



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
March 9, 2021
9:30 AM

Watch the virtual meeting through our You Tube Channel
<https://www.youtube.com/channel/UC7KDbF1XykrYlxnfhEH5XVA>

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. MOTION TO APPROVE AGENDA**
- 4. AWARDS AND PRESENTATIONS**
- 5. PUBLIC COMMENT**

A. Citizen Communication

Members of the public may submit written comments on any matter within the Board's subject matter jurisdiction or request to speak at the meeting through our eComment system at <https://adcogov.legistar.com/Calendar.aspx>

Residents are encouraged to submit comments, prior to the meeting, through written comment using eComment; eComment is integrated with the published meeting agenda and individuals may review the agenda item details and indicate their position on each item. A request to speak at the meeting may also be submitted using the eComment feature. You will be prompted to set up a user profile to allow you to comment, which will become part of the official public record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting.

B. Elected Officials' Communication

- 6. CONSENT CALENDAR**

- A. List of Expenditures Under the Dates of February 22-26, 2021
- B. Minutes of the Commissioners' Proceedings from March 2, 2021
- C. Resolution Approving an Intergovernmental Agreement between the City of Thornton, Commerce City, and the County of Adams to Provide Preliminary Engineering and Environmental Design for the Widening of 104th Avenue Project
(File approved by ELT)
- D. Resolution Approving Ambulance Service License for the Adams County Fire Protection District
(File approved by ELT)
- E. Resolution Approving Ambulance Service License for University of Colorado Health
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1. Resolution Authorizing Fifth Supplemental Appropriations to the 2020 Adams County Government Budget
(File approved by ELT)
- 2. Resolution Approving Amendment Eight to the Agreement between Adams County and Quantum Water Consulting for Additional Services
(File approved by ELT)

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

- 1. EXG2020-00001 Tucson South
(File approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

Regarding: Tucson South Gravel Pit and Aggregate Industries (AI) - (3/5/21)

Dear Commissioners,

It would be difficult to comprehend the incredible amount of time that we have invested into researching various aspects of the Tucson South Gravel Pit Application. Plus we have sat through 4 presentations (none that we were formally invited to), a 2.5 hour meeting with Chance Allen & David Foster, an hour+ with their political lobbyist Sheila MacDonald, a number of communications with Rich Vidmar (City of Aurora), participated in planning hearings and have exhausted some of your staff with emails. So please weigh in on what we have to say.

Our development, Platteview Farms Plaza, is at the gateway to the downtown district and it sits roughly 1,300' to the east of the proposed gravel pits. We have dedicated well over a decade and a half to building it up, fighting blight in the downtown district, and working to increase the desirability of Downtown Brighton. We've lived through a recession, working 16 hour days, being buried in unimaginable debt, and selling everything we owned to make this development work. We fought through 9+ years of vacant retail space and the heartache of having to lay off some 10+ employees when we finally had to close one of our businesses, DazBog Coffee - (DEEPLY discounting lease rates to fill the empty space). The Downtown District has been moving towards being a more desirable and successful place, for BOTH businesses and consumers, and we're fighting to keep it that way! A gravel pit at the gateway WILL affect how folks feel about this community and it negates so much of what has been worked for.

There are folks who support this mine, even within the city, but they are lacking some critical insight into this permit AND the applicant. It's been very concerning how AI has gained some of their support - both by the things they say AND by the things they purposefully don't say, . . . convincing everyone how much their new application has changed, (that it is 180 degrees different to be precise!) . . . all while implying immense effort and sacrifice, a philanthropic partnership, and community outreach. They have stressed how in 8 years ALL will be complete, and that this mining project will NOW enhance the gateway into Brighton, . . . as though the ENORMOUS elephant behind the palm tree will somehow just NOT be seen or experienced. And for the most part, most folks don't even realize how little this application has changed.

For the record, and we confirmed it, in 2019 the South parcel was removed (at least in the hearings - never mind what they were doing behind the scenes), farm style fence was proposed, as was air monitoring/shared data, they had the crusher fine trail N. of Hwy 7, screening berms (west parcel), the landscaping along Hwy 7 to address visual impact (a condition precedent), same days and hours of operation, and a shorter time frame than the 8 yrs was discussed (and 8 yrs was not even new). The biggest change now is that they would START with the conveyor. They did add irrigation, fancier landscape drawings, some paths outside the FENCED reservoirs (no access), and have continually dangled the carrot of the south parcel. For us, the donation of the south parcel is a Pay to Play tactic and should never have been tied to the considerations of this use permit - OR whether or not mining is now more harmonious just because they are giving it away.

Regarding their tactics, on the day of the LAST planning hearing, Chance Allen emailed numerous individuals who had previously provided opposition comment letters to Adams County. Below are some direct quotes from Chance:

"Improves Safety with Reduced Traffic – 400 truck hauling trips a day are eliminated. This means that 800,000 trips over the lifetime of the mine are eliminated." ??? In 2019 AI represented a year (maybe two) for trucking, six days a week - minus all major holidays. Nowhere near a true representation - but folks don't know.

"The time to mine is reduced to 8 years from 10 years and the number of hours of operation was reduced by 40 hours per week. There will be no opportunity to extend the project." It was already reduced in 2019 when the south parcel was removed (actually less time was discussed). There is no making sense of the 40 hour per week reduction. ??? And we would REALLY like to know even ONE TIME that AI ever DID NOT EXCEED the time estimated. And no extension??? You CAN'T just leave a half hole in the ground.

"Creates Perpetual Community Benefit –South Parcel being donated to Adams County completes wildlife corridor. The community will have access to the site post-mine, which will include a reservoir surrounded by trails for hiking and walking." Fenced off reservoir with no parking access. You could actually apply the same use to the two reservoirs to the north on Tucson and walk/hike around their fencing. The shape of the Tucson South reservoirs (hugging the road/boundaries) doesn't inspire a "recreating" sort of feeling.

"Enhances Landscaping (2/3 of a mile)- Landscaping provides a natural shield of the mine and will include natural grasses, bushes, and trees." Never mind what you will see between, around and above the landscaping, or at the Tucson intersection - OR coming and going from Brighton (with nicely elevated views). This impact is NOT solvable!

A Portion of Chance's letter is shown below along with the individual's reaction to it (not understanding how the response that came back wasn't under the direction of the County).

The screenshot shows a Nextdoor interface. On the left is a navigation menu with options like Home, Eagle Shadow North, Map, Digest, Neighborhood, Help Map, Businesses, For Sale & Free, Local Deals, and Public Agencies. The main content area shows a message from Gary Krech to Heritage Todd Creek. The message text reads: "I don't think the sand pit will be stopped. I wrote to Greg Barnes at Adams county citing several reasons why it should not be approved. Here is the response I got from Aggregate Industries. Apparently Adams County forwards these letters. Looks to me like it will be approved." Below this is a reply from Adams County: "Dear Adams County Neighbor, Thank you for your interest in the Aggregate Industries Tucson Mining Project. We appreciate you sharing your thoughts on the project and application process. It is important to us that we listen to the community as we seek approval for the conditional use permit. We have listened to your concerns and taken great care to ensure they are addressed in a thoughtful and comprehensive way. Based on the feedback we received from the community, stakeholders and the Board of County Commissioners, the application: Improves Safety with Reduced Traffic – 400 truck hauling trips a day are eliminated. This means that 800,000 trips over the lifetime of the mine are

At times it has appeared to us that the modus operandi for obtaining this permit is "the end justifies the means" - a reminder of what we felt in 2019 when AI painted pictures of upland meadows, open water views, and proclaimed how the wildlife would ONLY improve with this project, . . . or told everyone they would have "seeded topsoil stockpiles" while simultaneously telling the DRMS "it may not be practical" and that they would use surface roughening "to limit wind and water erosion." The 2019 hearing packets stated "the applicant is proposing a

conveyor system which is anticipated to be operational within a year." Even though this number flexed during the hearings, it represents an approach to throwing out a saleable number that helps you get across a threshold so that you can get your foot in the door. AI finally, just this past December, got one of the key easements they needed to be able to proceed north - but that's without the time they will need for additional permitting, engineering, and construction. And the eight year promise?? . . . never mind that Greg confirmed the county will allow slurry wall construction, and the ability to clear overburden and build berms - ALL in preparation to mining, (per the DRMS there are areas of overburden that go up to 12' deep) . . . but this pre-construction that is allowed is NOT called mining (or part of the 8 years). So why do we not just call it 9.5 years? And what happens if the market slows down or their time frame estimates were nothing but a nice saleable number to throw at everybody? Based off reality this is more than a 20 year project. **And there is no consequential teeth/penalties in this permit - for anything!**

In a previous letter I addressed another 8 year contract that AI entered into with the City of Westminster back in 2000 to create water storage vessels - and they STILL are not done. AI is now currently working on permitting the Baurer Permit up in Weld County (Wattenberg) to help finish this LONG overdue 8 year (now at 21 years) project. Please read my February 10th letter addressing that - it speaks volumes about the arbitrary numbers that AI (or other mining companies) throw out to get their foot in the door.

Regarding time frame promises, . . . AI's **Brighton Mine was permitted at the DRMS back in 1978 and has STILL not finished reclamation** - but you will see the meaningless promise about it, referenced below, while AI used it as support for gaining an extension of the Tucson North site.

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SUBMITTAL ITEM C EXPLANATION

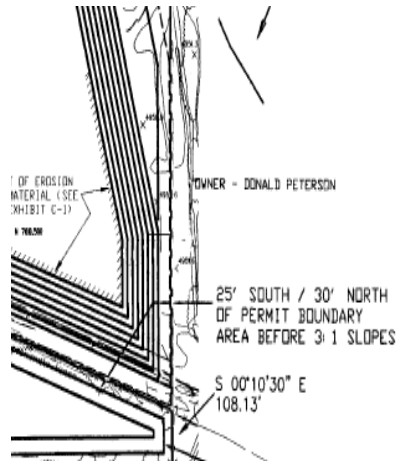
Overview and Summary of Request

Aggregate Industries-WCR, Inc. (AI) has mining and reclamation permits on three properties in unincorporated Adams County north and south of SH7 on the west side of the South Platte River: Brighton Mine-PRJ2007-00022 (144th and Riverdale Road East to the South Platte River), Tucson (North) Pit-EXG2001-00006 (Southeast Corner-168th and Tucson Street), and Tucson South Pit-EXG2004-00004 (Both sides SH7/160th Avenue on the west side of Tucson Street). The Brighton Mine and Tucson Pit properties were acquired from prior owners with existing permits that had been mined intermittently. Given the strong demand for aggregate material when these properties were acquired, AI proceeded to permit the Tucson South property with the intent to complete mining of the Brighton Mine and Tucson (North) Pit and then initiate mining of the Tucson South property.

However, because of the present general economic slowdown and the lessening of aggregate material demand, AI has decided to concentrate on completing mining of the Brighton Mine first, and then complete mining of the Tucson (North) Pit before proceeding on mining of the Tucson South property. In furtherance of this intent, AI last year amended the Brighton Mine's mining completion date to 12/31/09 and the reclamation completion date to 12/31/10. **Still not reclaimed**

The Tucson (North) Pit (Case #EXG2001-00006) presently has a mining and reclamation completion date of 12/31/08. This Conditional Use request is to extend the mining completion date for the Tucson Pit to 12/31/12 and the reclamation date to 12/31/13,

Noteworthy too is the reclamation plans/map for their Tucson (North) Resource Pit (reservoir east side of Tucson): "A minimum of 150 cottonwood seedling trees and 300 willow root stock shall be planted around the reservoir area of which 2/3's of these shall be placed by the S. Platte River channel area" - PLUS, . . . "A minimum of 25 cottonwood seedling trees and 50 willow root stock shall be planted around the proposed wetland area of Phase 3" (now Tract M in the new application)



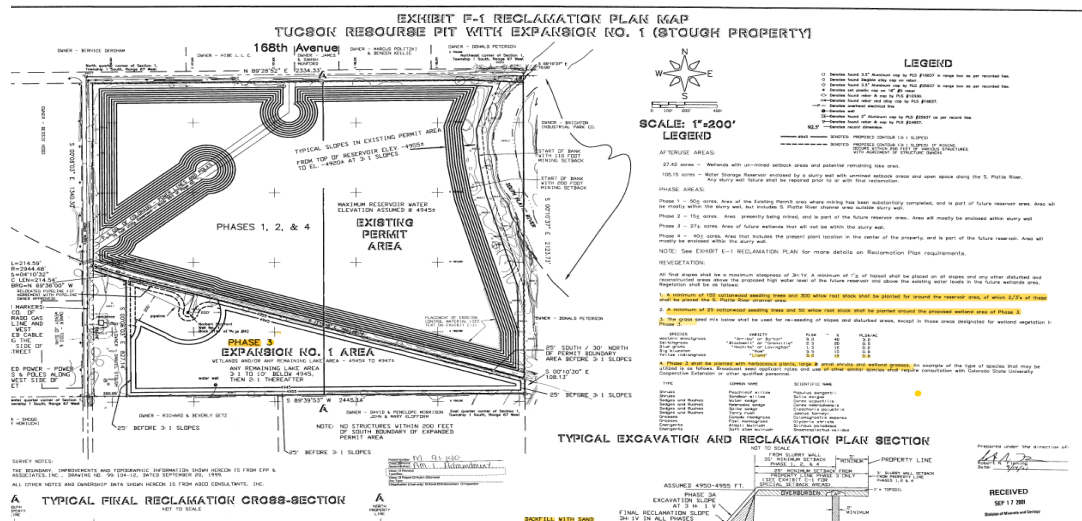
All final slopes shall be a maximum steepness of 3H:1V. A minimum of 1'± of topsoil shall be placed on all slopes and any other disturbed and reconstructed areas above the proposed high water level of the future reservoir and above the existing water levels in the future wetlands area. Vegetation shall be as follows:

1. A minimum of 150 cottonwood seedling trees and 300 willow root stock shall be planted for around the reservoir area, of which 2/3's of these shall be placed the S. Platte River channel area.
2. A minimum of 25 cottonwood seedling trees and 50 willow root stock shall be planted around the proposed wetland area of Phase 3.
3. The grass seed mix below shall be used for re-seeding of slopes and disturbed areas, except in those areas designated for wetland vegetation in Phase 3.

SPECIES	VARIETY	PLS#	%	PLS#/AC
Western wheatgrass	'Arrilba' or 'Barton'	8.0	40	3.2
Switchgrass	'Blackwell' or 'Greenville'	2.5	20	0.5
Blue grama	'Hechtler' or 'Livingston'	1.5	10	0.2
Big bluestem	'Kear'	5.5	15	0.8
Yellow indiangrass	'Llano'	5.0	15	0.8

4. Phase 3 shall be planted with herbaceous plants, large & small shrubs and wetland grasses. An example of the type of species that may be utilized is as follows. Broadcast seed application rates and use of other similar species shall require consultation with Colorado State University Cooperative Extension or other qualified personnel.

TYPE	COMMON NAME	SCIENTIFIC NAME
Shrub	Bushleaf willow	<i>Baccharis myrsinites</i>



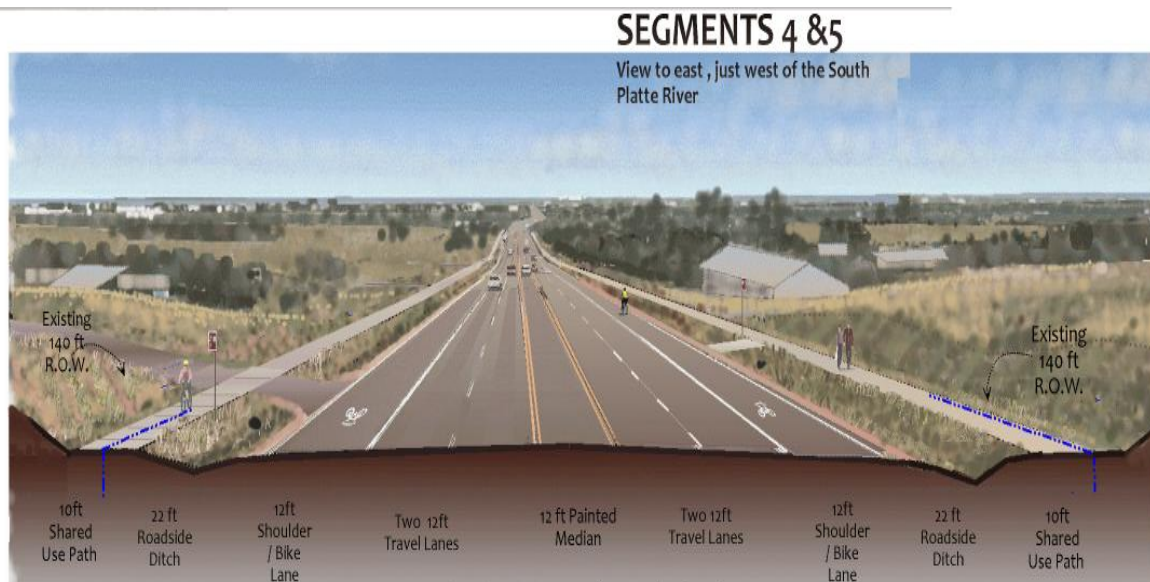
Tucson Resource Mine (Tucson North) - Thornton's Reservoir on the east side of Tucson is notably naked, treeless, and bushless! Lined reservoirs (slurry walls) can be compromised by root structures so the boundaries shown for the reservoir in the proposed reclamation plan were likely nonsensical(?) and may account for why no trees or willows were ever planted around this reservoir. ?? But it no doubt sounded good on paper and sure helped sell the proposed product. Phase 3 was mined and not reclaimed but instead moved over to the Tucson South permit. It is now Tract M and AI is stating that it will become "upland meadow" when it is finally reclaimed (no trees/willows as per the original plan - now convenient). It has been sitting there for years!!! It is pictured replete with noxious thistle weeds as the cover to their application (page 20?).

Side Notes:

When the **Tucson South Mine** was previously permitted (2004), AI was going to use a conveyor under Hwy 7, and the east parcel off Tucson had a large notch out of it (roughly Tract G) where a number of the large cottonwood trees would have been preserved. The reclamation currently proposed for these parcels leaves the land so naked and it provides minimal land, plants, bushes, or trees (aside from those near Hwy 7) to balance out these reservoirs when complete.

Details regarding the permit:

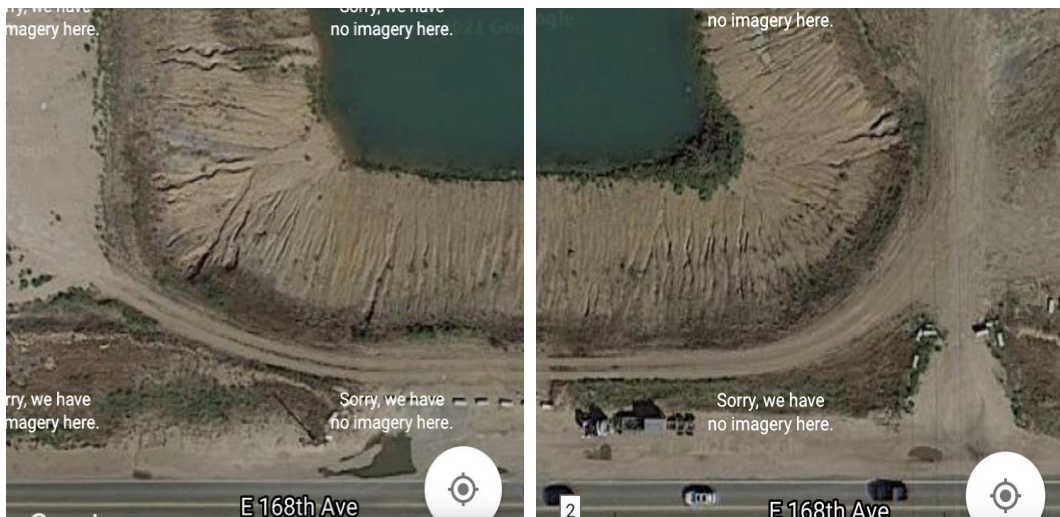
- **Crusher fines from a Sand and Gravel** company would consist of pea gravel which is slippery and not safe. Hopefully there are standards that address crusher fine trails and specify granite. Living with one of these trails around our neighborhood we are very aware of the constant spraying (especially spring and early summer) that is required to keep these trails clear. Given that this is in a floodway, and that the SE corner of the East Parcel has a spillway (runoff towards the river), pesticides washing towards the river is a VERY serious concern and weed control done legitimately WILL REQUIRE special aquatic safe pesticides. A sidewalk would not only eliminate a continual maintenance/safety issue but would provide safe opportunities for use by handicapped individuals or those rollerblading/skateboarding, etc. (below - 2013 CDOT study/suggestions)



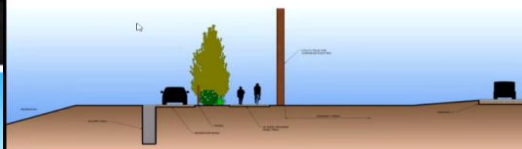
- A condition of this **permit** is that it **shall comply with the MCO** which in turn requires, per (3-38-06-12), that prior to excavation, the 72" **chain link fence** topped with canted barbwire (prison fencing). Comments have been made about this type of fencing **NOT** being allowed in the floodway hence the 3 wire (plus appeal). However, Thornton's Reservoir is in a floodway and is entirely fenced with this ugly prison style fencing. Is this legal? There are homeless that sometimes frequent the Platte area and there were some living on the east parcel this past summer. Some of them struggle with drugs/addiction. If the 3 wire is considered safe then perhaps the regulation should be changed, and if the prison fencing is not allowed in floodways,

then perhaps someone should talk to Thornton. Consistency in standards or in applying rules and regulations is something that should be addressed.

- **Reservoirs can have various finishes** on their slopes and there are some that are much more stable and well engineered, preventing the ugly erosion that you see on many of these augmentation reservoirs even prior to 10 years out. I'm told the Ken Mitchell reservoir is already suffering this fate in areas and it is not even finished. Augmentation reservoirs may or may not have much water in them and addressing the appearance, empty or full, is important - especially in such a highly visible area. In a bad year they may have minimal water in them and wind water erosion can constantly deteriorate them.



- The **Landscaping designs** AI has shown (below) are very one dimensional and do not reflect the fact that the ground drops off in areas. The tree sizing (and quantity) is absolutely unrealistic for the 3,500 linear feet comprising the southern boundary. Where trees/bushes would actually be (down and at a distance) still provides extensive views **beyond/around/above** (in a variety of areas), even with projected growth. And there are multiple additional sightlines east and west of the 2/3's mile that define the southern perimeter. Some municipalities have sightline/viewshed standards that specify what they allow to be seen from certain roadways, residential areas, or businesses, and they require that a **Viewshed Analysis** be done to more accurately determine true visibility and impact. You physically CANNOT negate the visual impact of this gravel pit.





Above is a view point from standing on Hwy 7 and looking to the northeast (SE portion of east parcel). Visible for height reference is the existing wire fencing that is somewhat in line with the electric pole.



Note the cars/sizes on Hwy 7 to the left. This angle (down and off the road a bit, allows you to see how much of a drop there actually is). This is coming out of Brighton. The trees and landscaping wont be up on the road. Plus deciduous trees wont provide any screening in the winter months.

- **Trucking** - With SEVERAL miles of the bentonite slurry walls to be built - averaging 32'(?) deep (keys into bedrock 2-5') and 3'+ wide (per the DRMS), . . . and 3 lbs - 6 lbs per sq ft required (per bentonite suppliers) (more depending on how gravelly and sandy it is), I would think addressing the trucking that will be needed for supplying this would be important. AI has stated in their permit that they will stage bentonite material on Tract K (hillside, west parcel/Aurora's land) **which is accessible via Hwy 7**. Or perhaps they will truck it in across the west parcel and cross two ditches to deposit it? Estimates to complete the slurry phase (depending on where you look) have run up to 6 months. (Regarding depth: It is important to note that AI has represented a variety of depths relative to WHO the audience is and what they are trying to accomplish).



Mining Operations Taking Place 35' Below Grade

Test borings indicate a layer of topsoil and overburden ranging from 1 to 11 feet in depth with a typical overburden depth of 5 feet. The typical depth of topsoil to be removed is 6". In the western part of the site, the topsoil has been tilled until recently and likely contains a significant amount of organics. The overburden is underlain by an aggregate layer with a thickness ranging from 0 to 46 feet with a typical thickness of 25 feet. In some parts of the sites, the aggregate layer contains a 2- to 9-foot thick mud lens. The total depth to bedrock from the surface grade ranges from 5 feet in the west to approximately 50 feet in an apparent paleochannel in the eastern part of the site. The typical depth to bedrock is approximately 27 feet over most of the mine area. The aggregate layer overlies the sedimentary bedrock of the Denver Basin.

(This is per the DRMS application)

A complete soils report is attached in Exhibit I herein for reference.

Aggregate Industries Tucson South Resource
Permit #M-2004-044 112 Permit Amendment
Page D- 2

- **Transparency - Why is Tract J still in the permit?** In AI's past presentations they have shown the conveyor on the west side of Tucson St. and have purposely NOT given any acknowledgement of the De La Cruz family that lives on the E. side of Tucson St. This family will suffer HUGE impacts from this mining and if the conveyor gets moved to the east parcel it will wrap around their house and they will suffer even more. If AI is approved for the permit, in representing that the conveyor will be on the west side, then they should take Tract J out so that there is assurance that the approval is based on what is shown - not a bait & switch.

- **Employees** - AI has stated that the Tucson South Pits will ONLY utilize 5-6 employees and the Platte Valley Plant only shows 10. At the last hearing AI stated they had 19 locations or operations (Denver? Colorado?) but in previous presentations they have made it sound like the 99+/- employees they claim to have in Adams County have jobs dependent on this project. Perhaps they work for other locations?

Mine Employment / Production						
Mine Information						
Mine ID	: 0504332		Mined Material	: Construction Sand and Gravel		
Mine Name	: PLATTE VALLEY PLANT		Type of Mine	: Surface		
Mine Status	: Active		Location	: Weld, COLORADO		
Operator	: Aggregate Industries WCR Inc		Address of Record	: 1687 Cole Blvd Site 300 Brighton CO 80401		
Select Year(s) <input type="checkbox"/> (All) <input checked="" type="checkbox"/> 2020 <input checked="" type="checkbox"/> 2019 <input checked="" type="checkbox"/> 2018 <input checked="" type="checkbox"/> 2017 <input checked="" type="checkbox"/> 2016 <input checked="" type="checkbox"/> 2015 <input checked="" type="checkbox"/> 2014 <input checked="" type="checkbox"/> 2013 <input checked="" type="checkbox"/> 2012 <input checked="" type="checkbox"/> 2006 <input type="checkbox"/> 2005 <input type="checkbox"/> 2004 <input type="checkbox"/> 2003 <input type="checkbox"/> 2002 <input type="checkbox"/> 2001 <input type="checkbox"/> 2000 <input type="checkbox"/> 1999 <input type="checkbox"/> 1998						
Quarterly Employment/Production			Annual Employment/Production			
Year	Mine ID	Subunit	Coal Production	Annual Hrs.	Avg. Annual Emp.*	
2020	0504332	03 STRIP, QUARY, OPEN PIT	0	22,990	9	
2020	0504332	99 OFFICE WORKERS AT MINE SITE	0	2,648	1	
2020	0504332	Total	0	25,638	10	
2019	0504332	03 STRIP, QUARY, OPEN PIT	0	29,245	13	
2019	0504332	99 OFFICE WORKERS AT MINE SITE	0	3,004	2	
2019	0504332	Total	0	32,249	15	
2018	0504332	03 STRIP, QUARY, OPEN PIT	0	35,762	14	
2018	0504332	99 OFFICE WORKERS AT MINE SITE	0	2,316	1	
2018	0504332	Total	0	38,078	15	
2017	0504332	03 STRIP, QUARY, OPEN PIT	0	46,830	13	
2017	0504332	99 OFFICE WORKERS AT MINE SITE	0	4,543	2	

- **Safety** - AI proudly boasts "safety first" but had safety violations this summer (Morrison Plant) (\$30,993). They do have other violations listed at this link as well (including in 2020) but they are not all correctly listed specifically by their operating name (ie. some may be under Holcim (US) inc.) <https://violationtracker.goodjobsfirst.org/prog.php?parent=lafargeholcim>

AGGREGATE INDUSTRIES-SWR, INC.	workplace safety or health violation	2012	OSHA	\$31,500
LAFARGE NORTH AMERICA INC	environmental violation	2004	EPA	\$31,000
Holcim (US) Inc	workplace safety or health violation	2020	MSHA	\$30,993
Holcim (US) Inc.	workplace safety or health violation	2020	MSHA	\$30,993
Aggregate Industries WCR Inc	workplace safety or health violation	2020	MSHA	\$30,993
HOLCIM (US) INC. D/B/A LAFARGE ALPENA PLANT	environmental violation	2003	EPA	\$30,800
LAFARGE NORTH AMERICA, INC. (CLOSED)	environmental violation	2000	EPA	\$30,000
AGGREGATE INDUSTRIES NORTHEAST REGION 251190131900046	environmental violation	2002	EPA	\$30,000
Aggregate Industries, Inc	wage and hour violation	2006	WHD	\$29,791

- **End Use (reservoirs for Aurora)** - This permit requires (in one sense) the approval of two uses at once. There is NO WAY to guarantee at what point these ugly, fenced off reservoirs will EVER have water in them. With the Challenger Reservoir soon to be emptied, and the Walker Reservoirs soon to be emptied as well, that will leave Aurora will essentially 3 or 5 empty reservoirs. (Kirby and Dersham were joined and share one slurry wall) and Walker North (Stillwater) and Walker South are separated but share one slurry wall. If you haven't driven up north of 168th on Road 23 1/2 - it is worth the drive! Roam around up to Wattenberg! Very eye opening. There should be specific criteria for appearance, construction, care, maintenance, etc. with these reservoirs (or ARR's) - along with some hefty fines for negligence in the care and maintenance. The folks who live here should not have to suffer for Aurora's needs.

And, . . . some of AI's history with other Municipalities:

- On January 4, 2021, the **Town of Morrison filed a formal objection with the DRMS** on an Amendment Application (expansion) of AI's Morrison Quarry based on "operator's noncompliance with the governing 1998 PUD" plan. Non-compliance issues included (but were not limited to) screening, dust-mitigation, and lighting (they monitor dust with video and anemometer). AI withdrew the application but may return.
- The **City of Greeley and Boyd Irrigation** are still proceeding with their lawsuit against Aggregate Industries (Case Number: 2018CV30773) and per Boyd's Attorney Jeffrey Rose, they will go to court this fall. Note: AI posted a supersedeas bond in the amount of \$6,189,314.77 to release the previous judgments that came out in 2019. Whatever the outcome, it is concerning that disagreements and misunderstandings of this magnitude could occur, or drag out for this long.

Truly, there is no way to conceive the hours we have dedicated to matters concerning this permit - or AI's track history. Chance and David talk about "Community Outreach" and we gave that our best shot as well - and I have the email chains to prove it. I even took up their lack of communication or timely responses with Aurora's Rich Vidmar - and he accelerated it up his chain of command to try to get a response. There was silliness that went on through the fall and by the New Year when Sheila MacDonald reached out (lobbyist that they hired after Christine left) she started us BACK at ground zero (ie "What are your concerns? What exactly are you looking for in a landscape plan?" - etc.), we rolled our eyes and threw in the towel. They are continually "working on things" (or with someone) and talk about their HOURS invested in this, that, and the other, (how hard they have worked) but when it comes to the end product, it's not there, . . . or its nothing. It's been very frustrating.

A couple more comments, . . . the two air monitors on this 280 some acres will not jump off their posts and erase or prevent dust issues. They will only serve to give AI leverage for arguing that it was within limits merely because the dust didn't make it over to a monitor. This is a very large expanse of land and DUST WILL BE AN ISSUE - it is just a battle waiting to be brewed. And SOUND? Clouds can bank and magnify sound (happens with traffic all the time) while wind can effectively carry it one way or another. And then there is the wildlife. After they whack down the cottonwoods on the east parcel, the whole expansive area will be virtually treeless and almost vegetation-less up to 168th! But that should be great for all the bird watching opportunities that they suggest will abound from this project. And time frame? We know what will happen with that because there is not ONE example of any of these endless mines EVER being finished in time (AND I specifically pushed for even ONE EXAMPLE). But they know that all they have to do is get their foot in the door. Please turn this project down.

This is a substantial amount of land, with good, major road access, in a very VISIBLE and desirable location, and completely capable of giving so much more back to OUR community, residents (which include the wildlife), and Adams County.

We thank you so much for your time and consideration in this matter,

Mark Cordova & Sherie Gould-Cordova
(Business owners and residents)
Platteview Farms Plaza Retail Center
124-128 W. Bridge St.
Brighton, CO 80601



COLORADO

**Division of Reclamation,
Mining and Safety**

Department of Natural Resources

1313 Sherman Street, Room 215
Denver, CO 80203

May 14, 2018

Aggregate Industries - WCR, Inc.
1687 Cole Boulevard, Suite 300
Golden, Colorado 80401

Re: Findings of Fact, Conclusions of Law, and Order, Aggregate Industries - WCR, Inc.
File No. M-2004-031, MV-2015-003 & MV-2018-008

On May 14, 2018 the Mined Land Reclamation Board signed the enclosed Board Order for the above captioned operation. We strongly advise that you read this document carefully since it may contain deadlines for corrective actions, civil penalties, cease and desist orders or other actions that may require your immediate attention to avoid future board actions.

Sincerely,



Camille Mojar
Board Administrator

Enclosure(s)

Certified Mail

7017 2400 0000 9205 7172

cc:

Jared Ebert
Wally Erickson
John Roberts
Jeff Fugate
Scott Schultz
Charles Kooyman
Steven Fox, Esq.



**BEFORE THE MINED LAND RECLAMATION BOARD
STATE OF COLORADO**

Notice of Violation No. MV-2015-003, and MV-2018-008

FINDINGS OF FACT, CONCLUSIONS OF LAW, AND ORDER

IN THE MATTER OF A POSSIBLE VIOLATIONS BY AGGREGATE INDUSTRIES – WCR, INC., CORRECTIVE ACTIONS, AND CIVIL PENALTIES FOR FAILING TO SUBMIT REQUIRED WATER MONITORING REPORT DATA, FAILING TO MITIGATE DISTURBANCE TO THE PREVAILING HYDROLOGIC BALANCE IN THE SURROUNDING AREA, FAILING TO PROTECT AREAS OUTSIDE OF THE AFFECTED LAND FROM DAMAGE, AND FOR FAILING TO COMPLY WITH THE CONDITIONS OF AN ORDER, File No. M-2004-031

THIS MATTER came before the Mined Land Reclamation Board (“Board”) on March 22, 2017 in Denver, Colorado to consider possible violations by Aggregate Industries – WCR, Inc. (“Operator”), corrective action, and civil penalties for failing to submit the required water monitoring report data in violation of a permit condition, failing to mitigate the disturbance to the prevailing hydrologic balance in the surrounding area, failing to protect areas outside of the affected land from damage, and for failing to comply with the conditions of an order, File No. M-2004-031. Jared Ebert, Tony Waldron, Wally Erickson, and First Assistant Attorney General Jeff Fugate appeared on behalf of the Division of Reclamation, Mining and Safety (“Division”). Joel Bolduc; Tom Hesemann, RG; and Steven Fox, Esq. appeared on behalf of the Operator.

The Board, having considered the parties’ presentations, testimony, and the administrative record, and being otherwise fully informed of the facts in the matter, enters the following:

FINDINGS OF FACT

1. The Operator holds a 112c reclamation permit for an 203,9-acre sand and gravel site located in Section 9, Township 2 South, Range 67 West, 6th Principal Meridian in Adams County, Colorado, permit number M-2004-031. The site, known as the Hazeltine Mine, is located approximately three miles south of Henderson, Colorado.

2. In an order dated April 15, 2015 (the “Order”), the Board found Operator in violation of section 34-32.5-116(4)(h) for failing to minimize the disturbance to the prevailing hydrologic balance in the area surrounding the permitted area. Specifically, the Operator had failed to minimize the disturbance of groundwater mounding, which

was causing flooding of adjacent property owned by Fred Orr. In the Order, the Board imposed two corrective actions:

- a. Submit a Temporary Groundwater Mounding Mitigation Plan ("Temporary Plan") to the Division within thirty (30) days of the effective date of this Order. The Temporary Plan shall be submitted in an approvable form as a Technical Revision. Implementation of that Temporary Plan shall commence within five (5) days of Division's approval of the Technical Revision.
 - b. Submit a Permanent Groundwater Mounding Mitigation Plan ("Permanent Plan") to the Division no later than ninety (90) days after the effective date of this Order. The Permanent Plan shall be submitted in an approvable form, as either a Technical Revision or a permit Amendment. Implementation of that Permanent Plan shall commence within thirty (30) days of Division approval.
3. The Board also imposed a civil penalty of \$108,750, with all but \$10,000 suspended if Operator complied with the corrective actions within the required time frames.
 4. On May 21, 2015, Operator submitted Technical Revision No. 4, which contained the proposed Temporary Plan and water level monitoring plan to verify the effectiveness of the mitigation plan. This plan included a water monitoring regimen which required placement of three monitoring wells (HZMW-2, 11a and 11b) and staff gauges for monitoring water levels.
 5. The Division approved Operator's Technical Revision No. 4 on June 15, 2015, and confirmed that the Temporary Plan had been implemented on August 19, 2015.
 6. On December 30, 2015, Operator filed Amendment No. 1 containing a permanent plan that was intended to alleviate the flooding on the Orr property by, among other things, installing a permanent drain ("Orr Drain") to address groundwater mounding and the continued use of staff gauges and use of several monitoring wells, including HZMW-2, 11a and 11b.
 7. The Board approved Amendment No. 1 over public objections on November 16, 2016.
 8. On November 23, 2016, Operator began construction of the Orr Drain. The Orr Drain was not completed until September 22, 2017.

9. On September 29, 2017, the Division received a written complaint from Fred Orr asserting that Operator had not completed the mitigation plan in a timely fashion and that groundwater elevations had not significantly changed.

10. The Division conducted an inspection of the Hazeltine Mine and observed the Complainant Property on November 8, 2017. Mike Refer and Connie Davis attended the inspection on behalf of the Operator. During the inspection, the Division found that the Orr property was still flooded, the Orr Drain was closed, and groundwater mounding mitigation measures were not being implemented. The Division also found that the water monitoring data required for the site was incomplete or missing for the 2017 monitoring year. These two issues were cited as problems in the inspection report. The inspection report was signed on December 22, 2017.

11. As part of the inspection report, the Division imposed corrective actions on Operator, including:

- a. Operator must submit the incomplete or missing results of the water monitoring for the 2017 monitoring year by December 29, 2017;
- b. Operator must take immediate action to sufficiently dry the surface of the Orr property, and submit a Technical Revision to the Permanent Plan so the mitigation measures to be taken for the Orr property will function year round with little maintenance by January 31, 2018.

12. On January 9, 2018, the Operator responded to the Division's corrective action regarding missing or incomplete water monitoring results, stating that no additional data was available. The Operator indicated that monitoring well HZMW-2 was inaccessible and that gauge SG-2 was removed to accommodate construction of the Orr Drain after December 12, 2016 and was reinstalled for continued monitoring that resumed in August 2017.

13. The Division conducted a follow-up inspection on February 1, 2018. Connie Davis was present on behalf of the Operator. The inspection report was signed on February 16, 2018. During that inspection, the Division determined that the Orr property was still flooded and groundwater mounding mitigation measures were not being implemented. The Division cited possible violations for failure to submit the required water monitoring report data, failure to comply with the condition of a reclamation permit, failure to mitigate the disturbance to the prevailing hydrologic balance in the surrounding area, failure to protect areas outside of the affected land from damage, and for failure to comply with the conditions of an order.

14. On February 16, 2018, the Division sent Operator a Reason to Believe a Violation Exists and Notice of Board Hearing notice, informing Operator of the alleged violations and that the matter had been set for a hearing before the Board at its March 21 and 22, 2018 meeting.

15. Operator informed the Division on March 8, 2018 that the Orr Drain had been opened on February 16, 2018 and was discharging water into the pit from the Orr property.

16. At the hearing, the Operator provided updated photographs of the Orr Drain and property after the Orr Drain had been opened. The photographs demonstrated that the drain had significantly reduced the flooding on the Orr property. The Operator also submitted updated groundwater monitoring data showing a decrease in groundwater levels after the Orr Drain had been opened.

17. The Operator testified at the hearing they had not kept the Orr Drain open year-round because they had not been attempting to control surface flows, most of which came from the Fulton Ditch discharging water into the Bull Seep during the winter. The Operator testified that they had focused on controlling groundwater mounding in the past. The Operator represented that, going forward, they would keep the Orr Drain open year-round, which would deal with both surface flows and groundwater mounding issues.

18. The Operator also testified that groundwater monitoring data from well HZMW-2 had been unavailable because the well was inaccessible due to high water levels. The Operator represented that keeping the Orr Drain open year-round would eliminate the accessibility issue for well HZMW-2.

19. The Division testified that Operator had recently been cooperative in resolving the issues raised in its inspections of the site.

CONCLUSIONS OF LAW

20. The Board has jurisdiction over this matter pursuant to the Colorado Land Reclamation Act for the Extraction of Construction Materials, Article 32.5 of Title 34, C.R.S. (2017) ("Act").

21. Operator was required to monitor groundwater under its permit. Under Rule 3.1.7(7), operators who are obligated to conduct groundwater monitoring must report those results to the Division. The Operator's approved permit application requires monitoring of specific points and reporting the results of the monitoring with the annual report. The Operator has failed to conduct the

required monitoring at points HZMW-2 and SG-2 and failed to report the results of monitoring of these devices in their annual report.

22. By failing to monitor groundwater and submit reports as required, Operator is in violation of condition 1 of the permit.

23. Under section 34-32.5-116(4)(h), C.R.S., operators are required to minimize the disturbance to the prevailing hydrologic balance in the surrounding area. The Operator failed to minimize the disturbance of ground water mounding to the prevailing hydrologic balance in the surrounding area caused by the Operator's actions, in violation of section 34-32.5-116(4)(h), C.R.S.

24. By violating section 34-32.5-116(4)(h), C.R.S., the Operator is in violation of condition 1 of the permit, which requires the Operator to comply with all applicable requirements of the Act.

25. Under section 35-32.5-116(i), C.R.S., operators are required to protect areas outside of the affected land from slides or damage occurring during the mining operation and reclamation. The Operator caused flooding on adjacent property, damaging it in violation of section 35-32.5-116(i), C.R.S.

26. By violating 35-32.5-116(i), C.R.S., the Operator is in violation of condition 1 of the permit, which requires the Operator to comply with all applicable requirements of the Act.

27. The Board's April 15, 2015 Order required the Operator to submit and implement plans to mitigate groundwater mounding found to be causing flooding on the Orr property. The Operator failed to implement those plans and therefore did not comply with the April 15, 2015 Order.

28. Pursuant to section 34-32.5-124(7), C.R.S. the Board may impose a civil penalty of not less than \$100 per day nor more than \$1,000 per day for each day during which a permit violation occurs. The Board may impose a civil penalty against the Operator based on forty-eight (48) days of violation (from the February 1, 2018 inspection to the March 22, 2018 Board meeting) at \$100 to \$1,000 per day for a civil penalty of \$4,800 to \$48,000.

29. Regarding Violation No. MV-2015-003, the Board's April 15, 2015 Order assessed a civil penalty of \$108,750.00 with all but \$10,000.00 suspended if the Operator complied with the corrective actions in the time specified. The Operator failed to implement the mitigation plans required by the April 15, 2015 Order. Therefore the previously suspended portion of the civil penalty, \$98,750.00, is due immediately.

ORDER

Based on the foregoing findings of fact and conclusions of law, the Board finds the Operator in violation of the permit for failing to conduct and report groundwater monitoring as required under Rule 3.1.7(7) and the permit application. (MV-2018-008)

The Board also finds the Operator in violation of section 34-32.5-116(4)(h), C.R.S. for failing to minimize the disturbance to the prevailing hydrologic balance in the surrounding area and section 34-32.5-116(4)(i) for failing to protect adjacent land from damage occurring during the mining operation. (MV-2018-008)

The Board also finds the Operator in violation of the Board's April 15, 2015 Order for failing to comply with the corrective actions by not implementing the groundwater mitigation plans required under that order. (MV-2015-003)

The Board imposes the following **CORRECTIVE ACTION** against the Operator:

A. Within 60 days of the effective date of the Board's order, the Operator shall locate and rehabilitate the required monitoring wells or devise and provide documentation to the Division this has been completed.

B. The Operator shall initiate and comply with the approved groundwater monitoring plan beginning with the second quarter of 2018. The Operator shall submit the results of groundwater monitoring to the Division quarterly and in total for the monitoring year with their annual report due on the anniversary date of the permit, due each year on September 27.

C. Within 60 days of the effective date of the Board's order, the Operator shall submit a Technical Revision (with notice to Fred Orr) or an Amendment to the permit to revise the Permanent Plan for the Orr property to ensure mitigation measures for the Orr property will function year round with little maintenance. Approval of such revision shall be required within the statutory time frames. Implementation of the revised Permanent Plan shall be required within thirty (30) days of approval. During the interim, the Operator shall be required to keep the Orr property sufficiently drained.

The Board imposes a **CIVIL PENALTY** for forty-eight (48) days of violation at \$1,000.00 per day for a total civil penalty of \$48,000.00. All but \$10,000 of the civil

penalty is suspended if the Operator complies with the corrective actions in the time specified. The portion of the civil penalty not suspended, \$10,000, shall be due and payable within thirty (30) days of the effective date of this Order. If the Operator does not timely comply with the corrective actions set forth in this Order, then the suspended penalties, \$38,000, shall be due and payable in full within thirty (30) days of the deadline for completion of the corrective action.

Because the operator failed to comply with the requirements of the Board's April 15, 2015 Order for Violation Number MV-2015-003, the previously suspended civil penalty of \$98,750.00 is due. All but \$25,000 of that civil penalty is suspended if the Operator complies with the corrective actions required by this Order in the time specified. The portion of the civil penalty not suspended for Violation Number MV-2015-003, \$25,000, shall be due and payable within thirty (30) days of the effective date of this Order.

Failure to timely submit any due and unpaid civil penalties shall result in immediate submittal of such penalties to State collections.

DONE AND ORDERED this 19th day of May 2018.

FOR THE COLORADO MINED LAND
RECLAMATION BOARD



Forrest Luke, Chair

NOTICE OF JUDICIAL REVIEW RIGHTS

This order becomes effective and final upon mailing. Any party adversely affected or aggrieved by agency action may commence an action for judicial review by filing a complaint with the district court within thirty-five (35) days after the effective date of this order, pursuant to section 24-4-106, C.R.S. (2017) and the Colorado Rules of Civil Procedure. In the event that a complaint for judicial review is filed, designations of record made in accordance with section 24-4-106(6), C.R.S. should be served on the Board at: 1313 Sherman Street, Room 215, Denver, CO 80203, Attention: Camie Mojar.

CERTIFICATE OF SERVICE

This is to certify that I have duly served the within FINDINGS OF FACT, CONCLUSIONS OF LAW, AND ORDER upon all parties herein by depositing copies of same in the United States mail, first-class postage prepaid, at Denver, Colorado, this 14th day of May 2018 addressed as follows:

By certified mail to:
7017 2400 0000 9205 7172

Aggregate Industries – WCR, Inc.
1687 Cole Boulevard, Suite 300
Golden, Colorado 80401

Steven Fox, Esq.
Fowler, Schimberg & Flanagan, P.C.
1640 Grant Street
Denver, CO 80203

By electronic mail to:

Jared Ebert
Division of Reclamation, Mining & Safety
1313 Sherman Street, Room 215
Denver, CO 80203

Wally Erickson
Division of Reclamation, Mining & Safety
1313 Sherman Street, Room 215
Denver, CO 80203

Charles J. Kooyman
Assistant Attorney General
Department of Law
Business and Licensing Section
Ralph L. Carr Colorado Judicial Center
1300 Broadway, 8th floor
Denver, CO 80203

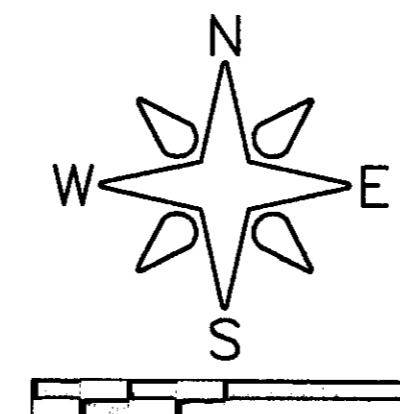
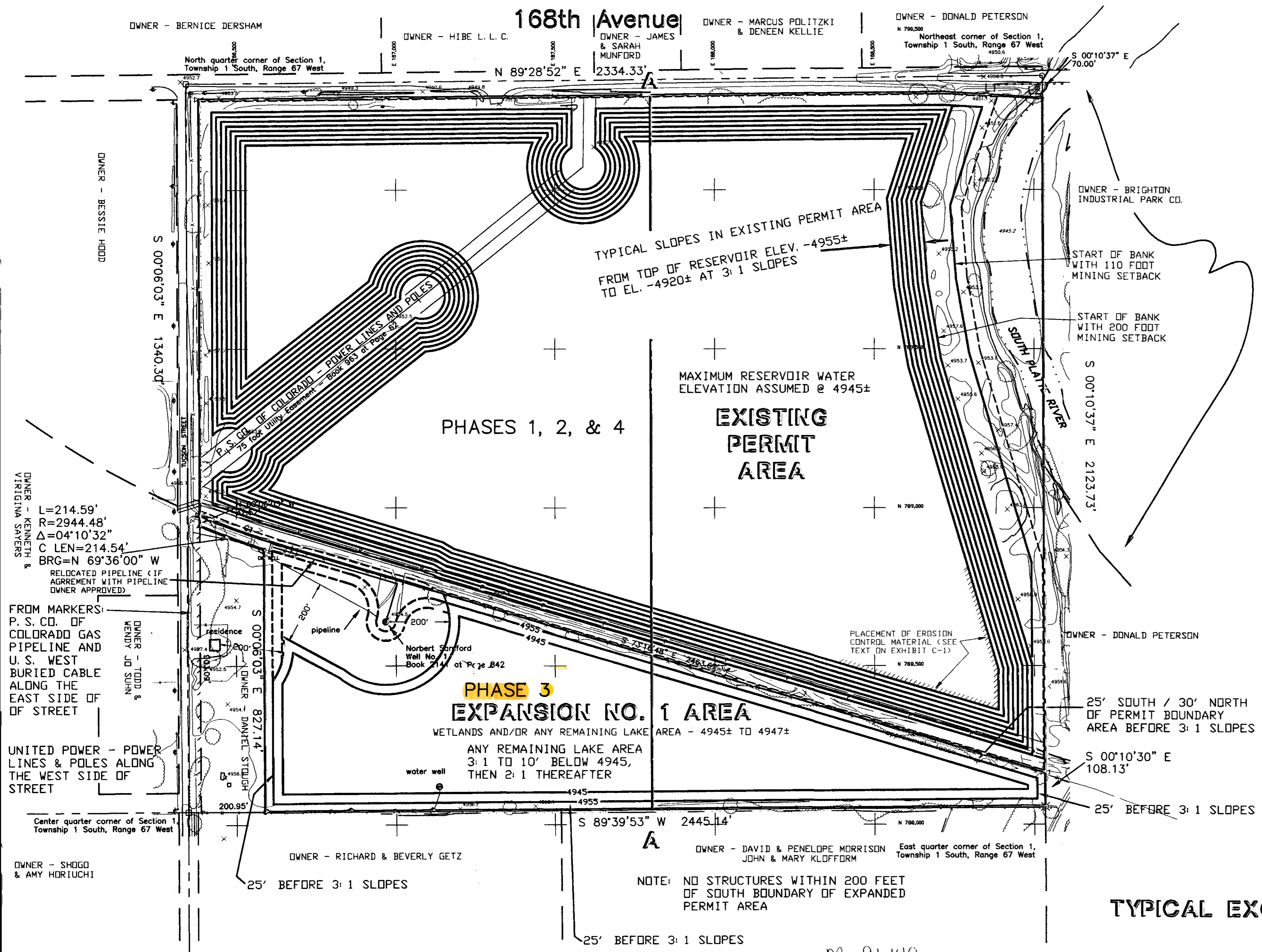
Jeff Fugate
First Assistant Attorney General
Department of Law
Resource Conservation Section
Ralph L. Carr Colorado Judicial Center
1300 Broadway, 8th floor
Denver, CO 80203

Scott Schultz
First Assistant Attorney General
Department of Law
Resource Conservation Section
Ralph L. Carr Colorado Judicial Center
1300 Broadway, 8th floor
Denver, CO 80203



Camille Mojar, Board Administrator

EXHIBIT F-1 RECLAMATION PLAN MAP TUCSON RESOURCE PIT WITH EXPANSION NO. 1 (STOUGH PROPERTY)



SCALE: 1"=200'
LEGEND

- LEGEND**
- Denotes found 3.5" Aluminum cap by PLS #16837 in range box as per recorded ties.
 - Denotes found illegible alloy cap on rebar.
 - ◇ Denotes found 3.5" Aluminum cap by PLS #25937 in range box as per recorded ties.
 - Denotes set plastic cap on 18" #5 rebar.
 - ◇ Denotes found rebar & cap by PLS #12330.
 - ⊕ Denotes found rebar and alloy cap by PLS #16837.
 - Denotes overhead electrical line.
 - ⊙ Denotes well.
 - ⊗ Denotes found 2" Aluminum cap by PLS #25937 as per record ties.
 - ▽ Denotes found rebar & cap by PLS #24657.
 - 92.5' — Denotes record dimension.
 - 4945 — DENOTES: PROPOSED CONTOUR (3:1 SLOPES)
 - - - - DENOTES: PROPOSED CONTOUR (3:1 SLOPES) IF MINING OCCURS WITHIN 200 FEET OF VARIOUS STRUCTURES WITH AGREEMENT OF STRUCTURE OWNERS

AFTERUSE AREAS:

27.42 acres - Wetlands with un-mined setback areas and potential remaining lake area.

105.15 acres - Water Storage Reservoir enclosed by a slurry wall with unmined setback areas and open space along the S. Platte River. Any slurry wall failure shall be repaired prior to or with final reclamation.

PHASE AREAS:

Phase 1 - 50± acres. Area of the Existing Permit area where mining has been substantially completed, and is part of future reservoir area. Area will be mostly within the slurry wall, but includes S. Platte River channel area outside slurry wall.

Phase 2 - 15± acres. Area presently being mined, and is part of the future reservoir area. Area will mostly be enclosed within slurry wall.

Phase 3 - 27± acres. Area of future wetlands that will not be within the slurry wall.

Phase 4 - 40± acres. Area that includes the present plant location in the center of the property, and is part of the future reservoir. Area will mostly be enclosed within the slurry wall.

NOTE: See EXHIBIT E-1 RECLAMATION PLAN for more details on Reclamation Plan requirements.

REVEGETATION:

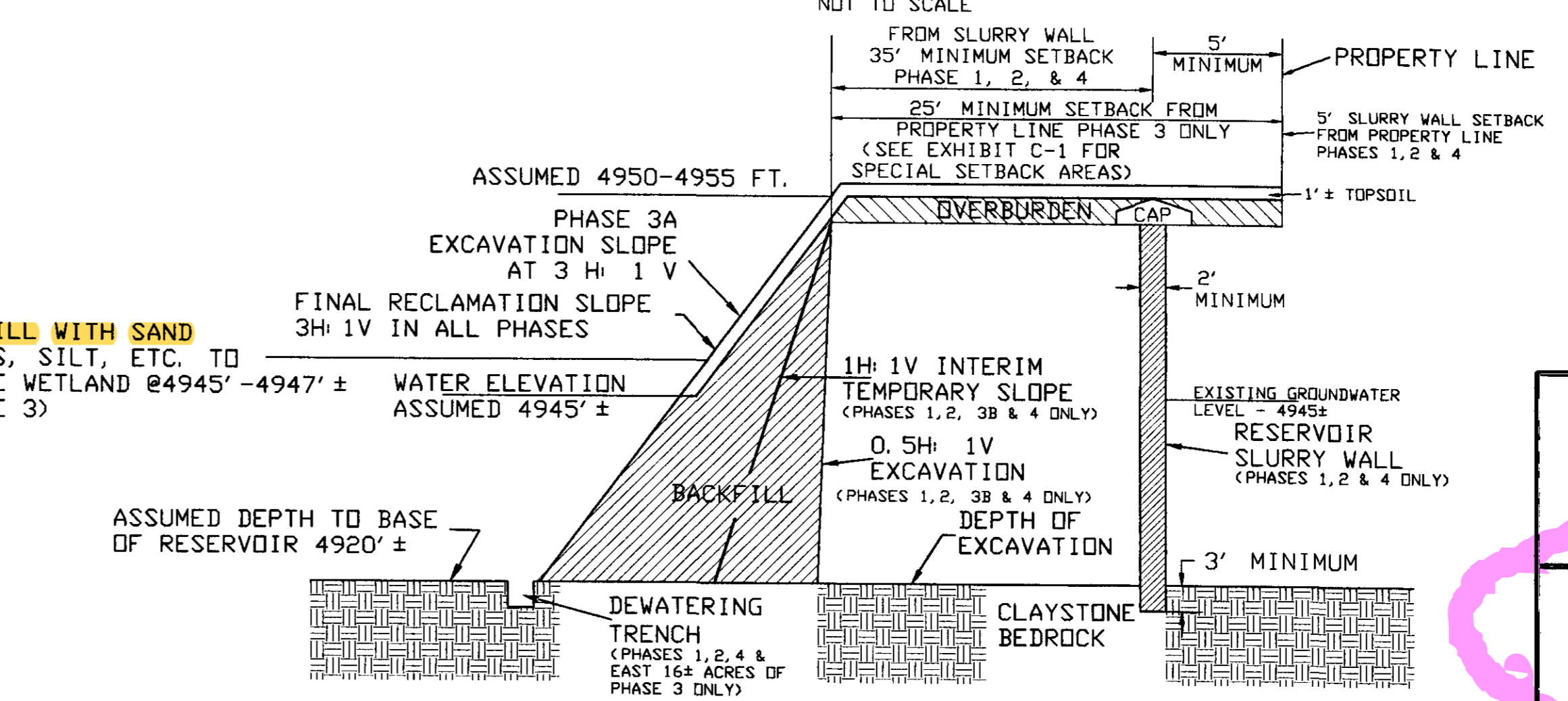
All final slopes shall be a maximum steepness of 3H:1V. A minimum of 1"± of topsoil shall be placed on all slopes and any other disturbed and reconstructed areas above the proposed high water level of the future reservoir and above the existing water levels in the future wetlands area. Vegetation shall be as follows:

- A minimum of 150 cottonwood seedling trees and 300 willow root stock shall be planted around the reservoir area, of which 2/3's of these shall be placed the S. Platte River channel area.
- A minimum of 25 cottonwood seedling trees and 50 willow root stock shall be planted around the proposed wetland area of Phase 3.
- The grass seed mix below shall be used for re-seeding of slopes and disturbed areas, except in those areas designated for wetland vegetation in Phase 3.
- Phase 3 shall be planted with herbaceous plants, large & small shrubs and wetland grasses. An example of the type of species that may be utilized is as follows. Broadcast seed applicant rates and use of other similar species shall require consultation with Colorado State University Cooperative Extension or other qualified personnel.

SPECIES	VARIETY	PLS#	%	PLS#/AC
Western wheatgrass	'Arriba' or 'Barton'	8.0	40	3.2
Switchgrass	'Blackwell' or 'Grenville'	2.5	20	0.5
Blue grama	'Hachita' or 'Livingston'	1.5	10	0.2
Big bluestem	'Karl'	5.5	15	0.8
Yellow indiangrass	'Llano'	5.0	15	0.8

TYPE	COMMON NAME	SCIENTIFIC NAME
Shrubs	Peachleaf willow	Populus sargentii
Shrubs	Sandbar willow	Salix exigua
Sedges and Rushes	Water sedge	Carex acuticollis
Sedges and Rushes	Nebraska sedge	Carex nebrascensis
Sedges and Rushes	Spike sedge	Eleocharis palustris
Sedges and Rushes	Torrey rush	Juncus torreyi
Grasses	Canada reedgrass	Calamagrostis expansa
Grasses	Fowl mannagrass	Glyceria striata
Emergents	Alkali bulrush	Scirpus paludosus
Emergents	Soft stem bulrush	Shoeneoplectus validus

TYPICAL EXCAVATION AND RECLAMATION PLAN SECTION



Prepared under the direction of:
Robert N. Fleming
Date: 7/24/01

RECEIVED
SEP 17 2001
Division of Minerals and Geology

EPP & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
433 4th Avenue West
P.O. Box 837
Craig, CO 81625
Phone (970) 824-8236
Fax (970) 824-5227

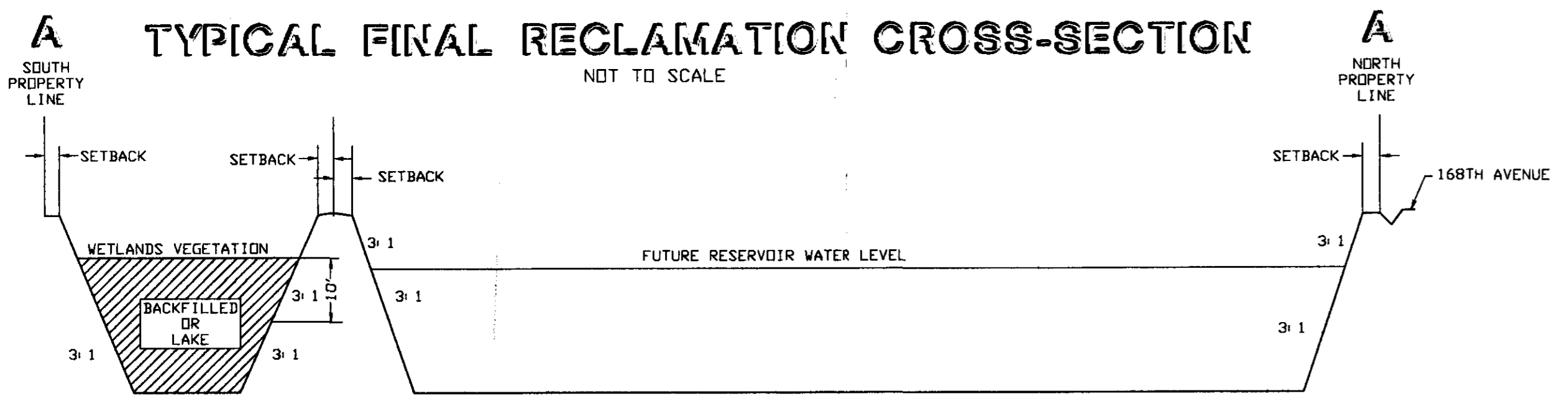
Aggregate Industries - WCR, Inc.
Tucson Pit
Permit Boundary

SURVEY NOTES:

THE BOUNDARY, IMPROVEMENTS AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM EPP & ASSOCIATES, INC., DRAWING NO. 99.104-12, DATED SEPTEMBER 20, 1999.

ALL OTHER NOTES AND OWNERSHIP DATA SHOWN HEREON IS FROM ADCO CONSULTANTS, INC.

Permit Number: *M-91140*
Class: *Am. 1. Acknowledgment*
Type: *Reclamation*
Date: *04/23/01*
Class: *D Report D Hydro D General*
Doc. Type: *Application (Coal only) D Bond D Enforcement D Inspection*



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	2914.93'	305.95'	305.81'	N 70°16'26" W	06°00'50"



March 2, 2021

Adams County Board of County Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

RE: Conditional Use Permit # EXG2020-00001 – Aggregate Industries WCR, Inc.

Dear Adams County Board of County Commissioners:

Colliers International is a commercial real estate brokerage and property management company with offices located in Downtown Denver and the Denver Tech Center. We are a leader in multi-family, retail, commercial, office and industrial property sales and leasing along the Front Range. Colliers has 27 brokers and advisors who are active in the brokerage of commercial real estate transactions. Over the past 55 years, we have worked on a wide range of commercial real estate projects that have assisted in creating attractive commercial and industrial assets plus the infrastructure that support growth throughout Denver, including Adams County.

My specialization as a real estate professional for the past 40 years has been in the area of industrial real estate brokerage which includes land and building sales to investors, developers, manufacturers and distribution companies as well as the leasing of industrial buildings. Much of my industrial sales and leasing activity has been focused in Adams County along Interstate 70 and in the DIA area. Major transactions over the past decade in Adams County included new state of the art distribution facilities for Best Buy, KeHe and Niagara Water as well as the new Costco Distribution Center that is under construction near DIA which will open this year. In the Brighton area, approximately 15 years ago I leased and subsequently sold the 300,000 SF Staples Distribution Center near Interstate 76 and Bromley Lane. At that time, the Staples Distribution Center was one of only a few major industrial developments along I-76 in the Brighton area. However, over the past 5 years or so, we have seen unprecedented growth in new industrial development along the I-76 (from I-25 to Hudson) and E-470 (from I-76 to I-25) corridors. Tens of millions of square feet of new development has either already taken place, is under construction or in the planning stages along these corridors.

This industrial development has numerous benefits to the residents of Brighton and unincorporated Adams County. Thousands of good paying jobs either have or will be created to construct, staff and maintain these facilities. Additionally, current and proposed industrial development will add tens of millions of tax dollars on an annual basis to Adams County that will fund schools, parks, recreation facilities, infrastructure projects as well as emergency, fire and police protection.

The key to the I-76 and C-470 corridors remaining a competitive and desirable place to develop high quality industrial projects are the desirable workforce, responsive county/municipal governments and reasonable construction costs. Aggregate is the key building material that goes into industrial development including the floors, walls, truck courts, parking areas and sidewalks. Without an abundant and readily available source of aggregate, continued industrial development in the I-76 and E-470 corridors will become less desirable as well as less cost effective, which will potentially drive development and the accompanied jobs and property tax revenue to other locations along the Front Range.

On March 9, you will consider Aggregate Industries conditional use permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We applied the real estate expertise of our organization in reviewing this application and believe it represents a responsible approach to the use of


land in a floodplain/floodway, especially with the features and community benefits the applicant has added, it will be an important temporary use that permanently leaves behind extensive, mature landscaping, public open space and water security for Adams County residents. The two-thirds of a mile of landscaping along Highway 7, which the City of Brighton strongly supports, is unparalleled in developments in the county or the region. These amenities are the direct result of Aggregate Industries' ability to remove the sand and gravel, which the county has planned and provided for, through its zoning and previous permits. We know, even with the required signage the applicant has displayed to indicate that a future mine is planned, there may be opposition to such permits, but the proposal exceeds the criteria you must measure it against for any project of its kind for compatibility.

In summary, in order to facilitate quality development, real estate professionals know (or should know) the importance of the integral connection of sand and gravel to safe, green growth and development. The Tucson South project would ensure that a local source of aggregates will be available to our clients as they partner with decision makers in Adams County to plan, approve and develop projects. The location and proximity of building materials makes a difference to whether a project is economically viable.

Colliers acknowledges that Adams County has many economic development priorities that you are advancing near Denver International Airport, the Colorado Air and Space Port and the projects contemplated through the approval of the 1A and 1B ballot measures in November 2020. We believe that this permit merits your approval.

Sincerely,

COLLIERS INTERNATIONAL

A handwritten signature in black ink, appearing to read "Thomas B. Stahl".

Thomas B. Stahl, SIOR
Principal

Cowley Companies

1242 East Jackson Street
Phoenix AZ 85034
Phone 602.385.4200
Fax 602.385.4210

March 4, 2020

Adams County Board of Commissioners
4430 Adams County Parkway
Brighton, CO 80601

Dear Adams County Commissioners,

I represent the Cowley Companies, which owns approximately 4,000 acres in Adams County and Commerce City. I also sit on the Adams County Regional Economic Partnership Executive Committee and our company is proud to support and champion the incredible opportunities within Adams County. The Adams County community is growing quickly. This growth is helping to meet the needs for a strong and diverse economy, job opportunities for all and a healthy supply of housing for both current and future residents. We value our incredible partnership with Adams County and stand ready to help address the challenges that come with this kind of growth.

With that background, we understand that Aggregate Industries' land use application is coming before you this week for a gravel mine that will ultimately serve as a permanent municipal water storage facility. I believe this is a carefully planned and thoughtful application. With growth, the need to source reliable and affordable aggregate material is paramount. Like many other projects in the region, both public and private, we will need to acquire significant amounts of aggregate to develop the necessary infrastructure for our communities. We have studied the details of Aggregate Industries' application and find that this facility has been well designed and that the impacts of mining have been significantly reduced through the use of a conveyor system. We have also reviewed the details of the design for the water storage facility and find that this has been well thought out to create an important public resource that also is compatible and harmonious with its surroundings.

We commend the City of Aurora, the City of Brighton, and Adams County for finding collaborative solutions to prepare for the growth of our region.

Sincerely,



Rory Blakemore
Cowley Companies



B. Michl Lloyd
12202 East 168th Avenue, Brighton, CO 80602

March 4, 2021

Adams County Commisioners and Mr. Greg Barnes - Ehenry@adcogov.org,
Ctedesco@adcogov.org, Epinter@adcogov.org, Sodorisio@adcogov.org, Lbaca@adcogov.org,
Gjbarns@adcogov.org

RE: Comments on Aggregate Industries' ("AI") Application for Conditional Use Permit ("CUP")
Case Number EXG2020-00001 - "Tucson South"

Dear Ladies and Gentlemen:

I am a resident of Adams County and have lived on an 18 acre property adjacent to a portion of AI's proposed "Tucson South" project for over 21 years.

In November 2019 you the commissioners bravely took a unanimous stand against AI's Tucson South project and those commissioners present voted not to issue a CUP. However AI is back for approval again at the March 9, 2021 commission meeting and they are claiming that there are substantive changes from what was presented and rejected last year. I truly hope you are able to clearly see through the smoke and mirrors and recognize this is substantially the same as the final proposal last year and once again vote NO on issuing a CUP for this project.

My opposition to this project has been expressed in 7 comment letters in 2019 and 2020 and numerous comment letters prior to the 2004 original approval of the previously expired CUP for this project. Also please be aware that the vast majority of current comments opposing this project are from Brighton residents and businesses that will be directly affected by this project while the vast majority of comments in support of the project are from AI employees or suppliers who do not live here.

The only ones that significantly benefit from this project are AI and Aurora ---- NOT BRIGHTON or Adams County. This proposal is not the highest and best use of this land and lacks the effect of increasing property values which would result in increased tax revenue for the County. In reality it will have the opposite effect!

I firmly believe this proposal does not meet the County's requirements for a CUP because it is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area. There is no way to negate all of these effects through conditions of approval - **especially conditions of approval that have no substantial consequences to AI if not met.**

Yes there is mineral at the proposed site – but there is abundant mineral in much more compatible locations than Brighton's front door!

I am not going to waste your valuable time repeating what I have previously commented on; however, one issue I raised has not had an adequate response – the issue of additional slurry walls restricting ground water flows into the Platte River and resulting in raising the ground water levels and causing substantial damage to properties in the area and two new issues I have not previously commented on. These issues are as follows:

- SLURRY WALL(S) - Slurry walls extend from ground surface to the depth of bed rock and are intended to prevent ground water from entering or exiting the area they are designed to protect. I have not received a response to my question regarding the impact to ground water movement when the proposed additional slurry walls will result in an almost solid barrier to ground water movement to the river for the distance between RT7 and Weld County Rd 6 (several miles). Ground water is already high in this area and additional slurry walls will result in causing numerous issues and damage with flow of ground water which otherwise now goes into the river. I am talking about more than just wells – its septic systems being destroyed, flooded basements, foundations being damaged, etc. with no equitable remedies for property owners.

It is clear that changing ground water levels are causing and will cause this damage however no one wants to accept responsibility for actions which cause it. Sadly, responsibility for fixing the damage is being put on citizens who had nothing to do with causing it. I am aware of more than one response by Aurora, AI, and even Adams County to responsibility for damages of “this is a civil matter and not our responsibility” and/or “sue us” when they well know individuals do not have \$100,000 to \$200,000 or more to spend on litigation. Responsibility for damage has to be clearly defined in the Conditions if this CUP is approved.

- AURORA'S LEAKING CHALLENGER PIT – Some time ago Aurora purchased the Challenger pit which is in Adams County between the north border of the proposed Tucson South project and 168th Avenue. The pit was not properly lined or slurry walled and accordingly has been allowing a substantial volume of ground water to leak into the pit (for quite some time). Therefore ground water is impounded in the pit and has not been released.

Colorado law does not allow ground water to be impounded without being released in a relatively short period of time. Aurora has been in violation of this law for quite some time. Not only will Aurora have to remove such existing and future water they will have to fix the lining of the pit. Aurora also has similar issues with ground water in 2 additional pits just north of 168th Ave.

Fixing this situation will negatively impact ground water flows and result in also raising ground water levels. Why approve another pit(s) without requiring an adjacent existing pit to be fixed and determining the effect of such fix?

- UNITED STATES ARMY CORPS OF ENGINEERS – The U S Army Corps of Engineers (“USACE”) has jurisdiction over matters concerning the Platte River. In their state permit AI has not provided any material re discussions with or permissions from the USACE. I am aware that residents of the area are in the process of contacting the USACE to inform them of what is being proposed and to find out if they have a problem with additional slurry walls restricting ground water flow into the river or any other issues. The USACE has the power to shut down this proposed mine if they determine there is sufficient negative effect on the Platte River. Why approve a CUP if input from this source at a later date could stop or substantially alter the proposal? This matter should have been addressed prior to a request for a CUP ever being brought before the Commission.

I have read the Staff's Conditions Precedent and Conditions contained in their February 11, 2021 report (the latest I could find). Many of the conditions do not contain anything that would cause AI to comply with them. For example there is no stated consequence to AI for not completing the project by March 9, 2030. Completion is not bonded (the reclamation bond is not a completion bond) and we the citizens could be left with an eyesore of a half completed giant hole in the ground. If for some reason you were to approve this application, consequences for non compliance HAVE to be added to the conditions.

In conclusion:

Citizens of the area are in no way responsible for AI's profitability or their failure to act on the project for over 17 years. The area in question is not part of Aurora nor is it in close proximity to Aurora. I realize part of Aurora is in Adams County, however Aurora does not have the right to impose on citizens outside of their jurisdiction and those of us that are not citizens of Aurora should not have to bear the responsibility and suffer the consequences of providing the area to store water that in no way benefits us.

If history is any indication, I would caution the Commissioners that if this proposed project is approved, it is likely to turn into a community eyesore, headache and nightmare for much longer than the proposed 9 + years.

Do the right thing for the citizens most affected by this proposal and vote NO on issuing a CUP for this project.

Thank you for your consideration,

B. Michl Lloyd

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

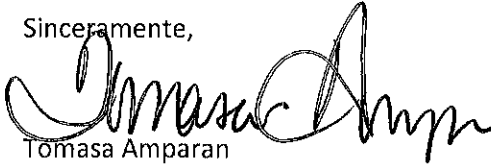
Estimado condado de Adams,

He vivido en el condado de Adams durante 34 años. También trabajo como #12 Coordinator en el condado de Adams. Le escribo para pedirle que apoye el permiso propuesto para el Proyecto Minero de Tucson, área de Minería de Grava.

Este proyecto es importante para personas como yo y para los trabajos que hacemos. La grava es un recurso valioso que se utiliza en la construcción de carreteras e infraestructura y es importante para nuestra comunidad.

Le pido que vote sí sobre el permiso propuesto.

Sinceramente,



Tomasa Amparan
9854 Cook Street
Thornton, CO 80229

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

Estimado condado de Adams,

He vivido en el condado de Adams durante ___ años. También trabajo como _____ en el condado de Adams. Le escribo para pedirle que apoye el permiso propuesto para el Proyecto Minero de Tucson, área de Minería de Grava.

Este proyecto es importante para personas como yo y para los trabajos que hacemos. La grava es un recurso valioso que se utiliza en la construcción de carreteras e infraestructura y es importante para nuestra comunidad.

Le pido que vote sí sobre el permiso propuesto.

Sinceramente,

Lorenzo Betancourt Rios
6672 E 69th Ave.
Commerce City, CO 80022

Lorenzo Betancourt Rios

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

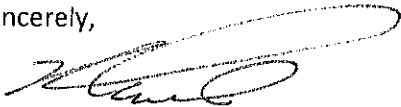
Dear Adams County,

I am writing in support of the Tucson South Mining Project. As a lifelong resident of Adams County, my family and I fully support the mining of this gravel pit.

This is a project that will benefit the community long term. We will get a beautiful reservoir with trails and a natural habitat that we will be able to enjoy for generations. Creating outdoor spaces for people to enjoy is important to our county's future.

I have lived in Adams County my whole life. I am an active community member. I am asking you to vote yes on the proposed permit for this project.

Sincerely,

A handwritten signature in black ink, appearing to read "Philip Breedlove", with a large, sweeping flourish above the name.

Philip Breedlove
Address: 683 Millet Circle
Brighton, CO 80601

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Carl Buckland
CARL BUCKLAND

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Artina Campbell

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

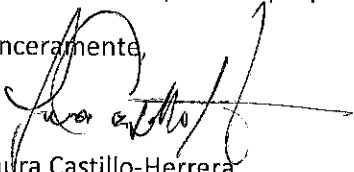
Estimado condado de Adams,

Le escribo en apoyo del Proyecto Minero de Tucson South. Como residente de toda la vida del condado de Adams, mi familia y yo apoyamos plenamente la extracción de este pozo de grava.

Este es un proyecto que beneficiará a la comunidad a largo plazo. Obtendremos una hermosa reserva con senderos y un hábitat natural que podremos disfrutar por generaciones. Crear espacios al aire libre para que la gente disfrute es importante para el futuro de nuestro condado.

He vivido en el condado de Adams toda mi vida. Soy un miembro activo de la comunidad. Le pido que vote sí sobre el permiso propuesto para este proyecto.

Sinceramente,

A handwritten signature in black ink, appearing to read 'Laura Castillo-Herrera', with a long horizontal stroke extending to the right.

Laura Castillo-Herrera

15776 e. 69th Ave.

Commerce City, CO 80022

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Cowperthwaite Opposed 20210308
Date: Monday, March 8, 2021 11:37:54 AM

-----Original Message-----

From: James Cowperthwaite <jimcowperthwaite@gmail.com>
Sent: Monday, March 8, 2021 11:03 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Highway 7 Pit Mine Proposal

Please be cautious: This email was sent from outside Adams County

Dear Honorable Commission Members,

The Highway 7 Pit Mine proposal makes no civid planning or rezoning sense.

1. Traffic hazards when in operation;
2. Incompatible with existing residential/family farming uses; 3. Noise, air and ground water pollution; 4. Negative impact on beautiful Veterans Park and South Platte River corridor;
5. Permanent, multi-faceted damage once gravel extraction is complete and the water filled site is fenced with concertina-wire -topped -chainlink fence preventing access IN PERPETUITY.

The proposal flies in the face of established civic planning and zoning principles. Undersigned is former member of citizens planning planning and zoning commission for downtown Denver and long serving Commissioner for the Denver Urban Renewal Authority (DURA).

Thanks in advance for your thoughtful, professional public service.

Respectfully yours,

s/ James Cowperthwaite

James Cowperthwaite
15235 Willow Drive
Thornton, CO 80602
303 355 3957
<jimcowperthwaite@gmail.com>

Sent from my iPad

Sent from my iPad

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Sean M. DeFabbo
Sean M. DeFabbo
ADAMS COUNTY RESIDENT 22 YEARS

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204


Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Victor DeLaRosa
 02/18/21

JOSEPH
AND
CELESTE
O'DEA
DYNASTY
TRUST

January 8, 2021

Adams County Board of Commissioners
Adams County
4430 S. Adams County Parkway, Suite C5000A
Brighton, CO 80601

RE: Aggregate Industries Tucson South EXG2020-00001

Dear Commissioners,

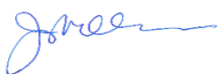
My wife and I purchased 55 acres at approximately 14900 Riverdale Road in Brighton Colorado about a year ago from Aggregate Industries. We are just north of the Thornton water storage lakes and surrounded by Platte River on 3 sides. The property was part of one of their completed mine sites, it had been partially restored and in excellent condition.

We found the Aggregate Industries employees excellent to deal with and very responsive. The property has been restored to a natural habitat and supports a variety of wildlife including all types of waterfowl, a herd of mule deer and several flocks of turkey. We plan on further developing the property to include our horses and cattle.

Prior to our purchase of the property, Aggregate Industries worked with several municipalities to include easements on the property for public improvements. A few examples are allowing Metro Wastewater to locate a main feed to their water treatment plant as well as including an easement for Urban Drainage to include a multi-use path along the South Platte Riverbank for public access. All these improvements benefited the general public.

In closing, I would not hesitate to work with Aggregate Industries on any property as their commitment to natural restoration and being a good corporate partner is consistently reinforced by their actions.

Sincerely,



Joseph M. O'Dea
Trustee

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



HENDERSON, CO 8640

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam
Adams County

Reason for writing:

- I am writing to ask you to support the proposed permit for the Tucson South Mining project.
- I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

Intro

- I have lived in Adams County for 45 years.
- I have lived in Adams County my whole life.
- I grew up in Adams County and I am now raising my family here.
- I live and work in Adams County.
- I work in Adams County as a yard foreman.
- I have worked in Adams County for 15 years.

Why you are supporting:

- I believe this is the right type of project for the area and I fully support it.
- I believe that this project will benefit Adams County and the community benefits that will be available when the project is finished make the area better than it is right now.
- I work as a yard foreman and this will help people like me who work in this industry.
- I think the trails and outdoor space that will be available after the project ends will be an amazing addition to our community.
- This is an important industry for our county, and we need to take advantage of resources that are available otherwise we will have to get them from somewhere else.
- It is the right thing to do and the whole project will be done in 8 years.

Conclusion

I am asking you to please support this proposed permit.

Thank you for considering supporting this permit.

Please vote yes to support the Tucson South Mining project.

Sincerely,

Frank Escatel
643 S. 2nd Ave
Brighton, CO 80601



Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

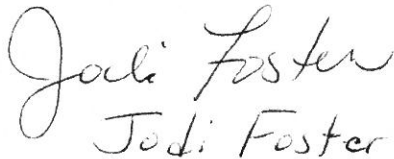
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,


Jodi Foster

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Franklin Opposed 20210306
Date: Monday, March 8, 2021 10:56:48 AM

From: Audrey Franklin <acab38@gmail.com>
Sent: Saturday, March 6, 2021 11:46 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Tucson St. mining

Please be cautious: This email was sent from outside Adams County

I feel great despair that your Commission would give Aggregate a 2nd bite at the apple. We have one entrance to Brighton and one decent road going West...Hiway 7. No matter what they claim, Aggregate would make that whole stretch into a dirty, noisy, and forever ugly view of the River and park. Everytime we go to Ft. Lupton, the horrible appearance of Hiway 85 tells me exactly what we face on 7. Big trucks, dust, noise, and deep pits that will remain like bomb craters forever. We live in a drought, the Platte flows low, and those pits will never fill with water. I heard that Aggregate would build some kind of conveyor over the Hiway....what a horrible idea with dust and sand raining down on traffic....there's no way they can build a totally enclosed overpass and the ends, on both sides, would be full of moving trucks spilling dust. I ask you to please don't allow the sand mining that only Aurora will gain by. Fracking will be a thing of the past while the abomination on Hiway 7 is a forever thing.

Audrey Franklin
14360 Meadowlark Lane
Brighton, CO 80601

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Ramon B.
Ramon Gallegos B.

2-22-21

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

Estimado condado de Adams,

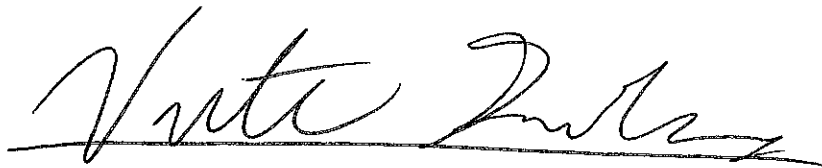
Le escribo en apoyo del Proyecto Minero de Tucson South. Como residente de toda la vida del condado de Adams, mi familia y yo apoyamos plenamente la extracción de este pozo de grava.

Este es un proyecto que beneficiará a la comunidad a largo plazo. Obtendremos una hermosa reserva con senderos y un hábitat natural que podremos disfrutar por generaciones. Crear espacios al aire libre para que la gente disfrute es importante para el futuro de nuestro condado.

He vivido en el condado de Adams toda mi vida. Soy un miembro activo de la comunidad. Le pido que vote sí sobre el permiso propuesto para este proyecto.

Sinceramente,

Vicente Gonzales-Estrada
1287 S. 8th Ave.
Brighton, CO 80601

A handwritten signature in black ink, appearing to read "Vicente Gonzales-Estrada", written over a horizontal line.

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Greaves Opposed 20210307
Date: Monday, March 8, 2021 10:58:08 AM

From: paul greaves <pwgreaves1@gmail.com>
Sent: Sunday, March 7, 2021 4:38 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Tuscon mine

Please be cautious: This email was sent from outside Adams County

Mr Barnes

Im writing to express my strong opposition to the Tucson mine as proposed by Aggregate Industries. The project provides no real benefit to the Community
It will make the local environment and beyond an area of blight dust ,noise ,heavy equipment
I own property in the nearby neighbourhood and feel very strongly that is operation will diminish property values in Brighton and will discourage all but essential travel into the City

Once again I strongly oppose this project and would urge you to reject it

Thank You
Paul W Greaves
125 W Bridge St, Suite F
Brighton Co 80601
303 808 9826

Adams County Board of County Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Adams County Board of County Commissioners:

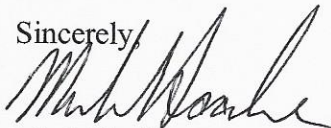
Our family is writing to ask you to approve a conditional use permit for Aggregate Industries on March 9. The permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County, includes property Haake Farms sold to Aggregate Industries in 2001. In addition, the Haake family owned considerable land in the surrounding area as part of our farming and dairy business.

The conditional use application and the work Aggregate Industries is doing to add extensive and long-term landscaping, limit the mining to only eight years and use a conveyor to move material instead of trucks hauling it, could not be more ideal. We knew that this resource would need to be extracted some day! High quality aggregate resources are critical to infrastructure and building and must be extracted where mother nature put them.

There are people who oppose these types of projects because they lack vision for the future. The closest neighbors to the property have not come out in opposition to this project and there are at least two nearby property owners who are on record as supporting the conditional use permit. The most vocal opponents don't even live where they see or otherwise will be impacted by the project and are focused on the less than a minute's time they will drive by the project, even though they won't be able to see it due to the landscaping.

Our family has an attachment to this property and long history in Adams County. The donation of the South Parcel which comprises approximately 25% of their purchase, to an open space use will provide will be highly beneficial to Adams County, Brighton and other residents who will enjoy the connection to the Riverdale Bluffs Open Space, the new trail, and access to the water storage resource. We hope to see you fulfill this vision and support the permit.

Sincerely,



Mark Haake
17039 County Rd. 4
Wiggins, CO 80654

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Tim Hartmann
3296 W. 96th Cir
Westminster CO
80031

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Jose Hernandez

Jose Hdz.

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Hoffman M Opposed 20210308
Date: Monday, March 8, 2021 10:59:56 AM

-----Original Message-----

From: Mary Anne Hoffman <bicyclebytwo@yahoo.com>
Sent: Monday, March 8, 2021 8:56 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Sand mining

Please be cautious: This email was sent from outside Adams County

I was driving to veterans Park this morning and as I came over the hill I could see Brighton laid out in the distance and I had to imagine a big sand pit there along Highway 7 and how destructive that would look as an entrance into Brighton.

Vote against this proposal to put a sand pit along Highway seven.

Thank you for your time and consideration.

Mary Anne Hoffman
15341 Heritage Circle,
Brighton 80602
303-908-4855

Sent from my iPhone

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Hoffman Opposed 20210307
Date: Monday, March 8, 2021 10:57:13 AM

From: Mary Anne Hoffman <bicyclebytwo@yahoo.com>
Sent: Sunday, March 7, 2021 11:43 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Sand mining on Hwy 7

Please be cautious: This email was sent from outside Adams County

Please vote against sand mining on Hwy 7.

I walk my dog almost daily in the Veterans Park area. Yesterday, March 6, I saw several hawks, three bald eagles, a heron, and the multitude of geese and ducks. The red wing blackbirds are multiplying every day and building their nests in the reeds. All this in just one day!

On other occasions, I have seen a bobcat and coyote. You think the wildlife will flock to this noisy, dusty area and dirty water? What about human visitors to the gateway of the Platte River bike path? As I walk further north you can see a gravel mining operation in the near distance (only one of many) -- evidence that there is already plenty of gravel mining currently in the area so why more?

Anyone who believes the gravel mining won't disturb this wildlife is out of touch with reality. Or, is it possible, that like so many politicians, money talks

Let's preserve what little natural beauty we have left.

Brighton needs to do the right thing and not allow this new gravel pit. Enough already!

Mary Anne Hoffman
bicyclebytwo@yahoo.com
15341 Heritage Circle
Brighton, CO 80602
303-908-4855

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Hoffman Opposed 20210308
Date: Monday, March 8, 2021 10:58:45 AM

-----Original Message-----

From: Mary Anne Hoffman <bikeby2@icloud.com>
Sent: Monday, March 8, 2021 7:54 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Stop the DIG

Please be cautious: This email was sent from outside Adams County

Dear Board Members:

As a multigenerational resident, business and property owner in Adams County I urge you to vote NO on the DIG. Adams county has historically been the “dumping ground”, trash recipient, smog collector, water pollutant houser, etc. of greater metro Denver. This is so evidenced by the reputations and resultant property values of Commerce City, Brighton, and adjoining areas. Downstream Platte polluted water is disgusting in smell, taste and safe use already.

My biggest concern is for the environment and ecology of the properties adjacent to this Dig. Our family lives near Veterans Park and we frequent this area nearly daily.

This area just east of the Dig is a remarkable hidden environmental Jem. It is surrounded by past digs, sewage & water treatment plants, industrial parks, highways, city and county equipment graveyards. In spite of this humanity blight NATURE has found a small “ safe haven” to survive and thrive. It is a fabulous home to multiple species. Over 30 different bird spices, fox, coyotes, deer, raccoons , bobcat, skunk, Squirrel, turtle reside here throughout the year.

I truly believe this massive dig will permanently disrupt this rare habitat protected area. Much of the dig serves as food, nesting, and insulation from human invasion.

Additionally highway 7, the southern border of the dig, is already overused and in growing disrepair. The traffic situation will be impacted. The air quality will be gravely impacted and the visual blight a travesty. You only need to travel north or south of dig to verify this by observing existing digs & their impacts.

It’s time we care for ourselves and our future generations. Short term financial windfalls do not justify the continued destruction of our community. We’ve allowed past administrations, boards, governing bodies to act not in the people’s & environments well being. Please put a stop to this and vote NO!

Respectfully, Geffory Hoffman DDS

Sent from my iPa

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam
Adams County

Reason for writing:

- I am writing to ask you to support the proposed permit for the Tucson South Mining project.
- I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

Intro

- I have lived in Adams County for 7 years.
- I have lived in Adams County my whole life.
- I grew up in Adams County and I am now raising my family here.
- I live and work in Adams County.

- I work in Adams County as a Carpenter.
- I have worked in Adams County for 7 years.

Why you are supporting:

- I believe this is the right type of project for the area and I fully support it.
- I believe that this project will benefit Adams County and the community benefits that will be available when the project is finished make the area better than it is right now.
- I work as a Farmer and this will help people like me who work in this industry.
- I think the trails and outdoor space that will be available after the project ends will be an amazing addition to our community.
- This is an important industry for our county, and we need to take advantage of resources that are available otherwise we will have to get them from somewhere else.
- It is the right thing to do and the whole project will be done in 8 years.

Conclusion

I am asking you to please support this proposed permit.

Thank you for considering supporting this permit.

Please vote yes to support the Tucson South Mining project.

Sincerely,

Charles Hoffman
4394 E 92nd Court
Thornton, CO 80229





February 10, 2021

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam:

On behalf of our company, Jalisco, International, I am writing to support the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

Jalisco International, Inc., is family owned and has been based in Adams County for more than 35 years. We have partnered with Adams County on multiple occasions to provide quality employment opportunities for residents, while producing necessary and reliable infrastructure in Adams County and around the State of Colorado. We specialize in building infrastructure including roads, bridges, walls and work in both the private and public sectors. Our industry has a long history of utilizing locally sourced materials to reduce impacts on the projects, the communities, and the environment.

As Colorado continues to grow, our infrastructure matters even more as it is what connects us to each other. Being able to use our local resources is critical as it allows for economic development at the local level and reduces the need to import these resources from outside of Colorado. Adams County has an opportunity to lead in this industry and to take a leadership role in building a better Colorado.

We have previously partnered with Aggregate Industries and we have found them to be a trustworthy business that maintains agreements and provides quality products and services. We support Aggregate Industries and the resources they can potentially bring to building our infrastructure both locally and statewide.

We support the approval of the permit for Aggregate Industries at Tucson South and see it as an asset to our Adams County community. I would respectfully ask the Adams County Board of County Commissioners to approve their permit.

Sincerely,
Jalisco International, Inc.

Richard Ledezma
President

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

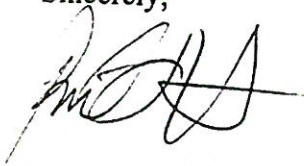
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink, appearing to be the initials 'MCA' or similar, written in a cursive style.

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam,

I live and work in Adams County and I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

This is an industry I believe we should support because it helps create a product that we can use here in Adams County and the surrounding metro area.

I am asking you to vote to approve the Tucson Mining Project.

Sincerely,

A handwritten signature in black ink, appearing to read "Tim Johnson", with a long horizontal flourish extending to the right.

Tim Johnson
16695 Electra Street
Brighton, CO 80603

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Joshua Jorgensen

Justin Jorgensen

2/19/21

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Jose Enrique Reyes
I been living in Adams County
for 5 years

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Kasper Support 20210211
Date: Monday, March 8, 2021 11:30:29 AM

-----Original Message-----

From: Emily Kasper <ekasper15@gmail.com>
Sent: Thursday, February 11, 2021 5:32 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Tucson South Mine Project

Please be cautious: This email was sent from outside Adams County

Hello,

I wanted to reach out, as a resident of Brighton CO, in support of the above mine project. I have reviewed the details of the project and I feel the the long term outcome would be beneficial to our community. As our city continues to grow it feels like the reservoir and trails proposed would be a beneficial.

The manner in which the mining will occur seems to have been well thought out and measures taken that will limit any disruptions to that area during the proposed time frame.

I appreciate you taking the time to listen and consider this project for our community.

Warm regards,

Emily Kasper
13006 CR 2 1/2
Brighton CO 80603

Antonio D. Ledezma
514 Branding Iron Court
Brighton, CO 80601

February 9, 2021

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam,

I am writing you today to respectfully ask for your support for proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

I have lived in Adams County for 32 years. I purchased my first home in Adams County 25 years ago. Four of my children have graduated from Adams County Schools. My wife and I continue to be active members of the community while raising our youngest son and continuing to call Adams County home into the foreseeable future.

We reside a short distance from the Tucson South project. I have reviewed the proposal and the comments that have been placed against the project. I am supporting the Tucson South project because it is a good project for Adams County. Aggregate Industries has listened to the community and made a concerted effort to develop a plan that limits noise and eliminates daily truck traffic which had been in the previous plan.

They have shown a willingness to answer questions from the community and have been transparent in their efforts to present the plan. I am most impressed with the fact that they will leave the area better than they found it. The reservoir and trails that will come when the project ends, will bring added benefit to the area and create a natural gathering place for people as well as wildlife.

I am asking you to support the proposed permit and bring a good project to Adams County.

Sincerely,

Antonio D. Ledezma

Comisión de Planificación y Zonificación del Condado de Adams
4430 South Adams County Parkway
Brighton, CO 80601-8204

Estimado señor, señora
Condado de Adams

Razón para escribir:

- Le escribo para pedirle su apoyo con el permiso propuesto para el proyecto Tucson South Mining.
- Le escribo para informarle que apoyo el permiso propuesto, EXG2020-00001 Aggregate Industries WCR, Inc. - Área minera de grava.

Introducción

- He vivido en el condado de Adams durante 18 años.
- He vivido en el condado de Adams toda mi vida.
- Crecí en el condado de Adams y ahora estoy criando a mi familia aquí.
- Vivo y trabajo en el condado de Adams.
- Trabajo en el condado de Adams como Levor.
- He trabajado en el condado de Adams durante 20 años.

Por qué estás apoyando:

- Creo que este es el tipo de proyecto adecuado para el área y lo apoyo plenamente.
- Creo que este proyecto beneficiará al condado de Adams y los beneficios comunitarios que estarán disponibles cuando el proyecto esté terminado harán que el área sea mejor de lo que está ahora.
- Trabajo como Si y esto ayudará a personas como yo que trabajan en esta industria.
- Creo que los senderos y el espacio al aire libre que estarán disponibles después de que finalice el proyecto serán una adición increíble a nuestra comunidad.
- Esta es una industria importante para nuestro condado, y debemos aprovechar los recursos que están disponibles, de lo contrario tendremos que obtenerlos de otro lugar.
- Esto es lo correcto y todo el proyecto se realizará en 8 años.

Conclusión

Le pido que por favor apoye este permiso propuesto.
Gracias por considerar apoyar este permiso.
Vote sí para apoyar el proyecto de Minería de Tucson South.

Sinceramente,

Juan Lozano-Miranda
4382 Windmill Drive
Brighton, CO 80601

JUAN-LOZANO



1401 Lawrence Street
Suite 1100
Denver, CO 80202
Tel +1 303 292 3700
Fax +1 303 534 8270
cushmanwakefield.com

March 5, 2021

Adams County Board of Commissioners
4430 Adams County Parkway
Brighton, CO 80601

Dear Commissioners,

First, I would like to recognize and thank you for your service to the community as elected officials. I know that you face difficult issues as leaders of a fast-growing community. I appreciate the time and consideration you devote to fully understand issues that come before you, hear from all stakeholders, thoughtfully consider options, and ultimately make the best possible decision on behalf of your constituents.

