMELA S AND
WALIGORSKI JASON S
OR CURRENT RESIDENT
8167 VANGUARD DR
DENVER CO 80221-4651

THOMPSON DANIEL R AND
THOMPSON RACHEL R
OR CURRENT RESIDENT
7969 ELMWOOD DR
DENVER CO 80221-3754

STORMS DYLAN AND
STORMS ALISHA
OR CURRENT RESIDENT
940 W 79TH PL
DENVER CO 80221-3751

THOMPSON NORMAN AND
THOMPSON CAROL J
OR CURRENT RESIDENT
943 W 80TH AVE
DENVER CO 80221

STREETE JONATHAN
OR CURRENT RESIDENT
7931 GRANADA RD
DENVER CO 80221-3764

THOMPSON STEVE B AND THOMPSON MARGARET L
OR CURRENT RESIDENT
1205 ELDER ST
DENVER CO 80221-8310

STRONG ELIZABETH R
OR CURRENT RESIDENT
1160 MARIGOLD DR
DENVER CO 80221-3984

TORRES DELORES M
OR CURRENT RESIDENT
1360 W 78TH CIRCLE
DENVER CO 80221

SUBRY DANIEL L AND
SUBRY SUSAN
OR CURRENT RESIDENT
8202 ADAMS WAY
DENVER CO 80221-3904

TRAN MY DIEM AND
NGUYEN DU THI
OR CURRENT RESIDENT
1346 ELMWOOD LN
DENVER CO 80221-3767

TREVIZO OFELIA ESTRADA
OR CURRENT RESIDENT
8106 NOLA DRIVE
DENVER CO 80221

VIGIL DESIDERO
OR CURRENT RESIDENT
8029 GREENWOOD BLVD
DENVER CO 80221

TRUJILLO PHYLLIS LOUISE
OR CURRENT RESIDENT
7951 GRANADA RD
DENVER CO 80221-3764

VIGIL FRED S SR AND
VIGIL NATALIE J
OR CURRENT RESIDENT
1041 W 79TH PL
DENVER CO 80221-3752

TURNEY CONNIE G
OR CURRENT RESIDENT
7810 GREENWOOD BLVD
DENVER CO 80221-3730

VIGIL JANET M
OR CURRENT RESIDENT
1640 SHERRELWOOD DR
DENVER CO 80221-4626

TUTTLE THOMAS A
OR CURRENT RESIDENT
8189 GREENWOOD BLVD
DENVER CO 80221-4401

VIGIL JOHN AND
VIGIL ROSE ANN H
OR CURRENT RESIDENT
1380 MARIGOLD DR
DENVER CO 80221-3964

VAN TRUONG CAM
OR CURRENT RESIDENT
7848 QUIVAS WAY
DENVER CO 80221-3837

VILLALOBOS PRIETO SERGIO I AND
ROMERO BERENICE TERRAZAS
OR CURRENT RESIDENT
1375 W 78TH CIR
DENVER CO 80221-3993

VARGAS JOHNNY ADAM JR
OR CURRENT RESIDENT
7918 ELMWOOD DR
DENVER CO 80221-3755

VILLESCLAS JESUS MANUEL
OR CURRENT RESIDENT
1422 LIPAN DR
DENVER CO 80221-3423

VARNER FAMILY TRUST THE
OR CURRENT RESIDENT
1406 ELMWOOD LN
DENVER CO 80221-8314

VOSBURG RICHARD LEE AND
VOSBURG ELAINE LYNN
OR CURRENT RESIDENT
982 W 80TH AVE
DENVER CO 80221-4426

VEGA MARY A
OR CURRENT RESIDENT
1260 MARIGOLD DR
DENVER CO 80221-3989

VPC TRUST THE
OR CURRENT RESIDENT
1100 MARIGOLD DR
DENVER CO 80221-3984

VIEN XUYEN T
OR CURRENT RESIDENT
1781 SHERRELWOOD DR
DENVER CO 80221-7723

WACHTER VERVIE E
OR CURRENT RESIDENT
1341 MARIGOLD DR
DENVER CO 80221-3935

VIGIL BEVERLY S
OR CURRENT RESIDENT
8233 LOUISE DR
DENVER CO 80221-3919

WALKER WILLIAM S
OR CURRENT RESIDENT
7883 GREENWOOD BLVD
DENVER CO 80221-3770

WALLACE JEREMY R AND
WALLACE LAUREN E
OR CURRENT RESIDENT
7878 QUIVAS WAY
DENVER CO 80221-3837

WILLIAMS JENNIFER D AND
WILLIAMS CARSON C
OR CURRENT RESIDENT
1242 ELDER ST
DENVER CO 80221-8309

WARFEL DANIEL I ET AL
OR CURRENT RESIDENT
7898 CYD DR
DENVER CO 80221-3835

WILLIAMS TIMOTHY P AND
WILLIAMS AMY M
OR CURRENT RESIDENT
8089 GREENWOOD BLVD
DENVER CO 80221-3789

WECKMANN HERNANDEZ EDBERTO
OR CURRENT RESIDENT
1720 W 79TH WAY
DENVER CO 80221-3831

WILSON GLEN LEE
OR CURRENT RESIDENT
8229 LOUISE DR
DENVER CO 80221-3919

WEDGE ANA M AND
WEDGE GREGORY E
OR CURRENT RESIDENT
1480 W 78TH CIR
DENVER CO 80221-3994

WINSLOW TIMOTHY AND
ROBERTSON JENNIFER
OR CURRENT RESIDENT
8205 LOUISE DR
DENVER CO 80221-3919

WEEKS MAY MAXINE
OR CURRENT RESIDENT
978 DOUGLAS DR
DENVER CO 80221-3932

WOODMANSEE WARREN W AND
WOODMANSEE SUSAN M
OR CURRENT RESIDENT
8130 ALBERT CT
DENVER CO 80221-3907

WHEELER MICHELLE M
OR CURRENT RESIDENT
7916 ELMWOOD LN
DENVER CO 80221-3763

WORK PETER
OR CURRENT RESIDENT
8166 NOLA DR
DENVER CO 80221-4616

WHITE ALEX J
OR CURRENT RESIDENT
8052 KALAMATH ST
DENVER CO 80221-3942

YANOS GREGORY J AND
YANOS AUDREY J
OR CURRENT RESIDENT
981 W 79TH PL
DENVER CO 80221-3746

WIGGINS ANDREW W
OR CURRENT RESIDENT
8252 NAVAJO STREET
DENVER CO 80221

YEE TAK Y
OR CURRENT RESIDENT
1484 LOFTON CT
DENVER CO 80221-3999

WILLIAMS BRETT M AND
WILLIAMS MELISSA
OR CURRENT RESIDENT
1020 MARIGOLD DR
DENVER CO 80221-3926

YOSHIMURA STAN
OR CURRENT RESIDENT
962 W 80TH AVE
DENVER CO 80221-4426

WILLIAMS DEBRA KAY
OR CURRENT RESIDENT
1720 ORCHARD DR
DENVER CO 80221-7727

YOUNG JOHN E AND YOUNG PATTI JO
OR CURRENT RESIDENT
1180 MARIGOLD DRIVE
DENVER CO 80229

ZAMARRON ARVISO RUAL AND
ZAMARRON DORA ELENA
OR CURRENT RESIDENT
1402 LIPAN DR
DENVER CO 80221-3423

CURRENT RESIDENT
7761 OSAGE ST
DENVER CO 80221-3450

CURRENT RESIDENT
1520 ELMWOOD ST
WESTMINSTER CO 80020-1358

CURRENT RESIDENT
7769 PECOS ST
DENVER CO 80221-3455

CURRENT RESIDENT
1560 ELMWOOD ST
WESTMINSTER CO 80020-1358

CURRENT RESIDENT
7790 PECOS ST
DENVER CO 80221-3456

CURRENT RESIDENT
1361 MARIPOSA DR
DENVER CO 80221-3408

CURRENT RESIDENT
7860 GREENWOOD BLVD
DENVER CO 80221-3730

CURRENT RESIDENT
1213 LIPAN DR
DENVER CO 80221-3410

CURRENT RESIDENT
7903 GREENWOOD BLVD
DENVER CO 80221-3736

CURRENT RESIDENT
1223 LIPAN DR
DENVER CO 80221-3410

CURRENT RESIDENT
7923 GREENWOOD BLVD
DENVER CO 80221-3736

CURRENT RESIDENT
1362 LIPAN DR
DENVER CO 80221-3421

CURRENT RESIDENT
941 W 79TH PL
DENVER CO 80221-3746

CURRENT RESIDENT
1382 LIPAN DR
DENVER CO 80221-3421

CURRENT RESIDENT
961 W 79TH PL
DENVER CO 80221-3746

CURRENT RESIDENT
7773 NAVAJO ST
DENVER CO 80221-3426

CURRENT RESIDENT
1224 EMBER ST
DENVER CO 80221-3748

CURRENT RESIDENT
7793 NAVAJO ST
DENVER CO 80221-3426

CURRENT RESIDENT
1427 EMBER ST
DENVER CO 80221-3749

CURRENT RESIDENT
960 W 79TH PL
DENVER CO 80221-3751

CURRENT RESIDENT
8033 GREENWOOD BLVD
DENVER CO 80221-3788

CURRENT RESIDENT
1071 W 79TH PL
WESTMINSTER CO 80221-3752

CURRENT RESIDENT
8069 GREENWOOD BLVD
DENVER CO 80221-3789

CURRENT RESIDENT
7929 ELMWOOD DR
DENVER CO 80221-3754

CURRENT RESIDENT
1283 EBONY ST
DENVER CO 80221-3798

CURRENT RESIDENT
7958 ELMWOOD DR
DENVER CO 80221-3755

CURRENT RESIDENT
1920 W 79TH WAY
DENVER CO 80221-3833

CURRENT RESIDENT
7968 ELMWOOD DR
DENVER CO 80221-3755

CURRENT RESIDENT
7925 CYD DR
DENVER CO 80221-3834

CURRENT RESIDENT
7821 GRANADA RD
DENVER CO 80221-3757

CURRENT RESIDENT
7896 CYD DR
DENVER CO 80221-3835

CURRENT RESIDENT
7841 GRANADA RD
DENVER CO 80221-3757

CURRENT RESIDENT
7837 QUIVAS WAY
DENVER CO 80221-3836

CURRENT RESIDENT
7907 ELMWOOD LN
DENVER CO 80221-3762

CURRENT RESIDENT
7877 QUIVAS WAY
DENVER CO 80221-3836

CURRENT RESIDENT
7927 ELMWOOD LN
DENVER CO 80221-3762

CURRENT RESIDENT
7868 QUIVAS WAY
DENVER CO 80221-3837

CURRENT RESIDENT
1301 ELMWOOD LN
DENVER CO 80221-3783

CURRENT RESIDENT
7898 QUIVAS WAY
DENVER CO 80221-3837

CURRENT RESIDENT
7967 QUIVAS WAY
DENVER CO 80221-3838

CURRENT RESIDENT
1777 W 79TH WAY APT 104
DENVER CO 80221-3844

CURRENT RESIDENT
7908 QUIVAS WAY
DENVER CO 80221-3839

CURRENT RESIDENT
1777 W 79TH WAY APT 105
DENVER CO 80221-3844

CURRENT RESIDENT
7938 QUIVAS WAY
DENVER CO 80221-3839

CURRENT RESIDENT
1777 W 79TH WAY APT 106
DENVER CO 80221-3844

CURRENT RESIDENT
7958 QUIVAS WAY
DENVER CO 80221-3839

CURRENT RESIDENT
1777 W 79TH WAY APT 107
DENVER CO 80221-3844

CURRENT RESIDENT
7968 QUIVAS WAY
DENVER CO 80221-3839

CURRENT RESIDENT
1777 W 79TH WAY APT 205
DENVER CO 80221-3845

CURRENT RESIDENT
7864 RARITAN ST
DENVER CO 80221-3841

CURRENT RESIDENT
1777 W 79TH WAY APT 206
DENVER CO 80221-3845

CURRENT RESIDENT
7884 RARITAN ST
DENVER CO 80221-3841

CURRENT RESIDENT
1777 W 79TH WAY APT 207
DENVER CO 80221-3845

CURRENT RESIDENT
1777 W 79TH WAY APT 101
DENVER CO 80221-3844

CURRENT RESIDENT
1777 W 79TH WAY APT 208
DENVER CO 80221-3845

CURRENT RESIDENT
1777 W 79TH WAY APT 102
DENVER CO 80221-3844

CURRENT RESIDENT
1777 W 79TH WAY APT 209
DENVER CO 80221-3845

CURRENT RESIDENT
1777 W 79TH WAY APT 103
DENVER CO 80221-3844

CURRENT RESIDENT
1777 W 79TH WAY APT 210
DENVER CO 80221-3845

CURRENT RESIDENT
1777 W 79TH WAY APT 211
DENVER CO 80221-3845

CURRENT RESIDENT
7936 CYD DR
DENVER CO 80221-3874

CURRENT RESIDENT
1777 W 79TH WAY APT 212
DENVER CO 80221-3845

CURRENT RESIDENT
7966 CYD DR
DENVER CO 80221-3874

CURRENT RESIDENT
1777 W 79TH WAY APT 109
DENVER CO 80221-3850

CURRENT RESIDENT
1476 W 81ST PL
DENVER CO 80221-3902

CURRENT RESIDENT
1777 W 79TH WAY APT 110
DENVER CO 80221-3850

CURRENT RESIDENT
1566 W 81ST PL
DENVER CO 80221-3902

CURRENT RESIDENT
1777 W 79TH WAY APT 111
DENVER CO 80221-3850

CURRENT RESIDENT
8141 ALBERT CT
DENVER CO 80221-3907

CURRENT RESIDENT
1777 W 79TH WAY APT 112
DENVER CO 80221-3850

CURRENT RESIDENT
8150 ALBERT CT
DENVER CO 80221-3907

CURRENT RESIDENT
1777 W 79TH WAY APT 201
DENVER CO 80221-3850

CURRENT RESIDENT
8161 ALBERT CT
DENVER CO 80221-3907

CURRENT RESIDENT
1777 W 79TH WAY APT 202
DENVER CO 80221-3850

CURRENT RESIDENT
1528 DOUGLAS DR
DENVER CO 80221-3918

CURRENT RESIDENT
1777 W 79TH WAY APT 203
DENVER CO 80221-3850

CURRENT RESIDENT
931 MARIGOLD DR
DENVER CO 80221-3923

CURRENT RESIDENT
1777 W 79TH WAY APT 204
DENVER CO 80221-3850

CURRENT RESIDENT
971 MARIGOLD DR
DENVER CO 80221-3923

CURRENT RESIDENT
960 MARIGOLD DR
DENVER CO 80221-3924

CURRENT RESIDENT
8095 KALAMATH ST
DENVER CO 80221-3941

CURRENT RESIDENT
1000 MARIGOLD DR
DENVER CO 80221-3926

CURRENT RESIDENT
8072 KALAMATH ST
DENVER CO 80221-3942

CURRENT RESIDENT
1241 MARIGOLD DR
DENVER CO 80221-3927

CURRENT RESIDENT
1300 MARIGOLD DR
DENVER CO 80221-3964

CURRENT RESIDENT
7909 PECOS ST
DENVER CO 80221-3930

CURRENT RESIDENT
1340 MARIGOLD DR
DENVER CO 80221-3964

CURRENT RESIDENT
7919 PECOS ST
DENVER CO 80221-3930

CURRENT RESIDENT
7996 PECOS ST
DENVER CO 80221-3972

CURRENT RESIDENT
989 DOUGLAS DR
DENVER CO 80221-3931

CURRENT RESIDENT
8000 PECOS ST
DENVER CO 80221-3979

CURRENT RESIDENT
1089 DOUGLAS DR
DENVER CO 80221-3933

CURRENT RESIDENT
1259 DOUGLAS DR
DENVER CO 80221-3983

CURRENT RESIDENT
1410 MARIGOLD DR
DENVER CO 80221-3936

CURRENT RESIDENT
1280 W 78TH CIR
DENVER CO 80221-3991

CURRENT RESIDENT
8081 GREENWOOD CT
DENVER CO 80221-3937

CURRENT RESIDENT
1335 W 78TH CIR
DENVER CO 80221-3993

CURRENT RESIDENT
8101 GREENWOOD CT
DENVER CO 80221-3937

CURRENT RESIDENT
1345 W 78TH CIR
DENVER CO 80221-3993

CURRENT RESIDENT
1400 W 78TH CIR
DENVER CO 80221-3994

CURRENT RESIDENT
1620 W 82ND PL
DENVER CO 80221-4602

CURRENT RESIDENT
1420 W 78TH CIR
DENVER CO 80221-3994

CURRENT RESIDENT
8139 NOLA DR
DENVER CO 80221-4615

CURRENT RESIDENT
1405 W 78TH CIR
DENVER CO 80221-3995

CURRENT RESIDENT
1640 PECOS WAY
DENVER CO 80221-4620

CURRENT RESIDENT
1485 W 78TH CIR
DENVER CO 80221-3995

CURRENT RESIDENT
1621 SHERRELWOOD DR
DENVER CO 80221-4625

CURRENT RESIDENT
1500 KOKAI CIR
DENVER CO 80221-3998

CURRENT RESIDENT
1660 SHERRELWOOD DR
DENVER CO 80221-4626

CURRENT RESIDENT
1479 LOFTON CT
DENVER CO 80221-3999

CURRENT RESIDENT
1800 SHERRELWOOD DR
DENVER CO 80221-4646

CURRENT RESIDENT
7865 ELDER CIR
DENVER CO 80221-4026

CURRENT RESIDENT
8157 VANGUARD DR
WESTMINSTER CO 80221-4651

CURRENT RESIDENT
7834 ELDER CIR
DENVER CO 80221-4027

CURRENT RESIDENT
8177 VANGUARD DR
WESTMINSTER CO 80221-4651

CURRENT RESIDENT
1645 ELMWOOD LN
DENVER CO 80221-4278

CURRENT RESIDENT
1681 ORCHARD DR
DENVER CO 80221-4659

CURRENT RESIDENT
1724 ELMWOOD LN
DENVER CO 80221-4279

CURRENT RESIDENT
1780 PECOS WAY
DENVER CO 80221-7714

CURRENT RESIDENT
1721 SHERRELWOOD DR
DENVER CO 80221-7723

CURRENT RESIDENT
1700 ORCHARD DR
DENVER CO 80221-7727

CURRENT RESIDENT
1740 ORCHARD DR
DENVER CO 80221-7727

CURRENT RESIDENT
1262 ELDER ST
DENVER CO 80221-8309

CURRENT RESIDENT
1364 EMBER ST
DENVER CO 80221-8311

CURRENT RESIDENT
1387 EMBER ST
DENVER CO 80221-8312

CURRENT RESIDENT
1446 ELMWOOD LN
DENVER CO 80221-8314

CURRENT RESIDENT
1446 ELMWOOD LN
DENVER CO 80221-8314

CURRENT RESIDENT
1466 ELMWOOD LN
DENVER CO 80221-8314

CERTIFICATE OF POSTING



I, Alan Sielaff, do hereby certify that I had the property posted at

7996 Pecos St. and 8000 Pecos St., Denver, CO 80221

on January 25, 2021

in accordance with the requirements of the Adams County Development Standards and Regulations

Alan Sielaff, Planner II

Sherrelwood Village PUD Amendment

PRC2020-00010

7996 Pecos St. and 8000 Pecos St.

March 2, 2021

Board of County Commissioners Public Hearing

Community and Economic Development Department

Case Manager: Alan Sielaff



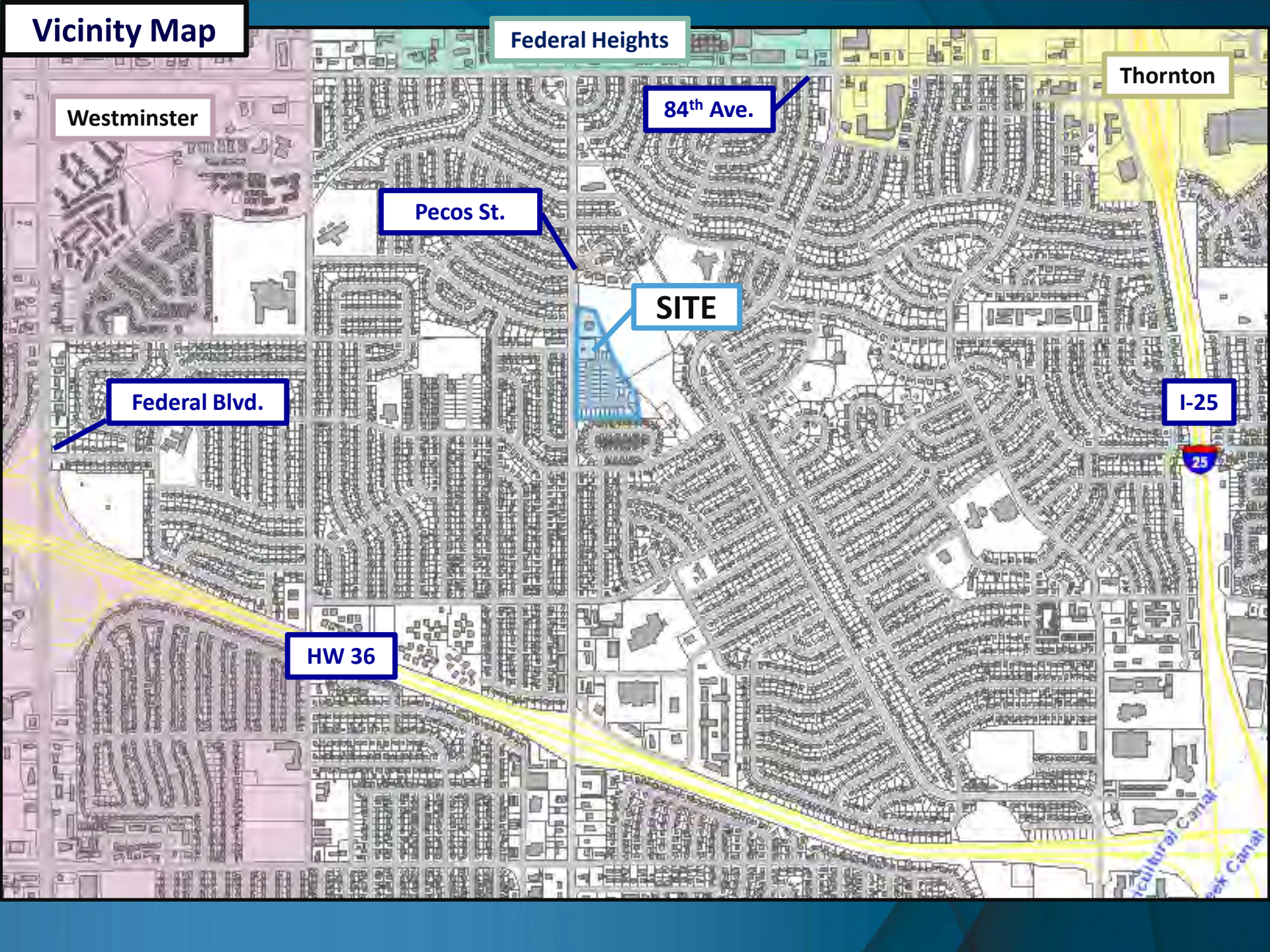
Requests

1. Zoning Map Amendment (Rezone from R-1-C to PUD).
2. Major Amendment to the Sherrelwood Village Preliminary PUD to construct 47 single-family attached dwelling units north of the existing Sherrelwood Village PUD development.

Background

- Sherrelwood Village PUD originally approved in 2015 (PDP) and 2018 (FDP) consisting of 45 single-family detached homes.
- Applicant has acquired two additional parcels (7996 & 8000 Pecos St.) and needs to reconfigure a portion of the original PUD.
- A Minor Subdivision will be required at time of FDP.

Vicinity Map



Federal Heights

Thornton

Westminster

84th Ave.

Pecos St.

SITE

Federal Blvd.

I-25

HW 36

Agricultural Canal

Duck Canal

Aerial Map



Sherrelwood Elementary

Proposed Amendment Area

Sherrelwood Park

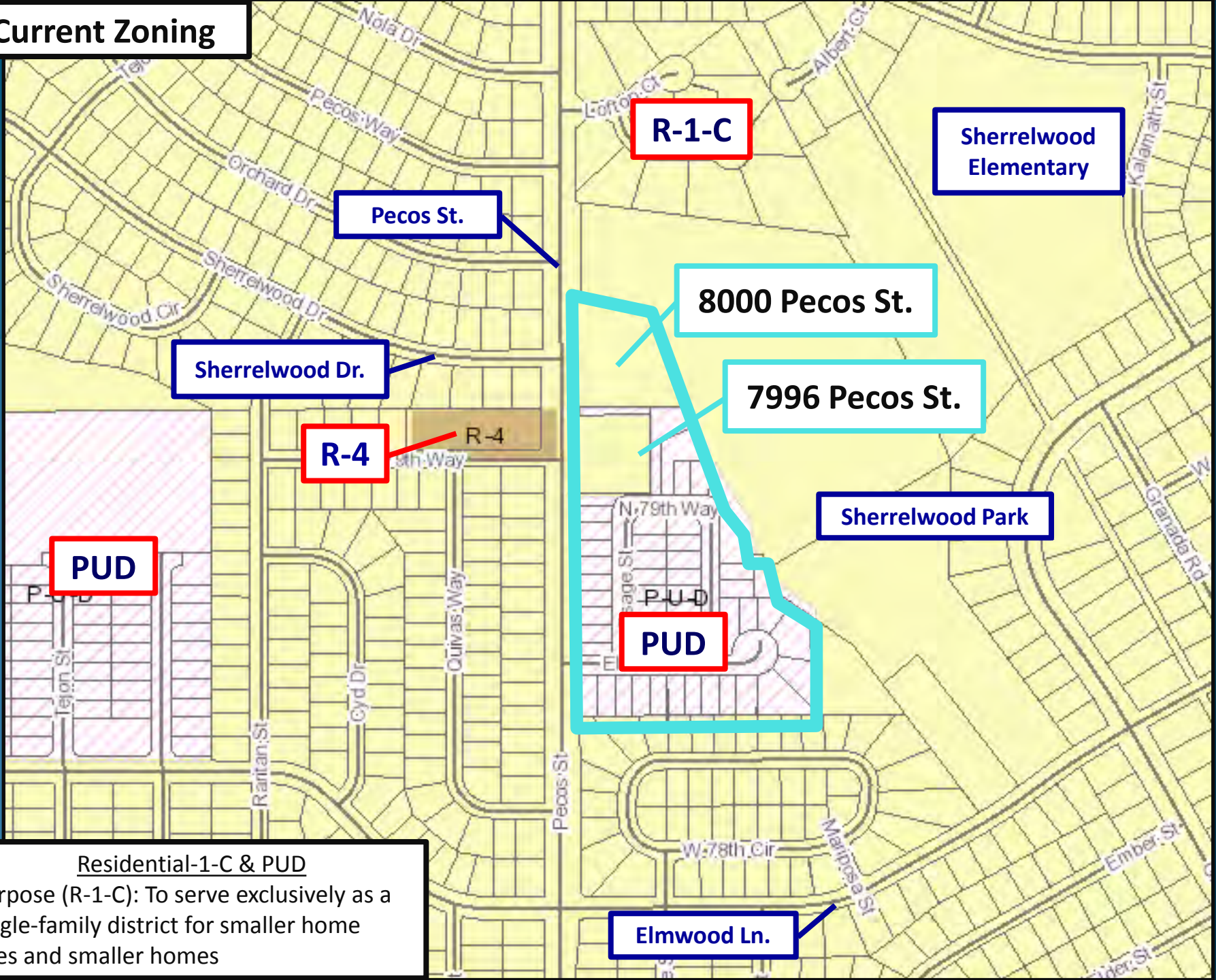
Sherrelwood Village PUD

Pecos St.

Sherrelwood Dr.

Elmwood Ln.

Current Zoning



R-1-C

Sherrelwood Elementary

Pecos St.

8000 Pecos St.

Sherrelwood Dr.

7996 Pecos St.

R-4

Sherrelwood Park

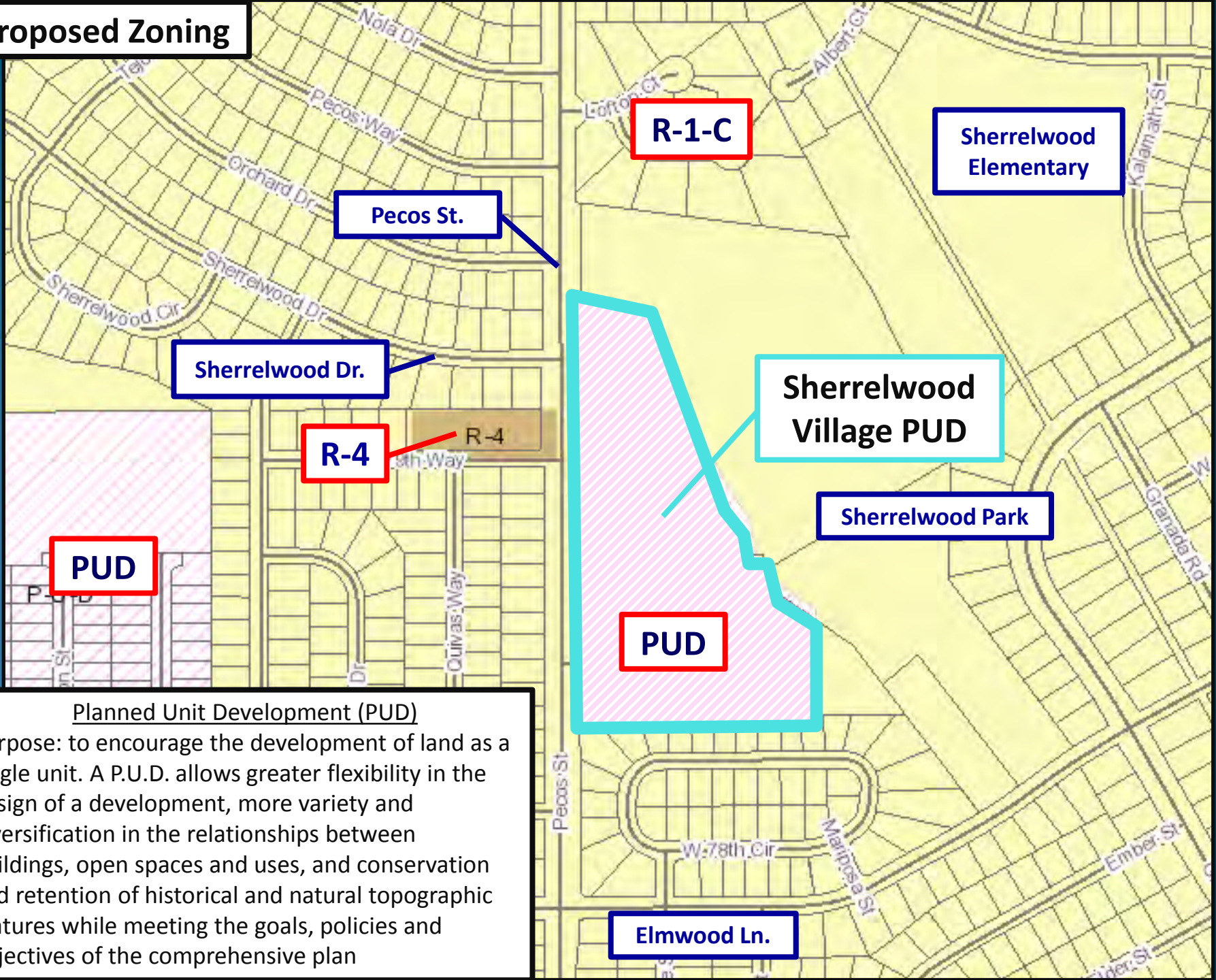
PUD

PUD

Residential-1-C & PUD
Purpose (R-1-C): To serve exclusively as a single-family district for smaller home sites and smaller homes

Elmwood Ln.

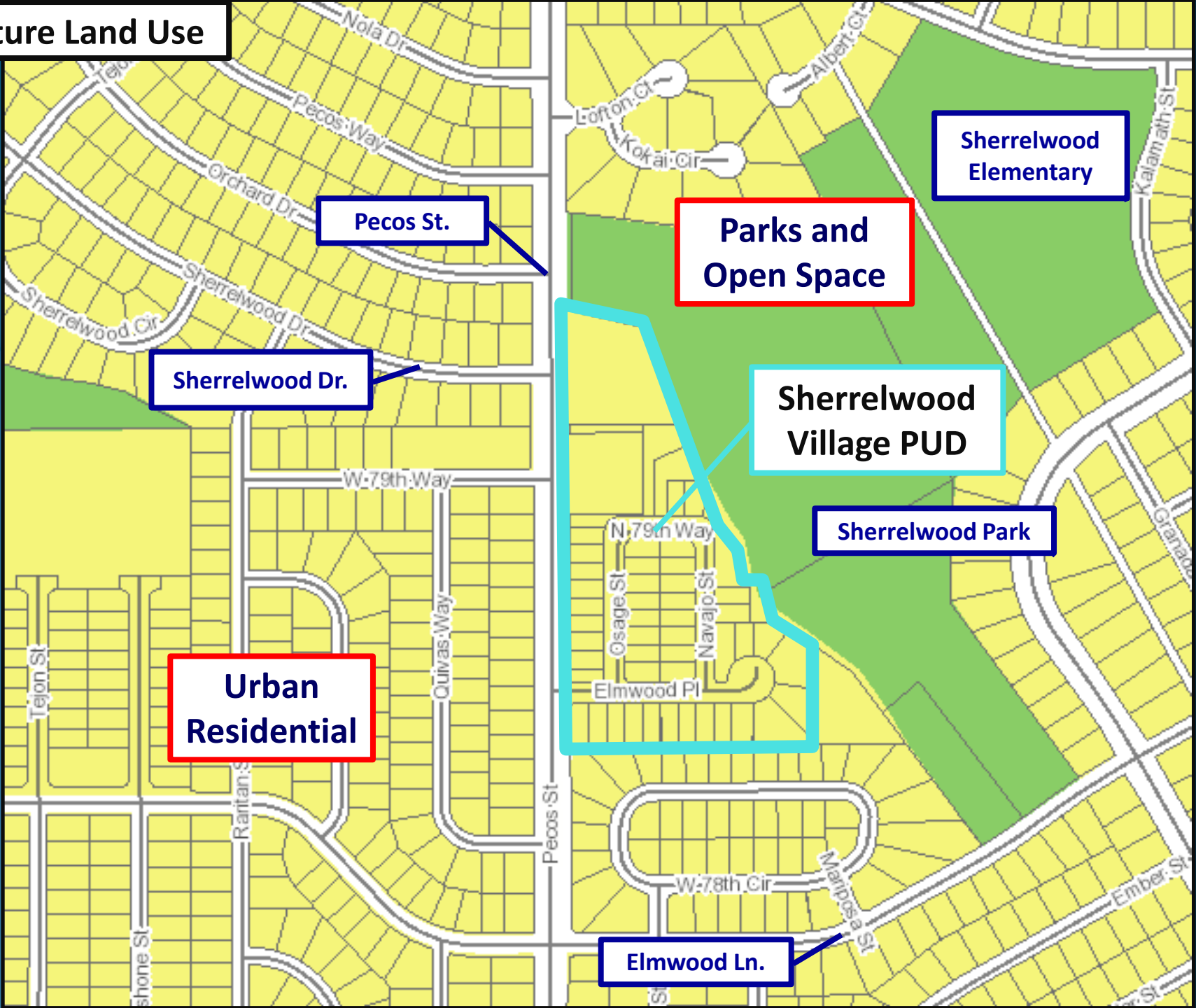
Proposed Zoning



Planned Unit Development (PUD)

Purpose: to encourage the development of land as a single unit. A P.U.D. allows greater flexibility in the design of a development, more variety and diversification in the relationships between buildings, open spaces and uses, and conservation and retention of historical and natural topographic features while meeting the goals, policies and objectives of the comprehensive plan

Future Land Use



Urban Residential

Parks and Open Space

Sherrelwood Village PUD

Sherrelwood Park

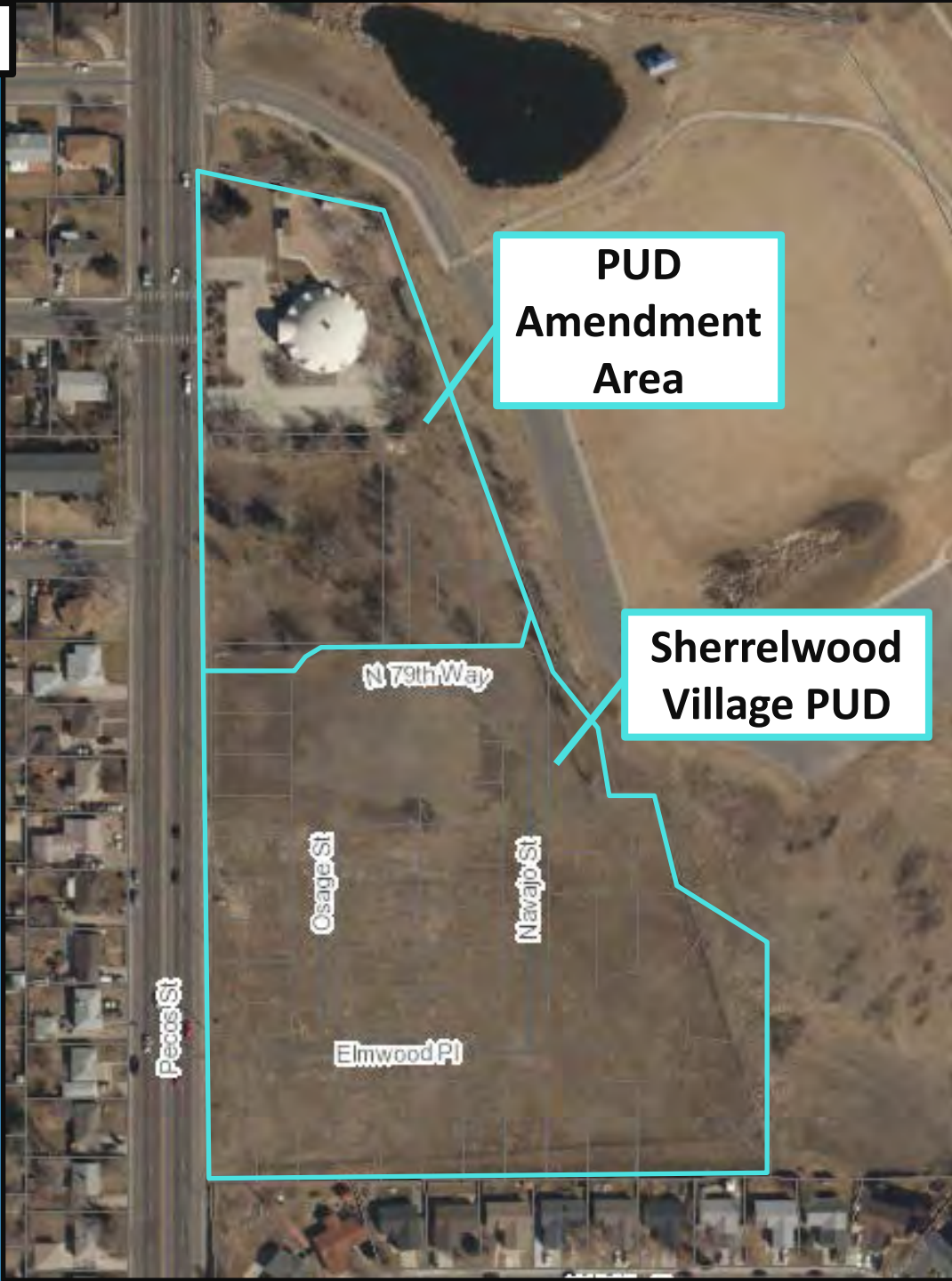
Sherrelwood Elementary

Pecos St.

Sherrelwood Dr.

Elmwood Ln.

Context Photos



**PUD
Amendment
Area**

**Sherrelwood
Village PUD**

N 79th Way

Osage St

Navajo St

Elmwood Pl

Peace St



MODELS OPEN

ELMWOOD
— Estates —



at Park Way

Cypress St

Maple St

Elmwood Pl

Elmwood Pl













Criteria for Zoning Map Amendment

Section 2-02-15-06-02

1. Consistent with Comprehensive Plan
2. Consistent with Purpose of Development Standards
3. Complies with Development Standards
4. Harmonious and Compatible to Surrounding Area

Criteria for Planned Unit Development – Preliminary Development Plan

Section 2-02-11-03-05

1. Consistent with Comprehensive Plan
2. Consistent with purpose of regulations
3. Compatible with adjacent land uses
4. Conforms with the Adams County Transportation Plan and will not negatively impact utilities or traffic
5. Consistent with any applicable drainage plans
6. Addresses specific issues or concerns due to unusual and unique circumstances; or allows desired alternative design
7. Harmonious & compatible with character of neighborhood

Preliminary Planned Unit Development

- PUD Allowances and Requirements:
 - A form of customized zoning, allows flexibility of development standards.
 - Requires development of land as a single unit with minimized external impacts.
 - Requires at least 30% open space, 25% of which must be “active”.
 - Requires “superior design” including practical connections for pedestrian, bicycle, and public transit.
 - This PUD Amendment was generally reviewed in comparison with the Residential-3 (R-3) zone district intended for single-family attached housing product.

Context Photos

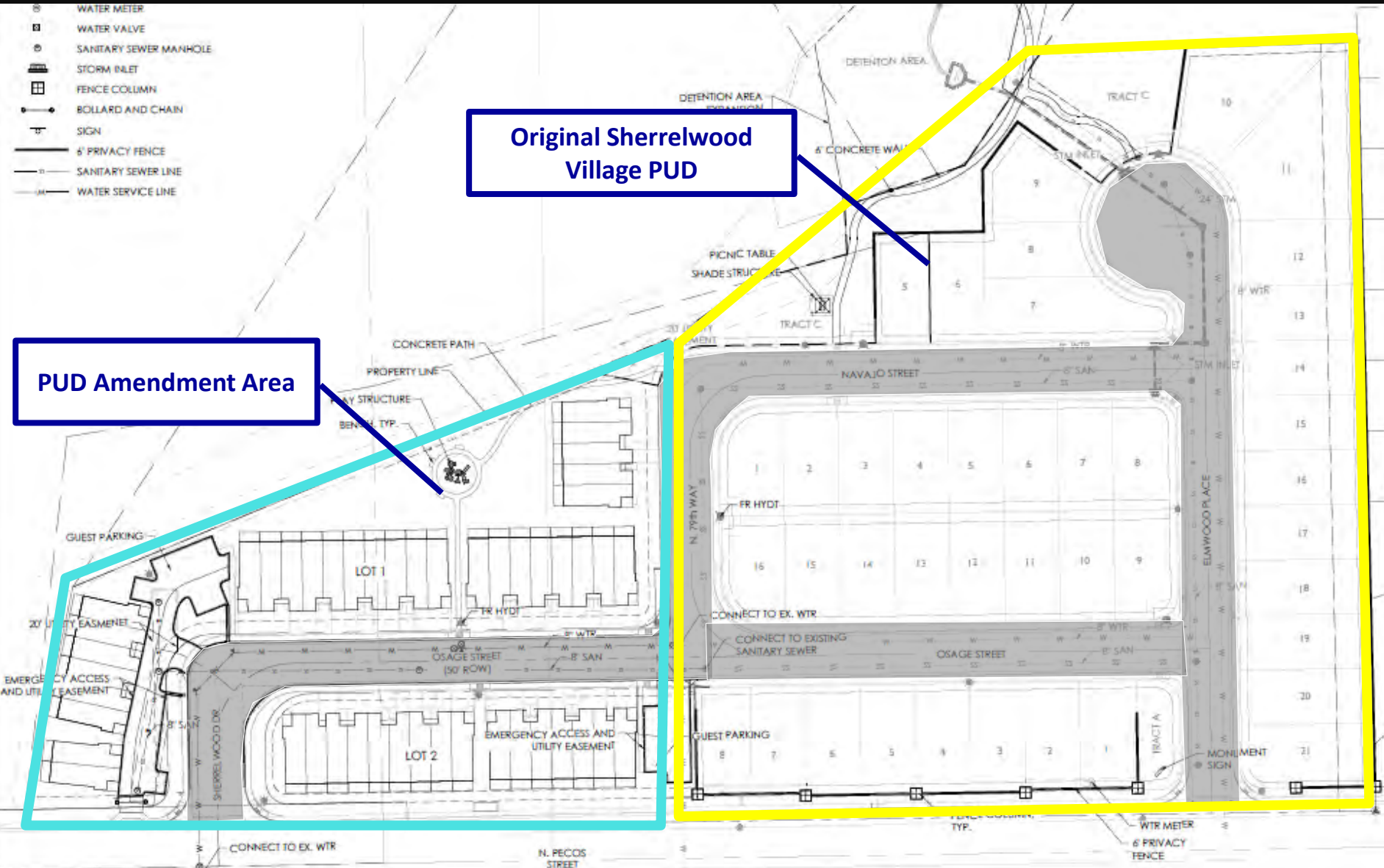


Preliminary Planned Unit Development

- ⊗ WATER METER
- WATER VALVE
- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM INLET
- ⊞ FENCE COLUMN
- BOLLARD AND CHAIN
- ⊠ SIGN
- 6' PRIVACY FENCE
- SANITARY SEWER LINE
- WATER SERVICE LINE

Original Sherrelwood Village PUD

PUD Amendment Area



Development Summary

- Add two additional parcels (7996 & 8000 Pecos Street, 2.48 acres) to the Sherrelwood Village PUD.
- Combine with Lots 1-4, Tracts B and D of original Sherrelwood Village Subdivision.
- Amendment area will result in two (2) lots, 3.3 acres.
- Amended Preliminary PUD will reduce single-family dwellings from 45 to 41, add 47 townhome dwellings.
- Total development will contain 88 units on 10.4 acres.

Proposed Development Standards

DEVELOPMENT STANDARDS

USE	SINGLE FAMILY DETACHED HOME	TOWNHOMES
MINIMUM LOT AREA	4,000 S.F.	N/A
MINIMUM FLOOR AREA	1,500 S.F.	1,700 S.F.
MINIMUM LOT WIDTH, (CORNER LOT)	45' (50')	N/A
MAXIMUM LOT COVERAGE	70%	70%
BUILDING COVERAGE		70% MAX
MAXIMUM DENSITY	41 LOTS	47 LOTS
MAXIMUM BUILDING HEIGHT:		
PRIMARY	30'	35'
(Accessory)	(18')	(N/A)

* ANY STANDARDS AND ALLOWANCES NOT EXPLICITLY LISTED IN THIS PUD SHALL FOLLOW R-3 ZONING

SINGLE FAMILY LOT SETBACKS

- (1) 10' FRONT SETBACK
- (2) 18' GARAGE SETBACK
- (3) 5' SIDE SETBACK
- (4) 10' BUILDING SEPARATION
- (5) 10' SIDE ON STREET SETBACK
- (6) 10' REAR SETBACK
- (6) 30' REAR SETBACK (BLOCK 1: LOTS 11-21)
- (7) REAR PORCH SETBACK - MAY ENCROACH INTO REAR SETBACK BY 8'. CANNOT BE LOCATED OVER AN EASEMENT.

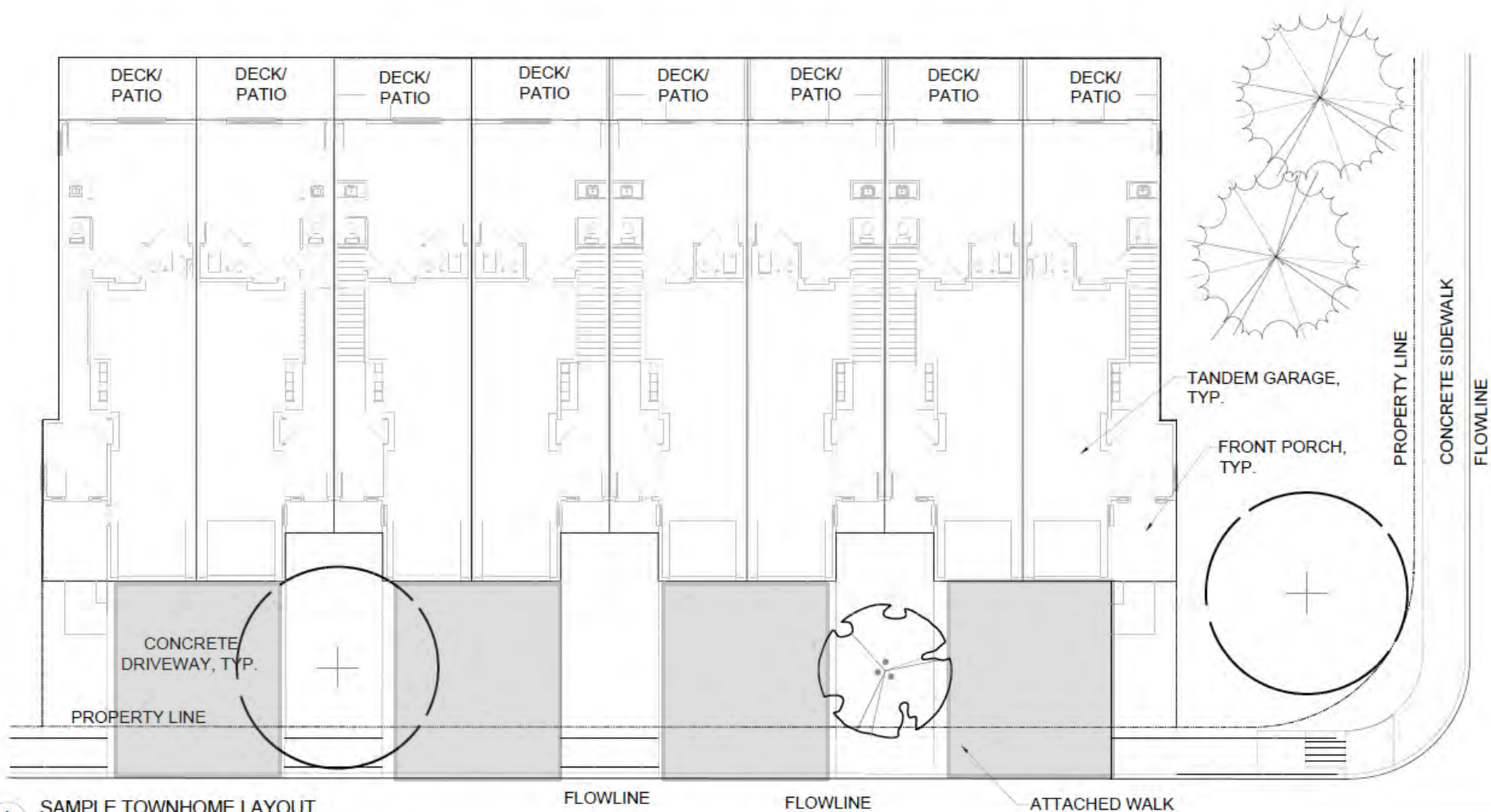
SINGLE FAMILY ACCESSORY STRUCTURE SETBACKS

- 5' REAR SETBACK
- 5' SIDE SETBACK
- 10' SIDE ON STREET SETBACK

TOWNHOME LOT SETBACKS

- (1) 15' FRONT SETBACK
- (2) 5' SIDE SETBACK
- (3) 10' SIDE ON STREET SETBACK
- (4) 10' REAR SETBACK
- (5) REAR PORCH - MAY ENCROACH INTO REAR SETBACK BY 8'
- (6) 10' BUILDING SEPARATION
- (7) 8' PORCH SETBACK

Sample Lot Layout



1

SAMPLE TOWNHOME LAYOUT

*ACTUAL PLANS MAY VARY & WILL COMPLY WITH THE STANDARDS HEREON

Preliminary Development Plan

Each door that is not located in a portion of the wall clad in masonry shall have a minimum two-inch nominal wide border.



TYPICAL TOWNHOME UNIT

- 1,700-2,300 S.F.
- 3 BEDROOMS
- 2.5 BATHROOMS
- 2 GARAGE STALLS

1

TYPICAL FRONT ELEVATION

ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON



2

TYPICAL SIDE ELEVATION

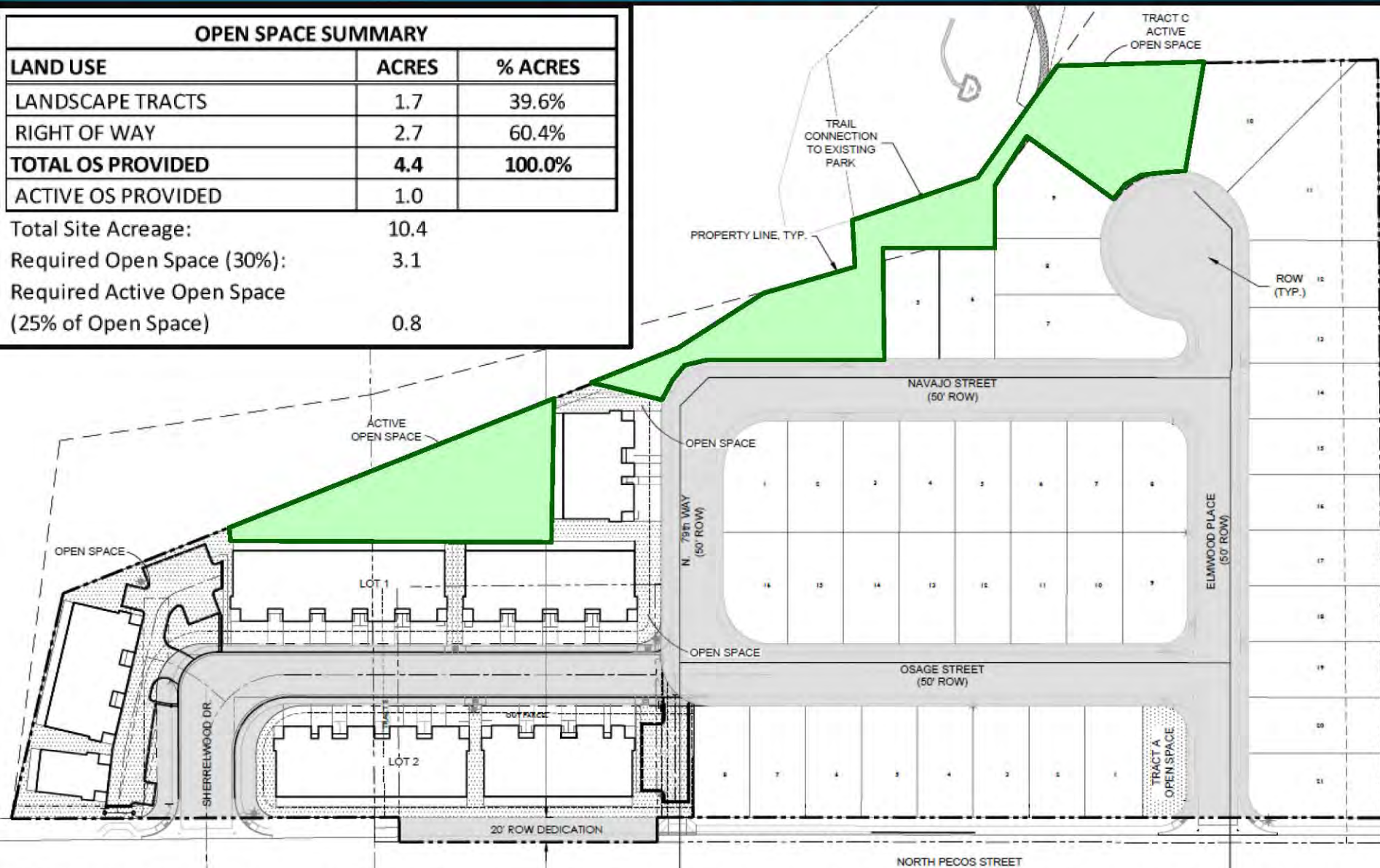
ACTUAL ELEVATIONS WILL VARY & WILL COMPLY WITH THE STANDARDS HEREON

Open Space

OPEN SPACE SUMMARY

LAND USE	ACRES	% ACRES
LANDSCAPE TRACTS	1.7	39.6%
RIGHT OF WAY	2.7	60.4%
TOTAL OS PROVIDED	4.4	100.0%
ACTIVE OS PROVIDED	1.0	

Total Site Acreage: 10.4
 Required Open Space (30%): 3.1
 Required Active Open Space (25% of Open Space): 0.8



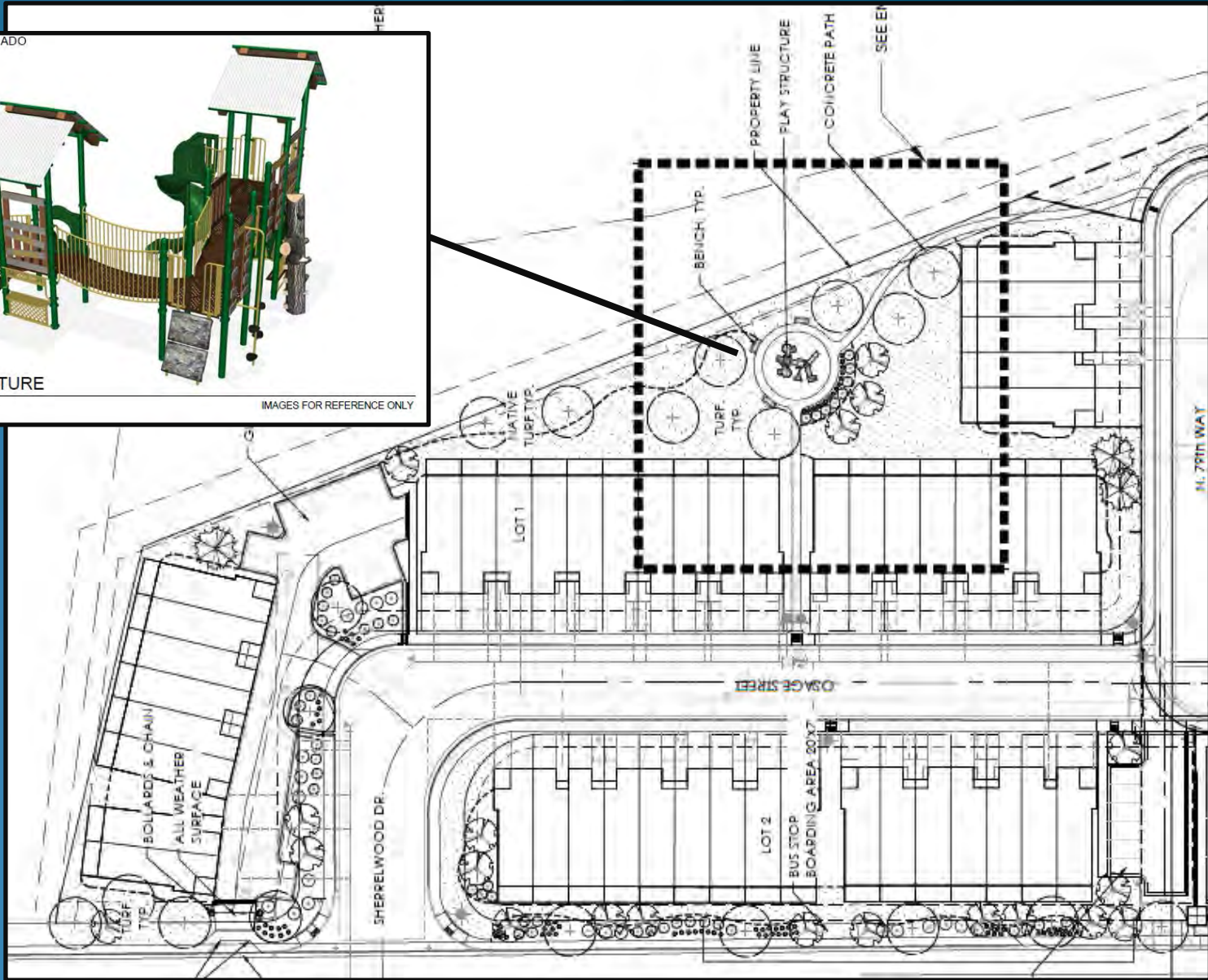
Open Space

N, ADAMS COUNTY, COLORADO
NO: PRC2020-00010



1 PLAY STRUCTURE

IMAGES FOR REFERENCE ONLY



Comprehensive Plan

- Future Land Use Designation – Urban Residential
 - Designated for single and multiple family housing, typically at urban densities of one dwelling per acre or greater.
 - Comprehensive Plan Policy 2 – Urban Growth, the County will encourage new urban residential development primarily within unincorporated infill areas where it can be served by a full range of urban services
- Balanced Housing Plan
 - Meet needs of a diverse and growing population.
 - Policy 1: improve and support housing opportunities for all
 - Policy 2: promote “balanced housing”.
 - Policy 5: increase diversity in housing options.
 - Townhome housing product is broadly included in the plan’s definition of “missing middle” housing - falls within the range of detached 1-unit homes and large apartment complexes.