I understand that you are considering a land use case on March 9th for a gravel mine in Adams County to be operated by Aggregate Industries at State Highway 7 and Tucson Street. I also understand that this facility will be completed and fully reclaimed within eight years. After mining is completed, it will then be converted to municipal water storage, owned and operated by the City of Aurora. I am familiar with the site and the surrounding area, as I have worked as a land broker in the Denver metro area for 20 years. In this time, I have sold more than 11,000 residential lots as well as thousands of acres of raw ground for future development. A few of the many projects I have been involved with in recent years include Painted Prairie, High Point, and Waneka Farms. I anticipate you may have questions or concerns about how this land use might impact the market in the immediate vicinity. My role and experience provide me insight into the market dynamics for the interim and long-term proposed land uses at this site and the ways in which these uses influence the surrounding area.

In my professional opinion, this site has more value and offers more stability to the surrounding market if it is mined as proposed by Aggregate Industries. This application before you provides certainty about the end use for this property, it clearly establishes the duration of the impacts, and it results in the creation of a an attractive water feature. The proposed water storage feature offers a benefit to the surrounding area that helps to offset the near-term impacts of mining. I come to this conclusion with the understanding that the applicant has thoughtfully considered the best practices to make this as compatible as possible with the surrounding area by eliminating the use of trucks to haul material, monitoring air quality impacts, and minimizing noise, dust, and visual impacts. The application proposes the construction of a substantial berm and landscape buffer along the southern border that is enhanced even further in the post-mining reclamation plan. The end result of Aggregate Industries' project will be a nice amenity that also helps serve a growing population.

I appreciate your consideration of this issue and I hope that my experience and perspective from the land brokerage industry is helpful to you in your decision.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Kboudi".

Mike Kboudi, Executive Director
Cushman & Wakefield

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

Estimado condado de Adams,

He vivido en el condado de Adams durante ___ años. También trabajo como _____ en el condado de Adams. Le escribo para pedirle que apoye el permiso propuesto para el Proyecto Minero de Tucson, área de Minería de Grava.

Este proyecto es importante para personas como yo y para los trabajos que hacemos. La grava es un recurso valioso que se utiliza en la construcción de carreteras e infraestructura y es importante para nuestra comunidad.

Le pido que vote sí sobre el permiso propuesto.

Sinceramente,

Carlos Madera
41499 E 98th Ave.
Bennett, CO 80102

Carlos Madera

Comisión de Planificación y Zonificación del Condado de Adams
4430 South Adams County Parkway
Brighton, CO 80601-8204

Estimado señor, señora
Condado de Adams

Razón para escribir:

- Le escribo para pedirle su apoyo con el permiso propuesto para el proyecto Tucson South Mining.
- Le escribo para informarle que apoyo el permiso propuesto, EXG2020-00001 Aggregate Industries WCR, Inc. - Área minera de grava.

Introducción

- He vivido en el condado de Adams durante 29 años.
- He vivido en el condado de Adams toda mi vida.
- Crecí en el condado de Adams y ahora estoy criando a mi familia aquí.
- Vivo y trabajo en el condado de Adams.

- Trabajo en el condado de Adams como Soldador.
- He trabajado en el condado de Adams durante 25 años.

Por qué estás apoyando:

- Creo que este es el tipo de proyecto adecuado para el área y lo apoyo plenamente.
- Creo que este proyecto beneficiará al condado de Adams y los beneficios comunitarios que estarán disponibles cuando el proyecto esté terminado harán que el área sea mejor de lo que está ahora.
- Trabajo como SI y esto ayudará a personas como yo que trabajan en esta industria.
- Creo que los senderos y el espacio al aire libre que estarán disponibles después de que finalice el proyecto serán una adición increíble a nuestra comunidad.
- Esta es una industria importante para nuestro condado, y debemos aprovechar los recursos que están disponibles, de lo contrario tendremos que obtenerlos de otro lugar.
- Esto es lo correcto y todo el proyecto se realizará en 8 años.

Conclusión

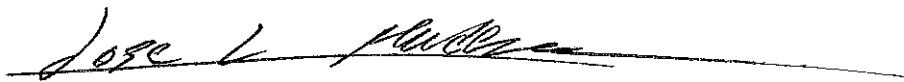
Le pido que por favor apoye este permiso propuesto.

Gracias por considerar apoyar este permiso.

Vote sí para apoyar el proyecto de Minería de Tucson South.

Sinceramente,

Jose Madera
6311 Highway 79
Bennett, CO 80102



Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Adams County,

I have lived in Adams County for 45 years. I also work as a DRIVER in Adams County. I am writing to ask you to support the proposed permit for the Tucson Mining Project, Gravel Mining area.

This project is important to people like me and the jobs we do. The gravel is a valuable resource that is used in building roads and infrastructure and is important to our community.

I am asking you to vote yes on the proposed permit.

Sincerely,

Mark Maes
9261 Hoffman Way
Thornton CO 80229

A handwritten signature in black ink that reads "Mark Maes" followed by the date "2/11/2021". The signature is written in a cursive style.

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



2-22-21

1301 Marigold Dr
80221

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Saturday, March 6, 2021 12:36:30 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Marilyn Spickler submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: I greatly oppose the application submitted by the AI project Tuscan South. I believe it would have an incredibly negative impact on our community. Brighton has worked so hard and come so far in trying to develop business and a sense of pride. I believe all that will be lost if AI is allowed it's gravel pit at the western gateway to Brighton. I have many concerns about the economic, environmental and health impacts of this project as well. Please say no to this permit! Thank you for your time.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>

[Unsubscribe](#) from future mailings

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Jose J Martinez
7701 Brighto BLV #11
Commerce City CO
80022

From: [Mary Jane Olsavsky](#)
To: [Erica Hannah](#)
Subject: New Comments on proposal...Tucson South EXG2020-00001
Date: Monday, March 8, 2021 8:54:28 AM

Please be cautious: This email was sent from outside Adams County

Dear Commissioners,

Tuesday you will once again have the opportunity to decide our fate on the Tucson South Gravel Pit application.

VOTE NO: THIS proposal is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

(An industrial activity/gravel mine doesn't belong near the downtown district and the residential homes to the west).

WE DO NOT WANT A MINING PIT OPERATING FOR 8 more like 20 yrs! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA, noise, dust, health risk and blight.

1) **NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE.** Nor will this block the view of the pit under construction. This is the entryway to Brighton and it is an expansive view traveling downhill on hwy 7 and this will stick out like a large scare on the earth. No amount of Landscaping will provide a natural shield of the mine. Drive by sometime & see for yourself.

2) The 10 - 50 mph winds we have in this area will move the silica and dust!!! We have micro gust all the time, a monitor won't stop this from happening. The original proposal said it was going to be wet mining now it says it will be dry mining. all the loosening of the gravel as they are loading the conveyor and transporting it will create dust. what happens as the conveyor travels north who going to monitor it than? Also what about all the dust created when they truck in tons+++++ of Bentonite to create SEVERAL miles of slurry walls to be built prior to the mining?

3) **LOOK AT THE RECORD OF THIS COMPANY AND OF COMPLETING PROJECTS ON TIME** in WESTMINSTER, EIGHT YEARS THERE HAS TURN INTO 20 YEARS! It also had an 8 year project timeline & uses conveyors. They have 3 or 4 projects that still are not completed 10 year projects that are now going on 20+ years. The theory by AI is once they get their foot in the door they will deal with the extension later when they don't finish on time. Nobody going to grant an extension when the gigantic hole is half done.

4) Why should we suffer for Aurora needs? There is **NO WAY** to guarantee at what point these ugly reservoirs will **EVER** have water in them. With the Challenger Reservoir soon to be emptied, and the Walker Reservoirs soon to be emptied as well, that will leave Aurora will essentially 3 or 5 empty reservoirs. If you haven't driven up north of 168th on Road 23 1/2 - it is worth the drive! The folks who live here should not have to suffer for Aurora's needs. There is no info structure to fill these additional pits and no guarantee by Aurora to do so.

Please **VOTE NO: THIS** proposal is not compatible with the surrounding area!!

Mary Jane & Alan Olsavsky
Brighton 80602

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely, *Jose Luis Morceda #*
1616 E-78th AVE lot 53
Denver CO 80229

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam,

I work in Adams County and I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

This is an industry I believe we should support because it helps create a product that we can use here in Adams County and the surrounding metro area.

I am asking you to vote to approve the Tucson Mining Project.

Sincerely,


Timberlan Meritt
3758 E. 104th Ave, Apt. 59
Thornton, CO 80233

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 11:53:21 AM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Michelle Monk submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: I am opposed. I know you've heard all of the reasons residents are opposed: hazardous dust, trucks (despite a conveyor, there will be trucks for other stated reasons), eyesore, NO BENEFIT to immediate area, poor track record with AI, not harmonious with surrounding area as required, etc. Please consider all of these reasons, especially the lack of benefit for those of us most impacted by this mining. The only pros I hear about this project is that we need the material (nobody is saying we don't; just that the opportunity to mine this area has passed) and that the residents will get a lake with trails when it's done. The end result is NOT a beautiful "lake" with recreation afterwards. The reservoir will sit empty with a fence around it; look to the pits to the north for examples – they are nearly empty even with the unallowed water that has leaked into them. Please say no to this application, as there is no accountability to provide anything of TRUE benefit to those impacted the most.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>

[Unsubscribe](#) from future mailings

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam,

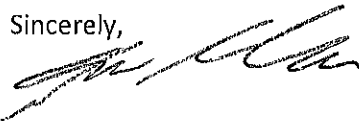
I live and work in Adams County and I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

This is an industry I believe we should support because it helps create a product that we can use here in Adams County.

I have lived here for 57 years and I am raising my family here. We need to think about what we want for our children and the community benefits that will be available once the project is done will be used by our kids and their kids.

I am asking you to vote to approve the Tucson Mining Project.

Sincerely,



James Morales
178 n 9th Ave.
Brighton, Co 80601

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204


Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,


Michael G. Morris
15853 Eliz Cir W.
Thornton, CO 80602

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Sincerely,

Jeri Morris

Deeri L. Morris

15853 Elizabeth Cir West

*Thornton, CO
80602*

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

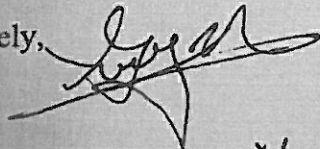
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Sincerely,



Gregory Norris
2/19/21

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Claudia Ocampo

1838 E. 98th Ave.
Thornton, CO 80229

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Olsavsky Opposed 20210308
Date: Monday, March 8, 2021 10:59:21 AM

From: Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>
Sent: Monday, March 8, 2021 8:39 AM
To: Eva Henry <EHenry@adcogov.org>; Steve O'Doriso <SODoriso@adcogov.org>; Emma Pinter <EPinter@adcogov.org>; Chaz Tedesco <CTedesco@adcogov.org>; Lynn Baca <LBaca@adcogov.org>; Greg Barnes <GJBarnes@adcogov.org>
Subject: New Comments on proposal....Tucson South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

Dear Commissioners,

Tuesday you will once again have the opportunity to decide our fate on the Tucson South Gravel Pit application.

VOTE NO: THIS proposal is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

(An industrial activity/gravel mine doesn't belong near the downtown district and the residential homes to the west).

WE DO NOT WANT A MINING PIT OPERATING FOR 8 more like 20 yrs! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA, noise, dust, health risk and blight.

1) NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE. Nor will this block the view of the pit under construction. This is the entryway to Brighton and it is an expansive view traveling downhill on hwy 7 and this will stick out like a large scare on the earth. No amount of Landscaping will provide a natural shield of the mine. Drive by sometime & see for yourself.

2) The 10 - 50 mph winds we have in this area will move the silica and dust!!! We have micro gust all the time, a monitor won't stop this from happening. The original proposal said it was going to be wet mining now it says it will be dry mining. all the loosening of the gravel as they are loading the conveyor and transporting it will create dust. what happens as the conveyor travels north who going to monitor it than? Also what about all the dust created when they truck in tons++++ of Bentonite to create SEVERAL miles of slurry walls to be built prior to the mining?

3) LOOK AT THE RECORD OF THIS COMPANY AND OF COMPLETING PROJECTS ON TIME in WESTMINSTER, EIGHT YEARS THERE HAS TURN INTO 20 YEARS! It also had an 8 year project timeline & uses conveyors. They have 3 or 4 projects that still are not completed 10 year projects that are now going on 20+ years. The theory by AI is once they get their foot in the door they will deal with

the extension later when they don't finish on time. Nobody going to grant an extension when the gigantic hole is half done.

4) Why should we suffer for Aurora needs? There is NO WAY to guarantee at what point these ugly reservoirs will EVER have water in them. With the Challenger Reservoir soon to be emptied, and the Walker Reservoirs soon to be emptied as well, that will leave Aurora will essentially 3 or 5 empty reservoirs. If you haven't driven up north of 168th on Road 23 1/2 - it is worth the drive! The folks who live here should not have to suffer for Aurora's needs. There is no info structure to fill these additional pits and no guarantee by Aurora to do so.

Please VOTE NO: THIS proposal is not compatible with the surrounding area!!

Mary Jane & Alan Olsavsky
Brighton 80602

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Maureen P. Owens

Maureen P. Owens

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

Estimado señor, señora,

Vivo y trabajo en el condado de Adams y le escribo para informarle que apoyo el permiso propuesto, EXG2020-00001 Aggregate Industries WCR, Inc. - Área minera de grava.

Esta es una industria que creo que debemos apoyar porque ayuda a crear un producto que podemos usar aquí en el condado de Adams.

He vivido aquí durante 15 años y estoy criando a mi familia aquí. Necesitamos pensar en lo que queremos para nuestros hijos y los beneficios comunitarios que estarán disponibles una vez que el proyecto esté terminado, serán utilizados por nuestros hijos y sus hijos.

Les pido que voten para aprobar el Proyecto Minero de Tucson.

Sinceramente,

A handwritten signature in black ink, appearing to read 'Jose Pacheco', written over a horizontal line.

Jose Pacheco
9202 Adams Street
Thornton, CO 80229

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Sincerely,

 Craig S. Padgett Sr.

466 Central Brighton CO 80601

Commissioners:

Hopefully, you will have been able to actually tour the property just west of Highway 85 between Highway 7 and Wattenburg. This will have given you visual proof of the typical mess Aggregate leaves the land in during and after their digging. They are not do-gooders! Anything, but! Hacked out areas, huge piles of dirt, etc.

The entry way to YOUR COUNTY SEAT should have at least an appealing amenity. Such as a Recreation area including places to park for opportunities to have picnics, sport fields or courts, and if there is water, a place to fish.

We are proud, being the County Seat of Adams County, but emphatically object to a long-term project that doesn't in anyway benefit our Community, Citizens or Businesses.

In my opinion, Aggregate has caused their own grief, because of their lousy "Track Record"! The conditional use, as I understand it, is NOT compatible with the surrounding area, and NOT harmonious with the character of the neighborhood.

It would be DETRIMENTAL - to the immediate area; to the future development of the area; AND to the health, safety, and welfare of the inhabitants of this area in YOUR County!

Again, Thank You for your learned thoughtfulness.

Respectfully, Jan Pawlowski, Former Brighton Mayor and
Adams County Commissioner

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

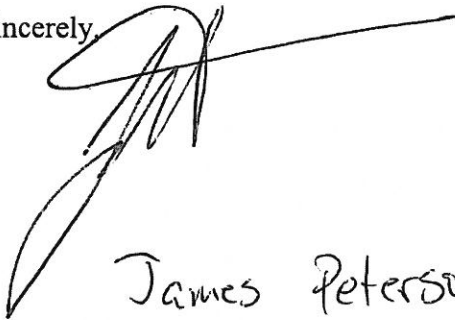
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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink, appearing to read "James Peterson". The signature is stylized with a large, sweeping initial "J" and "P".

James Peterson

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

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Sincerely,

Edgar P. ... 2.19.21

Comisión de Planificación y Zonificación del Condado de Adams

4430 South Adams County Parkway

Brighton, CO 80601-8204

Estimado condado de Adams,

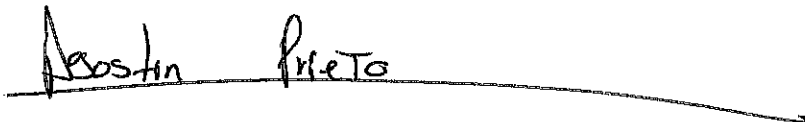
Le escribo en apoyo del Proyecto Minero de Tucson South. Como residente de toda la vida del condado de Adams, mi familia y yo apoyamos plenamente la extracción de este pozo de grava.

Este es un proyecto que beneficiará a la comunidad a largo plazo. Obtendremos una hermosa reserva con senderos y un hábitat natural que podremos disfrutar por generaciones. Crear espacios al aire libre para que la gente disfrute es importante para el futuro de nuestro condado.

He vivido en el condado de Adams toda mi vida. Soy un miembro activo de la comunidad. Le pido que vote sí sobre el permiso propuesto para este proyecto.

Sinceramente,

Agustin Prieto-Loya
9291 Wigham Street
Thornton, CO 80229

A handwritten signature in black ink that reads "Agustin Prieto". The signature is written in a cursive style and is positioned above a long, horizontal, slightly curved line that extends across the width of the signature.

February 24, 2021

Adams County Planning Commission
430 South Adams County Parkway
1st Floor, Suite W2000B
Brighton, CO 80601-8218

RE: Case: Tucson South, EXG2020-00001

Dear County Commissioners,

I am writing this letter regarding the referenced case involving Aggregate Industries seeking a conditional use permit to allow an extraction use. As a commercial real estate broker that has worked in the Metro Denver area for over 28 years, I have witnessed significant growth and development during that time. I believe that sand and gravel resources are essential backbone materials that form the building blocks for development that helps our economy grow and prosper. They allow for the building of office, industrial, retail and single family and multi-family residential development. In addition, they also help build the infrastructure that we all rely on every day. For these reasons, I support this project.

Best regards,

A handwritten signature in black ink, appearing to read "Steve Hager", enclosed in a thin black rectangular border.

Steve Hager
844 Eaglestone Drive
Castle Rock, CO 80104

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

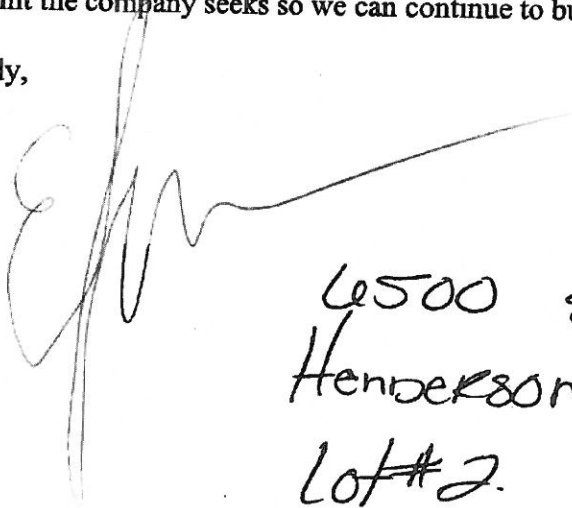
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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Efrain Rodriguez A.

6500 E 88th. AVE.
HENDERSON. CO 80640
LOT # 2.

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Sincerely,



Jose Rodriguez

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely, *Marco A. Rodriguez*

2/19/2021

I been leaving in Adams Co. for 38 years
marco

Comisión de Planificación y Zonificación del Condado de Adams
4430 South Adams County Parkway
Brighton, CO 80601-8204

Estimado señor, señora
Condado de Adams

Razón para escribir:

- Le escribo para pedirle su apoyo con el permiso propuesto para el proyecto Tucson South Mining.
- Le escribo para informarle que apoyo el permiso propuesto, EXG2020-00001 Aggregate Industries WCR, Inc. - Área minera de grava.

Introducción

- He vivido en el condado de Adams durante 18 años.
- He vivido en el condado de Adams toda mi vida.
- Crecí en el condado de Adams y ahora estoy criando a mi familia aquí.
- Vivo y trabajo en el condado de Adams.
- Trabajo en el condado de Adams como Job Superintendent
- He trabajado en el condado de Adams durante 23 años.

Por qué estás apoyando:

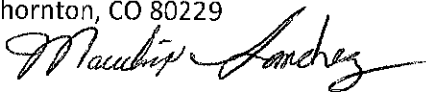
- Creo que este es el tipo de proyecto adecuado para el área y lo apoyo plenamente.
- Creo que este proyecto beneficiará al condado de Adams y los beneficios comunitarios que estarán disponibles cuando el proyecto esté terminado harán que el área sea mejor de lo que está ahora.
- Trabajo como Supervisor y esto ayudará a personas como yo que trabajan en esta industria.
- Creo que los senderos y el espacio al aire libre que estarán disponibles después de que finalice el proyecto serán una adición increíble a nuestra comunidad.
- Esta es una industria importante para nuestro condado, y debemos aprovechar los recursos que están disponibles, de lo contrario tendremos que obtenerlos de otro lugar.
- Esto es lo correcto y todo el proyecto se realizará en 8 años.

Conclusión

Le pido que por favor apoye este permiso propuesto.
Gracias por considerar apoyar este permiso.
Vote sí para apoyar el proyecto de Minería de Tucson South.

Sinceramente,

Marcelino Sanchez
9221 Myrna place
Thornton, CO 80229



Comisión de Planificación y Zonificación del Condado de Adams
4430 South Adams County Parkway
Brighton, CO 80601-8204

Estimado señor, señora
Condado de Adams

Razón para escribir:

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Introducción

- He vivido en el condado de Adams durante 23 años.
- He vivido en el condado de Adams toda mi vida.
- Crecí en el condado de Adams y ahora estoy criando a mi familia aquí.
- Vivo y trabajo en el condado de Adams.
- Trabajo en el condado de Adams como Perman.
- He trabajado en el condado de Adams durante 27 años.

Por qué estás apoyando:

- Creo que este es el tipo de proyecto adecuado para el área y lo apoyo plenamente.
- Creo que este proyecto beneficiará al condado de Adams y los beneficios comunitarios que estarán disponibles cuando el proyecto esté terminado harán que el área sea mejor de lo que está ahora.
- Trabajo como Si y esto ayudará a personas como yo que trabajan en esta industria.
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Conclusión

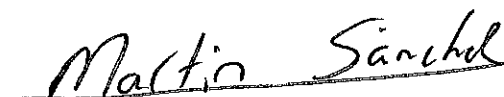
Le pido que por favor apoye este permiso propuesto.

Gracias por considerar apoyar este permiso.

Vote sí para apoyar el proyecto de Minería de Tucson South.

Sinceramente,

Martin Sanchez
7710 E. 123rd Ave.
Thornton, CO 80602



Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Sincerely,

Tim Scott Tim Scott

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Sir/Madam,

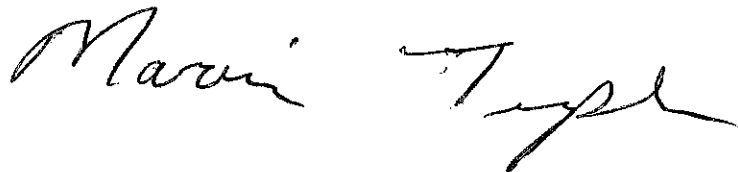
I live and work in Adams County and I am writing you to let you know I am supporting the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

This is an industry I believe we should support because it helps create a product that we can use here in Adams County and the surrounding metro area.

I am asking you to vote to approve the Tucson Mining Project.

Sincerely,

Marvin Temple
12893 Forest Way
Thornton, CO 80241

A handwritten signature in black ink that reads "Marvin Temple". The signature is written in a cursive style with a large, sweeping "M" and a long, horizontal tail on the "l".

Adams County Planning & Zoning Commission
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Adams County,

I have lived in Adams County for 2 years. I also work as a Estimator in Adams County. I am writing to ask you to support the proposed permit for the Tucson Mining Project, Gravel Mining area.

This project is important to people like me and the jobs we do. The gravel is a valuable resource that is used in building roads and infrastructure and is important to our community.

I am asking you to vote yes on the proposed permit.

Sincerely,



Zachary Thenell
10159 Yampa Street
Commerce City, CO 80022

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

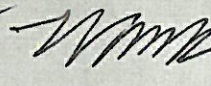
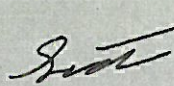
As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Scott Thomas



2-22-21

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

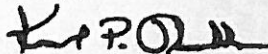
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know firsthand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry *will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail* and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



KARL P. THULLEN

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know firsthand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely, Juan PABLO Vazquez

2-22-21

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Manuel Vigil

A handwritten signature in black ink, appearing to read "Manuel Vigil", written in a cursive style.

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Sincerely,

KEVIN VIVENS

Kevin Vivens

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Russell Walters

Russell Walt

2-19-2021

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Randy
Zubia

49860 E. 56th Ave.
Bennett Co 80102.

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Marisol Lopez
Marisol Lopez Echeverste
11464 Marion St.
Northglenn CO 80233

Adams County Board of County Commissioners
4430 South Adams County Parkway
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

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Sincerely,

Pablo Lopez
Pablo Lopez Gavan
11464 Marion St.
Northglenn CO 80233



Water Resources
15151 E. Alameda Parkway, Suite 3600
Aurora, Colorado 80012
303.739.7370
March 9, 2021

Adams County Board of County Commissioners
4430 South Adams County Parkway, 5th Floor, Suite C5000A
Brighton, CO 80601-8216

RE: Comments on the Conditional Use Permit to Allow Extraction Use in Agricultural-1 (A-1) Zone District, Case Name Tucson South, Case Number EXG2020-00001

Dear Adams County Board of County Commissioners:

The City of Aurora appreciates the opportunity to comment on the Conditional Use Permit for gravel mining submitted by Aggregate Industries in case number EXG2020-00001.

The City of Aurora is located within three counties, Adams, Arapahoe and Douglas. City Council Wards I and II are both partially in Adams County. Ward I, represented by Councilwomen Crystal Murillo, includes 5.7 square miles within Adams County and more than 5,800 homes and businesses. Ward II, represented by Councilwomen Nicole Johnston, includes 55 square miles within Adams County and there are more than 4,100 homes and businesses in this area, as well. The Aurora Water Department recently brought this project to our Water Policy Committee and full City Council and it was unanimously approved at both.

This project will allow our Water Department to continue to supply safe and reliable water resources to our citizens. Adding additional water related infrastructure will give our Water Department more opportunities to collaborate with other water providers such as the City of Brighton, the City of Thornton, South Adams County Water and Sanitation District and the City of Westminster.

I understand that Aggregate Industries is proposing to do all they can to minimize the impacts to the local community during the mining process. The City of Aurora is also offering that post-mining uses include passive recreational opportunities. These will be developed through a collaborative and local stakeholder process and will benefit the local community. This project will also enrich the local market with sand and gravel resources that provide for not only new construction but also repair and replacement of our roads and other infrastructure. We urge you to look towards the end of the mining process and the potential benefits to all the constituents in Adams County, as you review this project.

We appreciate your time and the consideration of our comments in the application. Please contact me or my staff with any questions or requests for additional information.

Sincerely,

Mike Coffman
Mayor
City of Aurora

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Ashburn Opposed 20210308
Date: Monday, March 8, 2021 2:09:06 PM

From: John Ashburn <jashburnjr@hotmail.com>
Sent: Monday, March 8, 2021 2:07 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Cc: john.ashburn@hotmail.com
Subject: Case # EXG2020-00001 Aggregate Industries – Tucson South

Please be cautious: This email was sent from outside Adams County

Dear Adams County Board of Commissioners,

I am writing this email to express my extreme concern regarding the Aggregate Industries/Tucson South proposal to allow extraction use in an Agricultural-1 (A-1) zone district. As you know, this application, if approved, would site an open pit aggregate mining operation immediately to the west of downtown Brighton and directly between downtown Brighton and an extremely large area of Brighton that is currently undergoing new residential development. My wife and I live in the subdivision immediately adjacent to the west side of the proposed site. As someone with more than two decades of experience with above ground and below ground mining operations, I can tell you that despite mitigation efforts, the proposed open pit aggregate mining operation will almost certainly create both dust and noise issues for both downtown Brighton and the surrounding residential areas, both current and future. In addition, the operation will almost certainly depress real estate values during the term of its operation. While the area proposed for this operation may have been an appropriate one 10 or 15 years ago, it is no longer an appropriate area for such an operation. Brighton is growing rapidly and has a very “bright” future. At this point in time, the Adams County Board of Commissioners should be focused on the development of this area in a manner that will benefit Brighton and its citizens as the community continues to grow, not a project that will certainly have an adverse impact on future economic development. The area in question is now much better suited to residential or commercial development, both of which would be much more compatible with the other current and planned developments in the area. It would neither be appropriate, nor responsible, for Adams County Board of Commissioners to allow an open pit aggregate mining operation to be first established in the middle of a thriving and actively developing community. This is definitely not a harmonious and compatible use with the surrounding area, which now includes an immediately adjacent residential subdivision with homes in the \$500,000.00 to \$1,000,000.00 range as well as an adjacent park and very nearby downtown center. Accordingly, I would respectfully request that the Board of Commissioners not approve the proposed conditional use permit for Aggregate Industries. I would like to have my comments read at the upcoming meeting of the Commissioners and also included verbatim in the public record of this case. Thank you for your time and consideration.

Sincerely,

John F. Ashburn, Jr.
Attorney at Law
11581 E. 161st Ave.
Brighton, CO 80602

From: [Greg Barnes](#)
To: [Erica Hannah](#)
Subject: Ashburn Jeanne Opposed 20210308
Date: Monday, March 8, 2021 2:51:51 PM

From: Jeanne <J.M.Ashburn@hotmail.com>
Sent: Monday, March 8, 2021 2:43 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: Tucson South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

Dear Commissioners,

Please vote NO on the Tuscan South Mining project. This mine is NOT compatible with the area, including the main entrance into Brighton and our neighborhood, Todd Creek Riverside!

We, as many of our Riverside neighbors, are in our senior years. Our enjoyment of our home, the peace we all experience here, and the views will all be taken from us if this project goes forward. Our home is our sanctuary, where peace and health are key. What do we do when that is taken away?

Aggregate Industries obviously has the ability to use top lawyers to help win this fight. As members of a community that will have to suffer the consequences and live with this for the foreseeable future, we do NOT have the resources to hire major law firms to fight for us. All we have is YOU, the people we voted into office to represent us. We hope and pray you have the COMPASSION and UNDERSTANDING to make the right decision to protect our lives and wellbeing.

Many of AI's customers submitting testimonies aren't even from our Adams County. These testimonies should not be considered as heavily as those who will have to deal with this mess, dust, ugliness, health issues and unpleasant living conditions for the next decade.

I truly hope that you are never faced with a situation like this, worried that a company's ambition will ruin your views, health and enjoyment of life, especially in your senior years as it will ours. It is SO difficult knowing that this decision may be weighted against the common population most affected, and will be made by people who do not know us, or have even seen our community. It is a horrible situation to be in for those of us whose quality of life will be diminished.

PLEASE, PLEASE, PLEASE take this into heavy consideration as you make your decision.

Thank you for your consideration!

Sincerely,
Jeanne Ashburn
11581 E 161st Ave

Brighton

Sent from my iPhone

From: bmlloyd@aol.com
To: [Erica Hannah](#)
Subject: Re: speak at public meeting
Date: Monday, March 8, 2021 2:32:30 PM

Please be cautious: This email was sent from outside Adams County

Hi Erica,

I went to the ecomment to enter a comment (which was smaller than the 1,000 character limit) but the software would not take the comment. It might have been because I had already registered to speak - although I unregistered and it still would not take it. The comment is as follows:

Please recognize what AI has before you today is substantially the same as the final 2019 proposal you unanimously rejected with one major exception – significant negative factors have come to light since 2019 not the least of which is that Aurora has no way to and does not plan to put water in 5 of their pits in this immediate area for at least 15 and possibly up to 30 years. We will be left with massive blight - ugly unkept weed filled dusty holes in the ground! What a healthy and inviting environment for residents and future residents and a welcoming site for the entrance to Brighton!

This proposal has not and does not meet the County's requirements for a CUP because it is not compatible with the surrounding area and not in compliance with other of the County's requirements. There is no way to negate all of these effects through conditions of approval - especially conditions of approval that have no substantial consequences to AI if not met.

Please do the right thing, take heed of Brighton area residents' comments (which are virtually all opposed to this project) and not those favorable comments from people who do not live here. Vote NO on issuance of a CUP.

I do not know if you can insert this but if not I will make it part of my verbal comments tomorrow.

Thanks, Mike Lloyd

-----Original Message-----

From: Erica Hannah <EHannah@adcogov.org>
To: Mike Lloyd <bmlloyd@aol.com>
Sent: Mon, Mar 8, 2021 1:37 pm
Subject: RE: speak at public meeting

Hi Mike,

Unfortunately each person will have just the 3 minutes, if you choose not to speak it will not add additional time to someone else's 3 minutes. Thank you.

Thanks,

Erica

Erica Hannah

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 2:25:45 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Michael Moore submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: I am opposed to this for the following reasons: - There does not appear to be a benefit to Adams Country or the surrounding areas. The mining is focused solely on the material needed, with little focus on revamping the land after the mining period. This would result in little financial benefit to the area short or long-term as well as an ongoing eyesore and challenge for future development (e.g. shopping, river walk, etc.). - The environmental and health impacts are not a negligible consideration either. Considering the materials being mined are known to have health impacts to residents and the amount of trucks, dust and industrial use of the area it is hard to see how this benefits the residents or the river area, which currently has a fair amount of use by families year-round. I would encourage you to vote against this proposal in the best interest of Adams County, its residents and businesses.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>.

[Unsubscribe](#) from future mailings

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 2:56:08 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Alan Olsavsky submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: VOTE NO: THIS proposal is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area 1) NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE. Nor will this block the view of the pit under construction. 2) The 10 - 50 mph winds we have in this area will move the silica and dust!!! We have micro gust all the time, a monitor won't stop this from happening. The original proposal said it was going to be wet mining now it says it will be dry mining. 3) LOOK AT THE RECORD OF THIS COMPANY AND OF COMPLETING PROJECTS ON TIME in WESTMINSTER, EIGHT YEARS THERE HAS TURN INTO 20 YEARS! It also had an 8 year now 21 project timeline & uses conveyors. 4)There is NO WAY to guarantee at what point these ugly reservoirs will EVER have water in them. . There is no info structure to fill these additional pits and no guarantee by Aurora to do so.

[View and Analyze eComments](#)

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[Unsubscribe](#) from future mailings

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 3:14:24 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

John Alge submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 5. PUBLIC COMMENT

eComment: Good morning Madam Chair & Commissioners! My name is John Alge,& I serve as both Sergeant at Arms & Food Drive Committee Chair with the Rotary Club of Northglenn-Thornton. We would like to remind everyone that our Virtual Food Drive continues through Friday, March 26. Our food drive supports four amazing food pantries: Northglenn: Good Shepherd Presbyterian Church Immaculate Heart of Mary Food Bank Thornton: Food For Hope Thornton Community Food Bank We are accepting donations for our pantries at our web page: www.northglennthorntonrotary.org/donate There is also info on our FB page Rotary Club of Northglenn-Thornton We thank everyone who has donated to this point,& we hope you will consider helping us feed our neighbors in need,as the need has never been greater than now due to the ongoing COVID-19 pandemic. Thank you Commissioners for all you do for our amazing County!

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>

[Unsubscribe](#) from future mailings

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 3:29:49 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

WAYNE MUHLER submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: A project past it's time with no benefit to the neighbors or county.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>.

[Unsubscribe](#) from future mailings

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 3:32:31 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

tania de la cruz submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: Dear County Commissioners, We are the De La Cruz family and we live on Tucson St. We were only just made aware of the hearing today. We will never be able to open our windows or enjoy being outside. It will ruin our lives and destroy our property value. There is a tree across the street that has a bald eagle in it almost daily and that tree would probably be removed. I am also worried about my flood insurance increasing. Dust would also be a problem to us since we are right in between the mining. All that dust will affect my families health. There will probably be lots of traffic due to all the trucks passing by and that will cause lots of noise too. All that noise will probably cause my animals to be stressed. Please do not allow any mining here.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>.

[Unsubscribe](#) from future mailings

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 3:38:26 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Jeanne Ashburn submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: Please vote NO on the Tuscan South Mining project. This mine is NOT compatible with ANYTHING in this area! Many of us in Todd Creek Riverside are seniors. Enjoyment of our homes, our peaceful environment and views will be greatly diminished if this project goes forward. Our home is our sanctuary, where peace and health are key. What do we do when that is taken away? AI has top lawyers to help them win. Those of us that have to live with this do NOT have the resources to hire lawyers. All we have is YOU, the people WE voted for to represent US. We hope you have the COMPASSION to make the decision to protect our lives and wellbeing. I truly hope you never have to worry that a company's ambition will ruin your health and enjoyment of life. It is SO difficult knowing this decision will be made by people who do not know us or our community. PLEASE make the right decision!!!! Jeanne Ashburn 11581 E 161st Ave Brighton

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>

[Unsubscribe](#) from future mailings

Phillips Medical Toxicology, PLLC

PO BOX 13250
Burton, WA 98013
Tel 303.815.1960
Fax 303.889.5161

January 5, 2021

Chance Allen
Regional General Manager
Aggregate Industries – WCR, Inc.
1687 Cole Boulevard, Suite 300
Golden, CO 80401

Re: Tucson South Resource Gravel

Dear Mr. Allen

INTRODUCTION

I hold the following opinions and conclusions in this report to a reasonable degree of medical and toxicological probability. Should further information become available, I reserve the right to amend my report or opinions. The basis of my opinions is put forth in the body of this letter.

STATEMENT OF QUALIFICATIONS

I am Scott D. Phillips, a medical doctor specializing in toxicology and environmental toxicology. I am an Associate Professor, at the University of Colorado, Department of Medicine, Division of Clinical Pharmacology and Toxicology. I am a faculty member at the Rocky Mountain Poison & Drug Center in Denver and the Washington Poison Center in Seattle. I am board certified in both internal medicine and medical toxicology and am licensed in the states of Colorado and Washington.

Medical toxicology is a scientific discipline concerned with the evaluation, diagnosis, and treatment of adverse effects of chemical substances, including pharmaceuticals, on living systems. Fundamental to the sub-specialty is that medical toxicologists must routinely perform an assessment of whether there exists a causal link between an exposure to a chemical substance and an adverse effect. Such an analysis requires the application of proper and generally accepted scientific methodologies.

During my over thirty-year medical career, I have assessed hundreds of environmental sites both domestically and internationally. I have authored, contributed to and edited numerous textbooks on

environmental toxicology.

SCOPE

I have been asked to review the submitted materials as related to toxicology and the potential human health impact assessment of adjacent neighborhoods from the development of the Tucson South Resource Gravel Pit Site (TSRGPS), located one mile west of the City of Brighton in Adams County, Colorado. In accordance, I have considered air models, geographic variables and the scientific literature. Regarding the TSRGPS, Aggregate Industries-WCR, Inc. has filed a proposed eight-year Conditional Use Permit for a mining and reclamation project.

TUCSON SOUTH RESOURCE GRAVEL PIT SITE

Detailed in the Conditional Use Permit application is the Permit Boundary comprised of two mining areas. The areas are Assessor's Parcel Numbers: 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, and 0157101300002.

Before being loaded onto a conveyor belt and frequently while traveling on the conveyor belt, water misters will dampen the gravel material in order to mitigate fugitive dust. In order to monitor effectiveness of the dust mitigation measures, real-time dust monitoring will occur.

PARTICULATE STUDY

Aggregate Industries-WCR, Inc. contracted with Trinity Consultants to conduct a worst-case Ambient Air Quality analysis using the CDPHE and US EPA recommended dispersion model, AERMOD. The follow table provides a summary of these findings, and the report is an attachment to the Conditional Use Permit Application.¹

As illustrated in the following table, the PM₁₀ and PM_{2.5} modeled analysis for particulates are well below the National Ambient Air Quality Standards (NAAQS)² for particulates. These exposure levels are protective of all community members including sensitive populations. It is my medical and scientific opinion that there would be no clinical health risk of PM₁₀, PM_{2.5} to nearby residents.

¹ <https://www.adcogov.org/sites/default/files/EXG2020-00001-submittal1.pdf>

² <https://www.epa.gov/criteria-air-pollutants/naaqs-table>

Pollutant	Avg Period	GLCmax (µg/m)	Background Concentration^b (µg/m³)	Total Impact (µg/m³)	NAAQS (µg/m³)	% of NAAQS
PM _{2.5}	24-HR	6.52	22	28.52	35	81.5%
PM _{2.5}	Annual	1.81	7.0	8.81	12	73.4%
PM ₁₀	24-HR	59.96	60	119.96	150	80.0%

a. The CDPHE provided preprocessed meteorological data sets on June 15, 2020 (v19191) using 2009 meteorological data from the Fort Saint Vrain surface meteorological tower and the Denver upper air station for use in the AERMOD air dispersion modeling analysis. CDPHE has determined that the meteorological data provided is both conservative and representative of the Tucson South Pit.

b. The CDPHE provided a background concentration determination on July 16, 2020 indicating that the data above (and in Table 1) should be used for the proposed facility for PM₁₀ and PM_{2.5} standards.

Even though, the studies show no health risk, Aggregate Industries-WCR, Inc. plans on instituting engineering controls (using conveyor belts, and direct dust mitigation techniques) to further reduce project-related dust.

CONCLUSIONS

1. The mining and reclamation activity at the Tucson South Resource Gravel Pit Site will cause no negative health impact to nearby residents, including populations sensitive to particulates.
2. The air study concludes that both PM₁₀ and PM_{2.5} particulates are well below the National Ambient Air Quality Standards.
3. The Tucson South Resource Gravel Pit Site mine meets regulatory health requirements.

Respectfully submitted,



Scott D. Phillips, MD, FACP, FACMT, FAACT



March 8, 2021

Attn.: Adams County BOCC
Ref.: EX2020-00001

Dear honorable members of the Adams County BOCC:

Hispanic Contractors of Colorado (HCC) has been monitoring application EXG2020-00001 Aggregate Industries WCR, Inc.- Gravel Mining Area. HCC wholeheartedly supports this application. The modifications to the application from 2019 to 2021 are significant and are harmonious with the surrounding community.

Founded in 1990, Hispanic Contractors of Colorado (HCC) is a professional trade association 501(c)(6), representing over 160 members with inclusive membership from all backgrounds. Focused on commercial and public projects, our membership includes general contractors, subcontractors, specialty contractors, A/E firms, public entities, suppliers, and service providers. We collaborate with other trade associations such as ABC, ACEC, AGC, BCG, CCA, COMTO, IECRM and SMACNA.

Our objective is to influence the industry as it relates to opportunities for the advancement and well-being of diverse construction companies of all types. We create the forum for expression of a unified voice for our industry and "essential" workforce. That information sharing happens when our members, Primes, Agencies and Trades use their expertise in training and advocacy, which strengthens our entire industry. Our members are committed to the needs of all large and small members and the overall sustainable success of the construction industry.

We hope the BOCC approves this worthwhile application.

Sincerely,

A handwritten signature in black ink that reads "R. Aburto".

Rosy Aburto McDonough

Executive Director · Hispanic Contractors of Colorado

1114 West 7th Ave., Ste 250

Denver, CO 80204

Phone: 303-893-3893 Cell: 303.916.2720

rosy@hcc-diversityleader.org

www.HCC-DiversityLeader.org

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 4:10:55 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

John Ashburn submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: Aggregate Industries proposes to site an open pit gravel mining operation directly between downtown Brighton and an extremely large area currently undergoing new residential development and immediately adjacent to both a residential subdivision with \$500K to \$1MM homes and a park. Despite mitigation efforts, the operation will almost certainly create both dust and noise issues for the surrounding area and depress real estate values during the term of its operation. While this area may have been appropriate for a gravel pit 10 or 15 years ago, it is no longer an appropriate area for such an operation. It would not be appropriate, nor responsible, for the Commissioners to allow an open pit mining operation to be first established in the middle of a thriving and actively developing community. This is definitely not a harmonious and compatible use with the surrounding area. Accordingly, I would respectfully request that the Board not approve the proposed Aggregate Industries project.

[View and Analyze eComments](#)

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From: [Emma Pinter](#)
To: mcsfh157@aol.com; [Erica Hannah](#); [Ray Gonzales](#)
Subject: Re: URGENT - Tucson South Gravel Pit related findings & Documentation - please review
Date: Monday, March 8, 2021 4:23:05 PM

Thank you for your comments. I have copied staff to ensure your comments are included in our record.

Emma Pinter
Adams County Commission
ADAMS COUNTY, COLORADO
[4430 South Adams County Parkway, 5th Floor, Suite C5000A Brighton, CO 80601](#)
O: [720-523-6867](tel:720-523-6867)
C: [720.239.2053](tel:720.239.2053)

pronouns she/her/hers

Neighborhood Groups:
<http://www.adcogov.org/neighborhood-groups>

Adams County Service A-Z:
<http://www.adcogov.org/a-z-services>

On Mar 6, 2021, at 8:48 AM, mcsfh157@aol.com wrote:

Please be cautious: This email was sent from outside Adams County

Dear Commissioners,

Tuesday you will once again have the opportunity to weigh in on the Tucson South Gravel Pit application. We can not say enough how much it meant to us for you to listen to the voices of the people who live here and call this home, . . . to prioritize our health, our environment, our efforts, and our businesses, . . . and to have said no to the location of this gravel pit - back in 2019. The quality of life in our communities is measured in many ways, but we appreciate you taking that into consideration when you review the application. Because 3 minutes could never be enough to share the discoveries of all our research, **PLEASE see the attached "illustrated" notes, documentation, and findings which are very illuminating regarding this current application and the applicant's history (including with other municipalities) - particularly the 3-5-21 BoCC letter. - Thank you!**

Respectfully submitted,

Sherie Gould

Sherie Gould, GRI

Broker Associate

Sterling Real Estate Group, Inc

303.919.1703 Cell

<3-5-21 BoCC letter.pdf>

<Tucson North ReclamationREV57184b.pdf>

<Hazeltine2018-05-14_ENFORCEMENT - M2004031.pdf>

From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 4:28:35 PM

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[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Sherie Gould submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: This land, sitting in a highly visible valley, off the main gateway to the downtown district, is NOT the appropriate place for an industrial mining activity, . . . perhaps 17 years ago it might have been (when they had planned to mine it), but not anymore. There is no way that you can begin to eliminate the off-site impacts and detriments that this mine would cause. Furthermore, there is no shortage of active gravel pits up in Weld County (which is where this gravel would be sold from) to supply our needs. This land can serve the County and community in a far better way and Aurora has not shown itself to be a good neighbor in the care they have demonstrated with their Challenger Reservoir. Please say no.

[View and Analyze eComments](#)

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From: noreply@granicusideas.com
To: [Erica Hannah](#)
Subject: New eComment for Board of County Commissioners on 2021-03-09 9:30 AM
Date: Monday, March 8, 2021 4:29:21 PM

Please be cautious: This email was sent from outside Adams County

[SpeakUp](#)

New eComment for Board of County Commissioners on 2021-03-09 9:30 AM

Mike Lehman submitted a new eComment.

Meeting: Board of County Commissioners on 2021-03-09 9:30 AM

Item: 1. 21-186 EXG2020-00001 Tucson South (File approved by ELT)

eComment: To Whom this May Concern: I am writing on behalf of the small businesses that will be impacted with the preposition around the gravel pit on or near 160th and HWY 85. Opening a gravel pit in this area will start to detour traffic from coming this way which will in turn cause a decline in business in all the small businesses around. This will not only cause a decline in foot traffic. The extra dirt and debris this will put into the air will also wreak havoc on many of the older residents as well as have an impact on all the near by appliances and mechanical machines. This will then also have an impact on these small businesses to have an increase with maintenance costs. There is a carwash near by which will have a decline in business, because who wants to go through washing their car and then right into an environment where it will get overly dirty from the normality, due to the increase of dirt and debris that will be in the air. Please do not open this up Sincerely,

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>

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From: [Lynn Baca](#)
To: [Erica Hannah](#)
Subject: Fwd: PLEASE SEE: Reclamation Rules for Gravel Pits
Date: Monday, March 8, 2021 4:59:42 PM
Attachments: [Letter from City of BrightonINSPEC38726.pdf](#)

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From: mcsfh157@aol.com <mcsfh157@aol.com>
Sent: Monday, March 8, 2021 3:33:55 PM
To: Eva Henry <EHenry@adcogov.org>; Steve O'Dorisio <SODorisio@adcogov.org>; Lynn Baca <LBaca@adcogov.org>; Emma Pinter <EPinter@adcogov.org>; Chaz Tedesco <CTedesco@adcogov.org>
Cc: Ray Gonzales <RGonzales@adcogov.org>
Subject: PLEASE SEE: Reclamation Rules for Gravel Pits

Please be cautious: This email was sent from outside Adams County

Dear Commissioners,

Regarding gravel pits and the state rules that govern reclamation, . . .
Per the DRMS, the state gives 5 years after the completion of mining to finish reclamation. The difficulty appears to be in what qualifies as mining. You can move some dirt around and you are technically still mining and thereby restart your 5 year time frame. (no penalties for that) The bonds only apply to the reclamation as they are not performance or completion bonds. There are rules regarding stockpiles as well; move some of it around within a year and you don't have to overseed.

Please see the attached letter referencing some of AI's history with Brighton. It also references their south parcel (of Tucson North that became Tract M) and skipped past reclamation.

Thank you for your time in this,

Sherie

Sherie Gould, GRI

Broker Associate

Sterling Real Estate Group, Inc

303.919.1703 Cell

✓ RECEIVED
AUG 11 2004

Division of Minerals & Geology



Fax Transmittal Sheet

✓ To: Mr. Harry Posey From: City Manager John Bramble

Fax: 303-882-8106 Date: 8.10.04

Phone: 303-866-3567 Pages: 3

Re: _____ CC: _____

Urgent For Review Please Comment Please Reply Please Recycle

•Comments:

M-1991-140
Complaint
cc: LDO

RECEIVED

AUG 11 2004

Division of Minerals & Geology



22 South 4th Avenue • Brighton, Colorado 80601 • (303)655-2000

August 10, 2004

Mr. Harry Posey
Colorado Division of Minerals and Geology
1313 Sherman St., Room 215
Denver, CO 80203

Dear Mr. Posey,

The Aggregate Industries (CAMIS) Tucson resource sand and gravel mine appears to be in violation of the state issued permit (M-91-140) at this time. The City is very concerned about the quality of this site, which is one of the entrance points to our community. In a review of the documents filed with the State of Colorado numerous variances from the mining plan are apparent when viewed from the surrounding roads. A partial list includes:

1. The fence around the property is down or missing in several areas.
2. No attempt has been made to concurrently reclaim any area of the mine.
3. Noxious weeds are not being addressed.
4. The roads on the property are not maintained as per plan.
5. Signage at the mine is not in compliance. They have been given previous notice to fix this.
6. The main haul road is not 1 ½ inch crushed rock called for in the plan (dust and mud control).
7. Spoil and stock piles do not appear to be aligned with the floodway.
8. Berms are not per plan.
9. Highwalls (30 to 40 foot not 2-1 grade) are present which pose a very real danger, especially considering the fence.
10. No dust control has been accomplished for at least twelve months (no watering of roads, stock piles, spoil piles, and there has been no planting of grass on areas not active for more than one year.

The City also has a copy of the "Application for Permit" filed by Aggregate Industries for a new mine to the south of the present operation (M-2004-044). It is the City of Brighton's request that this application be held until an inspection of the Tuscan mine is completed and remediation of all compliance issues are completed. The City has several concerns with the application. Aggregate Industries proposes to stock pile overburden near 12310 E. 168th Ave in piles approximately 300 feet long, 100 feet wide and 30 feet high. This storage method will lead to significant erosion/runoff problems and real dust generation. Their plan specifically calls for NO chemical or vegetation dust control

methods to be employed if the piles are to be "active" for less than one year. Movement of one shovel of material in each pile per year would allow them to employ NO control method for the entire life of the mine. This is a practice the City finds unacceptable

The reclamation plan calls for concurrent reclaiming of each mined area. The plan is to sell the pits for water storage. To meet this plan, Aggregate Industries will only grade the area around the pit, plant "dry land grasses" on these areas, and plant some cottonwood trees along the South Platte River. When the pits are full all reclamation would be complete. The City requests that Aggregate Industries evaluate the impacts on the Morgan Smith Nature area, which is quite close to this mining area.

Aggregate Industries also proposes to remove approximately 27 acres from the current mine and include this area in the new mine. This area to be reclaimed as wet land and upland meadow. If this is included in the new mine the area will not be reclaimed for up to 28 years.

The City is well aware that your office does not consider air pollution, noise, traffic, and other "non mining" issues. However, these issues have an impact on the City of Brighton and our residents. We request that your agency established an Annual Review by you office, Adams County, and the City to assure that these negative impacts on our community do not continue.

Sincerely,



Janice E. Pawlowski
Mayor

Cc. City Council Members, City of Brighton
Adams County Board of Commissioners
Craig Tessmer, Adams County Planning & Development

March 8th, 2021

To the Adams County Commissioners,

I am writing to you today to request your consideration in approval of the Aggregate Industries application EXG2020-00001.

In October of 2019 I wrote to you requesting your denial of their application EXG2019-0001 and appreciate and support your denial of the previous application. EXG2019-0001 was a poor plan with multiple negative impacts to the residents of Adams County and the City of Brighton. The plan was thoughtless with regards to the impact the trucking of the material would have as well as the end use of the project offered nothing for the immediate residents.

I believe EXG2020-00001 is a fundamentally different approach to mining in an area such as this and Aggregate Industries has brought to you a much different plan. I do not see the need to summarize their points and would rather relay to you my personal thoughts.

The west cell will become the immediate view from my home clear and simple. This will impact my home in some manner or another and honestly I am not excited about a sand and gravel operation being there. In 2019 I wrote to you for denial of the application that ended in ponds with no public access and today the application now includes that. The residents of Adams County and Brighton will now have new open space on the south side of Hwy 7 from the parcel Aggregate Industries has offer to donate. As I learn more about the operations of the ponds directly from Aurora Water representatives, I now realize this water is a direct benefit to Adams County residents that reside within the boundary of the City of Aurora. We must also recognize, there will no longer be the truck traffic that was originally proposed.

I understand the sand and gravel operation in this location is contentious, but the applicant has brought a fundamentally different application before you, that I believe does bring benefit to the residents of the area. I know there will be dust at some point and I expect there may be some noise, but I also look forward to the watching the sunrise over a body of water that I can now go and access and make use of.

Best Regards,

Forrest Hancock
16254 Paris Way
Brighton, CO
80602

From: [Lynn Baca](#)
To: [Erica Hannah](#)
Subject: Fwd: Tuscon south
Date: Monday, March 8, 2021 5:00:09 PM

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From: Wayne Muhler <wmuhler@yahoo.com>
Sent: Monday, March 8, 2021 3:45:32 PM
To: Chaz Tedesco <CTedesco@adcogov.org>; Steve O'Doriso <SODoriso@adcogov.org>; Emma Pinter <EPinter@adcogov.org>; Lynn Baca <LBaca@adcogov.org>
Subject: Tuscon south

Please be cautious: This email was sent from outside Adams County

I tried this using the Adams County Comment link but it would not allow the post.

I am an immediate neighbor to the Tucson South mine and have adjoining property. I have several concerns with this project.

1. AI and Aurora have a very poor history as a neighbor and have not lived up to agreements with me and the county in the past.
2. A simple visit to the proposed mine site will show noxious weeds, downed fence, incomplete reclamation of the area in this permit previously mined that was not properly reclaimed (16-18 years ago). There was been little done to rectify the problems by the land owner (Aurora) or applicant AI.
3. The hydrologic data to model ground water is out of date and extremely limited. It relies on the Challenger Pit to relieve hydrologic pressure as that mine is not lined as was required, cannot currently be used as a reservoir, is currently holding ground water outside of regulation and was never completed to the original specifications. The special use permit issued by Adams County was not adhered to and no current plan is in place to remove the ground water now accumulating in the pit. As an immediate neighbor I was not ready to look at an empty 40 acre hole for my lifetime. Aurora has stated that there is no plan to fill this "reservoir" let alone an additional 250+ acres of the proposed project. If the Challenger pit is lined or slurry walled the engineering related to ground water in the application is void, as it uses the pit as a ground water pressure relief. I was personally advised that Aurora has no way to fill either reservoir and most likely will not have the ability or desire for 20 to 30 years. Another empty hole.
4. If the application is approved there will be nearly continuous slurry wall for approximately 2 miles to the north from highway 7 directly in the path of the ground water flow from west to east towards the Platt River. I already have ground water problems without this complication. This past summer my house construction project was stopped for months as a result of lack of concern for my property rights by Aurora and with no financial aid with mitigation. Their policy is to say "sue us"!
5. A simple review of the first page of the application main body (page 20) is a perfect example of the applicants disregard for the neighbors, the intelligence of the Adams county staff, and the lack of concern by the state. The picture shows uncontrolled growth of thistle, a wet area with cattails, water and a large area not restored to the original contour. This area of land has already been mined as part of the North resource, then included in the south project to delay reclamation expense. A nice slight of hand by AI.
6. When asked how the materials will be mined the answer was that the gravel will be extracted with

conventional equipment, loaders and excavators, and will be wet when mined. The only way the product will be wet is if the slurry wall leaks as it will be in place prior to mining, The pit will be dewatered and most of the product will be dry when mined. Dust?

7. Will the gravel sold be taxed in Adams or Weld County?

8. At the last hearing when the permit was denied a senior Aggregate officer said that if the permit was granted then the mining could be completed in four years or less. Did Aggregate lie then of this time?

9. When the first permit was granted by Adams county Aggregate was required to complete the screening berms and planting during the first growing season after approval. Never happened, so what is different now? I was personally promised mature landscaping, trees, and berms to shield my property. Never happened and not now proposed. Great neighbors!

10. There are NO proposed uses for the neighbors or county residents after completion, no natural contours, only big EMPTY rectangular holes to be seen for years.

11. The conveyer will be within a couple of hundred feet of Jim Hoods house and my son's house. If it follows the west boundary of the Challenger Pit It will be immediately adjoining my buildings and house as well. No screening or noise barriers. Going under E 168th Ave will again present ground water problems that are not addressed in their permit.

This is a project that offers the neighbors and Adams county no benefits, an eyesore, and at great potential cost if the project fails to meet it's promises. Would you or any of the Aggregate Corporate officers want to live on my property, or better yet buy it?

Thank you for time. Wayne



**ASSOCIATED
GENERAL
CONTRACTORS**

1114 W 7th Avenue | t: 303.388.2422
Denver, CO 80204 | f: 303.388.0936
www.agccolorado.org | info@agccolorado.org

March 8, 2021

Board of County Commissioners
4430 Adams County Pkwy
Brighton, CO 80601

Dear Commissioners,

I am writing you to express my support for the Aggregate Industries case coming to you for a decision on March 9, 2021. My support for this project is twofold. As a member of the Executive Board of the Adams County Regional Economic Partnership (ACREP), I consider myself a champion for bringing economic opportunities to Adams County. Through my involvement in ACREP, I have insight into the growth, economic activity, and the great potential for this part of the region. I know that both gravel and water resources will be incredibly important to help achieve the goals of the County and ACREP.

The second point of view that I wish to share with you is my role as President and CEO of the Associated General Contractors of Colorado. The AGC of Colorado is Colorado's leading professional association for the state's commercial building industry, representing over 600 firms. Our members are general contractors and specialty contractors who build projects that create value within our communities. Our members rely upon having access to high quality aggregate materials within a reasonable distance from their projects in order to deliver construction projects successfully. The last year has been challenging for our members as the COVID-19 pandemic created uncertainty in the market, delayed many projects, and influenced the costs of construction materials. We are hopeful that 2021 provides more certainty to help our members return to the work that they are prepared to take on to help keep our growing region competitive. Projects like the Aggregate Industries Tucson South facility will help make it possible to do so.

We understand that Aggregate Industries has taken many measures to make this facility as compatible as possible with the surrounding area including generous landscape and berm buffers, dust controls, noise mitigation, a conveyor system to eliminate the impact of trucks, reclamation that occurs as mining is completed, and a reasonable time limit to complete the project as efficiently as possible. We are also supportive of the water storage project that completes the project, as growth depends greatly on having access to adequate and reliable water resources.

It is encouraging to see the cities of Brighton and Aurora working together on this project to implement a vision for our community that includes the infrastructure needed to support growth.

Sincerely,

Michael Gifford
President & CEO
Associated General Contractors of Colorado

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	2,320,736.49
5	Golf Course Enterprise Fund	37,263.53
6	Equipment Service Fund	1,182.68
13	Road & Bridge Fund	884,073.81
19	Insurance Fund	615,164.57
24	Conservation Trust Fund	1,247.55
28	Open Space Sales Tax Fund	3,004,006.57
30	Community Dev Block Grant Fund	434,415.05
31	Head Start Fund	1,153.23
34	Comm Services Blk Grant Fund	18,765.02
35	Workforce & Business Center	4,800.00
43	Colorado Air & Space Port	70,799.61
94	Sheriff Payables	2,341.00
		<u>7,395,949.11</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007217	492573	ADVANCED URGENT CARE AND OCC M	2/24/2021	201,276.00
00007218	89295	ARVADA CITY OF	2/24/2021	161,995.00
00007221	1097317	I MILLER PRECISION OPTICAL INS	2/24/2021	4,268.00
00007222	1097323	MCGUINN CONOR MATTHEW	2/24/2021	500.00
00007227	1054420	BAWDEN JANAE A	2/25/2021	500.00
00007230	37193	CINA & CINA FORENSIC CONSULTIN	2/25/2021	10,150.00
00007232	1052521	COCREATE COEVOLVE LLC	2/25/2021	250.00
00007234	980736	DOOLEY ENTERPRISES INC	2/25/2021	77,787.50
00007239	1053457	TRANSFORMATION POINT INC	2/25/2021	250.00
00007243	1053561	SIEGEL THOMAS WEIL	2/26/2021	250.00
00756959	1140336	BITTO BISTRO	2/26/2021	7,000.00
00756960	1140326	BRUZ BEERS	2/26/2021	5,000.00
00756961	1140333	POUR TAP HOUSE	2/26/2021	3,500.00
00756962	1140353	THE FRONTIER CLUB	2/26/2021	7,000.00
00756963	1140324	6171 LLC	2/26/2021	3,500.00
00756964	1140325	AMF NORTHGLENN LANES	2/26/2021	7,000.00
00756965	1140363	ANCHOR CROSSFIT	2/26/2021	3,500.00
00756966	1140327	ASIAN INN RESTAURANT INC	2/26/2021	5,000.00
00756967	1140376	ASTI D'ITALIA	2/26/2021	5,000.00
00756968	1140369	BLACK-EYED PEA	2/26/2021	7,000.00
00756969	1140388	BLUEBIRD CAFE	2/26/2021	7,000.00
00756970	1140329	BMLL LLC	2/26/2021	7,000.00
00756971	1140330	BRANING PROPERTIES INC.	2/26/2021	5,000.00
00756972	1140383	BREWSKI'S PUB & GRILL	2/26/2021	7,000.00
00756973	1140331	CEDAR CREEK PUB	2/26/2021	7,000.00
00756974	1140332	CHINA WOK EXPRESS II INC	2/26/2021	3,500.00
00756975	1140394	COPPER RAIL BAR & GRILL	2/26/2021	7,000.00
00756976	1140381	CYCLEBAR ORCHARD PARK PLACE	2/26/2021	3,500.00
00756977	1140334	DOUGS DINER	2/26/2021	7,000.00
00756978	1140354	EL BERRINCHE'S MEXICAN RESTAUR	2/26/2021	7,000.00
00756979	1140379	EL FOGON MEXICAN GRILL & SEAFO	2/26/2021	5,000.00
00756980	1140335	FAIFO LTD.	2/26/2021	5,000.00
00756981	1140337	GREEN TARA ENTERPRISE LLC	2/26/2021	3,500.00
00756982	1140338	GRINDERS FITNESS	2/26/2021	3,500.00
00756983	1140339	GUNTHER TOODY'S NORTHGLENN LLC	2/26/2021	7,000.00
00756984	1140341	HARAMRIT LTD.	2/26/2021	3,500.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00756985	1140340	HEIDIS BROOKLYN DELI	2/26/2021	5,000.00
00756986	1140342	HEIDI'S TEST KITCHEN LLC	2/26/2021	3,500.00
00756987	1140372	HIGH COUNTRY CATERING	2/26/2021	3,500.00
00756988	1140343	HONG HONG INC	2/26/2021	3,500.00
00756989	1140387	HUHOT MONGOLIAN GRILL	2/26/2021	7,000.00
00756990	1140345	JAZZERCISE THORNTON LLC	2/26/2021	3,500.00
00756991	1140346	KINETAFIT LLC	2/26/2021	3,500.00
00756992	1140347	LAS PALMAS	2/26/2021	7,000.00
00756993	1140349	LOS SIERRA'S BAR	2/26/2021	3,500.00
00756994	1140351	MANKO SERVICE INC	2/26/2021	3,500.00
00756995	1140352	MARIES DULCERIA AND SWEETS LLC	2/26/2021	3,500.00
00756996	1140391	MICKEYS EXPRESS	2/26/2021	3,500.00
00756997	1140355	MOTHER TUCKER BREWERIES	2/26/2021	3,500.00
00756998	1140356	MT FUJI HIBACHI	2/26/2021	7,000.00
00756999	1140357	NANCY'S CAFE INC	2/26/2021	5,000.00
00757000	1140396	NEW ASIAN EXPRESS	2/26/2021	3,500.00
00757001	1140361	NORTHGLENN HEALTH AND FITNESS	2/26/2021	3,500.00
00757002	1140395	ORANGETHEORY FITNESS	2/26/2021	7,000.00
00757003	1140348	PANDA BUFFET	2/26/2021	7,000.00
00757004	1140358	PARKWAY CAFE	2/26/2021	3,500.00
00757005	1140385	PEAK MARTIAL ARTS	2/26/2021	3,500.00
00757006	1140359	PHO SAIGON LLC	2/26/2021	3,500.00
00757007	1140360	PINOCCHIO'S ITALIAN EATERY	2/26/2021	5,000.00
00757008	1140365	RANCHO CORPORATION	2/26/2021	7,000.00
00757009	1140366	RED ROOSTER CAFE INC	2/26/2021	7,000.00
00757010	1140367	REUNION COFFEE HOUSE	2/26/2021	3,500.00
00757011	1140370	ROLLING SMOKE BBQ	2/26/2021	7,000.00
00757012	1140371	SAIGON PHO & GRILL RESTAURANT	2/26/2021	3,500.00
00757013	1140364	SEOUL BBQ & SUSHI 2	2/26/2021	7,000.00
00757014	1140375	SOUL ON FIRE XERCISE LLC	2/26/2021	3,500.00
00757015	1140373	SUBWAY	2/26/2021	5,000.00
00757016	1140374	SUBWAY	2/26/2021	5,000.00
00757017	1140350	SUBWAY 56024	2/26/2021	3,500.00
00757018	1140362	SUGARFIRE SMOKE HOUSE	2/26/2021	7,000.00
00757019	1140377	SUSHI UMI LLC	2/26/2021	3,500.00
00757020	1140378	TAMALES MORENO INC	2/26/2021	3,500.00

Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757021	1140380	TAQUERIA LAS PALMAS II	2/26/2021	5,000.00
00757022	1140344	TCBY FROZEN YOGURT	2/26/2021	3,500.00
00757023	1140382	THE COURTS LLC	2/26/2021	3,500.00
00757024	1140368	THE GLENN BAR & GRILL	2/26/2021	7,000.00
00757025	1140328	THE VENUE	2/26/2021	3,500.00
00757026	1140384	THIRD CULTURE FOOD GROUP	2/26/2021	3,500.00
00757027	1140389	URSULA BREWERY	2/26/2021	3,500.00
00757028	1140390	VIETNAMESE CAFE INC	2/26/2021	7,000.00
00757029	1140392	WESTYS INC	2/26/2021	3,500.00
00757030	1140386	WHICH WICH	2/26/2021	5,000.00
00757031	1140393	WHIMSY PAINT AND SIP LLC	2/26/2021	3,500.00
00757032	1140397	ZEN ASIAN BISTRO & SUSHI INC	2/26/2021	7,000.00
00757034	1029844	ABEYTA JOSEPH AND ADRIA	2/26/2021	30.00
00757035	1139145	ACOSTA ANGELICA	2/26/2021	19.00
00757036	13884	ADAMS COUNTY SHERIFF	2/26/2021	2,276.47
00757037	91631	ADAMSON POLICE PRODUCTS	2/26/2021	1,155.38
00757043	1029821	AMERICAN EXPRESS	2/26/2021	50.00
00757044	858413	AMTECH SOLUTIONS INCORPORATED	2/26/2021	5,025.00
00757045	1137462	ANDERSON LEAH	2/26/2021	500.00
00757046	498573	ARBORFORCE LLC	2/26/2021	47,188.03
00757047	322973	ARMORED KNIGHTS INC	2/26/2021	63.91
00757051	46309	BELLCO	2/26/2021	300.00
00757052	3020	BENNETT TOWN OF	2/26/2021	2,000.00
00757054	1040417	BIRDSEED COLLECTIVE	2/26/2021	4,999.50
00757055	673295	BODIE ENGER LAW TRUST	2/26/2021	19.00
00757056	1119276	BOLDPLANNING INC	2/26/2021	9,800.00
00757057	463401	BUSH MELVIN E	2/26/2021	65.00
00757058	726898	CA SHORT COMPANY	2/26/2021	23,545.49
00757059	1139141	CALLAGHAN LAW PLLC	2/26/2021	19.00
00757062	1136680	CERTICHEX LLC	2/26/2021	658.35
00757068	2381	COLO ANALYTICAL LABORATORY	2/26/2021	1,507.00
00757070	5050	COLO DIST ATTORNEY COUNCIL	2/26/2021	900.00
00757071	5050	COLO DIST ATTORNEY COUNCIL	2/26/2021	3,239.50
00757076	255001	COPYCO QUALITY PRINTING INC	2/26/2021	6,600.00
00757077	42984	CORECIVIC INC	2/26/2021	281,177.32
00757078	810159	CORHIO	2/26/2021	310.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757079	437554	CSU EXTENSION	2/26/2021	791.50
00757081	237568	DESIGN WORKSHOP	2/26/2021	35,895.00
00757084	1131323	DICKS SPORTING GOODS PARK	2/26/2021	1,873.54
00757085	1115302	DISCOUNT TIRE	2/26/2021	300.00
00757086	808844	DUPRIEST JOHN FIELDEN	2/26/2021	65.00
00757087	35867	ELDORADO ARTESIAN SPRINGS INC	2/26/2021	22.00
00757088	650729	ELEMENTS	2/26/2021	3,018.75
00757090	13136	EMPLOYERS COUNCIL SERVICES INC	2/26/2021	6,000.00
00757093	13454	FEDERAL EXPRESS CO	2/26/2021	20.21
00757094	47723	FEDEX	2/26/2021	267.42
00757095	1139138	FINGER DEREK	2/26/2021	139.00
00757097	339325	FLEXENTIAL PROFESSIONAL SERVIC	2/26/2021	3,700.02
00757098	698569	FOREST SEAN	2/26/2021	65.00
00757099	426777	FRANCY LAW FIRM	2/26/2021	57.00
00757101	293118	GARNER, ROSIE	2/26/2021	65.00
00757102	1004844	GPS SERVERS LLC	2/26/2021	19.00
00757103	675517	GREEN THOMAS D	2/26/2021	65.00
00757104	808845	GRONQUIST, CHRISTOPHER L	2/26/2021	65.00
00757105	698488	HANCOCK FORREST HAYES	2/26/2021	65.00
00757106	970284	HARNETT OWEN	2/26/2021	65.00
00757108	14991	HELTON & WILLIAMSEN PC	2/26/2021	918.75
00757110	8721	HILL & ROBBINS	2/26/2021	920.00
00757111	10864	HILLYARD - DENVER	2/26/2021	199.60
00757113	418327	IC CHAMBERS LP	2/26/2021	6,992.00
00757114	675514	IMPROVEMENT ASSURANCE GROUP	2/26/2021	7,000.00
00757116	44965	INTERVENTION COMMUNITY CORRECT	2/26/2021	98,163.92
00757117	535598	JACHIMIAK PETERSON LLC	2/26/2021	9,999.00
00757118	1139137	JACOBSON JEFFREY	2/26/2021	19.00
00757119	10467	JEFFERSON COUNTY HUMAN SERVICE	2/26/2021	2,350.00
00757120	62528	JEFFERSON COUNTY SHERIFF'S CIV	2/26/2021	10.85
00757125	1139143	KANSAS CHILD SUPPORT SERVICES	2/26/2021	19.00
00757126	1139142	KREUTZER JOSEPH	2/26/2021	66.00
00757127	1020086	LABORATORY CORPORATION OF AMER	2/26/2021	12,220.75
00757128	192058	LADWIG MICHAEL V MD PC	2/26/2021	1,084.00
00757129	48078	LARIMER COUNTY COMMUNITY CORRE	2/26/2021	399.50
00757130	36861	LEXIS NEXIS MATTHEW BENDER	2/26/2021	50.44

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757132	975291	MADDUX THOMAS SCOTT	2/26/2021	65.00
00757133	810888	MARTINEZ JUSTIN PAUL	2/26/2021	65.00
00757134	38338	MCKAY LORI A	2/26/2021	321.00
00757135	1039410	MECSTAT LABORATORIES	2/26/2021	390.00
00757136	871154	MEI TOTAL ELEVATOR SOLUTIONS	2/26/2021	28,750.78
00757137	1033585	MEXICAN CULTURAL CENTER	2/26/2021	3,750.00
00757138	1139139	MID-MINNESOTA LEGAL AID	2/26/2021	19.00
00757140	357044	MILE HIGH FLEA MARKET	2/26/2021	40.00
00757141	32947	MOBILE STORAGE SOLUTIONS	2/26/2021	5,286.16
00757142	1068447	MOORE IACOFANO GOLTSMAN INC	2/26/2021	12,644.62
00757144	10992	NATL ASSN OF EXTRADITION OFFIC	2/26/2021	475.00
00757145	570347	NELSON AND KENNARD	2/26/2021	19.00
00757146	16428	NICOLETTI-FLATER ASSOCIATES	2/26/2021	5,085.00
00757147	573416	NYHOLM STEWART E	2/26/2021	65.00
00757148	1132732	OKANE JOSEPH	2/26/2021	19.00
00757149	473343	PALEO DNA	2/26/2021	1,050.00
00757150	516994	PARK 12 HUNDRED OWNERS ASSOCIA	2/26/2021	16,149.88
00757151	192059	POINT SPORTS/ERGOMED	2/26/2021	1,440.00
00757153	53054	RICHARDSON SHARON	2/26/2021	65.00
00757154	1129845	ROSE DAVID E	2/26/2021	65.00
00757155	1029870	SANTIAGOS MEXICAN RESTURANT	2/26/2021	25.00
00757156	1139144	SCHEEF & STONE LLP	2/26/2021	19.00
00757157	574170	SCHULTZ PUBLIC AFFAIRS LLC	2/26/2021	5,416.67
00757158	1065396	SCS INC	2/26/2021	49,556.44
00757161	13538	SHRED IT USA LLC	2/26/2021	328.80
00757162	668994	SIEMENS INDUSTRY INC	2/26/2021	94,585.00
00757163	268307	SOUTH PLATTE WATER RELATED ACT	2/26/2021	100.08
00757164	51001	SOUTHLAND MEDICAL LLC	2/26/2021	1,966.99
00757165	1029881	SPRINT CUSTOMER FINANCE SERVIC	2/26/2021	50.00
00757166	315130	STANFIELD THOMSON	2/26/2021	65.00
00757168	42818	STATE OF COLORADO	2/26/2021	22.09
00757169	42818	STATE OF COLORADO	2/26/2021	20.06
00757170	42818	STATE OF COLORADO	2/26/2021	55.40
00757171	42818	STATE OF COLORADO	2/26/2021	592.23
00757172	42818	STATE OF COLORADO	2/26/2021	18.22
00757173	42818	STATE OF COLORADO	2/26/2021	226.39

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757174	42818	STATE OF COLORADO	2/26/2021	710.42
00757175	42818	STATE OF COLORADO	2/26/2021	8,854.34
00757176	42818	STATE OF COLORADO	2/26/2021	215.42
00757177	42818	STATE OF COLORADO	2/26/2021	1,811.82
00757178	42818	STATE OF COLORADO	2/26/2021	2.89
00757179	42818	STATE OF COLORADO	2/26/2021	18.58
00757180	42818	STATE OF COLORADO	2/26/2021	40.74
00757181	42818	STATE OF COLORADO	2/26/2021	268.59
00757182	42818	STATE OF COLORADO	2/26/2021	1,144.66
00757183	42818	STATE OF COLORADO	2/26/2021	6,245.88
00757184	42818	STATE OF COLORADO	2/26/2021	9.88
00757185	42818	STATE OF COLORADO	2/26/2021	25.10
00757186	42818	STATE OF COLORADO	2/26/2021	99.18
00757187	42818	STATE OF COLORADO	2/26/2021	580.32
00757188	102754	SUMMIT PATHOLOGY	2/26/2021	2,512.50
00757189	52553	SWEEP STAKES UNLIMITED	2/26/2021	45.00
00757190	52553	SWEEP STAKES UNLIMITED	2/26/2021	45.00
00757191	1139140	SWENSEN ANDREW	2/26/2021	19.00
00757192	426037	SWIRE COCA-COLA USA	2/26/2021	703.68
00757193	644904	SYNERGETIC STAFFING LLC	2/26/2021	10,080.68
00757195	618144	T&G PECOS LLC	2/26/2021	1,800.00
00757198	385142	THOMPSON GREGORY PAUL	2/26/2021	65.00
00757199	22538	THOMSON REUTERS - WEST	2/26/2021	846.00
00757200	22538	THOMSON REUTERS - WEST	2/26/2021	282.00
00757201	22538	THOMSON REUTERS - WEST	2/26/2021	724.00
00757202	22538	THOMSON REUTERS - WEST	2/26/2021	455.60
00757203	1094	TRI COUNTY HEALTH DEPT	2/26/2021	318,457.50
00757204	1094	TRI COUNTY HEALTH DEPT	2/26/2021	318,457.50
00757208	1007	UNITED POWER (UNION REA)	2/26/2021	58.29
00757231	20730	UNITED STATES POSTAL SERVICE	2/26/2021	74.40
00757233	51179	UPS	2/26/2021	1,050.59
00757236	28566	VERIZON WIRELESS	2/26/2021	370.79
00757237	28617	VERIZON WIRELESS	2/26/2021	2,337.05
00757239	1136702	VOS COMPANY LIMITED	2/26/2021	2,200.00
00757241	1029886	WALMART	2/26/2021	30.00
00757242	1067	WESTMINSTER CITY OF	2/26/2021	3,600.00

County of Adams
Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757245	13822	XCEL ENERGY	2/26/2021	36.58
Fund Total				2,320,736.49

County of Adams
Net Warrants by Fund Detail

5 **Golf Course Enterprise Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007223	6177	PROFESSIONAL RECREATION MGMT I	2/24/2021	33,240.55
00007242	6177	PROFESSIONAL RECREATION MGMT I	2/26/2021	4,022.98
Fund Total				37,263.53

County of Adams
Net Warrants by Fund Detail

6 **Equipment Service Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757115	682207	INSIGHT AUTO GLASS LLC	2/26/2021	377.08
00757196	790907	THE GOODYEAR TIRE AND RUBBER C	2/26/2021	805.60
Fund Total				<hr/> 1,182.68

Net Warrants by Fund Detail

13

Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757041	411865	ALFRED BENESCH & CO	2/26/2021	1,303.50
00757042	12012	ALSCO AMERICAN INDUSTRIAL	2/26/2021	835.36
00757053	49497	BFI TOWER ROAD LANDFILL	2/26/2021	3,410.25
00757061	814272	CENTRAL SALT LLC	2/26/2021	11,882.57
00757063	911022	CHATO'S CONCRETE LLC	2/26/2021	26,803.93
00757065	43659	CINTAS FIRST AID & SAFETY	2/26/2021	166.72
00757067	2305	COBITCO INC	2/26/2021	203.28
00757074	421767	COMPASS MINERALS AMERICA INC	2/26/2021	18,303.96
00757082	237568	DESIGN WORKSHOP	2/26/2021	16,900.30
00757091	13569	ENVIROTECH SERVICES INC	2/26/2021	22,683.67
00757107	1031255	HEI CIVIL	2/26/2021	611,790.47
00757112	435508	HUITT-ZOLLARS INC	2/26/2021	1,577.50
00757121	28851	JR ENGINEERING LTD	2/26/2021	80,674.69
00757206	595135	ULTEIG ENGINEERS INC	2/26/2021	22,107.64
00757209	1007	UNITED POWER (UNION REA)	2/26/2021	46.32
00757210	1007	UNITED POWER (UNION REA)	2/26/2021	193.12
00757211	1007	UNITED POWER (UNION REA)	2/26/2021	33.00
00757212	1007	UNITED POWER (UNION REA)	2/26/2021	33.00
00757213	1007	UNITED POWER (UNION REA)	2/26/2021	33.00
00757214	1007	UNITED POWER (UNION REA)	2/26/2021	108.37
00757215	1007	UNITED POWER (UNION REA)	2/26/2021	206.07
00757216	1007	UNITED POWER (UNION REA)	2/26/2021	457.34
00757217	1007	UNITED POWER (UNION REA)	2/26/2021	104.86
00757218	1007	UNITED POWER (UNION REA)	2/26/2021	68.00
00757219	1007	UNITED POWER (UNION REA)	2/26/2021	320.15
00757220	1007	UNITED POWER (UNION REA)	2/26/2021	340.59
00757221	1007	UNITED POWER (UNION REA)	2/26/2021	40.51
00757222	1007	UNITED POWER (UNION REA)	2/26/2021	107.29
00757223	1007	UNITED POWER (UNION REA)	2/26/2021	118.50
00757224	1007	UNITED POWER (UNION REA)	2/26/2021	141.21
00757225	1007	UNITED POWER (UNION REA)	2/26/2021	84.31
00757226	1007	UNITED POWER (UNION REA)	2/26/2021	33.00
00757227	1007	UNITED POWER (UNION REA)	2/26/2021	48.28
00757228	1007	UNITED POWER (UNION REA)	2/26/2021	66.00
00757229	1007	UNITED POWER (UNION REA)	2/26/2021	72.00
00757230	1007	UNITED POWER (UNION REA)	2/26/2021	176.98

Net Warrants by Fund Detail

13**Road & Bridge Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757232	283725	UNIVERSAL FIELD SERVICES INC	2/26/2021	18,000.00
00757234	158184	UTILITY NOTIFICATION CENTER OF	2/26/2021	166.32
00757240	13082	W L CONTRACTORS INC	2/26/2021	8,047.36
00757244	378074	WORK WEAR SAFETY SHOES	2/26/2021	4,926.28
00757246	13822	XCEL ENERGY	2/26/2021	114.86
00757247	13822	XCEL ENERGY	2/26/2021	50.86
00757248	13822	XCEL ENERGY	2/26/2021	182.76
00757249	13822	XCEL ENERGY	2/26/2021	11.78
00757250	13822	XCEL ENERGY	2/26/2021	121.38
00757251	13822	XCEL ENERGY	2/26/2021	89.97
00757252	13822	XCEL ENERGY	2/26/2021	66.56
00757253	13822	XCEL ENERGY	2/26/2021	118.73
00757254	13822	XCEL ENERGY	2/26/2021	25,805.14
00757255	13822	XCEL ENERGY	2/26/2021	4,855.59
00757256	13822	XCEL ENERGY	2/26/2021	40.48
Fund Total				884,073.81

Net Warrants by Fund Detail

19 Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007224	523053	TRISTAR RISK MANAGEMENT	2/24/2021	17,281.50
00007240	37223	UNITED HEALTH CARE INSURANCE C	2/25/2021	421,624.30
00757033	1117066	AB LITIGATION SERVICES	2/26/2021	748.85
00757038	331018	AED AUTHORITY	2/26/2021	7,995.00
00757048	27429	ARTHUR J GALLAGHER	2/26/2021	48.00
00757049	27429	ARTHUR J GALLAGHER	2/26/2021	11,021.00
00757060	419839	CAREHERE LLC	2/26/2021	62,145.80
00757072	17565	COLO FRAME & SUSPENSION	2/26/2021	2,706.00
00757080	13663	DELTA DENTAL OF COLORADO	2/26/2021	60.80
00757089	219503	ELKUS & SISSON PC AND	2/26/2021	5,112.50
00757096	947425	FIRST AMERICAN ADMINISTRATORS	2/26/2021	8.85
00757100	1139543	FUENTES AND ESQUIVEL PA	2/26/2021	60,000.00
00757109	537346	HERHOLD MARK	2/26/2021	249.47
00757122	8031	JUDICIAL ARBITER GROUP INC	2/26/2021	4,000.00
00757124	13593	KAISER PERMANENTE	2/26/2021	3,414.55
00757139	1107281	MILE HIGH COURT REPORTING & VI	2/26/2021	1,495.25
00757143	61886	NATHAN DUMM & MAYER PC	2/26/2021	6,948.49
00757160	1031727	SGR	2/26/2021	15.00
00757167	1139664	STATE FARM MUTUAL AUTO INS CO	2/26/2021	9,411.21
00757207	37507	UNITED HEALTHCARE	2/26/2021	722.72
00757235	35731	VERIZON	2/26/2021	105.28
00757243	35947	WOLFE, RODNEY L	2/26/2021	50.00
Fund Total				615,164.57

County of Adams
Net Warrants by Fund Detail

24

Conservation Trust Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757039	13074	ALBERT FREI & SONS INC	2/26/2021	1,247.55
Fund Total				1,247.55

Net Warrants by Fund Detail

28Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007219	1019665	BRIGHTON CITY OF	2/24/2021	146,042.49
00007225	89295	ARVADA CITY OF	2/25/2021	42,248.64
00007226	1075498	AURORA CITY OF	2/25/2021	576,924.58
00007228	1019666	BENNETT TOWN OF	2/25/2021	26,074.80
00007229	1019665	BRIGHTON CITY OF	2/25/2021	341,902.53
00007233	89299	COMMERCE CITY CITY OF	2/25/2021	401,889.54
00007235	43148	FEDERAL HEIGHTS CITY OF	2/25/2021	69,202.86
00007236	48293	NORTHGLENN CITY OF	2/25/2021	200,042.64
00007238	43150	THORNTON CITY OF	2/25/2021	790,874.43
00007241	89411	WESTMINSTER CITY OF	2/25/2021	408,804.06
			Fund Total	3,004,006.57

Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007220	1019665	BRIGHTON CITY OF	2/24/2021	168,826.60
00007237	866134	PG CONSTRUCTION SERVICES INC	2/25/2021	4,174.00
00757064	911022	CHATO'S CONCRETE LLC	2/26/2021	255,535.45
00757197	1102556	THE MARRIAGE AND FAMILY CLINIC	2/26/2021	5,879.00
Fund Total				434,415.05

County of Adams
Net Warrants by Fund Detail

31 **Head Start Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757083	1052031	DFA DAIRY BRANDS CORPORATE LLC	2/26/2021	311.85
00757194	13770	SYSCO DENVER	2/26/2021	841.38
Fund Total				1,153.23

Net Warrants by Fund Detail

34Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757092	8818069	FAMILY TREE INC	2/26/2021	1,499.23
00757152	189016	PROJECT ANGEL HEART	2/26/2021	11,078.90
00757159	58925	SERVICIOS DE LA RAZA INC	2/26/2021	6,186.89
Fund Total				18,765.02

County of Adams
Net Warrants by Fund Detail

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Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757075	1483	COMPUTER SYSTEMS DESIGN	2/26/2021	4,800.00
Fund Total				4,800.00

Net Warrants by Fund Detail

43Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007231	709816	CITY SERVICEVALCON LLC	2/25/2021	45,337.96
00757040	88281	ALBERTS WATER & WASTEWATER SER	2/26/2021	726.72
00757050	351622	AURORA WATER	2/26/2021	2,571.06
00757123	204737	JVIATION, A WOOLPERT COMPANY	2/26/2021	5,745.00
00757131	1139546	LXC STRATEGIES INC	2/26/2021	5,000.00
00757205	80271	TWS AVIATION FUEL SYSTEMS	2/26/2021	9,204.77
00757238	80279	VERIZON WIRELESS	2/26/2021	581.25
00757257	13822	XCEL ENERGY	2/26/2021	11.95
00757258	13822	XCEL ENERGY	2/26/2021	564.14
00757259	13822	XCEL ENERGY	2/26/2021	1,056.76
Fund Total				70,799.61

Net Warrants by Fund Detail

94Sheriff Payables

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00757066	95935	CLERK OF THE COUNTY COURT	2/26/2021	1,010.00
00757069	92474	COLO DEPT OF HUMAN SERVICES	2/26/2021	1,230.00
00757073	44915	COLO JUDICIAL DEPT	2/26/2021	101.00
Fund Total				2,341.00

County of Adams
Net Warrants by Fund Detail

Grand Total 7,395,949.11

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety - Equipment					
	AED AUTHORITY	00019	990906	385323	2/23/2021	<u>7,995.00</u>
					Account Total	<u>7,995.00</u>
					Department Total	<u><u>7,995.00</u></u>

County of Adams
Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	THOMSON REUTERS - WEST	00001	990787	385116	2/19/2021	<u>282.00</u>
					Account Total	<u>282.00</u>
					Department Total	<u><u>282.00</u></u>

County of Adams
Vendor Payment Report

<u>1044</u>	<u>CA- SS Dependency/Neglect</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	THOMSON REUTERS - WEST	00001	990788	385116	2/19/2021	<u>724.00</u>
					Account Total	<u>724.00</u>
					Department Total	<u><u>724.00</u></u>

County of Adams
Vendor Payment Report

<u>9263</u>	<u>CARES Act Funding</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ARVADA CITY OF	00001	990818	385204	2/22/2021	161,995.00
					Account Total	161,995.00
	Operating Supplies					
	JEFFERSON COUNTY HUMAN SERVICE	00001	991293	385411	2/24/2021	2,350.00
	SYNERGETIC STAFFING LLC	00001	990782	385116	2/19/2021	355.20
	SYNERGETIC STAFFING LLC	00001	990783	385116	2/19/2021	2,960.00
	SYNERGETIC STAFFING LLC	00001	990784	385116	2/19/2021	2,662.92
	SYNERGETIC STAFFING LLC	00001	990785	385116	2/19/2021	4,102.56
					Account Total	12,430.68
					Department Total	174,425.68

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	VERIZON WIRELESS	00043	990901	385320	2/23/2021	541.24
					Account Total	541.24
					Department Total	541.24

County of Adams
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fuel Farm					
	TWS AVIATION FUEL SYSTEMS	00043	991039	385396	2/24/2021	9,204.77
					Account Total	9,204.77
	Telephone					
	VERIZON WIRELESS	00043	990901	385320	2/23/2021	40.01
					Account Total	40.01
					Department Total	9,244.78

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	991227	385410	2/24/2021	295.60
	XCEL ENERGY	00043	991227	385410	2/24/2021	268.54
	XCEL ENERGY	00043	991225	385410	2/24/2021	11.95
					Account Total	<u>576.09</u>
					Department Total	<u><u>576.09</u></u>

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	BRIGHTON CITY OF	00030	990738	384999	2/18/2021	137,866.60
	BRIGHTON CITY OF	00030	990739	385000	2/18/2021	30,960.00
	THE MARRIAGE AND FAMILY CLINIC	00030	990698	384950	2/17/2021	5,879.00
					Account Total	174,705.60
	Grants to Other Institutions					
	PG CONSTRUCTION SERVICES INC	00030	988826	382478	1/15/2021	4,174.00
					Account Total	4,174.00
					Department Total	178,879.60

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990998	385391	2/24/2021	<u>6,000.00</u>
					Account Total	<u>6,000.00</u>
					Department Total	<u><u>6,000.00</u></u>

County of Adams
Vendor Payment Report

<u>1023</u>	<u>CLK Motor Vehicle</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	991000	385391	2/24/2021	228.80
					Account Total	228.80
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	990999	385391	2/24/2021	600.00
					Account Total	600.00
					Department Total	828.80

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CITY SERVICEVALCON LLC	00043	991313	385500	2/25/2021	27,594.35
	CITY SERVICEVALCON LLC	00043	991314	385500	2/25/2021	17,743.61
	JVIATION, A WOOLPERT COMPANY	00043	990951	385364	2/24/2021	5,745.00
					Account Total	<u>51,082.96</u>
					Department Total	<u><u>51,082.96</u></u>

County of Adams
Vendor Payment Report

<u>30</u>	<u>Community Dev Block Grant Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	CHATO'S CONCRETE LLC	00030	991321	385574	2/26/2021	268,984.68
					Account Total	<u>268,984.68</u>
	Retainages Payable					
	CHATO'S CONCRETE LLC	00030	991321	385574	2/26/2021	13,449.23-
					Account Total	<u>13,449.23-</u>
					Department Total	<u><u>255,535.45</u></u>

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	BITTO BISTRO	00001	991373	385609	2/26/2021	7,000.00
	BRUZ BEERS	00001	991363	385609	2/26/2021	5,000.00
	POUR TAP HOUSE	00001	991370	385609	2/26/2021	3,500.00
	THE FRONTIER CLUB	00001	991390	385609	2/26/2021	7,000.00
	6171 LLC	00001	991361	385609	2/26/2021	3,500.00
	AMF NORTHGLENN LANES	00001	991362	385609	2/26/2021	7,000.00
	ANCHOR CROSSFIT	00001	991400	385609	2/26/2021	3,500.00
	ASIAN INN RESTAURANT INC	00001	991364	385609	2/26/2021	5,000.00
	ASTI D'ITALIA	00001	991413	385609	2/26/2021	5,000.00
	BLACK-EYED PEA	00001	991406	385609	2/26/2021	7,000.00
	BLUEBIRD CAFE	00001	991425	385609	2/26/2021	7,000.00
	BMLL LLC	00001	991366	385609	2/26/2021	7,000.00
	BRANING PROPERTIES INC.	00001	991367	385609	2/26/2021	5,000.00
	BREWSKI'S PUB & GRILL	00001	991420	385609	2/26/2021	7,000.00
	CEDAR CREEK PUB	00001	991368	385609	2/26/2021	7,000.00
	CHINA WOK EXPRESS II INC	00001	991369	385609	2/26/2021	3,500.00
	COPPER RAIL BAR & GRILL	00001	991431	385609	2/26/2021	7,000.00
	CYCLEBAR ORCHARD PARK PLACE	00001	991418	385609	2/26/2021	3,500.00
	DOUGS DINER	00001	991371	385609	2/26/2021	7,000.00
	EL BERRINCHE'S MEXICAN RESTAUR	00001	991391	385609	2/26/2021	7,000.00
	EL FOGON MEXICAN GRILL & SEAFO	00001	991416	385609	2/26/2021	5,000.00
	FAIFO LTD.	00001	991372	385609	2/26/2021	5,000.00
	GREEN TARA ENTERPRISE LLC	00001	991374	385609	2/26/2021	3,500.00
	GRINDERS FITNESS	00001	991375	385609	2/26/2021	3,500.00
	GUNTHER TOODY'S NORTHGLENN LLC	00001	991376	385609	2/26/2021	7,000.00
	HARAMRIT LTD.	00001	991378	385609	2/26/2021	3,500.00
	HEIDIS BROOKLYN DELI	00001	991377	385609	2/26/2021	5,000.00
	HEIDI'S TEST KITCHEN LLC	00001	991379	385609	2/26/2021	3,500.00
	HIGH COUNTRY CATERING	00001	991409	385609	2/26/2021	3,500.00
	HONG HONG INC	00001	991380	385609	2/26/2021	3,500.00
	HUHOT MONGOLIAN GRILL	00001	991424	385609	2/26/2021	7,000.00
	JAZZERCISE THORNTON LLC	00001	991382	385609	2/26/2021	3,500.00
	KINETAFIT LLC	00001	991383	385609	2/26/2021	3,500.00
	LAS PALMAS	00001	991384	385609	2/26/2021	7,000.00
	LOS SIERRA'S BAR	00001	991386	385609	2/26/2021	3,500.00

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MANKO SERVICE INC	00001	991388	385609	2/26/2021	3,500.00
	MARIES DULCERIA AND SWEETS LLC	00001	991389	385609	2/26/2021	3,500.00
	MICKEYS EXPRESS	00001	991428	385609	2/26/2021	3,500.00
	MOTHER TUCKER BREWERIES	00001	991392	385609	2/26/2021	3,500.00
	MT FUJI HIBACHI	00001	991393	385609	2/26/2021	7,000.00
	NANCY'S CAFE INC	00001	991394	385609	2/26/2021	5,000.00
	NEW ASIAN EXPRESS	00001	991433	385609	2/26/2021	3,500.00
	NORTHGLENN HEALTH AND FITNESS	00001	991398	385609	2/26/2021	3,500.00
	ORANGETHEORY FITNESS	00001	991432	385609	2/26/2021	7,000.00
	PANDA BUFFET	00001	991385	385609	2/26/2021	7,000.00
	PARKWAY CAFE	00001	991395	385609	2/26/2021	3,500.00
	PEAK MARTIAL ARTS	00001	991422	385609	2/26/2021	3,500.00
	PHO SAIGON LLC	00001	991396	385609	2/26/2021	3,500.00
	PINOCCHIO'S ITALIAN EATERY	00001	991397	385609	2/26/2021	5,000.00
	RANCHO CORPORATION	00001	991402	385609	2/26/2021	7,000.00
	RED ROOSTER CAFE INC	00001	991403	385609	2/26/2021	7,000.00
	REUNION COFFEE HOUSE	00001	991404	385609	2/26/2021	3,500.00
	ROLLING SMOKE BBQ	00001	991407	385609	2/26/2021	7,000.00
	SAIGON PHO & GRILL RESTAURANT	00001	991408	385609	2/26/2021	3,500.00
	SEOUL BBQ & SUSHI 2	00001	991401	385609	2/26/2021	7,000.00
	SOUL ON FIRE XERCISE LLC	00001	991412	385609	2/26/2021	3,500.00
	SUBWAY	00001	991410	385609	2/26/2021	5,000.00
	SUBWAY	00001	991411	385609	2/26/2021	5,000.00
	SUBWAY 56024	00001	991387	385609	2/26/2021	3,500.00
	SUGARFIRE SMOKE HOUSE	00001	991399	385609	2/26/2021	7,000.00
	SUSHI UMI LLC	00001	991414	385609	2/26/2021	3,500.00
	TAMALES MORENO INC	00001	991415	385609	2/26/2021	3,500.00
	TAQUERIA LAS PALMAS II	00001	991417	385609	2/26/2021	5,000.00
	TCBY FROZEN YOGURT	00001	991381	385609	2/26/2021	3,500.00
	THE COURTS LLC	00001	991419	385609	2/26/2021	3,500.00
	THE GLENN BAR & GRILL	00001	991405	385609	2/26/2021	7,000.00
	THE VENUE	00001	991365	385609	2/26/2021	3,500.00
	THIRD CULTURE FOOD GROUP	00001	991421	385609	2/26/2021	3,500.00
	URSULA BREWERY	00001	991426	385609	2/26/2021	3,500.00
	VIETNAMESE CAFE INC	00001	991427	385609	2/26/2021	7,000.00
	WESTYS INC	00001	991429	385609	2/26/2021	3,500.00

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	WHICH WICH	00001	991423	385609	2/26/2021	5,000.00
	WHIMSY PAINT AND SIP LLC	00001	991430	385609	2/26/2021	3,500.00
	ZEN ASIAN BISTRO & SUSHI INC	00001	991434	385609	2/26/2021	7,000.00
					Account Total	366,000.00
	Special Events					
	DICKS SPORTING GOODS PARK	00001	990885	385316	2/23/2021	1,873.54
					Account Total	1,873.54
					Department Total	367,873.54

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	THOMSON REUTERS - WEST	00001	990786	385116	2/19/2021	846.00
					Account Total	846.00
	Messenger/Delivery Service					
	FEDERAL EXPRESS CO	00001	990781	385116	2/19/2021	20.21
					Account Total	20.21
	Other Professional Serv					
	SWEEP STAKES UNLIMITED	00001	990904	385323	2/23/2021	45.00
	SWEEP STAKES UNLIMITED	00001	990905	385323	2/23/2021	45.00
					Account Total	90.00
					Department Total	956.21

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	990828	385295	2/23/2021	10,150.00
					Account Total	10,150.00
	Operating Supplies					
	ELDORADO ARTESIAN SPRINGS INC	00001	990852	385300	2/23/2021	22.00
	SOUTHLAND MEDICAL LLC	00001	990856	385300	2/23/2021	1,837.66
	SOUTHLAND MEDICAL LLC	00001	990857	385300	2/23/2021	129.33
					Account Total	1,988.99
	Other Professional Serv					
	FEDEX	00001	990865	385300	2/23/2021	48.70
	FEDEX	00001	990866	385300	2/23/2021	12.31
	FEDEX	00001	990867	385300	2/23/2021	91.09
	FEDEX	00001	990868	385300	2/23/2021	82.35
	FEDEX	00001	990870	385300	2/23/2021	32.97
	LABORATORY CORPORATION OF AMER	00001	990858	385300	2/23/2021	12,220.75
	LEXIS NEXIS MATTHEW BENDER	00001	990855	385300	2/23/2021	50.44
	MCGUINN CONOR MATTHEW	00001	990810	385198	2/22/2021	500.00
	MECSTAT LABORATORIES	00001	990853	385300	2/23/2021	195.00
	MECSTAT LABORATORIES	00001	990854	385300	2/23/2021	195.00
	NICOLETTI-FLATER ASSOCIATES	00001	990859	385300	2/23/2021	5,085.00
	PALEO DNA	00001	990851	385300	2/23/2021	1,050.00
	SUMMIT PATHOLOGY	00001	990850	385300	2/23/2021	2,512.50
	THOMSON REUTERS - WEST	00001	990862	385300	2/23/2021	455.60
	UPS	00001	990860	385300	2/23/2021	439.52
	UPS	00001	990861	385300	2/23/2021	611.07
					Account Total	23,582.30
	Subscrip/Publications					
	CORHIO	00001	990863	385300	2/23/2021	310.00
					Account Total	310.00
					Department Total	36,031.29

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	FAMILY TREE INC	00034	990617	384923	2/17/2021	1,499.23
	PROJECT ANGEL HEART	00034	990619	384923	2/17/2021	11,078.90
	SERVICIOS DE LA RAZA INC	00034	990618	384923	2/17/2021	6,186.89
					Account Total	<u>18,765.02</u>
					Department Total	<u><u>18,765.02</u></u>

County of Adams
Vendor Payment Report

<u>6021</u>	<u>CT- Trails- Plan/Design Const</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	ALBERT FREI & SONS INC	00024	990675	384933	2/17/2021	834.45
	ALBERT FREI & SONS INC	00024	990676	384933	2/17/2021	413.10
					Account Total	<u>1,247.55</u>
					Department Total	<u><u>1,247.55</u></u>

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	MCKAY LORI A	00001	990961	385386	2/24/2021	321.00
					Account Total	321.00
	Education & Training					
	NATL ASSN OF EXTRADITION OFFIC	00001	990997	385386	2/24/2021	475.00
					Account Total	475.00
	Other Professional Serv					
	JEFFERSON COUNTY SHERIFF'S CIV	00001	990960	385386	2/24/2021	10.85
					Account Total	10.85
					Department Total	806.85

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT AUTO GLASS LLC	00006	991221	385406	2/24/2021	215.30
	INSIGHT AUTO GLASS LLC	00006	991222	385406	2/24/2021	161.78
	THE GOODYEAR TIRE AND RUBBER C	00006	991223	385406	2/24/2021	593.20
	THE GOODYEAR TIRE AND RUBBER C	00006	991224	385406	2/24/2021	212.40
					Account Total	<u>1,182.68</u>
					Department Total	<u><u>1,182.68</u></u>

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	CSU EXTENSION	00001	991311	385499	2/18/2021	<u>791.50</u>
					Account Total	<u>791.50</u>
					Department Total	<u><u>791.50</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	IC CHAMBERS LP	00001	991318	385506	2/25/2021	6,992.00
					Account Total	6,992.00
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	990973	385389	2/24/2021	58.29
					Account Total	58.29
					Department Total	7,050.29

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	MEI TOTAL ELEVATOR SOLUTIONS	00001	990970	385389	2/24/2021	9,896.16
					Account Total	9,896.16
					Department Total	9,896.16

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Repair & Maint					
	PARK 12 HUNDRED OWNERS ASSOCIA	00001	990972	385389	2/24/2021	16,149.88
					Account Total	16,149.88
					Department Total	16,149.88

County of Adams
Vendor Payment Report

<u>1019</u>	<u>FO - Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	UNITED STATES POSTAL SERVICE	00001	990959	385385	2/24/2021	<u>74.40</u>
					Account Total	<u>74.40</u>
					Department Total	<u><u>74.40</u></u>

County of Adams
Vendor Payment Report

<u>1123</u>	<u>FO - Riverdale Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO ANALYTICAL LABORATORY	00001	990966	385389	2/24/2021	1,227.00
	COLO ANALYTICAL LABORATORY	00001	990968	385389	2/24/2021	280.00
					Account Total	<u>1,507.00</u>
					Department Total	<u><u>1,507.00</u></u>

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Diversion Restitution Payable					
	ABEYTA JOSEPH AND ADRIA	00001	990971	385386	2/24/2021	30.00
	AMERICAN EXPRESS	00001	990962	385386	2/24/2021	50.00
	ANDERSON LEAH	00001	990974	385386	2/24/2021	500.00
	BELLCO	00001	990964	385386	2/24/2021	300.00
	DISCOUNT TIRE	00001	990965	385386	2/24/2021	300.00
	MILE HIGH FLEA MARKET	00001	990975	385386	2/24/2021	40.00
	SANTIAGOS MEXICAN RESTURANT	00001	990977	385386	2/24/2021	25.00
	SPRINT CUSTOMER FINANCE SERVIC	00001	990979	385386	2/24/2021	50.00
	WALMART	00001	990980	385386	2/24/2021	30.00
					Account Total	1,325.00
	Received not Vouchered Clrg					
	ADAMSON POLICE PRODUCTS	00001	991065	385388	2/24/2021	123.25
	ADAMSON POLICE PRODUCTS	00001	991066	385388	2/24/2021	111.55
	ADAMSON POLICE PRODUCTS	00001	991067	385388	2/24/2021	111.55
	ADAMSON POLICE PRODUCTS	00001	991068	385388	2/24/2021	142.10
	ADAMSON POLICE PRODUCTS	00001	991069	385388	2/24/2021	235.19
	ADAMSON POLICE PRODUCTS	00001	991070	385388	2/24/2021	162.84
	ADAMSON POLICE PRODUCTS	00001	991071	385388	2/24/2021	124.95
	ADAMSON POLICE PRODUCTS	00001	991072	385388	2/24/2021	143.95
	ADVANCED URGENT CARE AND OCC M	00001	990898	385322	2/23/2021	96,638.00
	ADVANCED URGENT CARE AND OCC M	00001	990899	385322	2/23/2021	104,638.00
	AMTECH SOLUTIONS INCORPORATED	00001	991058	385388	2/24/2021	2,625.00
	AMTECH SOLUTIONS INCORPORATED	00001	991059	385388	2/24/2021	2,400.00
	ARBORFORCE LLC	00001	990939	385364	2/24/2021	10,662.06
	ARBORFORCE LLC	00001	990940	385364	2/24/2021	3,479.84
	ARBORFORCE LLC	00001	990941	385364	2/24/2021	19,111.06
	ARBORFORCE LLC	00001	990941	385364	2/24/2021	10,919.95
	ARBORFORCE LLC	00001	990942	385364	2/24/2021	3,015.12
	ARMORED KNIGHTS INC	00001	990952	385364	2/24/2021	63.91
	BAWDEN JANA E A	00001	991310	385500	2/25/2021	250.00
	BAWDEN JANA E A	00001	991310	385500	2/25/2021	250.00
	BIRDSEED COLLECTIVE	00001	991076	385388	2/24/2021	4,999.50
	BOLDPLANNING INC	00001	991226	385406	2/24/2021	9,800.00
	CA SHORT COMPANY	00001	990953	385364	2/24/2021	4,550.00

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	CA SHORT COMPANY	00001	990954	385364	2/24/2021	18,543.50
	CA SHORT COMPANY	00001	990955	385364	2/24/2021	451.99
	COCREATE COEVOLVE LLC	00001	991316	385500	2/25/2021	250.00
	COLO DIST ATTORNEY COUNCIL	00001	990912	385364	2/24/2021	3,239.50
	CORECIVIC INC	00001	990916	385364	2/24/2021	70,165.48
	CORECIVIC INC	00001	990917	385364	2/24/2021	66,179.40
	CORECIVIC INC	00001	990918	385364	2/24/2021	17,121.72
	CORECIVIC INC	00001	990919	385364	2/24/2021	8,536.88
	CORECIVIC INC	00001	990920	385364	2/24/2021	571.00
	CORECIVIC INC	00001	990921	385364	2/24/2021	418.00
	CORECIVIC INC	00001	990922	385364	2/24/2021	1,746.00
	CORECIVIC INC	00001	990923	385364	2/24/2021	4,038.50
	CORECIVIC INC	00001	990924	385364	2/24/2021	7,367.80
	CORECIVIC INC	00001	990925	385364	2/24/2021	6,175.30
	CORECIVIC INC	00001	990926	385364	2/24/2021	1,425.00
	CORECIVIC INC	00001	990927	385364	2/24/2021	1,695.30
	CORECIVIC INC	00001	990928	385364	2/24/2021	32,612.80
	CORECIVIC INC	00001	990929	385364	2/24/2021	45,466.08
	CORECIVIC INC	00001	990930	385364	2/24/2021	11,249.66
	CORECIVIC INC	00001	990931	385364	2/24/2021	1,918.40
	CORECIVIC INC	00001	990932	385364	2/24/2021	3,836.80
	CORECIVIC INC	00001	990934	385364	2/24/2021	479.60
	CORECIVIC INC	00001	990935	385364	2/24/2021	173.60
	DESIGN WORKSHOP	00001	991322	385574	2/26/2021	34,253.95
	DESIGN WORKSHOP	00001	991322	385574	2/26/2021	1,641.05
	DOOLEY ENTERPRISES INC	00001	991315	385500	2/25/2021	77,787.50
	ELEMENTS	00001	991319	385510	2/25/2021	3,018.75
	FLEXENTIAL PROFESSIONAL SERVIC	00001	991082	385388	2/24/2021	3,700.02
	HELTON & WILLIAMSEN PC	00001	991081	385388	2/24/2021	918.75
	HILL & ROBBINS	00001	990907	385364	2/24/2021	857.75
	HILL & ROBBINS	00001	990907	385364	2/24/2021	62.25
	HILLYARD - DENVER	00001	991077	385388	2/24/2021	199.60
	I MILLER PRECISION OPTICAL INS	00001	990900	385322	2/23/2021	4,268.00
	IMPROVEMENT ASSURANCE GROUP	00001	991096	385406	2/24/2021	7,000.00
	INTERVENTION COMMUNITY CORRECT	00001	991078	385388	2/24/2021	3,360.00
	INTERVENTION COMMUNITY CORRECT	00001	991079	385388	2/24/2021	1,007.16

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	INTERVENTION COMMUNITY CORRECT	00001	991074	385388	2/24/2021	1,486.76
	INTERVENTION COMMUNITY CORRECT	00001	991075	385388	2/24/2021	1,639.76
	INTERVENTION COMMUNITY CORRECT	00001	991083	385406	2/24/2021	2,014.32
	INTERVENTION COMMUNITY CORRECT	00001	991084	385406	2/24/2021	50,990.84
	INTERVENTION COMMUNITY CORRECT	00001	991085	385406	2/24/2021	6,587.00
	INTERVENTION COMMUNITY CORRECT	00001	991086	385406	2/24/2021	31,078.08
	JACHIMIAK PETERSON LLC	00001	990909	385364	2/24/2021	2,932.83
	JACHIMIAK PETERSON LLC	00001	990909	385364	2/24/2021	7,066.17
	LARIMER COUNTY COMMUNITY CORRE	00001	990913	385364	2/24/2021	399.50
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	1,866.65
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	242.07
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	525.00
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	242.33
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	12,156.04
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	484.14
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	1,210.35
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	1,189.46
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	252.57
	MEI TOTAL ELEVATOR SOLUTIONS	00001	991097	385406	2/24/2021	686.01
	MEXICAN CULTURAL CENTER	00001	990789	385118	2/19/2021	750.00
	MEXICAN CULTURAL CENTER	00001	990790	385118	2/19/2021	750.00
	MEXICAN CULTURAL CENTER	00001	990791	385118	2/19/2021	750.00
	MEXICAN CULTURAL CENTER	00001	990792	385118	2/19/2021	750.00
	MEXICAN CULTURAL CENTER	00001	990793	385118	2/19/2021	750.00
	MOBILE STORAGE SOLUTIONS	00001	991323	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991324	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991325	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991326	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991327	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991328	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991329	385574	2/26/2021	448.88
	MOBILE STORAGE SOLUTIONS	00001	991330	385574	2/26/2021	994.00
	MOBILE STORAGE SOLUTIONS	00001	991331	385574	2/26/2021	1,150.00
	MOORE IACOFANO GOLTSMAN INC	00001	991356	385585	2/26/2021	3,192.50
	MOORE IACOFANO GOLTSMAN INC	00001	991357	385585	2/26/2021	2,748.00
	MOORE IACOFANO GOLTSMAN INC	00001	991358	385585	2/26/2021	6,704.12

County of Adams
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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	NATHAN DUMM & MAYER PC	00001	990910	385364	2/24/2021	6,893.68
	SCHULTZ PUBLIC AFFAIRS LLC	00001	991334	385574	2/26/2021	5,416.67
	SCS INC	00001	991035	385388	2/24/2021	47,153.44
	SCS INC	00001	991035	385388	2/24/2021	2,403.00
	SIEGEL THOMAS WEIL	00001	991464	385638	2/26/2021	250.00
	SIEMENS INDUSTRY INC	00001	990963	385388	2/24/2021	94,585.00
	STATE OF COLORADO	00001	991040	385388	2/24/2021	55.40
	STATE OF COLORADO	00001	991041	385388	2/24/2021	592.23
	STATE OF COLORADO	00001	991042	385388	2/24/2021	18.22
	STATE OF COLORADO	00001	991043	385388	2/24/2021	226.39
	STATE OF COLORADO	00001	991044	385388	2/24/2021	710.42
	STATE OF COLORADO	00001	991045	385388	2/24/2021	8,854.34
	STATE OF COLORADO	00001	991046	385388	2/24/2021	215.42
	STATE OF COLORADO	00001	991047	385388	2/24/2021	1,811.82
	STATE OF COLORADO	00001	991048	385388	2/24/2021	2.89
	STATE OF COLORADO	00001	991049	385388	2/24/2021	18.58
	STATE OF COLORADO	00001	991050	385388	2/24/2021	40.74
	STATE OF COLORADO	00001	991051	385388	2/24/2021	268.59
	STATE OF COLORADO	00001	991052	385388	2/24/2021	1,144.66
	STATE OF COLORADO	00001	991053	385388	2/24/2021	6,245.88
	STATE OF COLORADO	00001	991054	385388	2/24/2021	9.88
	STATE OF COLORADO	00001	991055	385388	2/24/2021	25.10
	STATE OF COLORADO	00001	991056	385388	2/24/2021	99.18
	STATE OF COLORADO	00001	991057	385388	2/24/2021	580.32
	STATE OF COLORADO	00001	991037	385388	2/24/2021	22.09
	STATE OF COLORADO	00001	991038	385388	2/24/2021	20.06
	T&G PECOS LLC	00001	991073	385388	2/24/2021	1,800.00
	TRANSFORMATION POINT INC	00001	991309	385500	2/25/2021	250.00
	TRI COUNTY HEALTH DEPT	00001	991332	385574	2/26/2021	318,457.50
	TRI COUNTY HEALTH DEPT	00001	991333	385574	2/26/2021	318,457.50
	VOS COMPANY LIMITED	00001	991307	385496	2/25/2021	2,200.00
					Account Total	<u>1,679,854.57</u>
					Department Total	<u><u>1,681,179.57</u></u>

County of Adams
Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	WESTMINSTER CITY OF	00001	990773	385110	2/19/2021	<u>3,600.00</u>
					Account Total	<u>3,600.00</u>
					Department Total	<u><u>3,600.00</u></u>

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<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	13,406.09
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	1,696.03
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	432.37
					Account Total	15,534.49
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	50.00
					Account Total	50.00
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	229.92
					Account Total	229.92
					Department Total	15,814.41

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<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	9,750.29
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	1,217.02
					Account Total	10,967.31
	Equipment Rental					
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	450.20
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	153.00
					Account Total	603.20
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	373.36
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	740.90
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	103.30
					Account Total	1,217.56
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	5,084.39
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	61.66
					Account Total	5,146.05
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	150.00
					Account Total	150.00
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	944.00
					Account Total	944.00
	Repair & Maint Supplies					
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	342.00
					Account Total	342.00
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	647.50
	PROFESSIONAL RECREATION MGMT I	00005	990895	385318	2/23/2021	647.50
					Account Total	1,295.00
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	68.10
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	80.48

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	148.58
	Water/Sewer/Sanitation					
	PROFESSIONAL RECREATION MGMT I	00005	990847	385298	2/23/2021	635.42
					Account Total	635.42
					Department Total	21,449.12

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DFA DAIRY BRANDS CORPORATE LLC	00031	990945	385364	2/24/2021	59.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	990946	385364	2/24/2021	59.40
	DFA DAIRY BRANDS CORPORATE LLC	00031	990947	385364	2/24/2021	29.70
	DFA DAIRY BRANDS CORPORATE LLC	00031	990948	385364	2/24/2021	74.25
	DFA DAIRY BRANDS CORPORATE LLC	00031	990949	385364	2/24/2021	89.10
	SYSCO DENVER	00031	990915	385364	2/24/2021	769.26
	SYSCO DENVER	00031	990915	385364	2/24/2021	72.12
					Account Total	1,153.23
					Department Total	1,153.23

County of Adams
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	991303	385477	2/25/2021	722.72
					Account Total	<u>722.72</u>
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	991294	385475	2/25/2021	421,624.30
					Account Total	<u>421,624.30</u>
					Department Total	<u><u>422,347.02</u></u>

County of Adams
Vendor Payment Report

<u>8622</u>	<u>Insurance -Benefits & Wellness</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	VERIZON	00019	990884	385314	2/23/2021	105.28
					Account Total	105.28
					Department Total	105.28

County of Adams
Vendor Payment Report

<u>8614</u>	<u>Insurance- Delta Dental</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	DELTA DENTAL OF COLORADO	00019	991304	385477	2/25/2021	30.40
	DELTA DENTAL OF COLORADO	00019	991304	385477	2/25/2021	7.60
	DELTA DENTAL OF COLORADO	00019	991304	385477	2/25/2021	3.80
	DELTA DENTAL OF COLORADO	00019	991304	385477	2/25/2021	15.20
	DELTA DENTAL OF COLORADO	00019	991304	385477	2/25/2021	3.80
					Account Total	60.80
					Department Total	60.80

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	COBRA Medical - Kaiser Ins.					
	KAISER PERMANENTE	00019	991302	385477	2/25/2021	3,414.55
					Account Total	3,414.55
	Received not Vouchered Clrg					
	ARTHUR J GALLAGHER	00019	990956	385364	2/24/2021	48.00
	ARTHUR J GALLAGHER	00019	990957	385364	2/24/2021	11,021.00
	CAREHERE LLC	00019	990978	385388	2/24/2021	21,664.79
	CAREHERE LLC	00019	990976	385388	2/24/2021	40,481.01
	COLO FRAME & SUSPENSION	00019	990958	385364	2/24/2021	2,706.00
	NATHAN DUMM & MAYER PC	00019	990910	385364	2/24/2021	54.81
	TRISTAR RISK MANAGEMENT	00019	990933	385322	2/24/2021	17,281.50
					Account Total	93,257.11
	Suspense - Misc. Clearing					
	WOLFE, RODNEY L	00019	5408	385007	2/18/2021	50.00
					Account Total	50.00
					Department Total	96,721.66

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	STATE FARM MUTUAL AUTO INS CO	00019	991091	385407	2/24/2021	9,411.21
					Account Total	9,411.21
	General Liab - Other than Prop					
	AB LITIGATION SERVICES	00019	991088	385407	2/24/2021	748.85
	ELKUS & SISSON PC AND	00019	990780	385116	2/19/2021	5,112.50
	FUENTES AND ESQUIVEL PA	00019	990914	385365	2/24/2021	60,000.00
	JUDICIAL ARBITER GROUP INC	00019	990936	385366	2/24/2021	4,000.00
	MILE HIGH COURT REPORTING & VI	00019	991089	385407	2/24/2021	957.75
	MILE HIGH COURT REPORTING & VI	00019	991090	385407	2/24/2021	537.50
	SGR	00019	990903	385323	2/23/2021	15.00
					Account Total	71,371.60
	Prop Claims-Under Deduct					
	HERHOLD MARK	00019	990902	385323	2/23/2021	249.47
					Account Total	249.47
					Department Total	81,032.28

County of Adams
Vendor Payment Report

<u>9253</u>	<u>Office of Cultural Affairs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BENNETT TOWN OF	00001	990996	385392	2/24/2021	2,000.00
					Account Total	2,000.00
					Department Total	2,000.00

County of Adams
Vendor Payment Report

<u>6203</u>	<u>Open Space Tax- Cities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Payments To Cities-Sales Taxes					
	ARVADA CITY OF	00028	990886	385317	2/23/2021	42,248.64
	AURORA CITY OF	00028	990887	385317	2/23/2021	576,924.58
	BENNETT TOWN OF	00028	990889	385317	2/23/2021	26,074.80
	BRIGHTON CITY OF	00028	990888	385317	2/23/2021	341,902.53
	COMMERCE CITY CITY OF	00028	990890	385317	2/23/2021	401,889.54
	FEDERAL HEIGHTS CITY OF	00028	990891	385317	2/23/2021	69,202.86
	NORTHGLENN CITY OF	00028	990892	385317	2/23/2021	200,042.64
	THORNTON CITY OF	00028	990893	385317	2/23/2021	790,874.43
	WESTMINSTER CITY OF	00028	990894	385317	2/23/2021	408,804.06
					Account Total	2,857,964.08
					Department Total	2,857,964.08

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BRIGHTON CITY OF	00028	990758	385103	2/19/2021	146,042.49
					Account Total	146,042.49
					Department Total	146,042.49

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	EMPLOYERS COUNCIL SERVICES INC	00001	990883	385314	2/23/2021	<u>6,000.00</u>
					Account Total	<u>6,000.00</u>
					Department Total	<u><u>6,000.00</u></u>

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990677	384933	2/17/2021	80.02
					Account Total	80.02
					Department Total	80.02

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Assessment Payments					
	SOUTH PLATTE WATER RELATED ACT	00001	990757	385097	2/19/2021	<u>100.08</u>
					Account Total	<u>100.08</u>
					Department Total	<u><u>100.08</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Event Services					
	SWIRE COCA-COLA USA	00001	990878	385308	2/23/2021	703.68
					Account Total	703.68
	Other Communications					
	VERIZON WIRELESS	00001	990879	385308	2/23/2021	200.20
					Account Total	200.20
					Department Total	903.88

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	990678	384933	2/17/2021	<u>90.57</u>
					Account Total	<u>90.57</u>
					Department Total	<u><u>90.57</u></u>

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	990679	384933	2/17/2021	<u>36.58</u>
					Account Total	<u>36.58</u>
					Department Total	<u><u>36.58</u></u>

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUSH MELVIN E	00001	991300	385476	2/25/2021	65.00
	DUPRIEST JOHN FIELDEN	00001	990744	385025	2/18/2021	65.00
	FOREST SEAN	00001	990745	385025	2/18/2021	65.00
	GARNER, ROSIE	00001	990746	385025	2/18/2021	65.00
	GREEN THOMAS D	00001	991299	385476	2/25/2021	65.00
	GRONQUIST, CHRISTOPHER L	00001	991301	385476	2/25/2021	65.00
	HANCOCK FORREST HAYES	00001	991295	385476	2/25/2021	65.00
	HARNETT OWEN	00001	991297	385476	2/25/2021	65.00
	MADDUX THOMAS SCOTT	00001	990750	385025	2/18/2021	65.00
	MARTINEZ JUSTIN PAUL	00001	990747	385025	2/18/2021	65.00
	NYHOLM STEWART E	00001	991298	385476	2/25/2021	65.00
	RICHARDSON SHARON	00001	990748	385025	2/18/2021	65.00
	ROSE DAVID E	00001	990751	385025	2/18/2021	65.00
	STANFIELD THOMSON	00001	991296	385476	2/25/2021	65.00
	THOMPSON GREGORY PAUL	00001	990749	385025	2/18/2021	65.00
					Account Total	975.00
					Department Total	975.00

County of Adams
Vendor Payment Report

<u>3031</u>	<u>PW - Operations & Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00013	991001	385394	2/24/2021	46.32
	UNITED POWER (UNION REA)	00013	991002	385394	2/24/2021	193.12
	UNITED POWER (UNION REA)	00013	991003	385394	2/24/2021	33.00
	UNITED POWER (UNION REA)	00013	991004	385394	2/24/2021	33.00
	UNITED POWER (UNION REA)	00013	991005	385394	2/24/2021	33.00
	UNITED POWER (UNION REA)	00013	991006	385394	2/24/2021	108.37
	UNITED POWER (UNION REA)	00013	991007	385394	2/24/2021	206.07
	UNITED POWER (UNION REA)	00013	991008	385394	2/24/2021	457.34
	UNITED POWER (UNION REA)	00013	991009	385394	2/24/2021	104.86
	UNITED POWER (UNION REA)	00013	991010	385394	2/24/2021	68.00
	UNITED POWER (UNION REA)	00013	991011	385394	2/24/2021	320.15
	UNITED POWER (UNION REA)	00013	991012	385394	2/24/2021	340.59
	UNITED POWER (UNION REA)	00013	991013	385394	2/24/2021	40.51
	UNITED POWER (UNION REA)	00013	991014	385394	2/24/2021	107.29
	UNITED POWER (UNION REA)	00013	991015	385394	2/24/2021	118.50
	UNITED POWER (UNION REA)	00013	991016	385394	2/24/2021	141.21
	UNITED POWER (UNION REA)	00013	991017	385394	2/24/2021	84.31
	UNITED POWER (UNION REA)	00013	991018	385394	2/24/2021	33.00
	UNITED POWER (UNION REA)	00013	991019	385394	2/24/2021	48.28
	UNITED POWER (UNION REA)	00013	991020	385394	2/24/2021	66.00
	UNITED POWER (UNION REA)	00013	991021	385394	2/24/2021	72.00
	UNITED POWER (UNION REA)	00013	991022	385394	2/24/2021	176.98
	XCEL ENERGY	00013	991023	385394	2/24/2021	114.86
	XCEL ENERGY	00013	991024	385394	2/24/2021	50.86
	XCEL ENERGY	00013	991025	385394	2/24/2021	182.76
	XCEL ENERGY	00013	991026	385394	2/24/2021	11.78
	XCEL ENERGY	00013	991027	385394	2/24/2021	121.38
	XCEL ENERGY	00013	991028	385394	2/24/2021	89.97
	XCEL ENERGY	00013	991029	385394	2/24/2021	66.56
	XCEL ENERGY	00013	991030	385394	2/24/2021	118.73
	XCEL ENERGY	00013	991031	385394	2/24/2021	25,805.14
	XCEL ENERGY	00013	991032	385394	2/24/2021	4,855.59
	XCEL ENERGY	00013	991033	385394	2/24/2021	40.48

Account Total

34,290.01

County of Adams
Vendor Payment Report

<u>3031</u>	<u>PW - Operations & Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00013	990982	385390	2/24/2021	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	990983	385390	2/24/2021	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	990984	385390	2/24/2021	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	990985	385390	2/24/2021	93.92
	ALSCO AMERICAN INDUSTRIAL	00013	990986	385390	2/24/2021	102.77
	ALSCO AMERICAN INDUSTRIAL	00013	990987	385390	2/24/2021	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	990988	385390	2/24/2021	93.90
	ALSCO AMERICAN INDUSTRIAL	00013	990989	385390	2/24/2021	102.77
	ALSCO AMERICAN INDUSTRIAL	00013	990990	385390	2/24/2021	88.40
	CINTAS FIRST AID & SAFETY	00013	990991	385390	2/24/2021	166.72
					Account Total	1,002.08
	Road Oil					
	COBITCO INC	00013	990992	385390	2/24/2021	84.70
	COBITCO INC	00013	990993	385390	2/24/2021	38.72
	COBITCO INC	00013	990994	385390	2/24/2021	79.86
					Account Total	203.28
	Traffic Signal Maintenance					
	UTILITY NOTIFICATION CENTER OF	00013	990995	385390	2/24/2021	166.32
					Account Total	166.32
					Department Total	35,661.69

County of Adams
Vendor Payment Report

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	FIRST AMERICAN ADMINISTRATORS	00019	991305	385477	2/25/2021	6.49
	FIRST AMERICAN ADMINISTRATORS	00019	991305	385477	2/25/2021	.59
	FIRST AMERICAN ADMINISTRATORS	00019	991305	385477	2/25/2021	1.77
					Account Total	<u>8.85</u>
					Department Total	<u><u>8.85</u></u>

County of Adams
Vendor Payment Report

13	Road & Bridge Fund	Fund	Voucher	Batch No	GL Date	Amount
Received not Vouchered Clrg						
	ALFRED BENESCH & CO	00013	991095	385406	2/24/2021	1,303.50
	BFI TOWER ROAD LANDFILL	00013	991346	385585	2/26/2021	837.75
	BFI TOWER ROAD LANDFILL	00013	991347	385585	2/26/2021	517.65
	BFI TOWER ROAD LANDFILL	00013	991348	385585	2/26/2021	2,054.85
	CENTRAL SALT LLC	00013	991349	385585	2/26/2021	2,017.76
	CENTRAL SALT LLC	00013	991061	385388	2/24/2021	1,938.75
	CENTRAL SALT LLC	00013	991062	385388	2/24/2021	4,082.78
	CENTRAL SALT LLC	00013	991063	385388	2/24/2021	1,976.22
	CENTRAL SALT LLC	00013	991064	385388	2/24/2021	1,867.06
	COMPASS MINERALS AMERICA INC	00013	991350	385585	2/26/2021	4,610.46
	COMPASS MINERALS AMERICA INC	00013	991351	385585	2/26/2021	2,817.36
	COMPASS MINERALS AMERICA INC	00013	991352	385585	2/26/2021	4,135.12
	COMPASS MINERALS AMERICA INC	00013	991353	385585	2/26/2021	2,228.68
	COMPASS MINERALS AMERICA INC	00013	991354	385585	2/26/2021	4,512.34
	DESIGN WORKSHOP	00013	990950	385364	2/24/2021	16,900.30
	ENVIROTECH SERVICES INC	00013	991060	385388	2/24/2021	22,683.67
	HEI CIVIL	00013	991092	385406	2/24/2021	643,989.97
	HUITT-ZOLLARS INC	00013	990908	385364	2/24/2021	1,577.50
	JR ENGINEERING LTD	00013	990944	385364	2/24/2021	80,674.69
	ULTEIG ENGINEERS INC	00013	990911	385364	2/24/2021	22,107.64
	UNIVERSAL FIELD SERVICES INC	00013	991320	385574	2/26/2021	18,000.00
	W L CONTRACTORS INC	00013	991036	385388	2/24/2021	8,047.36
	WORK WEAR SAFETY SHOES	00013	991355	385585	2/26/2021	4,926.28
Account Total						853,807.69
Retainages Payable						
	CHATO'S CONCRETE LLC	00013	990981	385388	2/24/2021	15,000.00
	CHATO'S CONCRETE LLC	00013	990981	385388	2/24/2021	11,803.93
	HEI CIVIL	00013	991092	385406	2/24/2021	32,199.50-
Account Total						5,395.57-
Department Total						848,412.12

County of Adams
Vendor Payment Report

<u>94</u>	<u>Sheriff Payables</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Brain Trust					
	COLO DEPT OF HUMAN SERVICES	00094	990880	385309	2/23/2021	1,230.00
					Account Total	1,230.00
	Family Friendly Fee					
	COLO JUDICIAL DEPT	00094	990882	385309	2/23/2021	101.00
					Account Total	101.00
	State Surcharge					
	CLERK OF THE COUNTY COURT	00094	990881	385309	2/23/2021	1,010.00
					Account Total	1,010.00
					Department Total	2,341.00

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	SHRED IT USA LLC	00001	990816	385203	2/22/2021	100.00
					Account Total	100.00
	Other Professional Serv					
	LADWIG MICHAEL V MD PC	00001	990815	385203	2/22/2021	828.00
	POINT SPORTS/ERGOMED	00001	990814	385203	2/22/2021	1,440.00
					Account Total	2,268.00
					Department Total	2,368.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ACOSTA ANGELICA	00001	990809	385187	2/22/2021	19.00
	BODIE ENGER LAW TRUST	00001	990797	385187	2/22/2021	19.00
	CALLAGHAN LAW PLLC	00001	990805	385187	2/22/2021	19.00
	FINGER DEREK	00001	990802	385187	2/22/2021	139.00
	FRANCY LAW FIRM	00001	990794	385187	2/22/2021	19.00
	FRANCY LAW FIRM	00001	990795	385187	2/22/2021	19.00
	FRANCY LAW FIRM	00001	990796	385187	2/22/2021	19.00
	GPS SERVERS LLC	00001	990798	385187	2/22/2021	19.00
	JACOBSON JEFFREY	00001	990801	385187	2/22/2021	19.00
	KANSAS CHILD SUPPORT SERVICES	00001	990807	385187	2/22/2021	19.00
	KREUTZER JOSEPH	00001	990806	385187	2/22/2021	66.00
	MID-MINNESOTA LEGAL AID	00001	990803	385187	2/22/2021	19.00
	NELSON AND KENNARD	00001	990799	385187	2/22/2021	19.00
	OKANE JOSEPH	00001	990800	385187	2/22/2021	19.00
	SCHEEF & STONE LLP	00001	990808	385187	2/22/2021	19.00
	SWENSEN ANDREW	00001	990804	385187	2/22/2021	19.00
					Account Total	471.00
					Department Total	471.00

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Minor Equipment					
	VERIZON WIRELESS	00001	990817	385203	2/22/2021	399.98
					Account Total	399.98
	Other Communications					
	VERIZON WIRELESS	00001	990817	385203	2/22/2021	1,937.07
					Account Total	1,937.07
					Department Total	<u>2,337.05</u>

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	CERTICHEX LLC	00001	990812	385203	2/22/2021	658.35
					Account Total	658.35
	Other Professional Serv					
	LADWIG MICHAEL V MD PC	00001	990815	385203	2/22/2021	256.00
					Account Total	256.00
					Department Total	914.35

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	COLO DIST ATTORNEY COUNCIL	00001	990813	385203	2/22/2021	900.00
					Account Total	<u>900.00</u>
					Department Total	<u><u>900.00</u></u>

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Extraditions					
	ADAMS COUNTY SHERIFF	00001	990811	385203	2/22/2021	<u>2,276.47</u>
					Account Total	<u>2,276.47</u>
					Department Total	<u><u>2,276.47</u></u>

County of Adams
Vendor Payment Report

<u>4315</u>	<u>Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	LXC STRATEGIES INC	00043	991034	385395	2/24/2021	<u>5,000.00</u>
					Account Total	<u>5,000.00</u>
					Department Total	<u><u>5,000.00</u></u>

County of Adams
Vendor Payment Report

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Maint & Repair					
	ALBERTS WATER & WASTEWATER SER	00043	990896	385320	2/23/2021	480.00
	ALBERTS WATER & WASTEWATER SER	00043	990896	385320	2/23/2021	107.52
	ALBERTS WATER & WASTEWATER SER	00043	990896	385320	2/23/2021	139.20
					Account Total	726.72
	Gas & Electricity					
	XCEL ENERGY	00043	991228	385410	2/24/2021	1,056.76
					Account Total	1,056.76
	Water/Sewer/Sanitation					
	AURORA WATER	00043	990897	385320	2/23/2021	2,571.06
					Account Total	2,571.06
					Department Total	4,354.54

County of Adams
Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMPUTER SYSTEMS DESIGN	00035	990943	385364	2/24/2021	<u>4,800.00</u>
					Account Total	<u>4,800.00</u>
					Department Total	<u><u>4,800.00</u></u>

County of Adams
Vendor Payment Report

Grand Total 7,395,949.11



**Board of County Commissioners
Minutes of Commissioners' Proceedings**

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5

**Tuesday
March 02, 2021
9:30 AM**

1. ROLL CALL

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Pinter, seconded by Commissioner O'Dorisio, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT

A. Citizen Communication

Public Comment Submitted for March 2, 2021

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter,
Commissioner O'Dorisio, and Commissioner Baca

- A.** List of Expenditures Under the Dates of February 08-12, 2021
- B.** List of Expenditures Under the Dates of February 15-19, 2021
- C.** Minutes of the Commissioners' Proceedings from February 23, 2021
- D.** Resolution Approving Encroachment Agreement between Hyland Hills Park and Recreation District and Adams County for Improvements in County Right-of-Way
(File approved by ELT)
- E.** Resolution Accepting Warranty Deed Conveying Property from Christina E. Montano to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- F.** Resolution Accepting Quitclaim Deed Conveying Property from Maria Torres and Victor Manual Escobar Torres to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- G.** Resolution Accepting Quitclaim Deed Conveying Property from Alejandro Covarrubias to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- H.** Resolution Accepting Special Warranty Deed Conveying Property from Arthur R Hoenighausen and Patricia N Hoenighausen to Adams County for the Dedication of Road Right-of-Way
(File approved by ELT)
- I.** Resolution Approving the Tax Year 2020 Colorado Parks and Wildlife Impact Assistance Grant Application
(File approved by ELT)
- J.** Resolution Approving Intergovernmental Agreement between the Board of County Commissioners of the County of Adams and Commerce City Housing Authority Regarding Disbursement of Emergency Rental Assistance Funds
(File approved by ELT)
- K.** Resolution Appointing Ericka Hernandez to the Cultural Council
(File approved by ELT)
- L.** Resolution Appointing Jesse Martinez to the Cultural Council
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Approving an Agreement between Adams County and Short-Elliott-Hendrickson, Inc., to Provide Professional Engineering Services for 88th Avenue Bridge Over Wolf Creek Project
(File approved by ELT)
A motion was made by Commissioner O'Doriso, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

2. Resolution Approving an Agreement between Adams County and Colorado Paving, Inc., for the 2021 Miscellaneous Concrete and ADA Ramps Program
(File approved by ELT)
A motion was made by Commissioner Baca, seconded by Commissioner O'Doriso, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

3. Resolution Approving Amendment Four to the Agreement between Adams County and Access Housing, Inc., to Provide Housing Services
(File approved by ELT)
A motion was made by Commissioner Pinter, seconded by Commissioner O'Doriso, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

B. COUNTY ATTORNEY

8. **Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) and (e) for the Purpose of Receiving Legal Advice and Instructing Negotiators Regarding Murray Claim**

A motion was made by Commissioner O'Doriso, seconded by Commissioner Tedesco, that this Executive Session be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Baca

9. LAND USE HEARINGS

A. Cases to be Heard

1. PRC2020-00010 Sherrelwood Village PUD Amendment
(File approved by ELT)
A motion was made by Commissioner Pinter, seconded by Commissioner O'Dorisio, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

Nay: 1 - Commissioner Tedesco

2. RCU2020-00027 Henderson Pit Recycling
(File approved by ELT)
A motion was made by Commissioner O'Dorisio, seconded by Commissioner Baca, that this Land Use Hearing be denied. The motion carried by the following vote:

Aye: 4 - Commissioner Henry, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

Absent: 1 - Commissioner Tedesco

10. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 9, 2021
SUBJECT: IGA between City of Thornton, City of Commerce City, and Adams County for Preliminary Engineering and Environmental Design of the 104 th Avenue Widening Project
FROM: Kristin Sullivan, AICP, Director of Public Works
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an intergovernmental agreement with the Cities of Thornton and Commerce City for the Preliminary Engineering and Environmental Design for the 104 th Avenue Widening Project

BACKGROUND:

The City of Thornton is seeking to widen 104th Avenue from Colorado Boulevard to US 85 from two to four lanes. Thornton is requesting a cost-share for the Preliminary Engineering and Environmental Design portions of the project from the City of Commerce City and Adams County.

The 104th Avenue corridor is a major east-west connector linking residents from western Adams County and Interstate 25 to northern Commerce City, Brighton, and other destinations in and around the Denver International Airport and Colorado Air and Space Port.

The City of Thornton submitted the 104th Avenue widening project for consideration by the AdCOG Subregional Transportation Forum in early 2019. The funding request was for \$1.6 million. Once approved, the project was submitted to DRCOG for inclusion in the FY 2020-2023 Transportation Improvement Program (TIP) as "104th Ave. Widening: Colorado Boulevard to US 85 Preconstruction Activities". The DRCOG Board approved the FY 2020-2023 TIP in August 2019.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department
City of Thornton
City of Commerce City

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3056

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	3056	30561901	\$100,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u> </u> <u> </u> \$100,000

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

The summary of cost sharing for this project is:

\$1,600,000 Federal STP-M Funds; and
\$100,000 Adams County; and
\$100,000 City of Commerce City; and
\$200,000 City of Thornton

RESOLUTION APPROVING AN INTERGOVERNMENTAL AGREEMENT BETWEEN
THE CITY OF THORNTON, COMMERCE CITY, AND THE COUNTY OF ADAMS TO
PROVIDE PRELIMINARY ENGINEERING AND ENVIRONMENTAL DESIGN FOR THE
WIDENING OF 104th AVENUE PROJECT

WHEREAS, Section 18(2)(a) of Article XIV of the Colorado Constitution, as well as Sections 29-1-201, *et seq.*, and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, Adams County, the City of Commerce City, and the City of Thornton (“the Parties”) desire to work together to improve the 104th Avenue corridor from Colorado Boulevard to US 85 thereby improving the safety, operation, and functionality of the corridor (the “Project”); and,

WHEREAS, the 104th Avenue corridor is a critical component of the Parties’ transportation networks; and,

WHEREAS, the City of Thornton will be responsible for the general administration and management of the Project contract; and,

WHEREAS, Adams County will contribute \$100,000.00 to the Project; and,

WHEREAS, the City of Commerce City will contribute \$100,000.00 to the project; and,

WHEREAS, the City of Thornton will contribute \$200,000.00 to the project; and,

WHEREAS, the purpose of the contribution is further defined in said Intergovernmental Agreement; and,

WHEREAS, the Parties desire to act cooperatively in carrying out the 104th Avenue Preliminary Engineering and Environmental Analysis Widening Project; and

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement between the City of Thornton, Commerce City, and the County of Adams to Provide Preliminary Engineering and Environmental Design for the Widening of 104th Avenue Project, a copy of which is attached hereto and incorporated herein by reference, be and is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Intergovernmental Agreement on behalf of Adams County

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF
THORNTON, COMMERCE CITY AND THE COUNTY OF ADAMS TO PROVIDE
PRELIMINARY ENGINEERING AND ENVIRONMENTAL DESIGN FOR THE WIDENING
OF 104TH AVENUE**

This Intergovernmental Agreement (IGA) is entered into this _____ day of _____, 2021, among the City of Thornton, a Colorado home rule municipality located at 9500 Civic Center Drive, Thornton, CO 80229 ("Thornton"), the City of Commerce City, a Colorado home rule municipality located at 7887 East 60th Avenue, Commerce City, CO 80022 ("Commerce City"), and Adams County, located at 4430 South Adams County Parkway, Brighton, CO 80601 ("Adams County"), or collectively the "Parties."

WITNESSETH

WHEREAS, Section 18(2)(a) of Article XIV of the Colorado Constitution and Sections 29-1-201, et seq., and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and

WHEREAS, Thornton, Commerce City and Adams County plan to collaborate on the 104th Avenue Widening: Colorado Boulevard to US-85 Preconstruction Activities Project ("Project"), which will include preliminary engineering and environmental design, and thirty percent (30%) design documents for the widening of 104th Avenue to four lanes from Colorado Boulevard to US-85; and

WHEREAS, a total of twenty percent (20%) of the funding for the Project is to come from the Parties hereto, with ten percent (10%) of Project funding (\$200,000) to be provided by Thornton (\$200,000), five percent (5%) of Project funding (\$100,000) to be provided by Commerce City, and five percent (5%) of Project funding (\$100,000) to be provided by Adams County (collectively, "Party Funding"); and

WHEREAS, the Party Funding has already been appropriated or is expected to be appropriated in each of the respective Parties' 2021 budgets; and

WHEREAS, eighty percent (80%) of the funding for the Project (\$1,600,000) is to be provided by the Colorado Department of Transportation ("CDOT") using Denver Regional Council of Governments Transportation Improvement Program funds ("DRCOG TIP Funds"); and

WHEREAS, the DRCOG TIP Funds were appropriated in October 2020; and

WHEREAS, the Party Funding and the DRCOG TIP Funds are to be used for development of thirty percent (30%) preliminary engineering and environmental design

documents for the Project, which are to be produced in hard copy and electronic form and will set the framework for the future widening of this segment of 104th Avenue to four lanes from Colorado Boulevard to US-85 (the “30% Design Documents”); and

WHEREAS, CDOT will provide oversight for design and DRCOG TIP funding, with the roles and responsibilities of CDOT with regard to such oversight to be covered by a separate agreement; and

WHEREAS, funds for final design, right-of-way acquisition, and construction are not included in this Project and are expected to be covered by future agreements and appropriations; and

WHEREAS, the Parties hereto wish to set forth their agreement regarding the respective obligations, terms and conditions for the procurement of the 30% Design Documents.

NOW, THEREFORE, in consideration of the promises and conditions contained herein, the Parties hereto agree as follows:

1. 30% Design Documents

A. Project Management

Thornton will be the lead agency and project manager with regard to the procurement and production of the 30% Design Documents. Commerce City and Adams County agree to support Thornton in this role as needed.

B. Appropriation of Party Funding

The Parties agree to use their best efforts to have their respective shares of Party Funding appropriated in their 2021 budgets and made available by early 2021.

C. Project Funding

Promptly following appropriation and subject to Commerce City’s and Adams County’s approval of the selection of the design engineering consultant as set forth in section 1(E) below, Commerce City and Adams County shall provide Thornton \$100,000 each for their share of Party Funding. Thornton will contribute \$200,000 for the remainder of the Parties’ \$400,000 in Party Funding.

D. Excess Costs

If, at any time, it becomes apparent that the actual total cost of the 30% Design Documents will exceed the amount of Party Funding and DRCOG TIP Funds set forth herein, Thornton shall instruct the consultant to halt design work and the Parties shall discuss additional appropriations to cover such excess costs.

E. Procurement of 30% Design Documents

Thornton will be responsible for advertising for, selecting, and engaging a design engineering consultant for the production of the 30% Design Documents. Thornton's selection of the design engineering consultant shall be subject to final approval from the City of Commerce City and Adams County. Final engagement of the design consultant shall be completed following and contingent upon Party Funding being received by Thornton from all Parties in accordance with subsection C. above.

F. Design Contract Requirements

In its contract with the design engineering consultant, Thornton shall include the following:

- i) Insurance requirements as are standard to Thornton's design contracts, specifically naming Commerce City, Adams County and their respective elected and appointed officials, employees, and agents as "additional insureds" (with the exception of workers' compensation and employer's liability insurance policies, if any). Thornton shall require the design contractor to provide a certificate or certificates of insurance to Commerce City and Adams County;
- ii) To expressly name Commerce City and Adams County as third-party beneficiaries of the contract with respect to the 30% Design Documents;
- iii) Indemnity provisions protecting Commerce City, Adams County, and their respective elected and appointed officials, employees, and agents to the same extent as Thornton and its directors, officers, agents and employees;
- iv) To expressly name Commerce City and Adams County as third-party beneficiaries of the contract with respect to the insurance, indemnity and defense, warranty, and standard of care provisions.

G. Acceptance of 30% Design Documents

Upon substantial completion, the 30% Design Documents shall be circulated by Thornton to Commerce City and Adams County for their review and approval. Commerce City and Adams County shall review the 30% Design Documents and provide comments, if any, to Thornton within thirty (30) days of the City's receipt of the 30% Design Documents, or within such other reasonable period of time as may be mutually agreed upon by the Parties. Following review, Commerce City and Adams County shall each provide written notice to Thornton of their acceptance or conditions to acceptance thereof. Subject to and following final approval by all Parties, Thornton shall provide acceptance of the 30% Design Documents to the consultant.

H. Circulation of 30% Design Documents

Once completed and accepted, Thornton shall, and shall be authorized to, provide copies of the 30% Design Documents to all Parties and other agencies and entities, as necessary for the Project and future work on the widening of 104th Avenue to four lanes from Colorado Boulevard to US-85.

I. Permits and other Approvals

The Parties hereto shall cooperate with each other and with the selected design engineer in connection with any necessary permitting associated with the Project. It is acknowledged that since the Project involves design activities within the right-of-way located within the jurisdiction of Commerce City and Adams County, permits from Commerce City and Adams County will be required for the Project. The Parties agree that all applicable permit fees for such permits shall be waived.

J. Design Progress

No Party shall have the right to stop or significantly delay design, or to take any action that would cause design to be stopped or significantly delayed, without the written consent of the other Parties, except in the event of an emergency; provided however that any exercise of Commerce City's approval rights as more specifically detailed herein shall under no circumstances be construed as a "delay" for the purposes of this section.

2. TERM AND TERMINATION

This Agreement shall continue in effect until final acceptance of the 30% Design Documents and circulation thereof to all Parties or, in the event of non-appropriation of Party Funding by any Party, upon written notice given by such party to the other Parties hereto.

3. GENERAL TERMS

- A. Each Party hereto shall be responsible for any suits, demands, costs, or actions at law resulting from its own acts or omissions.
- B. Any notice required by this Agreement shall be in writing and shall be deemed to have been sufficiently given for all purposes if sent by certified mail or registered mail, postage and fees prepaid, addressed to the Party to whom such notice is to be given at the address set forth above, or at such other address as has been previously furnished in writing, to the other Party. Such notice shall be deemed to have been given when deposited in the United States mail.
- C. This Agreement represents the entire Agreement between the Parties and there are no oral or collateral agreements or understandings. This Agreement may be amended only by an instrument in writing signed by the Parties.

- D. Notwithstanding any other term, condition, or provision herein, each and every financial obligation of Thornton, Commerce City and Adams County stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the parties' respective governing bodies. This Agreement will neither constitute nor be deemed a multiple fiscal-year debt or financial obligation of Thornton, Commerce City, or Adams County.
- E. This Agreement shall be governed by the laws of the State of Colorado, and any legal action concerning the provisions hereof shall be brought in the County of Adams, State of Colorado.
- F. If any article, section, paragraph, sentence, clause or phrase of this Agreement is held to be unconstitutional or invalid for any reason, such holding shall not affect the validity, enforceability or constitutionality of the remaining provisions of this Agreement.
- G. A waiver by any Party of a breach of any term or provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach by either Party.
- H. The captions of the paragraphs are set forth only for the convenience and reference of the Parties and are not intended in any way to define, limit or describe the scope or intent of this Agreement.
- I. The Parties acknowledge that each Party, their officers and employees, are relying on, and do not waive or intend to waive, by any provision of this Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as it is from time to time amended, or otherwise available to the Parties, their officers, or employees.

IN WITNESS WHEREOF, the Parties hereto have executed this IGA to be effective as of the date first above written.

CITY OF COMMERCE CITY

By: _____
Roger Tinklenberg, Interim City Manager

Attest: _____
Dylan A. Gibson, CMC, City Clerk

Approved as to form:

Swann, Assistant City Attorney

CITY OF THORNTON

By: _____
Kevin Woods, City Manager

Attest: _____
Kristen N. Rosenbaum, City Clerk

Approved as to form:

City Attorney

ADAMS COUNTY

By: _____
Commissioner Eva Henry, Chair Person

Attest: _____
Josh Zygielbaum, County Clerk & Recorder

Approved as to form:

County Attorney



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 9, 2021
SUBJECT: Ambulance License Renewal
FROM: Brandan Slattery
AGENCY/DEPARTMENT: Community and Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an ambulance license renewal for Adams County Fire Protection District.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for Adams County Fire Protection District is due for renewal. The application packet has been received and is deemed complete.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development

ATTACHED DOCUMENTS:

Please reference the attached Resolution and License for this ambulance agency.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001
Cost Center: 1190.5125

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5125		\$750
Additional Revenue not included in Current Budget:			
Total Revenues:	5125		<u>\$750</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u> </u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR THE ADAMS
COUNTY FIRE PROTECTION DISTRICT

Resolution 21-226

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. (“Act”); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, Adams County Fire Protection District, 8055 N. Washington St., Denver, CO 80229, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of Adams County Fire Protection District and has found that the ambulances meet the standards set forth in the March 2020 Adams County Ambulance Services Regulations; and,

WHEREAS, Adams County Fire Protection District has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for Adams County Fire Protection District is hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to sign said Ambulance Service License on behalf of Adams County.

County of Adams, State of Colorado

No. ADCO 1/21

Licensing Fee: \$750

Ambulance Service License

This is to Certify, that **Adams County Fire Protection District, 8055 N. Washington St., Denver, CO, 80229**, having applied for a license to provide **Advanced Life Support** ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the **31th of January, 2021**, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this _____ day of _____, _____.

Board of County Commissioners of the County of Adams,
State of Colorado

Attest:

Chair

Clerk



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 9, 2021
SUBJECT: Ambulance License Renewal
FROM: Brandan Slattery
AGENCY/DEPARTMENT: Community and Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an ambulance license renewal for University of Colorado Health.

BACKGROUND:

Through a Multi-County Ambulance Committee Intergovernmental Agreement, the Community and Economic Development Department is responsible for the licensing of all private ambulances in the county. The ambulance license for University of Colorado Health is due for renewal. The application packet has been received and is deemed complete.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community and Economic Development

ATTACHED DOCUMENTS:

Please reference the attached Resolution and License for this ambulance agency.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001

Cost Center: 1190.5125

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5125		\$125
Additional Revenue not included in Current Budget:			
Total Revenues:	5125		<u>\$125</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u> </u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMBULANCE SERVICE LICENSE FOR
UNIVERSITY OF COLORADO HEALTH

Resolution 21-227

WHEREAS, the General Assembly of the State of Colorado has enacted the Colorado Medical and Trauma Services Act, Section 25-3.5-101 et seq. C.R.S. (“Act”); and,

WHEREAS, the Act requires the Board of County Commissioners for each County to administer licensure of ambulance services; and,

WHEREAS, under the provisions of the Act, each ambulance operated by a licensed ambulance service in the State of Colorado must be issued a license and permit evidencing that the ambulance and its equipment meets applicable state requirements; and,

WHEREAS, Adams County has entered into an intergovernmental agreement with the City and County of Broomfield and the counties of Arapahoe, Douglas, Denver, Elbert, and Jefferson to establish a licensing program that provides for reciprocal inspection, licensing, and permitting that may be used by all parties, creating efficiency and cost saving to the parties and to the ambulance service providers; and,

WHEREAS, University of Colorado Health, 12605 E. 16th Ave., Aurora, CO 80045, has applied for an Ambulance Service License through Adams County; and,

WHEREAS, Adams County has reviewed the inspection performed through the intergovernmental agreement and the application of University of Colorado Health and has found that the ambulances meet the standards set forth in the March 2020 Adams County Ambulance Services Regulations; and,

WHEREAS, University of Colorado Health has complied with all regulations set forth in the March 2011 Adams County Ambulance Services Regulations.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Ambulance Service License for University of Colorado Health is hereby approved to provide ambulance services in the County of Adams.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to sign said Ambulance Service License on behalf of Adams County.

County of Adams, State of Colorado

No. ADCO 1/21

Licensing Fee: \$125

Ambulance Service License

This is to Certify, that **University of Colorado Health, 12605 E. 16th Ave., Aurora, CO 80045**, having applied for a license to provide **Advanced Life Support** ambulance services, and having paid to the Treasurer of Adams County the required fees therefore, the above named applicant is hereby licensed to provide ambulance services within and without the County of Adams, State of Colorado, for one year from the **31th of January, 2021**, unless this license be sooner revoked or suspended as provided by law.

This license is subject to the laws of the State of Colorado, and the Resolutions of the Board of County Commissioners of the County of Adams, passed pursuant thereto.

In Testimony Whereof, the Board of County Commissioners of the County of Adams has hereunto subscribed its name by its officers duly authorized, this _____ day of _____, _____.

Board of County Commissioners of the County of Adams,
State of Colorado

Attest:

Chair

Clerk



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 9, 2021
SUBJECT: Fifth Amendment to the 2020 Adams County Budget
FROM: Marc Osborne, Deputy Budget Director
AGENCY/DEPARTMENT: County Manager's Office and Budget and Performance Measurement Department
HEARD AT STUDY SESSION ON: March 2, 2021
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Fifth Amendment to the 2020 Adams County Budget.

BACKGROUND:

The Annual Budget is a financial plan and is adopted prior to the start of the fiscal year. Budget Amendments are periodically required to properly incorporate items into the Annual Budget as they arise during the course of the fiscal year. See attached summary for more information regarding items included in this particular amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office and Budget and Performance Measurement Department

ATTACHED DOCUMENTS:

Resolution Authorizing Fifth Supplemental Appropriations to the 2020 Adams County Government Budget.

Exhibit A – Summary of items included in the Fifth Amendment to 2020 Budget.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

Fiscal impact is summarized at the fund level. Given the length, the summary is attached for full disclosure of fiscal impact.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AUTHORIZING FIFTH SUPPLEMENTAL APPROPRIATIONS TO THE
2020 ADAMS COUNTY GOVERNMENT BUDGET

Resolution 2020-

WHEREAS, the 2020 Adams County Government Budget requires supplemental appropriations of funds to satisfy requests as listed on the attached "Exhibit A" and,

WHEREAS, the Budget Department has determined the availability of unappropriated fund balances; and,

WHEREAS, there are additional revenues and other financing sources which were not assured at the time of the adoption of the 2020 Adams County Government Budget; and,

WHEREAS, the following departmental budgets listed by fund on the attached "Exhibit A" will be increased or decreased by the amounts so noted; and,

WHEREAS, the revenues to support the budget increases are listed by amount from respective sources.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Fifth Supplemental Appropriations to the 2020 Adams County Government budget is hereby authorized.

BE IT FURTHER RESOLVED, that the Budget Department is authorized to make the above stated budget adjustments to the 2020 Adams County Government Budget.

Exhibit A - Amendments

Fifth Amendment to the 2020 Budget
 Resolution No. TBD
 For Adoption on March 9, 2021
 Study Session: March 2, 2021



Purpose of Resolution:

A resolution to amend the 2020 Budget. Summary information by Fund and Department is listed below. Additional detailed information is attached for consideration and review.

Fund	Department	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	County Manager	\$0	\$0	\$0	1.00
	District Attorney	\$0	\$0	\$0	1.00
	Admin/Org	\$1,500,000	\$0	\$1,500,000	0.00
	Facilities	\$0	\$0	\$0	0.00
	County Attorney	\$240,000	\$0	\$240,000	0.00
	Poverty Reduction	\$92,000	\$92,000	\$0	0.00
	Emergency Management	\$55,319	\$55,319	\$0	0.00
	Neighborhood Services	\$0	\$0	\$0	1.00
SOCIAL SERVICES FUND	Human Services	\$5,273,363	\$5,790,554	(\$517,191)	0.00
DEVELOPMENTALLY DISABLED FUND	Developmentally Disabled	\$1,500	\$0	\$1,500	0.00
WASTE MANAGEMENT FUND	Waste Management	\$0	\$1,500,000	(\$1,500,000)	0.00
COMMUNITY SERVICES BLOCK GRANT FUND	CSBG	\$300,000	\$300,000	\$0	0.00
WORKFORCE & BUSINESS CENTER FUND	Workforce & Business Center	\$0	\$0	\$0	-1.00
	Total Appropriation	\$7,462,182	\$7,737,873	(\$275,691)	2.00

Fund Summary	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	\$1,887,319	\$147,319	\$1,740,000	3.00
SOCIAL SERVICES FUND	\$5,273,363	\$5,790,554	(\$517,191)	0.00
DEVELOPMENTALLY DISABLED FUND	\$1,500	\$0	\$1,500	0.00
WASTE MANAGEMENT FUND	\$0	\$1,500,000	(\$1,500,000)	0.00
COMMUNITY SERVICES BLOCK GRANT FUND	\$300,000	\$300,000	\$0	0.00
WORKFORCE & BUSINESS CENTER FUND	\$0	\$0	\$0	-1.00
Total Appropriation	\$7,462,182	\$7,737,873	(\$275,691)	2.00



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: March 9, 2021
SUBJECT: Shooting Range Remediation
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Eight to the agreement with Quantum Water Consulting for the remediation planning of the Sheriff's Office Old Shooting Range.

BACKGROUND:

Quantum Water Consulting was awarded an agreement in 2015, for consulting services for remediation planning at the Sheriff's Office Old Shooting Range. Quantum's initial work scope was to perform Environmental Site Assessment, identify the potential work scope, and coordinate preliminary plans with Colorado Department of Public Health and Environment (CDPHE) for eventual remediation.

Quantum Water has been providing consulting and construction oversight for the duration of the project. The project fee structure was set-up to be flexible and "add on" services only as needed by on-site field conditions and jurisdictional CDPHE requirements. Costs for 2020, have fluctuated and are adjusted as needed based on the field conditions and considerable extension of schedule. Amendment Eight covers 2020 project oversight. The project breakdown is as follows:

Original Agreement	Approved October 2015	Shooting Rang Clean-up	\$100,000.00
Amendment One	Approved April 2016	Testing and Phase II	\$270,000.00
Amendment Two	Approved March 2017	Development of Action Plan	\$98,960.00
Amendment Three	August 22, 2017	Design of Landfill Cover and Solar Panels	\$165,125.00
Amendment Four	April 17,	Construction, remediation	\$292, 310. 00

	2018	oversight, ground water testing	
Amendment Five	October 16, 2018	Time Extension	\$0.00
Amendment Six	March 12, 2019	Oversight of the remediation work	\$761,440.00
Amendment Seven	October 6, 2020	Additional Work related to Asbestos	\$153,210.00
Amendment Eight		2021 Oversight for Project Close out	\$231,515.00
		Total Agreement Price	\$2,072,560.00

It is recommended to approve Amendment Eight to the agreement with Quantum Water Consulting in the not to exceed amount of \$231,515.00 for a total agreement amount of \$2,072,560.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Fleet and Facilities Management

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00025
Cost Center: 9295

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7645/7685	92951701	\$540,714
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> \$540,714

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

Current Budgeted Operating Expenditure reflects the remaining dollar amount from 2020 that is expected to be rolled into 2021 with the carry forward amendment.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT EIGHT TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND QUANTUM WATER CONSULTING FOR ADDITIONAL
SERVICES

WHEREAS, on September 23, 2015, Quantum Water Consulting was awarded an agreement to provide consulting and remediation services for the Sheriff's Office Old Shooting Range ("Original Agreement"); and,

WHEREAS, the Original Agreement has previously been amended and extended since 2015 to add additional services; and,

WHEREAS, Adams County once again desires to amend and extend the Original Agreement by this Amendment Eight; and,

WHEREAS, 2021 project oversight and needs to be added to the scope of work for contract closeout; and,

WHEREAS, Quantum Water Consulting agrees to provide the additional services in the not to exceed amount of \$231,515.00, for a total agreement price of \$2,072,560.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Eight to the Agreement between Adams County and Quantum Water Consulting for Additional Services, be and is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of Board of County Commissioners is hereby authorized to sign said Amendment Eight to the Original Agreement after negotiation and approval as to form is completed by the County Attorney's Office.



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: EXG2020-00001
CASE NAME: TUCSON SOUTH

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT STAFF REPORT**

Board of County Commissioners

March 9, 2021

CASE No.: EXG2020-00001		CASE NAME: Tucson South	
Owner's Name:	City of Aurora and Aggregate Industries-WCR, Inc.		
Applicant's Name:	Aggregate Industries-WCR, Inc.		
Applicant's Address:	1687 Cole Blvd., Ste. 300, Golden, CO 80401		
Location of Requests:	Eastern and Western sides of Tucson Street between East 168 th Avenue and State Highway 7.		
Nature of Requests:	Conditional use permit for extraction and disposal use in the Agricultural-1 (A-1) zone district.		
Zone Districts:	Agricultural-1 (A-1)		
Comprehensive Plan:	Agriculture		
Site Size:	Approximately 285 acres		
Proposed Use:	Extraction		
Existing Use:	Vacant		
Hearing Date(s):	PC: February 11, 2021 / 6:00 p.m. BOCC: March 9, 2021 /9:30 a.m.		
Report Date:	March 2, 2021		
Case Manager:	Greg Barnes <i>JB</i>		
PC Recommendation:	APPROVAL with 8 Findings-of-Fact, 7 Conditions Precedent, 35 Conditions, and 1 Note		

SUMMARY OF APPLICATION

Background

Aggregate Industries-WCR, Incorporated is requesting a conditional use permit for an extraction and disposal use, which will include a sand and gravel mine in the A-1 zone district. After the mining operations, the site is proposed to be water storage reservoirs for the City of Aurora. The proposed site is approximately 1.5 miles south of the Wattenberg Lakes Mine in southern Weld County. Excavated product would be transferred from the various mine phases north to the Wattenberg Lakes Mine.

The proposed mine operation has been divided into two phases (See Exhibit 3.2).

- Phase I is located to the west of Tucson Street and north of State Highway 7. This phase extends from that intersection to approximately a half-mile north of State Highway 7 and a half-mile west of Tucson Street. The entirety of Phase I is located south of East 168th Avenue. A slurry wall will be installed and subsequently the site will be dewatered, which will allow the site to be dry mined.
- Phase II is located to the east of Tucson Street and north of State Highway 7. This phase extends from the intersection to approximately 3,000 feet north of State Highway 7 and a half-mile east of Tucson Street. The South Platte River forms a portion of the eastern boundary of Phase II. The entirety of Phase II is located south of East 168th Avenue. A slurry wall will be installed and subsequently the site will be dewatered, which will allow the site to be dry mined.

The proposed mining activities are anticipated to take place for approximately eight years once a notice to proceed is granted by the County. Pre-mining activities are expected to last for one year. Each phase of the operation thereafter is anticipated to last four years. Reclamation activity will be concurrent from west to east.

The operator is proposing a conveyor system, which is anticipated to be operational within one year after approval of the conditional use permit and would convey material from the site to the Wattenberg site in Weld County. The material is proposed to be transported under East 168th Avenue into Weld County. If the conditional use permit is approved, a condition of the approval is proposed to require both County approval of the conveyor design and the construction of the conveyor system be completed prior to the issuance of a Notice to Proceed.

According to the materials submitted by the applicant, the operator shall fence gravel pit operations with a 72-inch-tall chain link fence topped with three strands of barbed wire. Where the operation is adjacent to subdivided or developed commercial, residential, or industrial property (except those zoned I-3), a solid screen fence will be erected to prevent the visibility of the mining operation. The operator may fence the entire area immediately, or fence only areas of excavation; however, no fence shall be removed until reclamation has been completed.

Setbacks from the mining operations to the adjoining properties along the perimeter of the conditional use permit boundary will be at least twenty-five (25) feet. According to materials submitted by the applicant, the pit depth is expected to be 30 feet. No blasting is being proposed.

Ultimately, this facility is proposed to become a water reservoir used for water storage for the City of Aurora. The reservoir area is proposed to include a pedestrian trail along the perimeter. The trail will be composed of crusher fine material and will include landscaping. According to materials submitted by the applicant, the width of the proposed trail would allow for walking and running, with a stroller or wagon, while users enjoy the unobstructed view of the water storage facility. Although the City of Aurora has attempted to provide recreational activities around the perimeter of the pond, the reservoir will be fenced and public access to the reservoir itself will not be allowed.

Site Characteristics:

The subject properties currently consist of vacant lands, dryland agriculture, and water utility infrastructure. In addition, there are two plugged and abandoned oil and gas wells located on the properties. The westernmost well, which is within the boundary of disturbance, has been plugged and capped below the lowest excavation elevation and casing has been removed up to ground elevation. The setback for this well will not impact mining operations in that area.

Extensive portions of both phases are located within the floodway and 100-year floodplain of the South Platte River. The site, in its current capacity, is highly visible from State Highway 7. Berms have been proposed along the southern edge of the site to help mitigate the views from Highway 7.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for extraction and disposal uses in the Agriculture-1 (A-1) zone district. Section 4-10-02-03-01 of the County’s Development Standards and Regulations outlines performance standards for the use and are discussed in detail below. Compliance with the requirements for the Colorado Department of Natural Resources Division of Mining, Reclamation, and Safety (DRMS) is required, and a reclamation contract shall be signed and approved by the owner and the DRMS.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The Future Land Use Designation on the property is Agriculture. Per Chapter 5 of the County’s Comprehensive Plan, the purpose of the Agriculture Land Use is to preserve areas for long-term farming, conserve environmentally sensitive areas, separate and define urban areas, prevent urban nuisance complaints, limit the extension of services where they are costly and difficult to provide, and conserve environmentally sensitive areas. The subject request is temporary. Once the extraction use has been completed, the property is expected to be reclaimed into usable land. Reclamation of the site will include placement and seeding of cover material over fill areas.

The Comprehensive Plan also discusses the importance of mineral extraction to the local economy, providing both employment to residents and tax income to the County. Mining locally allows for lower shipping costs for construction materials. Once the mining operation is complete, the proposed water storage use is supported by *Strategy 7.5.d. Multipurpose Uses for Reclaimed Land*.

The South Platte River Heritage Plan encourages mining operations to reclaim lands in a way that creates habitat, restores vegetation, contributes to flood retention, and/or provides recreational opportunities. After the sand and gravel are extracted at the proposed Tucson South Mine, it is anticipated to become water storage reservoirs for the City of Aurora, which will provide for migratory bird habitat. Ultimately, this facility becomes a water reservoir used for water storage.

The Adams County Mineral Extraction Plan identifies regions of the County where controls for conservation and utilization of natural resources. The plan intends to provide more detailed

guidance on post-mining reclamation and to ensure a high quality of life for residents near mining activities. These regions are defined as the Mineral Conservation Overlay (MCO) District. The subject proposal is not located within the MCO District, and therefore does not have additional provisions for conservation controls.

Surrounding Zoning Designations and Existing Use Activity:

<u>Northwest</u> A-1 Agriculture / Vacant	<u>North</u> A-1 Water Storage Reservoir	<u>Northeast</u> I-3 Vacant / South Platte River
<u>West</u> PUD/RE Vacant/S-F Residential	<u>Subject Property</u> A-1 Vacant / Agriculture	<u>East</u> City of Brighton Vacant / South Platte River
<u>Southwest</u> A-1 S-F Residential	<u>South</u> A-1 Agriculture / Vacant	<u>Southeast</u> A-1/City of Brighton S-F Residential

Compatibility with the Surrounding Land Uses:

Most of the area surrounding the site is undeveloped. The site is located within a floodway and floodplain. As a result of the floodway, the applicant is proposing a wood and wire fence since certain fencing types are restricted in this area. The nearest residential development is located west of the site. Although many of the nearby homes are rural residential, the site is directly adjacent to the Bartley Subdivision on the western side. In addition, Highway 7 is a gateway into Downtown Brighton. Staff has presented concerns that the use may have some compatibility conflicts with the surrounding area and has attempted to mitigate them through conditions of approval.

Section 3-38-06 outlines the performance standards for mining operations, including setbacks, hours of operation, and haul routes within the Mineral Conservation Overlay District. Although the site is not located within the Mineral Conservation Overlay District, many of these standards are intended to guide minimum requirements to mitigate off-site impacts but may be strengthened on a site-specific basis through Conditions of Approval to ensure better compatibility of the proposed operation with the surrounding land uses. The property boundary setback for excavation and stockpiling is twenty-five (25) feet. The closest residential dwelling to any mining operation will be at least 300 feet from mining operations. Hours of operation of the proposed mining operation include all uses on the site and are proposed to be limited to the hours of 7:00 am to 7:00 pm, Monday-Saturday. These are consistent with those outlined in the Development Standards due to the urban setting of the proposed operation.

Air emissions and water quality impacts have been addressed through several Conditions of Approval, which will require the operator to follow CDPHE air quality regulations, shut down operations at times of high winds, and monitor the ground water wells in the surrounding area.

Per Section 3-37-07-07-12 of the Development Standards and Regulations, the extraction, excavation, and hauling of sand and gravel resources shall meet specific performance standards and guidelines that protect rivers and streams from erosion and degradation, which may result

from such operations. In addition, the operations shall not impact the flow of floodwaters from reaching the South Platte River. A Floodplain Use Permit has been obtained by the applicant, which ensures that the proposed operations comply with the Federal, State, and Local regulations.

PLANNING COMMISSION UPDATE:

The Planning Commission first heard this application as part of their January 14, 2021 agenda. Adams County staff and the applicant both provided presentations to the Planning Commission. After an extensive public comment period, a motion to approve the application was made by the Planning Commission, however the motion ended in a 3-3 tie. A discussion amongst the Commission eventually led to a motion to continue the case to the February 11, 2021 agenda. The motion to continue the hearing for 28 days was approved by a 5-1 vote.

On February 11, 2021, the Planning Commission resumed the consideration of the subject application. After staff and applicant presentations, 20 individuals provided testimony during the public comment period. The testimony provided a mixture of opposition and support, with a majority being opposed. Of the Planning Commission members supportive of the request, the comments supported the enhanced design of the area after extraction and appreciated the applicant's attention to mitigating off-site impacts. Of the Planning Commission members opposed to the project, the concerns were related to visibility at the entrance to downtown Brighton, dust mitigation, and a concern that the project would extend beyond the eight-year timeline. After extensive discussion, the Planning Commission voted 4-3 to recommend approval of the application.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends approval of the request with 8 findings-of-fact, 7 conditions precedent, 35 conditions, and 1 note.

RECOMMENDED FINDINGS-OF-FACT:

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.

8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

RECOMMENDED CONDITIONS OF APPROVAL:

Conditions Precedent to Approval

1. Evidence shall be provided to the Adams County Environmental Programs Manager that the State of Colorado has approved the groundwater monitoring and mitigation plan for the site that specifically addresses impacts to owners of affected, adjacent, and permitted groundwater wells.
2. Evidence shall be provided to the Adams County Environmental Programs Manager that a Colorado Discharge Permitting System here permit, has been obtained from the Colorado Department of Health & Environment (CDPHE) prior to any site preparation activities.
3. A raptor and bald eagle surveys shall be conducted by a qualified biologist prior to site disturbance, if any grading or construction activity is planned to occur between October 15th and July 31st. The survey reports shall be provided to both Colorado Parks and Wildlife (CPW) and the Adams County Community & Economic Development Department. In the event that a raptor survey identifies additional nests or documents changes in nest activity status, a site plan detailing raptor nest buffer zones and seasonal restrictions (as provided in the most recent CPW guidance document) shall be provided to the Adams County Community & Economic Development Department.
4. A neighborhood meeting shall be held intended to introduce and distribute contact information for those responsible for mining activities on the site. Notification of the neighborhood meeting will be required for all property owners and residents within 1,000 feet of the subject parcels. Documentation of the meeting (including a meeting summary and a copy of the notification letter) shall be provided to the Adams County Community & Economic Development Department.
5. A conveyor system shall be approved by the County and constructed by the applicant/operator for the transport of materials.
6. A site landscape plan shall be approved by the Adams County Community & Economic Development Department to address the visual impact of the site along public roadways and adjacent residential uses, as well as the site conditions after reclamation has occurred. Adams County will coordinate with the City of Brighton's Community Development Department during the review of these landscape plans to ensure that conformance is met with both jurisdictions are satisfied with the result.
7. All pre-mining construction tasks and conditions precedent shall be completed by March 9, 2022, unless extended by the Director of Community and Economic Development. Only one extension may be granted for no more than 180 days based upon a hardship statement that will be provided by the applicant or operator. The conditional use permit will expire on September 8, 2022 if a Notice to Proceed has not been issued.

Conditions of Approval

1. The extraction use being granted by this conditional use permit shall not commence until a “Notice to Proceed” is issued by the Adams County Community and Economic Development Department. A Notice to Proceed will only be issued after all conditions precedent of approval are complete.
2. Any operations on the site shall occur from 7:00 a.m. to 7:00 p.m., on Mondays to Saturdays. No operations are permitted on Sundays or within 7:00 p.m. and 7:00 a.m.
3. The operator shall fence gravel pit operations with a fence composed of wood and wire. Where the operation is adjacent to subdivided or developed commercial, residential, or industrial property (except those zoned I-3), a solid screen fence constructed of wood will be erected to prevent the visibility of the mining operation. The operator may fence the entire area immediately, or fence only areas of excavation; however, no fence shall be removed until reclamation has been completed.
4. Landscape installation will occur between March 1st and May 15th or September 1st through October 15th after the Notice to proceed is issued. Prior to installing the landscaping, the operator shall work with Adams County staff and City of Brighton staff to determine the location of a future trail along the State Highway 7 corridor. The operator shall install landscaping in a location that will ensure that a trail can be installed in the future, without disturbing the trees and shrubs and other landscaping. The operator shall install an irrigation system to ensure that the plantings are established and maintain the plantings during the mining and reclamation process.
5. All landscape berms and mining operations shall be setback at least fifty (50) feet from the right-of-way along Tucson Street and State Highway 7.
6. Wind gauges with data-logging capabilities shall be installed and located adjacent to the particulate matter monitors.
7. Two (2) continuous, real-time Particulate Matter (PM) monitors must be installed along the southwest and northeast boundary areas of this conditional use permit to provide real-time emissions data for PM-2.5, PM-10 and Total-PM to monitor fugitive dust during all project phases including site preparation and active mining.
8. Radar-activated white noise backup alarms shall be installed for equipment.
9. Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment.
10. The mosquito control plan submitted with this application shall be implemented to ensure full compliance.
11. The applicant shall comply with all the requirements specified by the Colorado Department of Natural Resources’ Division of Parks & Wildlife provided in their letter dated September 3, 2020.
12. The applicant shall comply with all the requirements specified by the Tri-County Health Department provided in their letter dated October 9, 2020.
13. The applicant shall comply with all the requirements specified by the Colorado Division of Water Resources provided in their letter dated August 25, 2020.
14. All complaints received by the applicant or operator from a well owner within 600 feet from the site boundary shall be provided to the Adams County Environmental Programs Manager. In addition, it shall be provided what the necessary actions

- taken to address these impacts. The information shall be provided to the County within 30 days of filing such reports with the Division of Mining & Reclamation Safety (DRMS). For subject wells put to beneficial use prior to commencement of mining activities, the applicant or operator will begin to implement one or more mitigation measures if mining and reclamation activity is determined to be a significant contributing factor to groundwater changes requiring mitigation.
15. All complaints pertaining to off-site impacts shall be provided to the Adams County Environmental Program Manager including a summary of the complaints and resolution methods of such complaints. These documents shall be provided as part of the monthly air monitoring report, as applicable.
 16. Fugitive dust control measures must always be functioning to ensure onsite visible emissions do not exceed limits specified within the Air Pollution Control District Construction Permit issued to Aggregate Industries for the Tucson South Pit.
 17. Copies of Clean Waters Act 404 Permit (CWA 404) and 401 Water Quality Certification (as required for operations affecting the South Platte River and adjacent riparian wetlands) shall be provided to the Adams County Environmental Programs Manager.
 18. Records of high wind speed shutdowns and a summary of shutdown periods shall be provided within each monthly air monitoring report that is submitted to the Adams County Environmental Programs Manager, as applicable.
 19. Any documented exceedance of the 24-hour ambient air quality standard for particulate matter shall be provided to the Adams County Environmental Program Manager within 24-hours of such occurrence. Concurrent Air Pollution Control Division notification may be required.
 20. Monthly reports detailing particulate matter monitoring shall be provided to the Adams County Environmental Program Manager. Corresponding wind gauge data shall be included within these reports.
 21. A copy of each Annual Reclamation Report, as submitted to the DRMS, shall be provided the Adams County Environmental Program Manager.
 22. Stockpiles of material shall not exceed a maximum of twenty (20) feet in height. Stockpiles shall not be stored in the floodway.
 23. Operations shall cease during periods of high winds as measured by anemometer or other type of wind gauge permanently stationed on-site. High winds shall be defined as when wind gusts exceed 30 mph, or a sustained wind of 20 mph is detected.
 24. Mining and reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County found within the Adams County Development Standards and Regulations.
 25. All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.
 26. The storage or processing of materials that are buoyant, flammable, hazardous, explosive, or considered solid waste shall not be allowed within the areas designated as floodplain or floodway.
 27. Any new sources of fill material, other than the ones listed within the application, shall require a "Notice to Proceed" to be issued by the Department of Community

- and Economic Development, after the applicant has certified the cleanliness of the new source material; any proposed haul routes must be approved through an amendment to the conditional use permit.
28. The subsequent reclamation of areas that have been mined must be initiated immediately to keep the total disturbed areas at any one time to a minimum.
 29. The mining operations will conform to the phasing plan provided with the application.
 30. Materials that are unnecessary for extraction or reclamation shall not be imported into the site without the permission of the Adams County Director of Community and Economic Development.
 31. Since the lined water storage reservoirs are components of the post-reclamation project plans, and Tucson Street is proposed to remain a public road. A stability analysis for at least one cross-section under a saturated slope (high pore water pressure)/rapid reservoir drawdown condition across the Tucson Street embankment, shall be performed to verify that the proposed slopes below Tucson Street will be stable under all conditions, or to determine a stable slope configuration.
 32. All mining operations, reclamation of sloping, grading, and initial seeding shall be completed within eight (8) years of the Notice to Proceed, but no later than March 9, 2030.
 33. Landscaping installation at the time of reclamation shall include a minimum of 100 trees and 200 shrubs. Trees shall be a minimum of five feet in height at the time installation. All landscaping that does not establish after one year will be replaced and expected to establish after one year. Replacement of landscaping that does not establish will be given another year to establish.
 34. The trail easement north of the Highway 7 right-of-way shall be recorded prior to March 9, 2030.
 35. The proposed trail north of Highway 7 will be designed to include pedestrian and bicycle traffic and measure a minimum of ten feet wide. Any proposed modification to reduce the width will require approval by the Adams County Director of Community & Economic Development.

RECOMMENDED NOTES TO THE APPLICANT:

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

PUBLIC COMMENTS

Notices Sent	Number of Responses
1,176	124

Property owners and residents within a half-mile of the site were notified of the subject request. As of writing this report, staff has received 124 responses from the public regarding the application. Of those 124 responses, 60 either opposed the application or cited specific concerns with the application. 62 letters of support for the application were received. Many letters of support are from individuals and organizations that were not on the County’s mailing list of neighborhood referrals.

Public comments were provided by the City of Aurora; however, they are the property owner not considered a referral agent on this project due to the proximity of the site to the city. The City of Aurora and Aurora Water supports the application.

Environmental concerns were the most widely cited issue in the public comments. Many letters were received identifying dust and pollution as a concern with the application. Commenters identified noise as a primary concern. One additional comment provided concern that the slurry walls being proposed may negatively affect the flow of groundwater in the area.

Another category of concern from the public comments was land use. Many of the comment letters identified that the proposed use was incompatible with the existing area. Several letters discussed that approval of the application would result in a loss of rural character in the area. More comments expressed that the land could be utilized for lower-density residential uses, and that would be more compatible to the surrounding area. Another respondent stated that the proposed hours of operation created concern, and that 7 am to 1 pm would be more appropriate. Additionally, one more respondent expressed concern about the proposed berms along Highway 7, and what the appearance of these berms may look like.

Economic factors were another key area identified in the public comments. Several respondents expressed concern that the site served as a gateway into Brighton, and that a mining operation for nearly a decade may create blight and a negative perception for the City of Brighton. Some respondents identified concerns that the proposed operation would harm property values and provide no economic impact for the residents of the area. Other respondents, in support of the application, identified that the project would create jobs, support economic growth, and provide materials necessary for development.

Other respondents identified the negative impacts from a loss of wildlife habitat. A concern was raised that the South Platte River corridor would have negative aesthetic impacts from the operation. Another respondent expressed concern that mining operations may result in wildfires in the area.

Many respondents expressed concern that the mining operation would result in a negative impact on local traffic, and that additional road widening may be needed. At least three respondents expressed distrust in the proposed timeline and did not believe that the operation would be limited to timeline expressed by the applicant. Another respondent identified concerns with the applicant's track record on other sites in the area and identified that the subject properties typically have violations of County regulations for noxious weeds that are unkept.

A parcel located south of Highway 7, and not included in this application was also the subject of some public comments. In 2019, a similar application was denied by the Board of County Commissioners which included a "south parcel" and required trucking of materials. This south parcel was removed from the application, and the applicant has expressed a willingness to donate the south parcel to the County's Parks, Open Space, and Cultural Facilities Department. The donation of that parcel has no bearing on the subject application. The public comments expressed that there was little value or benefit in the County acquiring this parcel.

REFERRAL AGENCY COMMENTS

During the referral process, the Brighton Urban Renewal Authority expressed concerns that the application may have a negative impact on commerce in Downton Brighton.

The Tri-County Health Department issued a letter addressing air pollution, fugitive dust, and air quality modeling. The letter provides best standards of practice, and these practices are included as recommended conditions of approval.

The Division of Parks & Wildlife identified concerns with contamination of the South Platte River and encroachment into burrowing owl nesting areas. The letter provided includes best standards of practice to avoid these issues, and these requirements have been included as a recommended condition of approval.

The Division of Water Resources identified concern with the retention of water on the site. The letter provided includes best standards of practice to avoid these issues, and these requirements have been included as a recommended condition of approval.

The Colorado Geological Survey provided a letter to the County recommending a slope analysis for the reservoir after reclamation. The slope analysis has been recommended as a condition of approval.

The City of Brighton provided a letter expressing concerns regarding the timing of landscaping installation, the City's ability to acquire right-of-way, and the installation of berms. Staff has included much of the requests as recommended conditions of approval.

Responding with Concerns:

Brighton Fire District

City of Brighton

Colorado Department of Natural Resources, Division of Parks & Wildlife

Colorado Department of Public Health and Environment

Tri-County Health Department

Responding without Concerns:

Colorado Department of Transportation

Union Pacific Railroad

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Brantner Extension Ditch

Brighton Ditch Company

Brighton School District 27J

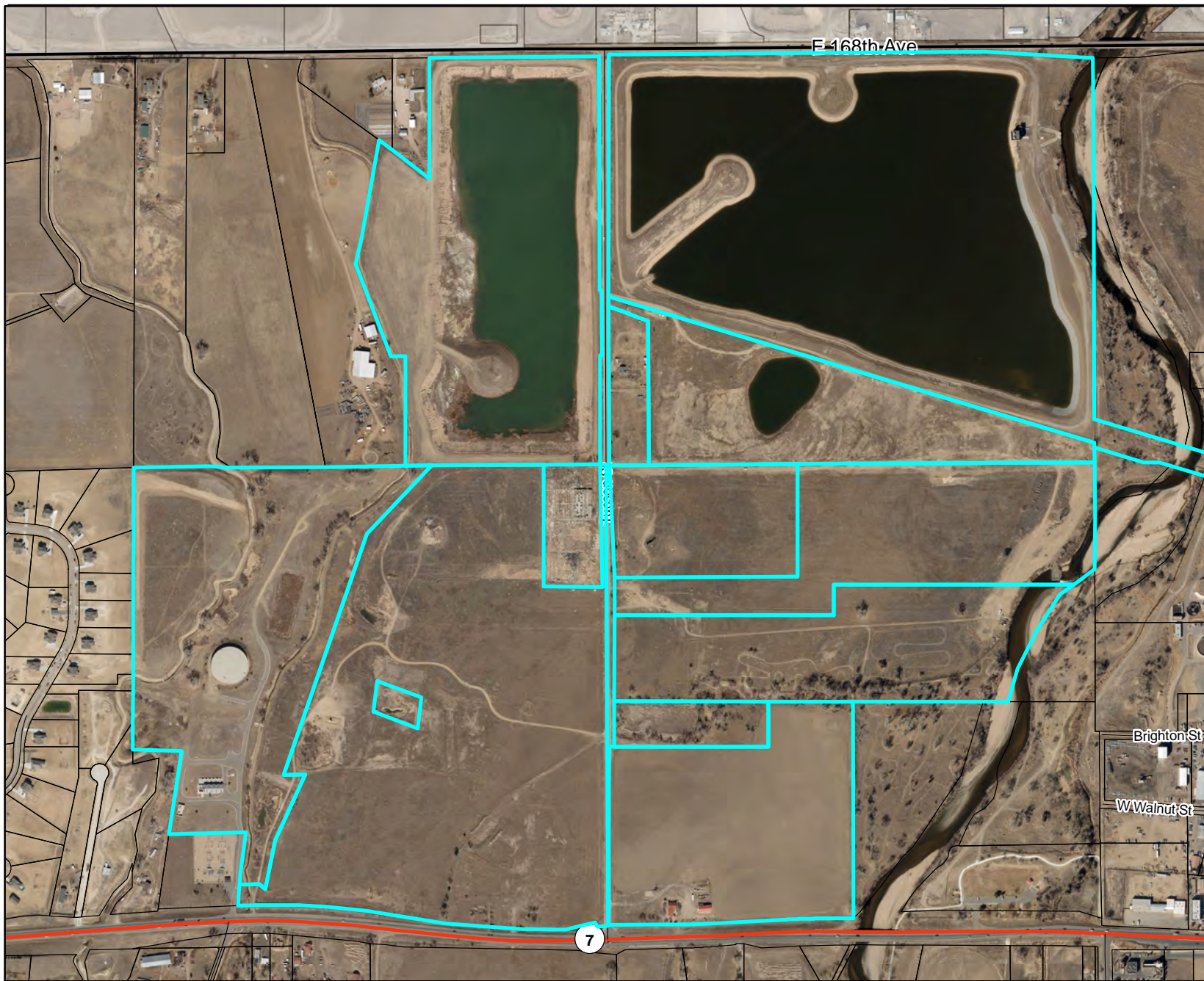
Century Link

Comcast

Colorado Division of Mining & Reclamation Safety

Eagle Shadow Metro District

Farmers & Gardner Ditch Company
McCann Ditch & Reservoir
Metro Wastewater & Reclamation
RTD
The Brighton Ditch Company
Todd Creek Village Metropolitan District
Union Pacific Railroad
U.S. Environmental Protection Agency
Weld County



Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Conditions

Case Name: Tuscon South Aerial Map

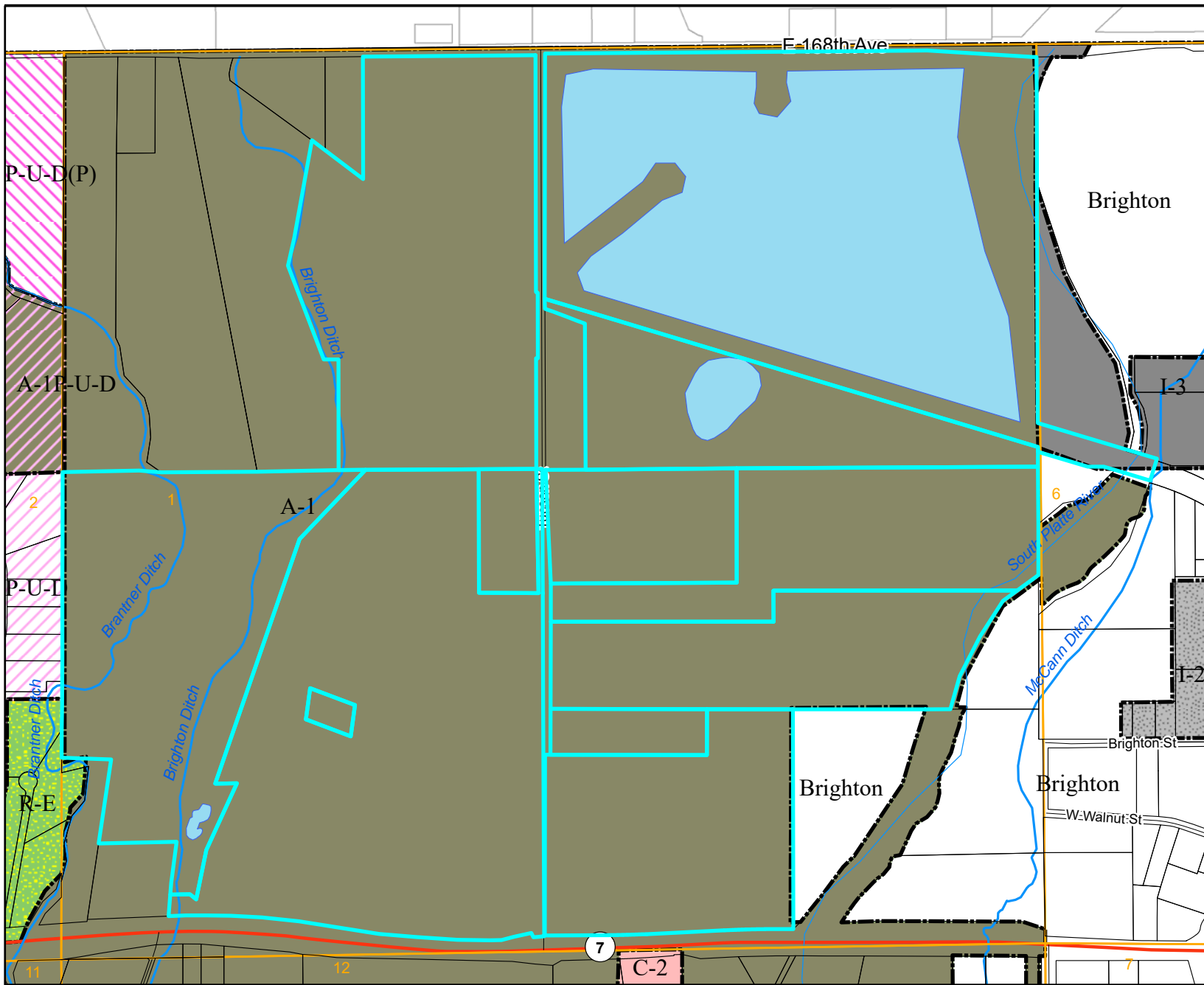
Case Number: EXG2020-00001



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)



AD TY

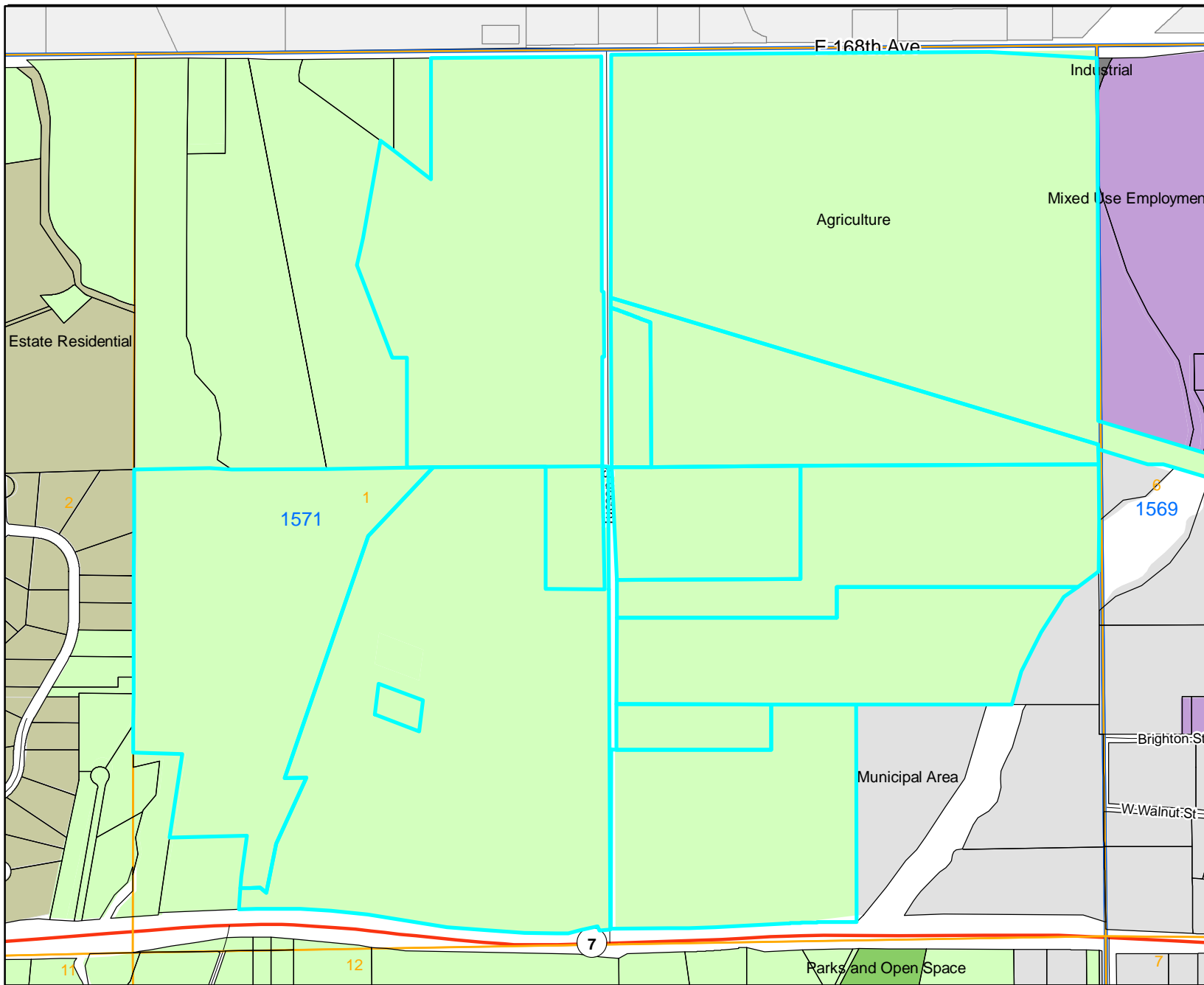
This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

Tucson South Zoning Map

EXG2020-00001



For display purposes only.