Referral Comments

Notifications Sent*	Comments Received
809	38

*Property owners and occupants within 750 ft.

Public Comment:

- Majority of comments in opposition
- Four (4) comments in support

Referral Agency Comment:

- Responding with concerns, comments addressed:
 - ACFD, DWR, RTD, Xcel
- Responding without Concerns:
 - CDPHE, CDOT, CGS, Thornton Fire, TCHD
- Additional referrals provided no response

Public Comments

Concerns Expressed:

- Preservation of former Children's Outreach Center building
- Loss of public/park space
- Density and scale of development
- Gentrification
- Public infrastructure - traffic, drainage
- Parking

Support:

- Removal of a vacant building
- Investment in community
- Greater use/activity in Sherrelwood Park

Applicant Response

- Conducted 2nd Neighborhood Meeting and targeted outreach.
- Working with the Hyland Hills Park & Recreation District to add amenity in Sherrelwood Park. Has pledged to donate \$50,000 towards improvements.
- Will provide RTD requested bus stop enhancements on Pecos St.



Planning Commission Update

- The Planning Commission considered this case on February 11, 2021 and voted (4-3) to recommend approval of the request.
- The applicant gave a brief presentation.
- Three (3) members of the public spoke in opposition to this case at the Planning Commission meeting. Cited concerns with increased traffic, housing cost and neighborhood impact, long-term water supply.
- Planning Commission discussed preservation efforts of the Children's Outreach Center building, end-product of townhomes (rent or sale), and size and bulk of buildings.

Staff Recommendation

(PRC2020-00010; Sherrelwood Village PUD Amendment)

Staff recommends **approval** of the proposed Zoning Map Amendment (Rezoning), and Planned Unit Development – Preliminary Development Plan (PRC2020-00010) with 12 findings-of-fact, 2 conditions and 7 notes.

Recommended Findings-of-Fact

Zoning Map Amendment (see Section 2-02-15-06-02):

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

Recommended Findings-of-Fact

Planned Unit Development – Preliminary Development Plan (see Section 2-02-11-03-05)

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any - applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any approved ODP for the property.
8. (continued on next slide)

Recommended Findings-of-Fact

8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:
- a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and
 - f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

Recommended Conditions

1. The applicant shall enter into a formal agreement with the Hyland Hills Park and Recreation District prior to approval of a Final Development Plan for proposed improvements to Sherrelwood Park unless the recreation district submits in writing that it does not need improvements to the park at this time.
2. The applicant shall include the bus stop improvements requested by RTD adjacent to the site as part of the Final Development Plan and any required public improvements.

Recommended Notes to the Applicant

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.
2. The preliminary development plan approval shall lapse on March 2, 2024 if a final development plan application is not submitted in accordance with Section 2-02-11-03-07 of the Adams County Development Standards and Regulations.
3. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
4. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
5. A Subdivision Improvements Agreement and collateral shall be submitted prior to scheduling any public hearing for a final plat application.
6. A public land dedication fee for parks and schools shall be paid to Adams County and submitted prior to scheduling any public hearing for a final plat application. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
7. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.



Memorandum

To: Board of County Commissioners

From: Alan Sielaff, Planner II

Subject: Sherrelwood Village PUD Amendment / Case # PRC2020-00010

Date: March 2, 2021

If the Board of County Commissioners does not concur with the Staff recommendation of Approval, the following findings may be adopted as part of a decision of Denial:

ALTERNATIVE RECOMMENDED FINDINGS OF FACT FOR DENIAL

1. The Zoning Map amendment is not consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is not consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will not comply with the requirements of these standards and regulations.
4. The Zoning Map amendment is not compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The PDP is not in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
6. The PDP is not consistent with the purposes of these standards and regulations.
7. The PDP is not compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
8. The PDP does not conform to the Adams County Transportation Plan and will negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
9. The PDP is not consistent with any applicable drainage plans.
10. The PDP does not allow for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
11. The PDP is not consistent with any approved ODP for the property.

12. The PDP is not compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: RCU2020-00027
CASE NAME: HENDERSON PIT RECYCLING

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EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Site and Landscaping Plan
- 3.3 Applicant Operations Plan

EXHIBIT 4- Referral Agency Comments

- 4.1 Adams County
- 4.2 Brighton Fire & Rescue District
- 4.3 City of Brighton
- 4.4 Colorado Department of Natural Resources, Parks & Wildlife
- 4.5 North Metro Fire District
- 4.6 Tri-County Health Department
- 4.7 United Power
- 4.8 Xcel Energy

EXHIBIT 5- Public Comments

- 5.1 Barron
- 5.2 Fisher
- 5.3 Loutan
- 5.4 Lysaker-Johnson
- 5.5 Sparrow
- 5.6 Stephens
- 5.7 Zigan

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Referral Agency Labels
- 6.5 Property Owner Labels
- 6.6 Certificate of Posting



**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

Board of County Commissioners

March 2, 2021

Case Number: RCU2020-00027	Case Name: Henderson Pit Recycling
Owner's Name:	120 85, LLC
Applicant's Name:	Dave Schultejan
Applicant's Address:	10929 East 120 th Avenue, Henderson, CO 80640
Location of Request:	10925 East 120 th Avenue
Parcel Number:	0157135301001
Nature of Request:	A conditional use permit to allow recycling of concrete, steel, and asphalt
Zone Districts:	Agriculture-3 (A-3)
Comprehensive Plan:	Estate Residential
Site Size:	39.9 acres
Proposed Uses:	Recycling Facility
Existing Use:	Inert Landfill with Recycling Facility
Hearing Date(s):	PC: January 28, 2021 / 6:00 p.m. BOCC: March 2, 2021 / 9:30 a.m.
Report Date:	January 11, 2021
Case Manager:	Greg Barnes
PC Recommendation:	DENIAL with 10 Findings-of-Fact

SUMMARY OF APPLICATION

Background

The subject property is within the Corrigan Subdivision. This subdivision was approved by the Board of County Commissioners (BoCC) on June 10, 2002.

On June 2, 2003, the BoCC approved a conditional use permit to allow sand and gravel excavation on the property. On August 20, 2008, the BoCC approved an extension to this conditional use permit to allow the use to continue until August 20, 2010. On May 2, 2011, the BoCC approved another extension to the conditional use permit until May 2, 2012. The mining operations on the property have since been completed.

On October 3, 2013, the County approved a temporary use permit to allow crushing and recycling of concrete and asphalt stockpiles on the property. This permit expired on November 30, 2013.

On February 24, 2014, the BoCC approved a certificate of designation (CD) to allow approximately 1,000,000 cubic yards of inert fill material on the property. The CD will expire on February 24, 2021.

On March 14, 2017, the BoCC approved a conditional use permit to allow a recycling facility as an accessory use to the fill operations on the property. The conditional use permit expired on February 24, 2019. On October 8, 2019, the BoCC approved a conditional use permit renewal allowing the accessory recycling facility on the property. The conditional use permit will expire on February 24, 2021.

Background:

120 85, LLC, the applicant, is requesting a renewal of a conditional use permit to continue the use of the property as a recycling facility. The site was previously used as a gravel pit and subdivided into its current configuration in 2002. Currently, the property is being used as an inert landfill, which only accepts clean material, as defined by the Colorado Department of Public Health and Environment (CDPHE). The fill operation has been on-going since 2014 but is expected to be completed by February 24, 2021. According to the applicant's previous applications, the property has received large volumes of materials such as concrete, steel, asphalt, and topsoil, which could be recycled and sold, instead of dumping it into the gravel pit on the property as fill material. The recycling of these materials is a beneficial use that reduces waste in the landfill. The subject application is to allow the recycling operations to continue after the inert fill operations are completed. With the former gravel pit anticipated to be filled with inert material by the expiration of the Certificate of Designation, the subject application proposes for the recycling operation to be the sole, primary use on the property.

The subject request would allow the property to continue to be used to stockpile, sort, crush, and sell recycled materials for construction projects. These sales are largely wholesale. The information provided with the application shows recycled materials are delivered by trucks carrying construction and demolition debris to the site. The recyclable materials are then separated from the solid waste material and subsequently processed. Per Section 3-10-04-05 of the County's Development Standards and Regulations, a conditional use permit is required to operate a recycling facility on the subject property.

Site Characteristics:

The subject site is 39.9 acres and located northwest of 120th Avenue and U.S. Highway 85. A portion of the site currently consists of a large, excavated pit, which is being filled with inert fill materials, such as earth, rock, concrete, asphalt, topsoil, and masonry. The filling of this pit is scheduled to be completed by February 24, 2021. The topography of the site is at a lower elevation than most of the surrounding properties. This is due to previous sand and gravel excavation on the property.

Several properties border the subject site to the west. One of these adjacent properties is zoned Residential Estate (RE) and used residentially and agriculturally. The other properties are zoned Agricultural-3 (A-3) and used for manufacturing, storage, service, and sale of campers. Several uses on the adjacent property were approved with a conditional use permit in 1976. The property to the north of the site is also designated with A-3 zoning and has a lake, which is used for a private water ski club. The properties to the east and northeast are within the municipal limits of the City of Brighton. These properties are designated as Planned Unit Development (PUD) and Public Lands. The uses allowed in the PUD are industrial. The property to the south is under the jurisdiction of the City of Commerce City and used as an auto glass repair company.

Development Standards and Regulations Requirements:

Section 3-10-04-05 of the Development Standards and Regulations requires the approval of a conditional use permit to allow recycling facilities on the subject property. Site plans submitted with the application show existing structures on the property, including an office building, a scale for weighing trucks, a dumpster, and a portable bathroom. All these structures were previously approved as part of the fill permit on the property. The site plan also shows that operations and facilities on the property will consist of the existing pit, construction equipment, delivery-receiving area, stockpiles of raw material, and stockpiles of processed material. Per Section 4-10-02-05-07 of the County's Development Standards and Regulations, outdoor storage of materials associated with a recycling facility can be permitted in the A-3 zone district.

Sections 4-10-01-03-09 and 4-10-02-05-09 of the County's Development Standards and Regulations outline performance standards for outdoor storage and recycling uses. Per these standards, outdoor storage uses are to be screened from all adjacent rights-of-way and from lower intensity uses by an eight-foot-tall screen fence. In addition, stockpile height of recycled material shall not be taller than height of the screen fencing. All outdoor storage must consist of non-hazardous materials and provide adequate access for fire equipment. To comply with the screening requirements, the applicant installed a PVC screening material within an existing chain link fence on the western, northern, and eastern property boundary. Per Section 4-06-01-02-01-06 of the County's Development Standards and Regulations, proposed screening materials are required to provide a minimum of 90% opacity. The southern property boundary is currently screened with an existing landscaped berm, which includes grasses and sixteen new trees.

Section 4-16-18 of the County's Development Standards and Regulations, a type B bufferyard is required along the northern boundary and a type D bufferyard required along on a portion of the western and eastern property lines. Per Section 4-16-18 of the Development Standards, a bufferyard is required along exterior boundaries of a lot when a higher-intensity use is proposed. Buffers are not required along a portion of the western and eastern property boundaries of the subject request due to industrial uses on these adjacent properties.

Section 4-16-19-01 of the County's Development Standards requires a minimum of 10% of the total lot area to be landscaped. The subject property is 39.9 acres and requires a minimum of 3.99 acres of landscaping. Based on the application submitted, the landscaping provided with this application is inadequate to allow the recycling operation as a standalone use. The landscape plan submitted with the application indicates that the site is currently landscaped with grasses, shrubs, and trees. All trees are watered by hand, and the water will be supplied by truck. Section

4-16 of the County’s Development Standards and Regulations also requires installation of landscaping along adjacent roadways to the site. The existing landscaping conditions consist of 22 trees along the portion of street frontage abutting 120th Avenue and satisfies the requirements for the street buffer yard.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The Adams County Comprehensive Plan designates this site as Estate Residential. Estate Residential areas are designated for single-family housing at lower densities, typically no greater than one dwelling per acre. The subject request is inconsistent with the future land use designation. The intent of the previously approved requests was to allow recycling of fill materials brought onto the property. The current application proposes to continue the industrial use of property after the fill is complete. After completion of the fill operations, the property should be developed in conformance with the future land use designation.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Industrial	North A-3 Commercial / Recreational	Northeast City of Brighton Vacant
West RE Single-Family Residential	Subject Property A-3 Recycling Facility	East City of Brighton Vacant
Southwest City of Brighton Vacant (County Owned)	South City of Brighton Commercial	Southeast A-3 Single-Family Residential

Compatibility with the Surrounding Land Uses:

The subject property is surrounded by a variety of use types. The property to the north is developed as a commercial water ski lake. The property to the east is vacant and zoned industrial. The eastern bordering property is in the City of Brighton. The property to the southeast is developed as a single-family home and pastureland. The property to the northwest is developed as a manufacturing, repair, and storage yard. The property directly west of the site is developed with a single-family dwelling and is also used for farming. Many of the surrounding properties are used for residential, agricultural, and recreational uses. The mining and fill operations have been located on the subject property since 2003. Many of the area residents have complained to Adams County regarding off-site impacts of the excavation use of the property, including dust, noise, excessive traffic, and vehicle tracking on to roadways. Based on the previous approvals of the excavation and fill uses, these residents have been expecting operations on the site to cease on February 24, 2021. The subject request proposes to extend the industrial activities beyond the dates that nearby residents have expected.

The 2012 Comprehensive Plan identifies area-specific policies and strategies for corridors. Specifically, Policy 14.7 discusses the County’s goal of enhancement along key gateways for the County. Phase I of the Comprehensive Plan update currently underway, also known as Advancing Adams, is focused on five important gateways and corridors in the County, with 120th Avenue being one of them. The subject property is located just to the east of the Riverdale Regional Park, and traffic from I-76 and US Highway 85 will travel west along East 120th

Avenue then East 120th Parkway to the Regional Park. The proposal to continue recycling operations and associated truck traffic along this corridor does not conform to the goals of the County’s current Comprehensive Plan nor with the vision being developed in Advancing Adams.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on January 28, 2021 voted (6-1) to recommend denial of the request. During the staff presentation, concerns were noted regarding the consistent tracking of dirt and mud onto public roadways. The applicant stated that their street sweeping equipment had been in disrepair in recent weeks. At least one member of the Planning Commission noted that this was not an isolated incident. The applicant stated that the recycling operations is compatible, and that the County had allowed the recycling operation as an accessory use in the past based on compatibility.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends denial of the request with 10 findings-of-fact.

Recommended Findings-of-Fact:

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, inharmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. Sewer, water, storm water drainage, fire protection, police protection, and roads are not to be available and adequate to serve the needs of the conditional use as designed and proposed.
8. The request is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
9. The proposed facility will cause significant traffic congestion or traffic hazards.
10. The request is incompatible with the surrounding area.

PUBLIC COMMENTS

Notices Sent	Number of Responses
393	7

All property owners and physical addresses within one half-mile (2,640 feet) of this request were notified of this application. As of writing this report, staff has received seven comments regarding the subject request. Concerns and opposition to the request were included from six

respondents. Support for the request was provided from one respondent. Many of the comments raised concerns with dust, traffic, noise, and health impacts.

REFERRAL AGENCY COMMENTS

Staff sent the request to various referral agencies. The City of Brighton is opposed to the request. The City indicated that previous complaints about the use and prior violations, including vehicle tracking from the site demonstrate that the use is incompatible to the area. The Tri-County Health Department also provided recommendations for vector control and fugitive dust control.

Responding with Concerns:

City of Brighton
Tri-County Health Department

Responding without Concerns:

Brighton Fire & Rescue District
Colorado Parks & Wildlife
CDOT
North Metro Fire District
United Power
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Sheriff
Century Link
City of Brighton
Colorado Department of Public Health and Environment
Comcast
City of Commerce City
Fulton Ditch Company
Metro Wastewater Reclamation District
RTD
S. Adams Fire District
S. Adams Water & Sanitation District
Union Pacific Railroad



Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Conditions

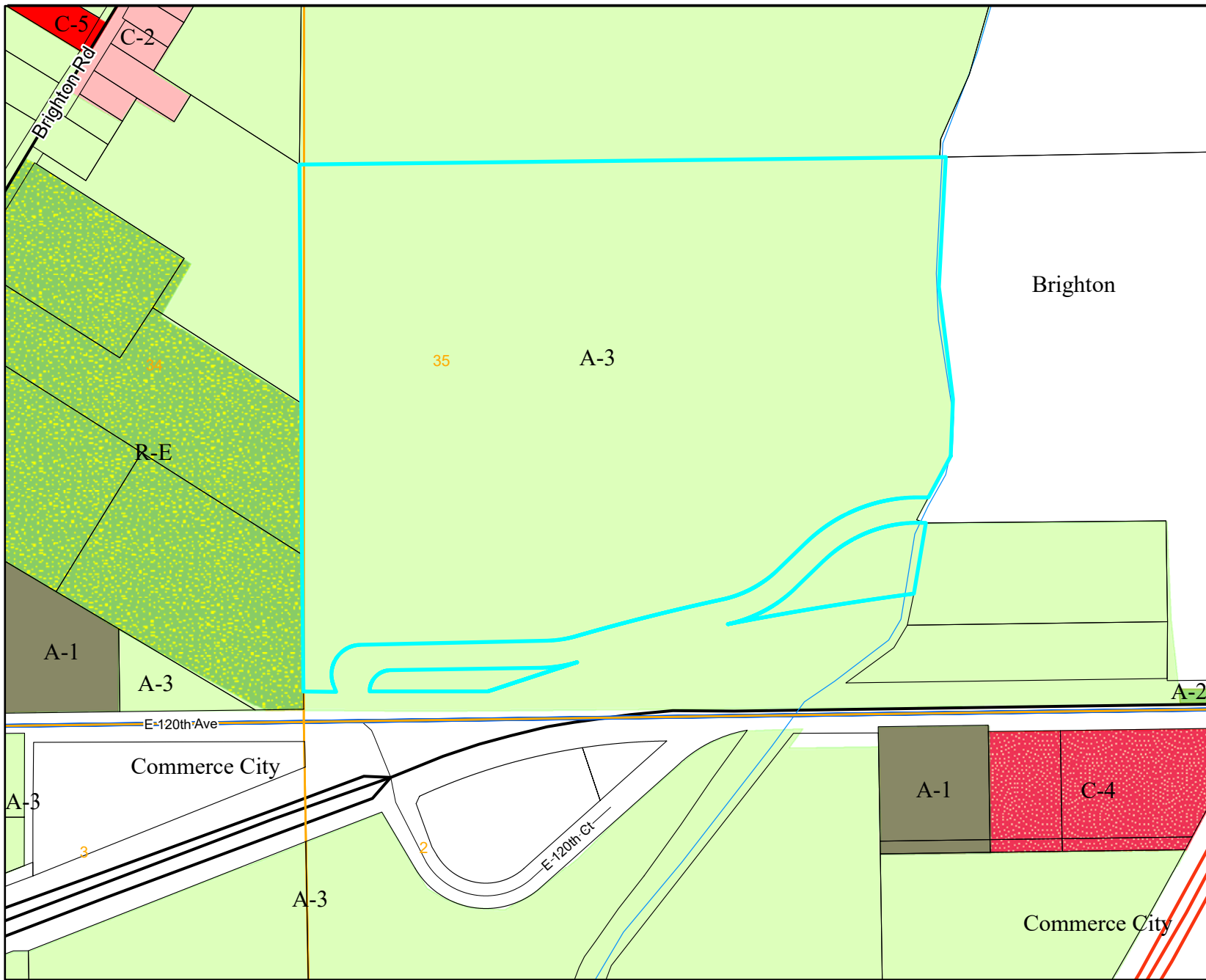
Henderson Pit Recycling
RCU2020-00027



For display purposes only.

AD TY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
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- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
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- Conditions

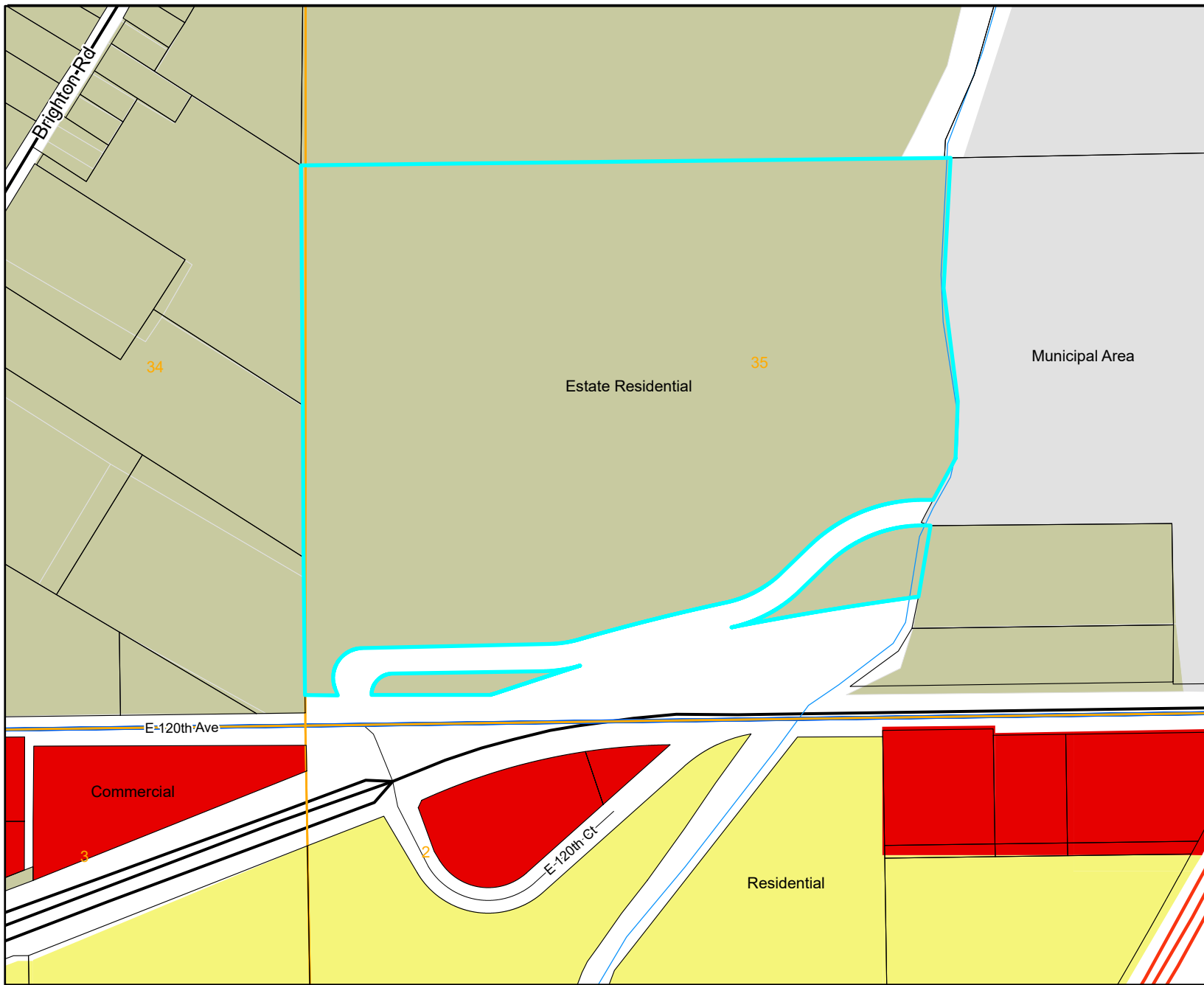
Henderson Pit Recycling
RCU2020-00027



For display purposes only.

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Legend

- +— Railroad
- Major Water
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- Sections
- Zoning Districts**
- A-1
- A-2
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- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Conditions

Henderson Pit Recycling

RCU2020-00027



For display purposes only.

AD TY

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Project Explanation

The Henderson Pit was permitted for operation by resolution of the Adams County Board of Commissioners in February, 2014. The resolution was for a Certificate of Designation (CD) to allow inert fill of construction material. The approved CD has an expiration date in February of 2021. The inert landfill will be completed along with the closure of the permit prior to the February 2021 deadline. The Henderson Pit property will be transitioning into the rezoning process following the closure of the Inert Landfill. This application is being submitted to renew the Conditional Use Permit (CUP) to allow recycling operations to continue following the closure of the inert landfill. The CUP for recycling is intended to be utilized during the rezoning process to keep the facility running until alternative development can begin. The site is currently operated and monitored as a recycling facility and is subject to Adams County and State of Colorado performance standards. The property is located west of US 85, north of 120th Avenue.

The renewal of the CUP for the recycling operation and wholesale operation of recycled materials will be subject to all applicable county and state performance standards. The Applicant commits to meeting or exceeding these standards and to act in accordance with all applicable regulations. There continues to be a critical need for this type of facility in Adams County. Recycling operations began approximately eight months after the fill operations originally started. The owner has been paying taxes to the County and State for sale of the recycled material for six years.

Due to the increase in construction activity over the last 10 years the need for construction material including recycled material has also increased. The Henderson Recycling facility receives a large volume of materials that are conducive to recyclable product. These include concrete, steel, asphalt and top soil. There are many benefits of recycling these materials including reducing the demand for raw materials, environmental benefits, additional jobs and tax creation. Recyclable materials delivered to the site are sorted, crushed and placed in new stock piles for sale.

The Henderson Recycling Facility is a necessary and beneficial need for the construction industry and the CUP to allow recycling operations will continue to benefit the construction operators as well as the environment. The site will continue to operate in a safe and efficient manner and will be considerate to its surroundings and neighbors.

The Henderson Recycling project will continue to comply with all applicable laws and regulations relating to air pollution, water pollution, and noise while striving to maintain a clean and safe environment for both the site and the surrounding area.