Legend

- +— Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Conditions

Case Name: Tuscon South Future Land Use Planning Map

Case Number: EXG2020-00001



For display purposes only.



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EXECUTIVE SUMMARY

TUCSON SOUTH RESOURCE CONDITIONAL USE PERMIT APPLICATION

This application for a Conditional Use Permit (CUP) for gravel mining (“Application”) is presented by Aggregate Industries-WCR, Inc. (“Aggregate Industries”) to Adams County, Colorado for review and approval as provided for in the Adams County Development Standards and Regulations.

Aggregate Industries-WCR, Inc. is seeking a conditional use permit to mine land owned by Aggregate Industries and the City of Aurora in Adams County, Colorado. The site is located west of Brighton, north of Highway 7, and South of 168th Street. Aggregate Industries is pleased to present this revised application based on feedback from the community, local agencies, and other key stakeholders. Aggregate Industries appreciates the time and effort of the stakeholders who contributed their input to the Application’s development, and looks forward to continued collaboration during the County review process.

HISTORY AND REVISED SCOPE

When initially permitted in 2004 (EXG2004-0004), the planned use of the property included wet mining, onsite crushing and screening plants, sales yards, and truck transport of mined materials. This revised plan has been narrowed in scope to only include onsite excavation and direct conveyance to the existing Wattenberg Lakes Resource site located 1.5 miles to the north, in Weld County. Onsite processing plants, sales yards, and material export by truck are no longer included in this CUP application. Additionally, a 24-acre parcel, known as the “South Parcel” has been removed from the Division of Reclamation, Mining and Safety permit, pending its approval. Aggregate Industries will instead donate this parcel to either the City of Brighton or Adams County for open space.

In this revised Application, we also are proposing enhanced environmental controls and studies to demonstrate to the community that air emissions will be significantly below local, state and federal regulatory levels.

Aggregate Industries believes the Application provides a proposed use that is compatible and in harmony with surrounding uses, which will benefit the community by providing a vital, local source of construction materials to meet construction demand in Adams County, while reducing costs of local building and road projects, enhancing economic development potential and providing job opportunities in Adams County.

The Project Fact Sheet follows on the next page.

SUMMARY OF REVISED PERMIT APPLICATION

Overview

Aggregate Industries is seeking a permit for land it owns west of Brighton, Colorado, located north of Highway 7 and south of the Adams/Weld County line (168th Street).

Aggregate Industries proposes to limit mining to the parcels north of Highway 7 and use an overland conveyor system to bring material to the existing Wattenberg/Platte Valley facility in Weld County. By removing the property south of Highway 7 and installing a conveyor system, this revised proposal eliminates traffic concerns on Highway 7, Tucson Street, and 168th Ave. raised during a 2019 application. A parcel of land south of Highway 7 that is owned by Aggregate Industries will not be part of the permit.

Aggregate Industries proposes to extract material and complete reclamation at the site over an eight-year time period. The land will feature perimeter seeded berms during mining and buffer areas on Highway 7 and along the South Platte River. Upon completion of mining, the community will benefit from a water storage facility featuring a crusher fines regional trail with native landscaping and decorative fencing.

Aggregate Industries proposes to donate the property south of Highway 7, which contains significant aggregate resources, as a conservation easement or open space land that, if desired by the community, will include a nature trail and nature demonstration area.



1. TRAFFIC ELIMINATION

Aggregate Industries have revised the application to remove all haul out operations. A 1.5-mile-long overland conveyor system will be installed prior to commencement of production. This mitigates traffic concerns on Highway 7, Tucson Street, and 168th Ave.



2. MINING & RECLAMATION TIMELINE

Mining and Reclamation will be reduced to 8 years from the time the conveyor is installed, assuming an operating schedule of Monday through Saturday, 7 a.m. to 7 p.m.



3. POST MINE WATER STORAGE RESOURCE

Enhanced post mine water storage resource – City of Aurora has committed to farm style fencing with an enhanced landscape trail along Highway 7.



4. REMOVAL & DONATION OF PROPERTY SOUTH OF HIGHWAY 7

The property south of Highway 7 will not be included in the new county application. Aggregate Industries will donate the parcel or place a Conservation Easement on the parcel. Aggregate Industries will also work with county to include a nature trail and nature demonstration area on the south parcel.



5. AIR QUALITY MONITORING & MODELING

Aggregate Industries will utilize an expert third party consultant to conduct an air modeling analysis and will commit to installing two real time air quality monitors on site. Aggregate Industries will transmit data from the monitors monthly to Adams County. Aggregate Industries will provide a hotline for dust complaints. Aggregate Industries will meet quarterly with neighbors to update the status of the project.

TUCSON SOUTH RESOURCE PRE-MINING AND MINING PLAN MAPS

GRAVEL MINING APPLICANT / OPERATOR:

AGGREGATE INDUSTRIES-WCR, INC.
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

SURFACE OWNERS:

AGGREGATE INDUSTRIES-WCR, INC. (TRACTS A, B, D, E, F, H, I, AND M)
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

CITY OF AURORA (TRACTS C, G, K, AND N)
15151 EAST ALAMEDA PARKWAY
SUITE 3600
AURORA, COLORADO 80012

CITY OF THORNTON (TRACT J)
12450 WASHINGTON STREET
THORNTON, COLORADO 80241

ADAMS COUNTY (TRACT L)
ADAMS COUNTY GOVERNMENT CENTER
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, COLORADO 80601

PLEASE REFER TO SHEETS C-2 AND C-3 FOR ADJACENT PROPERTY OWNERS WITHIN 200' OF PERMIT BOUNDARY. ADJACENT PROPERTY OWNER INFORMATION WAS PROVIDED BY ADAMS COUNTY AND WELD COUNTY RECORDS.

EXISTING VEGETATION:

THE LAND COVER FOR THE PROJECT AREA WAS DETERMINED THROUGH A DESKTOP ANALYSIS OF THE NATIONAL LAND COVER DATABASE (FRY ET AL 2011). THE PROJECT LIES WITHIN COVER CLASSES IDENTIFIED BY THE NLCD AS CULTIVATED CROPLAND, HAY/PASTURE, HERBACEOUS, GRASSLANDS, WOODY AND HERBACEOUS WETLANDS, AND DEVELOPED AND BARREN.

UTILITY INFORMATION:

UTILITY INFORMATION TAKEN FROM THE TUCSON SOUTH ALTAINSPS LAND TITLE SURVEY DATED SEPTEMBER 7, 2018 BY CIVIL ARTS.

WETLAND NOTE:

WETLANDS SHOWN ON PLANS ARE PER INVESTIGATION REPORTS BY TETRA TECH DATED AUGUST 2017.

FLOOD HAZARD INFORMATION:

FLOODPLAIN INFORMATION IS FROM FLOOD INSURANCE RATE MAP, PANEL NO. 08001C0327H & 08001C0326H, DATED MARCH 5, 2007. A PORTION OF THIS LAND LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS INUNDED BY THE 1% ANNUAL CHANCE FLOOD) AND REGULATORY FLOODWAY.

MINING AREA ACREAGE TABLE:

AREA/PHASE	TRACT	PERMIT BOUNDARY	AFFECTED AREA	MINED AREA
WEST/ PHASE 1	A	82.6	82.6	72.0
	B	1.0	1.0	
	C	5.0	5.0	
	K	49.0	0.0	
EAST/ PHASE 2	D	14.4	14.4	83.8
	E	30.7	30.7	
	F	29.6	29.6	
	G	4.9	4.9	
	H	32.6	32.6	
CONVEYOR	J	3.3	3.3	0.0
	N	1.6	1.6	0.0
TUCSON ST	L	2.9	2.9	0.0

FLOOD HAZARD LEGEND:

EFFECTIVE ZONE AE: AREA OF 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE FLOODWAY: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

PRE-PROJECT / MINING CONDITIONS: AREA OF 1% ANNUAL CHANCE FLOODPLAIN PER TETRA TECH STUDY (NOV. 2018 OR AS REVISED)

LEGAL DESCRIPTIONS:

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001359920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING; THENCE S69°18'E, 260.7 FEET; THENCE N07°32'E, 171.6 FEET; THENCE N69°18'W, 260.7 FEET; THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 28, 2016 AT RECEPTION NO. 2016000080881, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E. PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST; PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER; S53°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET; S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001359920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT I

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 328 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

TRACT J

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 01571010029001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°37'18" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET; SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE 17 MAP 855; THENCE SOUTH 73°16'48" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING.

TRACT L (TUCSON STREET RIGHT-OF-WAY)

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°06'29" EAST 1234.13 FEET TO A POINT WHEN THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°06'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°06'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°06'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING.

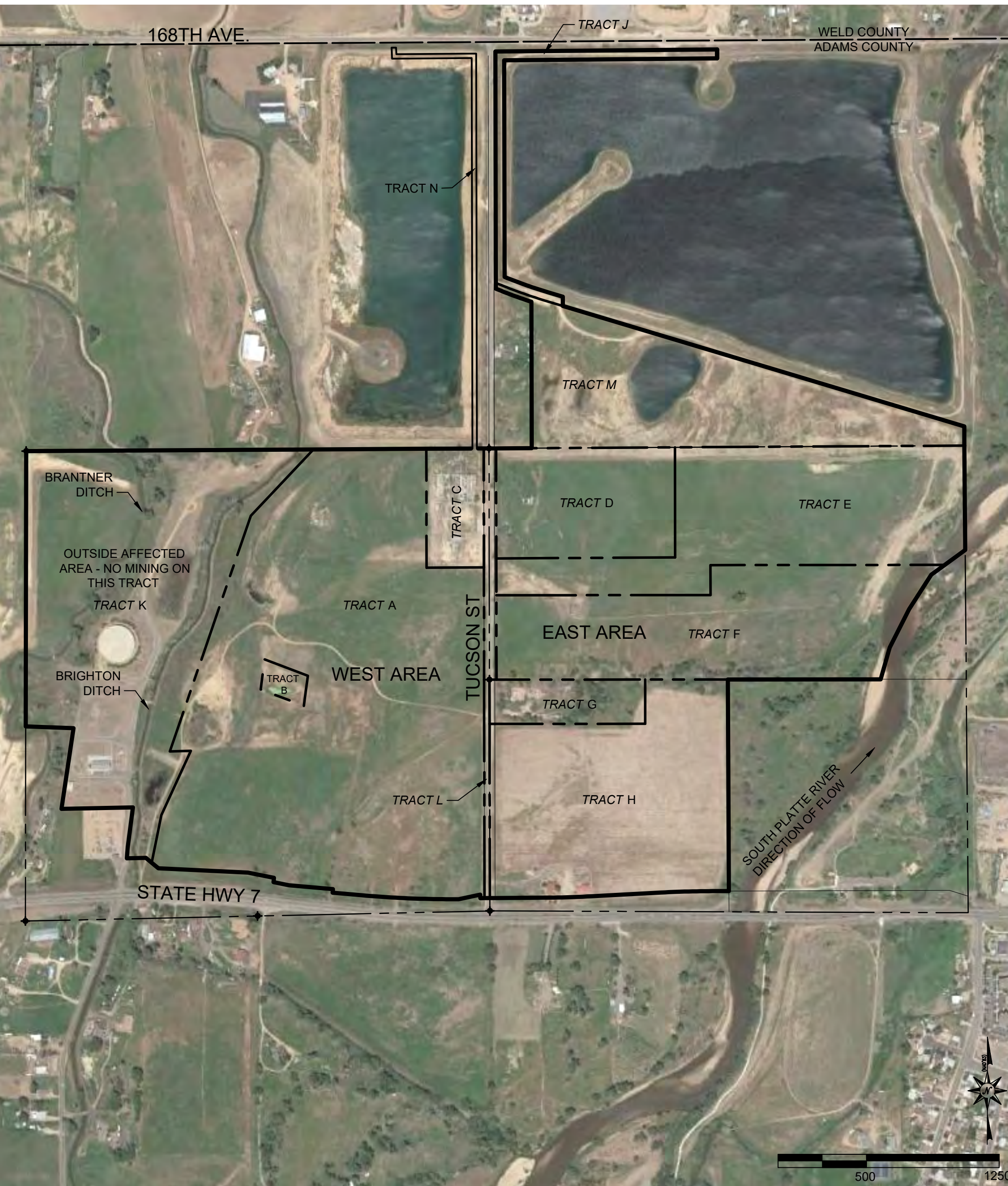
TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET; THENCE SOUTH 73°16'48" EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.

TRACT N

A PORTION OF A PARCEL OWNED BY THE CITY OF AURORA (PN: 157101200010) A STRIP OF LAND BEING 25 FEET IN WIDTH, TO BE USED AS AN EASEMENT, LOCATED IN THE NORTHWEST OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, SAID 25 FOOT WIDE STRIP OF LAND BEING 12.5 FEET EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 1; THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, SAID LINE ALSO BEING THE SOUTH LINE OF A PARCEL OF LAND RECORDED AT BOOK 1, PAGE 3795, RECEPTION NUMBER 2010-018, SOUTH 89°38'46" WEST A DISTANCE OF 68.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 00°06'37" WEST, A DISTANCE OF 2219.37 FEET; SAID LINE BEING 68.20 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, AND 27.02 FEET WEST OF THE EAST LINE OF A PARCEL OF LAND RECORDED AT BOOK 1, PAGE 3795, SAID LINE ALSO BEING THE WEST RIGHT OF WAY LINE OF TUCSON STREET; THENCE SOUTH 89°31'48" WEST, A DISTANCE OF 450.84 FEET, BEING 32.79 FEET SOUTH OF AND PARALLEL TO THE NORTHERLY LINE OF SAID PARCEL AS RECORDED AT BOOK 1, PAGE 3795, SAID LINE ALSO BEING THE SOUTH RIGHT OF WAY LINE OF 168TH AVE, ALSO KNOWN AS BASELINE ROAD, SAID LINE ALSO BEING 72.92 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 57 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE NORTH 02°04'13" WEST, A DISTANCE OF 32.67 FEET TO THE POINT OF TERMINUS, FROM WHENCE THE NORTH EAST CORNER OF THE NORTHWEST QUARTER BEARS NORTH 85°06'18" EAST, A DISTANCE 521.97 FEET.



MINING NOTES:

- REFER TO EXHIBITS C-2 AND C-3 FOR ADJACENT PROPERTY OWNERS, SOURCE OF SURVEY/TOPOGRAPHY, AND BENCHMARK INFORMATION.
- AN ENGINEERING STABILITY ANALYSIS FOR SLIDING FAILURE HAS BEEN PERFORMED. MINING OCCURRING WITHIN 200' OF A MAN-MADE STRUCTURE NOT OWNED BY THE APPLICANT/OPERATOR HAS ADEQUATE SETBACK FOR SLIDING FAILURE. THE LIMIT OF MINING EXCAVATION PER THE GEOTECHNICAL SOLE STABILITY ANALYSIS IS SHOWN ON EXHIBITS C-4 AND C-5.
- FOR THE WEST AND EAST CELLS, THE OPERATOR WILL USE DRY MINING TECHNIQUES AND EXCAVATE MATERIAL BY BACKHOE, BULLDOZERS, AND SIMILAR EQUIPMENT. THE MINING FOR THESE PHASES WILL INVOLVE INSTALLATION OF A SLURRY WALL, DE-WATERING ACTIVE MINING AREAS, AND PUMPING WATER FROM DE-WATERED AREAS IN ACCORDANCE WITH THE DISCHARGE PERMIT.
- TOPSOIL AND OVERBURDEN STOCKPILES SHALL BE TEMPORARILY STORED IN THE AREAS SHOWN. THE STOCKPILES IN THE FLOODPLAIN SHALL BE ALIGNED PARALLEL TO THE FLOOD-FLOW DIRECTION OF THE S. PLATTE RIVER, HAVE A MAXIMUM HEIGHT OF 30', A MAXIMUM LENGTH OF 300', MAXIMUM 3H:1V SLOPES, AND A MINIMUM OF 100' BETWEEN STOCKPILES.
- OVERBURDEN AND TOPSOIL STOCKPILES ABOVE EXISTING GRADE, THAT ARE EXPECTED TO BE PRESENT FOR OVER 1 YEAR, WILL BE SEEDDED WITH A TEMPORARY SEED MIX AS WEATHER PERMITS.
- OVERBURDEN AND TOPSOIL STOCKPILES MAY BE STORED IN THE BOTTOM OF THE MINING CELLS IN EAST AND WEST MINING AREAS AS LONG AS THE TOP OF THE STOCKPILE IS BELOW THE PRE-MINING SURFACE ELEVATION.
- STOCKPILED TOPSOIL WILL BE SEGREGATED FROM OTHER SPOIL.
- THE OPERATION WILL INVOLVE CONCURRENT MINING AND RECLAMATION WITH FINAL SLOPES BEING 3H:1V, AND PLACEMENT OF 6" TO 12" OF TOPSOIL ON ALL RECONSTRUCTED AREAS ABOVE THE PROPOSED HIGH WATER LEVEL OF THE FUTURE RESERVOIR, AND OTHER DISTURBED AREAS AS NECESSARY.
- TETRA TECH INC. IS NOT RESPONSIBLE FOR SAFETY, IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR

- COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS THERETO.
- A MINIMUM OF TEN (10) FEET OF CLEARANCE FROM ANY EXISTING POWERLINE OR FUTURE POWERLINE SHALL BE MAINTAINED AT ALL TIMES AS OUTLINED BY STATE STATUTES.
- UTILITIES SHOWN ON THIS PLAN WERE FIELD LOCATED AT THE TIME OF PLAN PREPARATION. FOR SAFETY, THE OPERATOR SHOULD LOCATE UTILITIES PRIOR TO SLURRY WALL CONSTRUCTION, OR MINING ACTIVITY.
- NO IRRIGATION DITCHES WILL BE DISTURBED. LATERALS THAT SERVE THE PROPERTY WILL BE REMOVED.
- WETLANDS BUFFER SHALL NOT BE DISTURBED UNTIL USACE AUTHORIZATION IS OBTAINED.
- USACE HAS INFORMED AGGREGATE INDUSTRIES - WCR, INC THAT NO PERMIT IS REQUIRED FOR THIS PROJECT.
- THE MINING LIMITS SHOWN HEREIN ASSUME A 3H:1V (EAST AND WEST AREAS) AS DESCRIBED IN THE SLOPE STABILITY AND SETBACK UPDATES MEMO (TETRA TECH, JULY 9, 2019). DEVIATIONS FROM THE ASSUMPTIONS MADE IN THE MEMO MAY IMPACT THE ALLOWABLE GEOTECHNICAL SETBACK. THIS MEMO DOES NOT DOCUMENT SETBACKS THAT ARE BASED ON MUTUAL AGREEMENTS OR ADAMS COUNTY REGULATIONS.

SHEET INDEX:

- C-1 EXHIBIT C COVER SHEET & MINING NOTES
- C-2 EXHIBIT C PER-MINING PLAN MAP WEST AREAS
- C-3 EXHIBIT C PRE-MINING PLAN MAP EAST AREA
- C-4 EXHIBIT C WEST AREA MINING PLAN
- C-5 EXHIBIT C EAST AREA MINING PLAN
- C-6 EXHIBIT C MINING DETAILS

CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRA TECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.



1900 S. Sunset St. Ste. 1 LE
Denver, CO 80202
Phone: (303) 772-8282

MARK	DATE	DESCRIPTION
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE
3	11/18/19	THIRD ADEQUACY REVIEW RESPONSE
4	4/30/20	REMOVE SOUTH MINING AREA
5	7/17/20	ADD TRACT N

AGGREGATE INDUSTRIES - WCR, INC.

TUCSON SOUTH RESOURCE

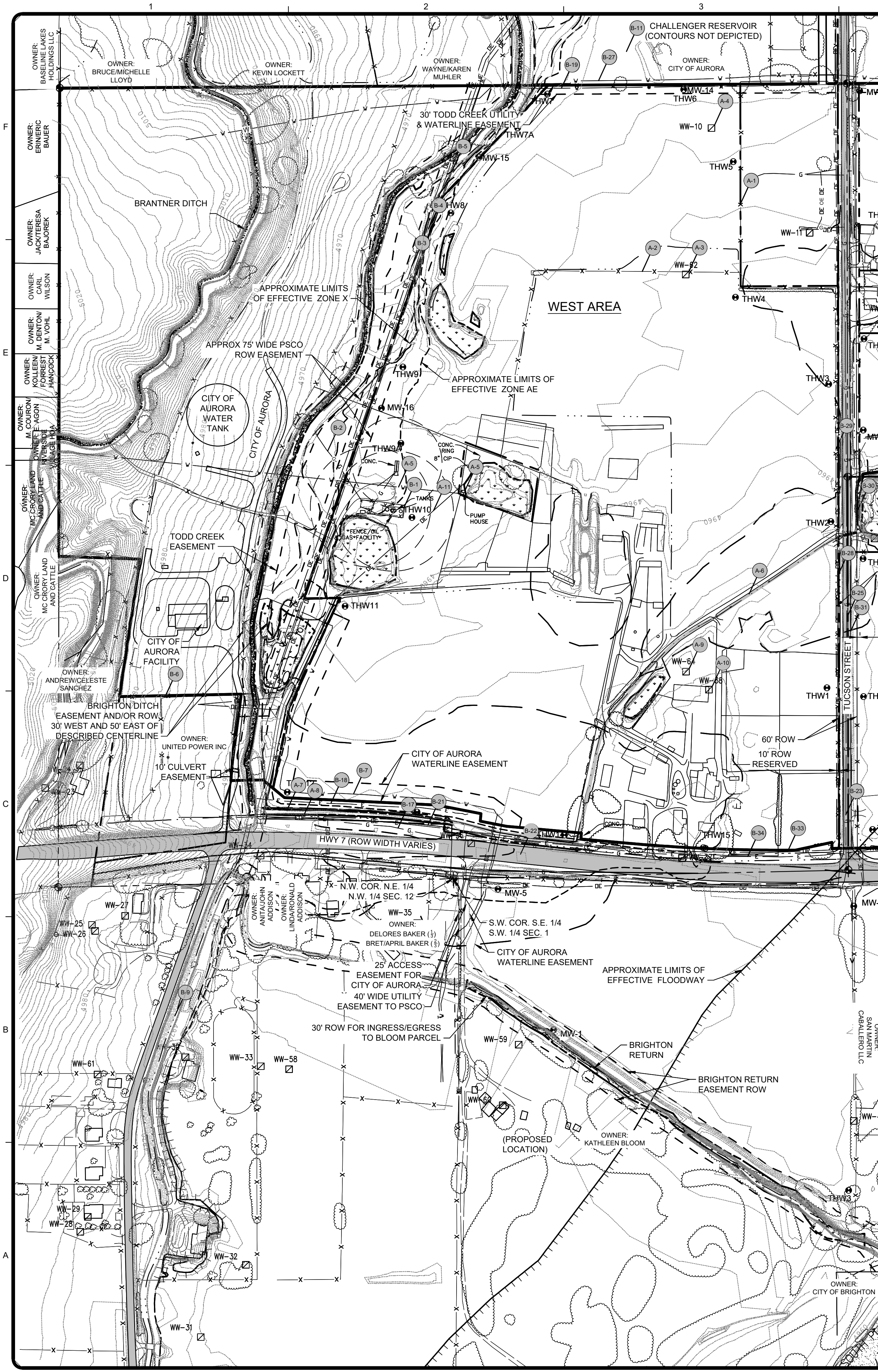
EXHIBIT C

COVER SHEET & MINING NOTES

Project No.: 200-23514-18004
Designed By: JAB
Drawn By: JJA
Checked By: JAB

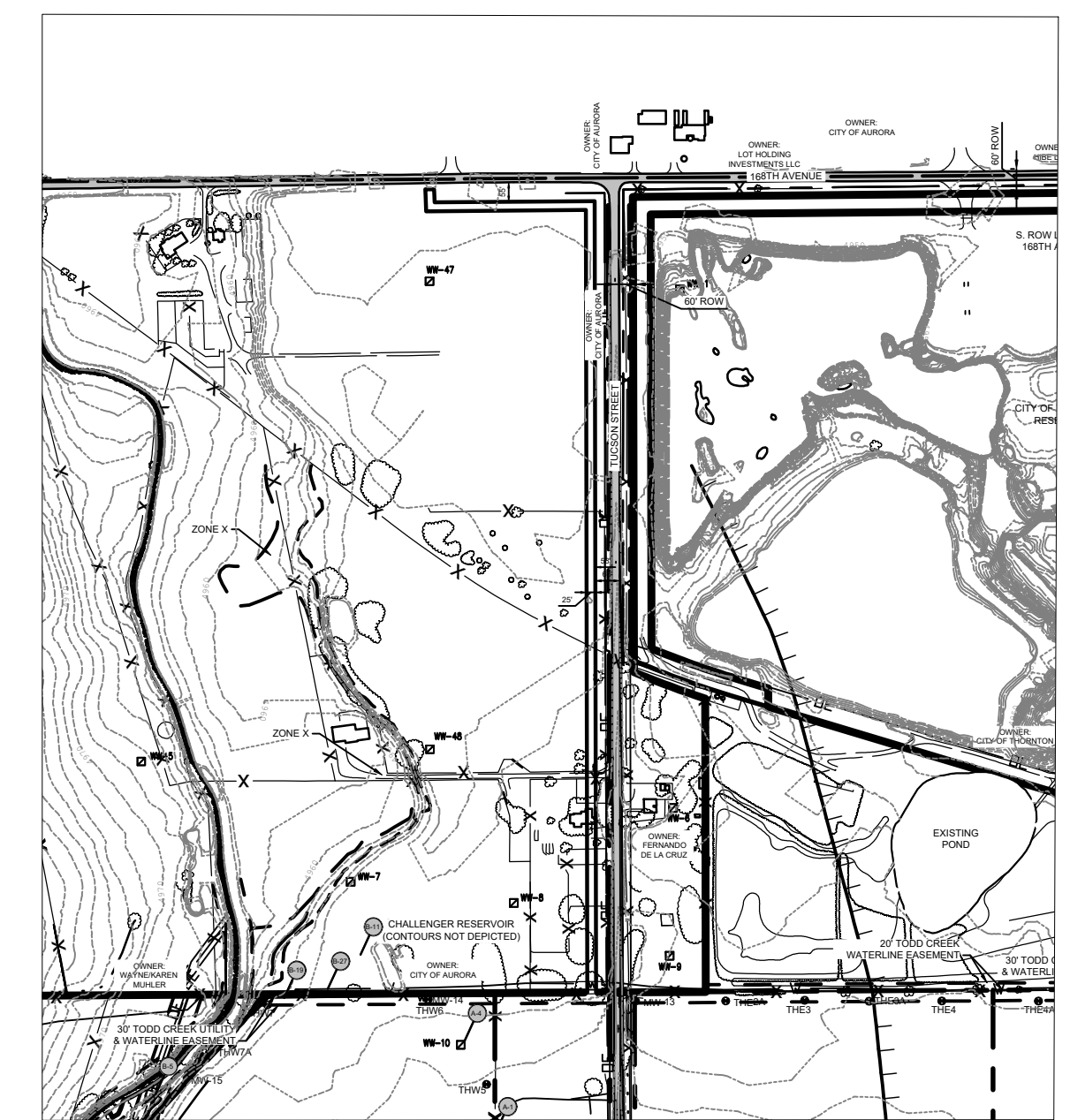
C-1
EXHIBIT

Bar Measures 1 inch



LEGEND:

---	MINE PERMIT BOUNDARY
---	TRACT BOUNDARY
---	EASEMENT
---	EFFECTIVE FLOODWAY
---	EFFECTIVE ZONE AE
---	EFFECTIVE ZONE X
---	PRE-PROJECT MINING CONDITIONS 100-YR FLOODPLAIN
---	EXISTING WETLAND BOUNDARY
---	EXISTING EDGE OF WATER
---	EXISTING 2' CONTOURS
---	EXISTING FENCE
---	EXISTING EDGE OF ROAD
---	EXISTING ELECTRIC LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING TELEPHONE LINE
---	EXISTING ASPHALT ROAD
---	EXISTING SOUTH PLATTE RIVER
---	UDFCD STABILIZATION
---	EXISTING WETLANDS
○	MONITORING WELL LOCATION WITH WELL ID #
□	WATER WELL LOCATION WITH WELL ID #
○	EXISTING TREES
+	UTILITY POLE
+	SECTION CORNER MONUMENT



SURVEY/TOPOGRAPHIC INFORMATION:

BASEMAP INFORMATION AND TOPOGRAPHY:
 (3/26/2009) CARRERA MAPPING, INC., 4743 SOUTH CATHAY COURT AURORA, COLORADO, 80015 PHONE: (303) 693-5999

SURVEY INFORMATION:
 CIVIL ARTS
 1500 KANSAS AVE, STE. 2-E
 LONGMONT, CO 80501

BOUNDARY INFORMATION AND EXISTING UTILITIES: CIVIL ARTS
 1500 KANSAS AVE, STE. 2-E
 LONGMONT, CO 80501
 (SEE LEGAL DESCRIPTIONS)

FEATURES OUTSIDE PROPERTY BOUNDARY WERE PROVIDED BY: AERIAL PHOTO AND USGS MAP

WELL INFORMATION:

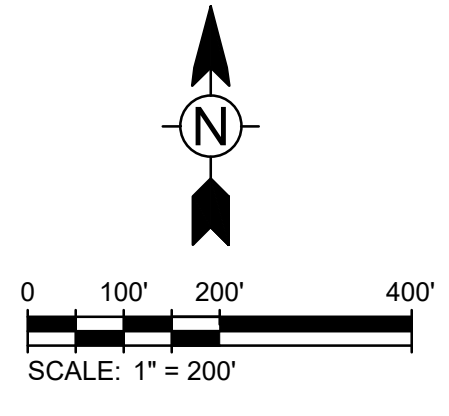
□ WW-# LOCATIONS ARE APPROXIMATE, BASED ON SEO DATABASE AND DOOR TO DOOR SURVEY, AND COULD BE ABANDONED OR DESTROYED. INFORMATION IS FROM TETRA TECH WELL INVENTORY REPORT DATED MARCH 13, 2004.

STRUCTURE LIST

STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS	RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)*	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)**
STRUCTURES TO BE REMOVED						
A-1	FENCE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	-	-	-
A-2	FENCE LOCATED ON PROPERTY	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-3	WW-42	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-4	WW-10	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-5	PUMP HOUSE, WELL & WATERLINE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-6	IRRIGATION DITCH	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-7	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-8	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-9	WW-64	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-10	WW-38	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-11	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	-	-	-
STRUCTURES TO BE PROTECTED						
B-1	OIL AND GAS FACILITY, WELL, APPURTENANCES, AND FENCE	GREAT WESTERN OPERATING COMPANY, LLC		56	-	56
B-2	GAS LINE	GREAT WESTERN OPERATING COMPANY, LLC		56	-	56
B-3	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST. DENVER, COLORADO, 80202	68	-	75 MINIMUM
B-4	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST. DENVER, COLORADO, 80202	68	-	75 MINIMUM
B-5	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1800 LARIMER ST. DENVER, COLORADO, 80202	68	-	75 MINIMUM
B-6	ELECTRICAL SUBSTATION	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	45	-	511
B-7	WATERLINE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012		60	83 MN (N OF HWY 7) 75 MN (S OF HWY 7)
B-8	INTENTIONALLY NOT USED					
B-9	BRIGHTON DITCH	BRIGHTON DITCH COMPANY	3286 WELD COUNTY ROAD 23, FT LUPTON CO 80621	35	-	90 MINIMUM
B-11	CHALLENGER RESERVOIR	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	45	-	176
B-17	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	106	-	189
B-18	UNDERGROUND ELECTRIC	UNITED POWER INC INC	PO BOX 929, BRIGHTON, CO, 80602	106	-	133
B-19	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	45	20	55
B-21	FENCE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	106	-	174
B-22	CO STATE HIGHWAY 7	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	106	-	185
B-23	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	44	-	80
B-25	TUSCON STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	44	-	71
B-27	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	45	20	79
B-28	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	44	-	53
B-29	FENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	44	-	48
B-30	FENCE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	44	-	122
B-31	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE, 68103	44	-	97
B-33	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	106	-	111
B-34	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	106	-	128

* Offset is selected from nearest feature analyzed in the stability analysis
 ** Actual offset distance is measured from the feature to the mining excavation limit shown on sheet.

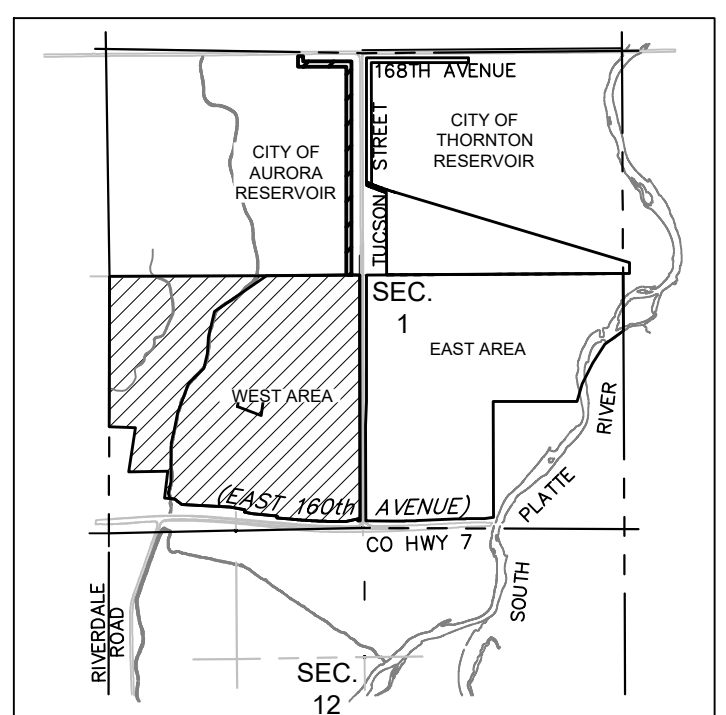
MATCHLINE SEE SHT C-3

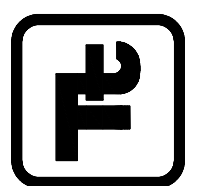


CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRA TECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

KEY MAP
NOT TO SCALE





TETRA TECH

www.tetra-tech.com
 1900 S. Sunset St., Ste. 1-E
 Longmont, CO 80501
 Phone: (303) 772-5262

MARK	DATE	DESCRIPTION	BY				
			TH	TH	TH	MES	MES
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE					
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE					
3	1/18/19	THIRD ADEQUACY REVIEW RESPONSE					
4	5/11/20	REMOVE SOUTH AREA FROM MINING LIMIT					
5	7/17/20	ADD TRACT N					

AGGREGATE INDUSTRIES - WCR, INC.
 TUCSON SOUTH RESOURCE
 EXHIBIT C
 PRE-MINING PLAN MAP
 WEST AREA

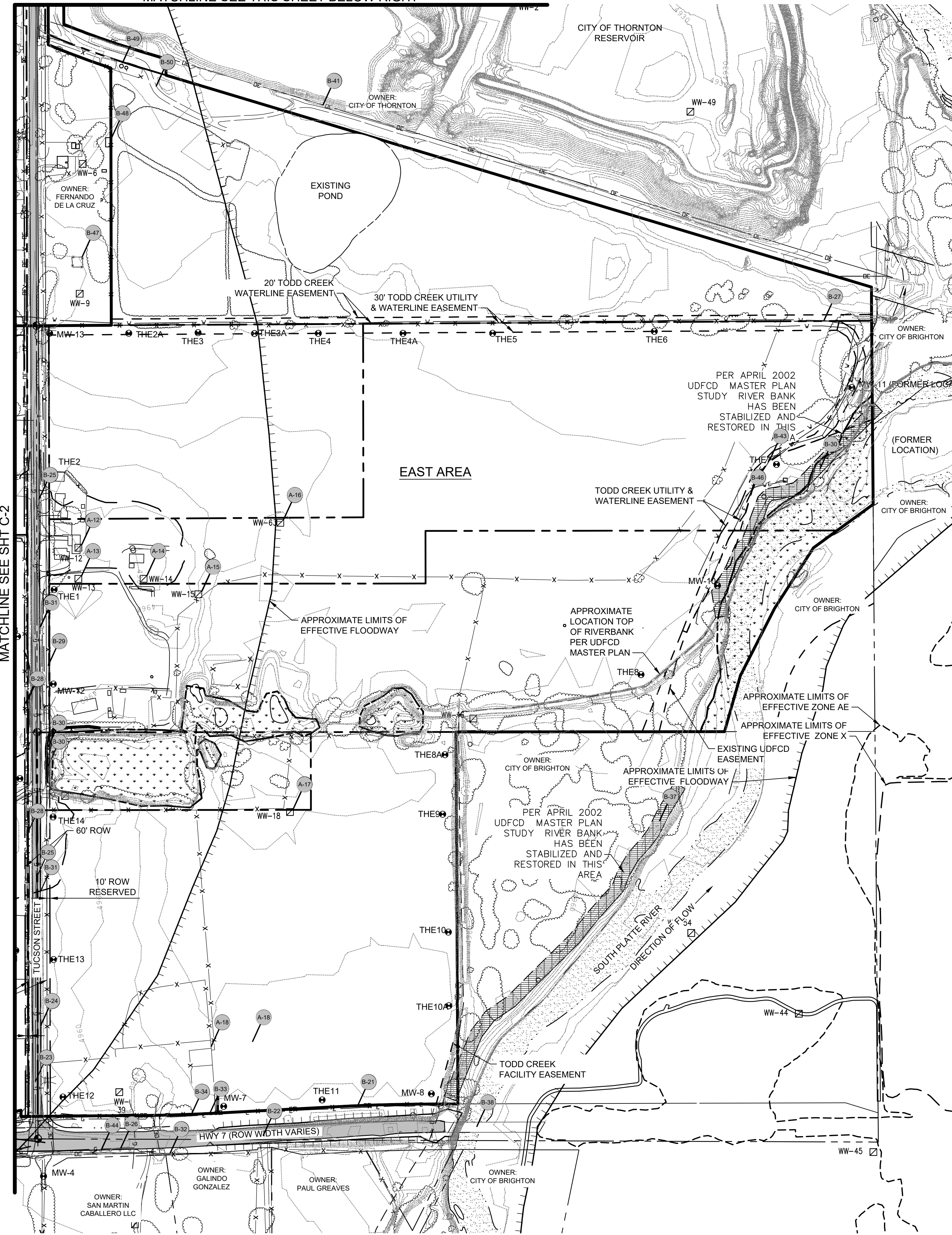
Project No.: 200-23514-18004
 Designed By:
 Drawn By:
 Checked By:

C-2

EXHIBIT

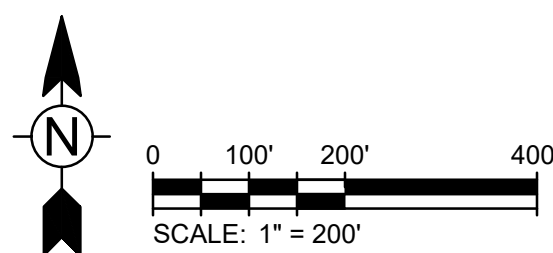
Bar Measures 1 inch

MATCHLINE SEE THIS SHEET BELOW RIGHT



CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.



LEGEND:

	MINE PERMIT BOUNDARY		EXISTING ASPHALT ROAD
	TRACT BOUNDARY		EXISTING SOUTH PLATTE RIVER
	EASEMENT		UDFCD STABILIZATION
	EFFECTIVE FLOODWAY		EXISTING WETLANDS
	EFFECTIVE ZONE AE		MONITORING WELL LOCATION WITH WELL ID #
	EFFECTIVE ZONE X		WATER WELL LOCATION WITH WELL ID #
	PRE-PROJECT/MINNING CONDITIONS 100-YR FLOODPLAIN		EXISTING TREES
	EXISTING WETLAND BOUNDARY		UTILITY POLE
	EXISTING EDGE OF WATER		SECTION CORNER MONUMENT
	EXISTING 2' CONTOURS		
	EXISTING FENCE		
	EXISTING EDGE OF ROAD		
	EXISTING ELECTRIC LINE		
	EXISTING OVERHEAD ELECTRIC LINE		
	EXISTING GAS LINE		
	EXISTING WATER LINE		
	EXISTING TELEPHONE LINE		

SURVEY/TOPOGRAPHIC INFORMATION:

BASEMAP INFORMATION AND TOPOGRAPHY: (3/26/2002) CARRERA MAPPING, INC., 4743 SOUTH CATHAY COURT AURORA, COLORADO, 80015 PHONE: (303) 993-5999

SURVEY INFORMATION: CIVIL ARTS 1500 KANSAS AVE, STE 2-E LONGMONT, CO 80501

BOUNDARY INFORMATION AND EXISTING UTILITIES: CIVIL ARTS 1500 KANSAS AVE, STE 2-E LONGMONT, CO 80501 (SEE LEGAL DESCRIPTIONS)

FEATURES OUTSIDE PROPERTY BOUNDARY WERE PROVIDED BY: AERIAL PHOTO AND USGS MAP

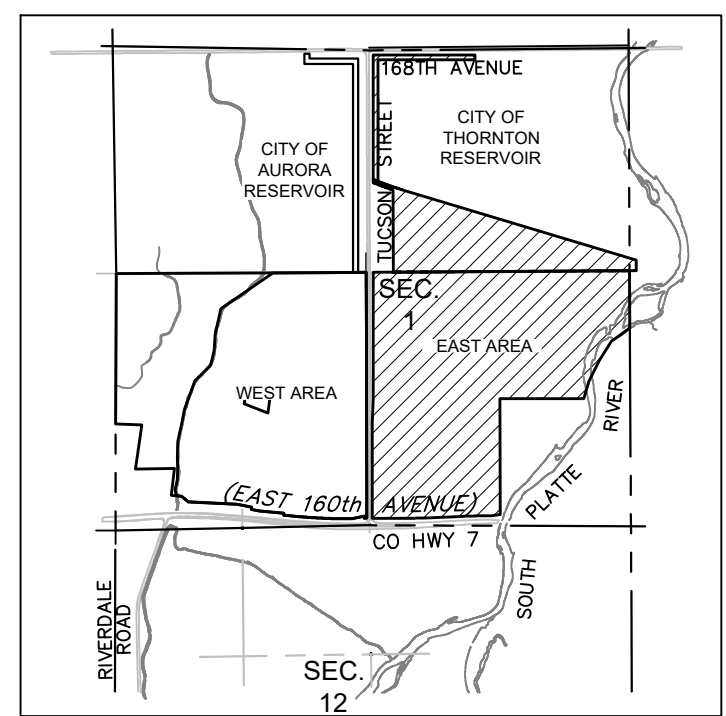
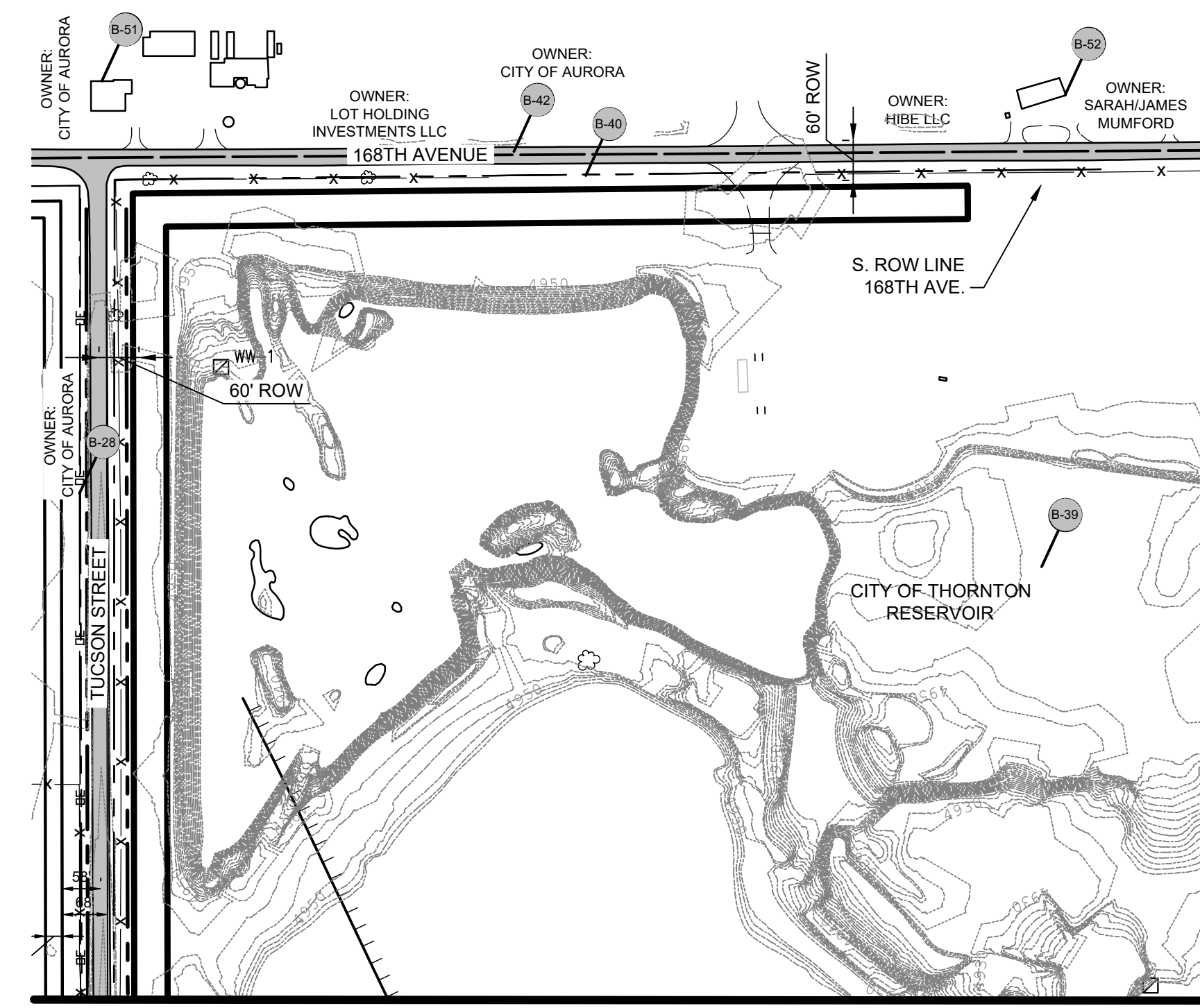
WELL INFORMATION:

☐ WW-# LOCATIONS ARE APPROXIMATE, BASED ON SEO DATABASE AND DOOR TO DOOR SURVEY, AND COULD BE ABANDONED OR DESTROYED. INFORMATION IS FROM TETRA TECH WELL INVENTORY REPORT DATED MARCH 13, 2004.

STRUCTURE LIST

STRUCTURES TO BE REMOVED				RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)*	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)**
STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS			
A-12	WW-12	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-13	WW-13	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-14	WW-14	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-15	WW-15	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-16	WW-63	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-17	WW-18	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-18	PRIVATE RESIDENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
STRUCTURES TO BE PROTECTED				RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)*	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)**
STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS			
B-21	FENCE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	35	-	55
B-22	CO STATE HIGHWAY 7	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	35	-	133
B-23	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	35	-	104
B-24	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE, 68103	35	-	81
B-25	TUCSON STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	35	-	84
B-26	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN, 55401	35	-	158
B-27	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	35	20	200
B-28	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	35	-	126
B-29	FENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	35	-	56
B-30	FENCE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	35	-	57
B-31	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE, 68103	35	-	81
B-32	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	35	-	176
B-33	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	35	-	51
B-34	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	35	-	68
B-35	FENCE	SAN MARTIN CABALLERO, LLC	13110 E 160TH AVE, BRIGHTON, CO, 80601	-	-	-
B-36	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	44	200	200 MINIMUM
B-37	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	44	200	200 MINIMUM
B-38	HIGHWAY 7 BRIDGE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	-	200	338
B-39	THORNTON RESERVOIR	CITY OF THORNTON	9500 CMC DR, THORNTON CO 80229-4326	-	-	335
B-40	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	-	-	2335
B-41	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80602	-	-	776
B-42	168TH STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	-	-	2350
B-43	WATERLINE, WELL, PUMP HOUSE & APPURTENANCES	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	-	20	143
B-44	GUARDRAIL	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO, 80204	35	-	162
B-45	INTENTIONALLY NOT USED			-	-	-
B-46	UNDERGROUND ELECTRIC	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	-	20	173
B-47	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO DE LA CRUZ	16400 TUCSON STREET, BRIGHTON, CO, 80601	-	-	292
B-48	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO ARMANDO DE LA CRUZ BRECEDA	16400 TUCSON STREET, BRIGHTON, CO, 80601	-	-	675
B-49	OIL AND GAS FACILITY	GREAT WESTERN OPERATING COMPANY, LLC		-	-	916
B-50	ACCESS ROAD	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	839
B-51	PRIVATE RESIDENCE AND OUT BUILDINGS	CHRISTOPHER MUEHLER	11585 COUNTY ROAD 2, BRIGHTON, CO, 80603	-	-	2405
B-52	PRIVATE RESIDENCE AND OUT BUILDINGS	JAMES AND SARAH MUMFORD	11835 COUNTY ROAD 2, BRIGHTON, CO, 80603	-	-	2415

* Offset is selected from nearest feature analyzed in the stability analysis
 ** Actual offset distance is measured from the feature to the mining excavation limit shown on sheet.



MATCHLINE SEE THIS SHEET ABOVE LEFT

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MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/18/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/11/20	REMOVE SOUTH AREA FROM MINING LIMIT	MES
5	7/17/20	ADD TRACT N	MES

AGGREGATE INDUSTRIES - WCR, INC.
 TUCSON SOUTH RESOURCE
EXHIBIT C
 PRE-MINING PLAN MAP
 EAST AREA

Project No.: 200-23514-18004
 Designed By:
 Drawn By:
 Checked By:

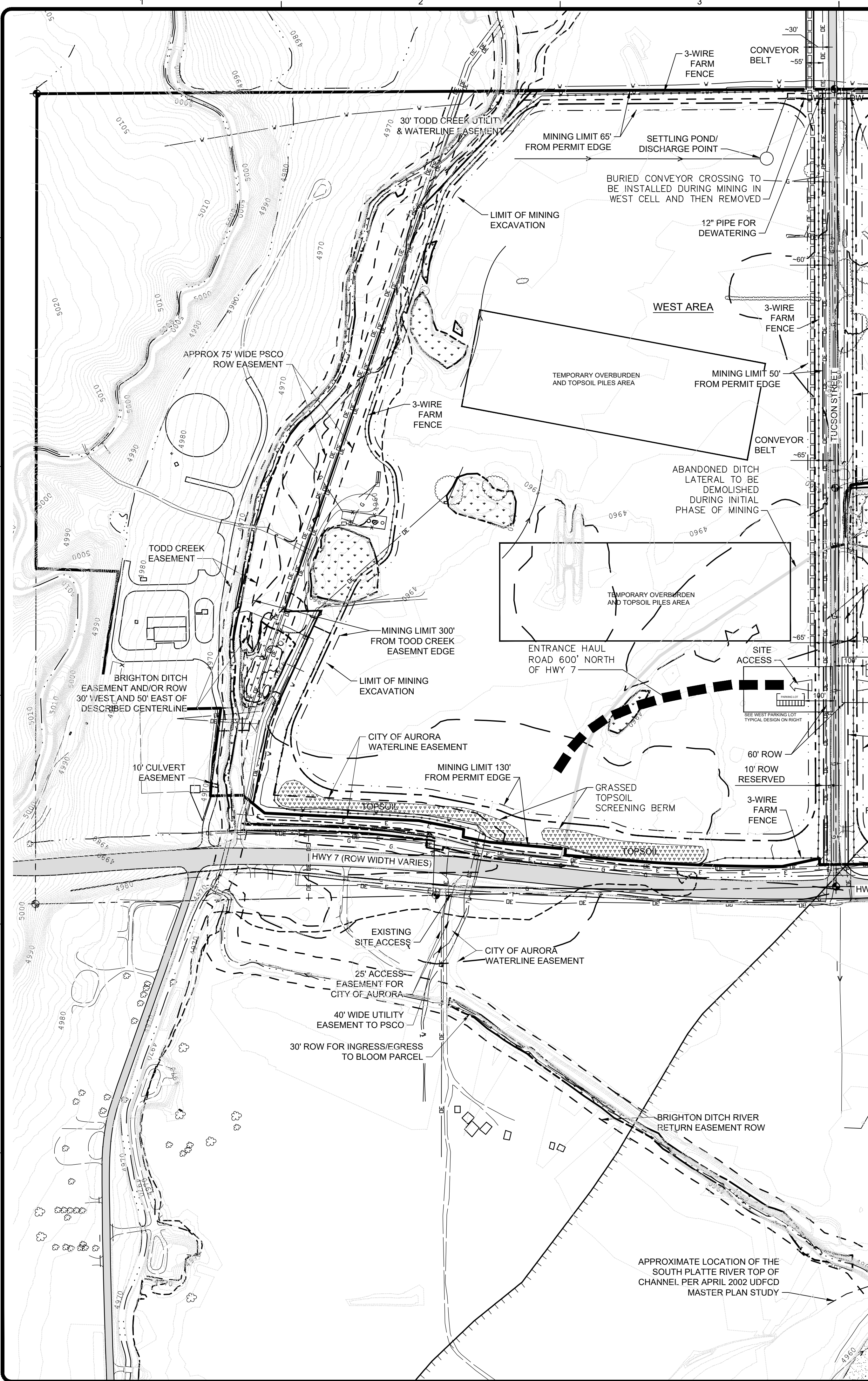
C-3
 EXHIBIT

Bar Measures 1 inch

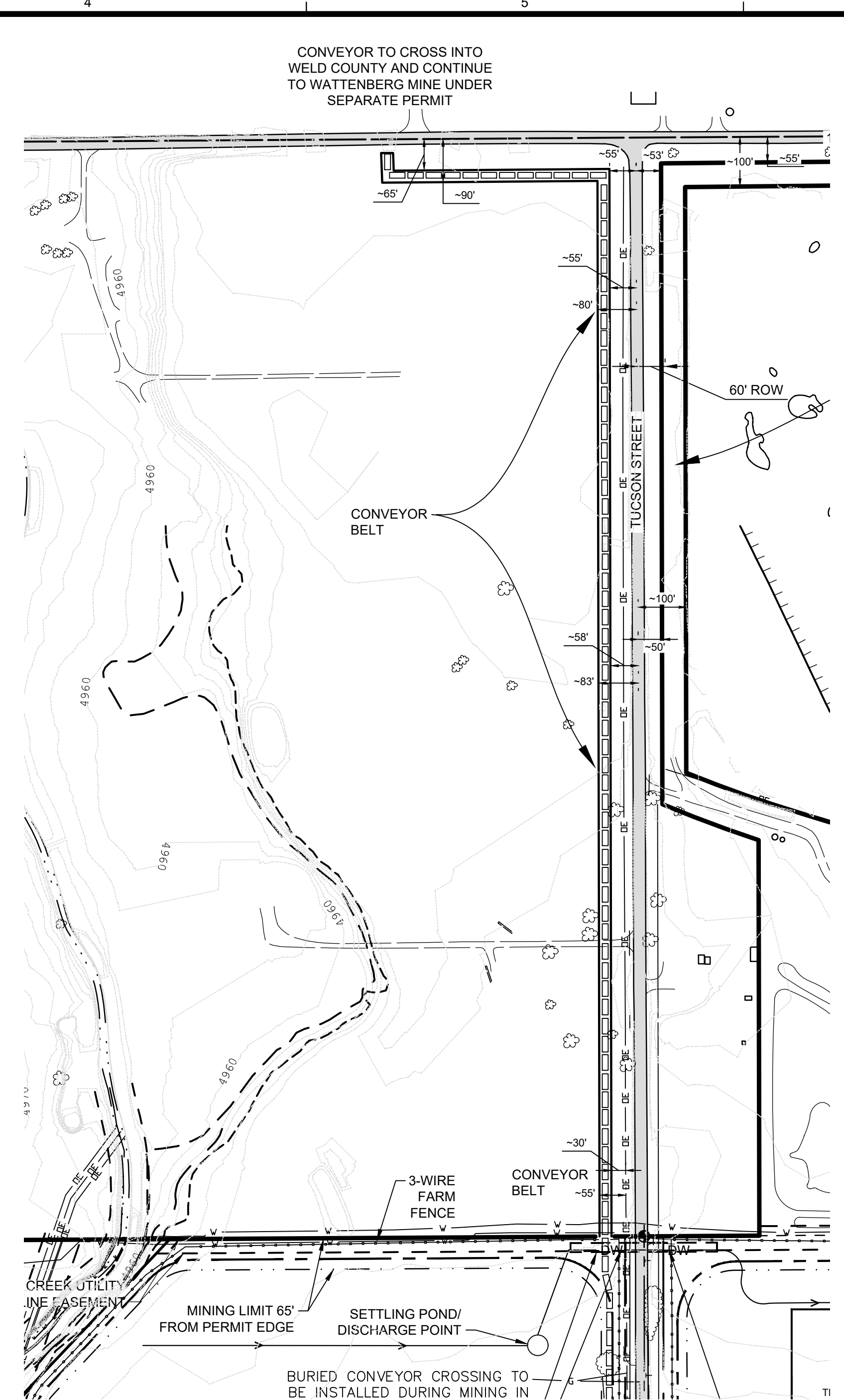
4/29/2020 3:16:28 PM - DRAWING1.DWG - ANDRYAUSKAS, JEREMY

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12/4/2020 2:30:07 PM - C:\USERS\SPANIEL\DOCUMENTS\MOUNTAIN\TUCSON SOUTH\UPDATE TUCSON SOUTH - DELETE SOUTH AREA\AC-5 EXHIBIT C EAST AREA (PHASE 3) MINING PLAN DWG - MARK SPANIEL



MATCHLINE SEE SHT C-5

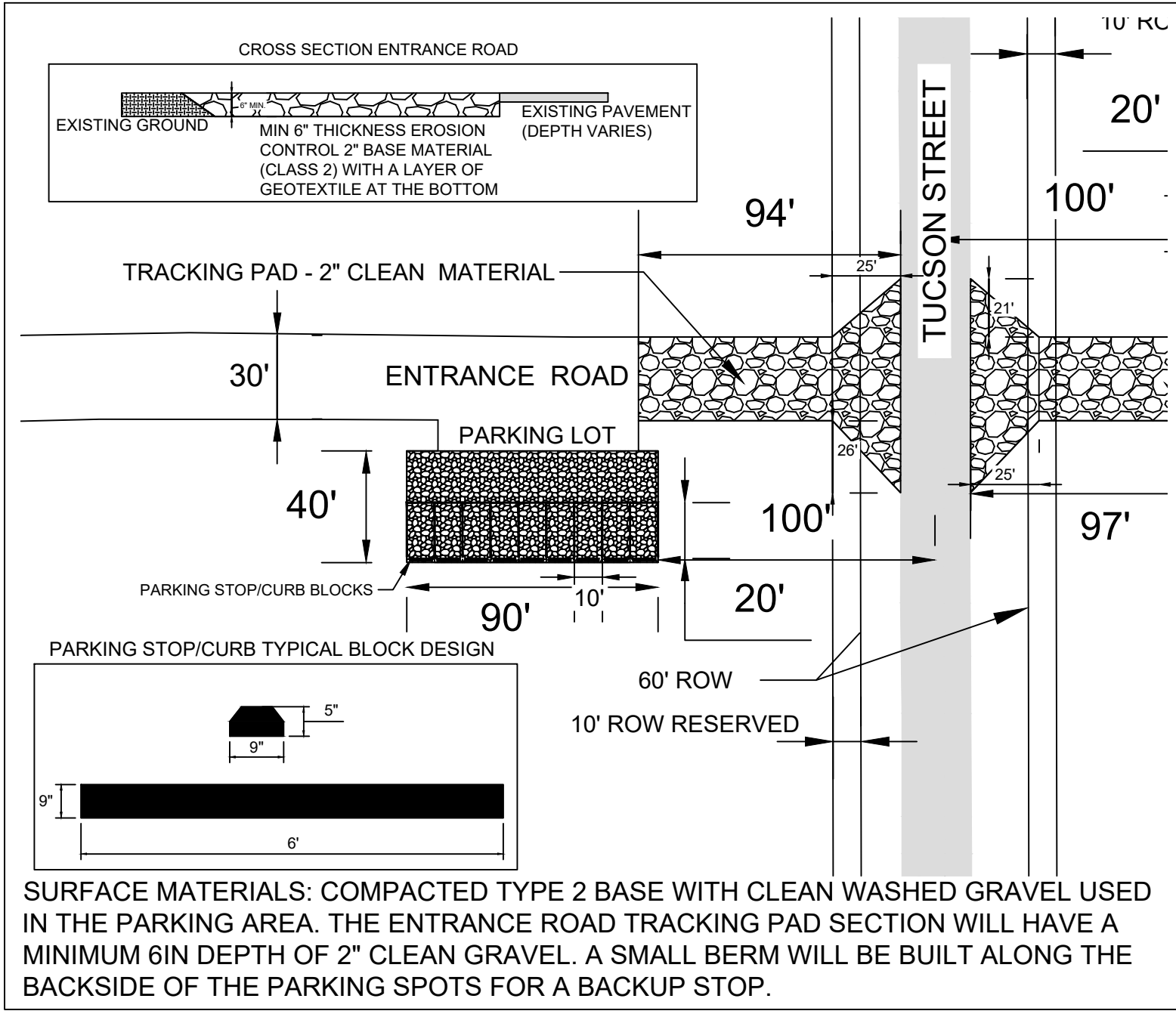


- LEGEND:**
- MINE PERMIT BOUNDARY
 - TRACT BOUNDARY
 - - - EASEMENT
 - - - EFFECTIVE FLOODWAY
 - - - EFFECTIVE ZONE AE
 - - - EFFECTIVE ZONE X
 - - - PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN
 - - - EXISTING WETLAND BOUNDARY
 - - - EXISTING EDGE OF WATER
 - - - EXISTING 2' CONTOURS
 - - - EXISTING FENCE
 - - - EXISTING EDGE OF ROAD
 - - - EXISTING ELECTRIC LINE
 - - - EXISTING OVERHEAD ELECTRIC LINE
 - - - EXISTING GAS LINE
 - - - EXISTING WATER LINE
 - - - EXISTING TELEPHONE LINE
 - - - 3-WIRE FARM FENCE
 - - - PROPOSED SLURRY WALL
 - - - LIMIT OF MINING EXCAVATION PER SLOPE STABILITY ANALYSIS
 - - - SURFACE DEWATERING TRENCH
 - - - 12" PIPE FOR DEWATERING
 - - - ON SITE HAUL ROAD
 - - - ON SITE CONVEYOR
 - - - PROPOSED ACCESS
 - - - OVERBURDEN STOCKPILE
 - - - TOPSOIL STOCKPILE
 - - - TOPSOIL SCREENING BERM W/ GRASS COVER
 - - - SETTLING POND/DISCHARGE POINT
 - - - EXISTING ASPHALT ROAD
 - - - EXISTING SOUTH PLATTE RIVER
 - - - UDFCD STABILIZATION
 - - - EXISTING WETLANDS

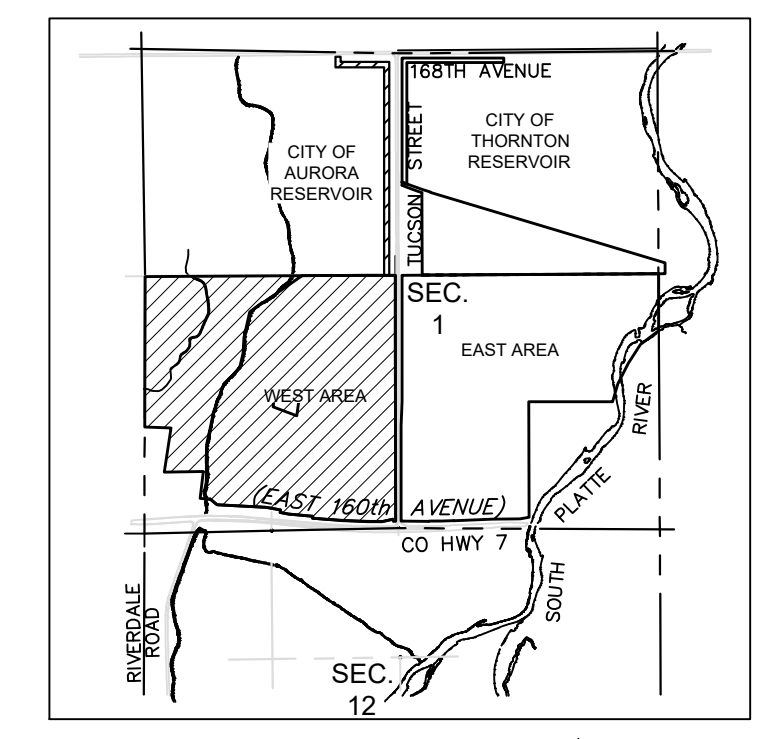
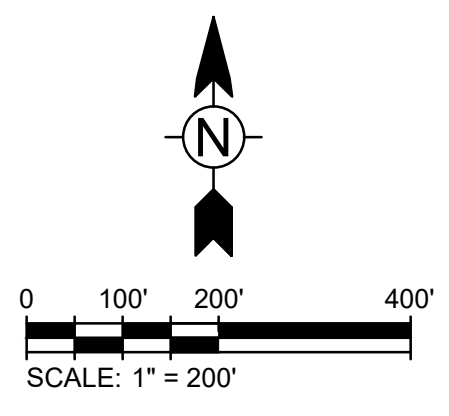
NOTE:
1. CONCEPTUAL UNDERDRAIN AND DETAILS ARE PRESENTED IN EXHIBIT G.

CERTIFICATION:
THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRA TECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

WEST EMPLOYEE PARKING LOT TYPICAL DESIGN



SURFACE MATERIALS: COMPACTED TYPE 2 BASE WITH CLEAN WASHED GRAVEL USED IN THE PARKING AREA. THE ENTRANCE ROAD TRACKING PAD SECTION WILL HAVE A MINIMUM 6IN DEPTH OF 2" CLEAN GRAVEL. A SMALL BERM WILL BE BUILT ALONG THE BACKSIDE OF THE PARKING SPOTS FOR A BACKUP STOP.



TETRA TECH

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MARK	DATE	DESCRIPTION	BY	TH
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE <td>TH</td> <td>TH</td>	TH	TH
2	9/18/19	SECOND ADEQUACY REVIEW RESPONSE <td>TH</td> <td>TH</td>	TH	TH
3	11/8/19	THIRD ADEQUACY REVIEW RESPONSE <td>TH</td> <td>TH</td>	TH	TH
4	5/1/20	REMOVE SOUTH AREA FROM MINING PLAN <td>MES</td> <td>MES</td>	MES	MES
5	7/17/20	ADD TRACT N & MOVED BELT TO TRACT N	MES	MES
6	10/30/20	ADD FARM FENCE & GRAVEL PARKING LOTS	MES	MES

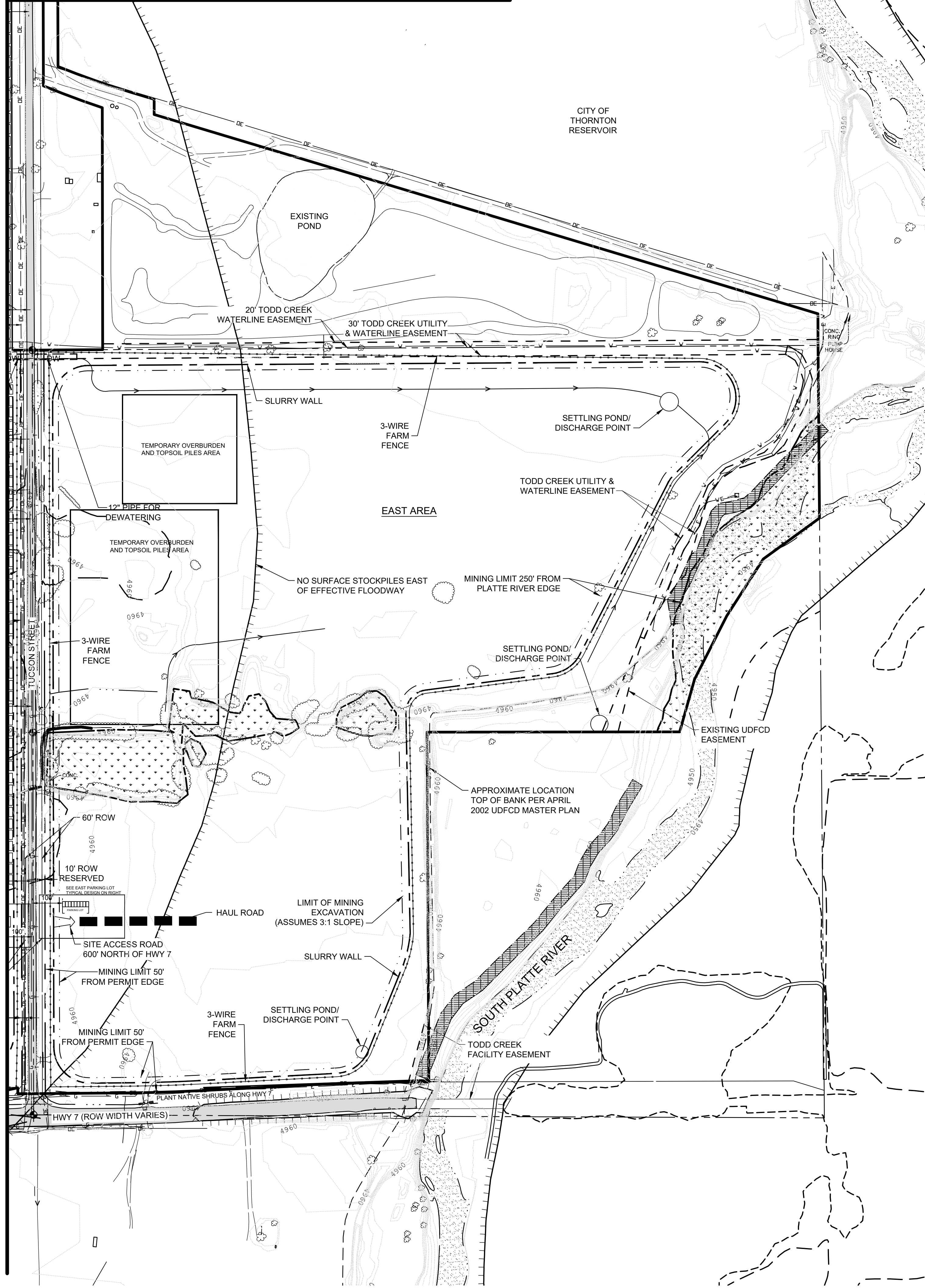
AGGREGATE INDUSTRIES - WCR, INC.
TUCSON SOUTH RESOURCE
EXHIBIT C
WEST AREA
MINING PLAN

Project No.: 200-23514-18004
Designed By:
Drawn By:
Checked By:

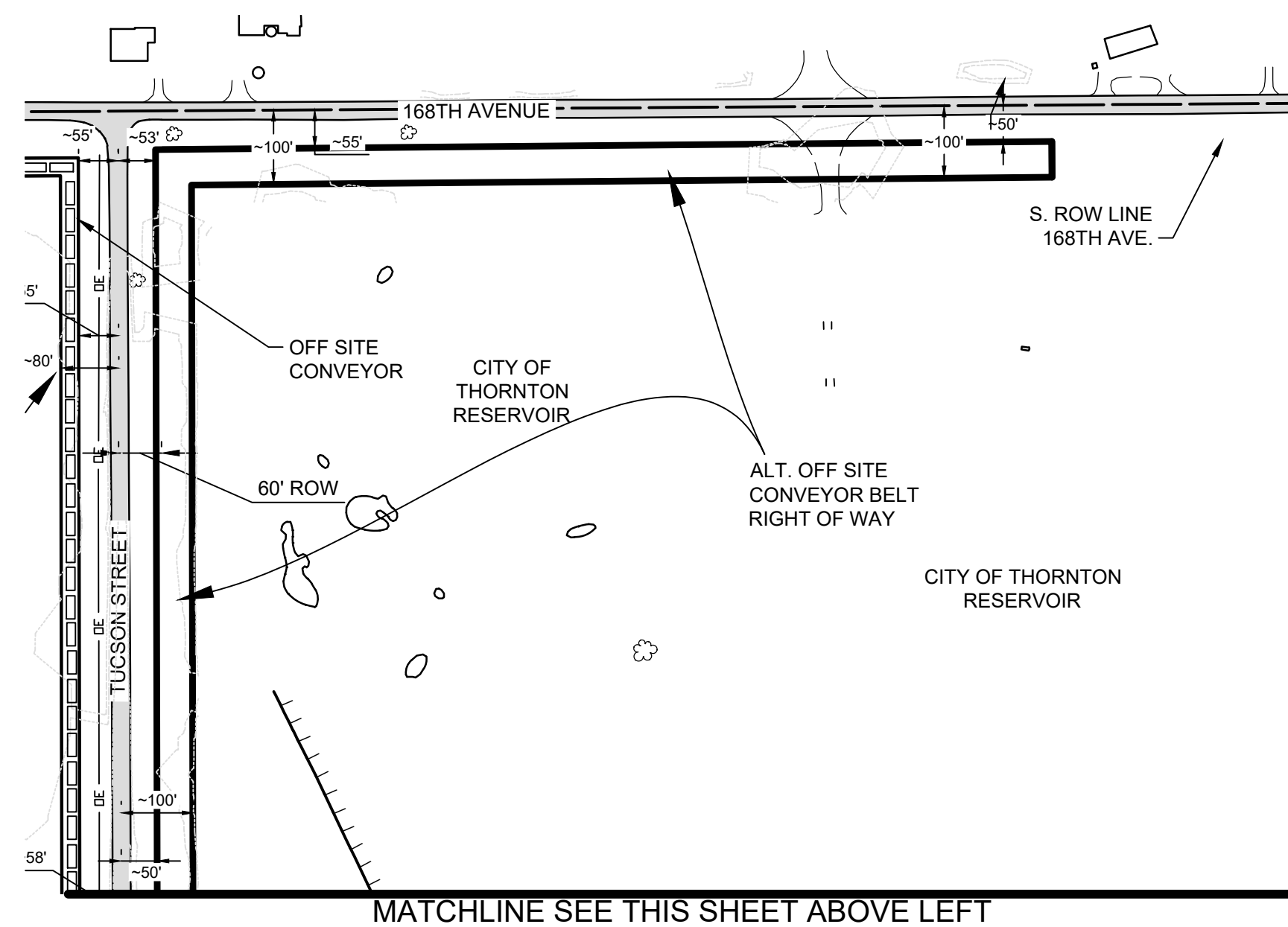
C-4
EXHIBIT

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Bar Measures 1 inch

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CERTIFICATION:
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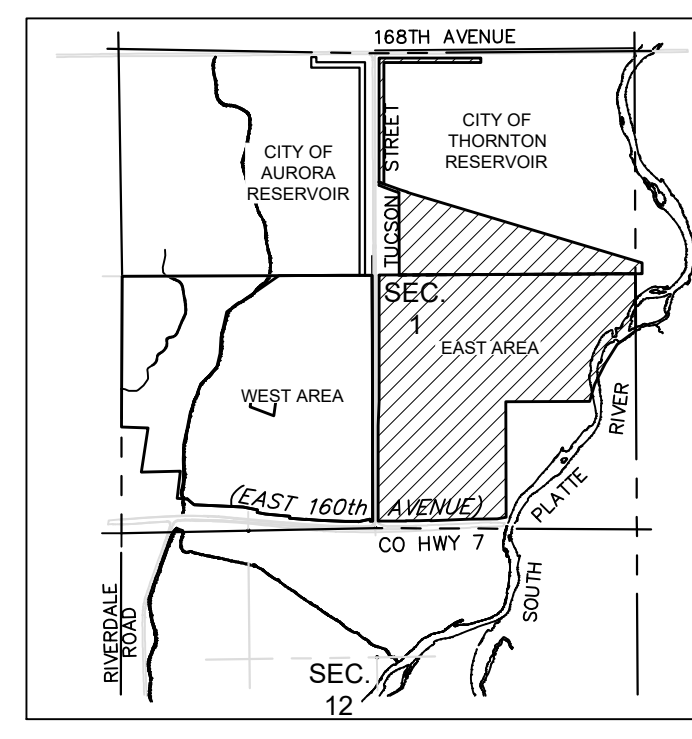
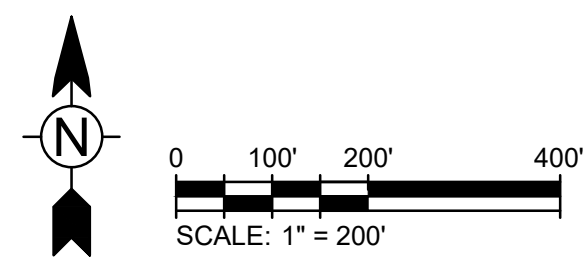
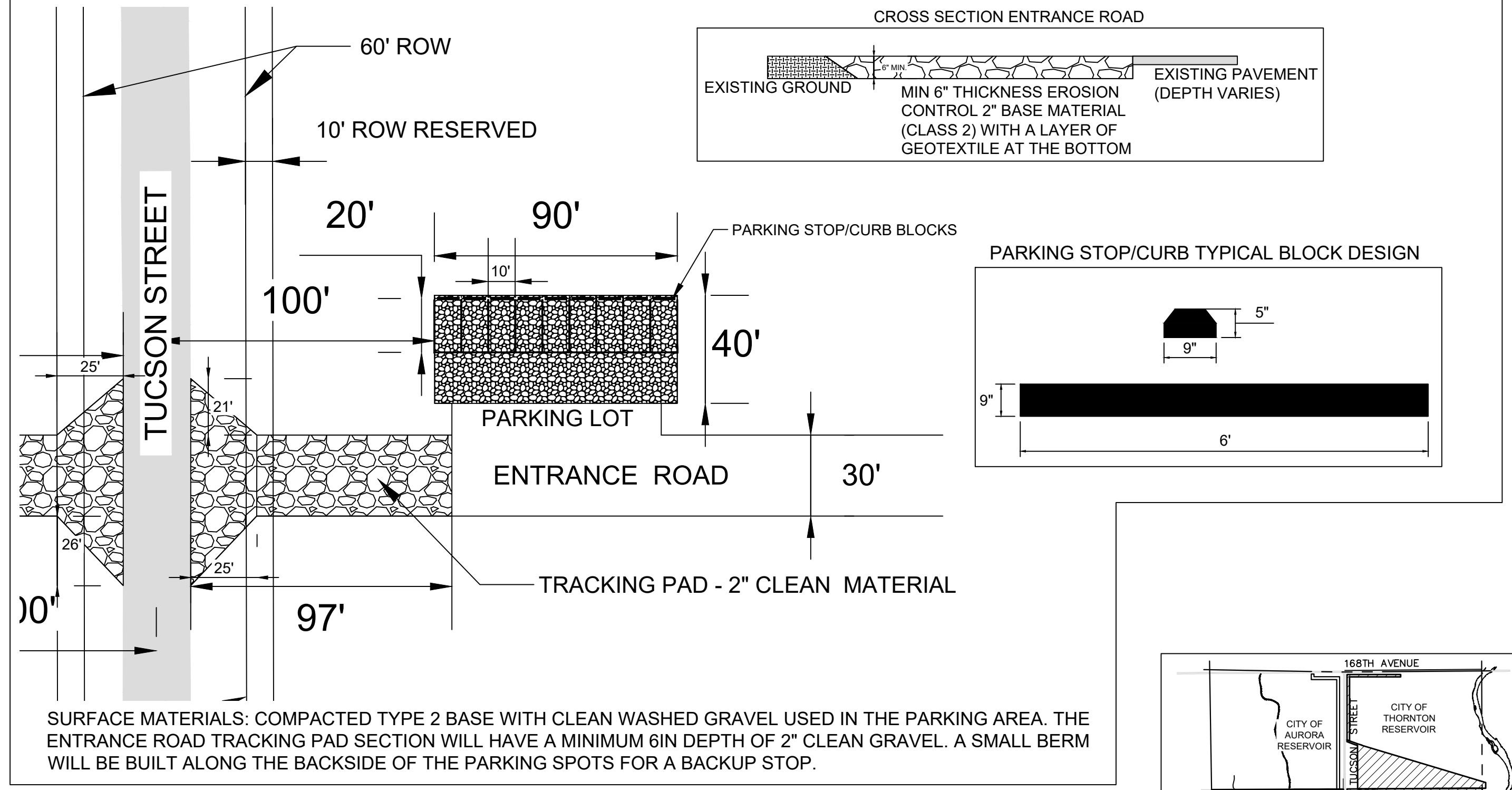


LEGEND:

	MINE PERMIT BOUNDARY
	TRACT BOUNDARY
	EASEMENT
	EFFECTIVE FLOODWAY
	EFFECTIVE ZONE AE
	EFFECTIVE ZONE X
	PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN
	EXISTING WETLAND BOUNDARY
	EXISTING EDGE OF WATER
	EXISTING 2' CONTOURS
	EXISTING FENCE
	EXISTING EDGE OF ROAD
	EXISTING ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING TELEPHONE LINE
	3-WIRE FARM FENCE
	PROPOSED SLURRY WALL
	LIMIT OF MINING EXCAVATION PER SLOPE STABILITY ANALYSIS
	SURFACE DEWATERING TRENCH
	12" PIPE FOR DEWATERING
	ON SITE HAUL ROAD
	ON SITE CONVEYOR
	PROPOSED ACCESS
	OVERBURDEN STOCKPILE
	TOPSOIL STOCKPILE
	TOPSOIL SCREENING BERM W/ GRASS COVER
	SETTLING POND/DISCHARGE POINT
	EXISTING ASPHALT ROAD
	EXISTING SOUTH PLATTE RIVER
	UDFCD STABILIZATION
	EXISTING WETLANDS

NOTE:
 1. CONCEPTUAL UNDERDRAIN AND DETAILS ARE PRESENTED IN EXHIBIT G.

EAST EMPLOYEE PARKING LOT TYPICAL DESIGN



12/4/2020 2:31:17 PM - C:\USERS\SPANIEL\DOCUMENTS\MOUNTAIN\TUCSON SOUTH\UPDATE TUCSON SOUTH\PHASE 3\MINING PLAN DWG - MARK SPANIEL

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MARK	DATE	DESCRIPTION
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE
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AGGREGATE INDUSTRIES - WCR, INC.
 TUCSON SOUTH RESOURCE
EXHIBIT C
 EAST AREA
 MINING PLAN

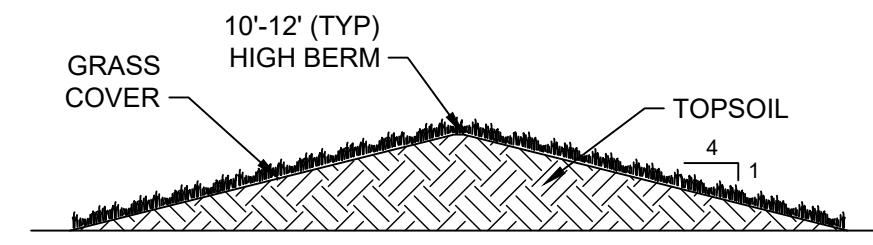
Project No.: 200-23514-18004
 Designed By:
 Drawn By:
 Checked By:

C-5
 EXHIBIT

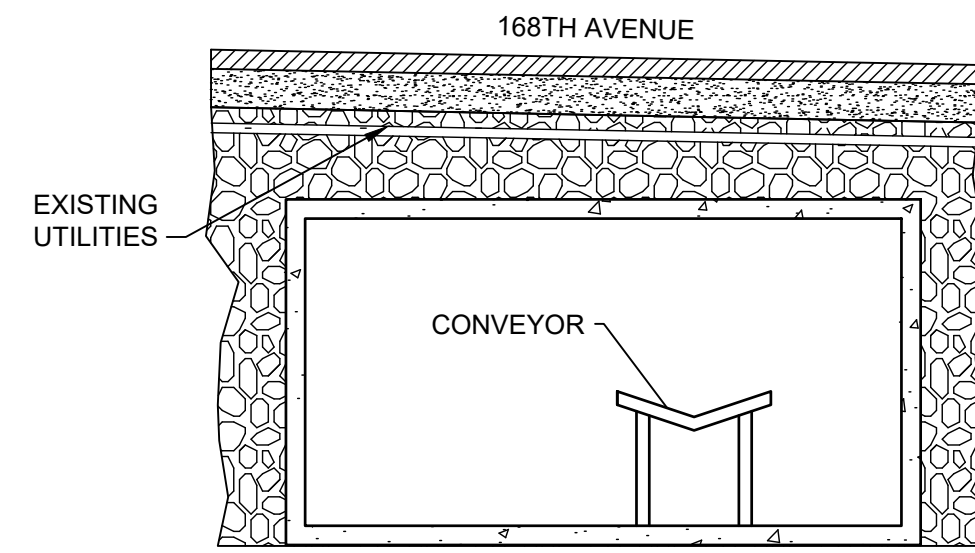
Copyright: Tetra Tech
 Bar Measures 1 inch

7/1/2019 9:36:08 AM - C:\PROJECTS\DENVER\235141133-23514-17005\CAD\SHSHEETFILES\DRMS\C-5 EXHIBIT C EAST AREA (PHASE 3) MINING PLAN.DWG - ANDRYAUSKAS, JEREMY

1 2 3 4 5 6

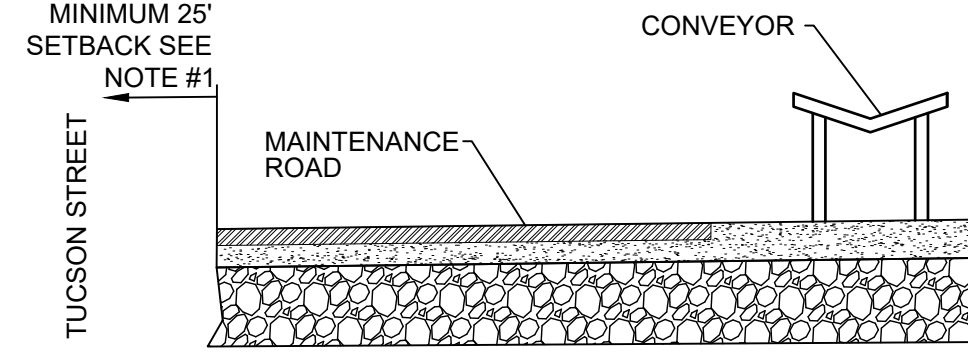


1
- NTS
TEMPORARY GRASS SCREENING BERM



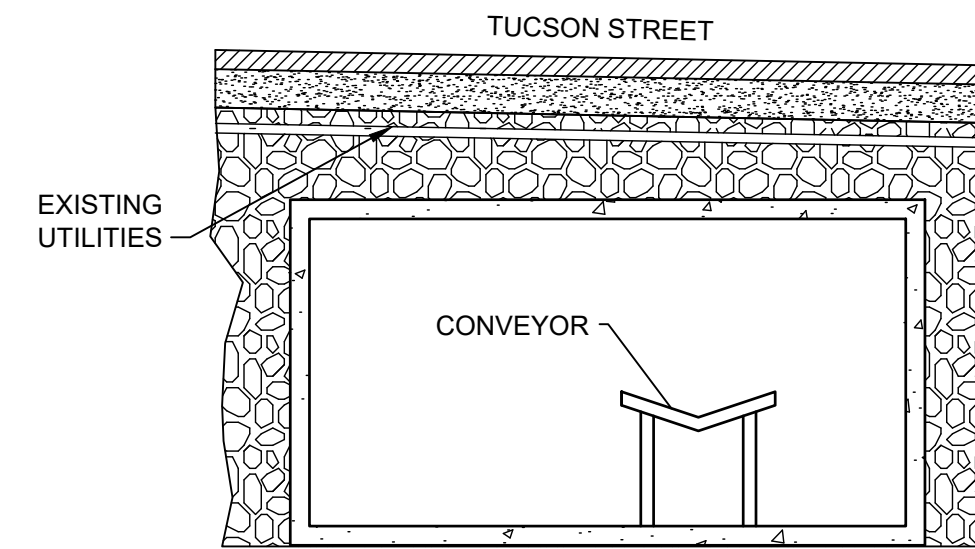
- NOTE:**
1. THIS DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER 168TH AVENUE IS SUBJECT TO APPROVAL OF ADAMS COUNTY AND WELD COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.
 2. CONVEYOR UNDER 168TH STREET WILL BE PERMITTED THROUGH AN AMENDMENT TO WATTENBERG LAKES (M-2004-051) 112 PERMIT.

2
- NTS
168TH AVENUE CONVEYOR CROSSING DETAIL



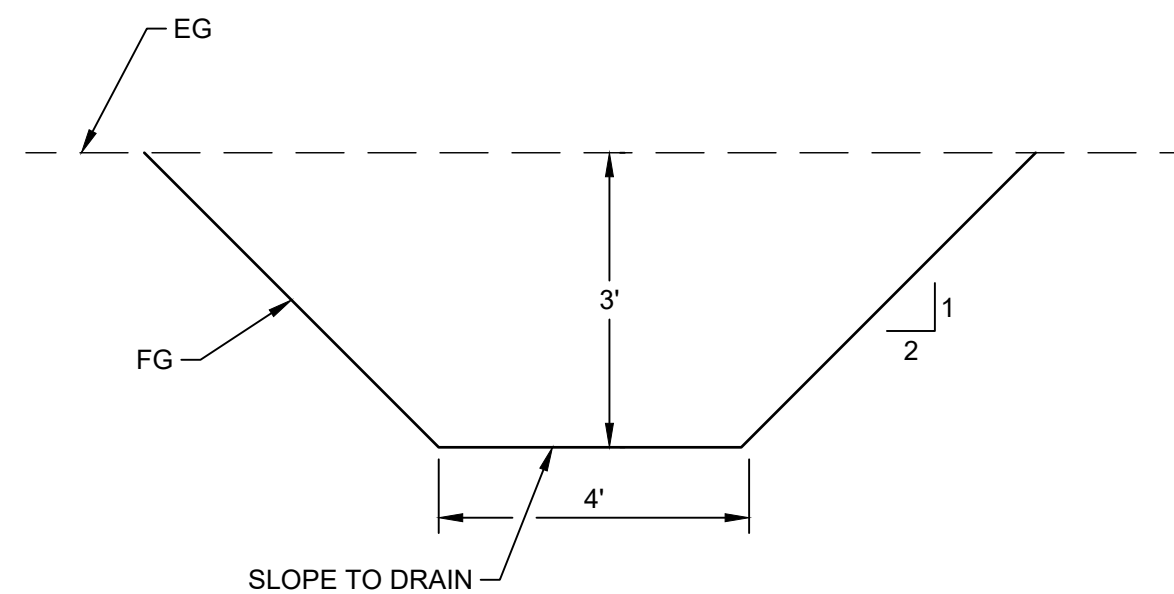
- NOTE:**
1. CONVEYOR ACCESS AND MAINTENANCE ROAD SHALL BE SETBACK A MINIMUM OF 25' FROM TUCSON STREET.

3
- NTS
ON-SITE ABOVE GROUND CONVEYOR SYSTEM DETAIL

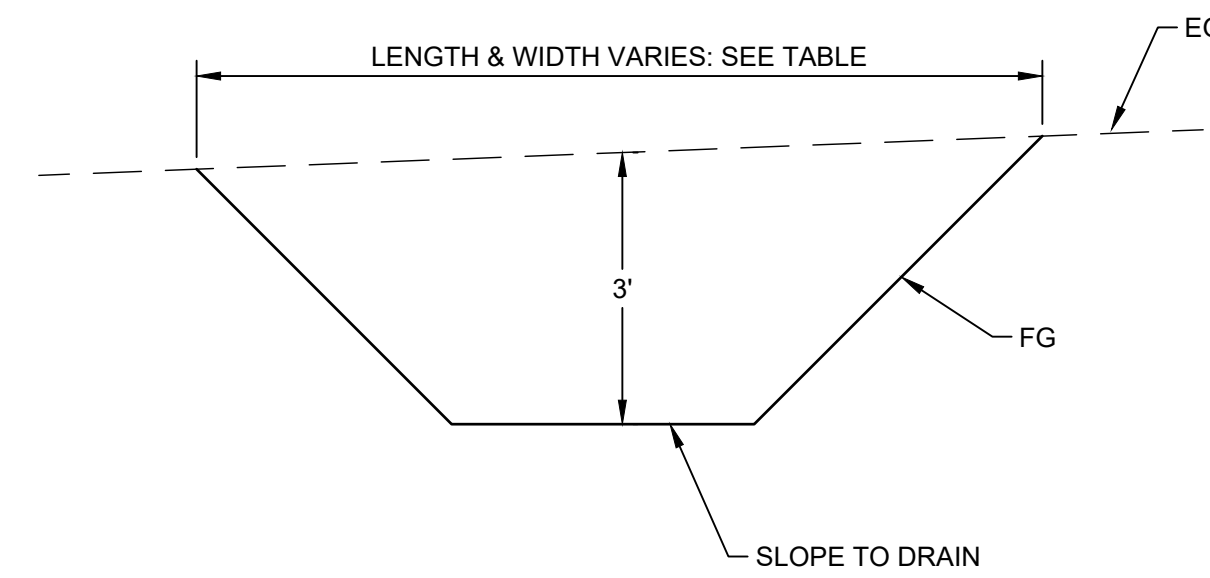


- NOTE:**
1. THIS DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER TUCSON STREET IS SUBJECT TO APPROVAL OF ADAMS COUNTY AND WELD COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.

4
- NTS
TUCSON STREET CONVEYOR CROSSING DETAIL

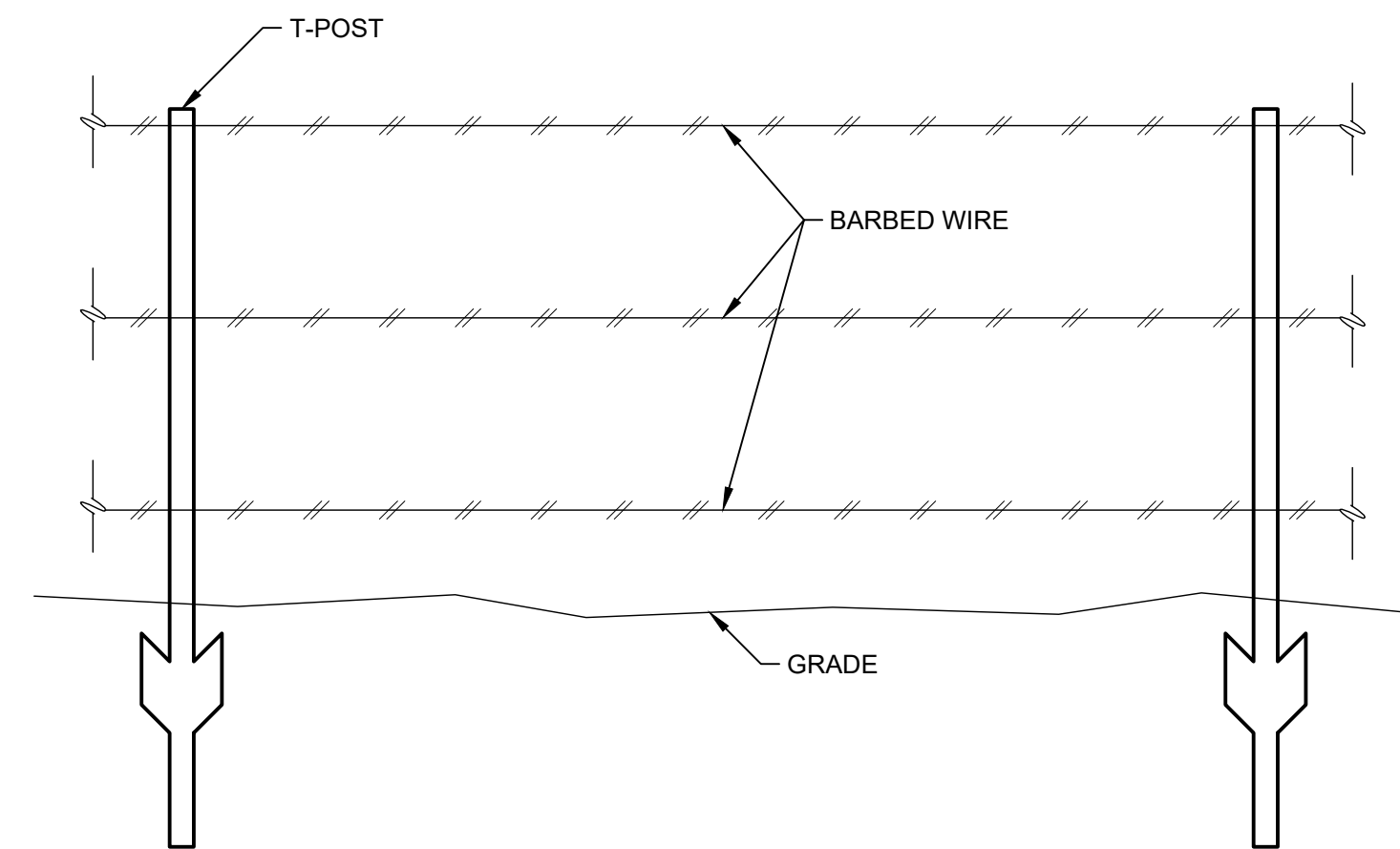


5
- NTS
TYPICAL SURFACE WATER DIVERSION CHANNEL



CELL	POND DIMENSIONS
WEST	140x140
EAST	155x155
SOUTH	60x60

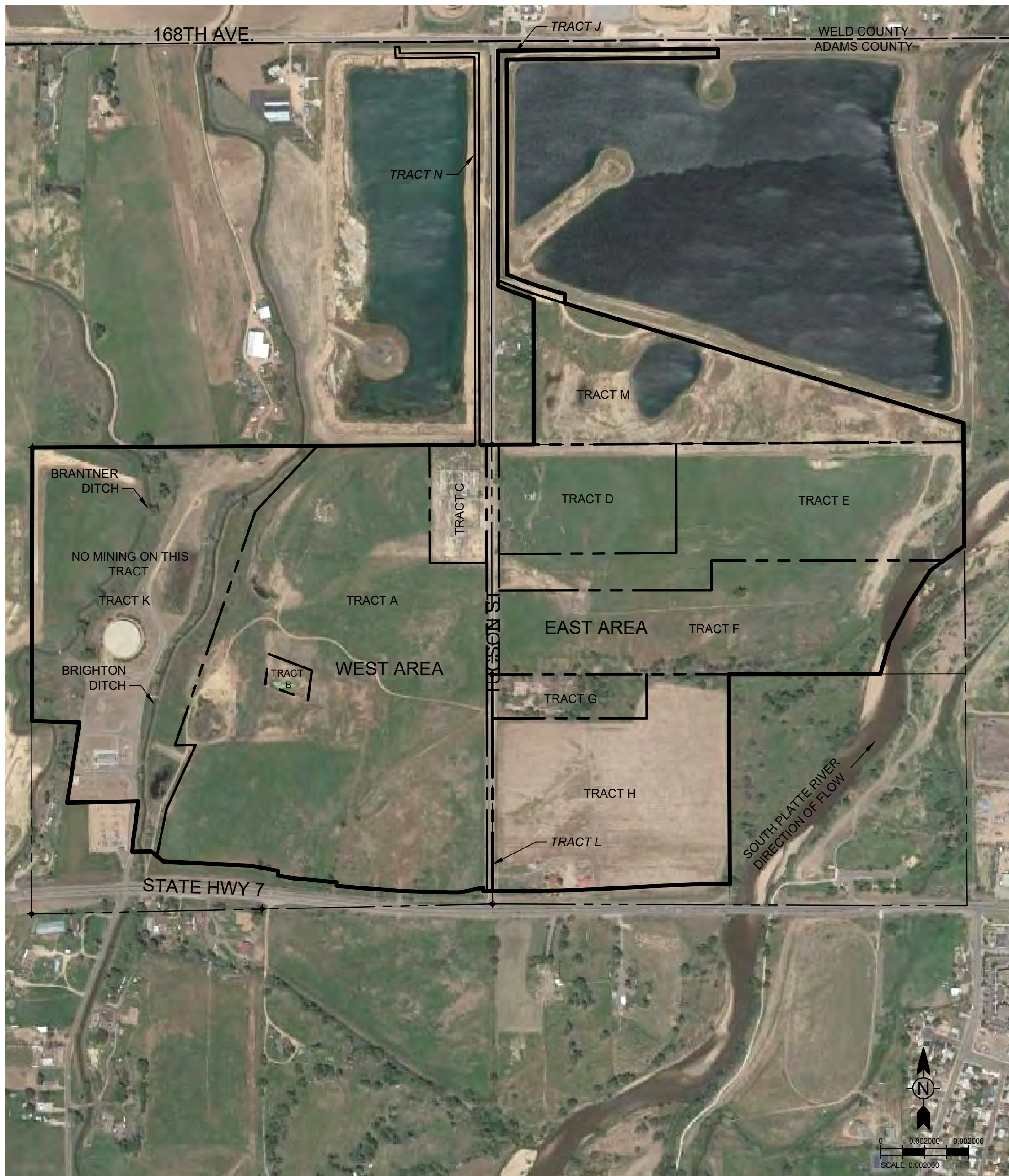
6
- NTS
TYPICAL SURFACE WATER DIVERSION CHANNEL



7
- NTS
3-WIRE FARM FENCE DETAIL

CERTIFICATION:

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RECLAMATION NOTES:

- ALL FINAL RECLAIMED RESERVOIR SIDE SLOPES SHALL BE NO STEEPER THAN 3H:1V. 6" - 12" OF TOPSOIL WILL BE PLACED ON ALL SLOPES ABOVE THE ASSUMED HIGH-WATER LINE. RE-VEGETATION SHALL USE SEED MIXES LISTED IN TABLE BELOW, OR SIMILAR ALTERNATE MIX BASED ON COMMERCIAL AVAILABILITY AT THE TIME OF RECLAMATION. ALL SUBSTITUTIONS WILL BE DETERMINED IN CONSULTATION WITH QUALIFIED EXPERTS, AND APPROPRIATE TO THE REGION AND SOIL REGIME.
- HIGH WATER LINE IS APPROXIMATE BASED ON AN ASSUMED 1' FREEBOARD.
- AREAS TO BE RECLAIMED AS UPLAND WILL RECEIVE A MINIMUM OF 6" - 12" TOPSOIL TO BETTER ESTABLISH GRASSES AND PLANTINGS.
- PLANTINGS WILL BE INSTALLED WHEN MINING COMMENCES IN THE EAST CELL (PHASE 2). PLANTINGS WILL BE INSTALLED BY A RECLAMATION CONTRACTOR IN SEPTEMBER AND HAND WATERED UNTIL THE GROUND FREEZES. PLANTINGS WILL BE MONITORED IN THE SPRING TO MAKE SURE THEY ARE LEAFING OUT, REPLACED AS NECESSARY TO PROVIDE THE QUANTITIES AS ORIGINALLY INSTALLED AND WATERED AS NECESSARY THROUGH THE FIRST THREE GROWING SEASONS TO ESTABLISH.
- AT RECLAMATION, AGGREGATE INDUSTRIES-WCR, INC. WILL ATTAIN UDS&F APPROVAL OF PLANTING LOCATIONS WITHIN THE UDS&F EASEMENT ALONG THE SOUTH PLATTE RIVER PRIOR TO INSTALLATION.
- SEEDING WILL BE DONE DURING THE FIRST FAVORABLE SEEDING SEASON FOLLOWING TOPSOIL PLACEMENT. BASED ON RECOMMENDATION OF THE NRCS, IT IS ANTICIPATED THAT SEEDING WILL BE DONE BETWEEN OCT 15 AND MAY 1, UNLESS WEATHER CONDITIONS REQUIRE SEEDING OUTSIDE THESE MONTHS.
- CERTIFIED WEED-FREE STRAW CRIMPED INTO TOPSOIL WILL BE USED WHERE GRASSES ARE TO BE ESTABLISHED ABOVE THE HIGH-WATER LINE ON RESERVOIR SIDESLOPES, OR NEW SEEDS PLANTED INTO A COVER CROP.
- NATIVE TREES AND SHRUBS WILL BE PLANTED ON THE WESTERN SIDE BETWEEN THE RIVER AND EAST RESERVOIR.

CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

SHEET INDEX:

F-1	COVER SHEET & RECLAMATION NOTES
F-2	RECLAMATION PLAN MAP - WEST AREA
F-3	RECLAMATION PLAN MAP - EAST AREA

GRAVEL MINING APPLICANT / OPERATOR:

AGGREGATE INDUSTRIES-WCR, INC.
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

SURFACE OWNERS:

AGGREGATE INDUSTRIES-WCR, INC. (TRACTS A, B, D, E, F, H, I, AND M)
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

CITY OF AURORA (TRACTS C, G, AND K)
15151 EAST ALAMEDA PARKWAY
SUITE 3800
AURORA, COLORADO 80012

CITY OF THORNTON (TRACT J)
12450 WASHINGTON STREET
THORNTON, COLORADO 80241

ADAMS COUNTY (TRACT L)
ADAMS COUNTY GOVERNMENT CENTER
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, COLORADO 80601

RECLAMATION AREA ACREAGE TABLE:

RECLAMATION PLAN AREAS	ACREAGES
MINING AREAS RECLAIMED TO WATER STORAGE	155.8
DISTURBED, BUT NOT MINED LAND RECLAIMED TO UPLAND MEADOW	86.7
UNDISTURBED AREAS OUTSIDE AFFECTED AREA	49.0
TUCSON STREET ROW	2.9
TOTAL	294.4

SEED MIX AND SEED MIX NOTES:

UPLAND MEADOW GRASS SEED	SCIENTIFIC NAME	VARIETY	% OF MIX	APPLICATION RATE* (#PL/SIACRE)
BIG BLUESTEM	ANDROPOGON GERARDII	KAW	15%	1.7
BLUE GRAMA	BOUTELOUA GRACILIS	HACHITA, LOVINGTON	10%	0.3
GREEN NEEDLAGRASS	NASSELLA VIRIDULA	LODOM	15%	1.5
SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	VAUGHN, BUTTE	10%	1
SWITCHGRASS	PANICUM VIRGATUM	BLACKWELL	20%	2
WESTERN WHEAT GRASS	PASCOPYRUM SMITHII	ARRIBA, BARTON	30%	4.8
TOTAL				11.3

*APPLICATION RATE IS FOR DRILL SEEDING. IF SEED IS TO BE BROADCAST, THE APPLICATION RATE WILL BE DOUBLED.

TEMPORARY ST. CROCKLE VEGETATION:
LUNA PUBESCENT WHEAT GRASS - 15 LB/AC
AMUR INTERMEDIATE WHEAT GRASS - 15 LB/AC

TUCSON SOUTH RESOURCE RECLAMATION PLAN MAPS

LEGAL DESCRIPTIONS:

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING;

THENCE S69°18'E, 260.7 FEET;
THENCE N07°32'E, 171.6 FEET;
THENCE N69°18'W, 260.7 FEET;
THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 201600080881, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N 89°37'18" E, ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE S. 89°37'18" W, ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER: S83°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET; S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

TRACT J

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 0157101002001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°39'53" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET, SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE 17 MAP 855; THENCE SOUTH 73°16'45" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING.

TRACT L (TUCSON STREET RIGHT-OF-WAY)

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°09'29" EAST 1234.13 FEET TO A POINT WHENCE THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°08'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°06'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°08'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING.

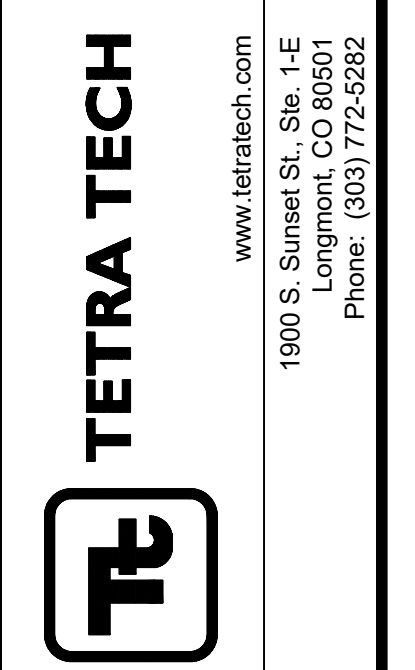
TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36' WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16' EAST 305.80 FEET; THENCE SOUTH 70°16' EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.

TRACT N

A PORTION OF A PARCEL OWNED BY THE CITY OF AURORA (PN: 1571012001000) A STRIP OF LAND BEING 25 FEET IN WIDTH, TO BE USED AS AN EASEMENT LOCATED IN THE NORTHWEST OF SECTION 1 TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, SAID 25 FOOT WIDE STRIP OF LAND BEING 12.5 FEET EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 1; THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, SAID LINE ALSO BEING THE SOUTH LINE OF A PARCEL OF LAND RECORDED AT BOOK 1, PAGE 3795, RECEPTION NUMBER 2010-018, SOUTH 89°38'46" WEST A DISTANCE OF 68.20 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 00°06'37" WEST, A DISTANCE OF 2219.37 FEET, SAID LINE BEING 68.20 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, AND 27.02 FEET WEST OF THE EAST LINE OF A PARCEL OF LAND RECORDED AT BOOK 1, PAGE 3795, SAID LINE ALSO BEING THE WEST RIGHT OF WAY LINE OF TUCSON STREET; THENCE SOUTH 89°31'48" WEST, A DISTANCE OF 450.84 FEET, BEING 32.79 FEET SOUTH OF AND PARALLEL TO THE NORTHERLY LINE OF SAID PARCEL AS RECORDED AT BOOK 1, PAGE 3795, SAID LINE ALSO BEING THE SOUTH RIGHT OF WAY LINE OF 168TH AVE, ALSO KNOWN AS BASELINE ROAD, SAID LINE BEING 72.92 FEET SOUTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 57 WEST OF THE 6TH PRINCIPAL MERIDIAN; THENCE NORTH 02°04'13" WEST, A DISTANCE OF 32.67 FEET TO THE POINT OF TERMINUS, FROM WHENCE THE NORTH EAST CORNER OF THE NORTHWEST QUARTER BEARS NORTH 85°06'18" EAST, A DISTANCE 521.97 FEET.



MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/16/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/1/20	REMOVE SOUTH AREA FROM REC PLAN	MES
5	7/17/20	ADD TRACT N	MES

AGGREGATE INDUSTRIES - WCR, INC.
TUCSON SOUTH RESOURCE
EXHIBIT F
COVER SHEET
& RECLAMATION NOTES

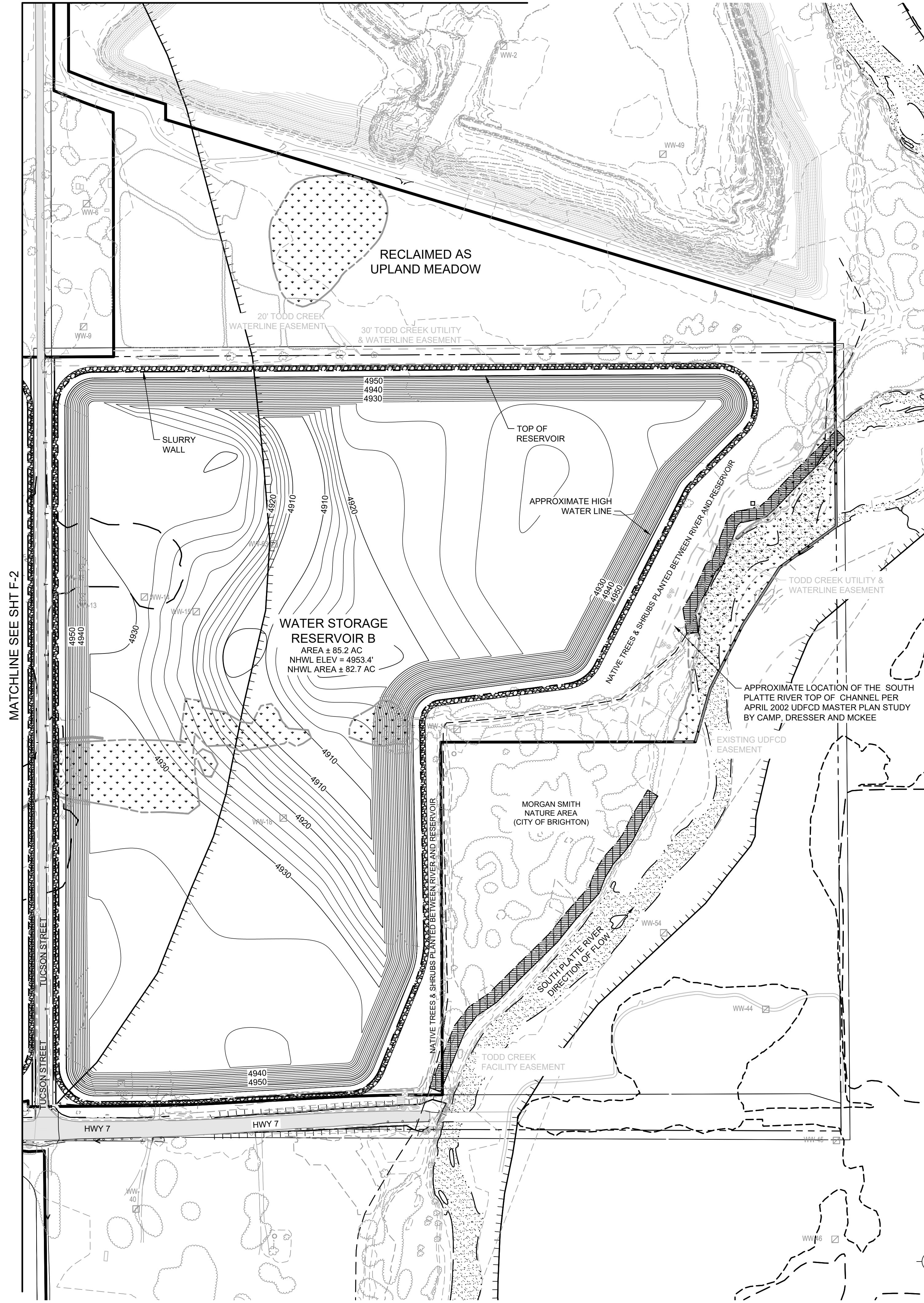
Project No.:	200-23514-18004
Designed By:	JAB
Drawn By:	JAB
Checked By:	JAB

F-1
EXHIBIT

7/1/2019 9:38:24 AM - I:\LOCAL\PROJECTS\IDEN\235141\33-23514-17005\CAD\SHEETFILES\DRMS\F-3 EXHIBIT F EAST AREA RECLAMATION PLAN.DWG - ANDRYAUSKAS, JEREMY

MATCHLINE SEE THIS SHEET BELOW RIGHT

MATCHLINE SEE SHT F-2

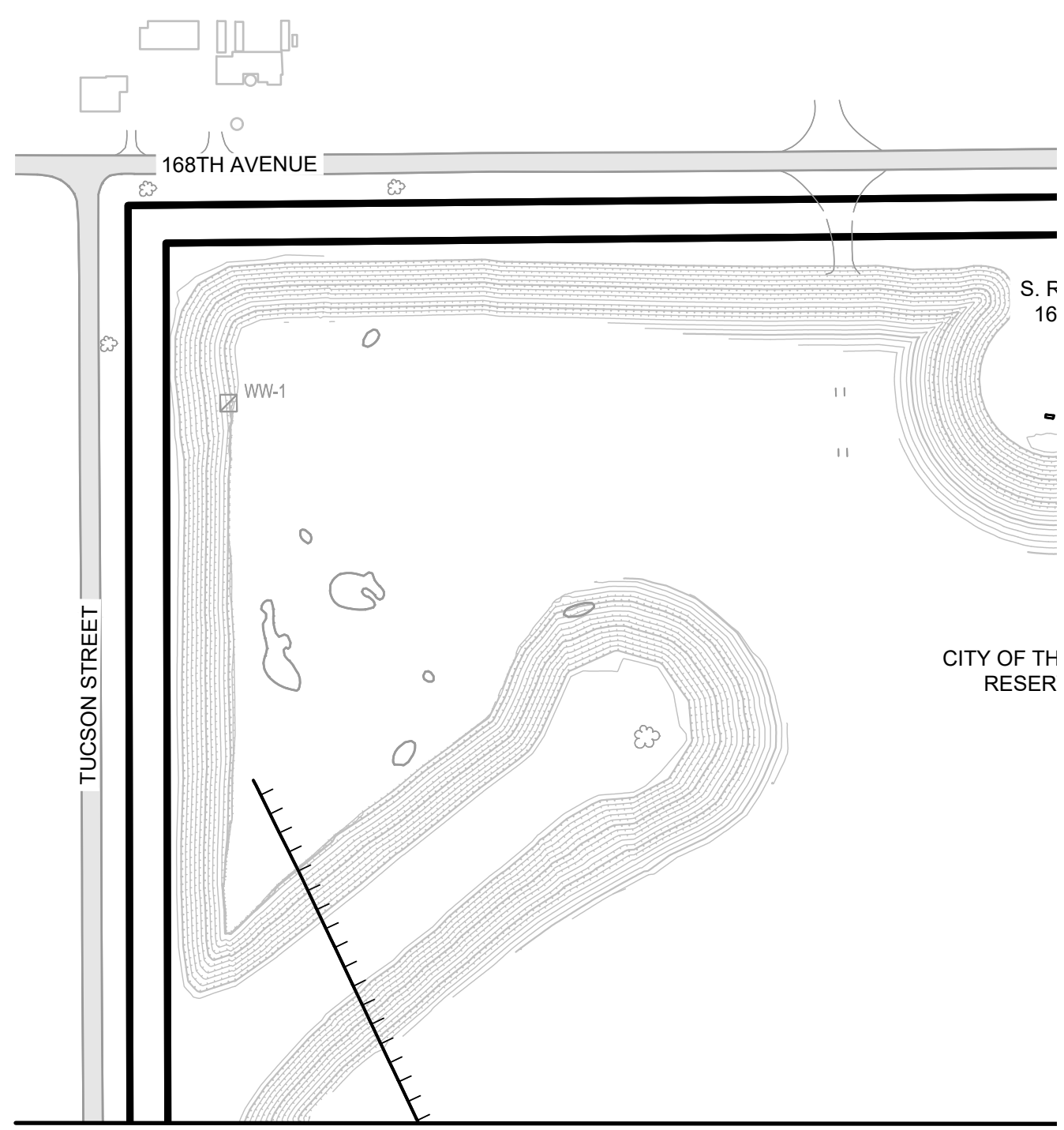
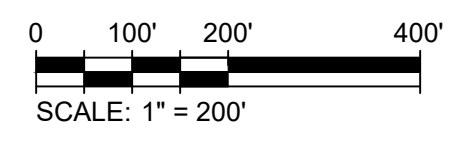
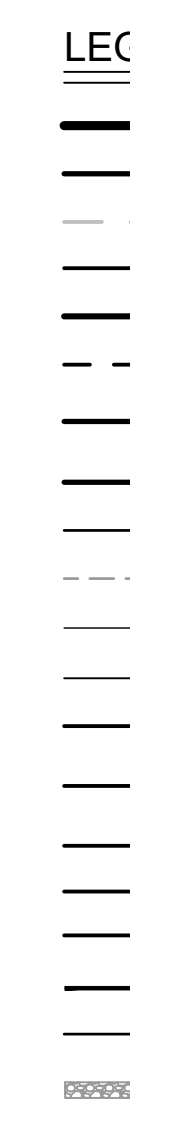


CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

Mark Spaniel

07/17/2020



MATCHLINE SEE THIS SHEET ABOVE LEFT

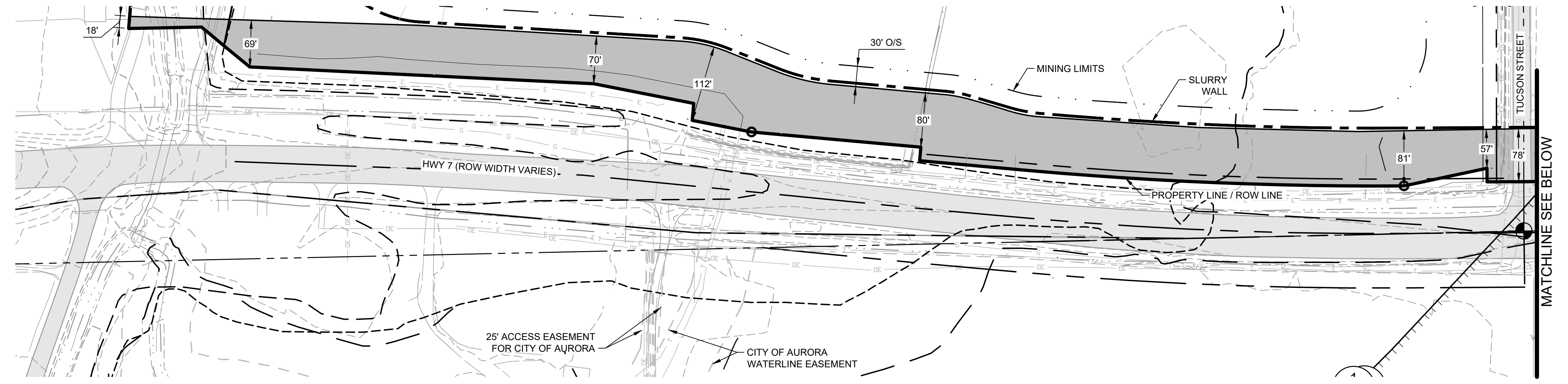
2 5/1/20 REMOVE SOUTH AREA FROM REC PLAN MES
3 7/1/20 ADD TRACT N MES

5/1/2019 8:29:06 AM - P:\235141\33-23514-17005\CADD\CONCEPTUAL\FIG 1 PROPOSED BIKEPATH CORRIDOR.DWG - WITTENMEIER, CHUCK

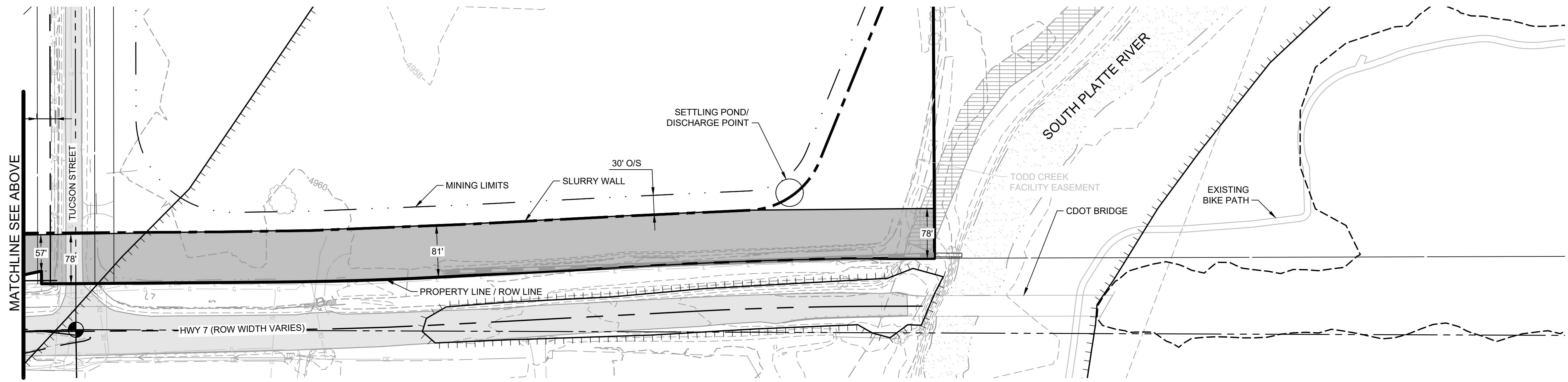
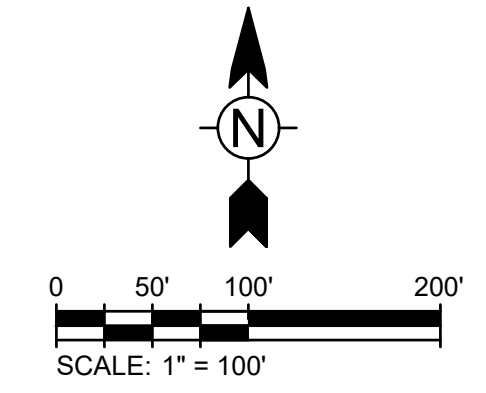
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PLAN
SCALE: 1" = 100'



PLAN
SCALE: 1" = 100'

0
SCAL

CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

Mark Spaniel

07/17/2020



COLORADO DIVISION OF RECLAMATION, MINING AND SAFETY

1313 Sherman Street, Room 215, Denver, Colorado 80203 ph(303) 866-3567

REQUEST FOR TECHNICAL REVISION (TR) COVER SHEET

File No.: M- _____ Site Name: _____

County _____ TR# _____ *(DRMS Use only)*

Permittee: _____

Operator (If Other than Permittee): _____

Permittee Representative: _____

Please provide a brief description of the proposed revision: _____

As defined by the Minerals Rules, a Technical Revision (TR) is: “a change in the permit or application which does not have more than a minor effect upon the approved or proposed Reclamation or Environmental Protection Plan.” The Division is charged with determining if the revision as submitted meets this definition. If the Division determines that the proposed revision is beyond the scope of a TR, the Division may require the submittal of a permit amendment to make the required or desired changes to the permit.

The request for a TR is not considered “filed for review” until the appropriate fee is received by the Division (as listed below by permit type). Please submit the appropriate fee with your request to expedite the review process. After the TR is submitted with the appropriate fee, the Division will determine if it is approvable within 30 days. If the Division requires additional information to approve a TR, you will be notified of specific deficiencies that will need to be addressed. If at the end of the 30 day review period there are still outstanding deficiencies, the Division must deny the TR unless the permittee requests additional time, in writing, to provide the required information.

There is no pre-defined format for the submittal of a TR; however, it is up to the permittee to provide sufficient information to the Division to approve the TR request, including updated mining and reclamation plan maps that accurately depict the changes proposed in the requested TR.

Required Fees for Technical Revision by Permit Type - Please mark the correct fee and submit it with your request for a Technical Revision.

<u>Permit Type</u>	<u>Required TR Fee</u>	<u>Submitted</u> (mark only one)
110c, 111, 112 construction materials, and 112 quarries	\$216	<input type="checkbox"/>
112 hard rock (not DMO)	\$175	<input type="checkbox"/>
110d, 112d(1, 2 or 3)	\$1006	<input type="checkbox"/>



May 12, 2020

Email

Colorado Division of Reclamation, Mining and Safety
Attn: Patrick Lennberg
1313 Sherman Street, Room 215
Denver, CO 80203

**RE: Aggregate Industries WCR, Inc
Tucson South Pit, Permit M2004-044
Technical Revision Request- TR-01**

Dear Mr. Lennberg

Aggregate Industries is requesting a technical revision for permit M2004-044. The requested revision removes the area known as the "south parcel" from the permit boundary. Aggregate no longer plans to mine this portion of the site.

Please see the following attached revised Exhibits to the permit:

- Exhibit C – Pre-mining and Mining Maps
- Exhibit D – Mining Plan
- Exhibit E – Reclamation Plan
- Exhibit F – Reclamation Plan Map

Should you have any questions or need additional information, please feel free to contact me by phone at 303-809-7231 or by email at Christine.Felz@lafargeholcim.com. Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Christine Felz".

Christine Felz
Land and Environment Manager

ADDENDUM 1

NOTICE REQUIREMENTS RULE 1.6.2(1)(B)

ADDENDUM 1

Notice Requirements – Rule 1.6.2(1)(b)

- Certification of Sign Posting
- Letters to utility structure owners

See Attached.

NOTICE

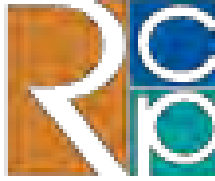
This site is the location of a proposed construction materials operation. Aggregate Industries WCR Inc., whose address and phone number is: 1687 Cole Blvd, Suite 300 Golden, CO 80401 (303) 985-1070. Aggregate Industries WCR Inc., has applied for a Reclamation Permit with the Colorado Mined Land Reclamation Board. Anyone wishing to comment on the application may view the application at the Adams County Clerk and Recorder's Office, 4430 S. Adams County Pkwy. Brighton, CO 80601, and should send comments prior to the end of the public comment period to the Colorado Division of Reclamation, Mining, and Safety, 1313 Sherman St, Room 215, Denver, Colorado 80203.

Certification:

I Barbara Brunk, Manager of Resource Conservation Partners, LLC hereby certify that I posted a sign containing the above notice for the proposed permit area known as the Tucson South Resource, on 11/20, 2018

Barbara Brunk, mgr
SIGNATURE

11/20/2018
DATE



Transmittal

DATE: November 19, 2018

TO: Adams County
15151 East Alameda Parkway
Aurora CO 80012-1555

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by Adams County adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by Adams County, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Tucson Street
2. 168th Street
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Adams County (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

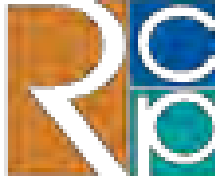
COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: City of Aurora
15151 EAST ALAMEDA PARKWAY, SUITE 3600,
AURORA, COLORADO, 80012

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by City of Aurora adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by City of Aurora, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

- 1. Fence
- 2. Waterline
- 3. Challenger Reservoir
- 4. _____
- 5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that City of Aurora (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: DELORES BAKER, APRIL AND BRET BAKER
12420 E 160TH AVE,
BRIGHTON CO 80602-8221

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by DELORES BAKER, APRIL AND BRET BAKER adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by DELORES BAKER, APRIL AND BRET BAKER, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Deloris, April and Bret Baker (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by _____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Shared Access
2. Private Residence
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

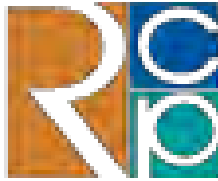
COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018
TO: KATHLEEN BLOOM
12500 E 160TH AVE,
BRIGHTON, COLORADO, 80602
FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by KATHLEEN BLOOM adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by KATHLEEN BLOOM and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Shared Access
2. Private Residence
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Kathleen Bloom (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: FERNANDO ARMANDO DE LA CRUZ BRECEDA
16400 TUCSON STREET,
BRIGHTON, CO, 8060

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by FERNANDO ARMANDO DE LA CRUZ BRECEDA adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by FERNANDO ARMANDO DE LA CRUZ BRECEDA, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Private Residence
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Fernando Armando De La Cruz Breceda (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: Brighton Ditch Company
3286 WELD COUNTY ROAD 23,
FT LUPTON CO 80621

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by Brighton Ditch Company adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by Brighton Ditch Company, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Brighton Ditch
2. Brighton Ditch Return Flow
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Brighton Ditch Company (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: SAN MARTIN CABALLERO, LLC
13110 E 160TH AVE
BRIGHTON, CO, 80601

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by SAN MARTIN CABALLERO, LLC. adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by SAN MARTIN CABALLERO, LLC. and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Fence
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that San Martin Caballero, LLC (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: Colorado Department of Transportation
2829 W. HOWARD PLACE
DENVER, CO, 80204

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by Colorado Department of Transportation adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by Colorado Department of Transportation, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. ROW Fences
2. Colorado State Highway 7
3. Colorado State HWY 7 Platte River Bridge
4. Guardrail
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Colorado Department of Transportation (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: Century Link
PO BOX 2560,
OMAHA, NE, 68103

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by Century Link adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by Century Link , and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Telephone Lines
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Century Link (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: FERNANDO DE LA CRUZ
16400 TUCSON STREET,
BRIGHTON, CO, 8060

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by FERNANDO DE LA CRUZ adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by FERNANDO DE LA CRUZ and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or

- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or

- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

- 1. Private Residence and outbuildings
- 2. _____
- 3. _____
- 4. _____
- 5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Fernando De La Cruz (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: GREAT WESTERN OPERATING COMPANY, LLC
1801 Broadway, Suite 500
Denver CO 80202

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by GREAT WESTERN OPERATING COMPANY, LLC adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by GREAT WESTERN OPERATING COMPANY, LLC and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Oil and Gas Facility, Well, Appurtenances and Fence
2. Gas Line
3. Oil and Gas Facility
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Great Western Operating Company, LLC (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)
) ss.
COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

Notary Public My Commission Expires: _____

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: Christofer Muhler
11585 COUNTY ROAD 2,
BRIGHTON, CO, 80603

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by Christofer Muhler adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by Christofer Muhler, and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Private Residence and Outbuildings
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Christofer Muhler (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: JAMES AND SARAH MUMFORD
11835 COUNTY ROAD 2
BRIGHTON, CO, 80603

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:	THE FOLLOWING:	FOR YOUR:
<input checked="" type="checkbox"/> Attached	<input checked="" type="checkbox"/> Originals	<input type="checkbox"/> Use
<input type="checkbox"/> Information below	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Approval
<input type="checkbox"/>	<input type="checkbox"/> Applications	<input type="checkbox"/> Information
<input type="checkbox"/>	<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Review and Comment
<input type="checkbox"/>	<input type="checkbox"/> Other	<input type="checkbox"/>

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by JAMES AND SARAH MUMFORD adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by JAMES AND SARAH MUMFORD and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Private Residence and Outbuildings
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that James and Sarah Mumford (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 15, 2018

TO: PUBLIC SERVICE CO. OF COLO.
1800 LARIMER ST
DENVER, COLORADO, 80202

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by PUBLIC SERVICE CO. OF COLO. adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by PUBLIC SERVICE CO. OF COLO. and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Overhead Electric with Power Poles
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Public Service Company of Colorado (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 15, 2018

TO: City of Thornton
9500 CIVIC DR,
THORNTON CO 80229-4326

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:	THE FOLLOWING:	FOR YOUR:
<input checked="" type="checkbox"/> Attached	<input checked="" type="checkbox"/> Originals	<input type="checkbox"/> Use
<input type="checkbox"/> Information below	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Approval
<input type="checkbox"/>	<input type="checkbox"/> Applications	<input type="checkbox"/> Information
<input type="checkbox"/>	<input type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Review and Comment
<input type="checkbox"/>	<input type="checkbox"/> Other	<input type="checkbox"/>

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by CITY OF THORNTON. adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by CITY OF THORNTON and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Thornton Reservoir
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that City of Thornton (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)
) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

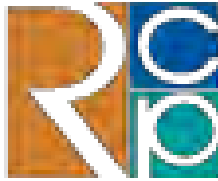
COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: TODD CREEK FARMS METROPOLITAN DIST. NO. 1
7550 EAST 152ND AVE.
BRIGHTON, COLORADO, 80401

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by TODD CREEK FARMS METROPOLITAN DIST. NO. 1 adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by TODD CREEK FARMS METROPOLITAN DIST. NO. 1 and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

- 1. Waterline
- 2. Waterline
- 3. Waterline, well pump house and appurtenances
- 4. Underground Electric
- 5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Todd Creek Farms Metropolitan District No. 1 (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
2480 W. 26TH AVE, SUITE 156B
DENVER, COLORADO, 80211

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by URBAN DRAINAGE AND FLOOD CONTROL DISTRICT1 adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by URBAN DRAINAGE AND FLOOD CONTROL DISTRICT and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Riverbank Stabilization
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Urban Drainage and Flood Control District (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by _____ as _____ of _____.

My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018

TO: UNITED POWER INC.
PO BOX 929
BRIGHTON, CO, 80602

FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by UNITED POWER INC. adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by UNITED POWER INC. and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Overhead Electric with Power Poles
2. Underground Electric
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that United Power (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this _____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public



Transmittal

DATE: November 19, 2018
TO: XCEL
414 NICOLLET MALL
MINNEAPOLIS, MN, 55401
FROM: Barb Brunk
Resource Conservation Partners, LLC
P.O. Box 1522
Longmont, CO 80502

WE TRANSMIT:		THE FOLLOWING:		FOR YOUR:	
<input checked="" type="checkbox"/>	Attached	<input checked="" type="checkbox"/>	Originals	<input type="checkbox"/>	Use
<input type="checkbox"/>	Information below	<input type="checkbox"/>	Copy of Letter	<input type="checkbox"/>	Approval
<input type="checkbox"/>		<input type="checkbox"/>	Applications	<input type="checkbox"/>	Information
<input type="checkbox"/>		<input type="checkbox"/>	Specifications	<input checked="" type="checkbox"/>	Review and Comment
<input type="checkbox"/>		<input type="checkbox"/>	Other	<input type="checkbox"/>	

Remarks:

Aggregate Industries – WCR, Inc. is in the process of obtaining a Colorado Division of Reclamation, Mining and Safety (DRMS) permit for the mining of aggregate materials in an area of Adams County (see Vicinity Map). The mining will include excavation to maximum depths of about 50 feet below the ground surface and reclamation will involve creation of two lined municipal water storage reservoirs and backfilling, grading and revegetation to create stable reservoir slopes and upland meadows.

As part of the DRMS permitting process, Aggregate Industries has identified permanent man-made structures owned by XCEL adjacent to the project (see Pre-Mining/Mining Plan Map). Mine planning has established appropriate setbacks from mining excavations to protect the integrity of adjacent structures, including those owned by XCEL and Aggregate Industries does not anticipate any structure damages. However, DRMS requires that Aggregate Industries offer a Structure Agreement for your consideration. A typical agreement is attached.

If you are interested in the structure agreement, please contact me for further details. Please call me at (303) 532-2262 if you have any questions or need additional information.

Signed: Barbara Brunk, mgr.

Structure Agreement

This letter has been provided to you as the owner of a structure on or within two hundred (200) feet of a proposed mine site. The State of Colorado, Division of Reclamation, Mining and Safety (“Division”) requires that where a mining operation may adversely affect the stability of any significant, valuable and permanent man-made structure located within two hundred (200) feet of the affected land, the Applicant shall either:

- a) Provide a notarized agreement between the Applicant and the Person(s) having an interest in the structure, that the Applicant is to provide compensation for any damage to the structure; or
- b) Where such an agreement cannot be reached, the Applicant shall provide an appropriate engineering evaluation that demonstrates that such structure shall not be damaged by activities occurring at the mining operation; or
- c) Where such structure is a utility, the Applicant may supply a notarized letter, on utility letterhead, from the owner(s) of the utility that the mining and reclamation activities, as proposed, will have “no negative effect” on their utility. (*Construction Materials Rule 6.3.12 and Rule 6.4.19 & Hard Rock/Metal Mining Rule 6.3.12 and Rule 6.4.20*)

The Colorado Mined Land Reclamation Board (“Board”) has determined that this form, if properly executed, represents an agreement that complies with Construction Materials Rule 6.3.12(a), Rule 6.4.19(a), and C.R.S. § 34-32.5-115(4)(e) and with Hard Rock/Metal Mining Rule 6.3.12(a), Rule 6.4.20(a), and C.R.S. § 34-32-115(4)(d). This form is for the sole purpose of ensuring compliance with the Rules and Regulations and shall not make the Board or Division a necessary party to any private civil lawsuit to enforce the terms of the agreement or create any enforcement obligations in the Board or the Division.

The following structures are located on or within 200 feet of the proposed affected area:

1. Gas Lines
2. _____
3. _____
4. _____
5. _____

(Please list additional structures on a separate page)

CERTIFICATION

The Applicant, Aggregate Industries-WC (print applicant/company name), by Joel Bolduc (print representative's name), as Regional Land and Environment Manager (print representative's title), does hereby certify that Xcel (structure owner) shall be compensated for any damage from the proposed mining operation to the above listed structure(s) located on or within 200 feet of the proposed affected area described within Exhibit A, of the Reclamation Permit Application for Tucson South Resource (operation name), File Number M-2004-044.

This form has been approved by the Colorado Mined Land Reclamation Board pursuant to its authority under the Colorado Land Reclamation Act for the Extraction of Construction Materials and the Colorado Mined Land Reclamation Act for Hard Rock, Metal, and Designated Mining Operations. Any alteration or modification to this form shall result in voiding this form.

NOTARY FOR PERMIT APPLICANT

ACKNOWLEDGED BY:

Applicant Aggregate Industries-WCR, Inc. Representative Name Joel Bolduc

Date _____ Title Regional Land Environment Manager

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

NOTARY FOR STRUCTURE OWNER

ACKNOWLEDGED BY:

Structure Owner _____ Name _____

Date _____ Title _____

STATE OF _____)

) ss.

COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20____, by

_____ as _____ of _____.

_____ My Commission Expires: _____

Notary Public

7018 0360 0001 9458 5809

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BRIGHTON, CO 80602

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
DELORES BAKER, APRIL AND BRET
BAKER
12420 E 160TH AVE
BRIGHTON CO 80602-8221

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5892

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BRIGHTON, CO 80601

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
SAN MARTIN CABALLERO, LLC
13110 E 160TH AVE,
BRIGHTON, CO, 80601

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7018 0360 0001 9458 5779

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BRIGHTON, CO 80602

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
TODD CREEK FARM METRO DISTRICT
NO. 1
10450 E 159TH CT
BRIGHTON, CO 80602

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7018 0360 0001 9458 5748

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FORT LUPTON, CO 80621

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
BRIGHTON DITCH COMPANY
3286 WELD COUNTY ROAD 23,
FT LUPTON CO 80621

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7018 0360 0001 9458 5847

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BRIGHTON, CO 80603

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
UNITED POWER
500 COOPERATIVE WAY,
BRIGHTON, CO 80603

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5717

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BRIGHTON, CO 80601

Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To
ADAMS COUNTY
4430 S. ADAMS COUNTY PARKWAY,
BRIGHTON, COLORADO, 80601

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MINNEAPOLIS, MN 55401

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Certified Mail Fee	\$3.45
Extra Services & Fees (check box, add fee as appropriate)	\$2.75
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0254
06

Postmark
Here

Postage	\$0.71
Total Postage and Fees	\$6.91

11/20/2018

Sent To XCEL
 Street and Apt. 414 NICOLLET MALL,
 City, State, ZIP MINNEAPOLIS, MN, 55401

7018 0360 0001 9458 5830

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OMAHA, NE 68103

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To CENTURY LINK
Street and Apt. # PO BOX 2560,
City, State, ZIP+4 OMAHA, NE, 68103

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9055 8595 9458 0001 0360 8107

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DENVER, CO 80211

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To URBAN DRAINAGE AND FLOOD CONTROL
DISTRICT
Street and Apt. No. 2480 W. 26TH AVE, SUITE 156B, DENVER,
City, State, ZIP+4 COLORADO, 80211

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7018 0360 0001 9458 5816

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DENVER, CO 80202

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To GREAT WESTERN OPERATING COMPANY,
LLC
Street and Apt. 1801 BROADWAY, SUITE 500,
City, State, ZIP+4 DENVER CO 80202

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5285 8595 9458 0001 0360 8107

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DENVER, CO 80202

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To PUBLIC SERVICE CO. OF COLO.
Street and Apt. 1800 LARIMER ST,
City, State, ZIP+4 DENVER, COLORADO, 80202

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7018 0360 0001 9458 5724

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BRIGHTON, CO 80603

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To CHRISTOFER MUHLER
Street 11585 COUNTY ROAD 2,
City BRIGHTON, CO, 80603

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

5285 8595 9458 0001 0360 8107

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DENVER, CO 80229

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage	\$0.71	11/20/2018
Total Postage and Fees	\$6.91	

Sent To CITY OF THORTON
Street and Apt. No. 9500 CIVIC DR,
City, State, ZIP+4 THORNTON CO 80229-4326

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5793

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AURORA, CO 80012

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Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: CITY OF AURORA
Street and Apt: 15151 EAST ALAMEDA PARKWAY, SUITE 3600,
City, State, ZIP: AURORA, COLORADO, 80012

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5878

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BRIGHTON, CO 80601

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: FERNANDO ARMANDO DE LA CRUZ
Street and Apt: BRECEDA
City, State, ZIP: 16400 TUCSON STREET, BRIGHTON, CO, 80601

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5762

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BRIGHTON, CO 80602

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: KATHLEEN BLOOM
Street: 12500 E 160TH AVE,
City, St: BRIGHTON, COLORADO, 80602

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5755

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BRIGHTON, CO 80601

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Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: FERNANDO DE LA CRUZ
Street: 16400 TUCSON STREET,
City, St: BRIGHTON, CO, 80601

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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BRIGHTON, CO 80603

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Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: JAMES AND SARAH MUMFORD
Street and Apt: 11835 COUNTY ROAD 2,
City, State, ZIP: BRIGHTON, CO, 80603

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0360 0001 9458 5731

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DENVER, CO 80204

OFFICIAL USE

Certified Mail Fee	\$3.45	0254
Extra Services & Fees (check box, add fee as appropriate)	\$2.75	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.71	
Total Postage and Fees	\$6.91	11/20/2018

Sent To: COLORADO DEPARTMENT OF TRANSPORTATION
Street and: 2829 W. HOWARD PLACE,
City, State, ZIP: DENVER, CO, 80204

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

STATE OF COLORADO

DIVISION OF RECLAMATION, MINING AND SAFETY

Department of Natural Resources

1313 Sherman St., Room 215
Denver, Colorado 80203
Phone: (303) 866-3567
FAX: (303) 832-8106



CONSTRUCTION MATERIALS REGULAR (112) OPERATION RECLAMATION PERMIT APPLICATION FORM

CHECK ONE: There is a File Number Already Assigned to this Operation

Permit # M^{2,004} Q44 - (Please reference the file number currently assigned to this operation)

New Application (Rule 1.4.5)

Amendment Application (Rule 1.10)

Conversion Application (Rule 1.11)

Permit # M 2004 - 044 - (provide for Amendments and Conversions of existing permits)

The application for a Construction Materials Regular 112 Operation Reclamation Permit contains three major parts: (1) the application form; (2) Exhibits A-S, Addendum 1, any sections of Exhibit 6.5 (Geotechnical Stability Exhibit; and (3) the application fee. When you submit your application, be sure to include one (1) complete signed and notarized ORIGINAL and one (1) copy of the completed application form, two (2) copies of Exhibits A-S, Addendum 1, appropriate sections of 6.5 (Geotechnical Stability Exhibit, and a check for the application fee described under Section (4) below. Exhibits should **NOT** be bound or in a 3-ring binder; maps should be folded to 8 1/2" X 11" or 8 1/2" X 14" size. To expedite processing, please provide the information in the format and order described in this form.

GENERAL OPERATION INFORMATION

Type or print clearly, in the space provided, **ALL** information requested below.

1. **Applicant/operator or company name (name to be used on permit):** Aggregate Industries-WCR, Inc.
 - 1.1 Type of organization (corporation, partnership, etc.): Corporation
2. **Operation name (pit, mine or site name):** Tucson South Resource
3. **Permitted acreage (new or existing site):**

	<u>291.5</u>	permitted acres
3.1 Change in acreage (+)	<u>16.2</u>	acres
3.2 Total acreage in Permit area	<u>307.7</u>	acres
4. **Fees:**

4.1 New Application	<u>\$2,696.00</u>	application fee
4.2 New Quarry Application	<u>\$3,342.00</u>	quarry application
4.4 Amendment Fee	<u>\$2,229.00</u>	amendment fee
4.5 Conversion to 112 operation (set by statute)	<u>\$2,696.00</u>	conversion fee
5. **Primary commodity(ies) to be mined:** sand gravel
 - 5.1 Incidental commodity(ies) to be mined:

1. <u>gold</u> - <u>5</u> lbs/Tons/yr	2. _____ / _____ lbs/Tons/yr
3. _____ / _____ lbs/Tons/yr	4. _____ / _____ lbs/Tons/yr
5. _____ / _____ lbs/Tons/yr	
 - 5.2 Anticipated end use of primary commodity(ies) to be mined: construction materials
 - 5.3 Anticipated end use of incidental commodity(ies) to be mined: n/a

6. **Name of owner of subsurface rights of affected land:** See Exhibit O
If 2 or more owners, "refer to Exhibit O".

7. **Name of owner of surface of affected land:** See Exhibit O

8. **Type of mining operation:** Surface Underground

9. **Location Information:** The center of the area where the majority of mining will occur:

COUNTY: Adams

PRINCIPAL MERIDIAN (check one): 6th (Colorado) 10th (New Mexico) Ute

SECTION (write number): S 1 and 12

TOWNSHIP (write number and check direction): T 1 North South

RANGE (write number and check direction): R 67 East West

QUARTER SECTION (check one): NE NW SE SW

QUARTER/QUARTER SECTION (check one): NE NW SE SW

GENERAL DESCRIPTION: (the number of miles and direction from the nearest town and the approximate elevation): approximately 1 mile west of Brighton, west of the South Platte River at the intersection of Tucson Street and HWY 7

10. **Primary Mine Entrance Location** (report in either Latitude/Longitude **OR** UTM):

Latitude/Longitude:

Example: (N) 39° 44' 12.98"
(W) 104° 59' 3.87"

Latitude (N): deg _____ min _____ sec _____ (2 decimal places)

Longitude (W): deg _____ min _____ sec _____ (2 decimal places)

OR

Example: (N) 39.73691°
(W) -104.98449°

Latitude (N) 39 .99007 (5 decimal places)

Longitude(W) 104 .83759 (5 decimal places)

OR

Universal Transverse Mercator (UTM)

Example: 201336.3 E NAD27 Zone 13
4398351.2 N

UTM Datum (specify NAD27, NAD83 or WGS 84) Nad 83 Zone 13

Easting _____

Northing _____

11. **Correspondence Information:**

APPLICANT/OPERATOR (name, address, and phone of name to be used on permit)

Contact's Name: Joel Bolduc Title: Regional Land Environment Manager
Company Name: Aggregate Industries-WCR inc.
Street/P.O. Box: 1687 Cole Blvd., Suite 300 P.O. Box: _____
City: Golden
State: Colorado Zip Code: 80401-3318
Telephone Number: (719) - 239-0974
Fax Number: () -

PERMITTING CONTACT (if different from applicant/operator above)

Contact's Name: Barb Brunk Title: Manager
Company Name: Resource Conservation Partners, LLC
Street/P.O. Box: _____ P.O. Box: 1522
City: Longmont
State: Co Zip Code: 80502
Telephone Number: (303) - 775 6180
Fax Number: (303) - 702-0585

INSPECTION CONTACT

Contact's Name: Joel Bolduc Title: Regional Land Environment Manager
Company Name: Aggregate Industries-WCR inc.
Street/P.O. Box: 1687 Cole Blvd, Suite 300 P.O. Box: _____
City: Golden
State: Colroado Zip Code: 80401-3318
Telephone Number: (719) - 239-0974
Fax Number: () -

CC: STATE OR FEDERAL LANDOWNER (if any)

Agency: _____
Street: _____
City: _____
State: _____ Zip Code: _____
Telephone Number: () -

CC: STATE OR FEDERAL LANDOWNER (if any)

Agency: _____
Street: _____
City: _____
State: _____ Zip Code: _____
Telephone Number: () -

12. **Primary future (Post-mining) land use (check one):**

- | | | |
|---|--|--|
| <input type="checkbox"/> Cropland(CR) | <input type="checkbox"/> Pastureland(PL) | <input type="checkbox"/> General Agriculture(GA) |
| <input type="checkbox"/> Rangeland(RL) | <input type="checkbox"/> Forestry(FR) | <input type="checkbox"/> Wildlife Habitat(WL) |
| <input type="checkbox"/> Residential(RS) | <input type="checkbox"/> Recreation(RC) | <input type="checkbox"/> Industrial/Commercial(IC) |
| <input checked="" type="checkbox"/> Developed Water Resources(WR) | | <input type="checkbox"/> Solid Waste Disposal(WD) |

13. **Primary present land use (check one):**

- | | | |
|--|--|---|
| <input type="checkbox"/> Cropland(CR) | <input type="checkbox"/> Pastureland(PL) | <input checked="" type="checkbox"/> General Agriculture(GA) |
| <input type="checkbox"/> Rangeland(RL) | <input type="checkbox"/> Forestry(FR) | <input type="checkbox"/> Wildlife Habitat(WL) |
| <input type="checkbox"/> Residential(RS) | <input type="checkbox"/> Recreation(RC) | <input type="checkbox"/> Industrial/Commercial(IC) |
| <input type="checkbox"/> Developed Water Resources(WR) | | |

14. **Method of Mining:** Briefly explain mining method (e.g. truck/shovel): Mine with excavation equipment, dredge, backhoes, front end loaders, material placed in trucks or on conveyor, transported off site for processing

15. **On Site Processing:** Crushing/Screening No on site processing

13.1 Briefly explain mining method (e.g. truck/shovel): _____

List any designated chemicals or acid-producing materials to be used or stored within permit area: Petroleum Products

16. **Description of Amendment or Conversion:**

If you are amending or converting an existing operation, provide a brief narrative describing the proposed change(s).

Amend the existing permit to add approximately 13 acres and conveyor route to transport material off site for processing. Remove a portion of the permit area from the affected lands.

Maps and Exhibits:

Two (2) complete, unbound application packages must be submitted. One complete application package consists of a signed application form and the set of maps and exhibits referenced below as Exhibits A-S, Addendum 1, and the Geotechnical Stability Exhibit. Each exhibit within the application must be presented as a separate section. Begin each exhibit on a new page. Pages should be numbered consecutively for ease of reference. If separate documents are used as appendices, please reference these by name in the exhibit.

With each of the two (2) signed application forms, you must submit a corresponding set of the maps and exhibits as described in the following references to Rule 6.4, 6.5, and 1.6.2(1)(b):

EXHIBIT A	Legal Description
EXHIBIT B	Index Map
EXHIBIT C	Pre-Mining and Mining Plan Map(s) of Affected Lands
EXHIBIT D	Mining Plan
EXHIBIT E	Reclamation Plan
EXHIBIT F	Reclamation Plan Map
EXHIBIT G	Water Information
EXHIBIT H	Wildlife Information
EXHIBIT I	Soils Information
EXHIBIT J	Vegetation Information
EXHIBIT K	Climate Information
EXHIBIT L	Reclamation Costs
EXHIBIT M	Other Permits and Licenses
EXHIBIT N	Source of Legal Right-To-Enter
EXHIBIT O	Owners of Record of Affected Land (Surface Area) and Owners of Substance to be Mined
EXHIBIT P	Municipalities Within Two Miles
EXHIBIT Q	Proof of Mailing of Notices to County Commissioners and Conservation District
EXHIBIT R	Proof of Filing with County Clerk or Recorder
EXHIBIT S	Permanent Man-Made Structures
Rule 1.6.2(1)(b)	ADDENDUM 1 - Notice Requirements (sample enclosed)
Rule 6.5	Geotechnical Stability Exhibit (any required sections)

The instructions for preparing Exhibits A-S, Addendum 1, and Geotechnical Stability Exhibit are specified under Rule 6.4 and 6.5 and Rule 1.6.2(1)(b) of the Rules and Regulations. If you have any questions on preparing the Exhibits or content of the information required, or would like to schedule a pre-application meeting you may contact the Office at 303-866-3567.

Responsibilities as a Permittee:

Upon application approval and permit issuance, this application becomes a legally binding document. Therefore, there are a number of important requirements which you, as a permittee, should fully understand. These requirements are listed below. Please read and initial each requirement, in the space provided, to acknowledge that you understand your obligations. If you do not understand these obligations then please contact this Office for a full explanation.

1. Your obligation to reclaim the site is not limited to the amount of the financial warranty. You assume legal liability for all reasonable expenses which the Board or the Office may incur to reclaim the affected lands associated with your mining operation in the event your permit is revoked and financial warranty is forfeited;



2. The Board may suspend or revoke this permit, or assess a civil penalty, upon a finding that the permittee violated the terms or conditions of this permit, the Act, the Mineral Rules and Regulations, or that information contained in the application or your permit misrepresent important material facts;



3. If your mining and reclamation operations affect areas beyond the boundaries of an approved permit boundary, substantial civil penalties, to you as permittee can result;



4. Any modification to the approved mining and reclamation plan from those described in your approved application requires you to submit a permit modification and obtain approval from the Board or Office;



5. It is your responsibility to notify the Office of any changes in your address or phone number;



6. Upon permit issuance and prior to beginning on-site mining activity, you must post a sign at the entrance of the mine site, which shall be clearly visible from the access road, with the following information (Rule 3.1.12):

a. the name of the operator;

b. a statement that a reclamation permit for the operation has been issued by the Colorado Mined Land Reclamation Board; and,

c. the permit number.



7. The boundaries of the permit boundary area must be marked by monuments or other markers that are clearly visible and adequate to delineate such boundaries prior to site disturbance.



8. It is a provision of this permit that the operations will be conducted in accordance with the terms and conditions listed in your application, as well as with the provisions of the Act and the Construction Material Rules and Regulations in effect at the time the permit is issued.



9. Annually, on the anniversary date of permit issuance, you must submit an annual fee as specified by Statute, and an annual report which includes a map describing the acreage affected and the acreage reclaimed to date (if there are changes from the previous year), any monitoring required by the Reclamation Plan to be submitted annually on the anniversary date of the permit approval. Annual fees are for the previous year a permit is held. For example, a permit with the anniversary date of July 1, 1995, the annual fee is for the period of July 1, 1994 through June 30, 1995. Failure to submit your annual fee and report by the permit anniversary date may result in a civil penalty, revocation of your permit, and forfeiture of your financial warranty. It is your responsibility, as the permittee, to continue to pay your annual fee to the Office until the Board releases you from your total reclamation responsibility.



10. For joint venture/partnership operators: the signing representative is authorized to sign this document and a power of attorney (provided by the partner(s)) authorizing the signature of the representative is attached to this application.

NOTE TO COMMENTORS/OBJECTORS:

It is likely there will be additions, changes, and deletions to this document prior to final decision by the Office. Therefore, if you have any comments or concerns you must contact the applicant or the Office prior to the decision date so that you will know what changes may have been made to the application document.

The Office is not allowed to consider comments, unless they are written, and received prior to the end of the public comment period. You should contact the applicant for the final date of the public comment period.

If you have questions about the Mined Land Reclamation Board and Office's review and decision or appeals process, you may contact the Office at (303) 866-3567.

Certification:

As an authorized representative of the applicant, I hereby certify that the operation described has met the minimum requirements of the following terms and conditions:

1. To the best of my knowledge, all significant, valuable and permanent man-made structure(s) in existence at the time this application is filed, and located within 200 feet of the proposed affected area have been identified in this application (Section 34-32.5-115(4)(e), C.R.S.).
2. No mining operation will be located on lands where such operations are prohibited by law (Section 34-32.5-115(4)(f), C.R.S.;
3. As the applicant/operator, I do not have any extraction/exploration operations in the State of Colorado currently in violation of the provisions of the Colorado Land Reclamation Act for the Extraction of Construction Materials (Section 34-32.5-120, C.R.S.) as determined through a Board finding.
4. I understand that statements in the application are being made under penalty of perjury and that false statements made herein are punishable as a Class 1 misdemeanor pursuant to Section 18-8-503, C.R.S.

This form has been approved by the Mined Land Reclamation Board pursuant to section 34-32.5-112, C.R.S., of the Colorado Land Reclamation Act for the Extraction of Construction Materials. Any alteration or modification of this form shall result in voiding any permit issued on the altered or modified form and subject the operator to cease and desist orders and civil penalties for operating without a permit pursuant to section 34-32.5-123, C.R.S.

Signed and dated this 12 day of November, _____.

Aggregate Industries, WCR Inc.

If Corporation Attest (Seal)

Applicant/Operator or Company Name

Signed: [Signature]

Signed: [Signature]

Corporate Secretary or Equivalent

Town/City/County Clerk

Title: Regional General manager

State of Colorado)

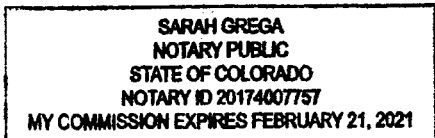
County of Jefferson) ss.

The foregoing instrument was acknowledged before me this 12 day of November, 2018, by John Conlin as Regional General Manager of Aggregate Industries

[Signature]

Notary Public

My Commission expires: 2/21/21



SIGNATURES MUST BE IN BLUE INK

You must post sufficient Notices at the location of the proposed mine site to clearly identify the site as the location of a

EXHIBIT A

LEGAL DESCRIPTION

EXHIBIT A

Legal Description

Tucson South Resource is located one mile west of the City of Brighton in Adams County, Colorado. The amended Tucson South Permit Boundary includes 307.5 acres. The Affected Area boundary, which is the mine permit boundary less the westernmost parcel (owned and operated by the City of Aurora for non-mining purposes) has an area of approximately 258.5 acres.

The Permit Boundary comprised of three distinct mining areas separated by Tucson Street and Colorado Highway 7, the Tucson Street right-of-way and the portion of the off-site conveyor route located within Adams County. Acreage within the Permit Boundary is summarized as follows:

- South - Phase 1, 24.3 acres, Tract I, located south of the State Highway 7;
- West - Phase 2, 137.6 acres, Tracts A, B, C, K, located north of State Highway 7 and west of Tucson Street;
- East - Phase 3, 139.4 acres, Tracts D, E, F, G, H, M, located north of State Highway 7 and east of Tucson Street;
- Tucson Street right-of-way - 2.9 acres, Tract L; and
- Off-site conveyor route located in Adams County - 3.3 acres, Tract J.

The tracts that will be mined within the Permit Boundary are owned by Aggregate Industries-WCR, Inc., and the City of Aurora. The conveyor route crosses a parcel owned by the City of Thornton. The Tucson Street right-of-way is owned by Adams County. Specific legal descriptions for the tracts within the Permit Boundary are included below.

Quarter, quarter section description of the proposed permit area:

Portions of the S ½ of Section 1, the NE ¼ of Section 1 and NE ¼ of the NW ¼, of Section 12, Township 1 South, Range 67 West of the Sixth Principal Meridian, Adams County, State of Colorado.

Latitude/Longitude of main entrance:

39.99007° N
104.83759° W

Tract Specific Legal Descriptions

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION I, TOWNSHIP I SOUTH. RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS. STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING:

THENCE S69°18'E, 260.7 FEET;

THENCE N07°32'E, 171.6 FEET;

THENCE N69°18'W, 260.7 FEET;

THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 2016000080681, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID **POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.**

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; **THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID**

NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE , A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER; S53°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET, S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

TRACT I

PARCEL B OF A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT J (CONVEYOR ROUTE EASEMENT)

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 0157101002001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°39'53" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET, SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE 17 MAP 855; THENCE SOUTH 73°16'48" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING.

TRACT L (TUCSON STREET RIGHT-OF-WAY)

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

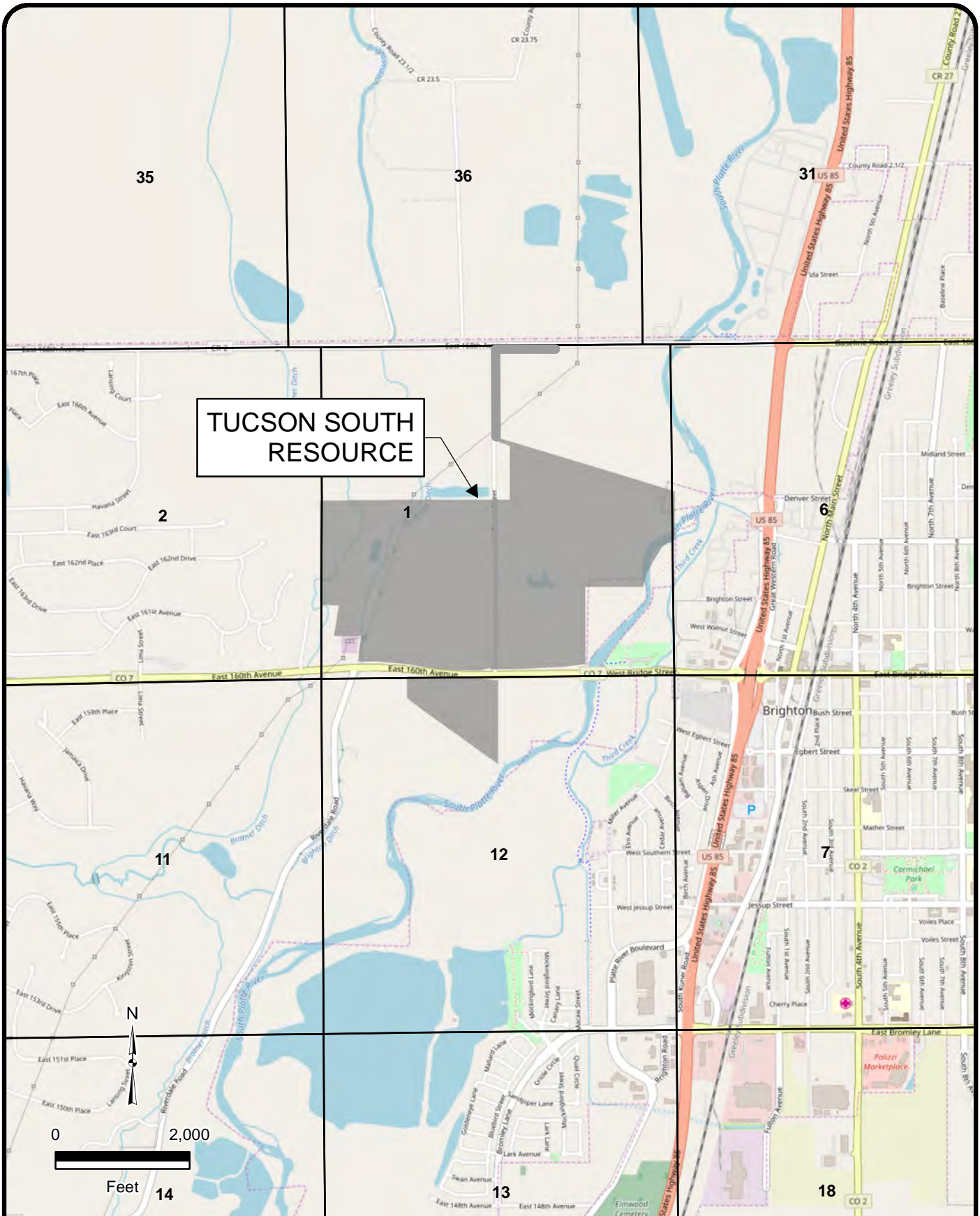
BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°06'29" EAST 1234.13 FEET TO A POINT WHEN THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°06'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°06'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°06'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING.

TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69D36' WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70D16' EAST 305.80 FEET; THENCE SOUTH 73D16' EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.

11/9/2018 - O:\PROJECTS\DENVER\23514\133-23514-17005\GIS\EXHB_VICINITYMAP.MXD - JEREMY.ANDRYAUSKAS



Tt TETRA TECH
www.tetrattech.com
 1900 S. Sunset Street, Ste. 1-E
 Longmont, Colorado 80501
 PHONE: (303) 772-5282 FAX: (303) 772-7039

AGGREGATE INDUSTRIES	
TUCSON SOUTH RESOURCES	
INDEX MAP	

Project No.:	200-23514-18004
Date:	NOV 09, 2018
Designed By:	JJA
Exhibit	
B	

TUCSON SOUTH RESOURCE PRE-MINING AND MINING PLAN MAPS

GRAVEL MINING APPLICANT / OPERATOR:

AGGREGATE INDUSTRIES-WCR, INC.
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

SURFACE OWNERS:

AGGREGATE INDUSTRIES-WCR, INC. (TRACTS A, B, D, E, F, H, I, AND M)
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

CITY OF AURORA (TRACTS C, G, AND K)
15151 EAST ALAMEDA PARKWAY
SUITE 3600
AURORA, COLORADO 80012

CITY OF THORNTON (TRACT J)
12450 WASHINGTON STREET
THORNTON, COLORADO 80241

ADAMS COUNTY (TRACT L)
ADAMS COUNTY GOVERNMENT CENTER
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, COLORADO 80601

PLEASE REFER TO SHEETS C-2 AND C-3 FOR ADJACENT PROPERTY OWNERS WITHIN 200' OF PERMIT BOUNDARY. ADJACENT PROPERTY OWNER INFORMATION WAS PROVIDED BY ADAMS COUNTY AND WELD COUNTY RECORDS.

EXISTING VEGETATION:

THE LAND COVER FOR THE PROJECT AREA WAS DETERMINED THROUGH A DESKTOP ANALYSIS OF THE NATIONAL LAND COVER DATABASE (FRY ET AL 2011). THE PROJECT LIES WITHIN COVER CLASSES IDENTIFIED BY THE NLCD AS CULTIVATED CROPLAND, HAY/PASTURE, HERBACEOUS, GRASSLANDS, WOODY AND HERBACEOUS WETLANDS, AND DEVELOPED AND BARREN.

UTILITY INFORMATION:

UTILITY INFORMATION TAKEN FROM THE TUCSON SOUTH ALTAIRSPS LAND TITLE SURVEY DATED SEPTEMBER 7, 2018 BY CIVIL ARTS.

WETLAND NOTE:

WETLANDS SHOWN ON PLANS ARE PER INVESTIGATION REPORTS BY TETRA TECH DATED AUGUST 2017.

FLOOD HAZARD INFORMATION:

FLOODPLAIN INFORMATION IS FROM FLOOD INSURANCE RATE MAP, PANEL NO. 08001C0327H & 08001C0326H, DATED MARCH 5, 2007. A PORTION OF THIS LAND LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS INUNDED BY THE 1% ANNUAL CHANCE FLOOD) AND REGULATORY FLOODWAY.

MINING AREA ACREAGE TABLE:

AREA/PHASE	TRACT	PERMIT BOUNDARY	AFFECTED AREA	MINED AREA	
WEST/ PHASE 1	A	82.6	82.6	88.6	
	B	1.0	1.0		
	C	5.0	5.0		
	K	49.0	0.0		
EAST/ PHASE 2	D	14.4	14.4	139.4	
	E	30.7	30.7		
	F	29.6	29.6		
	G	4.9	4.9		
	H	32.6	32.6		
	M	27.2	27.2		
CONVEYOR	J	3.3	3.3	3.3	0.0
TUCSON ST	L	2.9	2.9	2.9	0.0
TOTALS		283.2	234.2	155.8	

FLOOD HAZARD LEGEND:

EFFECTIVE ZONE AE: AREA OF 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE ZONE X: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

EFFECTIVE FLOODWAY: THE FLOODWAY IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THAT THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASES IN FLOOD HEIGHTS, AS SHOWN ON FEMA FIRM (MARCH 5, 2007)

PRE-PROJECT / MINING CONDITIONS: AREA OF 1% ANNUAL CHANCE FLOODPLAIN PER TETRA TECH STUDY (NOV. 2018 OR AS REVISED)

LEGAL DESCRIPTIONS:

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING; THENCE S89°18'E, 260.7 FEET; THENCE N07°32'E, 171.9 FEET; THENCE N89°18'W, 280.7 FEET; THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 2016000080681, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E. PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 477.26 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID

NORTH ONE HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER: S83°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET; S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

TRACT J

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 0157101002001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°39'53" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET, SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE: 17 MAP 855; THENCE SOUTH 73°16'48" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING.

TRACT L (TUCSON STREET RIGHT-OF-WAY)

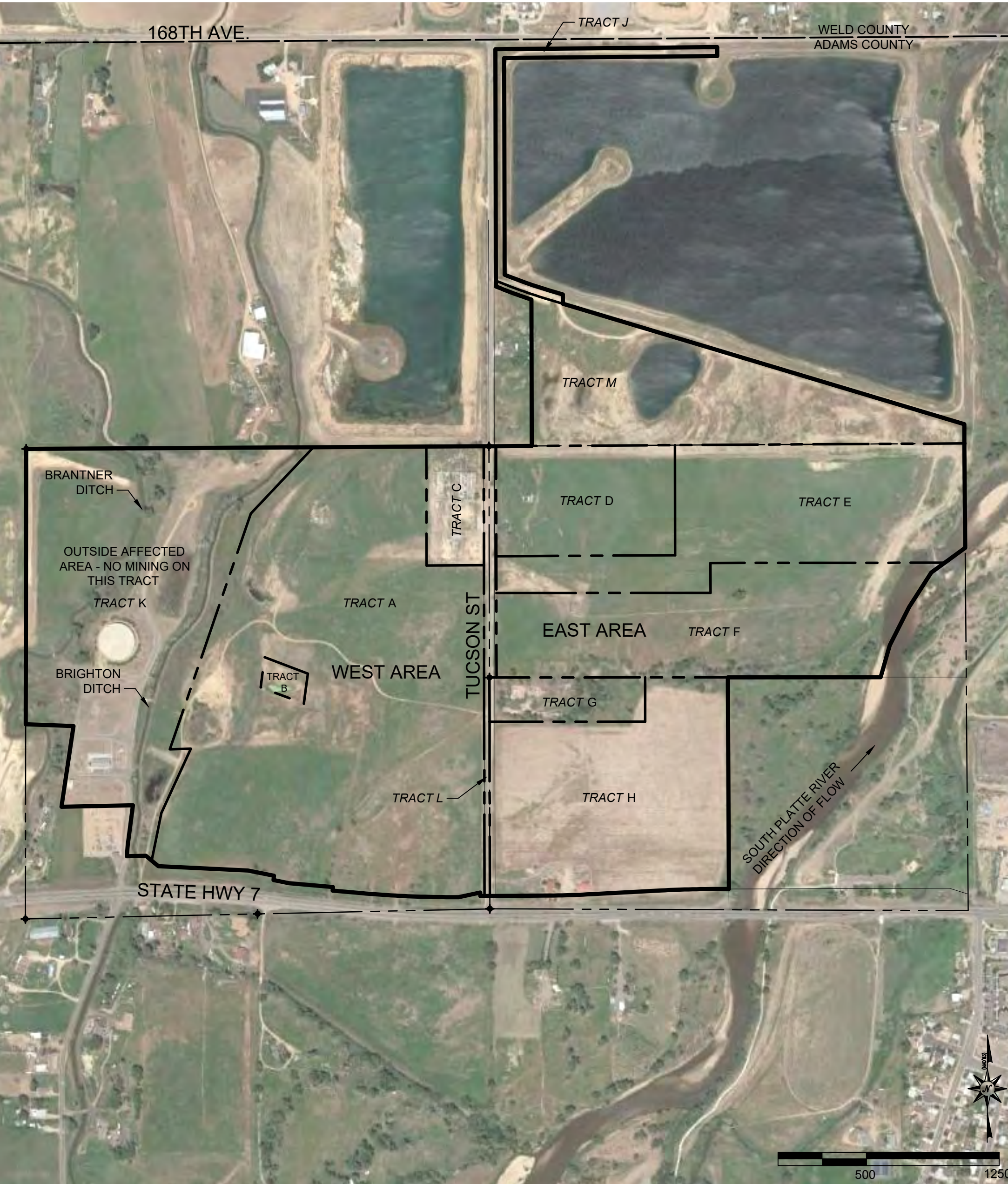
A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1; THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°06'29" EAST 1234.13 FEET TO A POINT WHICH THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°08'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°06'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°06'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING.

TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET; THENCE SOUTH 73°16'48" EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.



MINING NOTES:

- REFER TO EXHIBITS C-2 AND C-3 FOR ADJACENT PROPERTY OWNERS, SOURCE OF SURVEY/TOPOGRAPHY, AND BENCHMARK INFORMATION.
- AN ENGINEERING STABILITY ANALYSIS FOR SLIDING FAILURE HAS BEEN PERFORMED. MINING OCCURRING WITHIN 200' OF A MAN-MADE STRUCTURE NOT OWNED BY THE APPLICANT/OPERATOR HAS ADEQUATE SETBACK FOR SLIDING FAILURE. THE LIMIT OF MINING EXCAVATION PER THE GEOTECHNICAL SOIL STABILITY ANALYSIS IS SHOWN ON EXHIBITS C-4 AND C-5.
- FOR THE WEST AND EAST CELLS, THE OPERATOR WILL USE DRY MINING TECHNIQUES AND EXCAVATE MATERIAL BY BACKHOE, BULLDOZERS, AND SIMILAR EQUIPMENT. THE MINING FOR THESE PHASES WILL INVOLVE INSTALLATION OF A SLURRY WALL, DE-WATERING ACTIVE MINING AREAS, AND PUMPING WATER FROM DE-WATERED AREAS IN ACCORDANCE WITH THE DISCHARGE PERMIT.
- TOPSOIL AND OVERBURDEN STOCKPILES SHALL BE TEMPORARILY STORED IN THE AREAS SHOWN. THE STOCKPILES IN THE FLOODPLAIN SHALL BE ALIGNED PARALLEL TO THE FLOOD-FLOW DIRECTION OF THE S. PLATTE RIVER, HAVE A MAXIMUM HEIGHT OF 30', A MAXIMUM LENGTH OF 300', MAXIMUM 3H:1V SLOPES, AND A MINIMUM OF 100' BETWEEN STOCKPILES.
- OVERBURDEN AND TOPSOIL STOCKPILES ABOVE EXISTING GRADE, THAT ARE EXPECTED TO BE PRESENT FOR OVER 1 YEAR, WILL BE SEEDDED WITH A TEMPORARY SEED MIX AS WEATHER PERMITS.
- OVERBURDEN AND TOPSOIL STOCKPILES MAY BE STORED IN THE BOTTOM OF THE MINING CELLS IN EAST AND WEST MINING AREAS AS LONG AS THE TOP OF THE STOCKPILE IS BELOW THE PRE-MINING SURFACE ELEVATION.
- STOCKPILED TOPSOIL WILL BE SEGREGATED FROM OTHER SPOIL.
- THE OPERATION WILL INVOLVE CONCURRENT MINING AND RECLAMATION WITH FINAL SLOPES BEING 3H:1V, AND PLACEMENT OF 6" TO 12" OF TOPSOIL ON ALL RECONSTRUCTED AREAS ABOVE THE PROPOSED HIGH WATER LEVEL OF THE FUTURE RESERVOIR, AND OTHER DISTURBED AREAS AS NECESSARY.
- TETRA TECH INC. IS NOT RESPONSIBLE FOR SAFETY, IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR

- COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS THERETO.
- A MINIMUM OF TEN (10) FEET OF CLEARANCE FROM ANY EXISTING POWERLINE OR FUTURE POWERLINE SHALL BE MAINTAINED AT ALL TIMES AS OUTLINED BY STATE STATUTES.
- UTILITIES SHOWN ON THIS PLAN WERE FIELD LOCATED AT THE TIME OF PLAN PREPARATION. FOR SAFETY, THE OPERATOR SHOULD LOCATE UTILITIES PRIOR TO SLURRY WALL CONSTRUCTION, OR MINING ACTIVITY.
- SLURRY WALL SHOWN HEREIN IS GENERAL LOCATION ONLY. THE PORTION OF THE SLURRY WALL IN THE TUCSON STREET ROW WILL BE CONSTRUCTED UPON APPROVAL OF ADAMS COUNTY.
- PRIOR TO DISTURBANCE OF ANY WATERS OF THE U.S., AGGREGATE INDUSTRIES-WCR, INC. WILL GET APPROPRIATE APPROVALS FROM THE U.S. ARMY CORPS OF ENGINEERS.
- NO IRRIGATION DITCHES WILL BE DISTURBED. LATERALS THAT SERVE THE PROPERTY WILL BE REMOVED.
- WETLANDS BUFFER SHALL NOT BE DISTURBED UNTIL USACE AUTHORIZATION IS OBTAINED.
- THE MAXIMUM SLOPE ON EASTERN AND SOUTHERN HIGHWALL EXCAVATIONS THAT ARE 400 FEET OR LESS FROM THE SOUTH PLATTE RIVER SHALL NOT EXCEED 3H:1V BETWEEN APRIL 1 AND SEPTEMBER 30.
- THE MINING LIMITS SHOWN HEREIN ASSUME A 3H:1V (EAST AND WEST AREAS) AS DESCRIBED IN THE SLOPE STABILITY AND SETBACK UPDATES MEMO (TETRA TECH, JULY 9, 2019). DEVIATIONS FROM THE ASSUMPTIONS MADE IN THE MEMO MAY IMPACT THE ALLOWABLE GEOTECHNICAL SETBACK. THIS MEMO DOES NOT DOCUMENT SETBACKS THAT ARE BASED ON MUTUAL AGREEMENTS OR ADAMS COUNTY REGULATIONS.

SHEET INDEX:

- C-1 EXHIBIT C COVER SHEET & MINING NOTES
- C-2 EXHIBIT C PER-MINING PLAN MAP WEST AREAS
- C-3 EXHIBIT C PRE-MINING PLAN MAP EAST AREA
- C-4 EXHIBIT C WEST AREA MINING PLAN
- C-5 EXHIBIT C EAST AREA MINING PLAN
- C-6 EXHIBIT C MINING DETAILS

CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.



www.tetratech.com
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Englewood, CO 80110
Phone: (303) 772-8282

MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/18/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	4/30/20	REMOVE SOUTH MINING AREA	MES

AGGREGATE INDUSTRIES - WCR, INC.

TUCSON SOUTH
RESOURCE

EXHIBIT C

COVER SHEET & MINING NOTES

Project No.: 200-23514-18004

Designed By: JAB

Drawn By: JJA

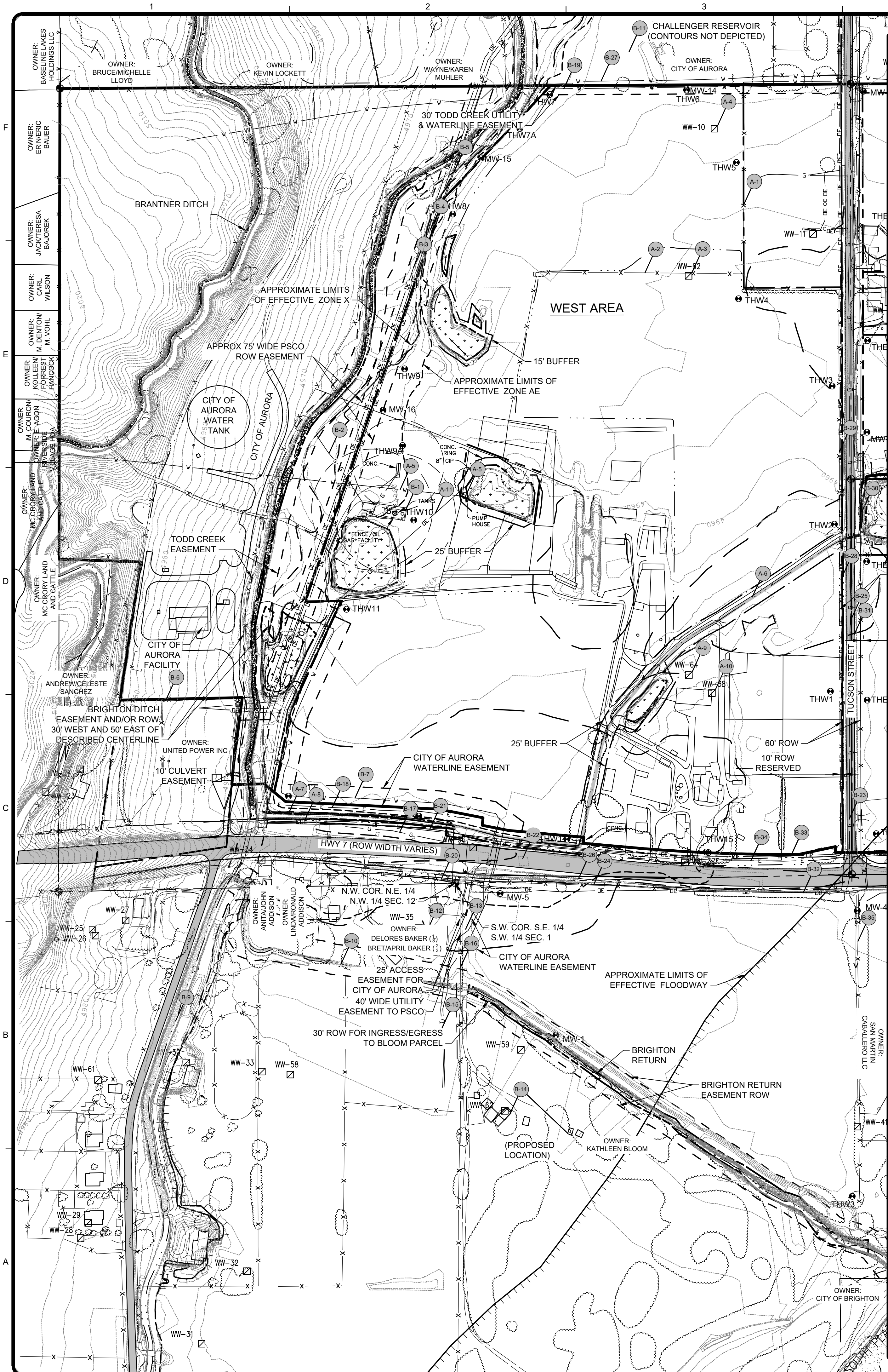
Checked By: JAB

C-1

EXHIBIT

Bar Measures 1 inch

Copyright: Tetra Tech



MATCHLINE SEE SHT C-3

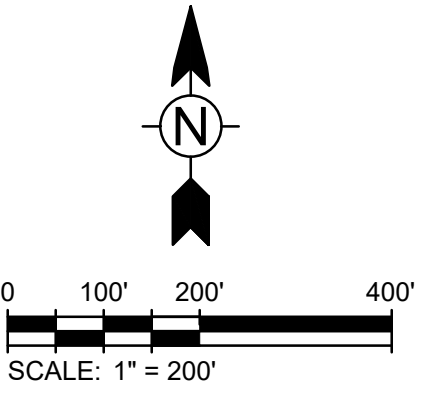
LEGEND:

- MINE PERMIT BOUNDARY
- TRACT BOUNDARY
- - - EASEMENT
- - - EFFECTIVE FLOODWAY
- - - EFFECTIVE ZONE AE
- - - EFFECTIVE ZONE X
- - - PRE-PROJECT MINING CONDITIONS 100-YR FLOODPLAIN
- - - EXISTING WETLAND BOUNDARY
- - - EXISTING WETLAND BUFFER
- - - EXISTING EDGE OF WATER
- - - EXISTING 2' CONTOURS
- - - EXISTING FENCE
- - - EXISTING EDGE OF ROAD
- - - EXISTING ELECTRIC LINE
- - - EXISTING OVERHEAD ELECTRIC LINE
- - - EXISTING GAS LINE
- - - EXISTING WATER LINE
- - - EXISTING TELEPHONE LINE
- - - EXISTING ASPHALT ROAD
- - - EXISTING SOUTH PLATTE RIVER
- - - UDFCD STABILIZATION
- - - EXISTING WETLANDS
- ⊙ MW-1 MONITORING WELL LOCATION WITH WELL ID #
- ⊙ WW-10 WATER WELL LOCATION WITH WELL ID #
- ⊙ EXISTING TREES
- ⊙ UTILITY POLE
- ⊙ SECTION CORNER MONUMENT

STRUCTURE LIST

STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS	RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)
A-1	FENCE LOCATED ON PROPERTY	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	-	-	-
A-2	FENCE LOCATED ON PROPERTY	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-3	PUMP HOUSE, WELL & WATERLINE	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-4	IRRIGATION DITCH	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-5	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-6	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-7	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-8	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-9	IRRIGATION LATERALS	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-10	OVERHEAD ELECTRIC WITH POWER POLES	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-11	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC.	PO BOX 929, BRIGHTON, CO, 80002	-	-	-
B-1	CONC. WING	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	-	-	-
B-2	GAS LINE	GREAT WESTERN OPERATING COMPANY, LLC	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	56	56	56
B-3	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1886 LARIMER ST, DENVER, COLORADO, 80202	45	45	75 MIN/MAX
B-4	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1886 LARIMER ST, DENVER, COLORADO, 80202	45	45	75 MIN/MAX
B-5	OVERHEAD ELECTRIC WITH POWER POLES	PUBLIC SERVICE CO. OF COLO.	1886 LARIMER ST, DENVER, COLORADO, 80202	45	45	75 MIN/MAX
B-6	ELECTRICAL SUBSTATION	UNITED POWER INC.	PO BOX 929, BRIGHTON, CO, 80002	45	45	250
B-7	WATERLINE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	72 MN (N OF HWY 7) / 20 MN (S OF HWY 7)	60	80 MN (N OF HWY 7) / 75 MN (S OF HWY 7)
B-8	IRRETRIEVABLY NOT USED	BRIGHTON DITCH COMPANY	3286 WILD COUNTY ROAD 23, FT LIPPTON CO 80011	35	-	90 MIN/MAX
B-9	BRIGHTON DITCH	BRIGHTON DITCH COMPANY	3286 WILD COUNTY ROAD 23, FT LIPPTON CO 80011	77	-	77
B-10	BRIGHTON DITCH RETURN FLOW	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	45	-	188
B-11	CHALLENGER RESERVOIR	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	20	-	215
B-12	PRIVATE RESIDENCE	DELORES BAKER, APRIL AND BRET BAKER	12420 E 180TH AVE, DENVER, CO	-	-	-
B-13	SHARED ACCESS	KATHLEEN BLOOM DELORES, APRIL & BRET BAKER, CITY OF AURORA	BLOOM 12500 E 160TH AVE, BRIGHTON, COLORADO, 80002	20	-	100
B-14	PRIVATE RESIDENCE AND OUT BUILDINGS	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	-	-	-
B-15	TELEPHONE LINE	CENTURY LINK	12000 E 160TH AVE, BRIGHTON, COLORADO, 80002	77	-	335
B-16	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE 68103	20	-	90
B-17	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	106	-	170
B-18	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN 55401	106	-	112
B-19	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	45	20	65
B-20	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7500 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	45	20	65
B-21	FENCE	COLORADO DEPARTMENT OF TRANSPORTATION	2828 W HOWARD PLACE, DENVER, CO 80204	106	-	175
B-22	CO STATE HIGHWAY 7	COLORADO DEPARTMENT OF TRANSPORTATION	2828 W HOWARD PLACE, DENVER, CO 80204	106	-	160
B-23	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN 55401	35 (BOTH SIDES)	-	65 WEST / 60 EAST
B-24	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE 68103	86 (SOUTH AREA) / 25 (EAST AREA)	-	86 SOUTH / 60 EAST
B-25	TELEPHONE LINE	CENTURY LINK	4430 S ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80001	35 (BOTH SIDES)	-	55
B-26	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN 55401	35 (BOTH SIDES)	-	65 WEST / 60 EAST
B-27	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7500 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	45	20	65
B-28	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	35	-	111 WEST / 35 EAST
B-29	FENCE	AGGREGATE INDUSTRIES WCR, INC.	1887 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	60	-	115
B-30	FENCE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3000, AURORA, COLORADO, 80012	60	-	115
B-31	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE 68103	35	-	65
B-32	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	35	-	65
B-33	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	35	-	108
B-34	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO, 80002	106	-	120
B-35	FENCE	ISAN MARTIN CABALLERO, LLC	13119 E 160TH AVE, BRIGHTON, CO 80001	-	-	-

* Offset is selected from nearest feature analyzed in the stability analysis
 ** Actual offset distance is measured from the feature to the nearest mining excavation limit



CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

SURVEY/TOPOGRAPHIC INFORMATION:

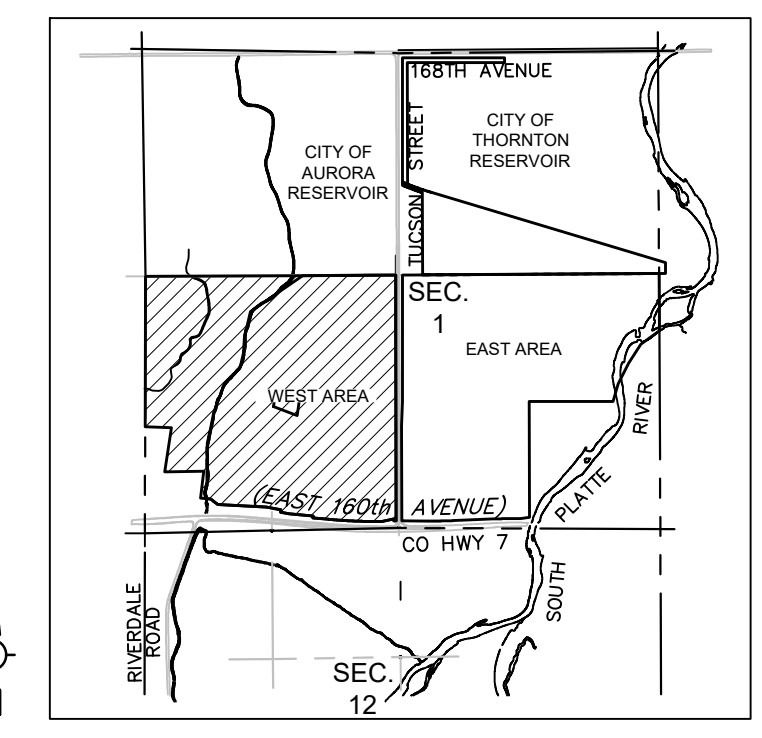
BASEMAP INFORMATION AND TOPOGRAPHY: (3/26/2003) CARRERA MAPPING, INC., 4743 SOUTH CATHAY COURT AURORA, COLORADO, 80015 PHONE: (303) 693-5999

SURVEY INFORMATION: CIVIL ARTS 1500 KANSAS AVE, STE. 2-E LONGMONT, CO 80501

BOUNDARY INFORMATION AND EXISTING UTILITIES: CIVIL ARTS 1500 KANSAS AVE, STE. 2-E LONGMONT, CO 80501 (SEE LEGAL DESCRIPTIONS)

WELL INFORMATION:

☐ WW-# LOCATIONS ARE APPROXIMATE BASED ON SEO DATABASE AND DOOR TO DOOR SURVEY, AND COULD BE ABANDONED OR DESTROYED. INFORMATION IS FROM TETRA TECH WELL INVENTORY REPORT DATED MARCH 13, 2004.