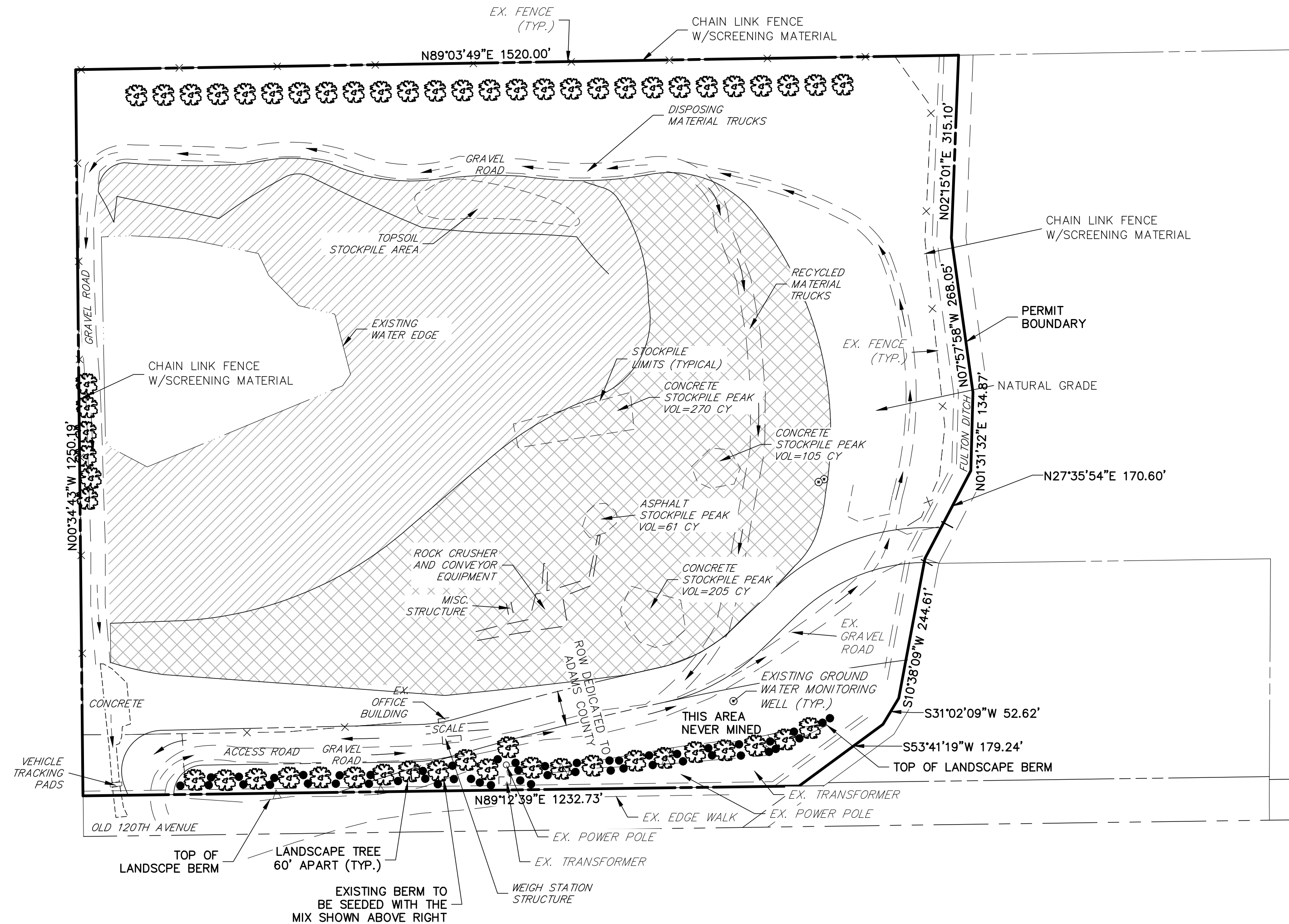
HENDERSON GRAVEL PIT

SITE PLAN/LANDSCAPE PLAN

Table A-1. Upland area seed mix - loamy to clay soils

Common Name	Scientific Name	Growth Season	Growth Form	% Mix	Lb/ac (PLS)
Grasses					
Blue grama	<i>Bouteloua gracilis</i>	Warm	Sod	25	1.8
Sand dropseed	<i>Sporobolus cryptandrus</i>	Warm	Bunch	20	0.2
Sideoats grama	<i>Bouteloua curtipendula</i>	Warm	Sod	20	6.3
Western wheatgrass	<i>Pascopyrum smithii</i>	Cool	Sod	15	8.2
Buffalograss	<i>Bouteloua dactyloides</i>	Warm	Sod	10	10.7
Inland saltgrass	<i>Distichlis spicata</i>	Warm	Sod	5	0.6
Herbaceous/Wildflowers					
Pasture sage	<i>Artemisia frigida</i>			1	0.01
Blanket flower	<i>Gallardia aristata</i>			1	0.5
Prairie coneflower	<i>Ranibida columnifera</i>			1	0.1
Purple prairieclover	<i>Dalea (Petalostemum) purpurea</i>			1	0.5
Blue flax	<i>Linum lewisii</i>			1	0.4
TOTAL PLS POUNDS/ACRE				100	29.11

PLS = Pure Live Seed - If broadcast seeding, double the rate.



GENERAL NOTES:

- FENCING: AN EIGHT (8) FOOT SOLID SCREEN FENCE OR SECURITY FENCE, WITH ADDITIONAL SCREENING MATERIAL, AS APPROVED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT, SHALL ENCLOSE ALL OUTSIDE STORAGE.
- NUISANCE CONTROL PLAN: PROVISIONS OF THE NUISANCE CONTROL PLAN SHALL BE FOLLOWED.
- APPEARANCE: ALL SITES SHALL MAINTAIN A CLEAN, NEAT, AND ORDERLY APPEARANCE. STOCKPILES OF MATERIALS MAY ONLY BE PLACED AS SPECIFIED IN THE DESIGN AND OPERATION PLAN.
- RECORDKEEPING: ALL OPERATORS SHALL MAINTAIN RECORDS SHOWING AMOUNTS OF STOCKPILED MATERIALS BOTH PROCESSED AND UNPROCESSED THAT ARE CONSISTENT WITH THE AMOUNTS ALLOWED IN THE PERMIT. IN ADDITION, RECORDS CONTAINING CUSTOMER LISTS AND RECORDS SHOWING AMOUNTS OF RECYCLED MATERIAL SHIPPED OFF SITE SHALL BE MAINTAINED.
- PERFORMANCE BOND: PRIOR TO COMMENCING OPERATIONS, AND THEREAFTER DURING THE ACTIVE LIFE OF THE FACILITY, AND FOR ONE (1) YEAR AFTER CLOSURE, THE OPERATOR SHALL POST AND MAINTAIN A PERFORMANCE BOND OR OTHER APPROVED FINANCIAL INSTRUMENT WITH ADAMS COUNTY. THE AMOUNT OF THE BOND SHALL BE CALCULATED TO INCLUDE REMOVAL, TIPPING FEES, AND TRANSPORTATION COSTS. SHOULD ANY CORRECTIVE ACTIONS BE REQUIRED BY THE COUNTY IN ORDER TO PROTECT THE HEALTH, SAFETY, AND GENERAL WELFARE WHICH RESULT FROM FAILURE OF THE OPERATOR TO FOLLOW ANY REGULATIONS, STANDARDS, OR CONDITIONS OF APPROVAL, THE PERFORMANCE BOND SHALL BE FORFEITED IN AN AMOUNT SUFFICIENT TO DEFRAY THE EXPENSE OF SAID ACTIONS, INCLUDING STAFF TIME EXPENDED BY ADAMS COUNTY INVOLVED IN SUCH CORRECTIVE ACTIONS.
- REMOVAL OF TRASH FROM RIGHT-OF-WAY: OPERATORS SHALL REMOVE TRASH, OR OTHER WASTE MATERIAL, OF THE TYPE WHICH IS BROUGHT TO THE FACILITY, ALONG PUBLIC RIGHTS-OF-WAY WITHIN ONE-HALF (1/2) MILE OF THE FACILITY.
- TREES TO BE WATERED BY HAND WATERING WITH A WATER TRUCK.
- STOCKPILE HEIGHT NOT TO EXCEED 8' ABOVE NATURAL GRADE.

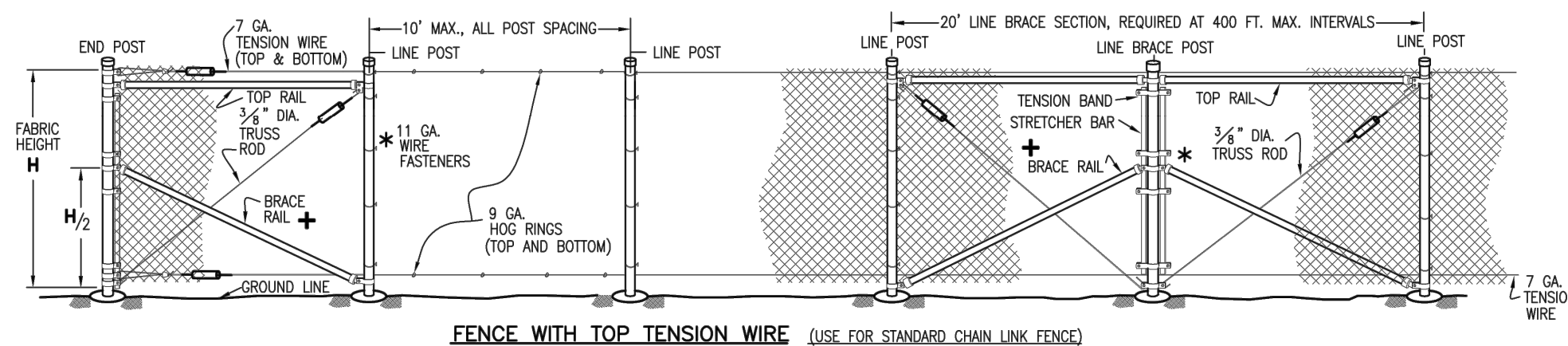
LEGEND

- DISPOSAL TRUCK TRAFFIC
- RECYCLED MATERIAL TRUCK TRAFFIC
- FILL AREA
- LOW AREA FOR STOCKPILE
- TOP OF SLOPE
- LANDSCAPE TREE

150 75 0 150
ORIGINAL SCALE: 1" = 150'

NOTES:

- REFER TO CDOT STANDARD M-607-1, 2, AND 3 FOR INSTALLATION DETAILS AND NOTES.
- SCREENING MATERIAL IS TO BE FENCE4EVER OLIVE DARK GREEN PRIVACY SCREEN OF APPROVED EQUAL.



SITE PLAN/LANDSCAPE PLAN
HENDERSON GRAVEL PIT
JOB NO. 15694.00
09/03/20
SHEET 1 OF 1

J-R ENGINEERING
A Westrian Company

Centennial 303-740-9393 • Colorado Springs 719-593-2593
Fort Collins 970-491-9888 • www.jrengineering.com

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 10/23/2020

Project Number: RCU2020-00027

Project Name: Henderson Pit Recycling

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 10/16/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: Request is for a Conditional Use Permit (CUP) for a Recycling facility and wholesale of recycled material in the A-3 zoned district.

PLN02: Per Section 11-02-428, recycling facilities are when operators and owners claim exclusion from the Certificate of Designation Regulations by operating facilities, or sites receiving solid waste materials, for the purpose of processing, reclaiming, or recycling solid waste materials. The exclusion requires submittal of a design and operations plan to the Community and Economic Development Department, which has been received.

PLN03: Per Section 3-07-01 a recycling facility is a use only allowed as a CUP in the A-3 zone.

PLN04: Recycling Uses shall comply with Section 4-10-02-05-07. Demonstrate compliance with each listed item.

a.) Fencing - shown on site plan.

b.) Traffic control plan and a nuisance control plan. This needs to be provided again with the new application.

c) Recordkeeping is a requirement. Can you provide documentation on this?

PLN05: Per Section 2-02-08, the Board of County Commissioners (BOCC) is the final decision authority to review and approve/deny CUPs. Also, Per Section 2-02-08-05 CUPs are reviewed by the Planning Commission (PC) and BoCC.

PLN06: The property is located in the A-3 zoning district. Per Section 3-10-01 the purpose of the Agricultural-3 District is to provide land primarily in holdings of at least 35 acres for dryland or irrigated farming, pasturage, or other related food production uses. The use is not consistent with the existing zoning.

PLN07: The property is located within the Estate Residential future land use. Estate Residential areas are designated for single family housing at a lower densities, typically no greater than 1 unit per acre, and compatible uses such as schools and parks. The use is not consistent with this designation.

PLN08: Please provide a complete explanation of the following items:

a. what is happening with the fill? Can you provide more specifics on a current status?

b. what duration do you expect recycling operations should continue?

c. what is the expected timeline on the rezoning?

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 10/22/2020

Email:

Resubmittal Required

ENV6. The asphalt crusher location is not shown on the site plan. Given this is a listed piece of equipment in the Operations Plan, staff requests the location of such be demonstrated on the site plan.

ENV7. The applicant shall provide a copy of the renewed APCD Regulation 3 APEN as submitted to CDPHE for the crushing/recycling operations.

ENV8. Quarterly air monitoring reports shall also include meteorological data for the duration of sampling, as well as an analysis of meteorological conditions on the day of air monitoring in comparison with average conditions.

ENV9. An anemometer, or other type of wind gauge, shall be permanently installed at the location through the duration of the facility's operating life, and shown on the facility Site Plan. When wind gusts exceed 35 mph or sustained winds exceed 20 mph, all crushing operations shall cease. Records of high wind shut downs shall be maintained including date, time and duration.

ENV10. The applicant indicates that 120th Ave will be swept twice a day between the hours of 1-3pm and 6-8pm. Given the allowed business hours of 6am - 6pm, the applicant shall alter those times to better reflect tracking impacts to 120th Ave from operational truck traffic.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 10/22/2020

Email:

Comment

ENV1. What is the requested duration for continuance of the recycling operations?

ENV2. What is the estimated air space remaining within the inert landfill and what volume of material is needed to be placed in order to meet the February 2021 Certificate of Designation expiration data?

ENV3. The Operations Plan needs to be updated to reflect the Conditions of Approval for RCU2019-00003, specifically the restricted hours for crushing operations.

ENV4. During times when the facility is open after 6:00pm to accommodate highway construction projects, as proposed in the existing operations plan, no concrete/rock crushing or other material processing shall occur. The applicant shall specify this requirement within the Operations Plan.

ENV5. Staff requests clarification on the statement "Materials to be recycled will be stockpiled in the bottom of the pile as well as the processed recycled material..." within the Facility Layout section of the Operations Plan.

Commenting Division: ROW Review

Name of Reviewer: Matthew Emmens

Date: 10/15/2020

Email: memmens@adcogov.org

Complete

ROW1: Sufficient Right-of-way to access this parcel and neighboring parcels was dedicated to the County in the deed recorded under Reception No. 2011000030387. Therefore, no additional right-of-way is needed for this parcel.

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 10/15/2020

Email: memmens@adcogov.org

Resubmittal Required

ENG1: The applicant has submitted a traffic impact letter that states that the closing the fill operations will decrease traffic generation from this site. However, County staff are concerned with the turning movements the trucks are making. Safety at the intersection of 120th Ave and the site entrances must be maintained. The applicant is required to submit a revised traffic impact letter that includes a signal warrant analysis.

ENG2: Flood Insurance Rate Map – FIRM Panel # (08001C0336H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG3: The project site is not located in a NRCO district. An environmental assessment is not required.

ENG4: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-400000.

Commenting Division: Building Safety Review

Name of Reviewer: Justin Blair

Date: 10/13/2020

Email: jblair@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 09/29/2020

Email: gjbarnes@adcogov.org

External Agencies Selected

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 12/16/2020

Project Number: RCU2020-00027

Project Name: Henderson Pit Recycling

Commenting Division: Plan Coordination 2nd Review

Name of Reviewer: Greg Barnes

Date: 12/16/2020

Email: gjbarnes@adcogov.org

Pending Public Hearing

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 12/16/2020

Email: memmens@adcogov.org

Complete

ENG1: The applicant has submitted a traffic impact letter that states that the closing the fill operations will decrease traffic generation from this site. However, County staff are concerned with the turning movements the trucks are making. Safety at the intersection of 120th Ave and the site entrances must be maintained. The applicant is required to submit a revised traffic impact letter that includes a signal warrant analysis.

JR Response: See signal warrant analysis

County Comment: The applicant has supplied a trip generation analysis. The County is in agreement with conclusions of the analysis. Comment closed.

ENG2: Flood Insurance Rate Map – FIRM Panel # (08001C0336H), Federal Emergency Management Agency, January 20, 2016. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

JR Response: Noted

County Comment: Comment closed.

ENG3: The project site is not located in a NRCO district. An environmental assessment is not required.

JR Response: Noted

County Comment: Comment closed.

ENG4: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is within the County's MS4 Stormwater Permit area. In the event that the disturbed area of the site exceeds 1 acre the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-400000.

JR Response: Noted

County Comment: Comment closed.

Commenting Division: ROW Review 2nd Review

Name of Reviewer: David Dittmer

Date: 12/16/2020

Email:

Complete

No Comment

Commenting Division: ROW Review 2nd Review

Name of Reviewer: David Dittmer

Date: 12/16/2020

Email:

Comment

no comment

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 12/16/2020

Email:

Complete

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 12/03/2020

Email: gjbarnes@adcogov.org

Complete

An extension of the recycling operations as a standalone use may not supported by staff. No further comments at this time.

Commenting Division: Application Intake 2nd Review

Name of Reviewer: Megan Ulibarri

Date: 11/24/2020

Email:

Complete



Brighton Fire Rescue District

500 S. 4th Ave, 3rd Floor • Brighton, Colorado 80601

Telephone: (303) 659-4101 • Fax: (303) 659-4103 • Website: www.brightonfire.org.

PLANNING AND DEVELOPMENT REQUIREMENTS

Thank you for the opportunity to provide input regarding the planning processes of your proposed new development. The information contained below should be examined and utilized when designing your fire department access roads, firefighting water supplies; including fire hydrant locations, distribution and fire flow. We've also given additional guidance and fire safety information regarding addressing, and fire safety considerations.

*Code references are found in the 2012 International Fire Code, unless otherwise specified.

Applicant Information

Name:	Title:
Phone:	Email:

Project Information

Name:	Address:
Description/Scope:	

FIRE DEPARTMENT ACCESS

When is fire apparatus access roads or a water supply for fire protection required to be installed?
Prior to and during time of construction. Except if approved alternative methods of protection are provided.

- 503.1 Access within 150 feet of any portion of building.**
- 503.2/D103.1 Dimensions for fire access roads:**
1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches.
 2. Where a fire hydrant is located on a fire apparatus access road, the minimum unobstructed road width shall be 26 feet and a vertical clearance of not less than 13 feet 6 inches.
- 503.2/D102 Surface requirements for access roads:**
1. Fire apparatus access roads shall support an imposed load of a Minimum of 75,000 pounds.
 2. Road surface to be all-weather, asphalt, concrete or other approved driving surface.
- Turning radius:**
Determined by FCO. Minimum not less than design limitations of the Fire Department's apparatus.
- Brighton Fire Rescue District Tower 51 specifications are attached to this document.**
- 503.2/D103.2 Fire apparatus access road grades (approved by FCO):**
1. Fire apparatus access roads shall not exceed 10% in grade.
 2. Exception: grades steeper than 10% as approved by the fire chief.

D103.5

Fire apparatus access road gates:

1. The minimum gate width shall be 20 feet
2. Gates shall be of the swinging or sliding type.
3. Construction of gates shall be of materials that allow manual operation by one person.
4. Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access.

505.1/505.2

Premises identification:

1. New and existing buildings shall have a proved address numbers that are legible and visible from the street or road fronting the property.
2. Address numbers shall be a minimum size of 4 inches high and stroke width of 0.5 inches.
3. Streets and roads shall be identified with approved signs.

506

Key box requirements:

1. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life saving or fire fighting purposes.
2. An approved lock shall be installed on gates or similar barriers when required by the FCO.

503.1.2/503.1.3

FCO is authorized to require an additional access road based on:

1. Potential for impairment of a single road by vehicle congestion, condition of terrain, climate conditions or other factors that could limit access.
2. During construction, alteration or demolition.
3. High-piled combustible storage.

D107

One or two-family residential developments:

1. Developments where the number of dwelling units exceeds 30, shall be provided with two separate and approved fire apparatus access roads.
2. **Exception:** Where there are more than 30 dwelling units on a single apparatus access road and all dwelling units are equipped throughout with an approved automatic sprinkler system, access from two directions shall not be required.
3. The number of dwelling units on a single apparatus access road shall not be increased unless fire apparatus access roads will connect with future development, as determined by the fire code official.

D106.1/106.6.2

Multiple-family residential (apartments etc.):

1. More than 100 dwellings units will require a minimum of two separate and approved access roads.
Exception: one road when up to 200 dwelling units have approved automatic fire sprinkler system in all buildings.
2. More than 200 dwellings shall be provided with two separate and approved access roads regardless of whether they are equipped with an automatic fire sprinkler system.

503.1.1

Exceptions can be modified by FCO (fire code official) where any of the following applies:

1. Automatic sprinkler systems.
2. Not more than two group R-3 one and two-family dwellings or U's – utility and misc. accessory buildings or structures.
3. Buildings location on property, topography, waterways, nonnegotiable grades, etc.

D104.1-104.3

Fire access for commercial and industrial developments:

1. Buildings exceeding three stories or 30 feet high shall have at least two means of fire apparatus access for each structure.
2. Gross building area exceeding 62,000 square feet shall be provided with at least two separate and approved access roads.
Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.

3. Remoteness- Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

D105.1/105.3

Aerial fire apparatus access roads:

1. Aerial apparatus access roads are required when the vertical distance between the grade plane and the highest roof surface exceeds 30 feet.
2. Width for aerial apparatus access roads shall have a minimum unobstructed width of 26 feet.
3. Proximity to building- at least of the required access routes meeting those condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.

503.2/D103

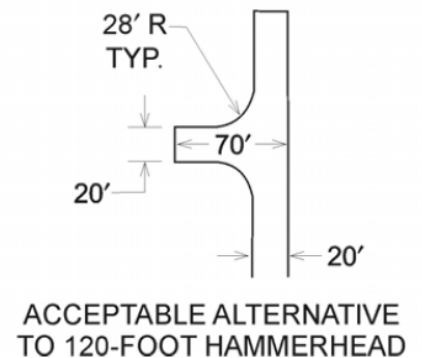
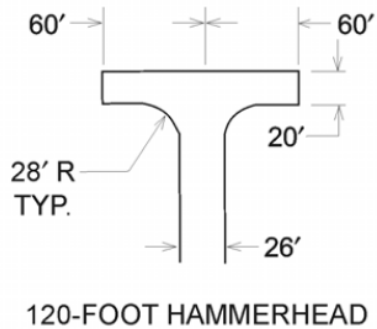
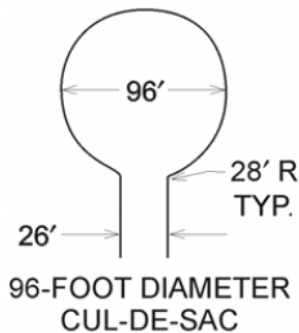
Dead-end roads in excess of 150 feet require turnarounds.

**TABLE D103.4
REQUIREMENTS FOR DEAD-END
FIRE APPARATUS ACCESS ROADS**

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
Over 750		Special approval required

For SI: 1 foot = 304.8 mm.

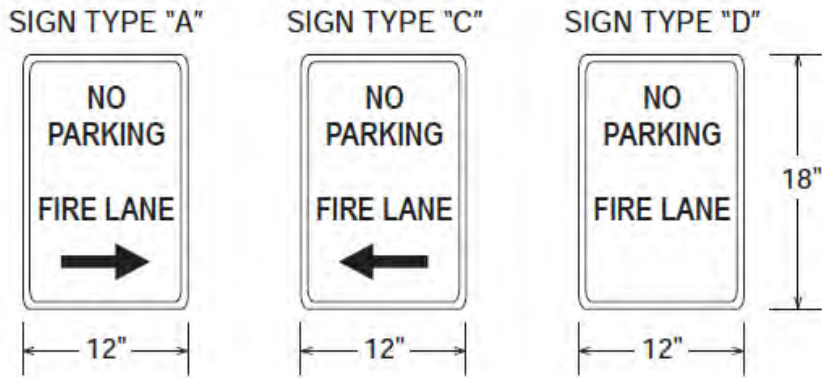
Approved turnaround options:



503.3/D103.6

Markings and signs:

1. Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for the fire apparatus access roads to identify such roads or prohibit the obstruction thereof.



**FIGURE D103.6
FIRE LANE SIGNS**

FIRE DEPARTMENT WATER SUPPLY REQUIREMENTS

When utilizing this form please insert the information needed within the blanks.

507.4

Water supply test:

1. The Fire Code Official shall be notified prior to water supply test
2. Test shall be performed prior to final approval of water supply system
3. Test must be witnessed by the Fire Code Official or approved documentation shall be provided showing proof of the test

507.4

Required water supply and fire flow:

According to Table B105.1(2) the required water supply for fire suppression shall be _____ gallons per minute at 20 psi residual pressure for _____ hours. This flow requirement is based on Type _____ construction not to exceed _____ square feet. If the buildings are to have fire sprinklers installed per NFPA 13 - which allows for a reduction in fire flow requirements, but in no case shall the resulting fire-flow be less than 1500 gallons per minute at 20 psi residual, please provide this information.

For existing sites – please provide information regarding the available fire flow. Once this information is provided, we can determine if the fire flow is adequate.

Appendix B

Required fire-flow for one-and two-family dwellings, group R-3 and R-4 buildings and townhouses:

When designing fire-flow and water supplies for the occupancies listed above refer to Table B105.1(1). Based upon the information in Table B105.1(1) the minimum fire flow required is _____ gallons per minute for a duration of _____ hours.

Appendix B

Fire-flow requirements for buildings:

No commodities, furniture, goods, merchandise, wares, materials or possessions shall be stored or used within this structure until the fire sprinkler or suppression system is completed, tested and operational, unless otherwise approved by both, the Fire Marshal and Building Official.

903.3.7/NFPA 14

Fire department connections:

If fire department connections are needed/required - these locations need to be discussed.

507.5 Appendix C

Fire hydrants:

The minimum amount of fire hydrants needed on this site shall be _____ spaced no more than _____ feet from the most remote portion of the building measured by an approved fire access route around the exterior of the facility or building. Fire hydrants shall be provided where required by the fire code official.

507.5.4-507.5.6/312

Obstruction & protection of fire hydrants:

A 3-foot clear space shall be maintained around the circumference of fire hydrants. When exposed to vehicular damage, concrete curbing, sidewalks, or 4-inch concrete filled bollards placed 3 feet from hydrants shall suitably protect fire hydrants. No parking within 10 feet of any hydrants.

FIRE SPRINKLER AND FIRE ALARM

903/NFPA 13, 13R, 13D Automatic Sprinkler Systems:

Approved automatic fire sprinkler systems shall be installed in accordance with chapter 9 in the IFC and the NFPA standard pertaining to the system.

907/NFPA 72

Fire alarm and detection systems:

If fire alarm systems are to be installed, construction documents for these systems shall be submitted for review and approval prior to system installation. These plans need to be submitted to the building department for review. Installation and maintenance of fire alarm systems shall be in accordance with Section 907 of the OFC and NFPA 72.

FIRE SAFETY DURING CONSTRUCTION

Chapter 33

Fire safety during construction:

This chapter of the fire code prescribes minimum safeguards for construction operations to provide reasonable safety to life and property from fire during such operations.

- Smoking shall be prohibited except in approved areas.
- Storage of flammable and combustible liquids shall be maintained in proper containers and labeled or have the appropriate placard.
- Fire watch is required when operations involving the use of cutting and welding shall be done.
- Electrical power and wiring shall comply with NFPA 70.

906

Portable fire extinguishers (general):

Fire extinguisher ratings and size shall be addressed during the building permit process.

304.3.3

Dumpsters (general):

Dumpsters and containers with an individual capacity of 1.5 cubic yards or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings, or combustible roof eaves unless area is protected by an approved automatic fire sprinkler system.

Again, thank you for the opportunity to provide comment; we look forward to working with you.

If you have any questions or concerns, please reach out to the Brighton Fire Prevention Team at 303-659-4101.

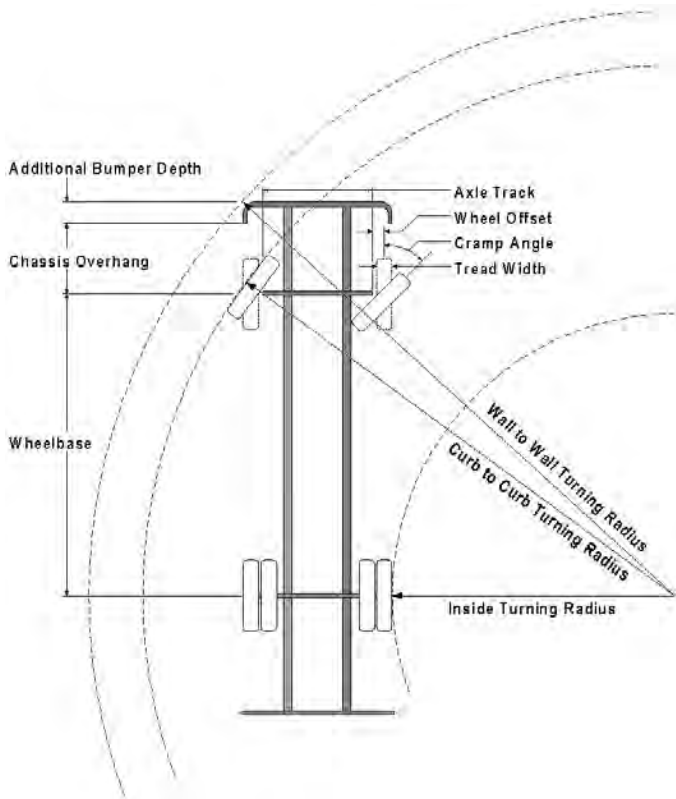


Turning Performance Analysis

01/14/2016

Bid Number: 219
Department: Brighton Fire Rescue District

Chassis: Velocity Chassis, PAP/SkyArm/Midmount (Big Block)
Body: Aerial, Platform 100', Alum Body



Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.3 in.
Tread Width:	13.5 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	26 in.
Front Overhang:	146.1 in.
Wheelbase:	257.5 in.

Calculated Turning Radii:

Inside Turn:	24 ft. 7 in.
Curb to curb:	39 ft. 11 in.
Wall to wall:	47 ft. 6 in.

Comments:

Category	Option	Description
Axle, Front, Custom	0508846	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	0582746	Tires, Front, Goodyear, G296 MSA, 445/65R22.50, 20 ply
Bumpers	0123627	Bumper, 26" Extended, Imp/Vel
Aerial Devices	0592931	Aerial, 100' Pierce Platform, 50 MPH Wind Rating, 150lb Tip Load Allowance

Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

Greg Barnes

From: Jason Bradford <jbradford@brightonco.gov>
Sent: Wednesday, September 30, 2020 9:49 AM
To: Greg Barnes
Subject: Re: For Review: Henderson Pit Recycling (RCU2020-00027)

Please be cautious: This email was sent from outside Adams County

Mr. Barnes,

The City of Brighton received a copy of the proposed use for the above referenced property and appreciate the opportunity to make comments about the proposed use on behalf of the City of Brighton.

The City of Brighton is opposed to the proposed use of this property for an asphalt, concrete, and steel recycling facility. This proposed use belongs in high-intensity industrially zoned land. The property in question is not appropriate for this type of high-intensity industrial land use.