TETRA TECH

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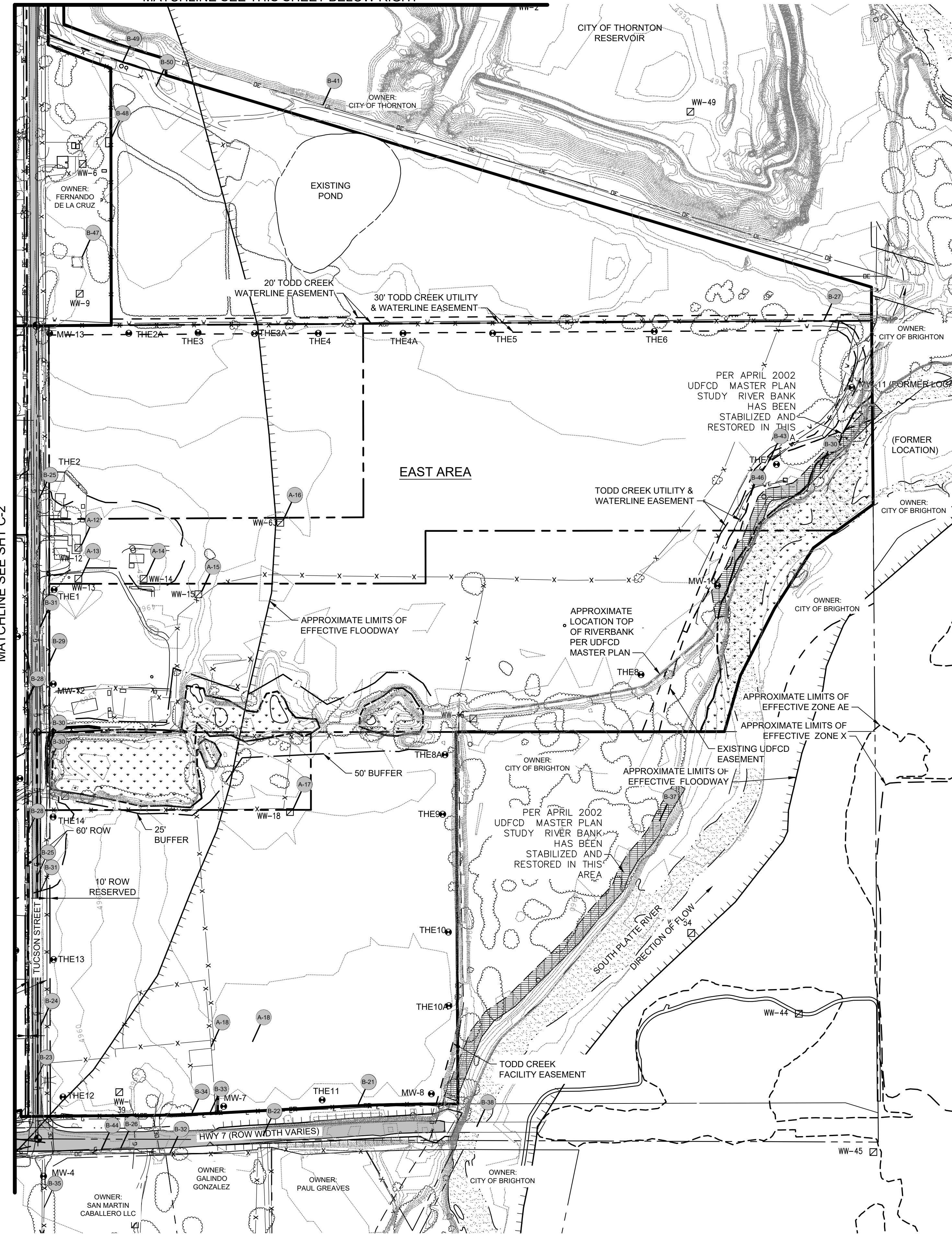
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MATCHLINE SEE THIS SHEET BELOW RIGHT



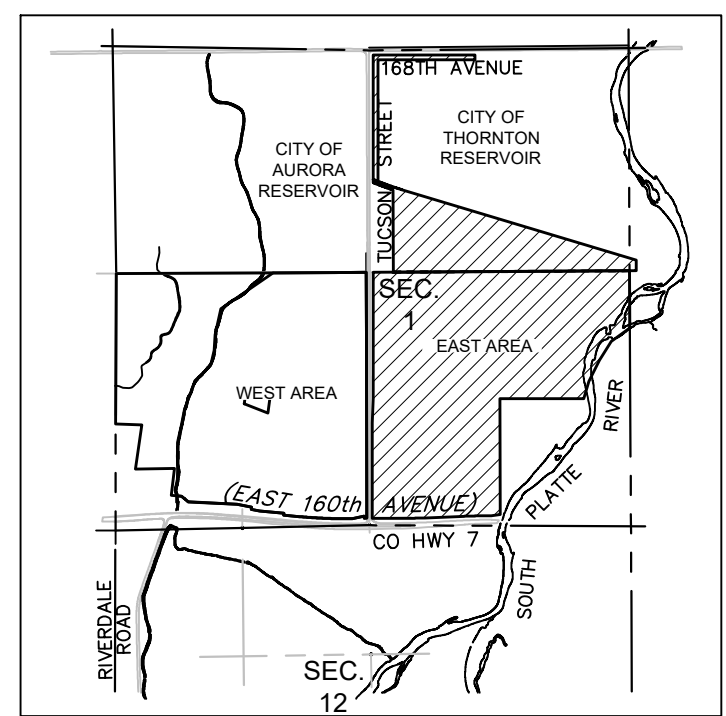
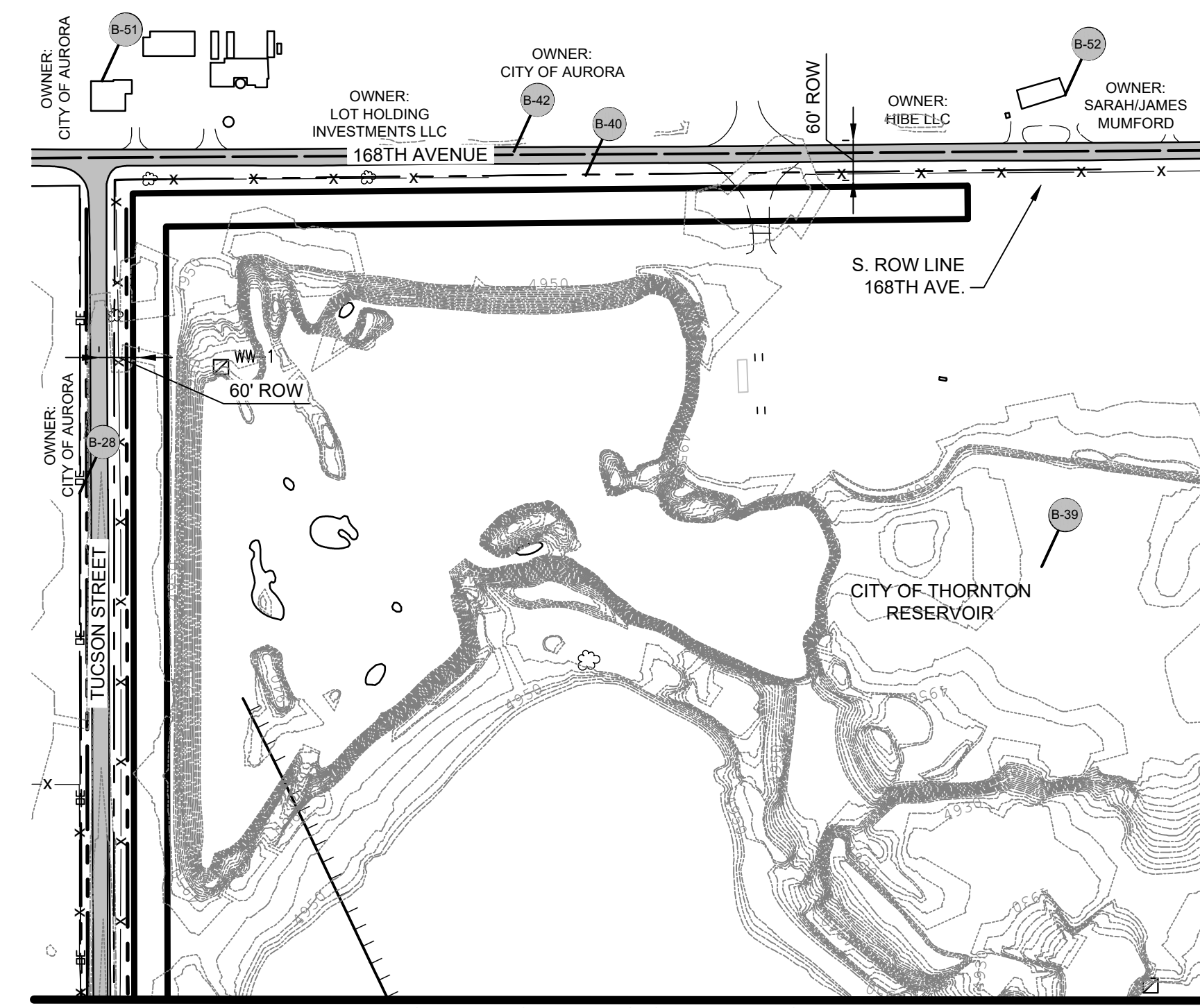
LEGEND:

- MINE PERMIT BOUNDARY
- - - TRACT BOUNDARY
- - - EASEMENT
- - - EFFECTIVE FLOODWAY
- - - EFFECTIVE ZONE AE
- - - EFFECTIVE ZONE X
- - - PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN
- - - EXISTING WETLAND BOUNDARY
- - - EXISTING WETLAND BUFFER
- - - EXISTING EDGE OF WATER
- - - EXISTING 2' CONTOURS
- - - EXISTING FENCE
- - - EXISTING EDGE OF ROAD
- - - EXISTING ELECTRIC LINE
- - - OE EXISTING OVERHEAD ELECTRIC LINE
- - - G EXISTING GAS LINE
- - - W EXISTING WATER LINE
- - - OT EXISTING TELEPHONE LINE
- █ EXISTING ASPHALT ROAD
- █ EXISTING SOUTH PLATTE RIVER
- █ UDFCD STABILIZATION
- █ EXISTING WETLANDS
- MONITORING WELL LOCATION WITH WELL ID #
- WATER WELL LOCATION WITH WELL ID #
- EXISTING TREES
- UTILITY POLE
- SECTION CORNER MONUMENT

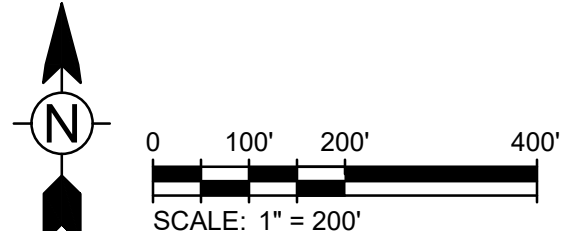
STRUCTURE LIST

STRUCTURES TO BE REMOVED				RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)*	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)**
STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS			
A-12	WW-12	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-13	WW-13	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-14	WW-14	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-15	WW-15	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-16	WW-63	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-17	WW-18	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
A-18	PRIVATE RESIDENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	-
STRUCTURES TO BE PROTECTED				RECOMMENDED OFFSET PER STABILITY ANALYSIS (FT)*	STRUCTURE AGREEMENT OR UDFCD OFFSET (FT)	ACTUAL OFFSET FROM MINING EXCAVATION LIMITS (FT)**
STRUCTURE ID	STRUCTURE DESCRIPTION	OWNER	ADDRESS			
B-21	FENCE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO. 80204	35	-	55
B-22	CO STATE HIGHWAY 7	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO. 80204	35	-	133
B-23	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN. 55401	35	-	104
B-24	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE. 68103	35	-	81
B-25	TUCSON STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	35	-	84
B-26	GAS LINE	XCEL	414 NICOLLET MALL, MINNEAPOLIS, MN. 55401	35	-	158
B-27	WATERLINE	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	35	20	200
B-28	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	35	-	126
B-29	FENCE	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	35	-	56
B-30	FENCE	CITY OF AURORA	15151 EAST ALAMEDA PARKWAY, SUITE 3600, AURORA, COLORADO, 80012	35	-	57
B-31	TELEPHONE LINE	CENTURY LINK	PO BOX 2560, OMAHA, NE. 68103	35	-	81
B-32	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	35	-	176
B-33	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	35	-	51
B-34	UNDERGROUND ELECTRIC	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	35	-	68
B-35	FENCE	SAN MARTIN CABALLERO, LLC	13110 E 160TH AVE, BRIGHTON, CO. 80601	-	-	-
B-36	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	44	200	200 MINIMUM
B-37	RIVERBANK STABILIZATION	URBAN DRAINAGE AND FLOOD CONTROL DISTRICT	2480 W. 26TH AVE, SUITE 156B, DENVER, COLORADO, 80211	44	200	200 MINIMUM
B-38	HIGHWAY 7 BRIDGE	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO. 80204	-	200	338
B-39	THORNTON RESERVOIR	CITY OF THORNTON	9500 CMC DR, THORNTON CO 80229-4326	-	-	335
B-40	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	-	-	2335
B-41	OVERHEAD ELECTRIC WITH POWER POLES	UNITED POWER INC	PO BOX 929, BRIGHTON, CO. 80602	-	-	776
B-42	168TH STREET	ADAMS COUNTY	4430 S. ADAMS COUNTY PARKWAY, BRIGHTON, COLORADO, 80601	-	-	2350
B-43	WATERLINE, WELL, PUMP HOUSE & APPURTENANCES	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	-	20	143
B-44	GUARDRAIL	COLORADO DEPARTMENT OF TRANSPORTATION	2829 W. HOWARD PLACE, DENVER, CO. 80204	35	-	162
B-45	INTENTIONALLY NOT USED	-	-	-	-	-
B-46	UNDERGROUND ELECTRIC	TODD CREEK FARMS METROPOLITAN DIST. NO. 1	7550 EAST 152ND AVE, BRIGHTON, COLORADO, 80401	-	20	173
B-47	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO DE LA CRUZ	16400 TUCSON STREET, BRIGHTON, CO. 80601	-	-	292
B-48	PRIVATE RESIDENCE AND OUT BUILDINGS	FERNANDO ARMANDO DE LA CRUZ BRECEDA	16400 TUCSON STREET, BRIGHTON, CO. 80601	-	-	675
B-49	OIL AND GAS FACILITY	GREAT WESTERN OPERATING COMPANY, LLC	-	-	-	916
B-50	ACCESS ROAD	AGGREGATE INDUSTRIES WCR, INC.	1687 COLE BLVD, SUITE 300, GOLDEN, COLORADO, 80401	-	-	839
B-51	PRIVATE RESIDENCE AND OUT BUILDINGS	CHRISTOPHER MUEHLER	11585 COUNTY ROAD 2, BRIGHTON, CO. 80603	-	-	2405
B-52	PRIVATE RESIDENCE AND OUT BUILDINGS	JAMES AND SARAH MUMFORD	11835 COUNTY ROAD 2, BRIGHTON, CO. 80603	-	-	2415

* Offset is selected from nearest feature analyzed in the stability analysis
 ** Actual offset distance is measured from the feature to the mining excavation limit shown on sheet.



CERTIFICATION:
 THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.



KEY MAP
 NOT TO SCALE

TETRA TECH

www.tetrattech.com
 1900 S. Seward St., Ste. 1-E
 Longmont, CO 80501
 Phone: (303) 772-5282

MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/18/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/11/20	REMOVE SOUTH AREA FROM MINING LIMIT	MES

AGGREGATE INDUSTRIES - WCR, INC.

TUCSON SOUTH RESOURCE

EXHIBIT C

PRE-MINING PLAN MAP

EAST AREA

Project No.: 200-23514-18004

Designed By:

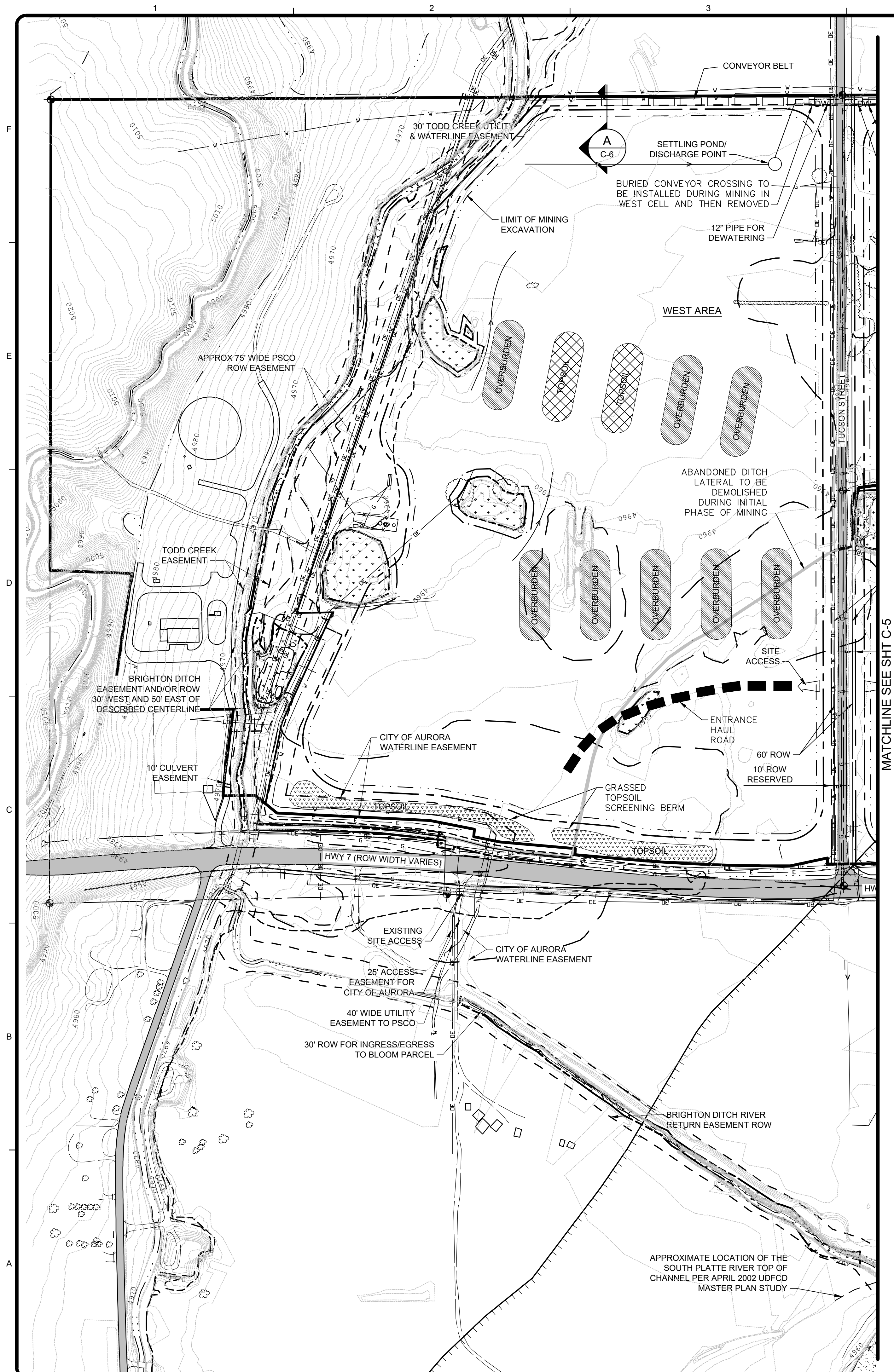
Drawn By:

Checked By:

C-3

EXHIBIT

Bar Measures 1 inch



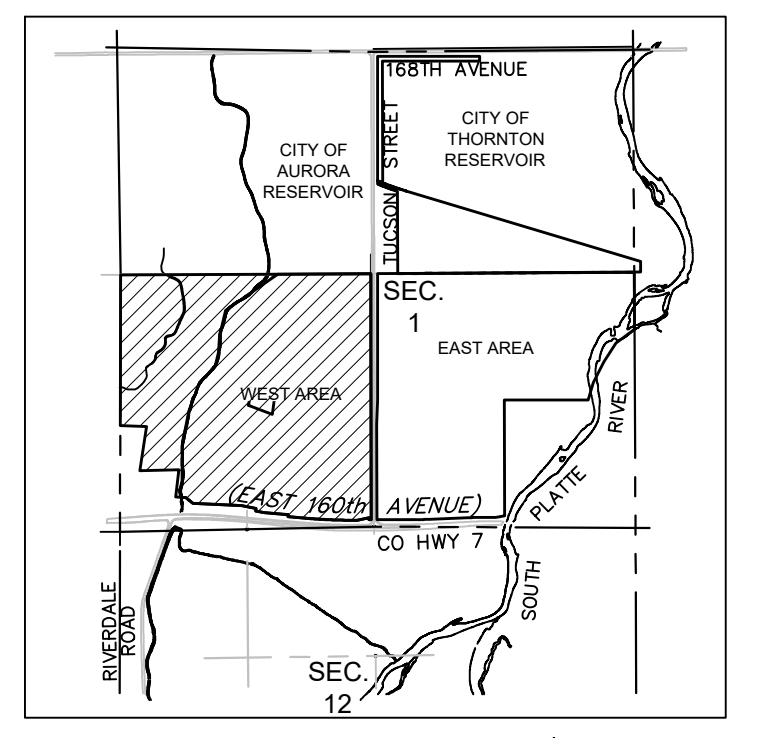
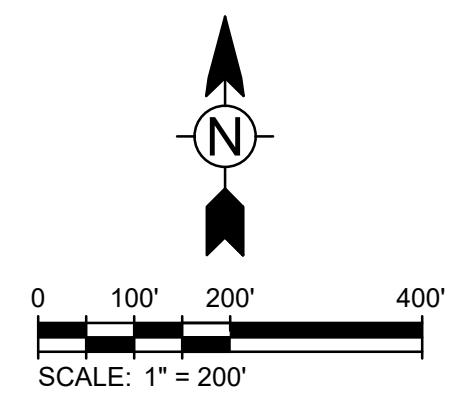
CERTIFICATION:
 THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRA TECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

LEGEND:

	MINE PERMIT BOUNDARY
	TRACT BOUNDARY
	EASEMENT
	EFFECTIVE FLOODWAY
	EFFECTIVE ZONE AE
	EFFECTIVE ZONE X
	PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN
	EXISTING WETLAND BOUNDARY
	EXISTING WETLAND BUFFER
	EXISTING EDGE OF WATER
	EXISTING 2' CONTOURS
	EXISTING FENCE
	EXISTING EDGE OF ROAD
	EXISTING ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING TELEPHONE LINE
	PROPOSED SLURRY WALL
	LIMIT OF MINING EXCAVATION PER SLOPE STABILITY ANALYSIS
	SURFACE DEWATERING TRENCH
	12" PIPE FOR DEWATERING
	ON SITE HAUL ROAD
	ON SITE CONVEYOR
	PROPOSED ACCESS
	OVERBURDEN STOCKPILE
	TOPSOIL STOCKPILE
	TOPSOIL SCREENING BERM W/ GRASS COVER
	SETTLING POND/DISCHARGE POINT
	EXISTING ASPHALT ROAD
	EXISTING SOUTH PLATTE RIVER
	UDFCD STABILIZATION
	EXISTING WETLANDS

NOTE:
 1. CONCEPTUAL UNDERDRAIN AND DETAILS ARE PRESENTED IN EXHIBIT G.

MATCHLINE SEE SHT C-5



TETRA TECH
 www.tetra-tech.com
 1900 S. Sunset St., Ste. 11E
 Englewood, CO 80151
 Phone: (303) 772-5282

MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/8/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/1/20	REMOVE SOUTH AREA FROM MINING PLAN	MES

AGGREGATE INDUSTRIES - WCR, INC.
 TUCSON SOUTH RESOURCE
EXHIBIT C
 WEST AREA
 MINING PLAN

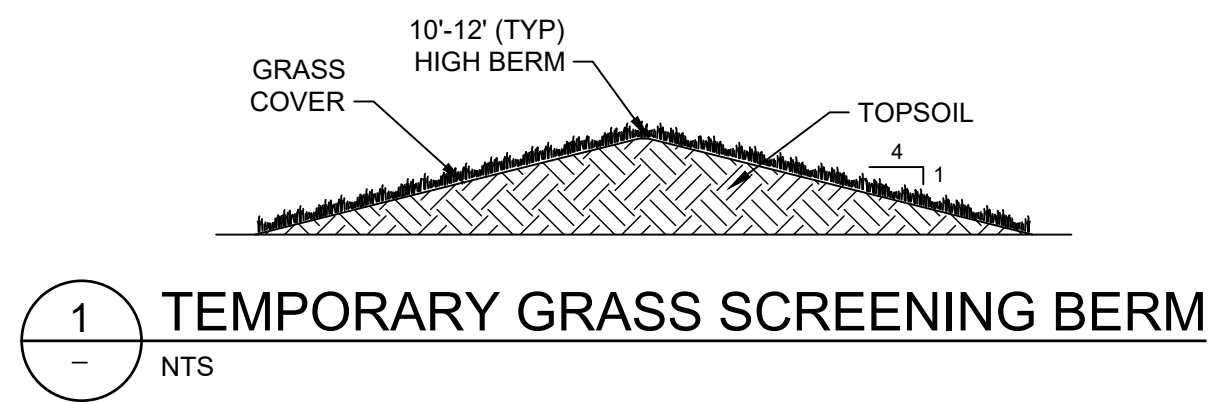
Project No.:	200-23514-18004
Designed By:	
Drawn By:	
Checked By:	

C-4
 EXHIBIT

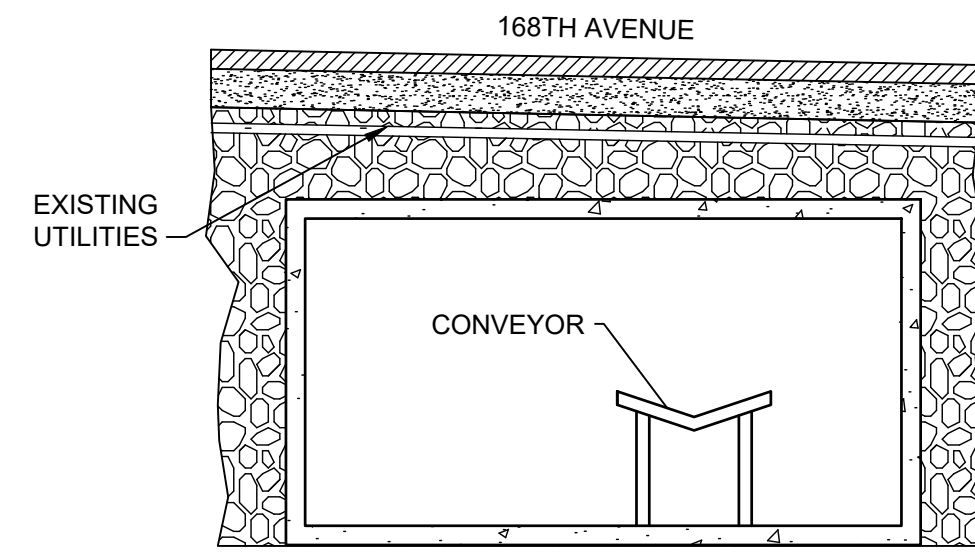
Copyright: Tetra Tech

Bar Measures 1 inch

7/1/2019 9:36:08 AM - C:\PROJECTS\DENVER\235141133-23514-17005\CAD\SHSHEETS\DRMS\C-5 EXHIBIT C EAST AREA (PHASE 3) MINING PLAN.DWG - ANDRYAUSKAS, JEREMY

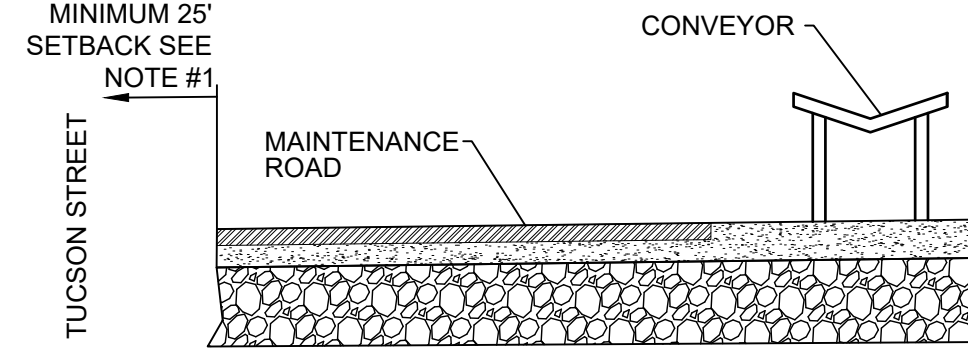


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NTS
TEMPORARY GRASS SCREENING BERM



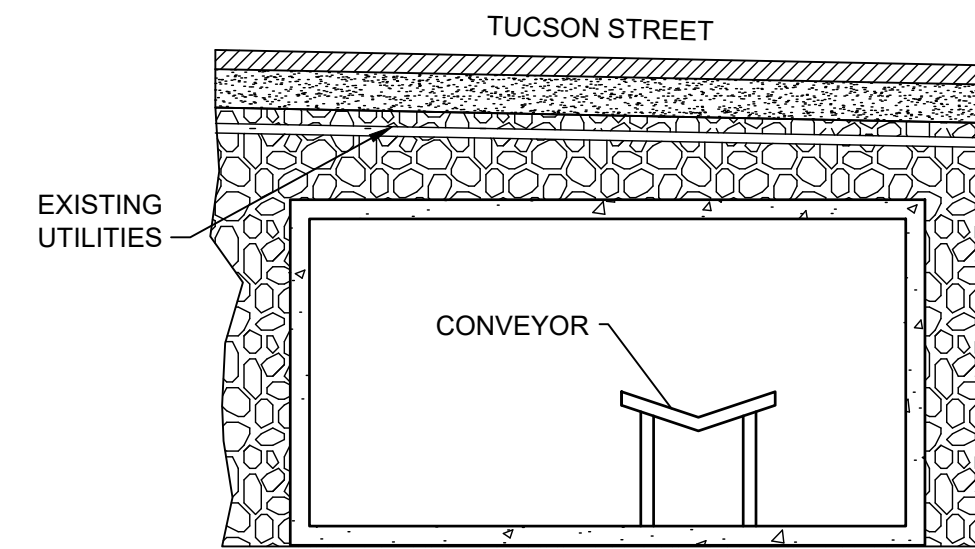
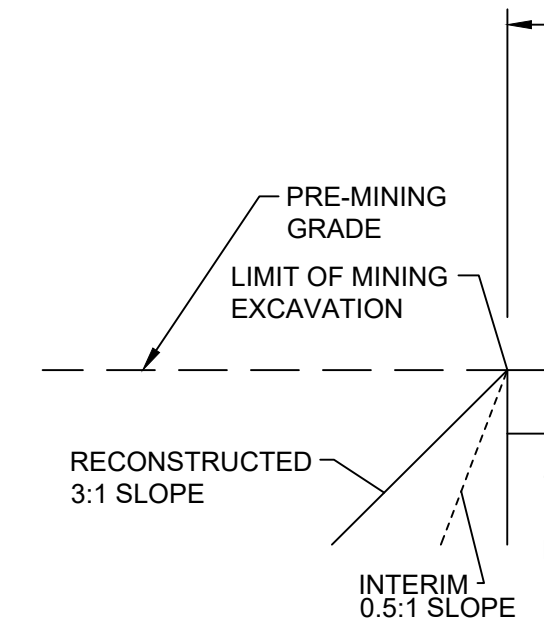
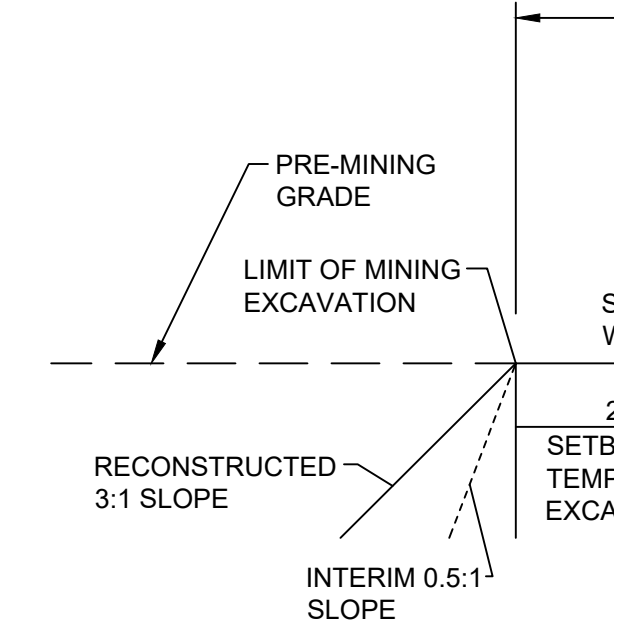
- NOTE:**
1. THIS DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER 168TH AVENUE IS SUBJECT TO APPROVAL OF ADAMS COUNTY AND WELD COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.
 2. CONVEYOR UNDER 168TH STREET WILL BE PERMITTED THROUGH AN AMENDMENT TO WATTENBERG LAKES (M-2004-051) 112 PERMIT.

2
-
NTS
168TH AVENUE CONVEYOR CROSSING DETAIL



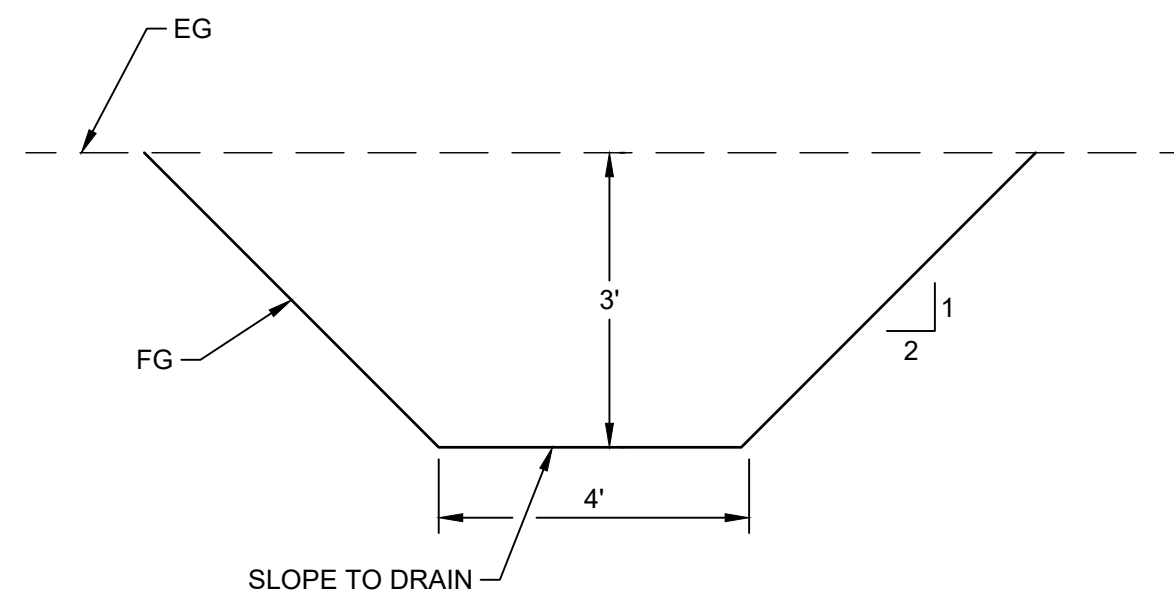
- NOTE:**
1. CONVEYOR ACCESS AND MAINTENANCE ROAD SHALL BE SETBACK A MINIMUM OF 25' FROM TUCSON STREET.

3
-
NTS
ON-SITE ABOVE GROUND CONVEYOR SYSTEM DETAIL

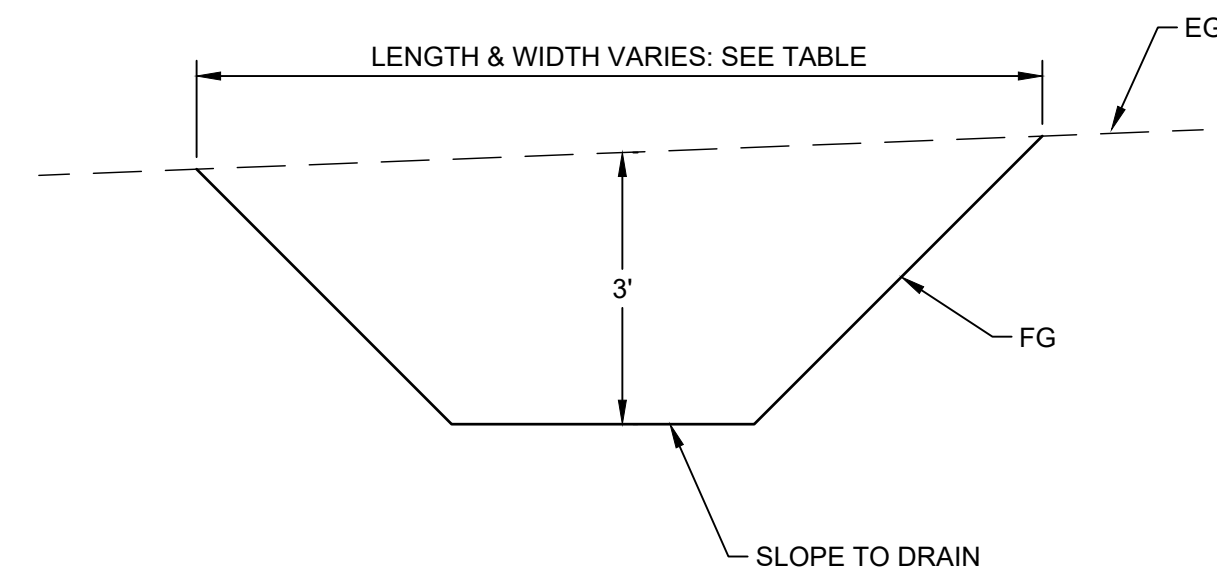


- NOTE:**
1. THIS DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER TUCSON STREET IS SUBJECT TO APPROVAL OF ADAMS COUNTY AND WELD COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.

4
-
NTS
TUCSON STREET CONVEYOR CROSSING DETAIL

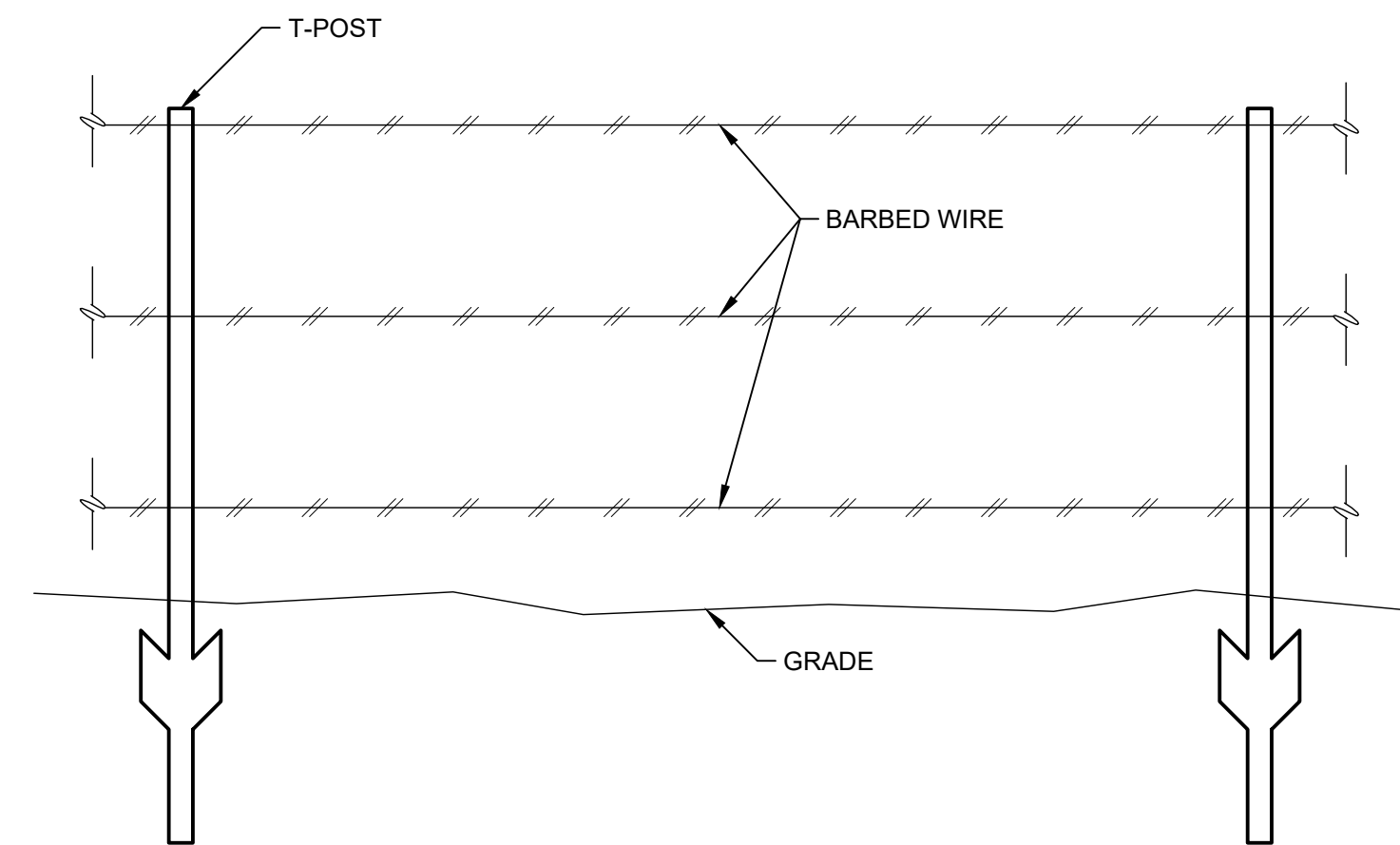


5
-
NTS
TYPICAL SURFACE WATER DIVERSION CHANNEL



CELL	POND DIMENSIONS
WEST	140x140
EAST	155x155
SOUTH	60x60

6
-
NTS
TYPICAL SURFACE WATER DIVERSION CHANNEL



7
-
NTS
3-WIRE FARM FENCE DETAIL



TUCSON SOUTH RESOURCE RECLAMATION PLAN MAPS

GRAVEL MINING APPLICANT / OPERATOR:

AGGREGATE INDUSTRIES-WCR, INC.
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

SURFACE OWNERS:

AGGREGATE INDUSTRIES-WCR, INC. (TRACTS A, B, D, E, F, H, I, AND M)
1687 COLE BLVD, SUITE 300
GOLDEN, COLORADO 80401

CITY OF AURORA (TRACTS C, G, AND K)
15151 EAST ALAMEDA PARKWAY
SUITE 3800
AURORA, COLORADO 80012

CITY OF THORNTON (TRACT J)
12450 WASHINGTON STREET
THORNTON, COLORADO 80241

ADAMS COUNTY (TRACT L)
ADAMS COUNTY GOVERNMENT CENTER
4430 SOUTH ADAMS COUNTY PARKWAY
BRIGHTON, COLORADO 80601

RECLAMATION AREA ACREAGE TABLE:

RECLAMATION PLAN AREAS	ACREAGES
MINING AREAS RECLAIMED TO WATER STORAGE	155.8
DISTURBED, BUT NOT MINED LAND RECLAIMED TO UPLAND MEADOW	85.1
UNDISTURBED AREAS OUTSIDE AFFECTED AREA	49.0
TUCSON STREET ROW	2.9
TOTAL	292.8

LEGAL DESCRIPTIONS:

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING;

THENCE S89°18'E, 260.7 FEET;
THENCE N07°32'E, 171.6 FEET;
THENCE N69°18'W, 260.7 FEET;
THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016 AT RECEPTION NO. 2016000080681, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E. PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29" WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID

NORTH ONE HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER; S83°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET; S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

TRACT J

A PORTION OF A PARCEL OWNED BY THE CITY OF THORNTON (PN: 0157101002001) LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE WEST 50.00 FEET; THE NORTH 50.00 FEET OF THE WEST 1250.00 FEET; AND THE SOUTH 50.00 FEET OF THE WEST 380.00 FEET.

TRACT K

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 1; THENCE SOUTH 89°39'53" WEST 2445.14 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°06'03" WEST 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36'00" WEST 214.53 FEET TO A POINT LYING 40.00 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 00°00'03" WEST 32.52 FEET PARALLEL TO THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16'26" EAST 305.80 FEET; SAID POINT BEING ON THE SOUTHERLY LINE OF THE TUCSON RESOURCES SUBDIVISION AS RECORDED IN THE ADAMS COUNTY RECORDS IN FILE 17 MAP 865; THENCE SOUTH 73°04'48" EAST 2463.67 FEET ALONG THE SOUTHERLY LINE OF SAID TUCSON RESOURCES SUBDIVISION TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE SOUTH 00°10'30" EAST 108.13 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF BEGINNING.

TRACT L (TUCSON STREET RIGHT-OF-WAY)

A TRACT OF LAND LOCATED IN THE SOUTH HALF OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1: THENCE ALONG THE NORTH-SOUTH CENTERLINE OF SECTION 1 SOUTH 00°06'29" EAST 1234.13 FEET TO A POINT WHENCE THE SOUTH ONE-QUARTER CORNER OF SECTION 1 BEARS SOUTH 00°06'29" EAST 72.70 FEET; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE SOUTH 89°33'20" WEST 30.00 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE NORTH 00°08'29" WEST 2541.11 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SECTION 1; THENCE ALONG SAID NORTH LINE NORTH 89°40'23" EAST 30.00 FEET TO THE CENTER ONE-QUARTER CORNER OF SECTION 1; THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 NORTH 89°39'20" EAST 40.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TUCSON STREET; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 00°08'29" EAST 1307.12 FEET; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE SOUTH 89°56'30" WEST 40.00 FEET TO THE CENTER-SOUTH ONE-SIXTEENTH CORNER OF SECTION 1 AND THE POINT OF BEGINNING.

TRACT M

A PARCEL OF LAND LOCATED IN THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST ONE-QUARTER CORNER OF SECTION 1; THENCE WEST 2445.14 FEET; THENCE NORTH 827.14 FEET; THENCE 214.58 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 2944.62 FEET AND A LONG CHORD WHICH BEARS NORTH 69°36' WEST 214.53 FEET TO A POINT 40 FEET EASTERLY FROM THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1; THENCE NORTH 32.52 FEET; THENCE 305.94 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2914.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 70°16' EAST 305.80 FEET; THENCE SOUTH 73°04' EAST 2463.67 FEET; THENCE SOUTH 108.13 FEET TO THE POINT OF BEGINNING.

RECLAMATION NOTES:

- ALL FINAL RECLAIMED RESERVOIR SIDE SLOPES SHALL BE NO STEEPER THAN 3H:1V. 6" - 12" OF TOPSOIL WILL BE PLACED ON ALL SLOPES ABOVE THE ASSUMED HIGH-WATER LINE. RE-VEGETATION SHALL USE SEED MIXES LISTED IN TABLE BELOW, OR SIMILAR ALTERNATE MIX BASED ON COMMERCIAL AVAILABILITY AT THE TIME OF RECLAMATION. ALL SUBSTITUTIONS WILL DETERMINED IN CONSULTATION WITH QUALIFIED EXPERTS, AND APPROPRIATE TO THE REGION AND SOIL REGIME.
- HIGH WATER LINE IS APPROXIMATE BASED ON AN ASSUMED 1' FREEBOARD.
- AREAS TO BE RECLAIMED AS UPLAND WILL RECEIVE A MINIMUM OF 6" - 12" TOPSOIL TO BETTER ESTABLISH GRASSES AND PLANTINGS.
- PLANTINGS WILL BE INSTALLED WHEN MINING COMMENCES IN THE EAST CELL (PHASE 2). PLANTINGS WILL BE INSTALLED BY A RECLAMATION CONTRACTOR IN SEPTEMBER AND HAND WATERED UNTIL THE GROUND FREEZES. PLANTINGS WILL BE MONITORED IN THE SPRING TO MAKE SURE THEY ARE LEAFING OUT, REPLACED AS NECESSARY TO PROVIDE THE QUANTITIES AS ORIGINALLY INSTALLED AND WATERED AS NECESSARY THROUGH THE FIRST THREE GROWING SEASONS TO ESTABLISH.
- AT RECLAMATION, AGGREGATE INDUSTRIES-WCR, INC. WILL ATTAIN UD&FD APPROVAL OF PLANTING LOCATIONS WITHIN THE UD&FD EASEMENT ALONG THE SOUTH PLATTE RIVER PRIOR TO INSTALLATION.
- SEEDING WILL BE DONE DURING THE FIRST FAVORABLE SEEDING SEASON FOLLOWING TOPSOIL PLACEMENT. BASED ON RECOMMENDATION OF THE NRCS, IT IS ANTICIPATED THAT SEEDING WILL BE DONE BETWEEN OCT 15 AND MAY 1, UNLESS WEATHER CONDITIONS REQUIRE SEEDING OUTSIDE THESE MONTHS.
- CERTIFIED WEED-FREE STRAW CRIMPED INTO TOPSOIL WILL BE USED WHERE GRASSES ARE TO BE ESTABLISHED ABOVE THE HIGH-WATER LINE ON RESERVOIR SIDESLOPES, OR NEW SEEDS PLANTED INTO A COVER CROP.

SEED MIX AND SEED MIX NOTES:

UPLAND MEADOW GRASS SEED	SCIENTIFIC NAME	VARIETY	% OF MIX	APPLICATION RATE* (#PL/ACRE)
BIG BLUESTEM	ANDROPOGON GERARDII	KAW	15%	1.7
BLUE GRAMA	BOUTELOUA GRACILIS	HACHITA, LOVINGTON	10%	0.3
GREEN NEEDLAGRASS	NASSELLA VIRIDULA	LODOM	15%	1.5
SIDEOTS GRAMA	BOUTELOUA CURTIPENDULA	VAUGHN, BUTTE	10%	1
SWITCHGRASS	PANICUM VIRGATUM	BLACKWELL	20%	2
WESTERN WHEAT GRASS	PASCOPYRUM SMITHII	ARRIBA, BARTON	30%	4.8
TOTAL				11.3

*APPLICATION RATE IS FOR DRILL SEEDING. IF SEED IS TO BE BROADCAST, THE APPLICATION RATE WILL BE DOUBLED.

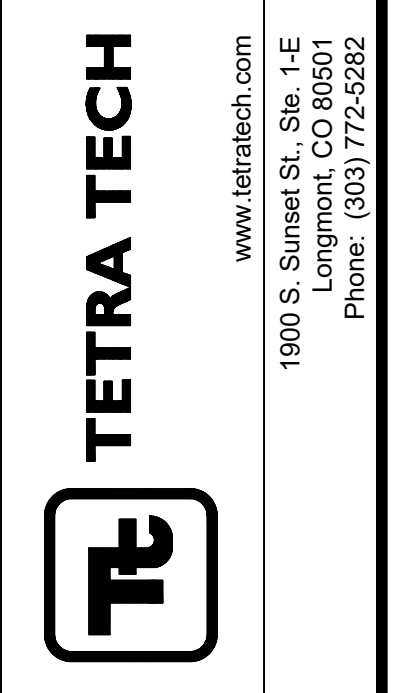
TEMPORARY STOCKPILE VEGETATION:
LUNA PUBESCENT WHEAT GRASS - 15 LB/AC
AMUR INTERMEDIATE WHEAT GRASS - 15 LB/AC

CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

SHEET INDEX:

F-1 COVER SHEET & RECLAMATION NOTES
F-2 RECLAMATION PLAN MAP - WEST AREA
F-3 RECLAMATION PLAN MAP - EAST AREA



MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/6/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/1/20	REMOVE SOUTH AREA FROM REC PLAN	MES

MARK	DATE	DESCRIPTION	BY
1	7/8/19	FIRST ADEQUACY REVIEW RESPONSE	TH
2	9/16/19	SECOND ADEQUACY REVIEW RESPONSE	TH
3	11/6/19	THIRD ADEQUACY REVIEW RESPONSE	TH
4	5/1/20	REMOVE SOUTH AREA FROM REC PLAN	MES

AGGREGATE INDUSTRIES - WCR, INC.
TUCSON SOUTH RESOURCE
EXHIBIT F
COVER SHEET
& RECLAMATION NOTES

Project No.: 200-23514-18004
Designed By: JAB
Drawn By: JAB
Checked By: JAB

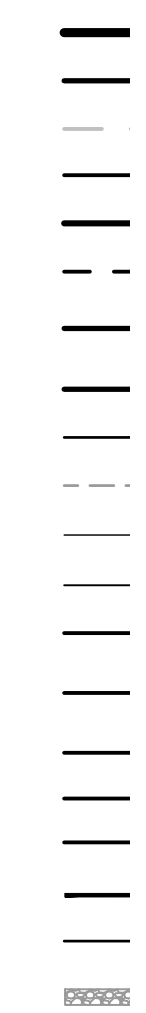
F-1
EXHIBIT
Bar Measures 1 inch
Copyright: Tetra Tech

MATCHLINE SEE THIS SHEET BELOW RIGHT

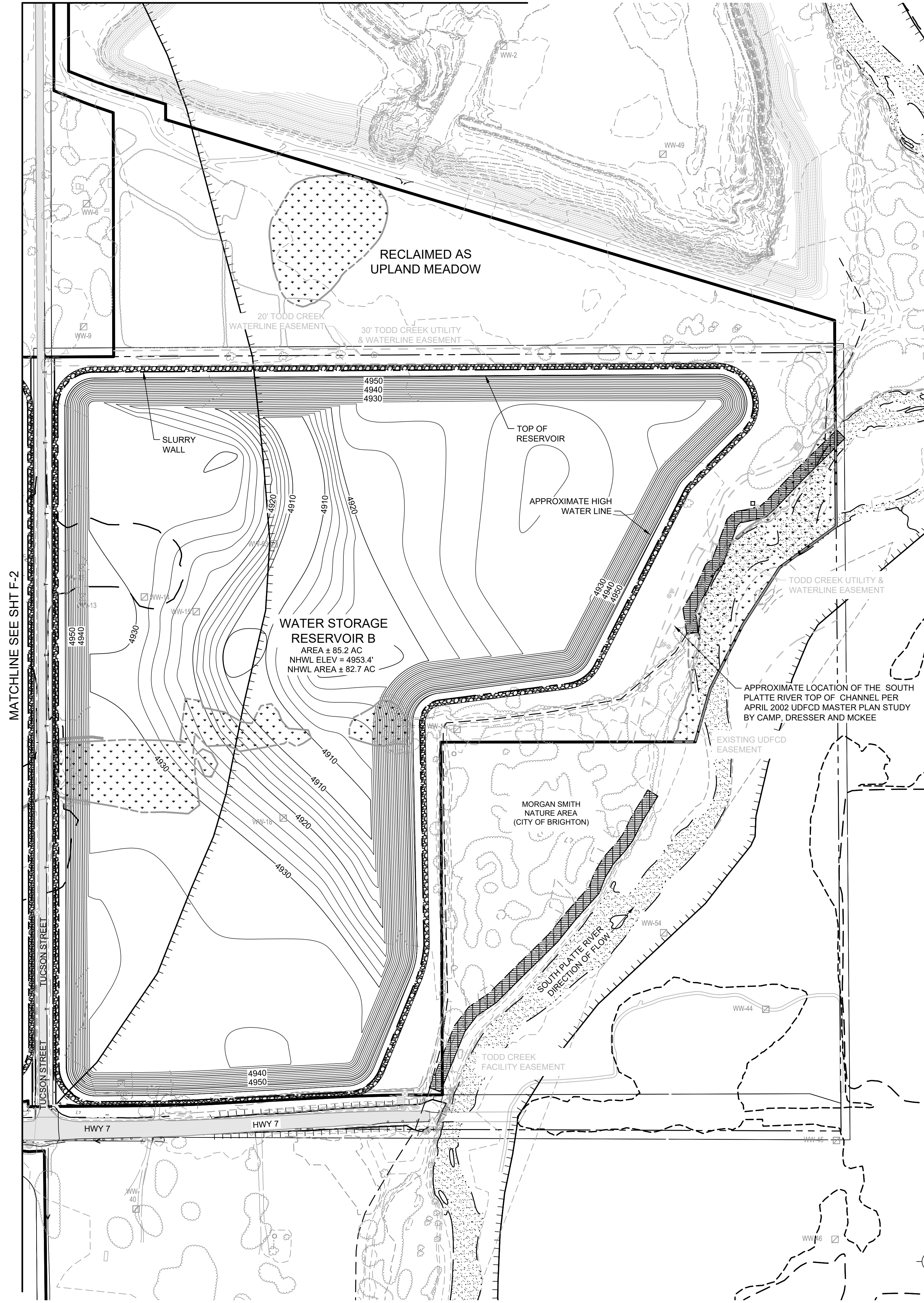
CERTIFICATION:

THIS MAP WAS ORIGINALLY PREPARED & CERTIFIED BY TETRATECH, 3/15/2019, PROJECT NUMBER 200-23514-18004. MODIFIED BY MARK SPANIEL WITH LAFARGEHOLCIM.

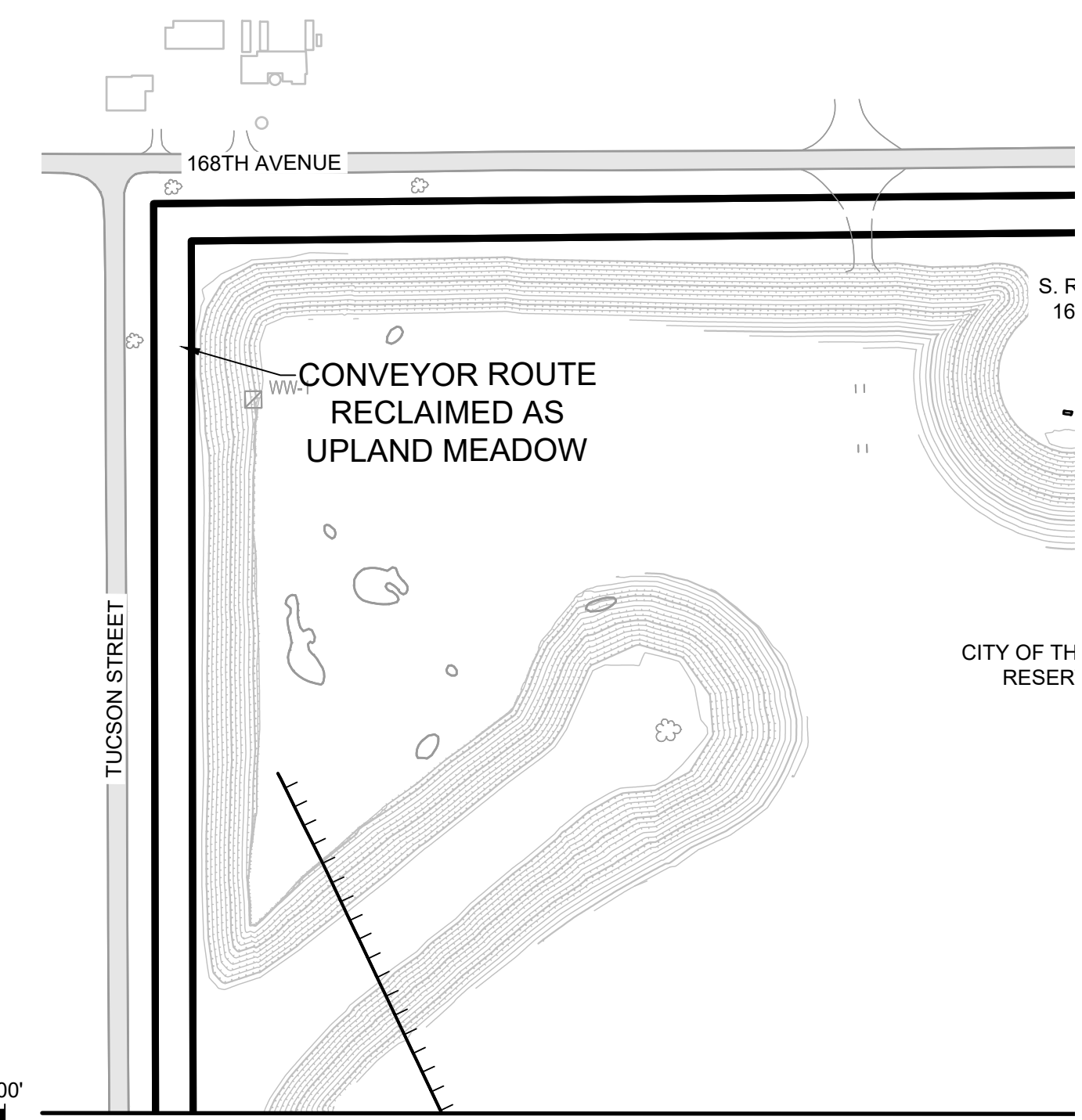
LEC



MATCHLINE SEE SHT F-2



APPROXIMATE LOCATION OF THE SOUTH PLATTE RIVER TOP OF CHANNEL PER APRIL 2002 UDFCD MASTER PLAN STUDY BY CAMP, DRESSER AND MCKEE



MATCHLINE SEE THIS SHEET ABOVE LEFT

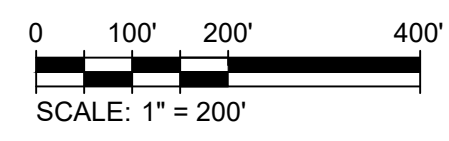
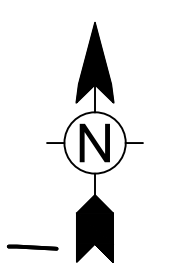


EXHIBIT D
MINING PLAN
Revised 6/8/2020

EXHIBIT D

Mining Plan

The proposed amended Mined Land Reclamation Board (MLRB) Tucson South Resource permit area is approximately 1.5 miles south of the Aggregate Industries Wattenberg Lakes Mine (M-2004-051), which supplies aggregate construction materials to much of southern Weld and western Adams counties. The amended Tucson South Resource Permit Boundary contains substantiated aggregate resources to continue the supply in this region of Colorado. Supplementing resources at the Wattenberg operation, new supplies from the amended Tucson South Resource will continue to provide construction materials to meet the Front Range Colorado demand.

Introduction and Overview

The amended Tucson South Resource permit area is currently owned by Aggregate Industries-WCR Inc. and the City of Aurora and consists of dryland agriculture, a small, partially reclaimed gravel resource and a former greenhouse growing operation and water utility infrastructure including an above ground tank and auxiliary building. The property is located both north and south of Colorado Highway 7, bisected by Tucson Street.

Mining of the Tucson South Resource is proposed to happen in **two** phases. The West Area (Phase 1) is located north of Colorado Highway 7 and west of Tucson Street, and the East Area (Phase 2) is located north of Colorado Highway 7 and east of Tucson Street.

In general, drainage on the site flows toward the South Platte River to the north and east of the property. The drainage pattern in the West Area either flows to local low spots on the property, is conveyed off-site to the north, or is conveyed via an irrigation return ditch to the East Area. The East cell generally drains north and east to the river via overland flow or through existing channels and ditches left by historic disturbance.

With this project the Permit Boundary and the Affected Lands are different areas, as explained below.

Permit Boundary Area

The proposed Permit Boundary contains the following areas as shown on Exhibit C-1 and Exhibit F-1:

- Tracts of land owned by Aggregate Industries-WCR, Inc. referred to on our mapping as Tracts A, B, D, E, F, H, and M.
- Tracts of land owned by the City of Aurora referred to on our mapping as Tracts C, G and K.
- Tucson Street right-of-way referred to on our maps as Tract L.
- Land owned by the City of Thornton referred to on our maps as Tract J. The applicant is working with the landowner to obtain a right-of-way easement for a conveyor on this tract.

Affected Land

The Affected Land includes all Tracts described in the Permit Boundary except Tract K, which is owned by the City of Aurora. This area is located west of and including the Brighton Ditch and will not be disturbed by the mining activities and reclamation operations. Therefore, it was excluded from the Affected Land. **Aggregate had previously planned to mine a Phase 3 South Cell. This area has been removed from the permit boundary.**

Existing Land Uses

The proposed Tucson South Resource mine currently consists of dryland agriculture, one house and a former greenhouse growing operation. The former greenhouse growing operation is currently being demolished by the City of Aurora in preparation of mining. Aggregate Industries is currently renting the existing house and they have given the renters notice to vacate the property by March 31, 2019. The Todd Creek water well and associated United Power overhead electric line on the west side of the West area will also be removed. Aggregate Industries purchased the Todd Creek water well parcel and entered into an agreement to relocate the well to an area adjacent to the river. The relocated well is shown on Exhibit C-3. The applicant has contacted United Power regarding removal of the existing electric service and will forward the documentation regarding removal of the service line upon receipt. There is one rural residential property located adjacent to property on Tucson Street, several rural residential properties south of Tract H and Highway 7 and east of Tract I, and there is a developing residential subdivision located west of Tract K. The South Platte River corridor receives recreational use and the City of Brighton operates a parks and wildlife recreational area north of Highway 7 and east of Tract H along the west side of the South Platte River.

Improvements owned by the applicant or property owners that are located within the Permit Boundary Area such as un-improved roads, fences, alluvial water wells and associated pumps, houses and outbuildings, irrigation ditches and laterals, may be removed or relocated during mining and reclamation. There are two established oil and gas wells and associated facilities located on the property. The operator of the well has notified Aggregate Industries that the wells will be capped and abandoned in 2019. No mining will take place within 75' of the existing oil and gas wells until the wells are plugged and abandoned per Colorado Oil and Gas Conservation Commission standards. Structures, easements, or rights-of-ways not owned by the applicant or property owner will not be disturbed without prior permission (see Exhibit C Pre-Mining Maps). None of the easements, rights-of-ways, or associated structures are expected to be negatively affected by mining or reclamation operations.

Nature of Deposit to be Mined

Test borings indicate a layer of topsoil and overburden ranging from 1 to 11 feet in depth with a typical overburden depth of 5 feet. The typical depth of topsoil to be removed is 6". In the western part of the site, the topsoil has been tilled until recently and likely contains a significant amount of organics. The overburden is underlain by an aggregate layer with a thickness ranging from 0 to 46 feet with a typical thickness of 25 feet. In some parts of the sites, the aggregate layer contains a 2- to 9-foot thick mud lens. The total depth to bedrock from the surface grade ranges from 5 feet in the west to approximately 50 feet in an apparent paleochannel in the eastern part of the site. The typical depth to bedrock is approximately 27 feet over most of the mine area. The aggregate layer overlies sedimentary bedrock of the Denver Basin.

A complete soils report is attached in Exhibit I herein for reference.

Mine Phasing

Aggregate Industries anticipates mining and reclaiming the proposed Tucson South Resource site in approximately 5 to **8** years. The rate of mining and overall life of the mine is dependent on several factors including product demand and operational needs. Test pits have verified that commercial deposits of sand and gravel exist up to 50 feet below the surface of the ground. In addition to the commercial sand and gravel materials, clay, silt, and other non-marketable materials excavated from the proposed permit area will be used on-site for reclamation.

The mining plan currently includes mining in **two** phases. Mining **may** occur simultaneously in more than one phase. The actual sequence may change depending on market conditions, operational needs, or site conditions:

- West Area (Phase 1), is located north of Highway 7 and west of Tucson Street and included Tracts A, B and C
- East Area (Phase 2) is north of Highway 7 and east of Tucson Street and includes Tracts D, E, F, G and H

Tract J will contain the conveyor to carry product off-site to the processing facility at the Wattenberg Lakes Site and will be used during all mining phases.

Mining will begin in the West Area (Phase 1). **Once mining is complete in the West Area, mining will commence in the East Area (Phase 2).** All necessary permits will be obtained, and any required special construction techniques will be used prior to disturbance in any jurisdictional Waters of the U.S. A summary of mining phases is presented in the table below.

Processing and sale of the material will occur on the Platte Valley site (M-1989-120). **Overburden from the West and East Areas will be used to reclaim the cells. If there is excess overburden material, the material will be conveyed to the Platte Valley site and Wattenberg Lakes site for reclamation.**

A slurry wall will be constructed around the East and West Areas prior to exposure of the water table. The final design of the slurry wall is pending and will be provided to the DRMS prior to exposing the water table.

Mine Phasing Summary

Mine Phase	Total Acreage To be mined (acres)	Duration (years)
West	72.0	4
East	83.8	4
Total	155.8	8

Mining Methods

There **may** be two methods of mining used within the permit boundary:

- The slurry wall liner for the West and East Areas will likely be installed prior to exposure of ground water in the site. Once the slurry wall is installed the West and East Areas will be dewatered. The deposit will be dry mined using dewatering trenches and pumps within the slurry lined area. Prior to excavation of each mining phase, trenches will be cut along the perimeter of the excavation to begin dewatering the sand and gravel material. The trenches will extend through the overburden and alluvium to bedrock. Pumps will be used to remove the groundwater that drains from the deposit within the lined excavation. If necessary, water from the trenches will be circulated through a settling pond prior to being discharged to adjacent drainage ditches and/or the South Platte River (see Exhibit C Mining Maps). As excavation begins, the mining cell and dewatering trenches on the floor will continue to collect any water entering the lined Areas, keeping the deposit material relatively dry. The collected water will be directed to settling ponds within the Areas or near the final discharge point to South Platte River. It is anticipated that dewatering will be completed within the slurry wall lined mining area within 12 months and dewatering throughout the life of the mine will be limited to precipitation, stormwater runoff that drains into the mining area, and minor amounts of groundwater.
- **If the slurry wall liners cannot be installed prior to mining in the West and East Areas, the cells will be mined using dewatering trenches as described above. However, in this scenario, dewatering will continue until the slurry wall liners can be installed.**

Earth Moving

Setbacks from the top of slope of each area to the proposed permit boundary or man-made structures not owned by the applicant or by agreement with the structure owner will generally be 30 feet or greater. Specific setbacks from Highway 7 and Tucson Street also account for future expansion of the roadways. The perimeter setbacks from the structures are shown on Exhibit C - Mining Maps.

These setbacks were determined in combination with Adams County regulations and the Slope Stability Analysis prepared by Tetra Tech provided herein in the Geotechnical Stability Exhibit. The setbacks reflect the Factors of Safety in the Proposed Slope Stability/Geotechnical Analysis Policy in the DRMS memorandum dated May 16, 2018.

Areas to be mined will be prepared by removal of topsoil and overburden. Each preparation area may be as much as 100 feet wide along the anticipated mining face. Usually, only enough area is stripped and prepared to provide the estimated needs for the next 10 to 14 months of mining. Surface topsoil material will be stripped separate from the underlying, deeper subsoil or overburden material. This topsoil layer contains most of the soils organic matter and will be stockpiled separately for use in reclamation. Once the topsoil has been removed, the rest of the overburden will be stripped and stockpiled separate from the topsoil.

When the alluvial material is exposed and sufficiently dewatered, the aggregate material will be recovered using equipment typical for sand and gravel mining operations. In the West and East Areas, the aggregates will be mined using conventional dry mining methods. Earth moving equipment may include, but is not limited to, dozers, loaders, scrapers, and excavators as mining progresses to a depth of 20 to 50 feet below the surface. The alluvial material is an unconsolidated deposit and, therefore, no blasting is required. The aggregate material from the Areas will be temporarily stockpiled within the various Areas, conveyed to the staging area, or immediately transported off-site for processing. During mining and reclamation activities, watering trucks for dust control will be used as needed.

The active mining face will extend no more than 1,500 feet in length. During mining and prior to reclamation in the West and

East Areas, the mine walls will be a nearly vertical to ½H:1V slope (see Exhibit C, Mining Maps). Mining will progress down to the depth of quality aggregate material. Backfilling and/or grading of side slopes may follow behind the mining activities before mining in the Area is complete. Concurrent reclamation will be practiced when the highwall reaches the mine limit. During the flood season April 1 through September 30 and when the highwall is within 400 feet or less of the river the highwall will be no steeper than 3H:1V.

As mining progresses, topsoil, overburden, and non-marketable materials will be removed and stockpiled for use in reclamation activities. **Overburden from the West Area and East Areas will be used in reclamation. Should there be excess overburden on these cells, the material will be conveyed to the Platte Valley site for reclamation or to be sold.** During mining in the West and East Areas, topsoil will be segregated and stockpiled in the locations shown on Exhibit C Mining Maps, i.e. outside of the Floodway. As mining progresses, overburden will be taken directly to mined out slopes for use in reclamation. Topsoil and overburden stockpiles will be configured to have side-slopes no steeper than 3H:1V. If the stockpiles are inactive for more than one growing season, such as the stockpiles used for screening, they will be seeded with the fast-growing grass seed mixture below.

Stockpile Grass Seed Mixture

Grass Species	Rate (#PLS/acre)
Luna Pubescent Wheatgrass	15.0
Amur Intermediate Wheatgrass	15.0
Rates are for broadcast seeding.	

Other than those used for screening, long-term stockpiles are not anticipated. Temporary stockpile materials will continually be used for reclamation and the stockpiles will likely be disturbed on a frequent basis and seeding the stockpiles may not be practical during the operation. If stockpile seeding is not used, surface roughening will be maintained to limit wind and water erosion.

Most of the proposed Tucson South Resource Permit Boundary Area is within the regulatory floodplain of South Platte River. Because of floodplain regulatory restrictions, stockpiling will occur within a mining Area whenever possible with the top of stockpile elevation lower than the pre-project grade. Stockpiles within the modeled floodplain above the existing ground surface will generally be created parallel to potential South Platte River flood flows. The stockpiles will be no longer than 300 feet, with minimum spacing of 100 feet between stockpiles for flood flows to pass (see Exhibit C, Mining Maps). The screening stockpiles along Highway 7 as indicated by modeling, are located in areas where placement is not expected to impact floodplain water surface elevations. Consequently, there is no restriction on length or orientation. The impacts of stockpiles on floodplain water surface elevations is presented in the *Floodplain Use Permit* application submitted to Adams County in support of the County Special Use Permit application.

Additional mining and reclamation procedures will be used within the regulatory floodplain to mitigate impacts from potential flood flows. Flood season is considered to be April 1 through September 30. The southern and eastern slopes of each area will either be maintained at 3H:1V during the flood season during mining or concurrently reclaimed at 3H:1V with reclamation backfill. This restriction only applies for areas within 400 feet of the South Platte River in accordance with DRMS policy. If flood waters reach the mining Areas prior to complete reclamation, the

3H:1V slopes will allow controlled flow into the Areas while reducing the potential for head cutting and capture of the South Platte River.

A Floodplain Use Application is being prepared and will be submitted to Adams County for this project. Adams County is the regulating authority on the flood permit; however, Adams County may request review and comment from Urban Drainage and Flood Control District (UD&FCD). Comments and revisions from the County or the UDFCD will be incorporated into the final Floodplain Use Permit.

The table below illustrates a point in time when the mining disturbance could be at its maximum. At the proposed Tucson South Resource site, it is assumed that the mining disturbance will be at its greatest when the East Area mining is nearly complete. That will be a time when the slurry wall is installed and, topsoil replacement and initial seeding will be completed for the West Area.

Reclamation Activities

	Mining Operation	Disturbed Area (acres)
	<p>Active Mining Area:</p> <ol style="list-style-type: none"> 1. Backfill remaining East Cell mining face and side slopes (2,300 feet in length averaging 27 feet deep requiring backfill and rough grading to 3H:1V slopes.) 2. Rough Grade remaining disturbed areas of the east cell 3. Replace topsoil on backfilled area of East cell above the HWL of the reservoir (61.5 acres) 4. Final Grade East Cell 	
	<p>Miscellaneous Disturbed Areas (Stockpiles, Haul Roads, Conveyor route)</p> <ol style="list-style-type: none"> 1. Replace topsoil on internal haul roads and main site entrance (3 acres x 0.5') 2. Replace topsoil on conveyor route (3.3 acres X.5') 3. Replace topsoil on stockpile area (5 acres x 0.5') 4. Scarify internal haul roads and conveyor route areas 5. Final grade all miscellaneous areas (8.3 acres x 0.5') 6. Reseed 20% of all areas in the area of disturbance above the HWL of the reservoirs. 	
	<p>Final Reclamation:</p> <ol style="list-style-type: none"> 1. Seeding – entire East Area above the highwater line of the reservoir plus internal haul route and the conveyor route. 2. Weed management and re-seeding (20% of the Affected Lands located above the highwater line of the reservoirs) 	
Total Disturbed Area		83.8

Diversions and Impoundments

Roads and irrigation ditches will effectively minimize stormwater surface run-on to the mining site, so run-on diversion structures are not anticipated. During the initial mining activities, stockpiling of topsoil and overburden on the surface is anticipated. Diversionary channels, as shown on Exhibit C, will be used divert surface runoff from leaving each of the Areas or entering the wetlands areas. Surface diversion channels will convey runoff to settling ponds, prior to discharging to the South Platte River. As mining progresses and the excavation increases in size, diversionary channels will convey less runoff because more runoff will enter the mine excavations. Runoff that collects in the excavations will be conveyed by the dewatering trenches to a common point, where it will be pumped to the river after sediment settling has occurred, if necessary.

Material Processing and Associated Facilities

Pit run material will be hauled or conveyed off-site to the Wattenberg Lakes site (M-2004-051) to be conveyed for processing at the Platte Valley site (M-1989-120).

Commodities to be Mined and Intended Use

Sand and gravel for use as construction materials will be the primary products produced from the proposed Tucson South Resource. Test pits have verified that commercial deposits of sand and gravel exist up to 50 feet below the surface of the ground. In addition to the commercial sand and gravel materials, topsoil and overburden materials will be used on-site for reclamation.

Use of Explosives

The material is unconsolidated deposits, no explosives or blasting are required.

Wetlands

Tetra Tech also prepared the *Tucson South Sand and Gravel Mine Project—Adams County, Colorado Wetland Delineation Report dated February 2019*. A copy of the report is included in Exhibit J.

A buffer zone has been added to the Exhibit C maps around all the delineated features within the mining excavation limits. The buffer width is proportional to the planned depth of mining surrounding the delineated features. Note 16 has been added to Exhibit C-1 to state that wetlands buffer shall not be disturbed until USACE authorization has been obtained

EXHIBIT E
RECLAMATION PLAN
Revised 6/8/2020

EXHIBIT E

Reclamation Plan

This plan for the proposed Tucson South Resource site includes the **two** different mining areas (West and East). Reclamation activities have been coordinated with the property owners and are intended to meet the proposed final land use.

Aggregate Industries (AI) has set forth measures that will be taken to meet performance standards for the following requirements:

- (1) Grading shall be completed to create a final topography appropriate to the final land use selected in the Reclamation Plan.
- (2) Overburden and waste materials will be placed in the mined area and to ensure adequate compaction for stability and to prevent leaching of toxic or acid-forming materials.
- (3) All grading will be done in a manner to control erosion and siltation of the affected lands, to protect areas outside the affected land from slides and other damage.
- (4) All backfilling and grading will be completed as soon as feasible after the mining process. AI has established reasonable timetables consistent with good mining and reclamation procedures.
- (5) There is no anticipated refuse, acid-forming or toxic producing materials associated with this site.
- (6) Any drill or auger holes that are part of the mining operation will be plugged with non-combustible material, which shall prevent harmful or polluting drainage. There are no adits or shafts associated with this site.
- (7) Maximum slopes and slope combinations will be compatible with the configuration of surrounding conditions and selected land use. In all cases where a lake or pond is produced as a portion of the Reclamation Plan, all slopes, shall be no steeper than a ratio of 3:1 (horizontal to vertical ratio). There is no swimming associated with the end use of this property.
- (8) Future agricultural use is not anticipated on this site. However, the upland meadow in the East cells will be graded to allow for access to maintain the area.
- (9) AI may backfill material generated within the MLRB permitted area into an excavated pit within the permit area. AI may import inert structural fill material onto the site for backfill. Prior to import of inert structural fill generated outside of the approved permit area, AI will provide DRMS with notice of any proposed backfill activity not identified in the approved Reclamation Plan. AI will maintain a Financial Warranty at all times, adequate to cover the cost to stabilize and cover any exposed backfilled material. The Notice to DRMS shall include, but is not limited to:
 - (a) a narrative that describes the approximate location of the proposed activity;
 - (b) the approximate volume of inert material to be backfilled;
 - (c) a signed affidavit certifying that the material is clean and inert, as defined in Rule 1.1(20);
 - (d) the approximate dates the proposed activity will commence and end, however, such dates shall not be an enforceable condition;
 - (e) an explanation of how the backfilled site will result in a post-mining configuration that is compatible with the approved post-mining land use; and
 - (f) a general engineering plan stating how the material will be placed and stabilized in a manner to avoid unacceptable settling and voids.

(10) All mined material to be disposed of within the affected area will be handled in such a manner to prevent any unauthorized release of pollutants to the surface drainage system.

(11) No unauthorized release of pollutants to groundwater shall occur from any materials mined, handled or disposed of within the permit area.

More specific information regarding how AI will comply with the performance standards is outlined below.

Final Proposed Land Use

The current land use for the Tucson South Resource property is a combination of partially reclaimed mining area, dryland agriculture, upland meadow and a City of Aurora water facility. The City of Aurora water facility (located outside the Affected Lands, west of the Brighton Ditch) will be removed from the Permit Boundary at a future date and continue to operate. The proposed final land use for the remainder of the property is lined municipal water storage for the West cell and the majority of the East cell, upland meadow on the northern portion of the East cell. Surrounding land uses include: Water storage to the north, rural residential and agriculture to the south, Town of Brighton wildlife conservation area and the South Platte River to the east and water storage and suburban residential to the west. The lined storage and upland meadow are compatible with existing and future adjacent land uses. This property lies within the City of Brighton Urban Growth area and is designated as natural resource conservation and flood plain on the 2016 Future Land Use Map.

General Overview of the Reclamation Plan

Types of Reclamation acres

Reclamation of the proposed permit area will contain two land forms; uplands and lined, open water reservoirs. Cottonwoods and shrubs will be planted along the South Platte River on the eastern side of the east cell. Timing and installation of the plantings will be coordinated with the Urban Drainage and Flood Control District. It is anticipated that these plantings will be installed prior to mining in the East cell and will be established as part of the concurrent reclamation of the site. The primary reclamation process will be backfilling the slopes of the mined-out areas to be reclaimed as reservoirs and backfill of the partially reclaimed area on the northern end of the East cell to create an upland meadow. Overburden, and non-marketable materials from the site will be used as backfill. **If excess overburden and non-marketable materials exists, the material will be conveyed to Wattenberg Lakes site (M2004-051) for reclamation.** As mined out cells are backfilled, rough grading will establish the slopes and elevations necessary to facilitate the appropriate land form for that specific area of the site. In upland areas backfill materials will be placed to an elevation near or below the pre-mining surface elevation. For areas where reservoirs are to be located, backfill will be used to create pond side slopes. Pond depth may extend all the way to bedrock and side slopes will be 3H:1V or flatter.

Except for pond slopes below normal average highwater surface elevation, all areas disturbed by mining activities will be prepared with topsoil to a minimum of 6 to 12 inches and revegetated during reclamation. Revegetation will generate a blend of upland grass species. Given suitable precipitation, seeding should produce good vegetation cover over much of the reclaimed site. Roads not necessary for future access and other disturbed areas will be reclaimed with topsoil and overburden replacement and vegetative cover to stabilize the areas and minimize erosion.

Reclamation Measures/Materials Handling

All available topsoil and overburden material will be used for backfilling and reclamation. Earth moving equipment may include, but is not limited to dozers, loaders, scrapers, and excavators. Additional farm equipment for grading and seeding may be used for revegetation activities.

Materials Handling – Backfilling

The site will be concurrently reclaimed to create the water storage reservoirs. Compaction for the reservoir side slopes at this site will be 95 percent (or better) standard proctor. When an area is completely mined out from grade to bedrock, each section approximately 800-foot-wide (or approximately 30 acres), will begin side slope construction while the next contiguous area or consecutive phase is beginning mining. Due to the floodway, there is limited space for stockpile placement at this site; by concurrently reclaiming, as an area is being prepared for mining, the overburden and topsoil can be stripped and immediately placed, or stockpiled in the previously mined area, limiting the material handling. It is estimated that within 6 months of an area being completely mined, it will be reclaimed.

Backfilling of mining cells and other reclamation activities will be concurrent with mining. Topsoil, overburden, and non-marketable material excavated during mining will be used almost immediately. Small temporary stockpiles may be created within or along the edge of the mining cells. When enough material is available in the stockpile, the material will be graded into the previously mined areas. Locations of topsoil and overburden stockpiles are shown on Exhibit C Mining Maps.

Material may be imported for reclamation if on-site material is insufficient to create the reclaimed pond slopes. Prior to receiving any backfill material from outside the proposed permit area, the operator will provide notice with information that includes the backfill location and volume of off-site material to be used, an affidavit certifying that the material is clean and inert, an approximate time frame for backfilling with off-site material, and an update regarding material placement procedures and the final reclamation configuration. The on-site or off-site backfill material used will not contain known toxic or hazardous materials.

All backfilling and grading will be done to stabilize the material and control erosion. Final grading and seeding will be done as soon as possible after backfilling, grading, and top soiling have been completed. The reclamation will not leave high walls on the property. In addition, there will be no auger holes, excavations, or shafts left on the property.

Materials Handling - Grading

Once backfill is placed to the approximate final grade for upland meadow or pond side slope creation, the area will be rough graded to establish final elevations, slopes, and transitions. Final grading will include addition of topsoil and surface preparation for revegetation. Special attention shall be given to transitions from reclaimed areas to undisturbed land. The final topography will not create new surface drainage directed onto adjacent properties.

Reservoir side slopes will include the steepest reclaimed grades on the site, potentially as steep as 3H:1V. The side slopes will be graded smooth to accommodate future maintenance of the lined reservoirs. The reclamation will not leave high walls on the property.

Materials Handling – Slurry Wall

The proposed slurry wall will provide a vertical low permeable cutoff between alluvial groundwater outside of mining cells and water stored below-grade inside of mining cells. Slurry walls (also known as slurry cutoff walls or slurry trenches) are non-structural liners constructed to provide a primary low permeability liner and isolate a mining cell from the existing alluvial aquifer. Soil-bentonite slurry walls are a very common type of liner constructed in Colorado. Construction of a soil-bentonite slurry wall liner is planned at the Tucson South Resource. Once the liners are

constructed and meet an SEO required 90-day minimum leak test, lined water storage reservoirs located north of State Highway 7 will be available for use. Draft Technical Specifications dated July 2004 for the construction of soil-bentonite slurry wall liners at Tucson South in Adams County Colorado were prepared by Tetra Tech RMC and submitted to the Division for review. **These specifications are a “placeholder”** and are on record with the Division as part of the existing permit for this property. Aggregate Industries has contracted with Deere and Ault Consultants, Inc. to provide a final design of a soil-bentonite slurry wall liner for Tucson South.

The slurry wall will be constructed with a long reach excavator, clamshell, or other suitable trenching equipment. A trench approximately 3 to 5 feet wide and 100 to 150 feet in length will be excavated through the existing alluvium and several feet into the underlying shale bedrock. The total slurry wall depth varies from top to bottom based on the existing geology but will average 30 feet deep for this project. The trench will be flooded with fresh bentonite slurry to stabilize the excavation during construction of the slurry wall. A mixture of alluvium excavated from the trench, dry bentonite, and clayey supplemental fines will be mixed at the surface and placed into the trench in a semi-fluid state typically with a bulldozer and/or second excavator. The slurry in the trench is displaced by the soil-bentonite backfill as the excavation of the trench is advanced. Once the excavation of the trench followed by the backfill operation is complete, the soil-bentonite backfill consolidates and behaves as a soft clayey soil. The top of the slurry wall is typically capped with a few feet of clayey soils to speed up the primary consolidation, identify the approximate location of the slurry wall, and provide clayey soils to fill depressions due to the consolidation of the slurry wall.

Other considerations required for successful construction of a soil-bentonite slurry wall include a stable, relatively flat gently sloping (i.e. less than 2 percent parallel to the wall) construction platform along the proposed slurry wall alignment. Construction of the construction platform along the slurry wall alignment is primarily on stable, native soils found at the site and should not present a challenge for construction equipment. There are narrow areas proposed for the construction platform at this site. However, the narrow areas are relatively short and soil-bentonite slurry wall construction activities should not be greatly affected by these sections. Once soil-bentonite slurry wall construction is complete, the construction platform will be final graded for stability and an operations and maintenance access route will be left in place. The route will be reclaimed and stabilized as a low traffic dirt road.

Gravel Pit Lining Criteria

Gravel pit liners are designed with the goal of meeting the leakage requirements outlined in the State of Colorado's document entitled *“State Engineer Guidelines for Lining Criteria of Gravel Pits,”* August 1999. As described in the guidelines, the intent of the soil-bentonite slurry wall design is to reduce the groundwater inflow (leakage rate) into the lined below-grade mining cell to at or below the Design Standard. The Design Standard is defined in the guidelines as the leakage rate that is not greater than 0.03 ft/day (1×10^{-5} cm/sec) multiplied by the curtain area of the soil-bentonite slurry wall (i.e. the length of the perimeter wall in feet multiplied by the average vertical depth of the wall as measured from the ground surface to the mine cell floor along the toe of the cell side slope), plus 0.0015 ft/day (5×10^{-7} cm/sec) multiplied by the area of the floor encompassed by the soil-bentonite liner. The guidelines allow for a liner to meet a performance standard which is three times the Design Standard and operate as a lined water storage cell. Monitoring and release requirements are increased from monthly reporting to weekly reporting for liners that meet the Performance Standard. At the completion of construction, the liner is subjected to a minimum 90-day leak test as described in the guidelines.

Topsoil and Revegetation

Revegetation will only include grass seeding of disturbed areas. No tree or shrub planting is planned around the perimeter of the reservoirs. Where required, topsoil will be replaced to a depth of 6 to 12 inches. Topsoil will be placed after backfilling and rough grading is completed. As an area is reclaimed, runoff or excess water from adjacent areas will not be allowed to flow over slopes being graded and seeded. If needed, berms or channels will be constructed to divert excess water and dispose of it in a safe and non-erosive manner.

Seeding of disturbed areas will be done as areas are finished with preparation including grading and topsoil spreading. Seeding will be most successful if done between mid-November and the end of April. Seeding can be performed in May if necessary, but after May it is not advisable to plant. Seeding before November is not advised as the potential for a warm growth environment and early germination would likely result in a major failure of the revegetation and require reseeding.

Fertilizer may be applied to re-soiled areas in a manner that will encourage emergence and survival of the grasses without encouraging competition from weeds. Starter fertilizer can be applied before, or at the time of, seeding. If necessary, full fertilization will be applied after emergence. Fertilizer mixtures will be based upon soil tests made on samples taken from re-soiled areas prior to seeding.

If a significant invasion of noxious weeds occurs after seeding, the weeds will be mowed before they can go to seed. The areas will be mowed periodically for additional control as needed. Mechanical control will be used as a first priority. Chemical methods will only be used if no other alternative produces acceptable results.

Periodic inspection for noxious weeds, at least once a year early in the season, will be done. The weed inspection will search for not only the expected species but also any new List A or List B species introductions. It is likely that non-noxious and List C species will also be found. Non-noxious weeds, which are often native invaders, do not need to be controlled, but if the population of a List C species is controllable then it will be included in the control program. List C noxious species are problematic but are usually not as serious as List B species.

Specific information regarding weeds is included in the Biological Resource Inventory included with Exhibit H. Aggregate Industries utilizes an integrated weed management protocol to manage weeds on their active mining sites this protocol includes:

1. Management Objective
Manage noxious weeds and plant pests within the permit area.
2. Weed Species to be Controlled
Aggregate Industries - WCR, Inc. (AI) will control those plant species identified by current State statute or regulation as noxious. Plant pests are defined as those biological species that significantly predate the desirable vegetation of the project site.
3. Weed Management Actions
 - *Monitoring*
The presence of noxious weeds and plant pests will be monitored annually, at which time weed control efforts will be reviewed and specific management measures adjusted as necessary. Management measures will be undertaken where a single or combination of noxious weed species or plant pests comprises or shows a deleterious effect to the live vegetation cover in the mitigation area as determined by observations of a revegetation or weed control specialist.
 - *Control Measures*
AI will contract with a licensed herbicide applicator/weed management specialist to implement the weed management plan. Noxious weeds or plant pests may be controlled by any combination of cultural, mechanical, biological, or chemical measures. Weed control measures will be developed specifically for the noxious weed species encountered and in consultation with Adams County, local weed control district and/or the Colorado State Department of Agriculture as necessary. Topsoil slated for removal from the site will be treated with a long-term residual pre-emergent or post-emergent herbicide to reduce noxious weeds prior to removal. AI will conduct an aggressive mowing program the first year following revegetation, withholding herbicide use until the following year to avoid

damaging new seedlings. Herbicides will be applied by a licensed commercial applicator. Stockpiles that remain undisturbed for more than one season will be seeded with a temporary cover crop. Where noxious weed control measures cause disturbance to the remaining vegetation, seeding or planting of desirable replacement vegetation will occur during the first normal planting or seeding season after weed control measures have been implemented and deemed successful.

- *Contact Person(s)*
During mining, the Operations Manager at the site will be the contact person for weed control. When mining is completed, the weed control contact person will be Aggregate Industries' operations staff at the corporate office in Golden, Colorado. Aggregate Industries will be responsible for weed control until the site is released by DRMS. At that time, responsibility for weed control will transfer to the land owner.

The grass seed mix, composed of a long lasting and regenerating native upland seed mixture, will be used in upland areas where no future irrigated agriculture or other development is anticipated. The native open space seed mix recommendation is presented below.

Upland Meadow Grass Seed	Scientific Name	Variety	% of Mix	Application Rate* (#PLS/acre)
Big Bluestem	Andropogon gerardii	Kaw	15%	1.7
Blue Grama	Bouteloua gracilis	Hachita, Lovington	10%	0.3
Green Needlegrass	Nassella viridula	Lodom	15%	1.5
Sideoats Grama	Bouteloua curtipendula	Vaughn, Butte	10%	1.0
Switchgrass	Panicum virgatum	Blackwell	20%	2.0
Western Wheatgrass	Pascopyrum smithii	Arriba, Barton	30%	4.8
Total				11.3
*Application rate is for drill seeding. If seed is to be broadcast, the application rate will be doubled.				
Temporary Stockpile Vegetation: Luna Pubescent Wheatgrass – 15 lb./ac Amur Intermediate Wheatgrass – 15 lb./ac				

Upland grass seed will be planted with a drill equipped with depth bands and press wheels. The seeded area will then be covered with certified weed-less straw mulch at a rate of 2,000 pounds per acre. The straw will be crimped into the soil to control erosion until the grass becomes established. Drill seeding is the preferred method for revegetation. If broadcast seeding is necessary on moist soils, steep slopes, or in excessively rocky areas, success can be encouraged by broadcasting onto growth medium that is very loose. If the seed is broadcast in those circumstances, then the seeded area will be dragged to help bury the seed.

Wildlife

Current wildlife conditions and potential impacts are described in Exhibit H, Wildlife Information.

Water – General Requirement

To minimize the effect on the prevailing hydrologic balance, the operator shall:

- Comply with all applicable Colorado water laws.
- Comply with all applicable Federal and State water quality laws and regulations.
- Comply with all Federal and State requirements for dredge and fill.
- Perform all work to minimize erosion and sediment transport.

Current water resource conditions and potential surface water and groundwater impacts are described in Exhibit G, Water Information.

Groundwater – Specific Requirements

Current water use on the proposed Tucson South Resource site consists of a permitted well field along the eastern portion of the site, adjacent to the South Platte River (owned and operated by the Todd Creek Metropolitan District) and limited depletions from existing wetlands on the site. The well permit for the gravel mining operation is also in place. Copies of the well permit and well completion report are included in Exhibit G, Water Information.

This site is included in Aggregate Industries Substitute Water Supply Plan (SWSP) for the South Platte River. Specific information regarding water resources is included in Exhibit G. This plan will cover water removed from the site with the material during mining. Once the site is reclaimed there will be no ongoing depletions associated with the property. The West and East cells will be reclaimed to lined water storage reservoirs.

Tucson South Resource Groundwater Modeling Study on the hydrogeologic effects of Mining, prepared by Tetra Tech RMC dated August 2004 is attached herein for reference. A groundwater monitoring and mitigation plan was submitted to the Division as part of an adequacy response to Mr. Larry Oehler dated November 22, 2004 (pages 17-19). The plan was reviewed and approved by the Division as part of the original permit for the site. A copy of the approved plan is attached herein for reference in Exhibit G. Aggregate Industries obtained a well permit for the site in 2017 and filed the well completion report with the Colorado Division of Water Resources in 2018. A copy of the well permit and well completion report are also included in Exhibit G.

The mining and reclamation operation will not affect groundwater quality on or off the site. The operation will comply with State groundwater quality standards. Due to the absence of significant sources of potential pollutants, groundwater quality monitoring is not required in this operation.

Buildings and Structures

No buildings or structures associated with mining activities will be left in the proposed permit area following reclamation.

Signs and Markers

Permit notification signs will be placed and maintained at the entrance to the operation. The permit boundary will be identified where it is not already identified by fences or suitable markers. All signs and markers will be removed upon permit release.

EXHIBIT G
WATER INFORMATION
Revised 9/16/2019

EXHIBIT G

Water Information

The information in this Section is intended to satisfy the requirements outlined in Section 6.4.7 of the Colorado Mined Land Reclamation Board's Construction Material Rules and Regulations.

(1) If the operation is not expected to directly affect surface or groundwater systems, a statement of that expectation shall be submitted.

This site is directly adjacent to the Brantner Ditch, Brighton Ditch, Brighton Return Ditch, and the South Platte River. The Brantner Ditch, the Brighton Ditch, and South Platte River will not be disturbed because of the mining and reclamation activities on the site. The Brighton Return Ditch will be utilized for the discharge of dewatering water from the South Area. This has the collateral benefit of mitigating groundwater drawdowns and associated impacts to wells south and west of the South Area.

(2) If the operation is expected to directly affect surface or groundwater systems, the Operator/Applicant shall:

(a) Locate on the map (in Exhibit C) tributary water courses, wells, springs, stock water ponds, reservoirs, and ditches on the affected land and on adjacent lands where such structures may be affected by the proposed mining operations.

Please see Exhibit C Pre-Mining Maps for the location of all tributary water courses, wells, springs, stock water ponds, reservoirs, and ditches on the affected land and on adjacent lands where such structures may be affected by the proposed mining operations

(b) Identify all known aquifers

The Tucson site is underlain by two relevant aquifers:

- the Upper Arapahoe Aquifer
 - described in: George VanSlyke, et. al. 1988, Geologic Structure, Sandstone/Siltstone Isoloth, and Location of Non-Tributary Ground Water for the Arapahoe Aquifer, Denver Basin, Colorado. Denver Basin Atlas No.3, DBA-3. Colorado Division of Water Resources, Office of the State Engineer.
- the South Platte River Alluvial Aquifer
 - described in: Tucson South Resource Ground Water Modeling Study on the Hydrologic Effects of Mining at Page 3, (Tetra Tech RMC 2004).

(c) Submit a brief statement or plan showing how water from de-watering operations or from runoff from disturbed areas, piled material and operating surfaces will be managed to protect against pollution of either surface or groundwater (and, where applicable, control pollution in a manner that is consistent with water quality discharge permits), both during and after the operation.

The slurry wall for the West and East Areas of the site will be installed at the beginning of operations. The South Area will be dewatered; hence all water will flow into the mine area. All dewatering water will be monitored under the discharge permit (see below). Consequently, contaminants of concern inside the mine cells will not impact the surrounding alluvial aquifer. The interbedded siltstone and claystone of the Arapahoe Aquifer and associated very low vertical hydraulic conductivity isolates the Arapahoe aquifer from mine operations and potential releases. Monitoring wells have been installed around the West, East and South Areas; therefore, in the unlikely event of a release, possible impacts to groundwater can be monitored.

Water from the initial dewatering operation and runoff from disturbed areas, piled material, and operating surfaces will be diverted to the settling ponds for detention and cleansing. The South Mine Area (Phase 1) will be dewatered and will not have a slurry wall; dewatering trenches will be located around the perimeter of all mining areas. Settling occurs in the trenches, and if necessary, settling ponds will be constructed at a point prior to discharge. Discharges will be directed to the South Platte River, at various points as designated within a State of Colorado, Division of Water Resources, Colorado Discharge Permit System (CDPS) permit. Monitoring of dewatering will be conducted in accordance with the CDPS discharge permit, which sets forth formal monitoring parameters including weekly visual monitoring for oil and grease. In accordance with the CDPS permit requirements, a Stormwater Management Plan (SWMP) will also be developed for this site. The SWMP identifies potential sources of pollution that may reasonably be expected to affect the quality of stormwater runoff from areas around the site and describes the implementation practices to be used to reduce the pollutants in stormwater discharges associated with the facility.

Dewatering water pumped from the South Mine Area will be discharged to the downstream end of the Brighton Return Ditch (See Exhibit C-4) near the south east end of the mine limit. The water will flow directly into the South Platte River via the Brighton Return Ditch or a parallel discharge pipeline located within the ditch easement.

Specific impacts to wells.

A search of the State of Colorado Office of the State Engineer Database of wells on June 25 indicated four wells completed in the alluvial aquifer within 600 feet of the South Area. The potential impact to those wells and mitigation measure are described below.

Bloom Wells

The Bloom's have **two wells completed in the alluvium (Permit Numbers 262132 and 2652132-A)**. They are classified for domestic use at 15 gallons per minute (gpm) and are located about 200 feet south of the Brighton Return Ditch. The discharge of the dewatering water to the Brighton Return Ditch will mitigate dewatering impacts to these well.

Gary A. and Delores R. Baker

The Baker well (Permit #101310) is located near the north west corner of the South Area about 100 feet from the mine limit. It is classified as stock watering only at 15 gpm. If this well is adversely impacted AI can provide the Bakers with livestock water.

San Martin Caballero, LLC/Donald D. Stough

The San Martin Caballero LLC well (Permit # 12379 R-R) is located near the south east corner of the South Area about 100 feet from the mine limit. It is classified as irrigation for 18 acres at 350 gpm. If this well is impacted AI can drill a replacement well further from the South Area.

(3) The Operator/Applicant shall provide an estimate of the project water requirements including flow rates and annual volumes for the development, mining and reclamation phases of the project.

Water use at the site is governed by the current well permit (Permit No. 81342-F) and the associated Substitute Water Supply Plan (SWSP) for the site. Water use will be at its highest during the mining phase of the project. Mining at the site will intercept groundwater tributary to the South Platte River. Consumptive uses of groundwater at the site include evaporation from groundwater exposed to the atmosphere, water retained in material hauled off sites, and water used for dust control.

Evaporative losses at the site are attributable to exposed groundwater in the dewatering trenches in the West and East cells (Phases 2 and 3), in the settling ponds, the dewatering trenches will be constructed following completion of the slurry walls surrounding the West and East cells. The maximum exposed surface area during the life of the mine is equal to the combined total mined area of the South Cell (Phase 1), the dewatering trench surrounding the West cell (Phase 2), and the settling pond associated with the West cell. The maximum exposed surface area during the life of the mine is estimated at 18.5 acres. Additional exposed groundwater from the old Tucson Pit (DRMS Permit No. M-1991-140) has been incorporated into the permit boundary of the Tucson South Pit. Therefore, the maximum exposed groundwater allowed pursuant to the approved well permit is 25 acres.

Evaporative losses were calculated as the difference between gross evaporation and effective precipitation. The NOAA Technical Report NWS 33, Evaporation Atlas for the Contiguous 48 United States (U.S. Department of Commerce) was used to determine the site's average annual gross evaporation of 43 inches. Precipitation was obtained from the Colorado Climate Center for the Brighton weather station. The gross annual precipitation for this site was determined to be 14.55 inches. Effective precipitation was calculated as 70 percent of gross precipitation; thus, the average annual effective precipitation was determined to be 10.19 inches. The maximum total annual evaporative consumptive use at the site is estimated at 68.25 acre-feet.

The maximum annual production at the site is estimated at 1.25 million tons. The anticipated maximum volume of water lost in the material hauled off-site is 60 acre-feet per year. The maximum annual operational water consumptive use due to the mining operation is estimated at 65 acre-feet per year. Maximum dust control requirements at the site are estimated at 5.0 acre-feet per year. The mine will be at the highest production during the months of May through August, and in combination with the weather, this period will require the greatest amount of dust control: The mine will be in production year-round and therefore dust control may be required during all months.

The maximum annual consumptive use from mining at the site authorized by the well permit is 133.25 acre-feet per year as shown in the following table.

Evaporation	68.25 acre-feet
Moisture Retained in Product	60.00 acre-feet
Dust Control	5.00 acre-feet
Total	133.25 acre-feet

It is not anticipated that additional water will be required for reclamation of the site. Once reclamation is completed, the City of Aurora will use decreed water rights to fill the ponds.

(4) The Operator/Applicant shall indicate the projected amount from each of the sources of water to supply the project water requirements for the mining operation and reclamation.

Aggregate Industries (AI) currently maintains a substitute water supply plan approved through the Office of the State Engineer for its mining operations along the South Platte River and its tributaries. Until the liners surrounding the West and East cells of the project have been approved by the State Engineer, and the South cell has been fully

reclaimed, replacement water will be provided pursuant to AI's Combined Substitute Supply Plan (CoSSP). The plan includes this site.

Sources of water currently in the CoSSP include historic consumptive use credits from several area irrigation ditches, water from the City of Westminster, and other water currently available to AI under existing lease agreements. Under the CoSSP, replacements are made to the South Platte River at various locations including the Metro Wastewater Treatment Plant outfall structure located upstream of the property. Transit loss associated with the replacement water sources is assumed to be 0.5 percent per mile. The following is a list of some of the sources of water currently approved by the State Engineer for use in AI's CoSSP.

1. 1998 Effluent Lease (1998 Lease) with the City of Westminster. The 1998 Lease has been used as a replacement source for individual SSP's that have been approved in the past. This is a perpetual lease that provides 0.28 cfs of fully consumable water every day of each year and an additional 0.17 cfs of fully consumable water every day from October 15th to June 30th during each year at the outfall of the Metro Wastewater Treatment Plant. The lease provides 294.79 acre-feet annually. A small amount of this water is dedicated to the decreed augmentation plan in Case No. 07CW198; the remainder is available for use in the CoSSP.
2. Historic Use of 62 shares of the Fulton Ditch. This has an estimated average annual consumptive use of 116.05 acre-feet. The technique of quantifying historic use of 29 shares of Fulton Ditch water was approved for use on November 12, 1999, for the SSP and submitted to the State Engineer's Office on March 24, 1999, for the Fulton Lakes Pit. The decreed historic consumptive use is 1.75 acre-feet/ share. The consumptive use credit from the Fulton Ditch shares suffices to adequately replace out-of-priority depletions and return flow obligations in the months of June through August.
3. Annual Lease with the City of Westminster. Pursuant to a March 4, 2010, Consumable Water Lease Agreement between AI and the City of Westminster, AI may lease up to 519 acre-feet of consumable water annually from Westminster. Deliveries of this water may be made from November 10th through March 20th. The agreement is valid through December 31, 2019.
4. Centennial Effluent Lease. AI has an agreement with Centennial Water and Sanitation District ("Centennial") that conveyed water rights in exchange for a lease of augmentation water. In a December 1996 agreement, AI conveyed its ownership of shares in the Nevada Ditch Company to Centennial in exchange for 30 acre-feet of consumable effluent. No explicit date of termination is set in the agreement. The rate of delivery for the 30 acre-feet cannot exceed 5 cfs. This rate allows AI to claim the total amount in a single month. Centennial agreed to deliver the water, at its discretion, at one of the following points: the mouth of Little Dry Creek; Plum Creek at the point where water from McLellan Reservoir can be discharged by pipeline into the South Platte River; Centennial's Marcy Gulch Wastewater Treatment Plant; or by not requiring augmentation water from AI sources located above the Titan Road Gage located on Plum Creek. The mouth of Little Dry Creek was used for calculating transit loss for the Centennial water. The mouth is in Section 33, T4S, R68W, approximately 2,350 feet from the South section line and 1,650 feet from the East section line.
5. Historic Use of 1.038 Shares in the Brighton Ditch. AI currently leases these shares from the City of Westminster. Collectively, the shares provide approximately 170.88 acre-feet per year of consumptive use credit based on dry-year yields.
6. City of Thornton Lease. In exchange for three shares in the Colorado Agricultural Ditch Company, the City of Thornton has provided AI a perpetual lease of fully consumable water from the Metro Wastewater Treatment Plant to be delivered at a rate of 0.035 cfs daily from November 1st through March 31st. This totals 10.53 acre-feet for the calendar year.

(5) The Operator/Applicant shall affirmatively state that the Operator/Applicant has acquired (or has applied for) a National Pollutant Discharge Elimination System (NPDES) permit from the Water Quality Control Division at the Colorado Department of Health, if necessary.

AI will apply for an NPDES permit prior to mining or dewatering the site.

Potential Mining Impacts

Tucson South Resource Groundwater Modeling Study on the Hydrogeologic Effects of Mining, prepared by Tetra Tech RMC dated August 2004 was submitted as a referral response to DRMS August 3, 2004. The study is on record with the original application and attached herein for reference. A groundwater monitoring and mitigation plan was submitted to the Division as part of an adequacy response to Mr. Larry Oehler dated November 22, 2004 (in pages 17-19). The plan was reviewed and approved by the Division as part of the original permit for the site. A copy of the approved Groundwater Monitoring and Mitigation Plan is described below.

The hydrogeologic conditions have changed since the 2004 report. However, many of the changed conditions were considered in the 2004 model. The Challenger Pit north of the West Area has been reclaimed as a lined storage reservoir. The triangle-shaped parcel north of the East Area has been backfilled with fines. The Greenhouses in the northeast corner of the West Area and the small property located entirely within the East Area are now owned by the City of Aurora and will be mined and reclaimed as part of the water storage reservoir.,

The 2004 report presented eight hydrogeologic scenarios that address the various conditions and associated groundwater impacts of the for the life of Tucson South Mine. Scenario 6 described on pages 9 and 10, illustrated on Figures 9 and 10, represent the current conditions with two exceptions:

1. The wells at the Greenhouse property, now owned by Aurora, will be removed during mining, and
2. The South Area rather than being wet mine will be dewatered.

The changes due to the Aurora property are moot and do not have a material impact on the model simulations. However, the dewatering of the South Mine Area will likely impact wells west of the South Area. AI will implement its Ground Water Mitigation Plan to address potential impacts to these wells.

The model indicates that after installation of the slurry wall, groundwater will mound up to approximately six feet along the western and southern edges of the West Area. Given the rise in groundwater level west of the slurry wall, the mining operations will not increase seepage from the Brighton or Brantner ditches. The model also indicates that there will be little to no mounding south of the South Area after reclamation. This is due to the presence of the Brighton Return Ditch that acts like a drain and limits the rise in groundwater level. Similarly, the model indicates that there will be minimal rise in groundwater level south of the East Area. This is due to the proximity of the South Platte River.

Todd Creek Farms Metropolitan District #1 (Todd Creek) operates several water supply wells between the South Platte River and the slurry wall of the East Mine Area. Todd Creek is aware of the future slurry wall and has an agreement with AI acknowledging the construction of the slurry wall and potential impacts to well yields.

Groundwater flows from south-southwest to north-northeast, roughly parallel to the South Platte River. Consequently, there will be very little if any "shadow effect" (decline in groundwater level) in the Morgan Smith Natural Area. The proximity of the River also minimizes the impacts of groundwater levels in the Morgan Smith Natural Area.

The modeling (Scenario 6, Figures 9 and 10) indicates there will be a shadow effect north of the mine in the narrow strip of unmined alluvial aquifer beneath Tucson Street. The drawdown estimated by the model assumes the wells were pumping at the Aurora property Greenhouse and one domestic well north of the mine. Given that the greenhouse wells will not be pumping, the drawdown will likely be less than the of six to eight feet estimated by the

model. There is one remaining domestic alluvial water well in this strip of land. Potential impacts to the well will be addressed by the Ground Water Mitigation Plan.

Groundwater Mitigation Plan

Groundwater monitoring and evaluation of potential mining or reclamation impacts shall be conducted as part of the Groundwater Monitoring and Mitigation Plan. The Monitoring Plan was reviewed and approved by the Division with the original permit and will be used during mining and reclamation activities. Historic and current water level measurements in the monitoring wells are included as Attachment G1. The Monitoring Plan is outlined below.

AI acknowledges that the wells near the South Mine Area will likely be impacted by the dewatering operations. The preemptive plan to address the potential impact will include the installation of cisterns on each of the nearby wells. Figure G-1 presents the preliminary design developed by Tetra Tech and a local driller familiar with the wells in the area. AI will bear the cost of installing and operating the cisterns. If the wells are completely dewatered and it is not practical to replace the existing wells with deeper or more efficient wells, AI will deliver potable water to the cisterns for the duration of the impacts. As indicated above AI may improve the existing wells to provide water to the cistern rather than continue to haul water for an extended period of time. In any event AI will provide potable water to the well owner. AI Response: Please see the revised Exhibit G Sections 2 (b), and Potential Mining Impacts.

AI is committed to installing an underdrain system to minimize disturbances to the prevailing hydrologic balance of the ground water regime near the mine. Groundwater modeling indicated mounding up to approximately six feet will likely occur along the west and south west margins of the West Mine Area. A preliminary design is shown in plan view and cross sections on Figure G-2 through G-5. Please note that this design is preliminary and may change after the final determination of the location of the slurry wall.

The drain system will consist of three sections, South Side Drain, West Drain South Reach and West Drain North **Reach. Each drain has a "receiving" section and a "discharging" section. In the "receiving" sections the drain will be** installed at approximately the pre-mining ground water level. As the mound builds it will flow into the drainpipe. In non-mounding areas the "discharging" sections the drainpipe will be at or approximately one foot above the pre-mining ground water levels. In the areas of the ground water mound the ground water will flow into the drain then flow down gradient through the drainpipe and discharge back to the ground water. The entire length of the drainpipe will be perforate. The slope of the drainpipe and seasonal high and low water levels are shown on the drain profiles. This design concept has been utilized at the Challenger Pit just north of the West Mine Area.

One dimensional steady state ground water flow equations commonly used in construction dewatering were used to size the drainpipe. The calculations are presented in Appendix G-1. The analysis indicated a drain pipe diameter of six inches would be adequate. To establish a baseline, AI installed 17 monitoring wells at the mining site in late 2003. The frequency of water level monitoring was approximately monthly from December 2003 to July 2005. After July 2005, monitoring continued quarterly through 2017. The monitoring frequency increased to monthly in January 2018. Monitoring in the wells will continue on a monthly basis for the life of the mine and for one year after mining ends. (Note: MW-11 was removed during Todd Creek Metropolitan District's construction in 2017 and MW-2 on the Bloom property can no longer be found). MW-2 was replaced with a new well in roughly the same location in 2018. MW-11 will not be reinstalled as the area of the well is adjacent to the river and Todd Creek has monitoring wells that they monitor as part of their alluvial wellfield.

AI will conduct weekly water level monitoring for the monitoring wells around the south mine area during dewatering and until groundwater levels have recovered once dewatering ends. For the wells around the East and West Mine area, monthly water monitoring would continue to be appropriate. If sufficient data is collected during the life of the mining operation, and a demonstration can be made that impacts to the groundwater system have been minimized,

AI can Apply to the Division would consider approval of a Technical Revision to revise the water level monitoring frequency at a later date.

The Monitoring Plan will now consist of 16 monitoring wells. Monitoring data will be used to identify potential changes in alluvial groundwater flow or elevation associated with mining and reclamation activities. Baseline data collected from the monitoring program will provide a range of relative water levels associated with pre-mining groundwater conditions. Experience at other sand and gravel mine sites in similar geologic settings shows that groundwater levels tend to fluctuate between two to four feet each year; levels are highest in the summer and lowest in the winter and early spring. AI will meet with the nearby well owners and enter into a monitoring and mitigation agreement with them. The details of the Mitigation Plan are provided below.

- If, during mining, the relative seasonal groundwater elevation at any of the domestic wells or monitoring wells differs from the baseline conditions by more than two feet, and the condition was not observed during baseline monitoring, or if Aggregate Industries receives a complaint from any well owner within 600 feet from the site boundary, then Aggregate Industries will notify the DRMS and then evaluate the cause and take action within 30 days.
- After the DRMS has been notified, Aggregate Industries will review the available data and information and submit a report to the DRMS within 30 days. The evaluation will include discussions with any well owner who has contacted Aggregate Industries regarding a concern, and a review of baseline data from the well and vicinity to evaluate potential changes due to seasonal variations, climate, mining, or other factors. The report will identify the extent of potential or actual impacts associated with the groundwater changes. If the extent of groundwater changes due to mining or reclamation activities is determined to be a significant factor creating potential or actual adverse impacts, the mining-associated impacts will be addressed to the satisfaction of the DRMS. Aggregate Industries will begin to implement one or more mitigation measures.
- Mitigation measures may include, but are not limited to:
 - Cleaning a well to improve efficiency.
 - Providing an alternative source of water or purchasing additional water to support historic well use water quantity and quality. If needed, water quality parameters will be checked in affected wells to ensure alternative sources support the historic use.
 - Modifying a well to operate under lower groundwater conditions. This could include deepening existing wells or lowering the pumps. All work would be done at Aggregate Industries' expense except for replacing equipment that was non-functional prior to mining.
 - If existing wells cannot be retrofitted or repaired, replacing the impacted well with a new replacement well.
 - Providing flood irrigation to address concerns over impacts to sub-irrigated lands adjacent to the site.
 - AI agrees to provide the water level data collected from monitoring well sampling to the DRMS with the annual report for the site.
- If a groundwater mitigation action is required, Aggregate Industries will notify the DRMS of the condition, action taken and result.

A complete well inventory "Well Inventory, Tucson South/Haake, Aggregate Site near Brighton Colorado dated March 13, 2004" was submitted to the Division with Exhibit G of the original application for this site. The information is on record at the Division. Since that time Aggregate Industries has obtained the required well permit for this property. Copies of the Well Permit and the Well Completion Report are attached in Exhibit G.

Aggregate Industries, through the SEO well permit process, gave notice to well owners within 600 feet of the mining boundary. The potentially impacted well owners entered into agreements with Aggregate Industries for protection for the senior vested water rights. The SEO well permit is attached in Exhibit G

Potential Reclamation Impacts

Once mining and reclamation are complete and dewatering pumps are turned off, potential impacts to surrounding wells from mine cell dewatering will cease.

Reclamation Impact Mitigation Plan

Although impacts and damages are not anticipated, it is the intent of the operator and property owners to operate responsibly and to mitigate damage to wells or structures that is directly attributable to the mining and reclamation of the Tucson South Resource site.

If mine cell (or slurry wall) reclamation creates injury to surrounding properties, the applicant will take all necessary actions to remedy the injury. The approved well permit addresses potential impacts to wells within 600 feet of the Permit Boundary.

Additionally, if it is determined that mine cell reclamation creates mounding impacts to surrounding structures or water resources, the applicant will take appropriate corrective action. Impacts would trigger mitigation measures that may include, but are not limited to:

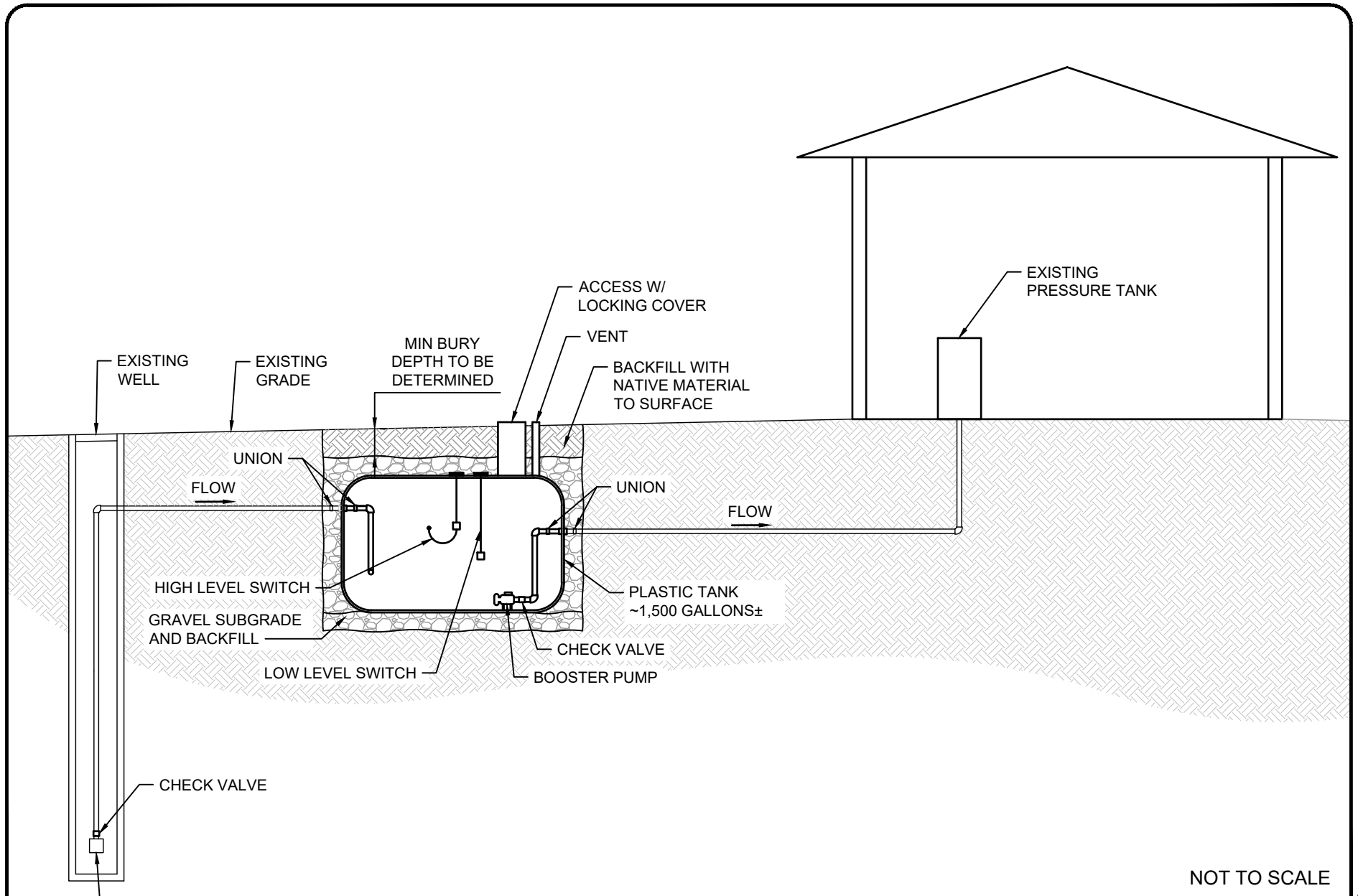
- Installing surface or underground drainage systems to transport groundwater from mounding areas to shadowing areas.
- Diverting surface water flows to recharge ponds in shadowing areas.

Water Quality

Mining and reclamation operations shall comply with the Colorado Department of Public Health and Environment National Pollution Discharge Elimination System (NPDES) regulations. A Colorado Discharge Permitting System (CDPS) permit for stormwater management and discharge flows to protect surface water quality on and off the proposed permit area from mining and reclamation activities will be obtained. The permit includes the continued updating and implementation of a site Stormwater Management Plan designed to prevent the contact and transport of potential contaminants to surface waters by stormwater flows.

The depth to groundwater fluctuates by a couple of feet depending on the season, but averages about 10 feet below ground surface. Due to the absence of large quantities of potential pollutants on site (no on-site processing or concrete or asphalt production), the mining and reclamation operations are not likely to affect groundwater quality on or off the site. As stated above, mining and reclamation activities shall operate under a CDPS permit and Stormwater Management Plan. The plan provides for regular inspections of potential contaminant areas such as mobile equipment and fuel or lubricant storage locations. Inspections and best management practices are incorporated into the plan to protect both surface and groundwater quality.

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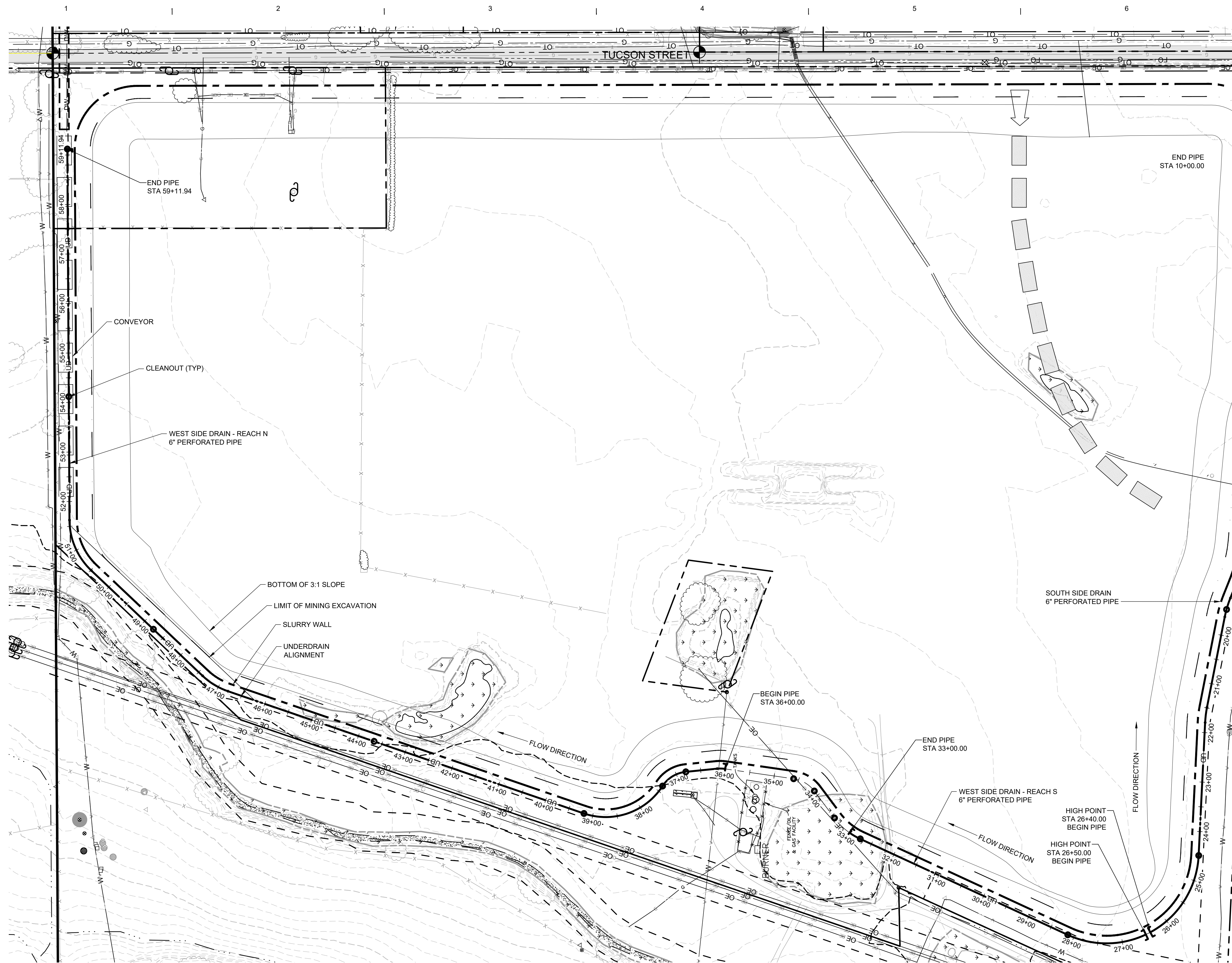
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 TETRA TECH www.tetrattech.com 1900 S. Sunset St., Ste. 1-E Longmont, CO 80501 Phone: (303) 772-5282	AGGREGATE INDUSTRIES TUCSON SOUTH RESOURCE	PROJ: 200-23514-18004 DATE: 9/11/19 DESN:
	PRELIMINARY CISTERN DESIGN	Figure G-1

Bar Measures 1 inch

Copyright: Tetra Tech

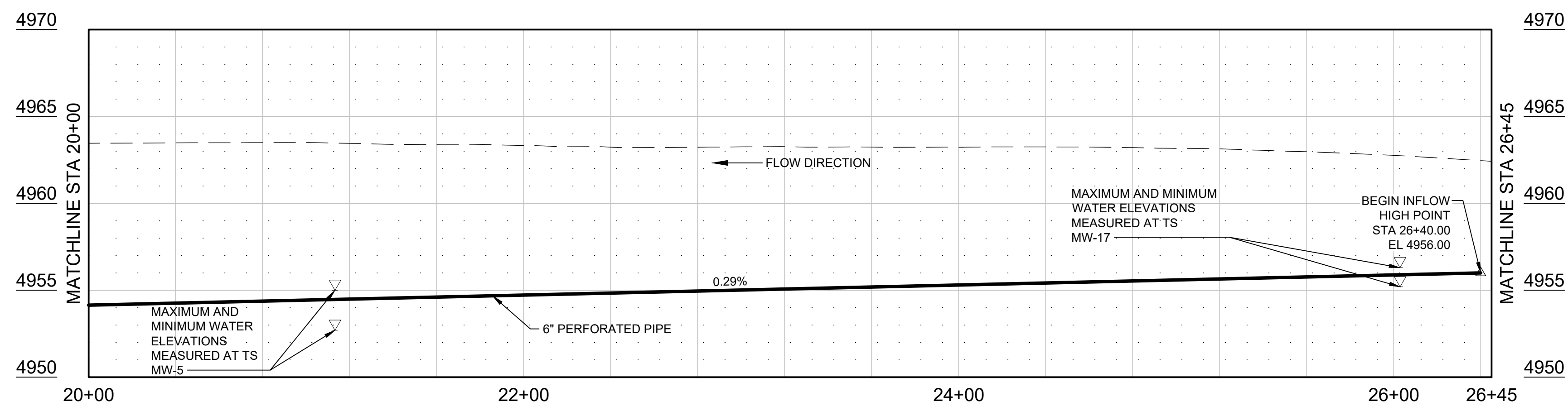
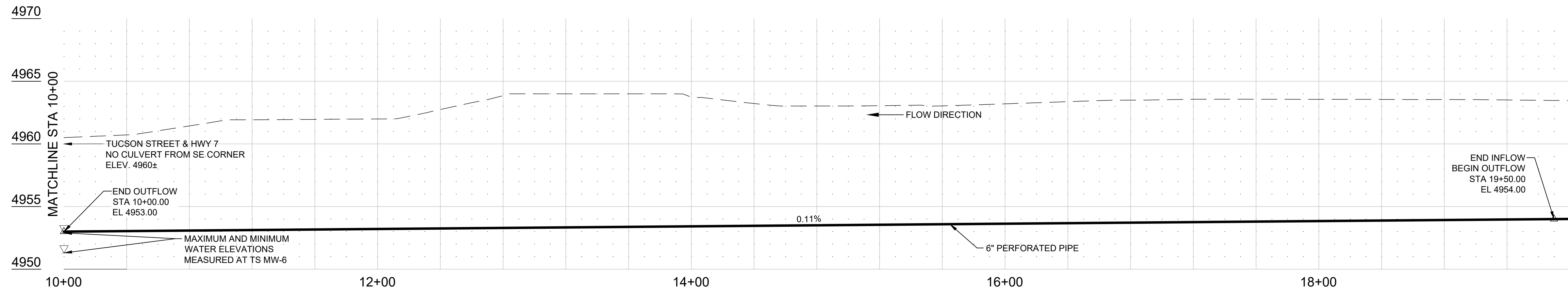
9/11/2019 4:55:31 PM - P:\235\41133-23514-17005\CAD\CONCEPTUAL\SLURRY WALL PROFILE.DWG - JUNGLIN, KATHY



NOTE:
 CLEANOUTS TO BE PLACED EVERY 500' OR AT HORIZONTALS
 BENDS IN PIPE, BEGINNING OR END OF PIPE AND AT LOCATIONS
 SHOWN IN PLAN VIEW.

WEST CELL UNDERDRAIN
 SCALE: 1" = 100'

SOUTH SIDE DRAIN



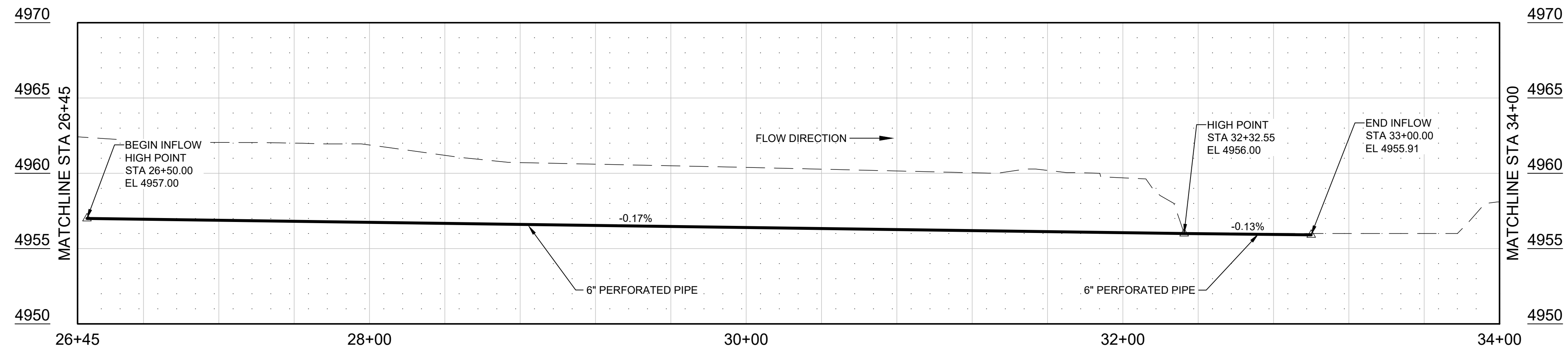
NOTE:

1. CLEANOUTS NOT SHOWN IN PROFILE. CLEANOUT PLACED EVERY 300' OR AT HORIZONTALS BENDS BEGINNING OR END OF PIPE AND AT LOCATIONS: PLAN VIEW.
2. MONTHLY WATER LEVEL MEASUREMENTS WERE AGGREGATE INDUSTRIES FROM JANUARY 2018 TO 2019. MAXIMUM AND MINIMUM WATER LEVELS ARE PROJECTED ONTO PROFILE AT APPROXIMATE LO FROM NEARBY MONITORING WELL LOCATIONS.

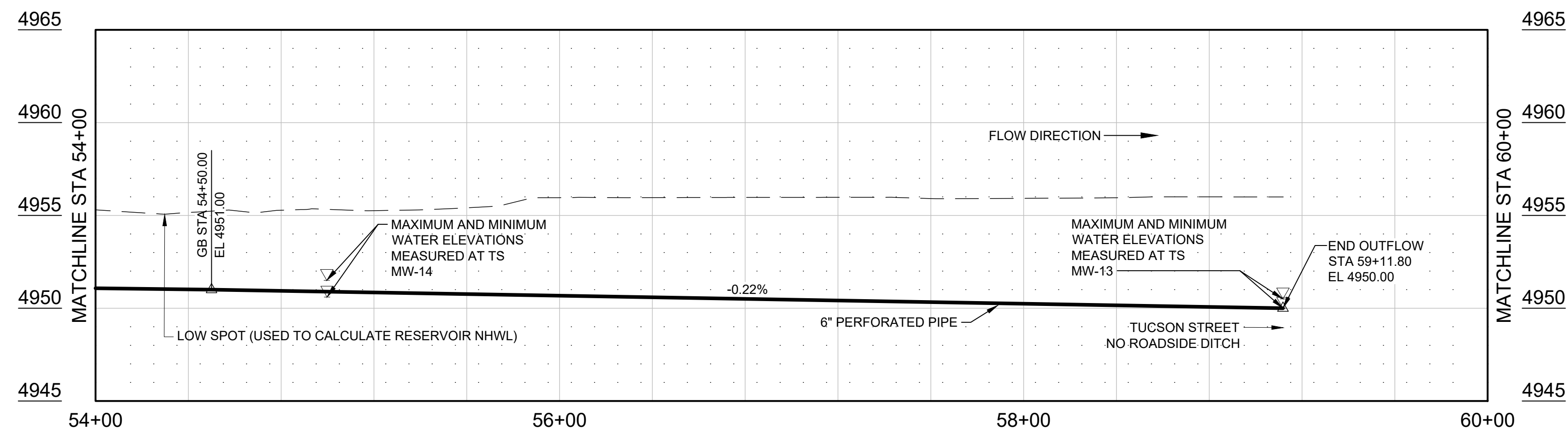
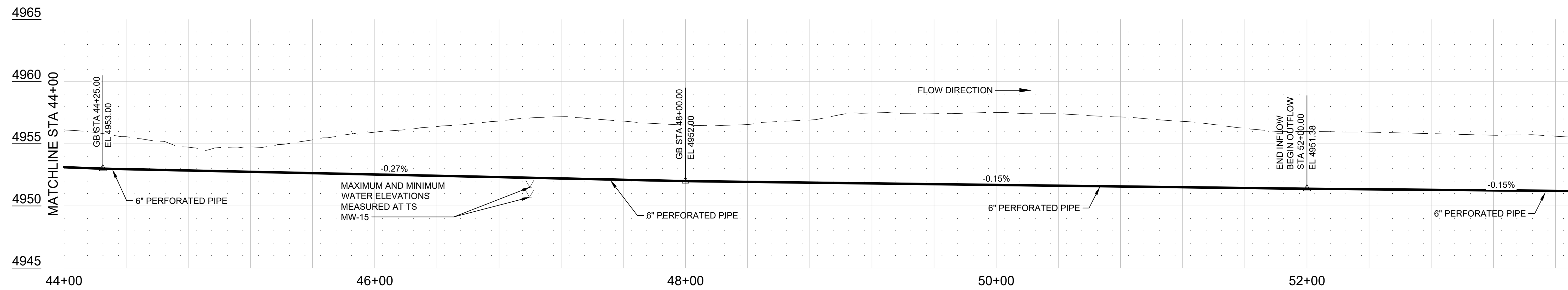
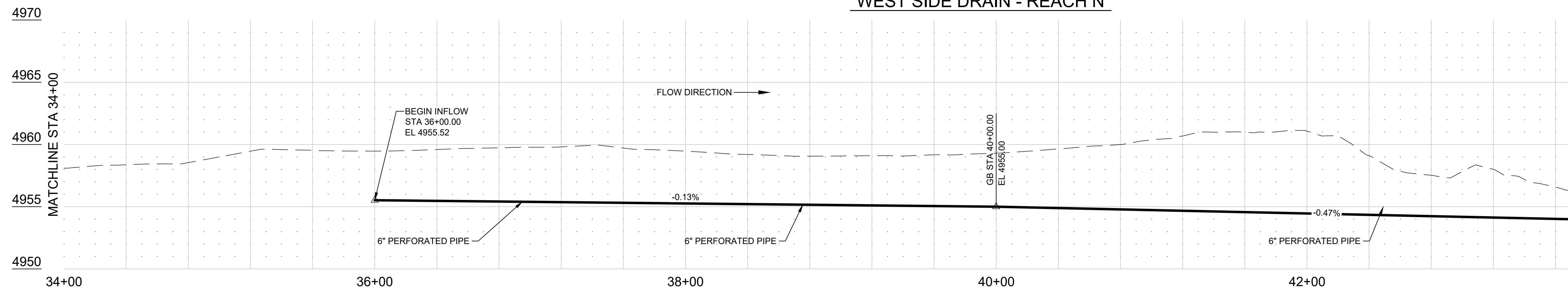
WEST CELL PROFILES

HORZ SCALE: 1" = 40'; VERT SCALE: 1" = 5'

WEST SIDE DRAIN - REACH S



WEST SIDE DRAIN - REACH N

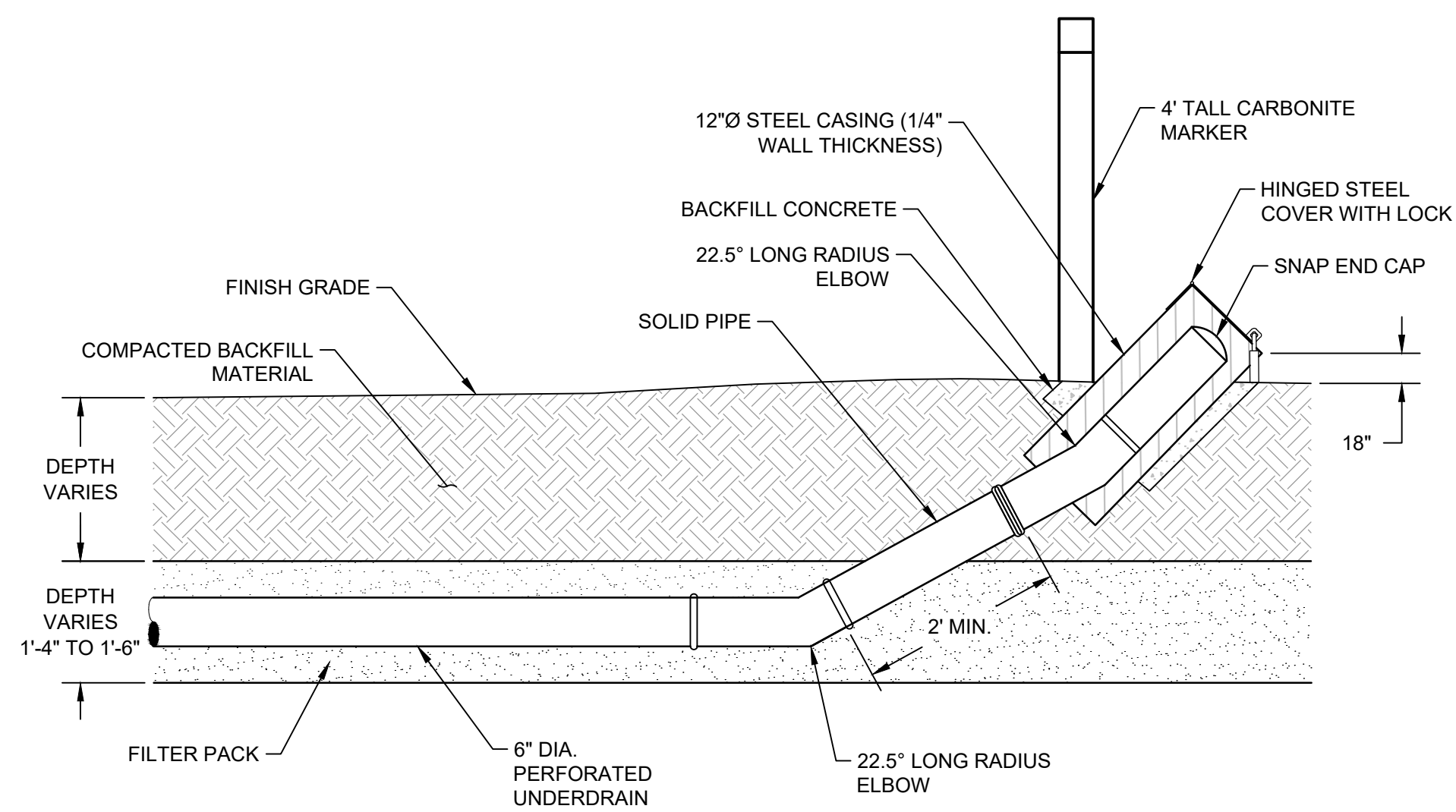


WEST CELL PROFILES

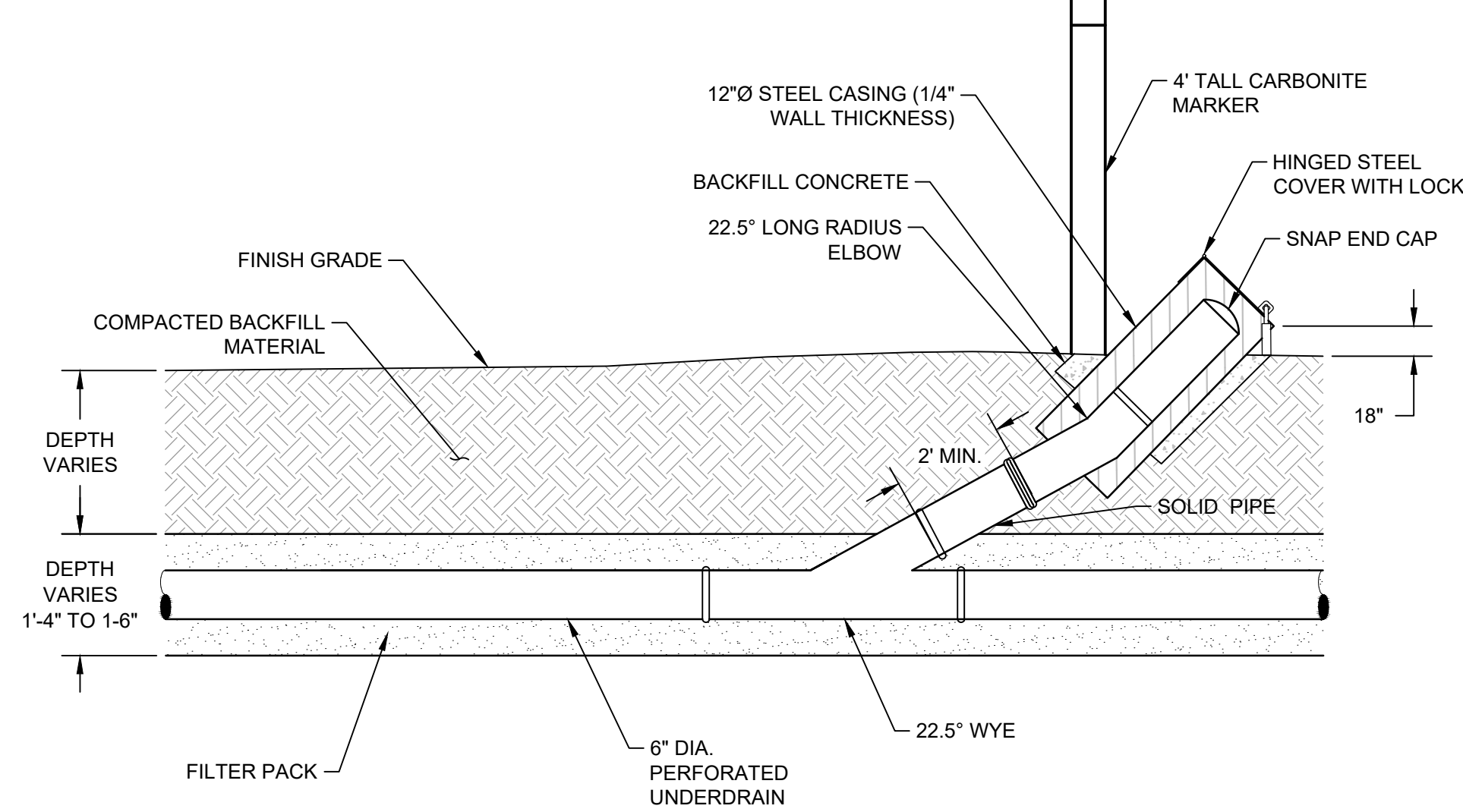
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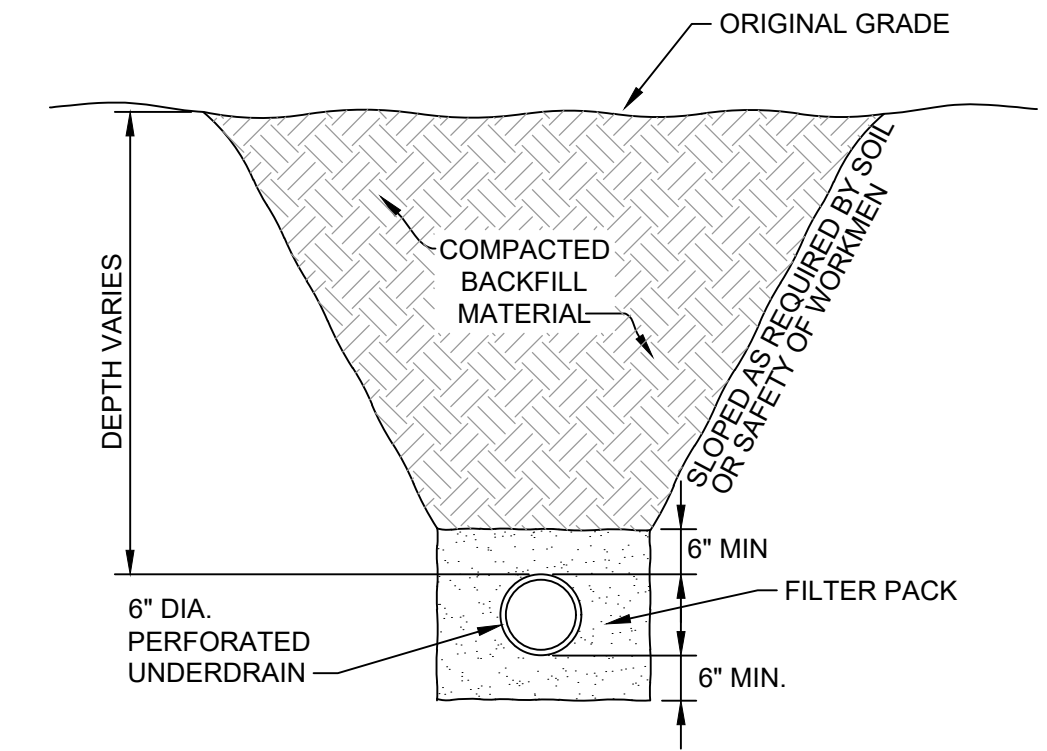
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NOT TO SCALE



2
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TYPICAL UNDERDRAIN CLEANOUT DETAIL
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3
-
TYPICAL TRENCH SECTION DETAIL FOR UNDERDRAIN PIPE
NTS

9/13/2019 3:21:35 PM - P:\23514\1133-23514-17005\CAD\CONCEPTUAL\TRENCH DETAIL.DWG - JUNGLIN, KATHY

CONCEPTUAL

MARK	DATE	DESCRIPTION	BY

AGGREGATE INDUSTRIES
TUCSON SOUTH RESOURCE
WEST CELL UNDERDRAIN DETAILS

Project No.: 133-23514-17005
Designed By:
Drawn By:
Checked By:

G-5

Appendix G

TUSCON SOUTH DRAIN ANALYSIS SOUTH SIDE DRAIN

FLOW TO A FULLY PENETRATING LINE SLOT FROM A LINE SOURCE GRAVITY CONDITIONS
FLOW FROM ONE SIDE OF TRENCH

EQUATION: $Q = (0.73 + 0.27 \frac{(H - h_o)}{H}) K x (H^2 - h_o^2) / 2L$

WHERE:

K= HYDRAULIC CONDUCTIVITY IN FEET PER DAY

x= LENGTH OF TRENCH IN FEET

L= DISTANCE TO CONTINUOUS LINE SOURCE IN FEET

H= HEAD IN AQUIFER AT DISTANCE L IN FEET

h_o= HEIGHT OF WATER IN TRENCH IN FEET

LOW RANGE

K IN FEET/DAY	250
L IN FEET	1000
H IN FEET	21
h _o IN FEET	19
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	7.557143
LENGTH OF TRENCH IN FEET	600
TOTAL FLOW TO TRENCH IN FT ³ /DAY	4534.286
TOTAL FLOW TO TRENCH IN GPM	23.5531

HIGH RANGE

K IN FEET/DAY	250
L IN FEET	500
H IN FEET	21
h _o IN FEET	19
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	15.11429
LENGTH OF TRENCH IN FEET	600
TOTAL FLOW TO TRENCH IN FT ³ /DAY	9068.571
TOTAL FLOW TO TRENCH IN GPM	47.10619

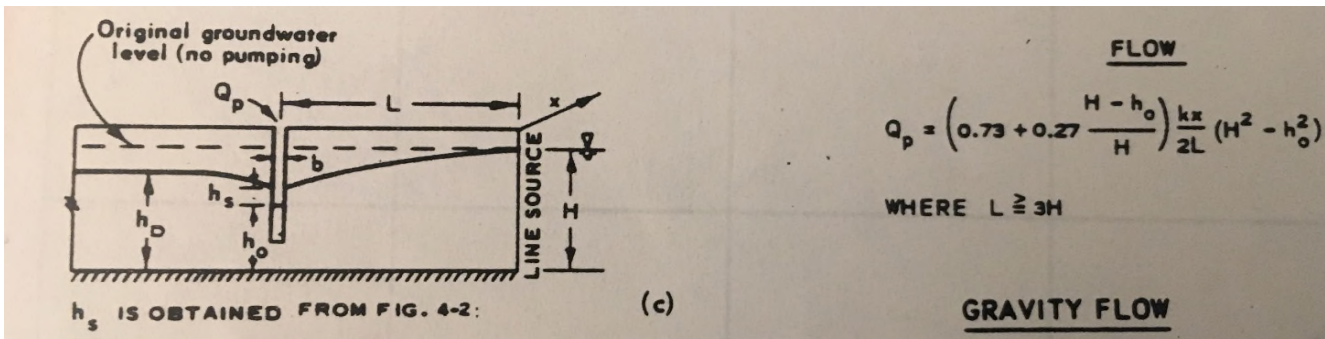
LOW RANGE

K IN FEET/DAY	500
L IN FEET	1000
H IN FEET	21
h _o IN FEET	19
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	15.11429
LENGTH OF TRENCH IN FEET	600
TOTAL FLOW TO TRENCH IN FT ³ /DAY	9068.571
TOTAL FLOW TO TRENCH IN GPM	47.10619

HIGH RANGE

K IN FEET/DAY	500
L IN FEET	500
H IN FEET	21
h _o IN FEET	19
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	30.22857
LENGTH OF TRENCH IN FEET	600
TOTAL FLOW TO TRENCH IN FT ³ /DAY	18137.14
TOTAL FLOW TO TRENCH IN GPM	94.21238

SOURCE: JOINT DEPARTMENTS OF THE ARMY, THE AIR FORCE AND THE NAVY,
U.S.A., 1983 TECHNICAL MANUAL No. 5-818-5/AFM 88-5, CHAP.
6/NAVFAC P-418 "DEWATERING AND GROUNDWATER CONTROL"



TUSCON SOUTH DRAIN ANALYSIS
WEST SIDE DRAIN, REACH S AND REACH N

FLOW TO A FULLY PENETRATING LINE SLOT FROM A LINE SOURCE GRAVITY CONDITIONS
FLOW FROM ONE SIDE OF TRENCH

EQUATION: $Q = K \cdot x \cdot (H^2 - h_o^2) / 2L$

WHERE:

K= HYDRAULIC CONDUCTIVITY IN FEET PER DAY

x= LENGTH OF TRENCH IN FEET

L= DISTANCE TO CONTINUOUS LINE SOURCE IN FEET

H= HEAD IN AQUIFER AT DISTANCE L IN FEET

h_o= HEIGHT OF WATER IN TRENCH IN FEET

LOW RANGE

K IN FEET/DAY	0.28
L IN FEET	70
H IN FEET	7
h _o IN FEET	0.5
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	0.10
LENGTH OF TRENCH IN FEET	2300
TOTAL FLOW TO TRENCH IN FT ³ /DAY	227
TOTAL FLOW TO TRENCH IN GPM	1.2

LOW RANGE

K IN FEET/DAY	2.80
L IN FEET	70
H IN FEET	7
h _o IN FEET	0.5
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	0.98
LENGTH OF TRENCH IN FEET	2300
TOTAL FLOW TO TRENCH IN FT ³ /DAY	2243
TOTAL FLOW TO TRENCH IN GPM	11.6

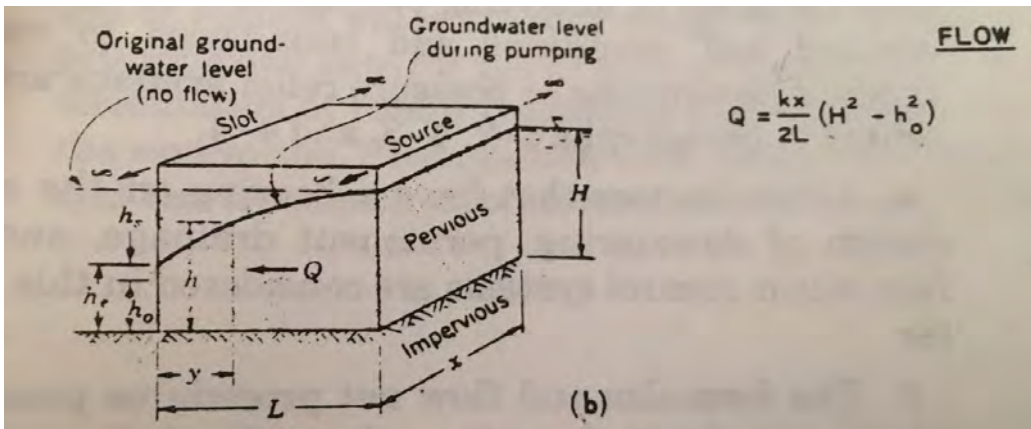
HIGH RANGE

K IN FEET/DAY	0.28
L IN FEET	400
H IN FEET	7
h _o IN FEET	0.05
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	0.02
LENGTH OF TRENCH IN FEET	2300
TOTAL FLOW TO TRENCH IN FT ³ /DAY	39
TOTAL FLOW TO TRENCH IN GPM	0.2

HIGH RANGE

K IN FEET/DAY	2.80
L IN FEET	400
H IN FEET	7
h _o IN FEET	0.05
Q IN CUBIC FEET/DAY/FOOT OF TRENCH	0.17
LENGTH OF TRENCH IN FEET	2300
TOTAL FLOW TO TRENCH IN FT ³ /DAY	394
TOTAL FLOW TO TRENCH IN GPM	2.0

SOURCE: JOINT DEPARTMENTS OF THE ARMY, THE AIR FORCE AND THE NAVY,
U.S.A., 1983 TECHNICAL MANUAL No. 5-818-5/AFM 88-5, CHAP.
6/NAVFAC P-418 "DEWATERING AND GROUNDWATER CONTROL"



Worksheet for South Side Drain

Project Description

Friction Method	Manning Formula
Solve For	Full Flow Diameter

Input Data

Roughness Coefficient	0.010	
Channel Slope	0.00110	ft/ft
Normal Depth	0.47	ft
Diameter	0.47	ft
Discharge	94.22	gal/min

Results

Diameter	0.47	ft
Normal Depth	0.47	ft
Flow Area	0.18	ft ²
Wetted Perimeter	1.49	ft
Hydraulic Radius	0.12	ft
Top Width	0.00	ft
Critical Depth	0.23	ft
Percent Full	100.0	%
Critical Slope	0.00463	ft/ft
Velocity	1.19	ft/s
Velocity Head	0.02	ft
Specific Energy	0.50	ft
Froude Number	0.00	
Maximum Discharge	0.23	ft ³ /s
Discharge Full	0.21	ft ³ /s
Slope Full	0.00110	ft/ft
Flow Type	SubCritical	

GVF Input Data

Downstream Depth	0.00	ft
Length	0.00	ft
Number Of Steps	0	

GVF Output Data

Upstream Depth	0.00	ft
Profile Description		
Profile Headloss	0.00	ft
Average End Depth Over Rise	0.00	%

Worksheet for West Side Drain

Project Description

Friction Method Manning Formula
Solve For Full Flow Diameter

Input Data

Roughness Coefficient 0.010
Channel Slope 0.00130 ft/ft
Normal Depth 0.21 ft
Diameter 0.21 ft
Discharge 11.65 gal/min

Results

Diameter 0.21 ft
Normal Depth 0.21 ft
Flow Area 0.03 ft²
Wetted Perimeter 0.66 ft
Hydraulic Radius 0.05 ft
Top Width 0.00 ft
Critical Depth 0.10 ft
Percent Full 100.0 %
Critical Slope 0.00601 ft/ft
Velocity 0.75 ft/s
Velocity Head 0.01 ft
Specific Energy 0.22 ft
Froude Number 0.00
Maximum Discharge 0.03 ft³/s
Discharge Full 0.03 ft³/s
Slope Full 0.00130 ft/ft
Flow Type SubCritical

GVF Input Data

Downstream Depth 0.00 ft
Length 0.00 ft
Number Of Steps 0

GVF Output Data

Upstream Depth 0.00 ft
Profile Description
Profile Headloss 0.00 ft
Average End Depth Over Rise 0.00 %

EXHIBIT H

WILDLIFE INFORMATION

Tucson South Sand and Gravel Mine Project— Adams County, Colorado

Biological Resources Inventory Report



September 2018



Prepared for: Aggregate Industries, LLC

Prepared by:



350 Indiana Street, Suite 500, Golden, CO, 80401

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- Attachment 2: IPAC

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- Figure 2: Desktop Analysis—Land Cover Results
- Figure 3: Survey Results—Vegetation
- Figure 4: NRCS Soil Types

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1. Introduction

Aggregate Industries (AI) is proposing to mine sand and gravel at the Tucson South Mine Project (Project) in Adams County, Colorado. The purpose of this report is to (1) provide a summary of local, state, and federal regulations that protect biological resources in Adams County; (2) document findings of the biological resources desktop analysis and field survey; and (3) provide recommendations for management of biological resources, including measures to avoid, minimize, or mitigate impacts, where necessary and practicable.

1.1 Project Description and Location

The Project is located west of Brighton, Colorado, at the intersection of Tucson Road and Colorado Highway 7 in Sections 1 and 12 of Township 1 South, Range 67 West in Adams County. The Project area is divided by roads and parcel boundaries and is shown in Figures 1-4, attached. The total Project area is approximately 258 acres. Upon completion of mining, the site will be reclaimed as two below-grade water storage reservoirs and a reclaimed upland meadow. The Project will include the construction of temporary construction access roads, a slurry wall, gravel mining areas, and equipment storage areas. The Project is currently in the design phase and the final location of the Project features have not yet been defined. Therefore, for planning purposes, all of the Project area was evaluated for the presence of biological resources.

The Project is expected to go through a review process by the U.S. Army Corps of Engineers (USACE); U.S. Fish and Wildlife Service (USFWS); Colorado Department of Public Health and Environment; Colorado Office of Archaeology and Historic Preservation; Colorado Department of Transportation; Colorado Parks and Wildlife; Colorado Division of Mining and Reclamation Safety, and Adams County. Construction of the Project would begin after issuance of all necessary permits, which is currently anticipated as summer 2019. The Project would be developed over time and would operate indefinitely after the City of Aurora takes control of the site and operates the two reservoirs.

Wetland delineations for the Project were performed on July 6 and 7, 2017. The results of the delineation are included in the Project Wetland Delineation Report (Tetra Tech 2018) and are not included herein.

1.2 Regulatory Setting

Several biological resources within the Project are protected by federal and state laws. The following subsections briefly describe these regulations and permitting processes where applicable.

1.2.1 *Special Status Species*

The Endangered Species Act (ESA) and its implementing regulations in Title 50 of the Code of Federal Regulations (CFR) Section 17 prohibit the take of any fish or wildlife species that is federally listed as threatened or endangered without prior approval pursuant to either Section 7 or Section 10 of the ESA. The USFWS is responsible for the implementation of the ESA.

Section 3 of the ESA defines “take” as “to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect or to attempt to engage in any such conduct” (16 United States Code [USC] § 1532 (19)). Harm, in this case, means an act that actually kills or injures a federally listed wildlife species and “may include significant habitat modification or degradation where it actually kills or injures wildlife by significantly impairing essential behavioral patterns, including breeding, feeding or sheltering.” To harass means to perform “an intentional or negligent act or omission which creates the likelihood of injury to wildlife by annoying it to such an extent as to significantly disrupt normal behavioral patterns which include, but are not limited to, breeding, feeding or sheltering” (50 CFR §17.3). In addition, Section 9 of the ESA details generally prohibited acts, and Section 11 provides for both civil and criminal penalties for violators regarding species federally listed as threatened or endangered.

Colorado Revised Statute (CRS) 33-2-105 states that it is unlawful to “take, possess, transport, export, process, sell or offer for sale, or ship” any species listed as threatened or endangered by Colorado Parks and Wildlife (CPW). According to CRS 33-1-102 “Take” means to acquire possession of wildlife; but such term shall not include the accidental wounding or killing of wildlife by a motor vehicle, vessel, or train.” Activities that would trigger the need for USFWS or CPW consultation or permitting for the Project are discussed in more detail in Section 3.

It is unlawful under the Migratory Bird Treaty Act (MBTA) (50 CFR § 10.13) to “pursue, hunt, take, capture or kill; attempt to take, capture or kill; possess, offer to or sell, barter, purchase, deliver or cause to be shipped, exported, imported, transported, carried, or received any migratory bird, part, nest, egg, or product.” Birds protected under this act include most native birds, including their body parts (e.g., feathers), nests, and eggs.

The Bald and Golden Eagle Protection Act (BGEPA) prohibits the take of Bald or Golden Eagles by any party. The BGEPA defines “take” as “to pursue, shoot, shoot at, poison, wound, kill, capture, trap, collect, destroy, molest, and disturb individuals, their nests and eggs” (16 USC 668c). “Disturb” is defined by regulation at 50 CFR 22.3 in 2007 as “to agitate or bother a Bald or Golden Eagle to a degree that causes...injury to an eagle, a decrease in productivity, or nest abandonment...”

CPW recommends a set of seasonal buffers for specific nesting raptors that commonly occur in Colorado, including but not limited to Bald and Golden eagles (CPW 2008). These buffers are for active nests and range from 0.25 mile to 0.5 mile depending on the species. The associated date range for each seasonal buffer remains the same annually.

1.2.2 Noxious Weeds

The state of Colorado promulgated the Colorado Noxious Weed Act (Act) in 1990 within Title 35, Article 5.5, Parts 110 through 119, in 1990. The Act initially created three lists: A, B and C (CDA 2017a). The state subsequently added a watch list. The most recent update to the weed lists became effective March 31, 2017. The Act requires **A-list** species to be eradicated wherever detected to protect neighboring communities and the state as a whole. There are 25 species on the A list. The **B list** represents those species for which the state of Colorado and local governments will develop noxious weed management plans to stop the continued spread of these species. The B list contains 38 species. Species on the **C list** are those species that the state will assist governing bodies manage through education, research, and

biological controls. The C list includes 15 species. The **watch list** includes 24 species of weeds that are documented for advisory and educational purposes only at this time. The state listed noxious weeds are provided in Table 1.

Table 1:
Colorado Noxious Weed List

List ¹	Common Name	Scientific Name ¹
Colorado List A		
	African rue	<i>Peganum harmala</i>
	Camelthorn	<i>Alhagi pseudalhagi</i>
	Common crupina	<i>Crupina vulgaris</i>
	Cypress spurge	<i>Euphorbia cyparissias</i>
	Dyer's woad	<i>Isatis tinctoria</i>
	Elongated mustard	<i>Brassica elongata</i>
	Flowering rush	<i>Butomus umbellatus</i>
	Giant reed	<i>Arundo donax</i>
	Giant salvinia	<i>Salvinia molesta</i>
	Hairy willow-herb	<i>Epilobium hirsutum</i>
	Hydrilla	<i>Hydrilla verticillata</i>
	Bohemian Knotweed	<i>Polygonum x bohemicum</i>
	Giant Knotweed	<i>Polygonum sachalinense</i>
	Japanese Knotweed	<i>Polygonum cuspidatum</i>
	Meadow knapweed	<i>Centaurea pratensis</i>
	Mediterranean sage	<i>Salvia aethiopsis</i>
	Medusahead	<i>Taeniatherum caput-medusae</i>
	Myrtle spurge	<i>Euphorbia myrsinites</i>
	Orange hawkweed	<i>Hieracium aurantiacum</i>
	Parrotfeather	<i>Myriophyllum aquaticum</i>
	Purple loosestrife	<i>Lythrum salicaria</i>
	Rush skeletonweed	<i>Chondrilla juncea</i>
	Squarrose knapweed	<i>Centaurea virgata</i>
	Tansy ragwort	<i>Senecio jacobaea</i>
	Yellow starthistle	<i>Centaurea solstitialis</i>
Colorado List B		
	Absinth wormwood	<i>Artemisia absinthium</i>
	Black henbane	<i>Hyoscyamus niger</i>
	Bouncingbet	<i>Saponaria officinalis</i>
	Bull thistle	<i>Cirsium vulgare</i>
	Canada thistle	<i>Breca arvensis (Cirsium arvense)</i>
	Chinese clematis	<i>Clematis orientalis</i>
	Corn chamomile	<i>Anthemis arvensis</i>
	Mayweed chamomile	<i>Anthemis cotula</i>
	Scentless chamomile	<i>Tripleurospermum perforatum</i>
	Chinese clematis	<i>Clematis orientalis</i>

Table 1:
Colorado Noxious Weed List

List ¹	Common Name	Scientific Name ¹
	Common tansy	<i>Tanacetum vulgare</i>
	Common teasel	<i>Dipsacus fullonum</i>
	Corn chamomile	<i>Anthemis arvensis</i>
	Common teasel	<i>Dipsacus fullonum</i>
	Cutleaf teasel	<i>Dipsacus laciniatus</i>
	Dalmatian toadflax	<i>Linaria dalmatica</i>
	Dame's rocket	<i>Hesperis matronalis</i>
	Diffuse knapweed	<i>Acosta diffusa (Centaurea diffusa)</i>
	Eurasian watermilfoil	<i>Myriophyllum spicatum</i>
	Hoary cress	<i>Cardaria draba</i>
	Houndstongue	<i>Cynoglossum officinale</i>
	Jointed goatgrass	<i>Aegilops cylindrica</i>
	Leafy spurge	<i>Euphorbia esula</i>
	Moth mullein	<i>Verbascum blattaria</i>
	Musk thistle	<i>Carduus nutans</i>
	Oxeye daisy	<i>Chrysanthemum leucanthemum</i>
	Perennial pepperweed	<i>Lepidium latifolium</i>
	Plumeless thistle	<i>Carduus acanthoides</i>
	Russian knapweed	<i>Acroptilon repens</i>
	Russian-olive	<i>Elaeagnus angustifolia</i>
	Salt cedar	<i>Tamarix chinensis, T. parviflora, and T. ramosissima</i>
	Scentless chamomile	<i>Matricaria perforata</i>
	Scotch thistle	<i>Onopordum acanthium, and O. tauricum</i>
	Spotted knapweed	<i>Centaurea maculosa</i>
	Sulfur cinquefoil	<i>Potentilla recta</i>
	Wild caraway	<i>Carum carvi</i>
	Yellow nutsedge	<i>Cyperus esculentus</i>
	Yellow toadflax	<i>Linaria vulgaris</i>
Colorado List C		
	Bulbous Goatgrass	<i>Poa bulbosa</i>
	Chicory	<i>Cichorium intybus</i>
	Common burdock	<i>Arctium minus</i>
	Common mullein	<i>Verbascum thapsus</i>
	Common St. Johnswort	<i>Hypericum perforatum</i>
	Downy brome	<i>Bromus tectorum</i>
	Field bindweed	<i>Convolvulus arvensis</i>
	Halogeton	<i>Halogeton glomeratus</i>
	Perennial sowthistle	<i>Sonchus arvensis</i>
	Poison hemlock	<i>Conium maculatum</i>
	Puncturevine	<i>Tribulus terrestris</i>
	Quackgrass	<i>Elymus repens</i>

Table 1:
Colorado Noxious Weed List

List ¹	Common Name	Scientific Name ¹
	Redstem fillaree	<i>Erodium cicutarium</i>
	Velvetleaf	<i>Abutilon theophrasti</i>
	Wild proso millet	<i>Panicum miliaceum</i>

Source: CDA (2017)

1.2.2.1 Adams County Noxious Weed Management

Adams County established a Noxious Weed Management Plan (Adams County Plan) and a Noxious Weed Enforcement Policy in May 2008 (the Policy) that is included as Attachment 1. The Adams County Plan states:

Cooperation from all landowners/occupants regarding timely noxious weed management will be encouraged via positive communication and education efforts. The Weed Office or its agent will continue to apply herbicides to a limited acreage of noxious weeds on private lands by landowner or tenant request, consistent with County policies. Where noxious weeds are still found, an enforcement process will be initiated to ensure control of the Weeds.

According to the Policy, landowners in Adams County are required to manage noxious weed infestations. The policy also outlines criteria for county officials to inspect for noxious weed infestations on public and private land and identifies methods of notification to landowners if an infestation is found to occur and it requires that the notified landowner comply with the terms of the notification and the policy. If the landowner does not comply with the terms, the county may access the property and undertake the management of noxious weeds. In this case, the Policy outlines a method for the county to recover costs of management.

2. Biological Resources Inventory

This biological resources inventory featured two components: a desktop analysis and field survey. These two components were completed by biologists qualified to identify flora and fauna in the Front Range of Colorado.

2.1 Biological Resources Inventory Methods

The following subsections describe the methods used to evaluate the presence of biological resources for the Project area.

2.1.1 Desktop Methods

Each of the desktop resources listed below were used in evaluating the biological resources that are in the vicinity of the Project area:

- USFWS Region 6 Information for Planning and Conservation (IPaC) search results for federal and state listed threatened and endangered species likely to occur near the Project area (Attachment 2)
- USFWS Critical Habitat Map Service (USFWS 2017a)
- CPW Bald Eagle Shapefile (CPW 2016a)
- CPW threatened, endangered and species of concern for the state (CPW 2017)
- CPW Species Profiles (CPW 2016c).
- CPW Species Activity Data (CPW 2016b).
- Colorado Natural Heritage Program (CNHP) Database—CNHP maintains species profiles for protected species that can be used to identify species of concern within a Project area (CNHP 2015a, 2015b)
- U.S. Department of Agriculture (USDA) Farm Service National Agricultural Imagery Program Aerial photography for Project location (USDA 2015)
- Natural Resource Conservation Service (NRCS) Soil Survey Geographic (SSURGO) Database. Shapefile. Accessed July 8, 2017. Available online: <http://sdmdataaccess.nrcs.usda.gov/>. (NRCS 2017)
- Multi Resolution Land Characteristics Consortium National Land Cover Dataset Compilation (NLCD) (Fry et al. 2011)
- Hammerson, G.A. 1999. *Amphibians and Reptiles in Colorado*. Second Edition, 2nd Edition. University Press of Colorado (Niwot, Colorado) and Colorado Division of Wildlife
- Sibley, David Allen. 2014. *Sibley Guide to Birds*. Second Edition. Knopf Publishing Group

2.1.2 Field Survey Methods

Two biologists qualified to identify Great Plains flora, fauna, and noxious weeds conducted the field effort. The following subsections provide descriptions of survey methods used for each component of the field survey by the field team.

2.1.2.1 Listed Species—Habitat Suitability Assessment

Field notes and digital photography were collected from within the Project area that presented suitable habitat characteristics that would support any species listed in Tables 3 and 4.

2.1.2.2 General Wildlife and Vegetation Assessment

Tetra Tech biologists performed a field survey to document habitat types in the Project area. All species of wildlife and vegetation that were observed during the survey were recorded in a field logbook and photographed as practicable. Locations of certain resources, such as potential black-tailed prairie dog colonies in the Project area, were mapped using a generic GPS software loaded on the field tablet computer.

2.1.2.3 Avian Survey Methods

Tetra Tech biologists surveyed the Project area for raptor nests and trees that could support raptor nests. The largest buffer for active raptor nests recommended by CPW is 0.5 mile for the Bald Eagle, so only trees within 0.5 mile buffer of the Project area were surveyed for nests. The raptor nest survey was completed during full leaf-out of deciduous trees in the Project area, so trees with the potential to support nests were observed with field binoculars to search for nests to the greatest extent possible. CPW defines

an active nest as any nest that is “frequented or occupied by a raptor during the breeding season or which has been active in any of the five previous breeding seasons” (CPW 2008). Biologists also documented suitable habitat and sightings of individual bird species protected by the MBTA in the Project area.

2.1.2.4 Noxious Weed Inventory

An informal survey for state listed noxious weeds was conducted incidentally during the general wildlife and vegetation assessment. This effort was not intended to be, and should not be considered, an extensive survey of the entire Project area.

2.2 Biological Resources Inventory Results and Discussion

The following sections describe the results of the biological resources assessment completed for the Project area.

2.2.1 Desktop Results

2.2.1.1 Ecoregional Setting

The Project is completely situated in the High Plains Level III Ecoregion. The High Plains Ecoregion includes four Level IV ecoregions. The Project area lies within the Flat to Rolling Plains (25d) Level IV ecoregion (Chapman et al. 2001). This ecoregion is characterized by moderate topological relief, silty and sandy soils, shortgrass prairie vegetation, and intermittent streams with few perennial streams. This ecoregion is known to have small scattered depressional “playa” wetlands and dense oil and gas production. Elevation in the Project area is between 4,900 and 5,000 feet above sea level.

2.2.1.2 General Wildlife

Table 2 lists the species identified by CPW as potentially occurring in the Project area (CPW 2016b). The list includes birds and mammals. Table 2 also lists the season each species is expected to occur in the Project area. With the exception of the White Pelican, all of the species in Table 2 are expected to occur in the Project area year-round. The White Pelican is expected in the Project area only during migration in the spring and fall months.

Table 2:

USFWS IPaC-Identified Migratory Birds Likely to Occur in the Project Area

Common Name	Scientific Name
Bald Eagle	<i>Haliaeetus leucocephalus</i>
Black-tailed Prairie Dog	<i>Cynomys ludovicianus</i>
Goose	<i>Branta</i> spp.
Great Blue Heron	<i>Ardea herodias</i>
White Pelican	<i>Pelecanus erythrorhynchos</i>
Mule Deer	<i>Odocoileus hemionus</i>
Preble's Meadow Jumping Mouse	<i>Zapus hudsonius preblei</i>
White-tailed deer	<i>Odocoileus virginianus</i>
Wild turkey	<i>Meleagris</i> spp.

2.2.1.3 Federally Listed Species

According to USFWS Region 6 Information for Planning and Conservation (IPaC) output for the Project area (Attachment 2), four birds, one fish, one mammal, and three flowering plant species that are federally listed as threatened or endangered by the USFWS should be considered as part of an effect analysis for the Project. Table 3 lists these species and summarizes the likelihood of occurrence in the Project area. None of the species listed in Table 3 was directly observed during the field survey. As the table shows, none of the species were judged to have potential to occur within the Project area. There are no USFWS-designated critical habitats for any federally listed species within the Project area (USFWS 2017a)

Table 3:
Federally Listed Species Known to Occur in Adams County, Colorado

Common Name	Scientific Name ¹	Status ²	Likelihood of Occurrence in Project area/Habitat Suitability ³
Birds			
Least Tern (interior population) ³	<i>Sternula antillarum</i>	FE	Unlikely to occur. Habitat consists of bare sandy shorelines of reservoirs, lakes, and rivers. The Project area is outside the typical breeding and wintering distribution for this species. The species occurs in the Platte River watershed downstream in Nebraska. In addition, the Second Colorado Breeding Bird Atlas does not show elemental occurrences or breeding in Adams County for the interior population of the Least Tern. No critical habitat has been designated for this species exists in the Project area.
Mexican Spotted Owl	<i>Strix occidentalis lucida</i>	FT	Unlikely to occur. Habitat consists of mature mixed-conifer, pine-oak, and riparian forest in canyon habitat. These habitat components are not present in the Project area. The Second Colorado Breeding Bird Atlas does not show elemental occurrences or breeding in Adams County for the Mexican Spotted Owl. No designated critical habitat for the Mexican Spotted Owl exists in the Project area.
Piping Plover ⁴	<i>Charadrius melodus</i>	FT	Unlikely to occur. Suitable habitat includes sparsely vegetated sandbars of rivers and sparsely vegetated and frequently alkaline beaches, lakeshores, and wetlands. The Project area is outside the typical breeding and wintering distribution for this species. This species occurs in the Platte River watershed downstream in Nebraska. In addition, the Second Colorado Breeding Bird Atlas does not show elemental occurrences or breeding in Adams County for the Piping Plover. No designated critical habitat for the Piping Plover exists in the Project area.
Whooping Crane ³	<i>Grus americana</i>	FE	Unlikely to occur. The Whooping Crane breeds, migrates, winters, and forages in a variety of wetland and other habitats, including coastal marshes and estuaries, inland marshes, lakes, ponds, wet meadows and rivers, and agricultural fields. The Project area is outside the typical distribution for this species. This species occurs in the Platte River watershed downstream in Nebraska. The Project does not anticipate causing any water depletions to the South Platte River. In addition, the Second Colorado Breeding Bird Atlas does not show elemental occurrences or breeding in anywhere in Colorado for the Whooping Crane. No designated critical habitat for the Whooping Crane exists in the Project area.

Table 3:
Federally Listed Species Known to Occur in Adams County, Colorado

Common Name	Scientific Name ¹	Status ²	Likelihood of Occurrence in Project area/Habitat Suitability ³
Fishes			
Pallid Sturgeon ³	<i>Scaphirhynchus albus</i>	FE	Not present in Colorado. This species is documented to occur downstream in the Platte River in Nebraska. The Project does not anticipate causing any water depletions to the South Platte River. Pallid sturgeon are a bottom-oriented, large river obligate fish inhabiting the systems of the Missouri and Mississippi rivers. No critical habitat has been designated for the pallid sturgeon in the Project area.
Mammals			
Preble's Meadow Jumping Mouse	<i>Zapus hudsonius preblei</i>	FT	Unlikely to occur. Project is located in the USFWS Preble's Meadow Jumping Mouse Block Clearance Zone. ⁴
Plants			
Colorado Butterfly Plant ⁵	<i>Oenothera coloradensis</i> spp. <i>coloradensis</i>	FT	Unlikely to occur. The Colorado butterfly plant (COBP) is known to occur in Adams County; however, COBP was not observed in the Project area during the site visit and potential COBP habitat does not exist in the Project area. COBP is an early successional plant (although probably not a pioneer) adapted to use sub-irrigated alluvial stream channel sites and floodplains surrounded by mixed grass prairie that are periodically disturbed. COBP occurs at elevations of 5,000–6,400 feet, which is slightly higher than the elevation range of the Project area. The habitat at the South Platte River Creek has dense vegetation cover with at least partial canopy coverage by shrubs and trees, which is not suitable habitat for COBP. No designated critical habitat for COBP exists in the Project area. The Project is not expected to impact the South Platte River or associated wetlands.
Ute Ladies'-tresses orchid ⁶	<i>Spiranthes diluvialis</i>	FT	Unlikely to occur. Suitable habitat likely does exist for Ute ladies'-tresses orchid (ULTO), however the species is not known to occur in Adams County. Suitable habitat includes perennial stream terraces, floodplains, and oxbows at elevations between 4,300–7,000 feet. Recent surveys since 1992 have expanded the number of vegetation and hydrology types occupied by ULTO to include seasonally flooded river terraces, subirrigated or spring-fed abandoned stream channels and valleys, and lakeshores. Twenty-six populations have been discovered along irrigation canals, berms, levees, irrigated meadows, excavated gravel pits, roadside barrow pits, reservoirs, and other human-modified wetlands. The habitats at the crossings of the South Platte River have dense vegetation cover with at least partial canopy coverage. No critical habitat designated for ULTO exists in the Project area.
Western Prairie Fringed Orchid ³	<i>Platanthera praeclara</i>	FT	Not present. Western prairie fringed orchid is a perennial orchid of the North American tall grass prairie and is found most often on unplowed calcareous prairies and sedge meadows. This species is dependent on mycorrhizal fungi, and its persistence is dependent on periodic disturbance by fire, mowing, or grazing. The species occurs in Iowa, Kansas, Minnesota, Missouri, Nebraska, North Dakota, and Oklahoma. Upstream depletions to the Platte River system in Colorado and Wyoming may affect the species in Nebraska. No critical habitat is designated for the orchid in the Project area.

1 Source: Ackerfield (2015)

2 FE = Federal Endangered, FT = Federal Threatened

3 USFWS (2017a)

- 3 Water depletions in the North Platte River, South Platte River, and Laramie River basins may affect the species and/or critical habitat associated with the Platte River in Nebraska.
- 4 USFWS (2010)
- 5 CNHP (2015a)
- 6 CNHP (2015b)

2.2.1.4 State Listed Species

CPW’s threatened and endangered list includes state listed endangered and threatened species (CPW 2017). This list includes amphibians, birds, fish, and mammals. Table 4 summarizes the state listed species that were evaluated for presence within the Project and the status and the likelihood of occurrence in the study area. Species identified with a potential to occur in Table 4 are described in further detail below. Species of concern do not have any regulatory protection in Colorado, and impacts to these species will be minimized to the extent practicable using best management practices and avoidance measures.

Table 4:
State Listed Species and Their Likelihood of Occurrence Within the Project Area

Taxonomic Group	Common Name	Scientific Name	State Status	Likelihood of Occurrence within the Project Area ¹
Amphibians ²	Boreal Toad	<i>Bufo boreas</i>	SE	Unlikely to occur. Habitat includes mountain lakes, ponds, meadows, and wetlands in subalpine forests, which do not occur in the Project area. Adults often feed in meadows and forest openings near water but sometimes in drier forest habitats. This species habitat is exclusively in the mountains of Colorado to the west of the Project area and typically above 8,500 feet above mean sea level.
Birds ³	Burrowing Owl	<i>Athene cucularia</i>	ST	Moderate potential to occur in Project area. Burrowing Owls are known to utilize prairie dog colonies for habitat. Three potential prairie dog colonies were documented within the Project area (Figure 1).
	Least Tern	<i>Sterna antillarum</i>	SE	Unlikely to occur. Breeds in the southern and eastern portion of the state, generally in the La Junta–Lamar area outside the Project area. Habitat consists of sandy hills and rooftops large rivers in the great plains and the Atlantic coast.
	Lesser Prairie Chicken	<i>Tympanuchus pallidicinctus</i>	ST	Unlikely to occur. Occupies the grasslands of Texas, Oklahoma, New Mexico, Kansas, and southeastern Colorado, outside the Project area.
	Mexican Spotted Owl	<i>Strix occidentalis lucida</i>	ST	Unlikely to occur. Habitat consists of mature mixed-conifer, pine-oak, and riparian forest in canyon habitat. These habitat components are not present in the Project area.
	Plains Sharp-Tailed Grouse	<i>Tympanuchus phasianellus jamesii</i>	SE	Unlikely to occur. Occurs in native grassland habitats with shrub cover or grain fields that do not occur in or around the Project area.
	Piping Plover	<i>Charadrius melodus circumcinctus</i>	ST	Unlikely to occur. The study area is outside typical breeding and wintering distribution. Occurs in the Platte River watershed downstream in Nebraska.
	Southwestern Willow Flycatcher	<i>Empidonax traillii extimus</i>	SE	Unlikely to occur. The study area is outside typical distribution. Breeding distribution in Colorado is limited to the southwestern portion of the state in riparian forests.
	Whooping Crane	<i>Grus americana</i>	SE	Unlikely to occur. The study area is outside typical distribution. Occurs in the Platte River watershed downstream in Nebraska.

Table 4:
State Listed Species and Their Likelihood of Occurrence Within the Project Area

Taxonomic Group	Common Name	Scientific Name	State Status	Likelihood of Occurrence within the Project Area ¹
	Arkansas Darter	<i>Etheostoma Cragini</i>	ST	Unlikely to occur. The range of the species occurs within the Arkansas River drainage, outside of the Project area.
Fish ^{4,5}	Bonytail	<i>Gila elegans</i>	SE	Unlikely to occur. Does not occur east of the Continental Divide.
	Brassy Minnow	<i>Hybognathus hankinsoni</i>	ST	Moderate potential to occur in cool intermittent and perennial streams within the Project. This species occurs in in stream channels, pools, and small streams in the Lower South Platte River Basin. Its distribution is notoriously unpredictable but can be abundant where found.
	Colorado Pikeminnow	<i>Ptychocheilus lucius</i>	ST	Unlikely to occur. Does not occur east of the Continental Divide.
	Greenback Cutthroat Trout	<i>Oncorhynchus clarki stomias</i>	ST	Unlikely to occur. Prefers clear, cold gravelly headwater streams in mountainous regions, which do not exist within the Project area.
	Humpback Chub	<i>Gila cypha</i>	ST	Unlikely to occur. Does not occur east of the Continental Divide.
	Lake Chub	<i>Couesius plumbeus</i>	SE	Unlikely to occur. The species is confined to perennial waterbodies. This species prefers deep water with large rocks, which does not occur within the Project area.
	Northern Redbelly Dace	<i>Phoxinus eos</i>	SE	Unlikely to occur. In Colorado, known only to occur in the West Plum Creek drainage, outside of the Project area.
	Plains Minnow ⁶	<i>Hybognathus placitus</i>	SE	Moderate potential to occur in perennial and intermittent waters connected to the South Platte River intersected by the Project area. The South Platte River is a highly degraded and braided system with shallow, sand-filled channels; the preferred habitat of the species.
	Rio Grande Sucker	<i>Catostomus plebeius</i>	SE	Unlikely to occur. Not known to occur in the South Platte River drainage system.
	Razorback Sucker	<i>Xyrauchen texanus</i>	SE	Unlikely to occur. The species occurs in the Colorado River system, outside of the Project area.
	Southern Redbelly Dace	<i>Phoxinus erythrogaster</i>	SE	Unlikely to occur. In Colorado, known only to occur in the Upper Arkansas River, Fountain Creek, Chico Creek, Apishapa River, and Big Sandy Creek, outside of the Project area.
	Suckermouth Minnow ⁶	<i>Phenacobius mirabilis</i>	SE	Low potential to occur in streams with intermittent or perennial flow intersected by the Project area. This species prefers small to medium sized creeks and rivers in eastern Colorado.
	Mammals ⁷	Black-Footed Ferret	<i>Mustela nigripes</i>	SE
Gray Wolf		<i>Canis lupus</i>	SE	Unlikely to occur. This species is considered extirpated in Colorado.
Grizzly Bear		<i>Ursus arctos</i>	SE	Unlikely to occur. This species is considered extirpated in Colorado.
	Kit Fox	<i>Vulpes macrotis</i>	SE	Unlikely to occur. Range extends from Montrose to Grand Junction on the western slope of Colorado, not near the Project area.

Table 4:
State Listed Species and Their Likelihood of Occurrence Within the Project Area

Taxonomic Group	Common Name	Scientific Name	State Status	Likelihood of Occurrence within the Project Area ¹
	Lynx	<i>Lynx canadensis</i>	SE	Unlikely to occur. This species is been released in experimental populations in the mountains of Colorado. Individuals from this experimental population have been documented to disperse widely in Colorado and have even traveled out of state, but the species prefers areas covered in snow year round, which does not occur within the Project area.
	Preble's Meadow Jumping Mouse	<i>Zapus hudsonius preblei</i>	ST	Unlikely to occur. Project is located in the USFWS Preble's Meadow Jumping Mouse Block Clearance Zone. ⁸
	River Otter	<i>Lontra canadensis</i>	ST	Moderate potential to occur in riparian areas along the South Platte River.
	Wolverine	<i>Gulo</i>	SE	Unlikely to occur. Habitat includes tundra, taiga, boreal, and alpine biomes, which are not present in the Project area.

1 Potential for Occurrence: Unlikely—No species range overlap in the Project or unsuitable habitat; Low—species range overlaps with Project with marginally suitable habitat; Moderate—species range overlaps with Project with suitable habitat or species is known to occur in habitat similar to habitat in Project; High—suitable habitat is present in the Project or known populations exist in the Project; Present—species observed during field surveys.

2 Source: Hammerson (1999)

3 Source: Sibley (2014)

4 Source: Johnson (2007)

5 Source: Sullivan et al. (2009)

6 Source: Nico et al. (2017)

7 Source: Fitzgerald et al. (1994)

8 Source: USFWS (2010)

2.2.1.4.1 Burrowing Owl

Burrowing owls (ST), have suitable habitat in active and remnant black-tailed prairie dog colonies that intersect the Project area. Only one of three potential black-tailed prairie dog colonies were documented to be active in the Project area; however, burrows that could be used as burrowing owl habitat were documented in each mapped potential black-tailed prairie dog colony. Pre-construction surveys for burrowing owls according to CPW-recommended survey protocol would be conducted in these locations if construction occurs during the burrowing owl breeding season (March 15–October 31). If nesting owls are observed, the nesting location will be documented and the CPW-recommended seasonal 150-foot non-encroachment buffer will be implemented to minimize the potential for species harassment.

2.2.1.4.2 Plains Minnow, Suckermouth Minnow, and Brassy Minnow

Three fish species, plains minnow (SE), suckermouth minnow (SE), and brassy minnow (ST) have the potential to occur in perennial and intermittent waters intersected by the Project. Perennial and intermittent streams ((Brighton Ditch, Brantner Ditch, and the unnamed tributary to the South Platte River) in the Project area will be avoided. No impacts to these species are expected.

2.2.1.4.3 River Otter

River otters (ST) prefer riparian habitats along perennial river systems and are known to occur along the South Platte River. River otters use beaver dens and lodges, brush piles, and muskrat dens in secluded areas for natal dens, rearing young throughout the spring and summer months (Fitzgerald et al. 1994). The Project would avoid direct impacts to the river otter and impacts to potential river otter breeding habitat along the South Platte River and its associated riparian area including potential natal dens. No impacts to the South Platte River, the river otter, or its habitat is anticipated.

2.2.1.5 Migratory Birds

CPW shapefiles were consulted to identify any known potential Bald Eagle or Osprey nests located in or near the Project area. The closest documented Bald Eagle nest is located approximately 0.8 mile away from the Project area (CPW 201c). Table 5 lists 24 species of migratory birds that should be considered as part of an effects analysis for this Project area according to IPaC output (Attachment 2).

Table 5:
USFWS IPaC-Identified Migratory Birds Likely to Occur in the Project area

Common Name	Scientific Name	Season
American Bittern	<i>Botaurus lentiginosus</i>	Breeding
Bald Eagle	<i>Haliaeetus leucocephalus</i>	Year-round
Black Rosy-finch	<i>Leucosticte atrata</i>	Year-round
Brewer's Sparrow	<i>Spizella breweri</i>	Breeding
Burrowing Owl	<i>Athene cunicularia</i>	Breeding
Dickcissel	<i>Spiza Americana</i>	Breeding
Ferruginous Hawk	<i>Buteo regalis</i>	Year-round
Golden Eagle	<i>Aquila chrysaetos</i>	Year-round
Lark Bunting	<i>Calamospiza melanocorys</i>	Breeding
Lewis's Woodpecker	<i>Melanerpes lewis</i>	Breeding
Loggerhead Shrike	<i>Lanius ludovicianus</i>	Breeding
Long-billed Curlew	<i>Numenius americanus</i>	Breeding
Mountain Plover	<i>Charadrius montanus</i>	Breeding
Peregrine Falcon	<i>Falco peregrinus</i>	Breeding
Prairie Falcon	<i>Falco mexicanus</i>	Year-round
Red-headed Woodpecker	<i>Melanerpes erythrocephalus</i>	Breeding
Rufous Hummingbird	<i>Selasphorus rufus</i>	Migrating
Sage Thrasher	<i>Oreoscoptes montanus</i>	Breeding
Short-eared Owl	<i>Asio flammeus</i>	Wintering
Swainson's Hawk	<i>Buteo swainsoni</i>	Breeding
Virginia's Warbler	<i>Vermivora virginiae</i>	Breeding
Western Grebe	<i>Aechmophorus occidentalis</i>	Breeding
Williamson's Sapsucker	<i>Sphyrapicus thyrroides</i>	Breeding
Willow Flycatcher	<i>Empidonax traillii</i>	Breeding

2.2.1.6 Land Cover

The land cover for the Project area was determined through a desktop analysis of the National Land Cover Database (Fry et al 2011). The Project area lies within cover classes identified by the NLCD as cultivated cropland, hay/pasture, herbaceous, grasslands, woody and herbaceous wetlands, and developed and barren (Figure 2).

2.2.2 Field Survey Results

The field survey was completed on July 6 and 7, 2017. The following sections describe the results of this survey effort.

2.2.2.1 General Wildlife Resources

Biologists documented four of the nine general wildlife species identified as having potential to occur by CPW (Table 2) in the Project area including four black-tailed prairie dogs, one Great Blue Heron, five White Pelicans, and three wild turkeys. In addition, an eastern cottontail rabbit (*Sylvilagus floridanus*) was observed. Other avian species observed perched or flying in the Project area included Mallard (*Anas platyrhynchos*), American Crow (*Corvus brachyrhynchos*), Black-billed Magpies (*Picea hudsonia*), Red-wing Blackbird (*Agelaius phoeniceus*), Mourning Dove (*Zenaida macroura*), and Western Tanager, (*Piranga ludoviciana*). All of the bird species observed in the Project area are protected under the MBTA (USFWS 2013).

The mammals identified by CPW as having potential to occur in the Project area or identified during the survey are not restricted to the site and commonly have large home ranges. Rodent species are known to hibernate or become dormant for portions of the winter. Avian species may be migrants or residents of the Project area.

Activity in the Project area would temporarily displace wildlife and reduce available habitat for animals currently living in the Project area during active operations. Vegetation and preparation of work sites poses the greatest disruption to wildlife in the Project area. During vegetation clearing, a majority of individuals would move away from construction activities given the disruptive nature of these activities. Some individuals would either attempt to hide within the path of disturbance (e.g., small mammals or reptiles may attempt to burrow underground or remain motionless within the vegetation during clearing) or would be unable to relocate away from the disturbed area.

The Project is not expected to have significant impacts on migratory routes for avian resources. The Project is not within any known major avian migration corridors or stop-over sites, and would not impede flight for avian resources or prohibit stop-over in nearby areas. The Project may cause a minor temporary displacement in local food resources for carnivores as some small mammals and insects would be displaced or during construction. A slight decrease in available food for herbivores may also occur due to vegetation clearing.

Some species such as birds or ungulates would continue to use the Project area while project activities are underway. Noise and dust emissions during construction would also cause some wildlife to temporarily leave the Project area during construction. No long-term impacts to wildlife species are

expected by the Project. Permanent reclamation of the site will be reclaimed as two below-grade water storage reservoirs and a reclaimed upland meadow in the Project area. Native vegetation will be seeded and planted which will support wildlife species. Wildlife would be allowed to return to the Project area following mining operations. Overall wildlife and vegetation habitat is expected to improve compared to the habitat that currently exists. Available food for both herbivores and carnivores is expected to increase when the Project is completed because wildlife habitat and vegetation habitat is expected to improve.