The property is currently zoned as A-3 (Agricultural) and is shown on Brighton's Comprehensive Map as being appropriate for Agricultural uses and businesses. Recycling asphalt, concrete, and steel is not an agricultural business, it is a high-intensity industrial business and incompatible with the surrounding uses and the surrounding area. This type of business should be placed in an area zoned for high-intensity industrial uses.

This property is located adjacent to the Adams County Riverdale Regional Park, residential uses, agricultural uses, commercial retail uses, and some light industrial uses. Placing this type of business that will generate vibrations, noise, air quality problems, and heavy industrial truck traffic is inappropriate in this context. In addition, this type of business is visually unappealing and is inappropriate near a major regional commercial intersection such as US-85 and 120th Avenue.

The City of Brighton opposes the proposed land use in the strongest of terms, at this location. However, should the land use be approved by the County, the business should make several improvements to the property, roadway network, and surrounding area to mitigate the negative impacts of this type of heavy industrial use in this location.

First, the City would require that a traffic report be provided to the City in order to determine the roadway network improvements that would be required to ensure the safe and efficient flow of traffic in the area, including improvements to the US-85 and 120th Avenue intersection. The City would request a traffic report to address whether a traffic signal would be warranted at the entrance to the site from 120th Avenue. Already, this access point does not operate effectively and is very dangerous. The amount and frequency of heavy industrial vehicles entering and exiting this site is problematic and very dangerous to other drivers and to traffic in the area. Adding any additional traffic to and from the site will require significant traffic network improvements and mitigation efforts.

Second, the City would require a densely planted and well-maintained landscape berm and fencing to be installed around the entire site to mitigate the incompatible and negative visual impacts of this land use on adjacent passenger vehicle traffic as well as the surrounding land uses.

Third, the City would require that a noise and vibration study and an air quality mitigation study be provided to the City of Brighton to determine the methods that will be used to mitigate the impacts of this incompatible, high-intensity industrial use on the surrounding land uses.

Thank you for providing the City of Brighton with the opportunity to provide comments on behalf of the City of Brighton. Please let me know if you have any questions or would like to discuss this matter further.

Cordially,
Jason Bradford, AICP
Planning Manager
303.655.2024

City of Brighton
500 South 4th Avenue
Brighton, CO 80601

jbradford@brightonco.gov | www.brightonco.gov

On Tue, Sep 29, 2020 at 8:34 PM Greg Barnes <GJBarnes@adcogov.org> wrote:

The Adams County Planning Commission is requesting comments on the following application: **conditional use permit application to allow for recycling operations in the Agricultural-3 zone district**. This request is located at 10925 E 120TH AVE. The Assessor's Parcel Number is 0157135301001.

Applicant Information:

JOEY FRANK

2900 S COLLEGE AVE

FORT COLLINS, CO 80525

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 10/20/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

Greg Barnes

From: Likes - DNR, Jordan <jordan.likes@state.co.us>
Sent: Wednesday, October 14, 2020 7:37 AM
To: Greg Barnes
Subject: For Review: Henderson Pit Recycling (RCU2020-00027)

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes:

Thank you for the opportunity to comment on the proposed conditional use permit to allow for recycling operations to be conducted at the Henderson Pit, which is in an Agriculture-3 zone district. The 39-acre property is bounded on the south by East 120th Avenue and East 120th Court, and on the east, north and west by various parcels of private property.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

CPW would expect to find small passerine birds and small ground dwelling mammals near the property. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

If you have any questions or concerns on this project, please feel free to contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Jordan Likes
District Wildlife Manager
Westminster - Area 5



P 303.291.7135 | F 303.291.7114
6060 Broadway, Denver, CO 80216
jordan.likes@state.co.us | cpw.state.co.us

Greg Barnes

From: Gosselin, Steve <SGosselin@northmetrofire.org>
Sent: Wednesday, September 30, 2020 9:29 AM
To: Greg Barnes
Subject: RE: For Review: Henderson Pit Recycling (RCU2020-00027)

Please be cautious: This email was sent from outside Adams County

Good morning, Greg.

The North Metro Fire Rescue District's Fire Prevention Division has no comments on this application for conditional use permit. I believe that the Henderson Pit property sits just east, and outside of, North Metro's jurisdiction.

Have a great day!

Steven Gosselin
Division Chief - Fire Prevention
North Metro Fire Rescue District
101 Spader Way
Broomfield, CO 80020
Phone: (303) 252-3540
Fax: (720) 887-8336
E-mail: sgosselin@northmetrofire.org
Website: www.northmetrofire.org



"Excellence Through Each Individual Act."



Be safe. Stay healthy. Stay happy!

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Tuesday, September 29, 2020 8:35 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Henderson Pit Recycling (RCU2020-00027)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

The Adams County Planning Commission is requesting comments on the following application: **conditional use permit application to allow for recycling operations in the Agricultural-3 zone district**. This request is located at 10925 E 120TH AVE. The Assessor's Parcel Number is 0157135301001.

Applicant Information:
JOEY FRANK
2900 S COLLEGE AVE
FORT COLLINS, CO 80525

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 10/20/2020 in order that your comments may be taken into consideration in the review of this



October 14, 2020

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Henderson Pit Recycling, ARP2020-00009
TCHD Case No. Insert TCHD Case Number 6538

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the conditional use permit application for recycling operations in the Agricultural-3 zone district located at 10925 E. 120th Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Construction and Demolition Recycling Facility

Recycling of industrial materials has the potential to cause odors, ground water contamination, and nuisance conditions. The Hazardous Materials and Waste Management Division of Colorado Department of Public Health and Environment (CDPHE) regulates recycling facilities. This facility must meet the requirements of Section 8 of 6CCR 1007-2, Part 1. More information can be found at <https://www.colorado.gov/pacific/cdphe/recycling>.

Fugitive Dust – Permanent uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry>.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that

Henderson Pit Recycling
October 14, 2020
Page 2 of 2

the applicant create a plan for regular pest control. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



Your Touchstone Energy® Cooperative 

October 19, 2020

Adams County Community & Economic Development Department
4430 S. Adams County Pkwy 1st Floor, Suite W200A
Brighton, CO 80601

Re: RCU2020-00027 – Henderson Pit Recycling

Dear Greg Barnes:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the Henderson Pit Recycling. After review of the information, United Power has no concerns or objection to the proposed conditional use permit application to allow for recycling operations in the A-3 zone district; contingent upon United Power's ability to maintain all existing rights, facilities/equipment, and existing easements. This request should not hinder our ability for future expansion, including all present and any future accommodations for electrical distribution.

Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

As a Reminder: No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

Service will be provided according to the rules, regulations, and policies in effect by United Power at the time service is requested. We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,

A handwritten signature in black ink, appearing to read "Samantha Riblett", enclosed in a rectangular box.

Samantha Riblett
United Power, Inc.
Right of Way Administrative Assistant
O: 303-637-1324 | Email: platreferral@unitedpower.com



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303.571.3284
donna.l.george@xcelenergy.com

October 21, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Henderson Pit Recycling, Case # RCU2020-00027

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the conditional use permit documentation for **Henderson Pit Recycling** and has **no conflict**.

Resubmittals are not necessary for this plan review.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Adams County
Community & Economic Development Department
Development Services Division
4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO. 80601-8218

Case Name: Henderson Pit Recycling
Case Number: ARP2020-00009

Every person is entitled to live and work in a clean and safe environment. I feel Adams County has now taken away my right by allowing the continuation of filling and recycling operations at the Henderson Pit whose address is 10925 E. 120th Ave.

I moved to 10888 E. 120th Ave 20+ years ago after having the upper half of my left lung surgically removed and wanting to exit the city's pollutions.

The arrival of the Henderson Pit 5-6 years ago has made life a nightmare and brought a very unneighborly faction.

- Little or no fencing has created a poor visual impact.
- Traffic impact of congestion, delays, accidents, dust, and safety concerns.
- Nuisance impact of excessive noise, vibration, parking in front of driveways on 120th.
- No wind barriers erected.
- No reduction of speed limits.
- No reduction of work during high winds or inclement weather.
- Stockpiles exceed the height of their berms.
- Stockpiles are not maintained or watered down
- Sweeper is used primarily when meetings are scheduled and even then with very little water.

They agreed at the last meeting to close on Saturdays and Sundays, however I have videos and pictures of work on Saturdays that may be called "maintenance" or whatever but it's the same dust, dirt and "in your face attitude." This causes an inability to enjoy our home and property.

I've read their Operation Plan and all I can say is it's the biggest crock of you know what I've ever seen. They take no steps to mitigate the potential adverse impacts on the environment or human health.

The amount of time each truck is on their property wouldn't allow them to cover any of their so called "checklists".

The impact to water and vegetation from sediment and fines.

- Gutters are full of dirt and drains are left wide open.

- No inlet protection or wattles around drains.

Air quality is impacted by their equipment emissions, the hauling equipment emissions, as well as the dust.

Chemical Contaminants (which are probably the worst and most dangerous of them all) when you crush concrete, asphalt, and steel.

- Salts
- Heavy Metals
- Polycyclic Aromatic Hydrocarbons
- Lead
- Asbestos
- Other chemicals

All are issues when recycling off site and commercially sources concrete, and most are

1. Toxic to Humans
2. Harmful to our ecosphere.
3. Interstitial Lung Disease is a Death Sentence.

Years ago the Adams County Planning Commission voted to deny the continuation of the Henderson Pit and one commissioner bullied the others into letting it pass. Maybe it's time to stand by the initial decision you once made.

Some locals won't say anything because they have financial gains from the pit. Well believe me it is a financial and physical hardship for me. In addition I've had to hire extra labor and work countless hours to clean my property, leaving no time to enjoy it. I'm not sure how much longer I can do this.

I can be reached for further questions and appreciate your time.

Sincerely,



Barbara Barron
10888 E 120th Ave
Henderson, CO 80640
303-981-6341



SAT. WORK directly in front
of 10888 E. 120th Ave. Almost
as if to intentionally irritate
us.

* We cancelled our invited guests
and had to go out instead, too
dusty to use our patio.

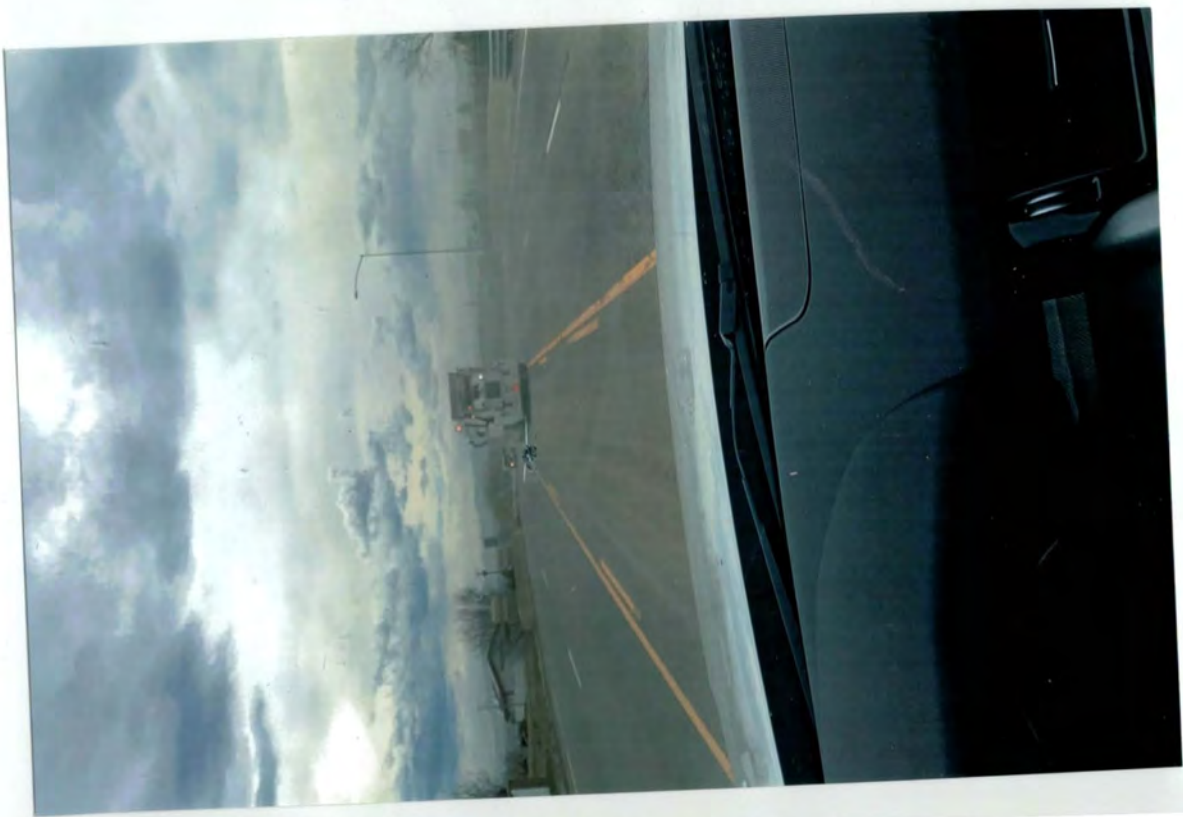
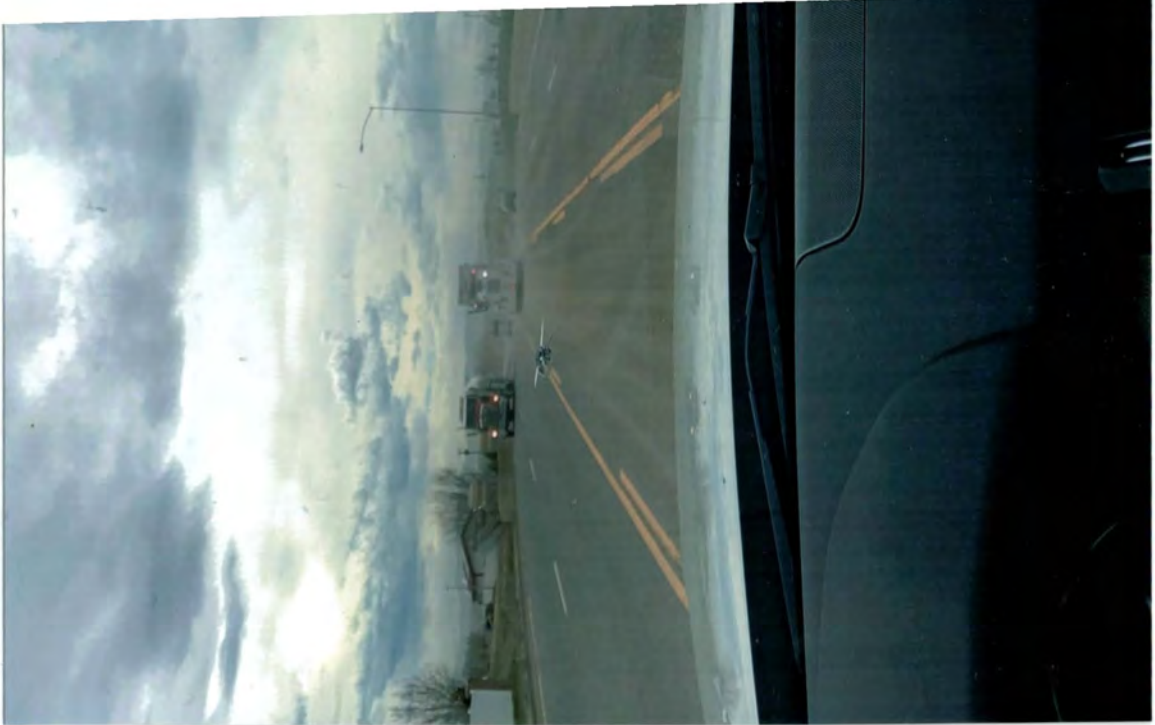
* Complete video available
to view, & additional dated
photos showing SAT. activity,
also available.

Supposed to be closed SAT.

Sat. July 11, 2020

? Open or doing maintenance
but same noise, vibration,
dust & irritation.





This is what we live with on
a non-windy day.

Please note road markings
even become obscured to the
moving traffic.



Greg Barnes

From: Ronnie Fisher <ronnief@dec-us.com>
Sent: Tuesday, October 20, 2020 9:26 AM
To: Greg Barnes
Subject: Recycling pit

Please be cautious: This email was sent from outside Adams County

To: Adams County Planning commission;

My name is Ronnie Fischer 3rd generation that has lived at the address of 10990 E 12th Ave. since 1923. My 2nd great grandfather owned most of the area in question, I take care of my parents at the house my father was born in. The pit across the street has taken a toll on their health and wellbeing, my mother's asthma has gotten worse every year that the recycling pit has been in service. My father is concerned about the dust it creates on everything, he sees it on plants and garden and he has started to give up. I myself have seen my parents get lung illnesses a lot easier now with the air pollution. They can't live any of their golden years outside in their yard or gardens all over revenue that Adams County gets for this terrible recycling pit. My parents feel it is inhumane to do this to people that have lived her for over 75 years and it means nothing to the people making money off this plant and lives somewhere else, where their families don't have to breathe in this terrible dust and pollution. For the sake of all the people in the area please move this recycle pit to another location, you would not want your families breathing in this pollution 24 hrs. a day. We live right across the street; how can we not be affected? They have broken laws and all they get is fines all in the name of money and greed.

Any Questions please call 720-347-8660

Get [Outlook for iOS](#)

Greg Barnes

From: Elaine Louthan <eklgrammy@comcast.net>
Sent: Tuesday, November 24, 2020 4:13 PM
To: Greg Barnes
Subject: Recycling pit at 120th&85

Please be cautious: This email was sent from outside Adams County

I know my comments are late but feel obligated to voice them anyway.
This has been a BAD plan from the onset! 2014

Truck traffic is unbelievable and dangerous to the locals Destroyed roads Tracking Dirt and mud Air quality ...horrible in the area Puluting the area around the South Platte with asphalt, concrete and whatever

Should be located a very long ways from residential areas and rivers!

In other words... move it out of our area.

Elaine Louthan
11483 E 118th Ave
Henderson CO 80640

Sent from Xfinity Connect Application

Adams Co.

Concerning the Hendersons Pit.

I live at 11,000 E. 120th Ave since 2005. Enough is enough. IF its not the dust, its the TRUCK TRAFFIC & NOISE. Your sweeper does not even use any water when it sweeps, which creates more dust. I am 65 years old & have a right to breathe fresh air, NOT DUST. Its 6 days a week with this pit. Dust everywhere where the wind blows. This is very old, close the Pit. There is so much dust & debris that you have eroded the lines on the road. I don't even open the windows until Sunday, if the wind isn't blowing, there its peaceful around here. NO DAMN NOISE FROM TRUCKS. Close the Pit.

Elle. R. Gynther R

P.S. I do receive your notices, but since I work full time for my living, I can't always attend your meetings concerning the Pit. Would you have this Pit next to your House, I think NO.

Adams Cty

To Whom it may Concerned

The dust bowl across the Road from me
is detrimental to people's health. There's
always dust in the air it gets in everything!
u can't open your house windows to get
any fresh air on a calm day there's dust
all over; God help us when the wind picks up
u don't even want to get in your car
to go some where because too much dust
blowing around outside u can see dust
in the sun lite when it shines in your window
it's not healthy for man, woman, or pets!

your truly

Bill Wolfe ————— 11000 E. 120th Ave.

Adams County
Community & Economic Development Department
Development Services Division
4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO. 80601-8218

Case Name: Henderson Pit Recycling
Case Number: ARP2020-00009

The following is in response to the Request for Comments regarding a conditional use permit application to allow for recycling operations in the Agricultural-3-Zone District.

I live at 10888 E 120th Ave, Henderson, CO. 80640. This property is across the street from the pit. We have lived in constant dust, dirt, debris, poor air quality, and noise from this operation for 5 + years. While there has been some mitigation efforts in the form of street sweeping it is a far cry from improving the loads of dust, from the pit that blows into our yard, on our vehicles, outdoor patio furniture, and decks that are hundreds of feet from 120th itself. As traffic continues on the street it continues to churn up the remnants of particles and continues the viscous cycle. In addition the truck traffic is constant.

This pit was originally going to be dug, then filled in, however the recycling operation began, without an authorized permit then has been extended, all with the promise that it would end February of 2021.

I knew 3 to 4 years ago that recycling was their alternative plan. It is outrageous that the County Commissioners Office and its staff could not figure this out, even after the Planning Commission recommended it not pass. If you pass this conditional use permit and allow the continued recycling operation we will have to live in constant chaos, dust, dirt, poor air quality, noise and large rock debris and concrete chunks directly in front of our property. This will continue to pose health threats to myself and my loved ones, not to mention the numerous businesses, and families that are adjacent to our property. Of great concern are the long term effects from the particulates in the air, and the Air Quality Index measures itself and how these substances will affect people's long term health. There are numerous families with little children in the Trailer Park just west of this operation. They cannot ride bikes or be out in this for any length of time. Even the approach into our yard from 120th and white fencing is being destroyed.

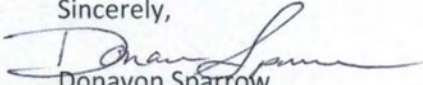
In addition there is guaranteed concern for the water quality of our private spring fed lake and its numerous inhabitants including fish, turtles, hawks, beavers, owls, bald eagles, and numerous other birds. The Environmental Protection Agency can substantiate that there are higher levels of hydrogen sulfide gases that give off the pungent smells and are known to cause severe respiratory symptoms. In addition vapors seep into the surrounding earth. Many studies have shown that recycling concrete aggregate has the potential to produce contaminants that can leach into water tables and may include polycyclic hydrocarbons and lead.

Attached are some pictures of large concrete chunks on 120th Ave related to the pit. At the time I took these pictures five cars had already collided with these concrete chunks and rendered their vehicles non

drivable. By keeping this operation in business you are endangering lives and not looking out for the best interest of your residents. A planned overpass is proposed by CDOT at 120th & Highway 85. It's planning and funding will add traffic from both 124th Ave & 112th Ave on to 120th Ave and ultimately more of the same nonsense. Let's use our heads – the pit needs to be shut down as originally permitted and promised. The tax revenue Adam's County receives is not worth loss of life.

Thank you for your time & consideration.

Sincerely,



Donavon Sparrow













Greg Barnes

From: lonsteram <lonsteram@comcast.net>
Sent: Tuesday, October 13, 2020 10:17 AM
To: Greg Barnes
Subject: Henderson Pit Recycling permit extension

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

Thank you for reaching out to the residential community in regards to the Henderson Pit Recycling permit extension. I am delighted to see that our voices matter in situations such as these, as they should.

I have been a resident of Henderson for 21 years. I live in the Stillwater community at 120th & Hwy 85. I write this letter on behalf of my family and other neighbors in my community who have lived near the Recycling Pit for the last 6 years. We strongly advocate for the discontinuance of said permit which allows the pit to run in our community. According to the letters we received, this permit expires February of 2021. It is my deepest desire that the county allows this permit to expire as scheduled, and remove the company to another location further away from residential homes. This Recycling pit has caused damage to our way of life for the past 6 years. Our roads, in and out of the pit, are constantly filthy, mud packed and typically cover the lines on the road. I have seen street sweepers try to maintain this, but to no avail as they cannot keep up with it, especially during the winter months. Hwy 85 is loaded with semi trailers going in and out of the pit all day long. It is a complete nuisance when trying to leave the neighborhood. It adds to the traffic congestion, delays people at the traffic signal due to their semi's running red lights, and also adds serious amounts of exhaust pollution to an area already inundated with pollution from Commerce City's refineries. I would also like to point out their attempt to build a berm with trees has also failed miserably. Over half the trees are dead and the area is an eye sore which I believe has also decreased our land values and made our community less desirable to potential buyers.

I believe the pit should have never been allowed to open so close to residential in the first place. There are other locations more suitable for this type of business, either further north, or further east, in a less residentially populated area. Please consider this from the point of view of the many residents in the area who are living with this on a daily basis. Our neighborhood feels like we're living in a dirty construction zone with an unnecessary amount of 18 wheelers clogging the roadways. It has decreased our quality of life for the past 6 years. It is my full vote for this pit to EXPIRE in 2021 as planned, and be closed down.

Thank you for allowing our voices to be heard. If you have any questions, or if there's anything else I can do to further my stance on this topic, please let me know. Again, thank you Mr. Barnes for your time, it is truly appreciated.

Concerned Residents,

Lonnie L. Stephens
Amber L. Stephens

Sent from my Verizon, Samsung Galaxy smartphone

Greg Barnes

From: Steve Zigan <zigansteve@gmail.com>
Sent: Monday, October 5, 2020 8:39 PM
To: Greg Barnes
Subject: Case #ARP2020-00009

Please be cautious: This email was sent from outside Adams County

Sir, in reference to Case #ARP2020-00009 Application to extend the conditional use permit, I would just like to provide comments for record.

I am a resident to the north of the Henderson Pit operation. My address is 10900 E 126th Ave.

I would like to say that The operators of this site have been generous and courteous neighbors throughout the years they have been operating.

It would be my recommendation to the BOCC that this application be approved.

Thank you for the opportunity to comment.

Steven Zigan
720 244-8251
Sent from my iPhone

Community & Economic
Development Department
Development Services Division
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218
PHONE 720.523.6800
FAX 720.523.6967

Request for Comments

Case Name: Henderson Pit Recycling
Case Number: ARP2020-00009

September 29, 2020

The Adams County Planning Commission is requesting comments on the following application: **conditional use permit application to allow for recycling operations in the Agricultural-3 zone district.** This request is located at 10925 E 120TH AVE. The Assessor's Parcel Number is 0157135301001.

Applicant Information:

JOEY FRANK
2900 S COLLEGE AVE
FORT COLLINS, CO 80525

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 10/20/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Doriso
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name:	Henderson Pit Recycling
Case Number:	RCU2020-00027
Planning Commission Hearing Date:	January 28, 2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	March 2, 2021 at 9:30 a.m.

December 31, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Conditional use permit application to allow for recycling operations in the Agricultural-3 zone district. The Assessor's Parcel Number is 0157135301001, and the address is 10925 E. 120th Avenue. The applicant is: Joey Frank, 2900 S. College Avenue, Fort Collins, CO 80525.

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III
720-523-6853
gjbarnes@adcogov.org

PUBLICATION REQUEST

Case Name: Henderson Pit Recycling

Case Number: RCU2020-00027

Planning Commission Hearing Date: January 28, 2021 at 6:00 p.m.

Board of County Commissioners Hearing Date: March 2, 2021 at 9:30 a.m.

Case Manager: Greg Barnes gjbarnes@adcogov.org 720-523-6853

Request: Conditional use permit application to allow for recycling operations in the Agricultural-3 zone district.

Parcel Number: 0157135301001

Address of the Request: 10925 E. 120th Avenue

Applicant: Joey Frank, 2900 S. College Avenue, Fort Collins, CO 80525

Legal Description: CORRIGAN SUBDIVISION LOT:1 DESC: EXC RDS (2011000030387)

Virtual Meeting and Public Comment Information:

These meetings will be held virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.



Referral Listing
Case Number RCU2020-00027
Henderson Pit Recycling

Agency

Contact Information

ABERDEEN METROPOLITAN DISTRICT NO 1

BARBARA T VANDER WALL
7400 E ORCHARD RD, SUITE 3300
GREENWOOD VILLAGE CO 80111
303 770-2700

ABERDEEN METROPOLITAN DISTRICT NO 2

BARBARA VANDER
7400 E ORCHARD RD SUITE 3300
GREENWOOD VILLAGE CO 80111
303 770-2700

ADAMS 12 FIVE STAR SCHOOLS

MATT SCHAEFER - PLANNING MANAGER
1500 E. 128TH AVENUE
THORNTON CO 80241
720-972-4289
matt.schaefer@adams12.org

Adams County Attorney's Office

Christine Fitch
4430 S Adams County Pkwy
Brighton CO 80601
720-523-6352
CFitch@adcogov.org

Adams County CEDD Development Services Engineer

Devt. Services Engineering
4430 S. Adams County Pkwy.
Brighton CO 80601
720-523-6800

Adams County CEDD Environmental Services Division

Katie Keefe
4430 S. Adams County Pkwy.
Brighton CO 80601
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Adams County CEDD Right-of-Way

Mark Alessi
4430 S. Adams County Pkwy.
Brighton CO 80601
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Adams County Community Safety & Wellbeing, Neighborhood Services

Gail Moon
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Brighton CO 80601
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AgencyContact Information

Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
ADAMS COUNTY SCHOOL DISTRICT 14	Leo Rodriguez 5291 E. 60th Avenue COMMERCE CITY CO 80022 303.853.3217 lrodriguez@adams14.org
Adams County Sheriff's Office	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office	-- 303-655-3283 CommunityConnections@adcogov.org
BRIGHTON FIRE DISTRICT	Whitney Even 500 South 4th Avenue 3rd Floor BRIGHTON CO 80601 (303) 659-4101 planreviews@brightonfire.org
BRIGHTON SCHOOL DISTRICT 27J	Kerrie Monti 1850 EGBERT STREET SUITE 140, BOX 6 BRIGHTON CO 80601 303-655-2984 kmonti@sd27j.net
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 cdphe_localreferral@state.co.us 303.691.7702
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 cdphe_localreferral@state.co.us

Agency

Contact Information

CDPHE SOLID WASTE UNIT

Andy Todd
4300 CHERRY CREEK DR SOUTH
HMWMD-CP-B2
DENVER CO 80246-1530
303.691.4049
cdphe_localreferral@state.co.us

Century Link, Inc

Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221
720-578-3724 720-245-0029

CITY OF BRIGHTON - Planning

Jason Bradford
500 S 4th Ave
BRIGHTON CO 80601
303-655-2024
jbradford@brightonco.gov

CITY OF BRIGHTON - WATER & SANATATION DEPT.

ED BURKE
500 S. 4th Ave, 4th Floor
BRIGHTON CO 80601
303-655-2084
eburke@brightonco.gov

CITY OF THORNTON

JASON O'SHEA
9500 CIVIC CENTER DR
THORNTON CO 80229
0

CITY OF THORNTON

Lori Hight
9500 CIVIC CENTER DRIVE
THORNTON CO 80229
303-538-7670
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CITY OF THORNTON

JIM KAISER
12450 N WASHINGTON
THORNTON CO 80241
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COLORADO DEPT OF TRANSPORTATION

Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222
303-757-9891
steven.loeffler@state.co.us

COLORADO DIVISION OF WILDLIFE

Serena Rocksund
6060 BROADWAY
DENVER CO 80216
3039471798
serena.rocksund@state.co.us

Colorado Division of Wildlife

Hannah Posey
6060 Broadway St.
Denver CO 80216-1000
303-947-1798
hannah.posey@state.co.us

Agency

Contact Information

COMCAST

JOE LOWE
8490 N UMATILLA ST
FEDERAL HEIGHTS CO 80260
303-603-5039

Commerce City Planning Division

Domenic Martinelli
7887 East 60th Avenue
COMMERCE CITY CO 80022
303-289-3693
dmartinelli@c3gov.com

METRO WASTEWATER RECLAMATION

CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229
303-286-3338
CSIMMONDS@MWRD.DST.CO.US

NORTH METRO FIRE DISTRICT

Steve Gosselin
101 Lamar Street
Broomfield CO 80020
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sgosselin@northmetrofire.org

NS - Code Compliance

Gail Moon
gmoon@adcogov.org
720.523.6833
gmoon@adcogov.org

NS - Code Compliance

Joaquin Flores
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jflores@adcogov.org

REGIONAL TRANSPORTATION DIST.

Engineering RTD
1560 BROADWAY SUITE 700
DENVER CO 80202
303-299-2439
engineering@rtd-denver.com

RIVERDALE DUNES METRO DIST. #1

..
141 UNION BLVD.
LAKEWOOD CO 80228-1814
303-987-0835

Riverdale Peaks Metro District

Lisa Johnson
141 Union Blvd, Suite 150
Lakewood CO 80228
303-987-0835
ljohnson@sdmsi.com

SOUTH ADAMS CO. FIRE DISTRICT

Randall Weigum
6050 Syracuse Street
COMMERCE CITY CO 80022
720-573-9790 FAX: 303-288-5977
rweigum@sacfd.org

SOUTH ADAMS CO. FIRE DISTRICT

- Fire Prevention Division
6050 Syracuse Street
Commerce City CO 80022
303-288-0835
planreview@sacfd.org

Agency

Contact Information

South Adams County Water & San Dist

Abel Moreno
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Henderson CO 80022
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amoreno@sacwspd.org

SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT

NELSON JEFF

10200 E. 102ND AVENUE
HENDERSON CO 80640
720.206.0593 720.530.8396
JNELSON@SACWSD.ORG

THORNTON FIRE DEPARTMENT

Chad Mccollum
9500 Civic Center Drive
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firedept@cityofthornton.net

TRI-COUNTY HEALTH DEPARTMENT

Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111
720-200-1571
landuse@tchd.org

TRI-COUNTY HEALTH DEPARTMENT

MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022
(303) 288-6816
mdeatrich@tchd.org

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org
.

UNION PACIFIC RAILROAD

Anna Dancer
1400 DOUGLAS ST STOP 1690
OMAHA NE 68179
402-544-2255
aldancer@up.com

United Power

- -
303-659-0551
platreferral@unitedpower.com

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

11485 E 124TH LLC
C/O WARREN J COLLIER
14900 AKRON ST
BRIGHTON CO 80602-5646

BARRON BARBARA FORBES
10888 E 120TH AVE
HENDERSON CO 80640-9736

12235 OAKLAND STREET TRUST
90 W 84TH AVE
DENVER CO 80260-4808

BASAS JACQUELINE E
50310 KAPALUA DR
MACOMB MI 48042-5547

12330 BRIGHTON ROAD LLC
6885 LOWELL BLVD
DENVER CO 80221-2652

BILLINGS DARYL D AND
BILLINGS JOYCE E
PO BOX 143
HENDERSON CO 80640-0143

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

BILLINGS DARYL DEAN AND
BILLINGS JOYCE ELAINE
PO BOX 143
HENDERSON CO 80640-0143

ADAMS COUNTY HISTORICAL SOCIETY
9601 HENDERSON RD
BRIGHTON CO 80601

BORRASTERO RAUL H AND
BORRASTERO NANCY G
1615 BLUEBELL DR
BRIGHTON CO 80601-6782

AGFINITY INC
260 FACTORY RD
EATON CO 80615-3481

BROMLEY DISTRICT WATER PROVIDERS LLC
C/O BROMLEY COMPANIES LLC
8301 E PRENTICE AVE STE 100
GREENWOOD VILLAGE CO 80111-2904

ALL SECURE SELF STORAGE LLC
29867 TEAL RUN
BUENA VISTA CO 81211-9238

BROMLEY KENNETH M JR AND
BROMLEY LOU ELLEN
12600 BRIGHTON RD RT 3
BRIGHTON CO 80601

ASPHALT SPECIALTIES CO INC
10100 DALLAS STREET
HENDERSON CO 80640

BROWN LARRY S
9100 E FLORIDA AVE APT 11302
DENVER CO 80247-2845

ASPHALT SPECIALTIES COMPANY INC
10100 DALLAS STREET
HENDERSON CO 80640

CARRILLO JESUS AND
CARRILLO MARTHA
19920 E 58TH DR
AURORA CO 80019-2031

BARRON BARBARA FORBES
10888 E 120TH AVE
HENDERSON CO 80640

CASAS-RODARTE DIONICIO
11821 EAST 121ST AVE
HENDERSON CO 80640

CE ACQUISITIONS LLC
1440 IOLA ST UNIT B
AURORA CO 80010-3392

CROM RAYMOND L
PO BOX 33
HENDERSON CO 80640-0033

CHACON PAVING INC
1701 E 114TH PL
NORTHGLENN CO 80233-2263

CUTLER ROBERT L AND
CUTLER SHIRLEY E
12395 BRIGHTON RD
HENDERSON CO 80640

CITY AND COUNTY OF DENVER
1436 BANNOCK ST
DENVER CO 80202-5317

D AND L LEASING LLC
8765 E 127TH CT
BRIGHTON CO 80602-8111

CITY AND COUNTY OF DENVER ACTING BY AND
THROUGH ITS BOARD OF WATER COMMISSIONERS
1600 W 12TH AVE
DENVER CO 80204-3412

FISCHER RONALD G AND
FISCHER KATHY M
10990 E 120TH AVE
HENDERSON CO 80640

CITY AND COUNTY OF DENVER ACTING BY AND THRU
ITS
BOARD OF WATER COMMISSIONERS
1600 W 12TH AVE
DENVER CO 80204-3412

FLORES PEDRO A AND
FLORES RITA A
11750 E 120TH AVE
HENDERSON CO 80640-9600

CITY OF BRIGHTON
500 S 4TH AVE
BRIGHTON CO 80601-3165

FROST GERALDINE H TRUST THE
PO BOX 23
HENDERSON CO 80640-0023

CITY OF COMMERCE CITY
7887 E 60TH AVE
COMMERCE CITY CO 80022-4199

GARCIA LISA C
6616 FENTON ST
ARVADA CO 80003

COLLECTIVE PARKS-COTTONWOOD MHC LLC
14320 VENTURA BLVD UNIT 616
SHERMAN OAKS CA 91423-2717

GILBERT LEROY E AND
GILBERT JULIE L
11680 E 120TH AVE
HENDERSON CO 80640-9626

COUNTY OF ADAMS THE
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601-8222

GORDONS STOUT LLC
C/O LYLE GURLEY
HENDERSON CO 80640-0705

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

GRIZZLY PETROLEUM COMPANY LLC
1801 BROADWAY STE 500
DENVER CO 80202-3837

HAMILTON PATRICIA L LIVING TRUST THE
10485 HENDERSON RD
BRIGHTON CO 80601-8111

HPA II BORROWER 2020-1 ML LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO IL 60606-6995

HANAVAN ROYCE A AND
HANAVAN JAYNE M
1207 E 111TH PL
NORTHGLENN CO 80233-3519

HYATT TIMOTHY AND
HYATT EIZABETH
12151 OAKLAND ST
COMMERCE CITY CO 80640-9632

HENDERSON AGGREGATE LTD
7321 E 88TH AVE
HENDERSON CO 80640-8137

JD BRIGHTON INC
12020 WHEELING ST
BRIGHTON CO 80601-7181

HENDERSON CONGREGATION CHURCH
ATTN BOARD OF TRUSTEES
PO BOX 10
HENDERSON CO 80640

JR MORGANTI CESARE E
1147 PEAKVIEW DRIVE
CASTLE ROCK CO 80109

HENDERSON CONGREGATIONAL CHURCH
C/O BOARD OF TRUSTEES
PO BOX 10
HENDERSON CO 80640

KHALIQI TUBA
10901 SAINT PAUL WAY
NORTHGLENN CO 80233-4623

HENDERSON WATER SKI CLUB LLC
C/O TOM KRUEGER
15037 W 49TH PLACE
GOLDEN CO 80403

KIM SO YEON
12345 BRIGHTON ROAD
HENDERSON CO 80640

HILLJE FAMILY LIMITED PARTNERSHIP LLLP
PO BOX 35
FT LUPTON CO 80621

KIRBY KIRK LEVI
10221 E 120TH AVE
HENDERSON CO 80640-9745

HOLSTINE RONALD R
3655 OTIS STREET
WHEAT RIDGE CO 80033

KRUSE JOHN AND
BORCK MEREDITH
11522 EAST 118TH PLACE
HENDERSON CO 80640

HOLSTINE RONALD R
3655 OTIS ST
WHEAT RIDGE CO 80033-6450

LANCASTER LEW M
12300 BRIGHTON ROAD
HENDERSON CO 80640

HOOPES JOHN C AND
HOOPES OLIVIA R
10809 PITKIN ST
COMMERCE CITY CO 80022-0502

LIU CHANGHAI AND
ZHU ZHI
1621 WALKER ST
ERIE CO 80516-7515

MANN LAKE HOLDINGS LLC
2027 W COLFAX AVE
DENVER CO 80204-2331

PENA MANUELA VERONICA MOLINA
1201 W THORNTON PKWY LOT 197
THORNTON CO 80260-5420

MELODY HOMES AT RIVER RUN MASTER
ASSOCIATION INC
390 INTERLOCKEN CRESCENT SUITE 500
BROOMFIELD CO 80021

PRAIRE VIEW BUSINESS PARK
13678 LEYDEN CT
THORNTON CO 80602-6987

MONTOYA RUBEN A
12110 OAKLAND ST
HENDERSON CO 80640-9631

RASUL LAILUMA
6842 E 131ST DR
THORNTON CO 80602-6950

MOORE PATRICIA A AND
MOORE JERRY A
12071 OAKLAND ST
HENDERSON CO 80640-9630

RODRIGUEZ-RONQUILLO SANDRA C AND
RODRIGUEZ-RONQUILLO SAUL
10285 E 112TH WAY
HENDERSON CO 80640-9357

MORALES RAFAEL JOAQUIN CHACON
1701 E 114TH PL
NORTHGLENN CO 80233-2263

SASAKI FAMILY PARTNERSHIP LLLP
697 VOILES DR
BRIGHTON CO 80601-3322

MUNIZ ALEX I AND
MUNIZ BENNIE I
12010 BRIGHTON RD
HENDERSON CO 80640-9754

SCHRAG GALE W
14025 CRABAPPLE RD
GOLDEN CO 80401-1432

NELSON ANNE J
17227 W 12TH AVE
GOLDEN CO 80401-2899

SCHUMANN WILLIAM H
8501 E 104TH AVE
HENDERSON CO 80640-8923

OFF DON AND JEANNE PARTNERSHIP
10495 E 120TH AVE
HENDERSON CO 80640-9742

SEXAUER KEVIN
201 E CLEVELAND ST
LAFAYETTE CO 80026-2340

OLD BRIGHTON ROAD LLC
PO BOX 247
EASTLAKE CO 80614-0247

SHIRABA LLC
12153 MOLINE STREET
HENDERSON CO 80640

PEARSON BEN
12230 BRIGHTON ROAD
HENDERSON CO 80640

SHURTLEFF JOSEPH AND
SHURTLEFF MINDY
PO BOX 55
HENDERSON CO 80640-0055

SOUTH ADAMS COUNTY WATER AND SANITATION
DISTRICT
PO BOX 597
COMMERCE CITY CO 80037-0597

TRUNKENBOLZ LLC
609 S 1ST AVE
BRIGHTON CO 80601-3001

SOUTH ADAMS COUNTY WATER AND SANITATION DIST
RICT
PO BOX 597
COMMERCE CITY CO 80037-0597

UNION PACIFIC RAILROAD COMPANY
C/O PROPERTY TAX DEPARTMENT
1400 DOUGLAS STOP 1640
OMAHA NE 68179-1640

SPARROW DONAVON N AND
BARRON BARBARA J
10888 E 120TH AVE
HENDERSON CO 80640-9736

UNKNOWN OWNERSHIP

STILLWATER HOMEOWNERS ASSOCIATION INC
783 VALLEJO STREET
DENVER CO 80204

UPCHURCH DENISE
12270 BRIGHTON RD
HENDERSON CO 80640-9750

SWEETMAN JAMES K
PO BOX 321
HENDERSON CO 80640

WALDRON PATRICK J AND
WALDRON RYAN H
2535 S LEWIS WAY STE 101
LAKEWOOD CO 80227-6558

SWEETMAN KEVIN
SWEETMAN JOLENE
11920 BRIGHTON RD
HENDERSON CO 80640-9322

ZIGAN HOMEOWNERS ASSOCIATION
10801 E 124TH AVE
BRIGHTON CO 80601-7114

SWEETMAN KEVIN WAYNE AND
SWEETMAN JOLENE
11920 BRIGHTON RD
HENDERSON CO 80640-9322

120 85 LLC
OR CURRENT RESIDENT
10925 E 120TH AVE
HENDERSON CO 80640-9733

THOMS TIMOTHY G
PO BOX 18
11010 E 120TH AVE B
HENDERSON CO 80640

A LANDSCAPE SUPPLY LLC
OR CURRENT RESIDENT
10701 E 120TH AVE
HENDERSON CO 80640-9737

THOMS TIMOTHY G
PO BOX 18
11010 E 120TH AVE NO. B
HENDERSON CO 80640-9732

ACKLAM CHRIS THOMAS AND
ACKLAM DOROTHY JANE
OR CURRENT RESIDENT
10280 E 120TH AVE
HENDERSON CO 80640-9746

TRUNKENBOLZ FREDRICK A LIVING TRUST 1/2
TRUNKENBOLZ ELSIE R LIVING TRUST 1/2
609 S 1ST AVE
BRIGHTON CO 80601-3001

ADAME JOSE RAUL AND
ADAME CONSUELO
OR CURRENT RESIDENT
11285 E 124TH AVE
BRIGHTON CO 80601-7114

AGUILAR LOPEZ JOSE MATEO
OR CURRENT RESIDENT
11426 RIVER RUN CIRCLE
HENDERSON CO 80640

BEARD JUSTIN AND
BEARD AMY PETRI
OR CURRENT RESIDENT
11433 E 118TH PL
COMMERCE CITY CO 80640-7417

AKIN NICHOLAS
OR CURRENT RESIDENT
11544 E 119TH AVE
HENDERSON CO 80640-7412

BEG MIRZA A AND
BEG SAIMA Q
OR CURRENT RESIDENT
11516 E 119TH PL
COMMERCE CITY CO 80640-7414

ALGABER SABA ALI AND
HIRZ DHAFER AL
OR CURRENT RESIDENT
11443 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

BEHRMANN LARRY JOHN AND
STINNETT SHERYL LYNN
OR CURRENT RESIDENT
11275 E 124TH AVE
BRIGHTON CO 80601

ALLDREDGE GREGORY M AND
ALLDREDGE ERIN L
OR CURRENT RESIDENT
11554 E 119TH AVE
HENDERSON CO 80640-7412

BELUSCAK CONNIE JEAN AND
BELUSCAK VINCENT J
OR CURRENT RESIDENT
10757 E 124TH AVE
BRIGHTON CO 80601-7138

ALONSO REYNALDO
OR CURRENT RESIDENT
11225 E 124TH AVENUE
BRIGHTON CO 80601

BENCIVENGA MICHAEL
OR CURRENT RESIDENT
11413 E 118TH PL
HENDERSON CO 80640-7417

APODACA JESUS DAVID
OR CURRENT RESIDENT
11496 E 119TH PL
HENDERSON CO 80640-7403

BERNARDES ANDRE D AND
HILL SARAH K
OR CURRENT RESIDENT
11499 E 118TH PL
HENDERSON CO 80640-7417

AREVALO SERGIO H AND
OCHOA GUADALUPE YAZMIN ACOSTA
OR CURRENT RESIDENT
11422 E 118TH PL
HENDERSON CO 80640-7418

BLAKLEY KYLE R
OR CURRENT RESIDENT
11416 E 119TH PL
HENDERSON CO 80640-7403

ASHBACHER PAUL
OR CURRENT RESIDENT
11471 E 118TH AVE
HENDERSON CO 80640-7426

BLISS WILLIAM G AND
BLISS CHARLENE M
OR CURRENT RESIDENT
12460 BRIGHTON RD
BRIGHTON CO 80601-7350

BALFAKIH HATIM AND
LUNGREN STEFANIE
OR CURRENT RESIDENT
11498 E 118TH PL
HENDERSON CO 80640-7418

BONHAM TINA M AND
STANLEY JACKIE W
OR CURRENT RESIDENT
11904 MOLINE PL
COMMERCE CITY CO 80640-7402

BARRAGAN-SILVA ANTONIO E
BARRAGAN-SILVA ROSIO
OR CURRENT RESIDENT
11686 RIVER RUN PKWY
COMMERCE CITY CO 80640-9285

BONSU VICTOR O AND
BONSU MARGARET A
OR CURRENT RESIDENT
11435 E 119TH AVENUE
HENDERSON CO 80640

BOSTROM SHARON A
OR CURRENT RESIDENT
12550 BRIGHTON RD
BRIGHTON CO 80601-7350

CARY JASON S AND
CARY SARAH E
OR CURRENT RESIDENT
11474 E 118TH AVE
HENDERSON CO 80640-7425

BRDAR ERIC T AND CHRISTINA M
OR CURRENT RESIDENT
11331 RIVER RUN PL
HENDERSON CO 80640

CASS WAYNE L AND
CASS SHERRY L
OR CURRENT RESIDENT
11565 E 119TH AVE
HENDERSON CO 80640

BREWSTER HANS JOACHIM AND LYNDAL
OR CURRENT RESIDENT
12170 OAKLAND ST
HENDERSON CO 80640-9631

CEDILLO JOSE A AND
CEDILLO CAROL
OR CURRENT RESIDENT
11357 E 116TH PLACE
HENDERSON CO 80640

BRODHEIM ERIC B AND
BRODHEIM KIMBERLY A
OR CURRENT RESIDENT
11545 E 119TH AVE
HENDERSON CO 80640

CHAVEZ JESUS IGNACIO AND
CHAVEZ LUZ ALEJANDRA
OR CURRENT RESIDENT
12350 BRIGHTON RD
HENDERSON CO 80640-9748

BUDI K ALLISON PATRICIA AND
BUDI K DAVID
OR CURRENT RESIDENT
11412 E 118TH PL
COMMERCE CITY CO 80640-7418

CHAVEZ NICHOLAS ANDREW AND
CHAVEZ CHRISTINA LYNN
OR CURRENT RESIDENT
11462 E 118TH PL
COMMERCE CITY CO 80640-7418

BURCZEK DEON L AND
BURCZEK KATHERINE M
OR CURRENT RESIDENT
11483 RIVER RUN CIRCLE
HENDERSON CO 80640

CLARK MELVIN M/VICKI L
REVOCABLE TRUST THE
OR CURRENT RESIDENT
10381 E 123RD AVE
HENDERSON CO 80640-7436

CAHLANDER SUSAN M AND
DUNN JAMES J
OR CURRENT RESIDENT
12121 OAKLAND ST
HENDERSON CO 80640-9632

CLARK STEVEN J AND
CLARK ERIN I
OR CURRENT RESIDENT
11482 E 118TH PL
HENDERSON CO 80640-7418

CANALES ULISES O
OR CURRENT RESIDENT
11446 E 119TH PL
HENDERSON CO 80640-7403

COLE BRANDON D AND
COLE TAWNIA M
OR CURRENT RESIDENT
11452 E 118TH PLACE
HENDERSON CO 80640

CANDELAS JENIFER SUE
OR CURRENT RESIDENT
11430 E 118TH AVE
HENDERSON CO 80640-7425

COLLINS BROOKS
OR CURRENT RESIDENT
11690 E 120TH AVE
HENDERSON CO 80640-9626

CARDENAS TIMOTHY E AND
CARDENAS KRISHA M
OR CURRENT RESIDENT
11348 E 116TH PLACE
HENDERSON CO 80640

COOPER SCOTT RICHARD AND
COOPER TRACY DANEEN
OR CURRENT RESIDENT
12420 BRIGHTON RD
BRIGHTON CO 80601-7350

CORDOVA GARY
OR CURRENT RESIDENT
11445 E 119TH AVE
HENDERSON CO 80640-7406

DODSON JAMES C AND RENEE F
OR CURRENT RESIDENT
11655 RIVER RUN PKWY
HENDERSON CO 80640

CRUZ CALIXTO AND CRUZ A SIDUME
OR CURRENT RESIDENT
11612 MACON STREET
HENDERSON CO 80640

DONATO MARTIN E AND
DONATO SANDRA L
OR CURRENT RESIDENT
11514 E 119TH AVENUE
HENDERSON CO 80640

CUTLER ROBERT L AND
CUTLER SHIRLEY E
OR CURRENT RESIDENT
12395 BRIGHTON RD
HENDERSON CO 80640-9747

ENRIQUEZ GREGORIA DOMINGUEZ AND
OLIVAS ELIZABETH MEDRANO
OR CURRENT RESIDENT
11418 RIVER RUN CIR
COMMERCE CITY CO 80640-9234

DADLANI VIKRAM JAGJEET AND
HOWARD ROBYN ANDREA
OR CURRENT RESIDENT
11440 E 118TH AVE
COMMERCE CITY CO 80640-7425

ESPINOZA ALEJANDRO
OR CURRENT RESIDENT
11402 E 118TH PL
COMMERCE CITY CO 80640-7418

DANIELS PAULINE V
OR CURRENT RESIDENT
11434 RIVER RUN CIR
HENDERSON CO 80640-9234

ESPINOZA-JIMENEZ JULIO ANTONIO
OR CURRENT RESIDENT
11494 E 118TH AVE
COMMERCE CITY CO 80640-7425

DAVIS HEATHER
OR CURRENT RESIDENT
11451 E 118TH AVE
COMMERCE CITY CO 80640-7426

FAIED ABDELMONAM
OR CURRENT RESIDENT
11472 E 118TH PL
HENDERSON CO 80640-7418

DAVIS ZACHARY SCOTT AND
DUNGAN LAURA KATHRYN
OR CURRENT RESIDENT
11691 MOLINE CT
COMMERCE CITY CO 80640-9279

FISCHER RONALD G TRUST THE
OR CURRENT RESIDENT
10990 E 120TH AVE
HENDERSON CO 80640-9734

DE SHON RUSSELL AND
DE SHON CARLA
OR CURRENT RESIDENT
11424 E 119TH AVE
HENDERSON CO 80640

FLORES PEDRO A AND
FLORES RITA A
OR CURRENT RESIDENT
11750 E 120TH AVE
HENDERSON CO 80640-9600

DELLENBACH CASIE LYNN AND
DELLENBACH BENJAMIN ARTHUR
OR CURRENT RESIDENT
11489 E 118TH PL
COMMERCE CITY CO 80640-7417

FRANSUA RANDY L
OR CURRENT RESIDENT
11532 E 118TH PL
HENDERSON CO 80640-7420

DINH BICH AND
VU HUONG
OR CURRENT RESIDENT
11432 E 118TH PL
HENDERSON CO 80640-7418

GALLEGOS MANUEL A/MICHAELE 50% JT AND
GALLEGOS MANUEL ANTHONY 50% INT
OR CURRENT RESIDENT
11525 E 119TH AVE
HENDERSON CO 80640

GARCHA GURSHARN K
OR CURRENT RESIDENT
11407 E 119TH PL
HENDERSON CO 80640-7405

HANSON ROBERT S AND
HANSON TERRIE L
OR CURRENT RESIDENT
11001 E 120TH AVE
HENDERSON CO 80640-9731

GARCIA ALEJANDRO W AND
GARCIA KYMM E
OR CURRENT RESIDENT
11347 E 116TH PLACE
HENDERSON CO 80640

HARMON CHRIS AND
HARMON STACY
OR CURRENT RESIDENT
11463 E 118TH PLACE
HENDERSON CO 80640

GARCIA ALFREDO AND
GARCIA ADELINA R
OR CURRENT RESIDENT
10321 E 123RD AVE
HENDERSON CO 80640-7436

HEINTZ VERHN D AND
HEINTZ MARLENE E
OR CURRENT RESIDENT
11780 E 120TH AVE
HENDERSON CO 80640

GILFORD DENISE AND
GILFORD SIR DOUGLAS
OR CURRENT RESIDENT
11504 E 119TH AVE
COMMERCE CITY CO 80640-7440

HERRON MINDY J
OR CURRENT RESIDENT
11901 MACON STREET
HENDERSON CO 80640

GOMEZ ALEX L AND
VILLALOBOS JOHANA SANCHEZ
OR CURRENT RESIDENT
11521 E 118TH AVE
HENDERSON CO 80640-7428

HIMMELMAN BRAD A AND ANGELA P
OR CURRENT RESIDENT
11622 MACON ST
HENDERSON CO 80640

GOMEZ BETTY
OR CURRENT RESIDENT
11515 E 119TH AVE
COMMERCE CITY CO 80640-7407

HOGG JOHN A AND
HOGG FRANCES E
OR CURRENT RESIDENT
11821 MACON ST
HENDERSON CO 80640-7434

GONZALEZ JOSE A
OR CURRENT RESIDENT
11903 MOLINE PL
HENDERSON CO 80640-7402

HOUGHLAND STEVEN L
OR CURRENT RESIDENT
11511 E 118TH AVE
HENDERSON CO 80640-7428

GRIEGO TONY M AND
GRIEGO GINA M
OR CURRENT RESIDENT
11501 E 118TH AVE
HENDERSON CO 80640-7428

HUITT CHRISTOPHER AND
OKITA ALLISON
OR CURRENT RESIDENT
11436 E 119TH PL
COMMERCE CITY CO 80640-7403

HAGMAN BRENDA S
OR CURRENT RESIDENT
11505 E 119TH AVE
HENDERSON CO 80640

HUIZAR JUAN
OR CURRENT RESIDENT
12209 BRIGHTON RD
HENDERSON CO 80640-9749

HALL DEBRA
OR CURRENT RESIDENT
11419 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

HYATT TIMOTHY AND
HYATT ELIZABETH
OR CURRENT RESIDENT
12151 OAKLAND ST
HENDERSON CO 80640-9632

ISELL LARRY AND ISELL DONNA
OR CURRENT RESIDENT
12211 BRIGHTON RD
HENDERSON CO 80640-9749

KIRKPATRICK BRUCE E AND
KIRKPATRICK BARBARA
OR CURRENT RESIDENT
11673 RIVER RUN PKWY
HENDERSON CO 80640

JACOBSEN TIMOTHY L JR AND
YBARRA JOHNNA R
OR CURRENT RESIDENT
11913 MOLINE PL
HENDERSON CO 80640-7402

KLINETOBE THOMAS L AND
HOPKINS LORI K
OR CURRENT RESIDENT
11423 E 118TH PLACE
HENDERSON CO 80640

JENNEMANN TRAVIS MICHAEL
OR CURRENT RESIDENT
11450 RIVER RUN CIR
COMMERCE CITY CO 80640-9234

KOCHEKOVICH BORIS
OR CURRENT RESIDENT
11635 MACON STREET
HENDERSON CO 80640

JIMENEZ BENJAMIN AND
TRUJILLO JANA E
OR CURRENT RESIDENT
11901 MOLINE CT
COMMERCE CITY CO 80640-7401

KREMHELLER DIANNA O AND
KREMHELLER DAVID B
OR CURRENT RESIDENT
10391 E 123RD AVE
HENDERSON CO 80640-7436

JOHNSON MATTHEW SCOTT
OR CURRENT RESIDENT
11483 E 118TH PL
HENDERSON CO 80640-7417

KROLL TRISHA/ALAN 25 PERCENT INT AND
HAMILTON PATRICIA L LIVING TRUST 75 PERC
OR CURRENT RESIDENT
10485 HENDERSON RD
BRIGHTON CO 80601-8111

JONES CALLAN MICHAEL
OR CURRENT RESIDENT
10371 E 123RD AVE
HENDERSON CO 80640-7436

LARKIN SETH A AND
LARKIN AMANDA J
OR CURRENT RESIDENT
11931 MACON ST
HENDERSON CO 80640-7404

JONES KEVYN RYAN
OR CURRENT RESIDENT
11500 E 118TH AVE
COMMERCE CITY CO 80640-7427

LEAL LEONARD AND
MEDINA MICHAEL
OR CURRENT RESIDENT
11533 E 118TH PL
COMMERCE CITY CO 80640-7419

KASUM ESAD
OR CURRENT RESIDENT
11490 RIVER RUN CIRCLE
HENDERSON CO 80640

LEEKA JOSEPH E AND
DAY STELLA A
OR CURRENT RESIDENT
12199 BRIGHTON RD
BRIGHTON CO 80640-9751

KENDRICK THOMAS E AND
VENDEGNA ANGELA M
OR CURRENT RESIDENT
12190 OAKLAND ST
HENDERSON CO 80640-9631

LIM BUNRITH AND
LIM CHHUNHONG
OR CURRENT RESIDENT
11411 E 118TH AVENUE
HENDERSON CO 80640

KIRBY KIRK LEVI
OR CURRENT RESIDENT
10221 E 120TH AVE
HENDERSON CO 80640-9745

LINCOLN JOHN C AND
LINCOLN JENNIE
OR CURRENT RESIDENT
11405 E 119TH AVE
HENDERSON CO 80640

LITTLE STACEY AND
BARNES-LITTLE JACQUELYN
OR CURRENT RESIDENT
12160 OAKLAND ST
HENDERSON CO 80640

MARTINEZ BAMBI K
OR CURRENT RESIDENT
11455 E 119TH AVE
HENDERSON CO 80640-7406

LOPEZ JOSE MATEO AGUILAR AND
AGUILAR VICTORIA T
OR CURRENT RESIDENT
11442 RIVER RUN CIRCLE
HENDERSON CO 80640

MARTINEZ MANUEL J AND MARY J
OR CURRENT RESIDENT
11459 RIVER RUN CIR
HENDERSON CO 80640

LOR VANG AND
VUE SHOUA YEE
OR CURRENT RESIDENT
11503 E 118TH PL
COMMERCE CITY CO 80640-7441

MARTINEZ MICHELE LYNN
OR CURRENT RESIDENT
11493 E 118TH AVE
COMMERCE CITY CO 80640-7426

LOUTHAN FAMILY TRUST THE
OR CURRENT RESIDENT
11483 E 118TH AVE
HENDERSON CO 80640-7426

MARTINEZ NATHAN PAUL JR AND
LOVATO DANAH MARIE
OR CURRENT RESIDENT
11470 E 118TH AVE
HENDERSON CO 80640-7425

LOWELL SAMUEL
OR CURRENT RESIDENT
11441 E 118TH AVE
COMMERCE CITY CO 80640-7426

MASCORRO JAVIER
OR CURRENT RESIDENT
11421 E 118TH AVE
HENDERSON CO 80640-7426

LUNA ALBERT
OR CURRENT RESIDENT
11337 E 116TH PL
HENDERSON CO 80640-9286

MASIAS KENNETH R AND BARBARA A
OR CURRENT RESIDENT
11661 RIVER RUN PKWY
HENDERSON CO 80640

LYONS JOHN T AND
LYONS EILEENE H
OR CURRENT RESIDENT
11454 E 119TH AVE
HENDERSON CO 80640

MATHEWS DESIREE P AND
MATHEWS BRODIE R
OR CURRENT RESIDENT
11492 E 118TH PL
HENDERSON CO 80640-7418

MAKAYA GERRY V AND
KIADIDI LISETTE L
OR CURRENT RESIDENT
11453 E 118TH PL
HENDERSON CO 80640-7417

MAXWELL JEFFREY A AND IRIS E
OR CURRENT RESIDENT
11341 RIVER RUN PL
HENDERSON CO 80640

MALDONADO TIMOTHY M AND
MALDONADO MELINDA J
OR CURRENT RESIDENT
11444 E 119TH AVE
HENDERSON CO 80640-7411

MAY BRANDY L AND
MAY DEAN ANDREW
OR CURRENT RESIDENT
11420 E 118TH AVE
HENDERSON CO 80640-7425

MARTINEZ ALBERTO B AND
MARTINEZ JO ANN
OR CURRENT RESIDENT
11482 RIVER RUN CIRCLE
HENDERSON CO 80640

MCGEE JAMES WYMAN AND
MCGEE KAYLA JOANN
OR CURRENT RESIDENT
11360 RIVER RUN PL
HENDERSON CO 80640-9233

MCPHERSON JILL RENE
OR CURRENT RESIDENT
11632 MACON ST
HENDERSON CO 80640-9277

MORRIS HOPE C AND
ROMERO RICHARD V
OR CURRENT RESIDENT
11484 E 118TH AVE
HENDERSON CO 80640-7425

MENDOZA ROSALES MARCO A AND
MARTINEZ DEMENDOZA CELIA
OR CURRENT RESIDENT
11401 E 118TH AVE
HENDERSON CO 80640-7426

MUNIZ ALEX I AND
MUNIZ BENNIE I
OR CURRENT RESIDENT
12010 BRIGHTON RD
HENDERSON CO 80640-9754

MILO NICHOLAS J
OR CURRENT RESIDENT
12365 OAKLAND ST
HENDERSON CO 80640-9633

MUNOZ ANNA K AGUILAR AND
MUNOZ CARLOS A AGUILAR
OR CURRENT RESIDENT
11410 RIVER RUN CIR
COMMERCE CITY CO 80640-9234

MIRELEZ LORI M AND
MIRELEZ JOSEPH BEN
OR CURRENT RESIDENT
11403 E 118TH PL
HENDERSON CO 80640-7417

MUNOZ COSME LARA
OR CURRENT RESIDENT
11400 E 119TH PL
HENDERSON CO 80640-7403

MJ HOOPER REVOCABLE TRUST
C/O MARY JANE HOOPER
OR CURRENT RESIDENT
11911 MOLINE CT
COMMERCE CITY CO 80640-7401

MYERS JON D AND
MYERS ROBYN K
OR CURRENT RESIDENT
11564 E 119TH AVE
HENDERSON CO 80640-7412

MONTOYA IGNACIO III AND
MORALES-MONTOYA SANDRA
OR CURRENT RESIDENT
11442 E 118TH PL
HENDERSON CO 80640-7418

NGUYEN ANH THAO AND
DINH DUNG TIEN
OR CURRENT RESIDENT
11542 E 118TH PL
COMMERCE CITY CO 80640-7420

MONTOYA MICHAEL AND SANDRA
OR CURRENT RESIDENT
10800 E 126TH AVE
BRIGHTON CO 80601

NORRIS CARL
OR CURRENT RESIDENT
11486 E 119TH PL
COMMERCE CITY CO 80640-7403

MONTOYA ROY ANTHONY
OR CURRENT RESIDENT
12200 OAKLAND STREET
HENDERSON CO 80640

NUNEZ RAMIRO CASTANEDA AND
NUNEZ JOB EDWIN
OR CURRENT RESIDENT
11498 RIVER RUN CIR
COMMERCE CITY CO 80640-9278

MOORE GERALD A AND
MOORE PATRICIA A
OR CURRENT RESIDENT
12071 OAKLAND ST
HENDERSON CO 80640-9632

OFF DON AND JEANNE PARTNERSHIP
OR CURRENT RESIDENT
10495 E 120TH AVE
HENDERSON CO 80640-9742

MORALES RICARDO
OR CURRENT RESIDENT
11534 E 119TH AVE
HENDERSON CO 80640-7412

OLDHAM STEVENS FAMILY TRUST THE
OR CURRENT RESIDENT
11680 RIVER RUN PKWY
COMMERCE CITY CO 80640-9284

OLMOS SAUL AND
MARTINEZ M DEL CARMEN
OR CURRENT RESIDENT
11510 E 118TH AVE
COMMERCE CITY CO 80640-7427

RAICHLER JOSEPH W AND
RAICHLER ALISON R
OR CURRENT RESIDENT
11642 MACON ST
HENDERSON CO 80640-9277

OLSON SHAYLA N AND
MCCORMICK NEAL L
OR CURRENT RESIDENT
11535 E 119TH AVE
COMMERCE CITY CO 80640-7407

RAMIREZ MARCO TULLIO AND
RAMIREZ GUADALUPE MELINA
OR CURRENT RESIDENT
11410 E 118TH AVE
HENDERSON CO 80640-7425

OPEKA RYAN AND
OPEKA RONI
OR CURRENT RESIDENT
11511 RIVER RUN CIR
HENDERSON CO 80640-9230

RATLIFF CASSANDRA V AND
RATLIFF CLAYTON R
OR CURRENT RESIDENT
11553 E 118TH PL
HENDERSON CO 80640-7419

ORTEGA ARTHUR E III AND
MARQUEZ-ORTEGA LAURA S
OR CURRENT RESIDENT
11435 RIVER RUN CIR
HENDERSON CO 80640-9231

REED CINDIE M
OR CURRENT RESIDENT
11466 RIVER RUN CIR
COMMERCE CITY CO 80640-9278

PAWLAK MATTHEW AND NATHALIE
OR CURRENT RESIDENT
12500 BRIGHTON RD
BRIGHTON CO 80601

REGLA NICKLAS G
OR CURRENT RESIDENT
11460 E 118TH AVE
HENDERSON CO 80640-7425

PEARSON BEN E
OR CURRENT RESIDENT
12197 BRIGHTON RD
HENDERSON CO 80640-9751

REHDER JAY A AND
REHDER CAROLYN R
OR CURRENT RESIDENT
11464 E 119TH AVENUE
HENDERSON CO 80640

PEDERSON SUZANNA F AND
PEDERSON JOEL D
OR CURRENT RESIDENT
11475 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

RODRIGUEZ GLORIA C AND
RODRIGUEZ ANDREW
OR CURRENT RESIDENT
11467 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

PHAIMANY TONY AND
PHAIMANY JUSTIN
OR CURRENT RESIDENT
11912 MOLINE CT
COMMERCE CITY CO 80640-7401

ROWE LUCINDA
OR CURRENT RESIDENT
11555 E 119TH AVE
COMMERCE CITY CO 80640-7408

PRILL MICHAEL J AND
PRILL JOLENE L
OR CURRENT RESIDENT
12375 BRIGHTON RD
HENDERSON CO 80640-9747

RWIGEMERA ELIAS N AND
SAGALI FATUMA
OR CURRENT RESIDENT
11476 E 119TH PL
HENDERSON CO 80640-7403

QUINTANA SARA P
OR CURRENT RESIDENT
11531 E 118TH AVE
HENDERSON CO 80640-7428

SALEH SAM F
OR CURRENT RESIDENT
11667 RIVER RUN PKWY
HENDERSON CO 80640-9287

SAMS CHRISTOPHER MICHAEL AND
SAMS ANGELA ROSE DELLIA
OR CURRENT RESIDENT
11415 E 119TH AVE
HENDERSON CO 80640

SCOTT MICHAEL LEE
OR CURRENT RESIDENT
11500 E 124TH AVE
BRIGHTON CO 80601-7173

SANCHEZ JAIME
OR CURRENT RESIDENT
11425 E 119TH AVE
HENDERSON CO 80640-7406

SEBASTIANI DOMINIC S AND
SEBASTIANI CRYSTAL J
OR CURRENT RESIDENT
11480 E 118TH AVE
HENDERSON CO 80640-7425

SANCHEZ MARCUS J AND
SANCHEZ CARMEN F
OR CURRENT RESIDENT
11902 MOLINE CT
HENDERSON CO 80640-7401

SHEA TROY P
OR CURRENT RESIDENT
11679 RIVER RUN PKWY
HENDERSON CO 80640

SANCHEZ ZAMORA OSCAR
OR CURRENT RESIDENT
11524 E 119TH AVE
HENDERSON CO 80640-7412

SHIRABA LLC
OR CURRENT RESIDENT
12153 MOLINE STREET
HENDERSON CO 80640

SANDOVAL AMERICA AND
RUIZ JOSE W
OR CURRENT RESIDENT
12081 OAKLAND STREET
HENDERSON CO 80640

SHULER SHAUN AND
LOOS CANDACE
OR CURRENT RESIDENT
11338 E 116TH PLACE
HENDERSON CO 80640

SCELFO BOBBI AND
SCELFO JOHN
OR CURRENT RESIDENT
11488 E 118TH PL
HENDERSON CO 80640-7418

SHUR RANDALL T AND FABIOLA Y
OR CURRENT RESIDENT
11321 RIVER RUN PL
HENDERSON CO 80640

SCHEIDT ALAN P AND
SCHEPKER SCHEIDT MISTY J
OR CURRENT RESIDENT
11404 E 119TH AVE
HENDERSON CO 80640

SHURTLEFF JOSEPH W AND
SHURTLEFF MINDY
OR CURRENT RESIDENT
12221 BRIGHTON RD
HENDERSON CO 80640

SCHILLER DANIEL B AND
SCHILLER JAN L
OR CURRENT RESIDENT
11361 RIVER RUN PL
HENDERSON CO 80640-9232

SMITH PRYER C AND
SMITH JANICE M
OR CURRENT RESIDENT
11320 RIVER RUN PL
HENDERSON CO 80640

SCHLEIGER ERIC J AND
SCHLEIGER KELLEY E
OR CURRENT RESIDENT
11490 E 118TH AVE
HENDERSON CO 80640-7425

SMITH VINCENT D AND
SMITH DIANNA W
OR CURRENT RESIDENT
11491 E 118TH AVE
HENDERSON CO 80640-7426

SCHMAEDEKE CHRISTOPHER ALLAN AND
SCHMAEDEKE STEPHANIE LYNN
OR CURRENT RESIDENT
11481 E 118TH AVE
HENDERSON CO 80640-7426

SPARROW DONAVON N AND
BARRON BARBARA J
OR CURRENT RESIDENT
10888 E 120TH AVE
HENDERSON CO 80640-9736

SPEIGHT SHAUN B AND
SPEIGHT KENDRA L
OR CURRENT RESIDENT
11811 MACON STREET
HENDERSON CO 80640

TAYLOR KEVIN S
OR CURRENT RESIDENT
11521 RIVER RUN CIRCLE
HENDERSON CO 80640

SPERRY MICHAEL J AND
SPERRY PENNY L
OR CURRENT RESIDENT
11367 E 116TH PL
HENDERSON CO 80640

TEMPLETON JENNIFER NICOLE AND
TEMPLETON ELLIOTT JOEL
OR CURRENT RESIDENT
11426 E 119TH PL
HENDERSON CO 80640-7403

STALLSWORTH JOSEPHINE E
OR CURRENT RESIDENT
11474 RIVER RUN CIR
COMMERCE CITY CO 80640-9278

TOLEDO SHARON Y
OR CURRENT RESIDENT
11574 E 119TH AVE
HENDERSON CO 80640-7412

STEG JIM BOB AND
LANGLEY RENIE C
OR CURRENT RESIDENT
11434 E 119TH AVENUE
HENDERSON CO 80640

UMAROV KHURSHED
OR CURRENT RESIDENT
11506 E 119TH PL
COMMERCE CITY CO 80640-7414

STEPHENS LONNIE L JR AND
STEPHENS AMBER L
OR CURRENT RESIDENT
11523 E 118TH PL
HENDERSON CO 80640-7419

UPCHURCH BRITTNEY FAYE AND
UPCHURCH BETHANY MARIE
OR CURRENT RESIDENT
12270 BRIGHTON RD
HENDERSON CO 80640-9750

SWEETMAN KEVIN AND
SWEETMAN JOLENE
OR CURRENT RESIDENT
11990 BRIGHTON RD
HENDERSON CO 80640-9322

UPCHURCH MATTHEW R AND
UPCHURCH DENISE M
OR CURRENT RESIDENT
12271 BRIGHTON RD
HENDERSON CO 80640

SWEETMAN KEVIN W AND
SWEETMAN JOLENE M
OR CURRENT RESIDENT
11920 BRIGHTON RD
HENDERSON CO 80640-9322

VALDEZ LEEANN
OR CURRENT RESIDENT
11427 RIVER RUN CIR
HENDERSON CO 80640-9231

TANGUMA JOHN E AND
TANGUMA ANDRIA
OR CURRENT RESIDENT
11512 E 118TH PLACE
HENDERSON CO 80640-7420

VANG HUECHY AND
CHA YOUA
OR CURRENT RESIDENT
11456 E 119TH PL
COMMERCE CITY CO 80640-7403

TARBELL STEVEN AND
TARBELL JEAN
OR CURRENT RESIDENT
11417 E 119TH PL
COMMERCE CITY CO 80640-7405

VARGA JOHN E IV AND
VARGA JOHN E V AND VARGA ALICIA M
OR CURRENT RESIDENT
11502 E 118TH PLACE
HENDERSON CO 80640

TAYLOR CARISSIMA D AND
TAYLOR DANIEL
OR CURRENT RESIDENT
11414 E 119TH AVE
COMMERCE CITY CO 80640-7411

VARGAS -CEJA CHRISTIAN
OR CURRENT RESIDENT
11914 MOLINE PL
COMMERCE CITY CO 80640-7402

VAUGHN TODD L AND
VAUGHN LAURA L
OR CURRENT RESIDENT
11221 E 124TH AVE
BRIGHTON CO 80601

WILLIAMS ETHAN A AND
WILLIAMS AMY M
OR CURRENT RESIDENT
11513 E 118TH PL
HENDERSON CO 80640-7419

VELT STEVEN W
OR CURRENT RESIDENT
11406 E 119TH PLACE
HENDERSON CO 80640

WILLIAMSON RANDAL L
OR CURRENT RESIDENT
11605 MACON ST
HENDERSON CO 80640-9276

VENEGAS GLENN P JR
OR CURRENT RESIDENT
11443 E 118TH PL
HENDERSON CO 80640-7417

WU MAGGI MEI-KEI
OR CURRENT RESIDENT
11493 E 118TH PLACE
HENDERSON CO 80640

VOYLES JAMES W AND
VOYLES AILEEN R
OR CURRENT RESIDENT
11543 E 118TH PL
HENDERSON CO 80640-7419

WYNNE LINDA M
OR CURRENT RESIDENT
11921 MACON STREET
HENDERSON CO 80640

WAGNER RICK A AND
WAGNER JUDITH A
OR CURRENT RESIDENT
11491 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

ZIGAN FLORIAN B
OR CURRENT RESIDENT
10801 E 124TH AVE
BRIGHTON CO 80601-7114

WALKER BRIAN C
OR CURRENT RESIDENT
11450 E 118TH AVE
HENDERSON CO 80640-7425

ZIGAN STEVEN AND JONI
OR CURRENT RESIDENT
10900 E 126TH AVE
BRIGHTON CO 80601

WEST THOMAS R AND
WEST OTTLEE R
OR CURRENT RESIDENT
11575 E 119TH AVENUE
HENDERSON CO 80640

CURRENT RESIDENT
10800 E 124TH AVE
BRIGHTON CO 80601-7114

WESTBY ROBERT AND
TSURKINA OLESYA
OR CURRENT RESIDENT
11473 E 118TH PL
HENDERSON CO 80640-7417

CURRENT RESIDENT
11288 E 124TH AVE
BRIGHTON CO 80601-7114

WHITE JEFFREY J AND
WHITE JUDY A
OR CURRENT RESIDENT
12290 BRIGHTON RD
HENDERSON CO 80640-9750

CURRENT RESIDENT
11290 E 124TH AVE
BRIGHTON CO 80601-7114

WHITFIELD MARK R AND
WHITFIELD CONNIE S
OR CURRENT RESIDENT
11691 RIVER RUN PKWY
HENDERSON CO 80640-9287

CURRENT RESIDENT
12265 US HIGHWAY 85 APT 1
BRIGHTON CO 80601-7120

CURRENT RESIDENT
12265 US HIGHWAY 85 APT 2
BRIGHTON CO 80601-7120

CURRENT RESIDENT
12210 BRIGHTON RD
HENDERSON CO 80640-1000

CURRENT RESIDENT
12265 US HIGHWAY 85 APT 3
BRIGHTON CO 80601-7120

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 1
HENDERSON CO 80640-1002

CURRENT RESIDENT
12265 US HIGHWAY 85 APT 4
BRIGHTON CO 80601-7120

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 10
HENDERSON CO 80640-1002

CURRENT RESIDENT
12265 US HIGHWAY 85 APT 5
BRIGHTON CO 80601-7120

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 11
HENDERSON CO 80640-1002

CURRENT RESIDENT
11284 E 124TH AVE APT 1
BRIGHTON CO 80601-7123

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 12
HENDERSON CO 80640-1002

CURRENT RESIDENT
11284 E 124TH AVE APT 2
BRIGHTON CO 80601-7123

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 13
HENDERSON CO 80640-1002

CURRENT RESIDENT
11485 E 124TH AVE
BRIGHTON CO 80601-7173

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 14
HENDERSON CO 80640-1002

CURRENT RESIDENT
12840 BRIGHTON RD
BRIGHTON CO 80601-7342

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 15
HENDERSON CO 80640-1002

CURRENT RESIDENT
12600 BRIGHTON RD
BRIGHTON CO 80601-7351

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 16
HENDERSON CO 80640-1002

CURRENT RESIDENT
11100 E 126TH AVE
BRIGHTON CO 80601-7402

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 17
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HENDERSON CO 80640-1002

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HENDERSON CO 80640-1002

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HENDERSON CO 80640-1003

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12210 BRIGHTON RD UNIT 189
HENDERSON CO 80640-1009

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 180
HENDERSON CO 80640-1009

CURRENT RESIDENT
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11466 E 119TH PL
COMMERCE CITY CO 80640-7403

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12210 BRIGHTON RD UNIT 732
HENDERSON CO 80640-1031

CURRENT RESIDENT
11911 MACON ST
COMMERCE CITY CO 80640-7404

CURRENT RESIDENT
12210 BRIGHTON RD UNIT 733
HENDERSON CO 80640-1031

CURRENT RESIDENT
11526 E 119TH PL
COMMERCE CITY CO 80640-7414

CURRENT RESIDENT
11522 E 118TH PL
COMMERCE CITY CO 80640-7420

CURRENT RESIDENT
10400 E 123RD AVE
BRIGHTON CO 80640-7439

CURRENT RESIDENT
11400 E 118TH AVE
COMMERCE CITY CO 80640-7425

CURRENT RESIDENT
10110 E 120TH AVE LOT 12
COMMERCE CITY CO 80640-8300

CURRENT RESIDENT
11431 E 118TH AVE
COMMERCE CITY CO 80640-7426

CURRENT RESIDENT
10110 E 120TH AVE LOT 13
COMMERCE CITY CO 80640-8300

CURRENT RESIDENT
11461 E 118TH AVE
COMMERCE CITY CO 80640-7426

CURRENT RESIDENT
11010 E 120TH AVE UNIT A
HENDERSON CO 80640-8498

CURRENT RESIDENT
11520 E 118TH AVE
COMMERCE CITY CO 80640-7427

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11010 E 120TH AVE UNIT C
HENDERSON CO 80640-8498

CURRENT RESIDENT
11801 MACON ST
COMMERCE CITY CO 80640-7434

CURRENT RESIDENT
10655 E 120TH CT
COMMERCE CITY CO 80640-9141

CURRENT RESIDENT
12045 MOLINE ST
COMMERCE CITY CO 80640-7435

CURRENT RESIDENT
11451 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

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12075 MOLINE ST
COMMERCE CITY CO 80640-7435

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11499 RIVER RUN CIR
COMMERCE CITY CO 80640-9231

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12075 MOLINE ST
COMMERCE CITY CO 80640-7435

CURRENT RESIDENT
11685 RIVER RUN PKWY
COMMERCE CITY CO 80640-9287

CURRENT RESIDENT
10220 E 123RD AVE
BRIGHTON CO 80640-7438

CURRENT RESIDENT
11993 BRIGHTON RD
COMMERCE CITY CO 80640-9321

CURRENT RESIDENT
11610 BRIGHTON RD
HENDERSON CO 80640-9328

CURRENT RESIDENT
11750 E 124TH AVE
HENDERSON CO 80640-9602

CURRENT RESIDENT
10110 E 120TH AVE APT A1
HENDERSON CO 80640-9391

CURRENT RESIDENT
11821 E 121ST AVE
HENDERSON CO 80640-9617

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10110 E 120TH AVE APT A2
HENDERSON CO 80640-9391

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11698 E 120TH AVE
HENDERSON CO 80640-9626

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10110 E 120TH AVE APT A3
HENDERSON CO 80640-9391

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12010 OAKLAND ST
COMMERCE CITY CO 80640-9629

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10110 E 120TH AVE APT A4
HENDERSON CO 80640-9391

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12001 OAKLAND ST
COMMERCE CITY CO 80640-9630

CURRENT RESIDENT
10110 E 120TH AVE APT A5
HENDERSON CO 80640-9391

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12100 OAKLAND ST
COMMERCE CITY CO 80640-9631

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10110 E 120TH AVE APT 7
COMMERCE CITY CO 80640-9391

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12150 OAKLAND ST
COMMERCE CITY CO 80640-9631

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COMMERCE CITY CO 80640-9391

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COMMERCE CITY CO 80640-9631

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COMMERCE CITY CO 80640-9391

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COMMERCE CITY CO 80640-9635

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12202 BRIGHTON RD
HENDERSON CO 80640-9750

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on January 12, 2021 in accordance with the requirements of the Adams County Development Standards and Regulations.

J. Gregory Barnes

Henderson Pit Recycling

RCU2020-00027

10925 East 120th Avenue

March 2, 2021

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes



Request

Renewal of Conditional Use Permit to allow a recycling facility in the Agricultural-3 (A-3) zone district.

Background

- Former sand and gravel mine (ended 2012)
- Inert landfill (2014-2021)
 - Certificate of Designation
 - Solid Waste Disposal (inert)
- Recycling Facility (2017-present)
 - (expires with inert fill)

Materials

- Recycled Materials:
 - Concrete
 - Asphalt
 - Steel (collected on-site)

Aerial View



Site

Brighton Rd.

E. 120th Ave.

E. 120th Pkwy.

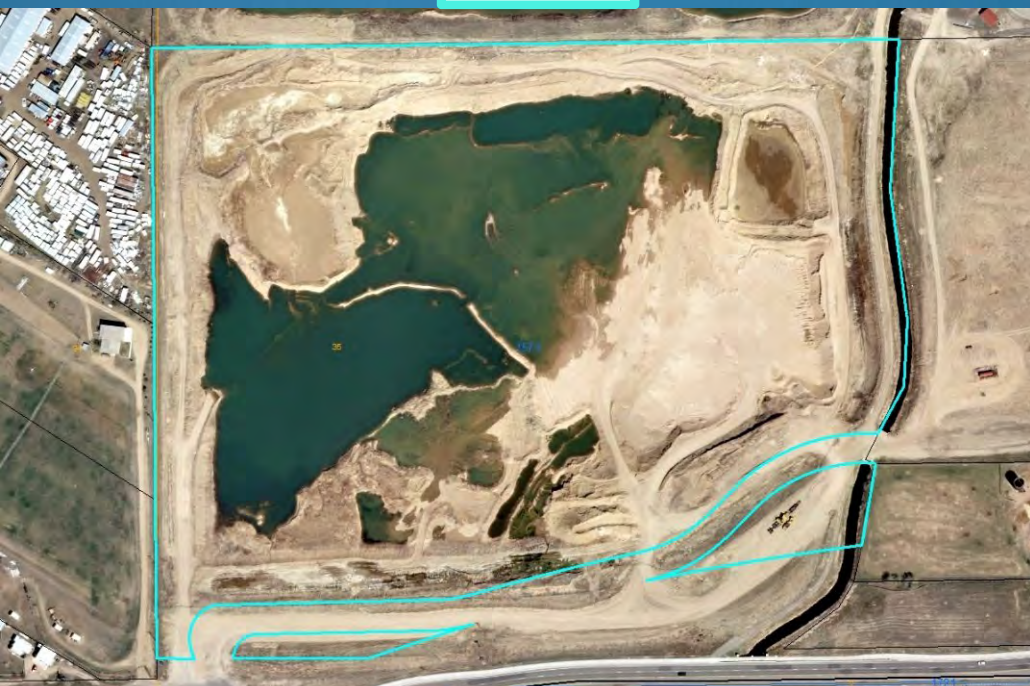
2004



2006



2008



2010



2012



2014



2016



2018



Current Zoning Map

C-2

A-3

Brighton

RE

1571

A-3

A-2

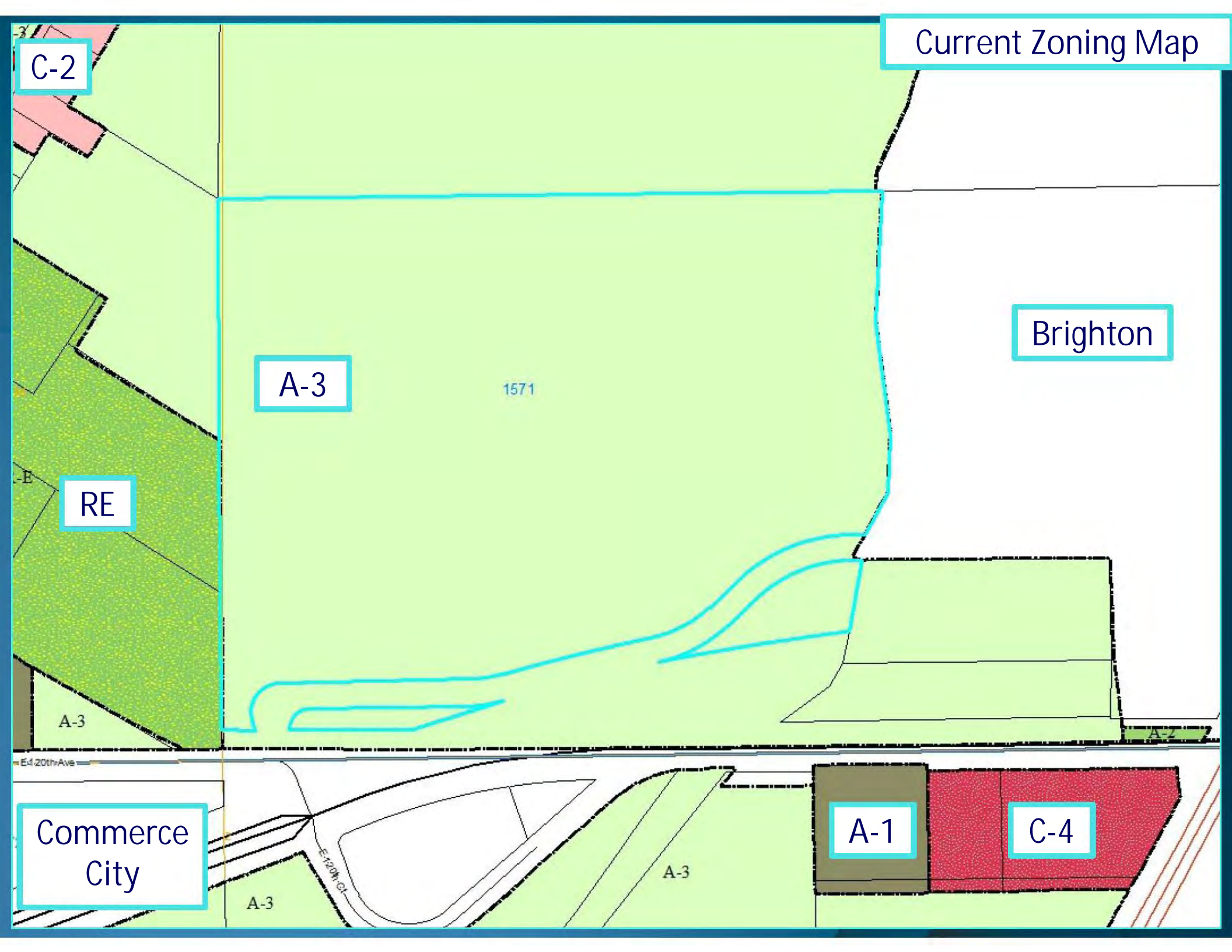
Commerce City

A-1

C-4

A-3

A-3



Future Land Use Map

Estate Residential

Brighton

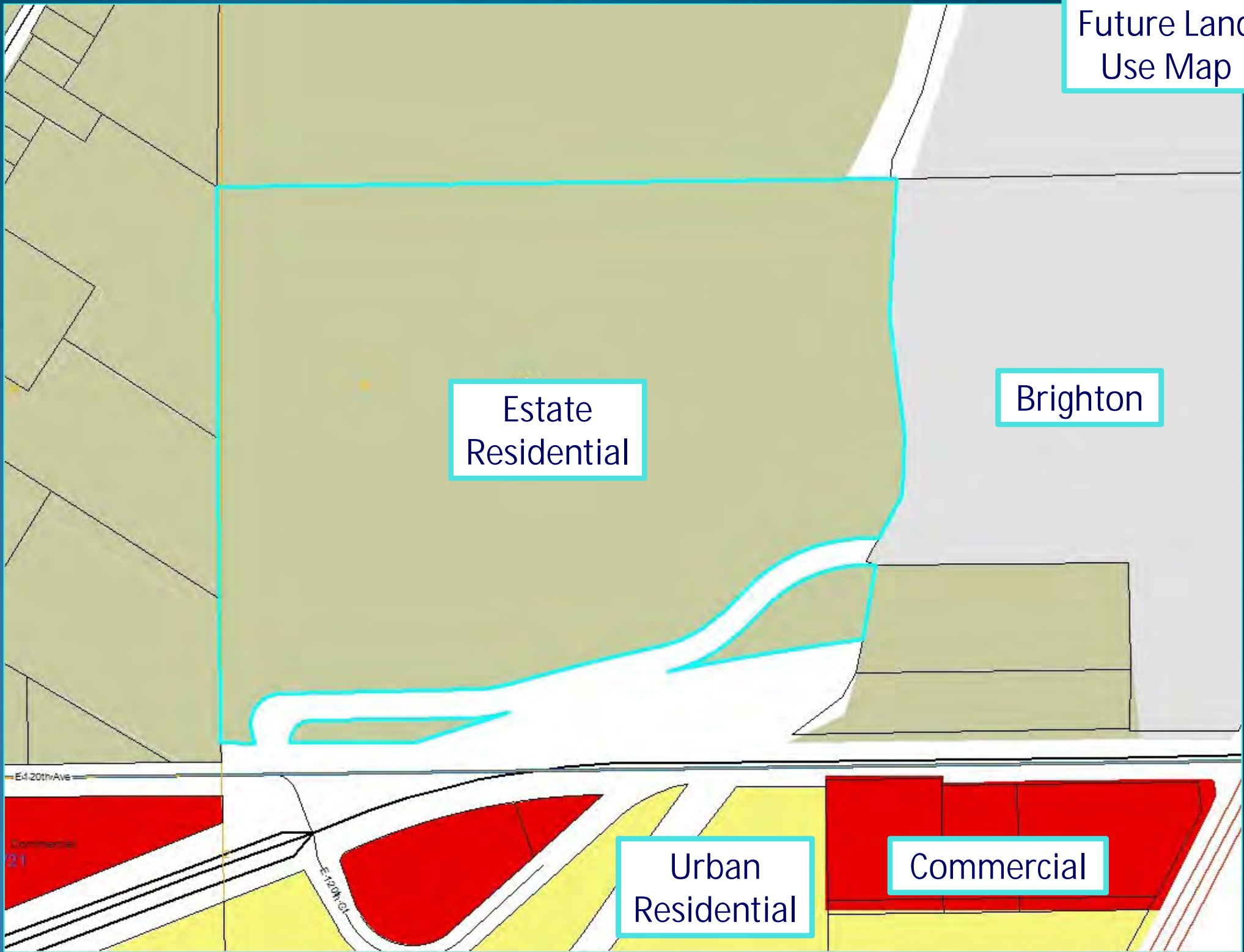
Urban Residential

Commercial

E-120th Ave

Commercial
21

E-120th St



Criteria for Conditional Use Permit Approval

Section 2-02-09-06

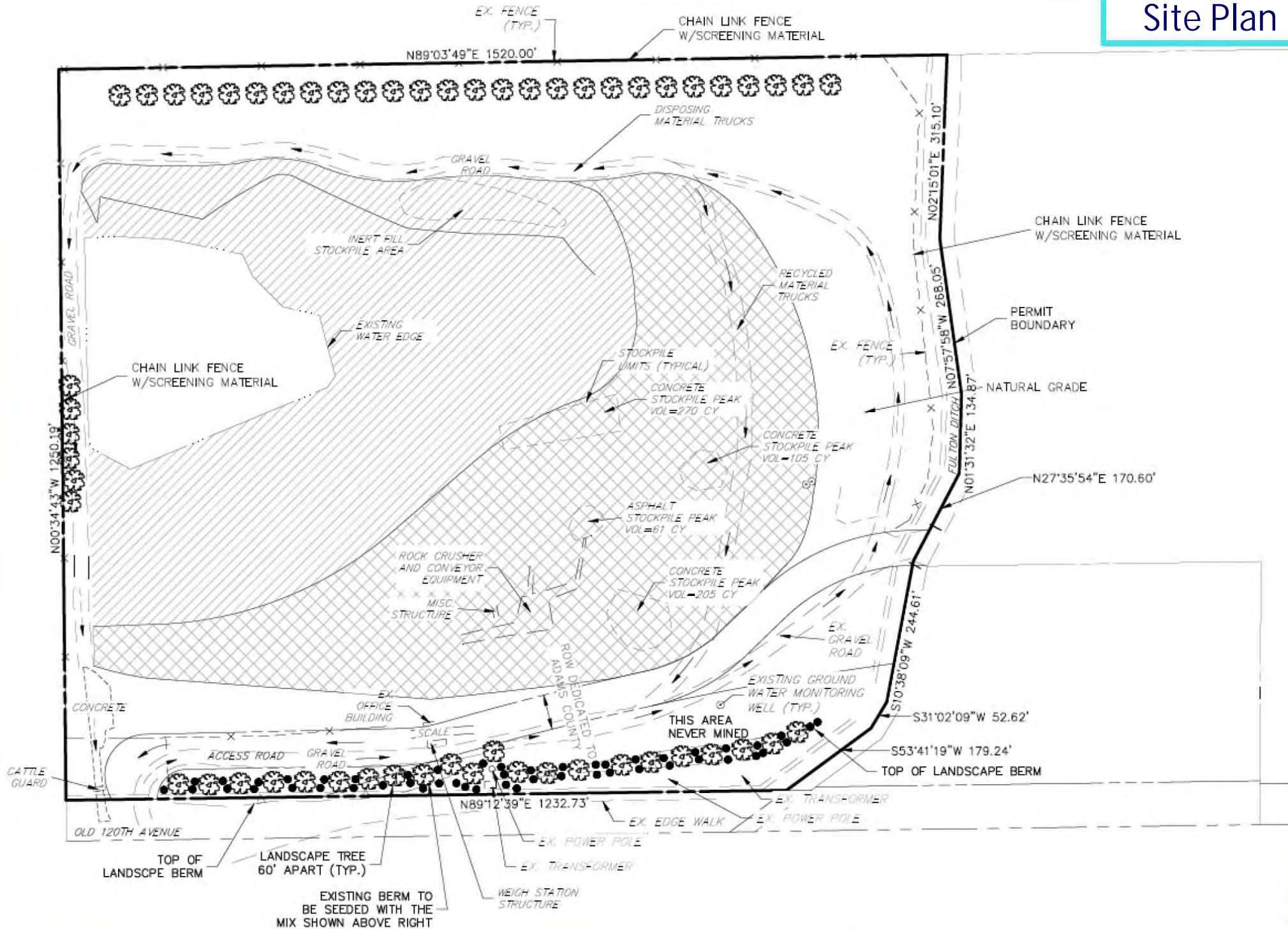
1. Use Permitted in Zone District
2. Consistent with Purpose of Regulations
3. Complies with Performance Standards
4. Compatible & Harmonious
5. Mitigation of Off-Site Impacts
6. Suitability of Site
7. Functional Layout
8. Utilities & Services to Support Use

Additional Criteria for Recycling Facilities

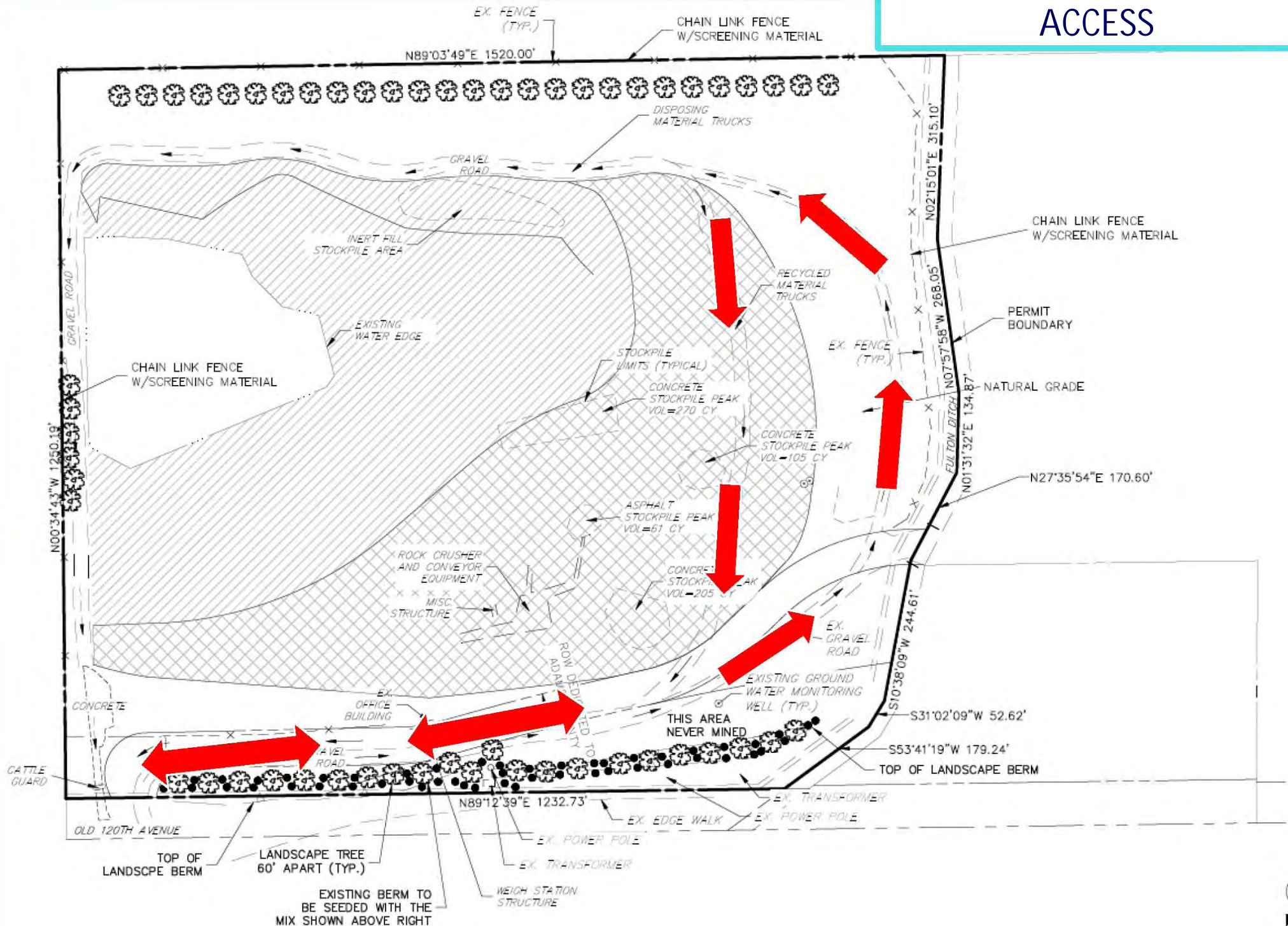
Section 2-02-09-07-03

1. Compatible with the Comprehensive Plan, complies all requirements of the Adams County Regulations
2. Documented ability to comply with the health standards and operating procedures as provided by CDPHE, Tri-County Health, local Fire District, and other relevant agencies.
3. Facility will not cause significant traffic congestion or traffic hazards.
4. Compatible with the surrounding area.

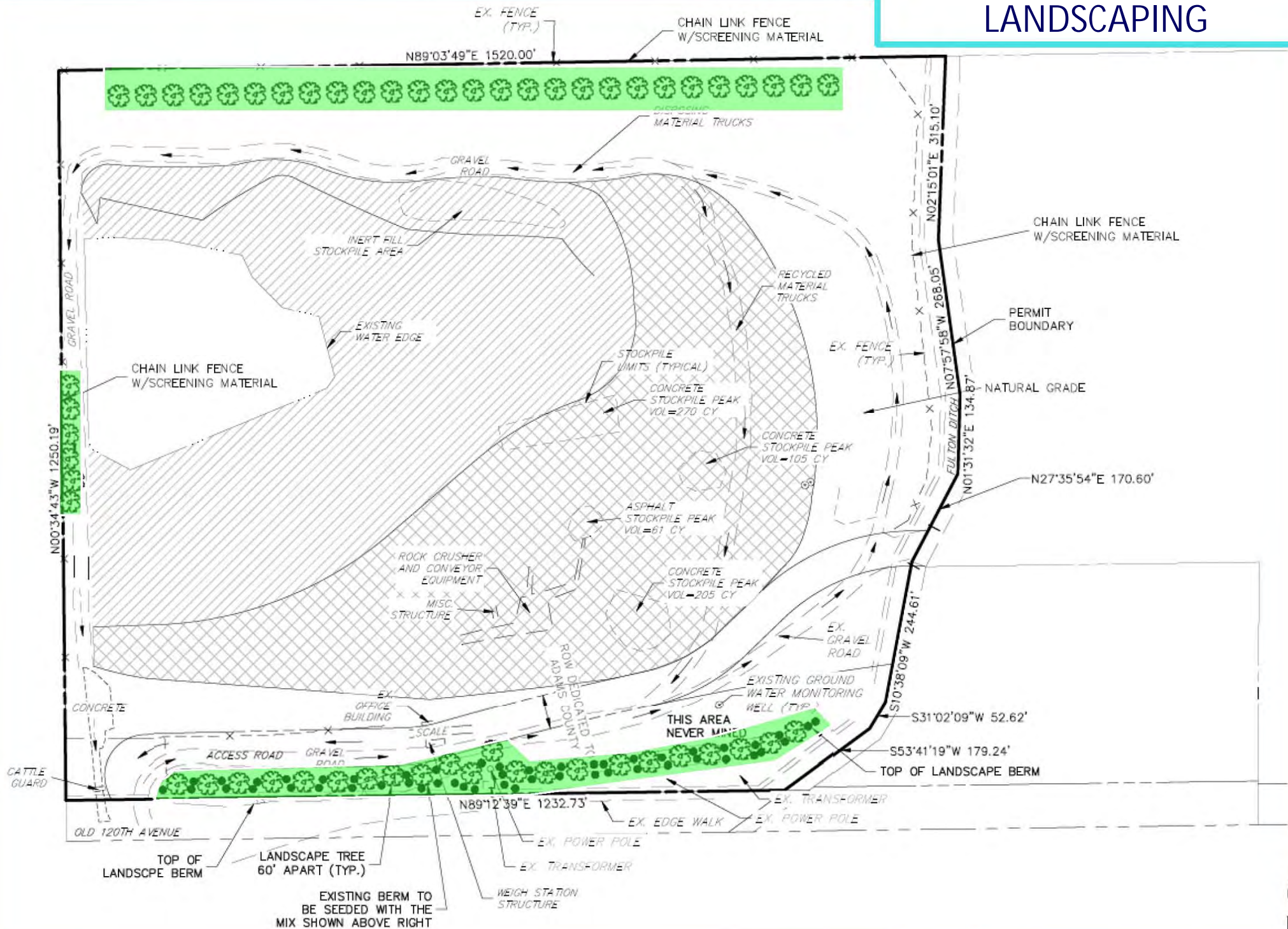
Applicant's Site Plan



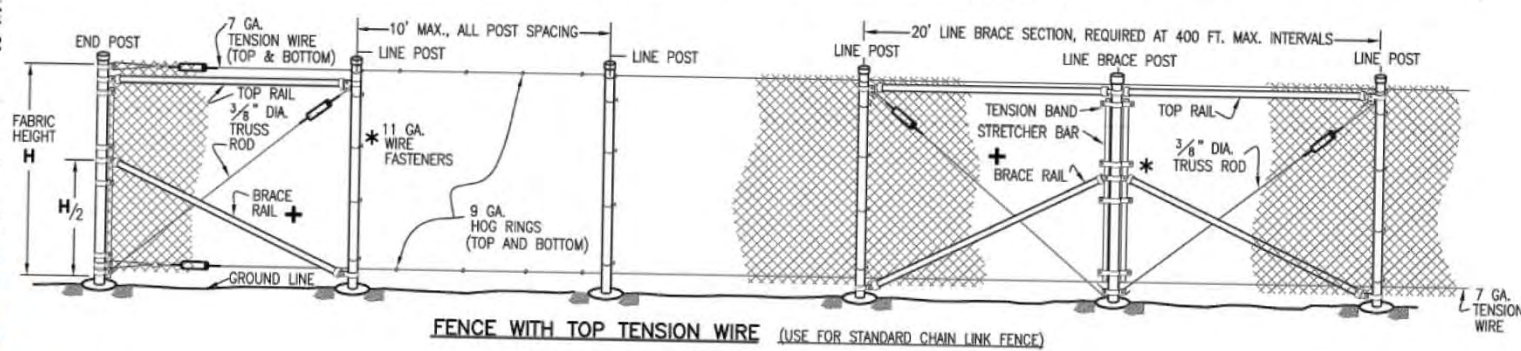
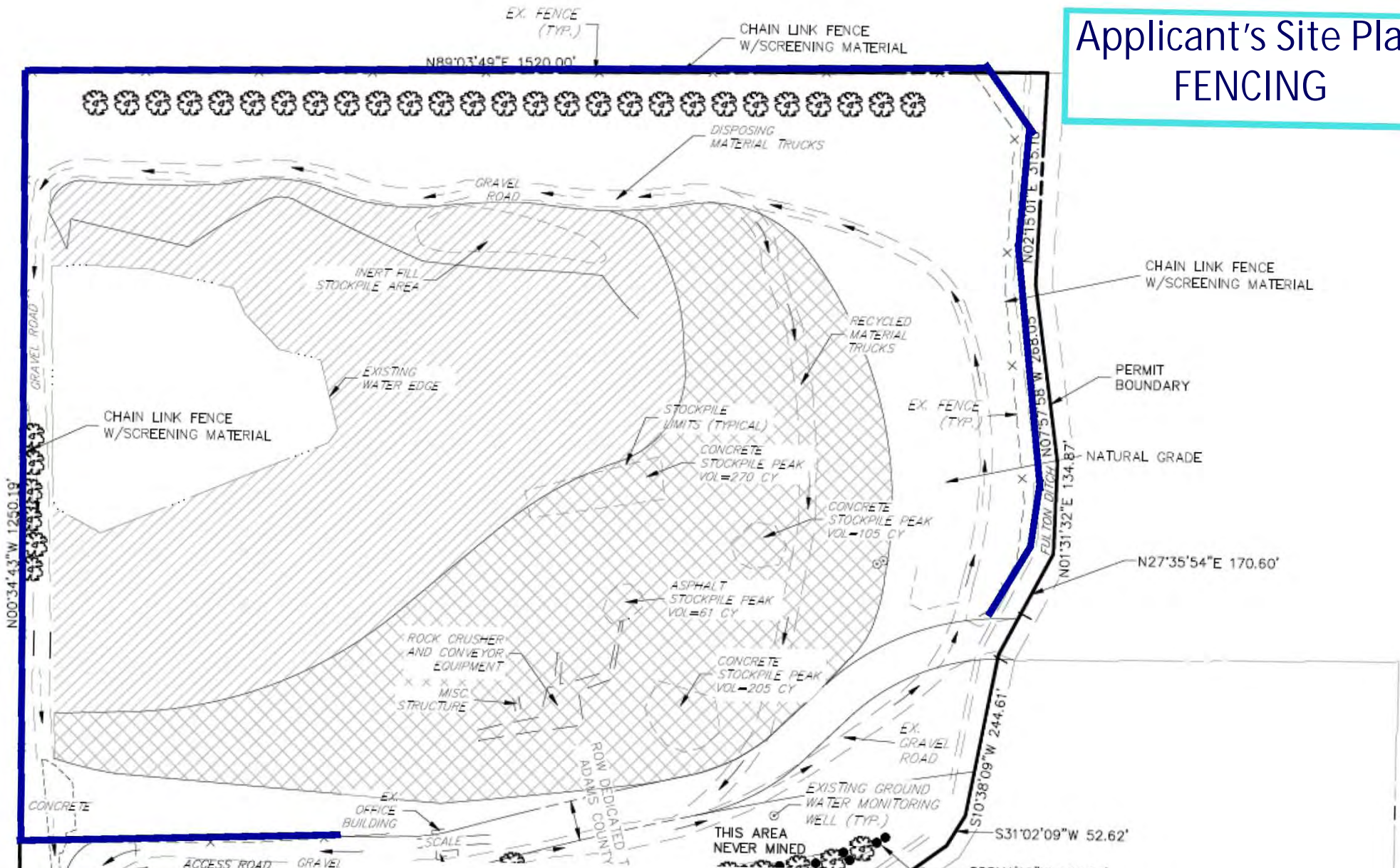
Applicant's Site Plan ACCESS



Applicant's Site Plan LANDSCAPING



Applicant's Site Plan FENCING



Development Standards

Performance Standards for Recycling Facilities

- Screen Fencing
- Traffic Control Plan
- Nuisance Control Plan
- Clean and Orderly Appearance
- Recordkeeping
- Clean-up of Litter

Operations Plan

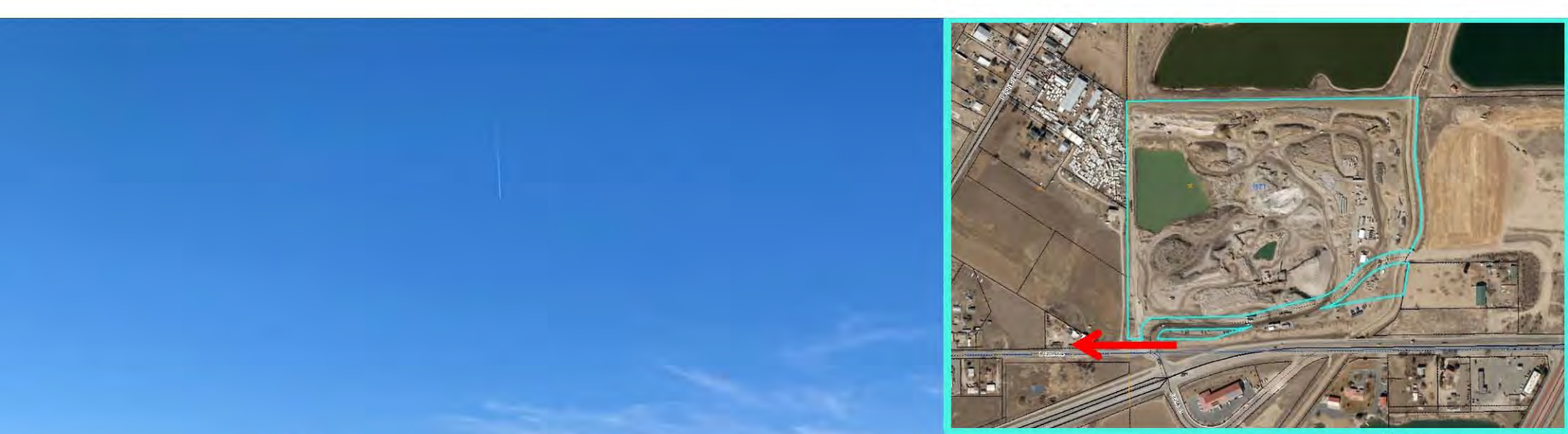
- Hours
- Security
- Drainage Control Measures
- Record Keeping
- Crushing Protocol
- Revegetation and Reclamation
- Air Quality Control
- Litter Control
- Nuisance Management
- Groundwater Monitoring
- Chain of Custody

Operations Plan Specifics

- Hours
 - 6 a.m.-6 p.m., Mon.-Sat.
 - Closed Sun., and Major Holidays
- Record Keeping
 - All deliveries made, quantities, source, etc.
- Air Quality Control
 - Wind speed shutdown reqts, watering
- Litter Control
 - Monitoring of streets
- Nuisance Management
 - Weed control
 - Vector management
 - Street sweeping
- Groundwater Monitoring
 - Network, schedule, analyses, & evaluation











Referral Period

Notices Sent*	Comments Received
371	6

half-mile referral distance

- Debris tracking on roadways
- Disregard for expiration dates
- Stockpile height
- Air Quality

External Referral Agencies:

- City of Brighton – opposed to project
- CDPHE – Continued Air Quality Monitoring
- TCHD – Vector Control Measures, Fugitive Dust Controls

Planning Commission Update

- Hearing – January 28, 2021
- Applicant provided presentation
- No public comments
- Planning Commission recommended denial (6-1)

PC & Staff Recommendation

(RCU2020-00027 – Henderson Pit Recycling)

Denial of Case # RCU2020-00027, Henderson Pit, with 10 findings-of-fact

Recommended Findings-of-Fact

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, inharmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. Sewer, water, storm water drainage, fire protection, police protection, and roads are not to be available and adequate to serve the needs of the conditional use as designed and proposed.
8. The request is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
9. The proposed facility will cause significant traffic congestion or traffic hazards.
10. The request is incompatible with the surrounding area.

Alternative Recommendations

(RCU2020-00027 Henderson Pit Recycling)

Denial of the conditional use permit with 10 findings-of-fact

OR

Approval of the conditional use permit with 14 findings-of-fact, 11 conditions, and 1 Note.

Recommended Conditions

1. This Conditional Use Permit shall expire on March 2, 2023.
2. This Conditional Use Permit shall be limited only to those materials, processes, and storage areas as described in the application and shown as Exhibit 3.2 of the staff report. Any changes to types of material or processes shall require an amendment to this CUP.
3. Stockpiles on the property shall not exceed the height of the screen fencing to be placed around the property.
4. Lighting shall be arranged and positioned so no direct lighting or reflection of lighting creates a nuisance or hazard to any adjoining property or right-of-way.
5. The operator shall maintain records showing amounts of stockpiled materials both processed and unprocessed. In addition, records containing customer lists and records showing amounts of recycled material shipped off site shall be maintained.
6. Fugitive dust control measures as prescribed within the facility's Air Pollutant Emission Notice permit, issued by CDPHE, must always be in place and functioning to ensure on-site visible emissions do not exceed 20% at any time. There must be no off-property transport of visible emissions.

Recommended Conditions

7. The facility shall cease operations during periods of high winds as measured by anemometer or other type of wind gauge permanently stationed on-site. High winds shall be defined as when wind speeds exceed 35 mph or a sustained 25 mph.
8. Public roadways from the site to U.S. Highway 85 will be free of debris and tracked material from the site. The roadways shall be swept at least once for every day the facility is operational, and additional sweeping as needed.
9. All terms of the Operations Plan submitted with this conditional use permit shall be implemented, with the only exception being hours of operation. The hours of Operation shall be 7 a.m. to 7 p.m., Monday through Saturday.
10. Quarterly monitoring of air quality shall be conducted, and a report submitted to Adams County's Community and Economic Development to ensure that crushing of product does not create negative off-site impacts.
11. The operator shall provide an asphalt or concrete surface for all portions of the driveways located within public rights-of-way.