2.2.2.2 Raptor Nest Survey Results

During the field surveys, two potential raptor nests were observed in the Project area (TM-UNK-01, TM-UNK-02) (Figure 1). The nests were not observed to be active during surveys. In addition, two Red-tailed Hawks were identified on several occasions flying over the Project area. Several large stands of deciduous trees with the potential to support raptor nests were observed throughout the Project area and within a 0.5 mile buffer of the Project area. The east side of the Project area in the riparian corridor along the South Platte River was noted to have a relatively high abundance of potential nesting sites

2.2.2.3 Listed Species—Habitat Suitability Assessment Results

All federally listed species in the USFWS IPaC summary were determined to be unlikely to occur in the desktop analysis (Table 2). Field surveys confirmed the information provided in Table 3. Desktop analysis determined that there was potential for five state-listed species to occur or to have suitable habitat in the Project area. These five species included burrowing owl (ST), brassy minnow (ST), plains minnow (SE), suckermouth minnow (SE), and river otter (ST). The field survey effort documented suitable habitat for all five of the state listed species.

2.2.2.4 General Vegetation Results

The field survey identified 47 species of native and introduced plants within the Project area. These plant species are listed in Table 6.

Table 6:
Vegetation Observed in the Project Area, July 6 and 7, 2017

Common Name	Scientific Name	Notes
Russian knapweed	<i>Acroptilon repens</i>	Listed noxious weed
Crested wheatgrass	<i>Agropyron cristatum</i>	Introduced herbaceous species
Desert madwort	<i>Alyssum desertorum</i>	Introduced herbaceous species
Common ragweed	<i>Ambrosia artemisiifolia</i>	Native herbaceous species
Perennial ragweed	<i>Ambrosia psilostachya</i>	Native herbaceous species
Pricklypoppy	<i>Argemone hispida</i>	Native herbaceous species
Smooth brome	<i>Bromus inermis</i>	Introduced herbaceous species
Downy brome	<i>Bromus tectorum</i>	Listed noxious weed
Plumeless thistle	<i>Carduus acanthoides</i>	Listed Noxious weed
Musk thistle	<i>Carduus nutans</i>	Listed Noxious weed
Diffuse knapweed	<i>Centaurea diffusa</i>	Listed noxious weed
Lambs quarters	<i>Chenopodium album</i>	Introduced herbaceous species
Oakleaf goosefoot	<i>Chenopodium glaucum</i>	Introduced herbaceous species
Canada thistle	<i>Cirsium arvense</i>	Listed noxious weed

Table 6:
Vegetation Observed in the Project Area, July 6 and 7, 2017

Common Name	Scientific Name	Notes
Russian knapweed	<i>Acroptilon repens</i>	Listed noxious weed
Field bindweed	<i>Convolvulus arvensis</i>	Listed noxious weed
Horseweed	<i>Conyza canadensis</i>	Introduced herbaceous species
Barnyard grass	<i>Echinochola crus-gali</i>	Introduced grass
Russian olive	<i>Elaeagnus angustifolia</i>	Listed noxious weed
Slender wheatgrass	<i>Elymus trachycaulus</i>	Native herbaceous species
Annual wheatgrass	<i>Eremopyrum triticeum</i>	Introduced grass
Leafy spurge	<i>Euphorbia escula</i>	Listed noxious weed
Broomweed	<i>Gutierrezia sarothrae</i>	Native shrub
Hairy false goldeneaster	<i>Heterotheca villosa</i>	Native herbaceous species
Foxtail barley	<i>Hordeum jubatum</i>	Native herbaceous species
Baltic rush	<i>Juncus balticus</i>	Native herbaceous species
Kochia	<i>Kochia scoparia</i>	Native herbaceous species
Prickly lettuce	<i>Lactuca serriola</i>	Introduced herbaceous species
Clasping pepperweed	<i>Lepidium perfoliatum</i>	Introduced herbaceous species
Whitetop	<i>Lepidium draba</i>	Introduced herbaceous species
White horehound	<i>Marrubium vulgare</i>	Introduced herbaceous species
Scotch cottonthistle	<i>Onopordum acanthium</i>	Introduced herbaceous species
Reed canarygrass	<i>Phalaris arundinaceae</i>	Introduced herbaceous species
Annual rabbitsfoot grass	<i>Polypogon monspeliensis</i>	Introduced herbaceous species
Plains cottonwood	<i>Populus deltoides ssp. Monolifera</i>	Native tree
Curly dock	<i>Rumex crispus</i>	Introduced herbaceous species
Peach-leaf willow	<i>Salix amygdaloides</i>	Native tree
Coyote willow	<i>Salix exigua</i>	Native tree
Hardstem bulrush	<i>Schoenoplectus acutus</i>	Native herbaceous species
Common threesquare	<i>Schoenoplectus pungens</i>	Native herbaceous species
Tall tumbled mustard	<i>Sisymbrium altissimum</i>	Introduced herbaceous species
Buffalo-bur	<i>Solanum rostratum</i>	Introduced herbaceous species
Tamarisk	<i>Tamarix chinensis</i>	Introduced herbaceous species
Dandelion	<i>Taraxacum officinale</i>	Introduced herbaceous species
Narrowleaf cattail	<i>Typha angustifolia</i>	Introduced herbaceous species
Broad-leaf cattail	<i>Typha latifolia</i>	Introduced herbaceous species
American elm	<i>Ulmus americana</i>	Native tree
American speedwell	<i>Veronica americana</i>	Native herbaceous species

Seven main cover types were observed during the field survey and are shown in Figure 3: forested riparian floodplain, mowed grassland, fallow corn field, invasive annual grassland, invasive annual/biannual forbland, and riparian/ herbaceous wetland. Desktop analysis indicated that shortgrass prairie would be the dominant native ecosystem type in the Project area under natural conditions. No

areas with undisturbed shortgrass prairie were observed during the field survey. Elevation contours are shown in Figure 3 to illustrate the vegetation in relation to existing topography.

Table 7 lists each cover type, the dominant species present in each cover type, and the approximate height of the vegetation for each cover type.

Table 7:
Cover Type and Percent of Project area

Cover Type	Total Acreage in Study Area	Percent of Study Area	Dominant Species Present (Approximate Height of Species in Cover Type)
Forested Riparian floodplain	10.1	2.5	Plains cottonwood, peach-leaf willow, coyote willow (10-50 feet tall)
Mowed grassland	2.9	0.5	Poa sp. (3–6 inches tall)
Fallow corn field	30.3	12	Maize sp. (6–12 inches tall)
Invasive annual grassland	105.5	42	Slender wheatgrass, annual wheatgrass, smooth brome, downy brome, crested wheatgrass (6–36 inches tall)
Invasive annual/biannual forbland	92.2	36	Kochia, field bindweed, curly dock, lambs quarters (6–48 inches tall)
Riparian/herbaceous wetland	12.1	5	Narrowleaf cattail, broadleaf cattail, hardstem bulrush (3–8 feet tall)
Developed	4.9	2	N/A

2.2.2.5 Relationship of Present Vegetation Types to Soil Types

Soil types from the NRCS database (NRCS 2017) are shown in Figure 4. Table 8 describes the vegetation for each soil type denoted on the attached map.

Table 8:
Relationship Between Vegetation Types and Soils Types

NRCS Soil Type	Acreage in Project area	Percent of cover in Project area	Cover type
Loamy alluvial land, gravelly substratum	7.6	2.9	Fallow Corn Field
	4.6	1.8	Forested Riparian Floodplain
	71.0	27.5	Invasive Annual / Biannual Forbland
	51.7	20.0	Invasive Annual Grassland
	0.1	0.1	Mowed Grassland
	3.0	1.2	Riparian / Herbaceous Wetland
Loamy alluvial land, moderately wet	16.7	6.5	Fallow Corn Field
	17.0	6.6	Invasive Annual / Biannual Forbland
	39.8	15.4	Invasive Annual Grassland
	2.3	0.9	Mowed Grassland
	1.6	0.6	Riparian / Herbaceous Wetland
Sandy alluvial land	6.0	2.3	Fallow Corn Field
	4.2	1.6	Forested Riparian Floodplain
	3.9	1.5	Invasive Annual / Biannual Forbland

Table 8:
Relationship Between Vegetation Types and Soils Types

NRCS Soil Type	Acreage in Project area	Percent of cover in Project area	Cover type
	1.1	0.4	Invasive Annual Grassland
	0.5	0.2	Mowed Grassland
	1.0	0.4	Riparian / Herbaceous Wetland
Water	1.0	0.4	Forested Riparian Floodplain
	4.8	1.9	Riparian / Herbaceous Wetland
	4.5	1.8	Invasive Annual / Biannual Forbland
	12.7	4.9	Invasive Annual Grassland
	1.6	0.6	Riparian / Herbaceous Wetland

2.2.2.6 Listed Noxious Weed Inventory Results

Table 9 lists the seven species of state listed noxious weeds that were observed in the Project area during the field surveys. Four list B species were identified in the Project area and two List C noxious weeds were identified. Large infestations of downy brome were identified throughout the Project area.

Table 9:
Noxious Weed Species Observed During Field Surveys

Weed List (A, B, or C) ¹	Common Name	Scientific Name	State Management Policy
List A Weeds	None observed.	—	—
List B Weeds	Scotch cottonthistle	<i>Onopordum acanthium</i>	Contain: Figure 20.01
	Russian-olive	<i>Elaeagnus angustifolia</i>	Eliminate by 2022
	Musk thistle	<i>Carduus nutans</i>	Eliminate by 2022
	Russian knapweed	<i>Acroptilon repens</i>	Contain: Figure 14.01
List C Weeds	Downy brome	<i>Bromus tectorum</i>	Control up to landowners' discretion
	Field bindweed	<i>Convolvulus arvensis</i>	Control up to landowners' discretion

Source: CDA (2017b)

¹ List B: the state of Colorado and Adams County have developed noxious weed management plans to stop the continued spread of these species. Figure numbers refer to containment maps included in the 2015 Noxious Weed Act—Rules and Regulation Containment Figures by Counties (CDA 2017b.)

List C: widespread and well-established noxious weed species for which control is recommended but not required by the state.

3. Conclusions

This biological resources assessment evaluated major categories of resources including special status species, general wildlife and vegetation, and state listed noxious weeds. The special status species included assessment of federal and state listed species, raptors, and migratory birds.

3.1 Federal and State Listed Species

No federal listed species were determined to have suitable habitat in the Project area. Five state-listed species were determined to have suitable habitat and potential to occur within the Project area including burrowing owl (ST), brassy minnow (ST), plains minnow (SE), suckermouth minnow (SE), and river otter (ST). These species are protected against take under CRS 33-2-105. Species-specific mitigation measures for each species are described in Section 2.2.1.4 and are summarized in Table 10 below. All state threatened and state endangered species within the Project area will be protected against take under CRS 33-2-105.

Table 10:
Mitigation Measures for State-Listed Species With Potential To Occur in the Project Area

Common Name	Scientific Name (Release)	Status	Mitigation Measures
Burrowing Owl	<i>Athene cunicularia</i>	ST	Pre-construction surveys for burrowing owls according to CPW-recommended survey protocol would be conducted in these locations if construction occurs during the burrowing owl breeding season (March 15–October 31). If nesting owls are observed, the nesting location will be documented and the CPW-recommended seasonal 150-foot non-encroachment buffer will be implemented to minimize the potential for species harassment
Brassy minnow	<i>Hybognathus hankinsoni</i>	ST	These have potential to occur in perennial and intermittent waters intersected by the Project. Perennial and intermittent streams in the Project area will be avoided. No impacts to these species are expected.
Plains Minnow	<i>Hybognathus placitus</i>	SE	
Suckermouth Minnow	<i>Phenacobius mirabilis</i>	SE	
River Otter	<i>Lontra canadensis</i>	ST	The Project would avoid direct impacts to the river otter and impacts to potential river otter breeding habitat along the South Platte River and its associated riparian area including potential natal dens for the river otter. No impacts to the South Platte River, the river otter, or its habitat is anticipated.

3.2 Migratory Birds

Two potential raptor nests were observed in the Project area during the raptor nest survey. Neither were confirmed to be active at the time of the survey. Nest surveys will be completed prior to the first year of construction during the winter months prior to leaf-out of trees in the Project. If an active raptor nest is encountered during pre-construction surveys, AI will follow the recommendations of CPW’s “Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors” (CPW 2008) Construction disturbance is not expected to affect raptors to the extent that injury, loss of productivity, or nest abandonment occurs. All migratory birds within the Project area will be protected against take under the MBTA.

3.3 Vegetation Resources

The field survey identified 47 species of native and introduced plants within the Project area. Seven main cover types were observed during the field survey and are shown in Figure 3: forested riparian floodplain, mowed grassland, fallow corn field, invasive annual grassland, invasive annual/biannual forbland, and

riparian/ herbaceous wetland. Shortgrass and prairie would be the dominant native ecosystem type in the Project area under natural conditions, which were not observed during the field survey.

3.4 Listed Noxious Weeds

Four List B species were identified in the Project area and two List C noxious weeds were identified. No large infestations of noxious weeds were identified. Adams County has listed Russian olive and musk thistle for eradication by 2022. Downy brome, in particular, was observed in several large dense patches. Tetra Tech recommends consultation with the Adams County noxious weed coordinator to determine requirements for control of noxious weeds prior to construction.

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Figures








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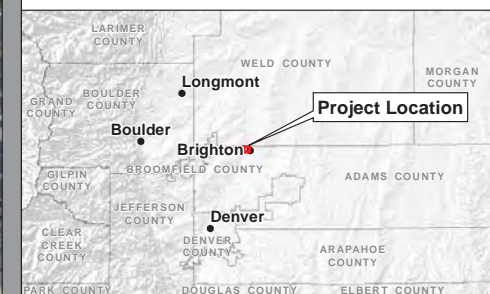
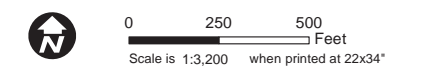
Tuscon South Mine Project

Figure 1 Wildlife

Adams County, CO
September 2018

Legend

-  Project Area
- Field Mapped Features**
 -  Potential Nest
 -  Potential Prairie Dog Colony
- (NHD) Hydrology**
 -  Perennial Stream
 -  Intermittent Stream
 -  Canal/Ditch
- Transportation**
 -  State Highway

















Tucson South Mine Project




Figure 2 Desktop Analysis - Land Cover Results


Adams County, CO
September 2018

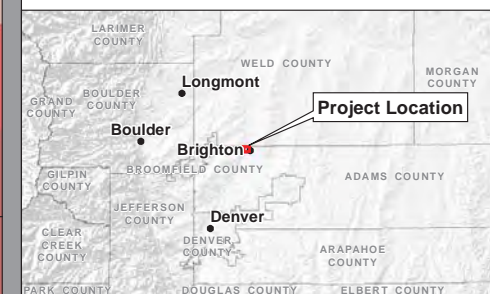
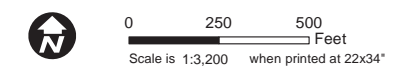
Legend

-  Project Area

- NLCD Land Cover**
-  Open Water
-  Developed, Open Space
-  Developed, Low Intensity
-  Developed, Medium Intensity
-  Developed, High Intensity
-  Barren Land (Rock/Sand/Clay)
-  Deciduous Forest
-  Evergreen Forest
-  Grassland/Herbaceous
-  Pasture/Hay
-  Cultivated Crops
-  Woody Wetlands
-  Emergent Herbaceous Wetlands

- (NHD) Hydrology**
-  Perennial Stream
-  Intermittent Stream
-  Canal/Ditch

- Transportation**
-  State Highway



Tuscon South Mine Project







Figure 3 Survey Results - Vegetation

Adams County, CO
September 2018

Legend

-  Project Area
-  USGS 10-foot Elevation Contour

Vegetation Communities

-  Forested Riparian Floodplain
-  Mowed Grassland
-  Fallow Corn Field
-  Invasive Annual Grassland
-  Invasive Annual / Biannual Forbland
-  Riparian / Herbaceous Wetland

Hydrology

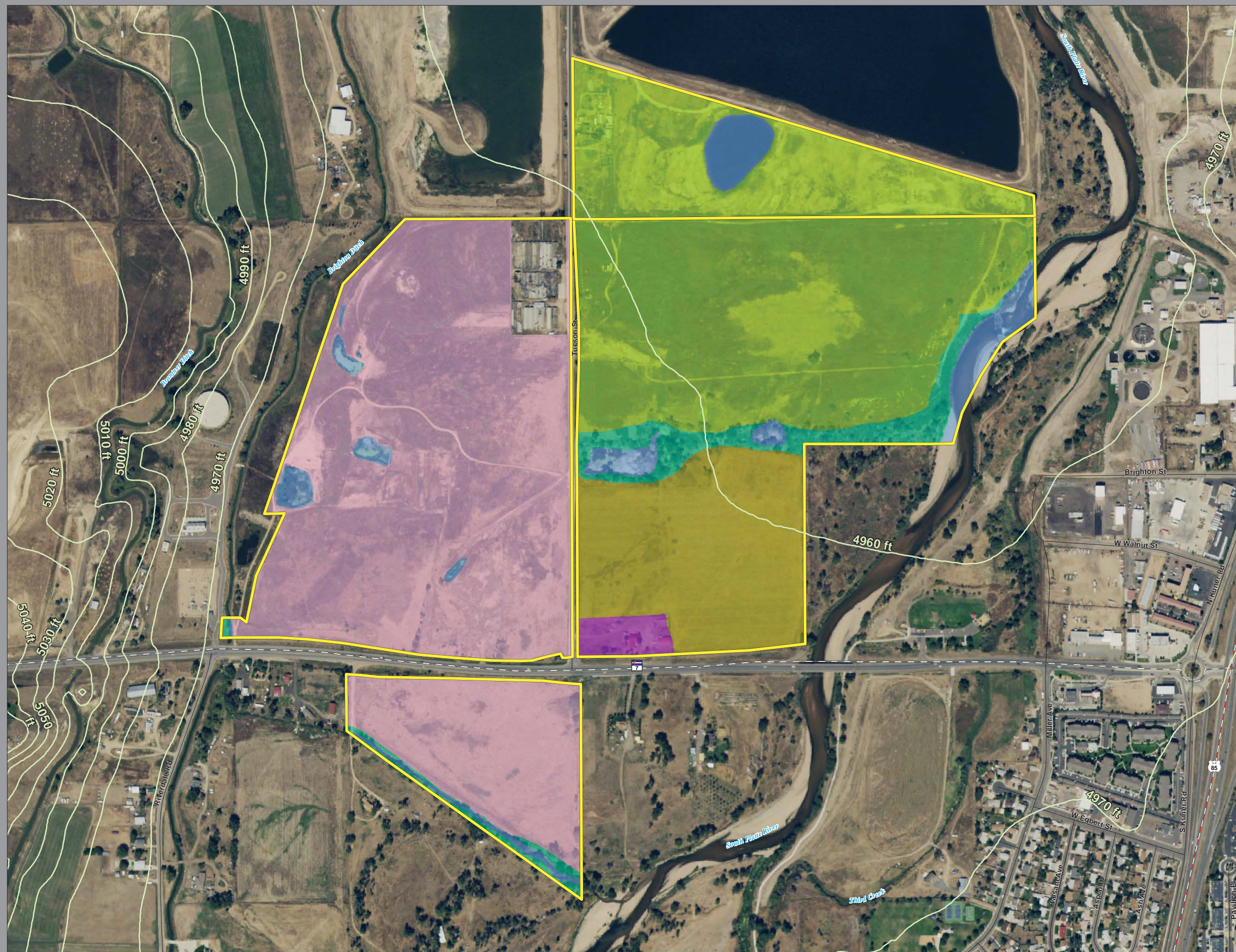
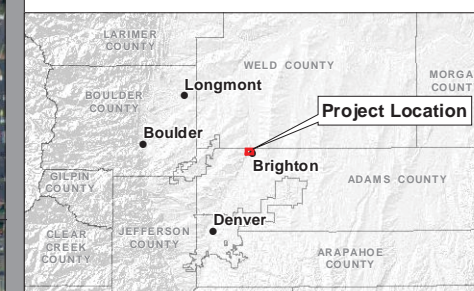
-  Perennial Stream
-  Intermittent Stream
-  Canal/Ditch

Transportation

-  State Highway
-  Local Road



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Scale is 1:3,200 when printed at 22x34"



Tuscon South Mine Project

Figure 4 NRCS Soil Types

Adams County, CO
September 2018

Legend

Project Area

Soil Types

- Loamy alluvial land, gravelly substratum
- Loamy alluvial land, moderately wet
- Sandy alluvial land
- Terrace escarpments
- Water
- Wet alluvial land

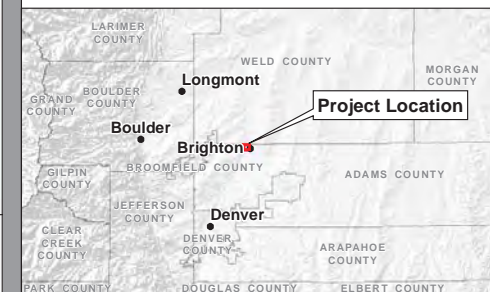
(NHD) Hydrology

- Perennial Stream
- Intermittent Stream
- Canal/Ditch

Transportation

- State Highway

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Attachment 1: Adams County Weed Plan

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STATE OF COLORADO)
COUNTY OF ADAMS)

At a regular meeting of the Board of County Commissioners for Adams County, Colorado, held at the Administration Building in Brighton, Colorado on the 5th day of May, 2008 there were present:

Alice J. Nichol	_____	Chairman
Larry W. Pace	_____	Commissioner
W.R. Fischer	_____	Commissioner
Hal B. Warren	_____	County Attorney
Kristen Hood, Deputy	_____	Clerk of the Board

when the following proceedings, among others were held and done, to-wit:

RESOLUTION ADOPTING REVISIONS TO THE ADAMS COUNTY NOXIOUS WEED MANAGEMENT PLAN

WHEREAS, the Board of County Commissioners, County of Adams, State of Colorado, is a local governing body responsible for implementation of the Colorado Noxious Weed Act; and,

WHEREAS, the Colorado Noxious Weed Act, C.R.S. § 35-5.5-107(4)(a) et seq., provides that the management plan shall be reviewed at regular intervals but not less often than once every three years by the local advisory board; and,

WHEREAS, a revised plan was developed by the Department of Parks and Community Resources and the Adams County Weed Advisory Board consistent with the Act; and,

WHEREAS, the Adams County Noxious Weed Management Plan is amended to revise sections that are in conflict with current law; and,

WHEREAS, the Board of County Commissioners have the authority to approve, modify, or reject any amendments made to the weed management plan,

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of the County of Adams, State of Colorado, that the Adams County Noxious Weed Management Plan be amended as follows.

1. Appendix A will include Colorado State List A, B, and C noxious weeds, and specific management objectives.
2. Appendix B will include the Adams County Enforcement Policy.
3. Adams County Noxious Weed “B” List species include: Japanese Knotweed, *Polygonum cuspidatum* and Common Reed, *Phragmites australis*. All previous Adams County designated noxious weeds, and their management objectives have been assimilated by new state weed laws.

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Nichol _____ Aye
Pace _____ Aye
Fischer _____ Aye
Commissioners

STATE OF COLORADO)
County of Adams)

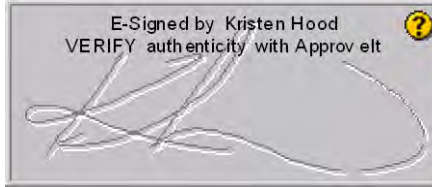
I, Karen Long, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 5th day of May, A.D. 2008.

County Clerk and ex-officio Clerk of the Board of County Commissioners
Karen Long:



By:



Deputy

Adams County Noxious Weed Management Plan

Revised March 2008

Adams County Noxious Weed Management Plan

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Adams County

2008 Noxious Weed Management Plan

I. Introduction

A. Purpose of This Plan

The purpose of this Adams County Noxious Weed Management Plan is to provide guidelines for effectively managing designated noxious weeds, which constitute a present threat to the natural resources of lands in unincorporated Adams County. This plan implements the mandates of the Colorado Noxious Weed Act (also referred to herein as the Act) and 8CCR1206-2, revisions to the Act (also referred to herein as part of the Act). Specific management practices, directed by the Act are integrated in the County plan. Educational outreach, preventive measures, and good stewardship components are also included. It is this plan's intent to incorporate those options that are the least environmentally damaging, yet practical, timely, and economically feasible.

B. Enactment Authority

The Colorado Noxious Weed Act (C.R.S. §35-5.5-101, *et seq.*) was signed into state law in 1990, amended in 1996 and revised in 2003. The Act states that certain noxious weeds pose a threat to the natural resources of Colorado. It also states that it is the duty of all persons to use integrated methods to manage noxious weeds if the same are likely to be materially damaging to the land of neighboring landowners. It further directs that the Board of County Commissioners of each county in the state shall adopt a Noxious Weed Management Plan for all unincorporated land within the county.

The Act directs the Board of County Commissioners to appoint a local advisory board, whose power and duties are threefold:

1. Develop recommended management criteria and integrated weed management plans for managing designated noxious weeds;
2. Declare noxious weeds and any state noxious weeds designated by rule to be subject to integrated management; and
3. Recommend to the Board of County Commissioners that certain landowners be required to submit integrated weed management plans for managing designated noxious weeds on their properties.

The jurisdictional area of the Adams County Board of Commissioners is all of the unincorporated lands within the County. This plan shall be referred to as the Adams County Noxious Weed Management Plan, or the County Management Plan (CMP). It was developed by the Adams County Weed Advisory Board (also referred to herein as County Advisory Board).

C. Jurisdiction and Scope of Plan

This plan shall apply to all subject lands within Adams County. It does not preclude the County from entering into intergovernmental agreements with other governmental entities towards managing noxious weeds under the Colorado Noxious Weed Act. The Adams County Weed Office (referred to herein as the Weed Office) is aware that the Federal Noxious Weed Act (1974), as amended by Section 15 (management

of Undesirable plants on Federal Lands (1990)), directs federal agencies to have an office or person trained to coordinate a noxious weed management program, to adequately fund the program, to implement cooperative agreements and to conduct integrated weed management. It also directs that such agencies manage on Federal lands those designated noxious weeds on Federal lands within the county.

The Weed Office recognizes that a Memorandum of Agreement regarding noxious weed management was signed in Colorado in 1996 among 13 federal and state agencies with land management and natural resource protection responsibilities.

D. Definitions

The following definitions shall apply to terms used in this plan:

1. **“Act”**: the Colorado Noxious Weed Act, Article 5.5 of Title 35, C.R.S. § 35-5.5-101, *et seq.*, as amended.
2. **“CMP”**: the Adams County Noxious Weed Management Plan, and as further defined under “Management Plan” below.
3. **“County”**: the unincorporated areas of the County of Adams (Adams County) which are owned and managed by Adams County.
4. **“County Advisory Board”**: the individuals appointed by the Board of County Commissioners, Adams County, to serve on the Adams County Weed Advisory Board and advise the County on matters of management of noxious weeds.
5. **“IMP”**: an individual noxious weed management plan, as further defined under “Management Plan” below.
6. **“Infestation”**: to have overrun or inhabit, so as to be harmful or bothersome.
7. **“Integrated Management”**: the planning and implementation of a coordinated program utilizing a variety of methods for managing noxious weeds, the purpose of which is to achieve desirable plant communities. Such methods may include but are not limited to education, preventive measures, good stewardship, and the following techniques:
 - (a) **“Biological management”**: which means the use of an organism to disrupt the growth of noxious weeds.
 - (b) **“Chemical management”**: which means the use of herbicides or plant growth regulators to disrupt the growth of noxious weeds.
 - (c) **“Cultural management”**: which means methodologies or management practices that favor the growth of desirable plants over noxious weeds, including maintaining an optimum fertility and plant moisture status in an area, planting at optimum density and spatial arrangement in an area and planting species most suited to an area.

(d) **“Mechanical management”**: which means methodologies or management practices that physically disrupt plant growth, including tilling, mowing, burning, flooding, mulching, hand-pulling, hoeing and grazing.

8. **“Landowner”**: any owner of record of federal, tribal, state, county, municipal or private land.

9. **“Local advisory board”**: The Adams County Noxious Weed Management Advisory Board are those individuals appointed by the Adams County Board of Commissioners to advise on matters of noxious weed management.

10. **“Local governing body”**: The Adams County Board of Commissions.

11. **“Local Noxious Weed”**: any plant of local importance which has been declared a noxious weed by the Commissioners.

12. **“Management”**: any activity that prevents a plant from establishing, reproducing, or dispersing itself.

13. **“Management objective”**: means the specific, desired result of integrated management efforts and includes:

(a) **“Eradication”**: which means reducing the reproductive success of a noxious weed species or specified noxious weed population in largely un-infested regions to zero and permanently eliminating the species or population within a specified period of time. Once all specified weed populations are eliminated or prevented from reproducing, intensive efforts continue until the existing seed bank is exhausted.

(b) **“Containment”**: which means maintaining an intensively managed buffer zone that separates infested regions, where suppression activities prevail, from largely un-infested regions, where eradication activities prevail.

(c) **“Suppression”**: which means reducing the vigor of noxious weed populations within an infested region, decreasing the propensity of noxious weed species to spread to surrounding lands, and mitigating the negative effects of noxious weed populations on infested lands. Suppression efforts may employ a wide variety of integrated management techniques.

(d) **“Restoration”**: which means the removal of noxious weed species and reestablishment of desirable plant communities on lands of significant environmental or agricultural value in order to help restore or maintain said value.

14. **“Management Plan”**: a noxious weed management plan developed by any person, or the Local Advisory Board, using integrated management. The “County Management Plan” (CMP, or this plan) shall refer to the integrated management plan adopted by the County Advisory Board for the subject lands. An “Individual Management Plan” (IMP) shall refer to an integrated management plan for a specific property or group of properties as submitted by a landowner(s), and approved by the County Advisory Board, or its designated agent.

15. **“Noxious Weed”**: an alien plant or parts of an alien plant that has been designated by rule as being noxious or has been declared a noxious weed by the Colorado Agriculture Commissioner, or Adams County Board of Commissioners, and meets one or more of the following additional criteria:

(a) Aggressively invades or is detrimental to economic crops or native plant communities;

(b) Is poisonous to livestock;

(c) Is a carrier of detrimental insects, diseases, or parasites;

The direct or indirect effect of the presence of this plant is detrimental to the environmentally sound management of natural or agricultural ecosystems.

16. “Person” or “Occupant”: an individual, partnership, corporation, association, or federal, state, or local government or agency owning, occupying, or controlling any land, easement, or right-of-way, including but not limited to any city, county, state, or federally owned and controlled highway, drainage, or irrigation ditch, spoil bank, borrow pit, gas and oil pipeline, high voltage electrical transmission line, or right-of-way for a canal or lateral.

17. “Weed Supervisor”: the agent or employee designated by the Board of County Commissioners to carry out the Noxious Weed Management Plan for Adams County.

II. Designation of Noxious Weeds

A. State-Listed Noxious Weeds

State noxious weed list and rules and regulations under the Act are developed by the Commissioner of the Colorado Department of Agriculture (CDA). The most recent changes made to the Act pertain to the classification of noxious weeds into one of several categories. The categories include the A, B, and C Lists. List A: “Rare noxious weed species that are subject to eradication wherever detected statewide in order to protect neighboring lands and the state as a whole”. The Weed Office will monitor and comply with any amendments to the rules and regulations. Any weeds designated by the Colorado Noxious Weed Act for eradication containment, or suppression are automatically included in the Adams County Weed Management Plan. The Act is subject to continuous revision and the Adams County Weed Plan will be updated no less than every three years. See Appendix B for the Rules Pertaining to the Administration and Enforcement of the Colorado Noxious Weed Act.

1. State of Colorado A List Noxious Weeds

African rue, (*Peganum harmala*)
Camelthorn, (*Alhaji pseudalhagi*)
Common crupina, (*Crupina vulgaris*)
Cypress spurge, (*Euphorbia cyparissias*)
Dyer’s woad, (*Isatis tinctoria*)
Giant salvinia, (*Salvinia molesta*)
Hydrilla, (*Hydrilla verticillata*)
Meadow knapweed, (*Centaurea pratensis*)
Mediterranean sage, (*Salvia aethiopsis*)
Medusahead, (*Taeniatherum caput-medusae*)
Myrtle spurge, (*Euphorbia myrsinites*)
Orange hawkweed, (*Hieracium aurantiacum*)
Purple loosestrife, (*Lythrum salicaria*)
Rush Skeletonweed, (*Chondrilla juncea*)
Sericea lespedeza, (*Lespedeza cuneata*)
Squarrose knapweed, (*Centaurea virgata*)

Tansy ragwort, (*Senecio jacobaea*)
Yellow starthistle, (*Centaurea solstitialis*)

2. State of Colorado B List Noxious Weed Species

Absinth wormwood, (*Artemisia absinthium*)
Black henbane, (*Hyoscyamus niger*)
Bouncingbet, (*Saponaria officinalis*)
Bull thistle, (*Cirsium vulgare*)
Canada thistle, (*Cirsium arvense*)
Chinese clematis, (*Clematis orientalis*)
Common tansy, (*Tanacetum vulgare*)
Common teasel, (*Dipsacus fullonum*)
Corn chamomile, (*Anthemis arvensis*)
Cutleaf teasel, (*Dipsacus laciniatus*)
Dalmatian toadflax, broad-leaved (*Linaria dalmatica*)
Dalmatian toadflax, narrow-leaved (*Linaria genistifolia*)
Dame's rocket, (*Hesperis matronalis*)
Diffuse knapweed, (*Centaurea diffusa*)
Eurasian water milfoil, (*Myriophyllum spicatum*)
Hoary cress, (*Cardaria draba*)
Houndstongue, (*Cynoglossum officinale*)
Leafy spurge, (*Euphorbia esula*)
Mayweed chamomile, (*Anthemis cotula*)
Moth mullein, (*Verbascum blattaria*)
Musk thistle, (*Carduus nutans*)
Oxeye daisy, (*Chrysanthemum leucanthemum*)
Perennial pepperweed, (*Lepidium latifolium*)
Plumless thistle, (*Carduus acanthoides*)
Quackgrass, (*Elytrigia repens*)
Redstem filaree, (*Erodium cicutarium*)
Russian knapweed, (*Acroptilon repens*)
Russian-olive, (*Elaeagnus angustifolia*)
Salt cedar, (*Tamarix chinensis*, *T. parviflora*, and *T. ramosissima*)
Scentless chamomile, (*Matricaria perforate*)
Scotch thistle, (*Onopordum acanthium*)
Scotch thistle, (*Onopordum tauricum*)
Spotted knapweed, (*Centaurea maculosa*)
Spurred anoda, (*Anoda cristata*)
Sulfer cinquefoil, (*Potentilla recta*)
Venice mallow, (*Hibiscus trionum*)
Wild caraway, (*Carum carvi*)
Yellow nutsedge, (*Cyperus esculentus*)
Yellow toadflax, (*Linaria vulgaris*)

3. State of Colorado C List Noxious Weeds

Chicory (*Cichorium intybus*)
Common burdock (*Arctium minus*)
Common mullein (*Verbascum thapsus*)
Common St. Johnswort (*Hypericum perforatum*)
Downy brome (*Bromus tectorum*)
Field bindweed (*Convolvulus arvensis*)
Halogeton (*Halogeton glomeratus*)
Johnsongrass (*Sorghum halepense*)
Jointed goatgrass (*Aegilops cylindrica*)
Perennial sowthistle (*Sonchus arvensis*)
Poison hemlock (*Conium maculatum*)
Puncturevine (*Tribulus terrestris*)
Velvetleaf (*Abutilon theophrasti*)
Wild proso millet (*Panicum miliaceum*)

B. County Designations

The law defines noxious weeds as plant species that are not indigenous (native) to the state of Colorado and meet at least one of several criteria regarding their negative impacts upon crops, native plant communities, livestock, and the management of natural or agricultural systems. This definition applies to species listed by both state and local governing bodies. A local governing body may also adopt eradication, containment, or suppression standards that are more stringent than the standards adopted by the Colorado Department of Agriculture Commissioner. Any species subject to designation require a public hearing before the County Commissioners prior to being granted noxious status. All impacted landowners must be notified.

1. County Designated B List species:
 - Japanese knotweed, (*Polygonum cupidatum*)
 - Common Reed, (*Phragmites australis*)

III. Objectives and Goals

A. Objectives

The objectives of this CMP are to:

1. Develop and implement integrated management programs for noxious weeds on County owned open space properties, easements and Rights-of-way.
2. Continue and improve educational programs that will effectively communicate noxious weed impacts and management methods.
3. Offer to provide landowners/occupants with technical support in establishing their I.M.Ps.
4. Work with state and federal agencies towards establishing effective integrated noxious weed management programs on their properties.
5. Outline processes for enforcing control of noxious weeds on private and public properties.
6. Select control methods according to 8 CCR1206-2 for A, B and C list species and for non-listed weeds select control methods that are practical, economically reasonable and least environmentally damaging.

B. Goals

1. Educate landowners/occupants and county employees on weed awareness, prevention, identification, containment and eradication strategies consistent with state statutes.
2. Concentrate on early detection and control of new noxious weed infestations.
3. Maintain a current noxious weed infestation map.
4. Develop and coordinate with Natural Resource Analyst, integrated weed management plans for open space properties, and easements and evaluate results annually.
5. Establish contact with landowners/occupants who have noxious weed infestations.
6. Protect native ecosystems from degradation by noxious weed infestations.
7. Work pro-actively with federal, state and local agencies, to manage noxious weeds on a regional scale.
8. Monitor county right-of-ways for new invaders and to evaluate right of way maintenance needs.
9. Maintain application, records and training requirements for seasonal staff.

IV.

Plan Components

A. Prevention Measures

Preventive control involves use of measures that will prevent the introduction or establishment of noxious weeds into areas not currently infested with noxious weeds. Prevention also includes the eradication of small, new infestations. These measures usually are the most practical and cost-effective means of integrated weed management.

Preventive measures that have applicability to the subject lands are: 1) using weed-free seed and mulch, 2) promoting the Colorado Weed Free Hay and Forage program, 3) prioritizing weed management areas along routes of entry and dispersal, and 4) monitoring noxious weed infestations in bordering counties.

With regard to measure number 3, the Weed Inspector and Public Works Department will control noxious weeds on County rights-of-way from May through October. Public education programs will emphasize weed infestation prevention. Sites found to have small infestations of a new, uncommon noxious weed will be given high priority for management purposes. A coordinated control effort with private landowners will be organized, where applicable. The Colorado Department of Transportation, railroad and ditch companies, and the Rocky Mountain Arsenal will be contacted. They will be encouraged to prevent noxious weed infestations, and to manage and prevent the spread of existing infestations.

B. Educational Programs

1. Education of the public is a key component of integrated weed management. Emphasis will be made on continuing and expanding educational noxious weed programs, such as the following:
2. Timely media articles concerned with noxious weed identification and management. Emphasis will be made of the alien origin of noxious weeds and the consequences of not managing them.
3. Via the media and seminars, offer the assistance of the County Weed and Cooperative Extension offices in weed management and IMP matters.
4. Conduct landowner/occupant noxious weed management seminars or talks.
5. Distribute educational brochures and field visitor's questions at local fairs and events.

6. Conduct noxious weed identification, management, and awareness seminars with county parks and public works personnel.
7. Utilize Extension Fact Sheets when possible. Prepare informational brochures on integrated noxious weed management for the public. Make herbicide labels available at public and educational events.
8. Initiate and conduct test plots on integrated noxious weed management. Hold field days addressing same.
9. Provide training for seasonal applicators.

C. Mapping

Mapping is a valuable tool in integrated weed management. As such, the Weed Inspector will establish and maintain visual maps of past and current infestations of noxious weeds on subject land. From these, a graphic representation of weed management progress and needs will be evident.

The primary goal of mapping is to record the noxious weed species present, the area infested, density of the infestation, soil types, groundwater depth, and other site factors pertinent to managing the infestation successfully.

D. Intergovernmental Agreements and Contracts

Intergovernmental Agreements (IGAs) and contracts are useful tools towards more effective noxious weed management among agencies and governments. Through cooperation, more is understood and more is done. Towards this end, the Weed Inspector will contact certain entities concerning compliance with the Act. Contracts and IGAs will be encouraged towards cooperative efforts in managing noxious weeds. Assistance will be offered towards helping each agency developing IMPs for their lands. The following organizations will be contacted:

Colorado State Department of Transportation
Colorado State Department of Parks and Recreation
Colorado Division of Wildlife
Colorado State Land Board
County municipalities
Rocky Mountain Arsenal
Any other organizations when applicable.

E. Roads

Right-of-Ways (ROW) are inspected and noxious weed infestations treated on an annual basis. Since roads are a primary source of seed spread and new invader introductions, inspections and rapid response are critical in reducing future impacts. County responsibilities are outlined in the Act. The Weed supervisor works closely with Public Works and the Colorado Department of Transportation to coordinate activities and communicate in the management of noxious weeds along county ROWs. The County maintains a contract with a private applicator for weed control along state highways.

F. Management Plan Evaluation

The goals and plan of work in this CMP will be reviewed and evaluated at the regular meetings of the County Advisory Board. Any proposed additions or changes shall be approved by the County Advisory Board and the Board before becoming final.

The full CMP shall be reviewed and amended, as needed, at least every three years (C.R.S. 35-5.5-107(4a)).

V.

Enforcement

A. Noxious Weed Management on Private Properties

Cooperation from all landowners/occupants regarding timely noxious weed management will be encouraged via positive communication and education efforts. The Weed Office or its agent will continue to apply herbicides to a limited acreage of noxious weeds on private lands by landowner or tenant request, consistent with County policies. Where noxious weeds are still found, an enforcement process will be initiated to ensure control of the weeds.

The Adams County enforcement process is available for public review in Appendix A. The process is subject to change as a result of any revisions made to the Act, or from any judicial decision that affects the process.

It is desirable that the Weed Office have work priorities with regard to enforcement activities on subject lands. This is due to the size of the subject area and to the number of landowners with existing noxious weed infestations. The following list prioritizes enforcement:

Complaint properties

Enforcement regions as mapped by the Weed Office.

Lands bordering waterways (e.g. ditches, canals, rivers, creeks)

APPENDICES

APPENDIX A

ADAMS COUNTY NOXIOUS
WEED ENFORCEMENT POLICY
PURSUANT TO
THE COLORADO NOXIOUS WEED ACT

PART 1
GENERAL PROVISIONS

Section 101. Title

This Policy shall be known as and be referred to as the “Adams County Noxious Weed Enforcement Policy” and shall be effective throughout the unincorporated areas of Adams County.

Section 102. Definitions¹

- (1) “Act” means the Colorado Noxious Weed Act.
- (2) “Integrated management” means the planning and implementation of a coordinated program utilizing a variety of methods for managing noxious weeds, the purpose of which is to achieve desirable plant communities. Such methods may include but are not limited to education, preventive measures, good stewardship, and the following techniques:
 - (a) “Biological management” which means the use of an organism to disrupt the growth of noxious weeds.
 - (b) “Chemical management” which means the use of herbicides or plant growth regulators to disrupt the growth of noxious weeds.
 - (c) “Cultural management” which means methodologies or management practices that favor the growth of desirable plants over noxious weeds, including maintaining an optimum fertility and plant moisture status in an

¹ C.R.S. § 35-5.5-103

area, planting at optimum density and spatial arrangement in an area, and planting species most suited to an area.

- (d) “Mechanical management” which means methodologies or management practices that physically disrupt plant growth, including tilling, mowing, burning, flooding, mulching, hand-pulling, hoeing, and grazing.
- (3) “Landowner” means any owner of record of state, municipal, or private land and includes an owner of any easement, right-of-way, or estate in the land.
- (4) “Local advisory board” means the Adams County Weed Advisory Board and are those individuals appointed by the local governing body to advise on matters of noxious weed management.
- (5) “Local governing body” means the Adams County Board of County Commissioners.
- (6) “Management” means any activity that prevents a plant from establishing, reproducing, or dispersing itself.
- (7) “Management plan” means the noxious weed management plan developed by any person or the local advisory board using integrated management.
- (8) “Noxious Weed” means an alien plant or parts of an alien plant that has been designated by rule as being noxious or has been declared a noxious weed by a local advisory board, and meets one or more of the following criteria:
 - (a) Aggressively invades or is detrimental to economic crops or native plant communities;
 - (b) Is poisonous to livestock;
 - (c) Is a carrier of detrimental insects, diseases, or parasites;
 - (d) The direct or indirect effect of the presence of this plant is detrimental to the environmentally sound management of natural

or agricultural ecosystems.

- (9) “Noxious weed management” means the planning and implementation of an integrated program to manage noxious weed species.
- (10) “Occupant” means an individual, partnership, corporation, association, or federal, state, or local government or agency thereof owning, occupying, or controlling any land, easement, or right-of-way, including any city, county, state, or federally owned and controlled highway, drainage, or irrigation ditch, spoil bank, borrow pit, gas and oil pipeline, high voltage electrical transmission line, or right-of-way for a canal or lateral.
- (11) “Weed Office” means the Adams County Weed Office which is a delegate of the local governing body.

Section 103.

Scope and Effect of Policy - Exceptions¹

- (1) The provisions of this Policy relate to the general assembly’s findings that noxious weeds have become a threat to the natural resources of Colorado and that an organized and coordinated effort must be made to stop the spread of noxious weeds.
- (2) This Policy facilitates a coordinated effort through the local advisory board that develops and oversees plans for the control of noxious weeds.
- (3) This Policy further recognizes that because the spread of noxious weeds can largely be attributed to the movement of seed and plant parts on motor vehicles and noxious weeds are becoming an increasing maintenance problem on highway right-of-ways in the state, local cooperative efforts have been undertaken to proceed with noxious weed management.
- (4) This Policy is designed in accordance with the statutory provisions of Colorado Revised Statutes section 35-5.5-101 et seq., as amended and more commonly referred to as the Colorado Noxious Weed Act.
 - (a) The provisions of this Policy do not interpret, apply, or incorporate any provisions of the Colorado Pest Control District Act, codified at C.R.S. § 35-5-101 et seq.

PART 2 IDENTIFICATION AND INSPECTION OF NOXIOUS WEEDS

¹ C.R.S. § 35-5.5-102(1.5)

Section 201.

Methods of Identification¹

(1) Private and Public Lands

- (a) The local governing body, through its delegates, agents, and employees, shall have the right to enter upon any premises, lands, or places whether public or private, during reasonable business hours for the purpose of inspecting for the existence of noxious weed infestations, when at least one of the following has occurred:
 - (i) The landowner or occupant has requested an inspection;
 - (ii) A neighboring landowner or occupant has reported a suspected noxious weed infestation and requested an inspection; or
 - (iii) An authorized agent of the local government has made a visual inspection from a public right-of-way or area and has reason to believe that a noxious weed infestation exists;
 - (iv) A Weed Office agent has inspected a current aerial satellite map of the property and determined there is reason to believe that a noxious weed infestation exists.

- (2) Where entry onto private premises is required to investigate the existence of noxious weeds, on-site inspections may be scheduled at any reasonable time upon the landowner or occupant's consent. If after notification landowner or occupant denies access to the inspector, the inspector may seek an inspection warrant issued by a municipal, county or district court having jurisdiction over the land.

PART 3

NOTICE OF EXISTENCE OF NOXIOUS WEEDS.

Section 301.

Notice Letter (See Attachment A)

(1) Private Lands²

- (a) The Weed Office, acting as agent, delegate, or staff of the local governing body has the authority to notify the landowner or occupant of the presence of noxious weeds. The Notice from the Weed Office includes the following:

¹ C.R.S. § 35-5.5-109(1)

² Id. at (3)

- (i) the property inspection date;
- (ii) the Landowner and/or Occupant of Record;
- (iii) the property tax ID number and legal description of the property;
- (iv) the noxious weeds to be managed;
- (v) advisement to the landowner or occupant to manage the noxious weeds within ten days after receipt of notice;
- (vi) the best available control methods of integrated management;
- (vii) the options of notice compliance;
- (viii) the consequences for non-compliance with the notice; and
- (ix) an offer of weed office consultation in Management Plan Development; and
- (x) notice of Landowner and/or Occupant's right to request hearing before the Local governing body; and
- (xi) statement that Weed Office will seek Right of Entry from Local government body to enter property and manage identified noxious weeds unless Landowner and/or Occupant complies with notice or submits a written request for public hearing before Local governing body within ten days.

(2) **Public Lands¹**

- (a) The local governing body may give notice to any state board, department, or agency that administers or supervises state lands within the local governing body's jurisdiction, to manage noxious weeds on its land and naming them.
 - (i) Such notice shall specify the best available method(s) of integrated management and will include the same information as itemized in Section 301(1) of this Policy.
- (b) Wherever possible, the local governing body shall consult with the affected state board, department, or agency in the development of a plan for the management of noxious weeds on the premises or lands.

Section 302. Duty to Consult¹

Where possible, the Weed Office shall consult with the affected landowner or occupant in the development of a plan for the management of noxious weeds on the premises or lands.

Section 303. Public and Private Lands - Landowner or Occupant Response²

- (1) Landowner or occupant shall respond within a reasonable time after receipt of notification, not to exceed ten (10) days, by any of the following:
 - (a) Complying with the terms of the notification.
 - (b) Acknowledging the terms of the notification and submitting an acceptable plan and schedule for the completion of the plan for compliance.

¹ C.R.S. § 35-5.5-110(1)

² *Id.* at (4)(a); C.R.S. §35-5.5-110(2)(a)

(c) Requesting an arbitration panel to determine the final management plan. The panel shall be selected by the local governing body and shall include:

- (i) A weed management specialist or weed scientist.
- (ii) A landowner of similar land in the same county.
- (iii) A third member chosen by agreement of the first two panel members.

The landowner or occupant is entitled to challenge any one member of the panel, and the local governing body shall name a new panel member from the same category. The decision of the arbitration panel shall be final.

(d) Requesting a public hearing before the Local governing body.

**PART 4
PUBLIC HEARING
UPON LANDOWNER OR OCCUPANT'S
REQUEST- PRIVATE LANDS**

Section 401. Landowner/Occupant Request for Public Hearing

- (1) In the event the landowner or occupant disputes the noxious weed notice or the Weed Office's process for managing or compelling the management of the identified noxious weeds, the Landowner or Occupant is entitled to a public hearing before the Local governing body. Requests for public hearing must be made to the Weed Office in writing within ten (10) days of receipt of the noxious weed notice letter. Public hearings will be scheduled and heard within thirty (30) days of the request.

Section 402. Scheduling Public Hearings

- (1) It is the Weed Office's responsibility to schedule a public hearing before the local governing body and to give notice to the landowner or occupant of the date, time, and location of the hearing. The following materials must be submitted to the local governing body prior to the hearing:

- (a) Copy of Notice of Hearing letter and certified mail receipt notifying landowner or occupant of Public Hearing (must be received by property owner not less than five (5) days prior to Public Hearing date);
- (b) Affidavit of Weed Office representative attesting to the following information:
 - (I) Weed Office inspected property and found the existence of noxious weeds;
 - (II) Notice of noxious weed infestation was sent via regular and certified U.S. mail to the landowner or occupant in accordance with C.R.S. §35-5.5-109(3);
 - (III) Landowner or occupant failed to respond and/or comply with the terms of the notice letter within a reasonable time;
 - (IV) Landowner or occupant submitted a timely request for public hearing;
 - (IV) Entry onto the landowners or occupants property is necessary to prevent the spread of the noxious weed.

Section 403.

Public Hearing

- (1) The Landowner or Occupant, or an attorney representing such individual or entity, will be allowed to present evidence on landowner or occupant's behalf.
- (2) A member of the Weed Office will need to be present at the public hearing to present evidence as to why the Weed Office should be allowed to enter the property and eradicate the noxious weeds.
- (3) The local governing body may either grant or deny the Weed Office's request for Right of Entry, or continue the matter to a subsequent date certain. (See Attachment F) Right of Entry may be granted for the limited purpose of allowing the Weed Inspector or his/her agent to enter onto private property to control the identified noxious weeds.
- (4) Right of Entry may be granted upon satisfaction of the following conditions:
 - a. Adequate notice of the noxious weed infestation has been given to the landowner and/or tenant;
 - b. The landowner/tenant has not complied with the notice;
 - c. Management of the noxious weeds by the Weed Inspector or his/her agent is likely to prevent further noxious weed infestation.

Reasonable efforts will be made to notify landowners/occupants when a Right of Entry has been issued, and copy of the Right of Entry will be sent to the landowner/tenant via certified and regular mail.

Section 404. Restrictions¹

No management of noxious weeds on private property shall occur without applying the same or greater management measures to any land or rights-of-way owned or administered by the local governing body that are adjacent to the private property.

**PART 5
FAILURE TO COMPLY - PUBLIC LANDS**

Section 501. General²

In the event the state board, department, or agency fails to comply with the notice to manage the identified noxious weeds or implement the plan developed by the arbitration panel, the local governing body in whose jurisdiction the infestation is located may enter upon such lands and undertake the management of such noxious weeds or cause the same to be done.

Section 502. Scheduling and Hearing

The state board, department, or agency owning or occupying said public lands is afforded the same Scheduling and Hearing protections as provided to landowners or occupants of private lands under Sections 402 and 403 of this Policy.

**PART 6
POST-HEARING
ASSESSMENT OF COSTS
FOR TREATMENT AND ERADICATION
OF NOXIOUS WEEDS**

Section 601. General

If, after public hearing, the local governing body, the local advisory board, or its agents and employees provide for and/or compel the management of such noxious weeds, the local governing body is entitled to recover certain costs.

Section 602. Private Lands - Recoverable Costs/Method of Collection³

¹ Id. at (5)(b)

² C.R.S. § 35-5.5-110(3)

³ C.R.S. § 35-5.5-109(5)(a)(II)

- (1) The local governing body is entitled to assess the whole cost thereof, including up to twenty (20) percent for inspection and other incidental costs in connection therewith, upon the lot or tract of land where the noxious weeds are located.
- (2) Such assessment shall be a lien against each lot or tract of land until paid and shall have priority over all other liens except general taxes and prior special assessments.
- (3) Such assessment may be certified to the county treasurer of the County to be collected in the same manner as provided for the collection of taxes.
- (4) Any funds collected shall be deposited in the local governing body's weed fund or any similar fund.

Section 603. Landowner or Occupant Protest

- (1) The Weed Office shall send a "Payment Notice/Potential Lien Assessment" letter by certified and regular mail to the landowner or occupant prior to any assessment on landowner or occupant's property. (See Attachment G)
- (2) Landowner or occupant shall be given thirty (30) days from the date on the Notification Letter to respond.
 - (a) In the event landowner or occupant fails to respond to the letter within the prescribed thirty (30) days, the Weed Office shall assess a lien on landowner or occupant's property and may certify such lien with the Adams County Treasurer. (See Attachments H and I)
 - (b) If the landowner or occupant responds within the prescribed thirty (30) days and disputes the amount of the assessment, he or she is entitled to be heard before the local governing body as to his or her concerns.

Section 604. Assessment of Costs Hearing

- (1) The landowner or occupant, or an attorney on his or her behalf, will be allowed to present testimony as to why the local governing body should not assess a tax lien on landowner or occupant's property for the costs outlined in the Notification of Lien letter.
- (2) A member of the Weed Office will need to be present at the public hearing to provide evidence favoring the imposition of a tax lien on landowner or occupant's property.
- (3) The Weed Office must show that prior to compelling the management of noxious weeds on landowner and/or occupant's property the Weed Office applied the same or greater management measures to any land or rights-of-way owned or

administered by the local governing body that are adjacent to the private property pursuant to Section 504 of this Policy.

- (4) The Weed Office must show that the level of management called for in the notice or the management plan developed by the arbitration panel has been successfully achieved pursuant to Section 605 of this Policy.
- (5) The local governing body may either grant or deny the lien assessment or continue the matter to a subsequent date certain.
- (6) If the local governing body grants the lien assessment, the Resolution for Certification of Assessed Costs as granted by the Local Governing Body is filed with the County Treasurer's Office. (Attachments H and I)

Section 605. Limitations¹

The local governing body shall not assess the cost of providing for or compelling the management of noxious weeds on private property until the level of management called for in the notice or the management plan developed by the arbitration panel has been successfully achieved.

**PART 7
PUBLIC LANDS - ASSESSMENT OF COSTS**

Section 701. General

- (1) Any expenses incurred by the local governing body in the undertaking of management of noxious weeds on public lands shall be a proper charge against such state board, department, or agency which has jurisdiction over the lands.
 - (a) If not paid, such charge shall be submitted to the controller, who shall treat such amount as an encumbrance on the budget of the state board, department, or agency involved; or
 - (b) Such charge may be recovered in any court with jurisdiction over such lands.

Section 702. Scheduling and Hearing

¹ Id. at (5)(c)

The state board, department, or agency owning or occupying said public lands is afforded the same Scheduling and Hearing protections as provided landowners or occupants of private lands under Sections 603 and 604 of this Policy.

**PART 8
MISCELLANEOUS**

(
Section 801.

Additional provisions

- (1) It is the Weed Office's responsibility through reasonable efforts to determine whether the property with a suspected noxious weed infestation is occupied by an individual other than the landowner.
 - (a) Reasonable efforts to determine the identity of the tenant and/or occupant may include one or more of the following:
 - (i) mailing a copy of the notice to any dwelling on the real property,
 - (ii) contacting the Farm Service Agency ("FSA"),
 - (iii) asking the landowner for the identity of any tenant and/or occupant on the real property,
 - (b) any reasonable efforts taken by the Weed Office should be documented.
 - (c) If the Weed Office determines an individual(s) other than the landowner occupies the property, any and all applicable Notices should be sent to both landowner and occupant.
 - (d) If the Weed Office determines an individual(s) other than the landowner occupies the property, any and all applicable Orders approved by the local governing body should be sent to both landowner and occupant.
- (2) The local governing body, through its delegates, agents, and employees, shall have the right to enter upon any premises, lands or places, whether public or private, during reasonable business hours for the purposes of ensuring compliance with any of the above requirements concerning noxious weed management and any other local requirements.¹
- (3) No agent, employee, or delegate of the local governing body shall have a civil cause of action against a landowner or occupant for personal injury or property damage incurred while on public or private land for purposes consistent with the above requirements

¹ Id. at (6)

except when such damages were willfully or deliberately caused by the landowner or occupant.¹

- (4) It shall be the duty of each local governing body and each state board, department or agency to confirm that all public roads, public highways, public rights-of-way, and any easements appurtenant thereto, under the jurisdiction of each such entity, are in compliance with the Act, and any violations of the Act shall be the financial responsibility of the appropriate local governing body or state board, department, or agency.²

¹ Id. at (7)

² C.R.S. § 35-5.5-112

APPENDIX B

Rules Pertaining To the Administration and Enforcement of the Colorado Noxious Weed Act:

(<http://198.187.128.12/colorado/lpext.dll/Infobase4/1/56169/563f6/56651?f=templates&fn=fs-main-doc.htm&q=Colorado%20Noxious%20Weed%20Act&x=Advanced&2.0#LPHit1>)

8CCR1206-2

Part 1 Definitions

- 1.1. "Act" means the Colorado Noxious Weed Act, § § 35-5.5-101 through 119, C.R.S. (2003). *Eff 07/01/2007*
- 1.2. "Compliance waiver" means a written exemption granted to a local governing body or landowner by the Commissioner that releases the local governing body and/or landowner from certain obligations of eradication for a specific population of a List A or List B species. *Eff 07/01/2007*
- 1.3. "Division" means the Colorado Division of Wildlife. *Eff 07/01/2007*
- 1.4. "Elimination" means the removal or destruction of all emerged, growing plants of a population of List A or List B species designated for eradication by the Commissioner. It is the first step in achieving eradication and is succeeded by efforts to detect and destroy newly emerged plants arising from seed, reproductive propagule, or remaining root stock for the duration of the seed longevity for the particular species. *Eff 07/01/2007*
- 1.5. "Infested acreage" means an area of land containing a noxious weed species, defined by the actual perimeter of the infestation as delineated by the canopy cover of the plants and excluding areas not infested. *Eff 07/01/2007*
- 1.6. "Population" means a group of designated noxious weeds of the same species occupying a particular geographic region and capable of interbreeding. *Eff 07/01/2007*

Part 2 General Provisions

- 2.1. At any time, affected persons may suggest and the Commissioner may approve additional prescribed integrated management techniques not specified in these rules for the eradication, containment, or suppression of designated state noxious weeds. Such approval may be site-specific or broadly applicable. The Commissioner will publish a list on the Colorado Department of Agriculture website (<http://www.ag.state.co.us/csd/weeds/Weedhome.html>) of the herbicides, cultural techniques, and mechanical techniques approved for use under the specific state noxious weed management plans for List A and List B species. *Eff 07/01/2007*
- 2.2. As a condition for granting a compliance waiver releasing a local governing body and/or landowner from certain obligations of eradication, the Commissioner may require the local governing body and/or landowner to implement other specified management actions with respect to a specific population. *Eff 07/01/2007*
- 2.3. No recommendations or requirements in these rules concerning the use of herbicides are intended to contradict or supercede any other federal, state or local law regulating herbicide use. All use of herbicides to achieve any management objectives specified in these rules must comply with all applicable federal, state and local legal requirements, including but not limited to compliance with all directions for use, cautionary statements and any other requirements in the labeling of the particular herbicide product. *Eff 07/01/2007*

Part 3 List A Noxious Weed Species

3.1. List A of the Colorado noxious weed list comprises the following noxious weed species: *Eff 07/01/2007*

- African rue (*Peganum harmala*) *Eff 07/01/2007*
- Camelthorn (*Alhagi pseudalhagi*) *Eff 07/01/2007*
- Common crupina (*Crupina vulgaris*) *Eff 07/01/2007*
- Cypress spurge (*Euphorbia cyparissias*) *Eff 07/01/2007*
- Dyer's woad (*Isatis tinctoria*) *Eff 07/01/2007*
- Giant salvinia (*Salvinia molesta*) *Eff 07/01/2007*
- Hydrilla (*Hydrilla verticillata*) *Eff 07/01/2007*
- Meadow knapweed (*Centaurea pratensis*) *Eff 07/01/2007*
- Mediterranean sage (*Salvia aethiopsis*) *Eff 07/01/2007*
- Medusahead (*Taeniatherum caput-medusae*) *Eff 07/01/2007*
- Myrtle spurge (*Euphorbia myrsinites*) *Eff 07/01/2007*
- Orange hawkweed (*Hieracium aurantiacum*) *Eff 07/01/2007*
- Purple loosestrife (*Lythrum salicaria*) *Eff 07/01/2007*
- Rush skeletonweed (*Chondrilla juncea*) *Eff 07/01/2007*
- Sericea lespedeza (*Lespedeza cuneata*) *Eff 07/01/2007*
- Squarrose knapweed (*Centaurea virgata*) *Eff 07/01/2007*
- Tansy ragwort (*Senecio jacobaea*) *Eff 07/01/2007*
- Yellow starthistle (*Centaurea solstitialis*) *Eff 07/01/2007*

3.2. All populations of List A species in Colorado are designated by the Commissioner for eradication. *Eff 07/01/2007*

3.3. It is a violation of these rules to allow any plant of any population of any List A species to produce seed or develop other reproductive propagules. *Eff 07/01/2007*

3.4. Prescribed management techniques must be applied to every population of List A noxious weeds present in Colorado to achieve the following objectives: *Eff 07/01/2007*

- A. The plants of every population of List A species must be eliminated prior to seed development. *Eff 07/01/2007*
- B. Once all mature plants are eliminated, appropriate efforts must be made to detect and eliminate new plants arising from seed, reproductive propagule, or root stock for the duration of the seed longevity for the particular species. *Eff 07/01/2007*
- C. In order to ensure that seeds or other reproductive propagules are not produced or spread, any plant with flowers, seeds, or other reproductive propagules must be placed in sealed plastic bags and disposed of by: *Eff 07/01/2007*
 - 1. high intensity burning in a controlled environment that completely destroys seed viability; *Eff 07/01/2007*
 - 2. removal of plant materials to a solid waste landfill which covers refuse daily with six inches of soil or alternative material; or *Eff 07/01/2007*
 - 3. any other method approved by the Commissioner. *Eff 07/01/2007*

3.5. Within one year of detection, any local governing body with a population of any List A species must provide to the State Weed Coordinator mapping data pertinent to each population including: *Eff 07/01/2007*

A. Species name *Eff 07/01/2007*

B. Population location(s) including distribution and abundance *Eff 07/01/2007*

C. Estimated infested acreage *Eff 07/01/2007*

3.6. State Noxious Weed Management Plans for List A Noxious Weed Species *Eff 07/01/2007*

3.6.1. African rue (*Peganum harmala*). In addition to the requirements set forth in this Part 3 for the management of all List A species, the following conditions also apply for African rue: *Eff 07/01/2007*

A. The prescribed integrated management techniques are limited to the use of herbicides approved by the Commissioner and digging, or other mechanical techniques approved by the Commissioner. *Eff 07/01/2007*

B. Prescribed integrated management techniques do not include the use of: (1) any biocontrol agents or; (2) any herbicides, cultural techniques, or mechanical techniques other than those approved by the Commissioner. *Eff 07/01/2007*

C. Seed longevity is unknown. *Eff 07/01/2007*

3.6.2. Camelthorn (*Alhagi pseudalhagi*). In addition to the requirements set forth in this Part 3 for the management of all List A species, the following conditions also apply for camelthorn: *Eff 07/01/2007*

A. The prescribed integrated management techniques are limited to the use of herbicides approved by the Commissioner and digging, or other mechanical techniques approved by the Commissioner. *Eff 07/01/2007*

B. Prescribed integrated management techniques do not include the use of: (1) any biocontrol agents or; (2) any herbicides, cultural techniques, or mechanical techniques other than those approved by the Commissioner. *Eff 07/01/2007*

C. Seed longevity is at least several years. *Eff 07/01/2007*

3.6.3. Common crupina (*Crupina vulgaris*). In addition to the requirements set forth in this Part 3 for the management of all List A species, the following conditions also apply for common crupina: *Eff 07/01/2007*

A. The prescribed integrated management techniques are limited to the use of herbicides approved by the Commissioner and hand-pulling, digging, or other mechanical techniques approved by the Commissioner. *Eff 07/01/2007*

B. Prescribed integrated management techniques do not include the use of: (1) any biocontrol agents or; (2) any herbicides, cultural techniques, or mechanical techniques other than those approved by the Commissioner. *Eff 07/01/2007*

C. Seed longevity is three years. *Eff 07/01/2007*

3.6.4. Cypress spurge (*Euphorbia cyparissias*). In addition to the requirements set forth in this Part 3 for the management of all List A species, the following conditions also apply for cypress spurge: *Eff 07/01/2007*

A. The prescribed integrated management techniques are limited to the use of herbicides approved by the Commissioner and hand-pulling, digging, or other mechanical techniques approved by the Commissioner. *Eff 07/01/2007*

B. Prescribed integrated management techniques do not include the use of: (1) any biocontrol agents or; (2) any herbicides, cultural techniques, or mechanical techniques other than those approved by the Commissioner. *Eff 07/01/2007*

Part 4 List B Noxious Weed Species

4.1. List B of the Colorado noxious weed list comprises the following noxious weed species: *Eff 07/01/2007*

Absinth wormwood (*Artemisia absinthium*) *Eff 07/01/2007*
Black henbane (*Hyoscyamus niger*) *Eff 07/01/2007*
Bouncingbet (*Saponaria officinalis*) *Eff 07/01/2007*
Bull thistle (*Cirsium vulgare*) *Eff 07/01/2007*
Canada thistle (*Cirsium arvense*) *Eff 07/01/2007*
Chinese clematis (*Clematis orientalis*) *Eff 07/01/2007*
Common tansy (*Tanacetum vulgare*) *Eff 07/01/2007*
Common teasel (*Dipsacus fullonum*) *Eff 07/01/2007*
Corn chamomile (*Anthemis arvensis*) *Eff 07/01/2007*
Cutleaf teasel (*Dipsacus laciniatus*) *Eff 07/01/2007*
Dalmatian toadflax, broad-leaved (*Linaria dalmatica*) *Eff 07/01/2007*
Dalmatian toadflax, narrow-leaved (*Linaria genistifolia*) *Eff 07/01/2007*
Dame's rocket (*Hesperis matronalis*) *Eff 07/01/2007*
Diffuse knapweed (*Centaurea diffusa*) *Eff 07/01/2007*
Eurasian watermilfoil (*Myriophyllum spicatum*) *Eff 07/01/2007*
Hoary cress (*Cardaria draba*) *Eff 07/01/2007*
Houndstongue (*Cynoglossum officinale*) *Eff 07/01/2007*
Leafy spurge (*Euphorbia esula*) *Eff 07/01/2007*
Mayweed chamomile (*Anthemis cotula*) *Eff 07/01/2007*
Moth mullein (*Verbascum blattaria*) *Eff 07/01/2007*
Musk thistle (*Carduus nutans*) *Eff 07/01/2007*
Oxeye daisy (*Chrysanthemum leucanthemum*) *Eff 07/01/2007*
Perennial pepperweed (*Lepidium latifolium*) *Eff 07/01/2007*
Plumeless thistle (*Carduus acanthoides*) *Eff 07/01/2007*
Quackgrass (*Elytrigia repens*) *Eff 07/01/2007*
Redstem filaree (*Erodium cicutarium*) *Eff 07/01/2007*
Russian knapweed (*Acroptilon repens*) *Eff 07/01/2007*
Russian-olive (*Elaeagnus angustifolia*) *Eff 07/01/2007*

Salt cedar (*Tamarix chinensis*, *T. parviflora*, and *T. ramosissima*) *Eff 07/01/2007*

Scentless chamomile (*Matricaria perforata*) *Eff 07/01/2007*

Scotch thistle (*Onopordum acanthium*) *Eff 07/01/2007*

Scotch thistle (*Onopordum tauricum*) *Eff 07/01/2007*

Spotted knapweed (*Centaurea maculosa*) *Eff 07/01/2007*

Spurred anoda (*Anoda cristata*) *Eff 07/01/2007*

Sulfur cinquefoil (*Potentilla recta*) *Eff 07/01/2007*

Venice mallow (*Hibiscus trionum*) *Eff 07/01/2007*

Wild caraway (*Carum carvi*) *Eff 07/01/2007*

Yellow nutsedge (*Cyperus esculentus*) *Eff 07/01/2007*

Yellow toadflax (*Linaria vulgaris*) *Eff 07/01/2007*

- 4.2. List B noxious weed species are species for which the Commissioner, in consultation with the state noxious weed advisory committee, local governments, and other interested parties, develops and implements state noxious weed management plans designed to stop the continued spread of these species. List B species must be managed in accordance with all the provisions of this Part 4, including any applicable state noxious weed management plans. Until a plan for a particular species is developed and implemented by rule, all persons are recommended to manage that species. *Eff 07/01/2007*
- 4.3. Local governing bodies and other interested parties are encouraged to make special note of the distribution and abundance of Canada thistle, Dalmatian toadflax, leafy spurge, salt cedar, spurred anoda, Venice mallow, and yellow nutsedge as the Commissioner will consult with the state noxious weed advisory committee, local governments, and other interested parties, in order to develop and implement state noxious weed management plans in 2007-2008 designed to stop the continued spread of these species. State noxious weed management plans for additional List B species will be developed in future years. *Eff 07/01/2007*
- 4.4. It is a violation of these rules to allow any plant of any population of a List B species designated for eradication by the Commissioner in a state noxious weed management plan (Rules 4.7.1-4.7.9) to produce seed or develop other reproductive propagules after the time specified in the plan for elimination. *Eff 07/01/2007*
- 4.5. Prescribed management techniques must be applied to every population of List B species designated for eradication by the Commissioner in a state noxious weed management plan (Rules 4.7.1-4.7.9) to achieve the following objectives: *Eff 07/01/2007*
- A. The plants of every population of List B species designated for eradication must be eliminated prior to seed development in the year specified. *Eff 07/01/2007*
 - B. Any population that is discovered in areas designated for eradication subsequent to the year specified for elimination must be eliminated prior to the development of viable seed. If the population is discovered after seed development has occurred, then efforts must be made to minimize the dispersion of seed and elimination is required prior to seed development in the following year. *Eff 07/01/2007*
 - C. Once all plants are eliminated, appropriate efforts must be made in subsequent years to detect and eliminate new plants arising from seed, reproductive propagule, or root stock prior to seed development for the duration of the seed longevity for the particular species. *Eff 07/01/2007*
 - D. In order to ensure that seeds or other reproductive propagules are not produced or spread, any plant with flowers, seeds, or other reproductive propagules must be placed in sealed plastic bags and disposed of by: *Eff 07/01/2007*

Part 5 List C Noxious Weed Species

5.1. List C of the Colorado noxious weed list comprises the following noxious weed species: *Eff 07/01/2007*

Chicory (*Cichorium intybus*) *Eff 07/01/2007*

Common burdock (*Arctium minus*) *Eff 07/01/2007*

Common mullein (*Verbascum thapsus*) *Eff 07/01/2007*

Common St. Johnswort (*Hypericum perforatum*) *Eff 07/01/2007*

Downy brome (*Bromus tectorum*) *Eff 07/01/2007*

Field bindweed (*Convolvulus arvensis*) *Eff 07/01/2007*

Halogeton (*Halogeton glomeratus*) *Eff 07/01/2007*

Johnsongrass (*Sorghum halepense*) *Eff 07/01/2007*

Jointed goatgrass (*Aegilops cylindrica*) *Eff 07/01/2007*

Perennial sowthistle (*Sonchus arvensis*) *Eff 07/01/2007*

Poison hemlock (*Conium maculatum*) *Eff 07/01/2007*

Puncturevine (*Tribulus terrestris*) *Eff 07/01/2007*

Velvetleaf (*Abutilon theophrasti*) *Eff 07/01/2007*

Wild proso millet (*Panicum miliaceum*) *Eff 07/01/2007*

5.2. List C noxious weed species are species for which the Commissioner, in consultation with the state noxious weed advisory committee, local governments, and other interested parties, will develop and implement state noxious weed management plans designed to support the efforts of local governing bodies to facilitate more effective integrated weed management on private and public lands. The goal of such plans will not be to stop the continued spread of these species but to provide additional education, research, and biological control resources to jurisdictions that choose to require management of List C species. *Eff 07/01/2007*

6.1. Local governing bodies and landowners with any population of any List A species or population of any List B species designated for eradication may be eligible for a compliance waiver granted by the Commissioner. *Eff 07/01/2007*

6.2. To apply for a compliance waiver, local governing bodies or landowners must submit a written petition to the State Weed Coordinator via mail (Colorado Department of Agriculture, 700 Kipling Street, Suite 4000, Lakewood, CO 80215-8000), fax (303-239-4125), or email (csdcomments@ag.state.co.us with "Attention: noxious weed petition" in the subject line). The Department will only consider a petition for waiver during the growing season of the target weed when the extent of the problem can be properly evaluated at the site for which the petition is submitted. The petition should provide specific information pertinent to the reevaluation of eradication as the appropriate management objective for a specified geographic region. *Eff 07/01/2007*

6.3. The Commissioner will evaluate petitions using the following criteria: *Eff 07/01/2007*

A. The known distribution of the weed species in the specified geographic region; *Eff 07/01/2007*

B. The feasibility of current control technologies to achieve eradication of the population; *Eff 07/01/2007*

C. The cost of carrying out eradication as part of statewide weed management plan; and *Eff 07/01/2007*

D. Any other site-specific information that establishes eradication is not feasible for a specific population in a specified geographic region. *Eff 07/01/2007*

Petitioners must address these criteria and explain specifically what conditions exist that establish that eradication is not a viable management objective. *Eff 07/01/2007*

6.4. The Commissioner will grant or deny a petition within fifteen business days of receiving it. *Eff 07/01/2007*

6.5. The Commissioner may revoke a compliance waiver at any time if the information provided in the petition was incomplete or inaccurate, or if conditions change such that eradication becomes a viable management objective. *Eff 07/01/2007*

Part 7 Statements of Basis, Specific Statutory Authority and Purpose

7.1. February 11, 2004 – Effective May 3, 2004

Statutory Authority

These permanent rules are adopted by the Commissioner of Agriculture pursuant to his authority under the Colorado Noxious Weed Act, § § 35-5.5-108 and 115, C.R.S. (2003). *Eff 07/01/2007*

Purpose

The purpose of these permanent rules is to: (1) repeal all of the existing permanent rules for the administration and enforcement of the Colorado Noxious Weed Act, § § 35-5.5-101 through 119, C.R.S. (2003), currently published at 8 C.C.R. 1203-15 (including the Statement of Basis, Purpose and Statutory Authority as well as Rules 1 through 3) and; (2) replace the current permanent rules with new permanent rules which implement the Colorado Noxious Weed Act as amended by the General Assembly in its 2003 regular session. Specifically, the purposes of these new permanent rules are to designate state noxious weeds, classify state noxious weeds into three categories (List A, B, and C), develop and implement state noxious weed management plans for List A noxious weed species, prescribe integrated management techniques to achieve eradication of List A species, and provide a process for granting compliance waivers to local governing bodies and landowners in order to develop and implement a coordinated, statewide effort to stop the spread of noxious weeds and mitigate their impacts to agriculture and the environment. *Eff 07/01/2007*

Factual and Policy Issues

The factual and policy issues encountered in the proposal of these permanent rules are as follows: *Eff 07/01/2007*

1. Several million acres of Colorado are infested with invasive non-indigenous plants that are continuing to spread to uninfested lands and increase in abundance. *Eff 07/01/2007*
2. A number of these species, designated as state noxious weeds, aggressively invade or are detrimental to economic crops or native plant communities, are poisonous to livestock, are carriers of detrimental insects, diseases, or parasites, or are detrimental, directly or indirectly, to the environmentally sound management of natural or agricultural systems. *Eff 07/01/2007*
3. Noxious weeds are a present threat to the economic and environmental value of the lands of the state of Colorado and it is a matter of statewide importance that the governing bodies of counties and municipalities manage such weeds in a coordinated manner across the state. Lack of such coordination makes weed management efforts unnecessarily costly and limits the effectiveness of public and private efforts to control such noxious weeds. *Eff 07/01/2007*
4. A broad array of public and private organizations support efforts to develop and implement a coordinated, statewide effort to stop the spread of noxious weeds. *Eff 07/01/2007*

5. Classifying designated noxious weeds into specific management categories will provide a means to focus public and private resources strategically and in a cost-effective manner. *Eff 07/01/2007*
6. By eradicating rare noxious weed species quickly (List A), these species can be prevented from establishing permanent populations in Colorado from which they will spread to harm the agricultural and environmental values of the lands of Colorado. *Eff 07/01/2007*
7. It is important that local governing bodies and affected landowners apply integrated management techniques that will achieve the specified management objectives, particularly for eradication. Some techniques are more effective than others (prescribed) and some techniques are likely to be ineffective or contribute to the spread of the weed species (not prescribed). Prescribing integrated management techniques to achieve specified management objectives will help landowners achieve management objectives such as eradication in a timely manner while limiting environmental damage, effort, and cost. *Eff 07/01/2007*
8. By stopping the spread of well-established species (List B), the values of uninfested lands for agriculture or the environment can be protected and the costs of land management to private and public landowners can be limited or reduced. *Eff 07/01/2007*
9. By educating the public about improved management for widespread species (List C), the harm associated with these species can be reduced and such efforts can be made more cost-effective for many citizens. *Eff 07/01/2007*
10. To accomplish the goals associated with List A (statewide eradication) and List B (halted spread) it is necessary to develop and implement statewide plans to coordinate appropriate actions at the private, local, state, and federal levels. Without such plans, it will be difficult to focus public and private resources strategically and in a cost-effective manner to achieve these goals. *Eff 07/01/2007*
11. In order to provide flexibility to respond to changing circumstances with respect to the distribution of weed populations, it is important to provide the state, local governing bodies, and landowners with a process to amend the requirement to eradicate a particular noxious weed. Without such a compliance waiver process, these rules may become unnecessarily burdensome. *Eff 07/01/2007*
12. The absence of rules to implement a coordinated statewide effort to manage noxious weeds results in increased management costs to public and private interests, a reduction in the effectiveness of individual efforts, and the continued loss of agricultural and environmental values to the invasion of noxious weeds. *Eff 07/01/2007*

7.2. March 4, 2005 – Effective May 2, 2005

Statutory Authority

These amendments to the rules are adopted by the Commissioner of Agriculture pursuant to his authority under the Colorado Noxious Weed Act, § § 35-5.5-108 and 115, C.R.S. (2004). *Eff 07/01/2007*

Purpose

The purposes of these amendments to the rules are to: (1) designate additional species of noxious weeds for inclusion in the current categories (Lists A, B, C) listed in Parts 3, 4 and 5 of the existing Rules; (2) reclassify some of the currently listed noxious weeds to different categories; (3) develop and implement new state noxious weed management plans for additional species listed for statewide

eradication (List A); (4) develop and implement state noxious weed management plans for selected List B species and; (5) identify priority List B species, among other possible List B species, for which the Commissioner intends to develop and implement state noxious weed management plans. *Eff 07/01/2007*

Factual Basis

The factual and policy issues encountered in the proposal of these amendments to the rules are as follows: *Eff 07/01/2007*

1. It is necessary to periodically adjust the state noxious weed list to address emerging plant pest threats as they become known to the state. *Eff 07/01/2007*
2. The current rules pertaining to the administration and enforcement of the Colorado Noxious Weed Act state that the Commissioner will develop and implement state noxious weed management plans for selected List B species. *Eff 07/01/2007*
3. State noxious weed management plans are necessary in order to coordinate appropriate actions at the private, local, state, and federal levels that will halt the continued spread of these List B species. *Eff 07/01/2007*
4. The proposed plans have been developed in consultation with the state noxious weed advisory committee, local governments, and other interested parties. *Eff 07/01/2007*

7.3. March 9, 2006 – Effective May 30, 2006

Statutory Authority

These amendments to the rules are adopted by the Commissioner of Agriculture pursuant to his authority under the Colorado Noxious Weed Act, § 35-5.5-108 and 115, C.R.S. (2005). *Eff 07/01/2007*

Purpose

The purposes of these amendments to the rules are to: (1) develop and implement state noxious weed management plans for selected List B species and (2) identify priority List B species, among other possible List B species, for which the Commissioner intends to develop and implement state noxious weed management plans. The rule will also be moved to the Conservation Services Division section of the CCR and renumbered to 8 CCR 1206-2 to reflect a reorganization in the Colorado Department of Agriculture moving the noxious weed program to this division. *Eff 07/01/2007*

Factual Basis

The factual and policy issues encountered in the proposal of these amendments to the rules are as follows: *Eff 07/01/2007*

1. The current rules pertaining to the administration and enforcement of the Colorado Noxious Weed Act state that the Commissioner will develop and implement state noxious weed management plans for selected List B species. *Eff 07/01/2007*

2. State noxious weed management plans are necessary in order to coordinate appropriate actions at the private, local, state, and federal levels that will halt the continued spread of these List B species. *Eff 07/01/2007*
3. The proposed plans have been developed in consultation with the state noxious weed advisory committee, local governments, and other interested parties. *Eff 07/01/2007*

7.4. May 3, 2007 – Effective July 1, 2007

Statutory Authority

These amendments to the rules are adopted by the Commissioner of Agriculture pursuant to his authority under the Colorado Noxious Weed Act, § 35-5.5-108 and 115, C.R.S. (2005). *Eff 07/01/2007*

Purpose

The purposes of these amendments to the rules are to: (1) develop and implement state noxious weed management plans for selected List B species, (2) revise existing state noxious weed management plans for selected List B species, and (3) identify priority List B species, among other possible List B species, for which the Commissioner intends to develop and implement state noxious weed management plans. *Eff 07/01/2007*

Factual Basis

The factual and policy issues encountered in the proposal of these amendments to the rules are as follows: *Eff 07/01/2007*

1. The current rules pertaining to the administration and enforcement of the Colorado Noxious Weed Act state that the Commissioner will develop and implement state noxious weed management plans for selected List B species. *Eff 07/01/2007*

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Attachment 2: USFWS IPaC

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IPaC

U.S. Fish & Wildlife Service

IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location

Adams County, Colorado



Local office

Colorado Ecological Services Field Office

☎ (303) 236-4773

📠 (303) 236-4005

MAILING ADDRESS

Denver Federal Center

P.O. Box 25486

Denver, CO 80225-0486

PHYSICAL ADDRESS

134 Union Boulevard, Suite 670

Lakewood, CO 80228-1807

<http://www.fws.gov/coloradoES>

<http://www.fws.gov/platteriver>

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population, even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the

IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species

¹ are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service.

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information.

The following species are potentially affected by activities in this location:

Mammals

NAME	STATUS
Preble's Meadow Jumping Mouse <i>Zapus hudsonius preblei</i>	Threatened
<p>There is a final critical habitat designated for this species. Your location is outside the designated critical habitat. https://ecos.fws.gov/ecp/species/4090</p>	

Birds

NAME	STATUS
Least Tern <i>Sterna antillarum</i>	Endangered
<p>This species only needs to be considered if the following condition applies:</p> <ul style="list-style-type: none"> • Water-related activities/use in the N. Platte, S. Platte and Laramie River Basins may affect listed species in Nebraska. <p>No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/8505</p>	

Mexican Spotted Owl *Strix occidentalis lucida* Threatened
 There is a **final critical habitat** designated for this species.
 Your location is outside the designated critical habitat.
<https://ecos.fws.gov/ecp/species/8196>

Piping Plover *Charadrius melodus* Threatened
 This species only needs to be considered if the following condition applies:

- Water-related activities/use in the N. Platte, S. Platte and Laramie River Basins may affect listed species in Nebraska.

There is a **final critical habitat** designated for this species.
 Your location is outside the designated critical habitat.
<https://ecos.fws.gov/ecp/species/6039>

Whooping Crane *Grus americana* Endangered
 This species only needs to be considered if the following condition applies:

- Water-related activities/use in the N. Platte, S. Platte and Laramie River Basins may affect listed species in Nebraska.

There is a **final critical habitat** designated for this species.
 Your location is outside the designated critical habitat.
<https://ecos.fws.gov/ecp/species/758>

Fishes

NAME

STATUS

Pallid Sturgeon *Scaphirhynchus albus* Endangered
 This species only needs to be considered if the following condition applies:

- Water-related activities/use in the N. Platte, S. Platte and Laramie River Basins may affect listed species in Nebraska.

No critical habitat has been designated for this species.
<https://ecos.fws.gov/ecp/species/7162>

Flowering Plants

NAME	STATUS
Colorado Butterfly Plant <i>Gaura neomexicana</i> var. <i>coloradensis</i> There is a final critical habitat designated for this species. Your location is outside the designated critical habitat. https://ecos.fws.gov/ecp/species/6110	Threatened
Ute Ladies'-tresses <i>Spiranthes diluvialis</i> No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/2159	Threatened
Western Prairie Fringed Orchid <i>Platanthera praeclara</i> This species only needs to be considered if the following condition applies: <ul style="list-style-type: none"> • Water-related activities/use in the N. Platte, S. Platte and Laramie River Basins may affect listed species in Nebraska. No critical habitat has been designated for this species. https://ecos.fws.gov/ecp/species/1669	Threatened

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act

¹ and the Bald and Golden Eagle Protection Act².

Any activity that results in the take (to harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect, or to attempt to engage in any such conduct) of migratory birds or eagles is prohibited unless authorized by the U.S. Fish and Wildlife Service

3. There are no provisions for allowing the take of migratory birds that are unintentionally killed or injured.

Any person or organization who plans or conducts activities that may result in the take of migratory birds is responsible for complying with the appropriate regulations and implementing appropriate conservation measures.

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.
3. 50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Conservation measures for birds <http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Year-round bird occurrence data <http://www.birdscanada.org/birdmon/default/datasummaries.jsp>

The migratory birds species listed below are species of particular conservation concern (e.g. [Birds of Conservation Concern](#)) that may be potentially affected by activities in this location. It is not a list of every bird species you may find in this location, nor a guarantee that all of the bird species on this list will be found on or near this location. Although it is important to try to avoid and minimize impacts to all birds, special attention should be made to avoid and minimize impacts to birds of priority concern. To view available data on other bird species that may occur in your project area, please visit the [AKN Histogram Tools](#) and [Other Bird Data Resources](#). To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

NAME	SEASON(S)
American Bittern <i>Botaurus lentiginosus</i> https://ecos.fws.gov/ecp/species/6582	Breeding
Bald Eagle <i>Haliaeetus leucocephalus</i> https://ecos.fws.gov/ecp/species/1626	Year-round

Black Rosy-finch <i>Leucosticte atrata</i> https://ecos.fws.gov/ecp/species/9460	Year-round
Brewer's Sparrow <i>Spizella breweri</i> https://ecos.fws.gov/ecp/species/9291	Breeding
Burrowing Owl <i>Athene cunicularia</i> https://ecos.fws.gov/ecp/species/9737	Breeding
Dickcissel <i>Spiza americana</i>	Breeding
Ferruginous Hawk <i>Buteo regalis</i> https://ecos.fws.gov/ecp/species/6038	Year-round
Golden Eagle <i>Aquila chrysaetos</i> https://ecos.fws.gov/ecp/species/1680	Year-round
Lark Bunting <i>Calamospiza melanocorys</i>	Breeding
Lewis's Woodpecker <i>Melanerpes lewis</i> https://ecos.fws.gov/ecp/species/9408	Breeding
Loggerhead Shrike <i>Lanius ludovicianus</i> https://ecos.fws.gov/ecp/species/8833	Breeding
Long-billed Curlew <i>Numenius americanus</i> https://ecos.fws.gov/ecp/species/5511	Breeding
Mountain Plover <i>Charadrius montanus</i> https://ecos.fws.gov/ecp/species/3638	Breeding
Peregrine Falcon <i>Falco peregrinus</i> https://ecos.fws.gov/ecp/species/8831	Breeding
Prairie Falcon <i>Falco mexicanus</i> https://ecos.fws.gov/ecp/species/4736	Year-round

Red-headed Woodpecker	<i>Melanerpes erythrocephalus</i>	Breeding
Rufous Hummingbird	<i>selasphorus rufus</i> https://ecos.fws.gov/ecp/species/8002	Migrating
Sage Thrasher	<i>Oreoscoptes montanus</i> https://ecos.fws.gov/ecp/species/9433	Breeding
Short-eared Owl	<i>Asio flammeus</i> https://ecos.fws.gov/ecp/species/9295	Wintering
Swainson's Hawk	<i>Buteo swainsoni</i> https://ecos.fws.gov/ecp/species/1098	Breeding
Virginia's Warbler	<i>Vermivora virginiae</i> https://ecos.fws.gov/ecp/species/9441	Breeding
Western Grebe	<i>aechmophorus occidentalis</i> https://ecos.fws.gov/ecp/species/6743	Breeding
Williamson's Sapsucker	<i>Sphyrapicus thyroideus</i> https://ecos.fws.gov/ecp/species/8832	Breeding
Willow Flycatcher	<i>Empidonax traillii</i> https://ecos.fws.gov/ecp/species/3482	Breeding

What does IPaC use to generate the list of migratory bird species potentially occurring in my specified location?

Landbirds:

Migratory birds that are displayed on the IPaC species list are based on ranges in the latest edition of the National Geographic Guide, Birds of North America (6th Edition, 2011 by Jon L. Dunn, and Jonathan Alderfer). Although these ranges are coarse in nature, a number of U.S. Fish and Wildlife Service migratory bird biologists agree that these maps are some of the best range maps to date. These ranges were clipped to a specific Bird Conservation Region (BCR) or USFWS Region/Regions, if it was indicated in the 2008 list of Birds of Conservation Concern (BCC) that a species was a BCC species only in a particular Region/Regions. Additional modifications have been made to some

ranges based on more local or refined range information and/or information provided by U.S. Fish and Wildlife Service biologists with species expertise. All migratory birds that show in areas on land in IPaC are those that appear in the 2008 Birds of Conservation Concern report.

Atlantic Seabirds:

Ranges in IPaC for birds off the Atlantic coast are derived from species distribution models developed by the National Oceanic and Atmospheric Association (NOAA) National Centers for Coastal Ocean Science (NCCOS) using the best available seabird survey data for the offshore Atlantic Coastal region to date. NOAA/NCCOS assisted USFWS in developing seasonal species ranges from their models for specific use in IPaC. Some of these birds are not BCC species but were of interest for inclusion because they may occur in high abundance off the coast at different times throughout the year, which potentially makes them more susceptible to certain types of development and activities taking place in that area. For more refined details about the abundance and richness of bird species within your project area off the Atlantic Coast, see the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other types of taxa that may be helpful in your project review.

About the NOAA/NCCOS models: the models were developed as part of the NOAA/NCCOS project: [Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#). The models resulting from this project are being used in a number of decision-support/mapping products in order to help guide decision-making on activities off the Atlantic Coast with the goal of reducing impacts to migratory birds. One such product is the [Northeast Ocean Data Portal](#), which can be used to explore details about the relative occurrence and abundance of bird species in a particular area off the Atlantic Coast.

All migratory bird range maps within IPaC are continuously being updated as new and better information becomes available.

Can I get additional information about the levels of occurrence in my project area of specific birds or groups of birds listed in IPaC?

Landbirds:

The [Avian Knowledge Network \(AKN\)](#) provides a tool currently called the "Histogram Tool", which draws from the data within the AKN (latest survey, point count, citizen science datasets) to create a view of relative abundance of species within a particular location over the course of the year. The results of the tool depict the frequency of detection of a species in survey events, averaged between multiple datasets within AKN in a particular week of the year. You may access the histogram tools through the [Migratory Bird Programs AKN Histogram Tools](#) webpage.

The tool is currently available for 4 regions (California, Northeast U.S., Southeast U.S. and Midwest), which encompasses the following 32 states: Alabama, Arkansas, California, Connecticut, Delaware, Florida, Georgia, Illinois, Indiana, Iowa, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, New Hampshire, New Jersey, New York, North Carolina, Ohio, Pennsylvania, Rhode Island, South Carolina, Tennessee, Vermont, Virginia, West Virginia, and Wisconsin.

In the near future, there are plans to expand this tool nationwide within the AKN, and allow the graphs produced to appear with the list of trust resources generated by IPaC, providing you with an additional level of detail about the level of occurrence of the species of particular concern potentially occurring in your project area throughout the course of the year.

Atlantic Seabirds:

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the NOAA/NCCOS [Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf project](#) webpage.

Facilities

Wildlife refuges

Any activity proposed on [National Wildlife Refuge](#) lands must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGES AT THIS LOCATION.

Fish hatcheries

THERE ARE NO FISH HATCHERIES AT THIS LOCATION.

Wetlands in the National Wetlands Inventory

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

This location overlaps the following wetlands:

FRESHWATER EMERGENT WETLAND

[PEMA](#)

FRESHWATER FORESTED/SHRUB WETLAND

[PFOA](#)

FRESHWATER POND

[PUBK](#)

RIVERINE

[R2UBH](#)

[R4SBK](#)

[R2USA](#)

A full description for each wetland code can be found at the National Wetlands Inventory website: <https://ecos.fws.gov/ipac/wetlands/decoder>

Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or

tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

Not for
consultation

EXHIBIT I

SOILS INFORMATION

EXHIBIT I

Soils Information

At the end of this exhibit are printouts from the NRCS Web Soil Survey website that describe the location and typical characteristics of the soils present on the site.

According to the *Web Soil Survey* (United States Department of Agriculture, NRCS, 2004) of the proposed permit area, there are eight USDA soil types within the proposed project site:

1. Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded
2. Loamy alluvial land, gravelly substratum
3. Loamy alluvial land, moderately wet
4. Nunn clay loam, 1 to 3 percent slopes
5. Terrace escarpments
6. Ulm loam, 5 to 9 percent slopes
7. Water
8. Wet alluvial land

In addition, Aggregate Industries obtained test borings for the property. Test borings indicate a layer of topsoil and overburden ranging from 1 to 11 feet in depth with a typical depth of 5 feet. In the western part of the site, the topsoil has been tilled until recently and likely contains a significant percent of organics. The overburden is underlain by an aggregate layer with a thickness ranging from 0 to 46 feet with a typical thickness of 25 feet. In some parts of the site, the aggregate layer contains a 2 to 9-foot-thick mud lenses. The total depth to bedrock from the surface grade ranges from 5 feet in the west to 50 feet in an apparent paleochannel in the eastern part of the site. The typical depth to bedrock is approximately 27 feet over most of the mine area. The aggregate layer overlies sedimentary bedrock of the Denver Basin.

A complete summary of the test logs was submitted with the initial DRMS application for this site. The information is on record and the Division and is attached here in for reference.

Soil Map—Adams County Area, Parts of Adams and Denver Counties, Colorado
(Tucson South Resource)



Map Scale: 1:12,000 if printed on A landscape (11" x 8.5") sheet.





































0 150 300 600 900 Meters
0 500 1000 2000 3000 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84



Soil Map—Adams County Area, Parts of Adams and Denver Counties, Colorado
(Tucson South Resource)

MAP LEGEND

Area of Interest (AOI)			Spoil Area
	Area of Interest (AOI)		Stony Spot
Soils			Very Stony Spot
	Soil Map Unit Polygons		Wet Spot
	Soil Map Unit Lines		Other
	Soil Map Unit Points		Special Line Features
Special Point Features		Water Features	
	Blowout		Streams and Canals
	Borrow Pit	Transportation	
	Clay Spot		Rails
	Closed Depression		Interstate Highways
	Gravel Pit		US Routes
	Gravelly Spot		Major Roads
	Landfill		Local Roads
	Lava Flow	Background	
	Marsh or swamp		Aerial Photography
	Mine or Quarry		
	Miscellaneous Water		
	Perennial Water		
	Rock Outcrop		
	Saline Spot		
	Sandy Spot		
	Severely Eroded Spot		
	Sinkhole		
	Slide or Slip		
	Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado
Survey Area Data: Version 15, Sep 13, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 20, 2015—Oct 21, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
EgA	Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded	13.3	4.9%
Lv	Loamy alluvial land, gravelly substratum	142.1	51.9%
Lw	Loamy alluvial land, moderately wet	81.6	29.8%
NuB	Nunn clay loam, 1 to 3 percent slopes	0.5	0.2%
Tc	Terrace escarpments	4.3	1.6%
UID	Ulm loam, 5 to 9 percent slopes	1.0	0.4%
W	Water	2.3	0.8%
Wt	Wet alluvial land	28.5	10.4%
Totals for Area of Interest		273.6	100.0%

Adams County Area, Parts of Adams and Denver Counties, Colorado

Wt—Wet alluvial land

Map Unit Setting

National map unit symbol: 34xj
Elevation: 4,000 to 5,600 feet
Mean annual precipitation: 12 to 14 inches
Mean annual air temperature: 48 to 52 degrees F
Frost-free period: 125 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Wet alluvial land: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Wet Alluvial Land

Setting

Landform: Flood plains
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium derived from mixed

Typical profile

H1 - 0 to 8 inches: variable
H2 - 8 to 36 inches: stratified sandy loam to clay
H3 - 36 to 60 inches: sand

Properties and qualities

Slope: 0 to 1 percent
Natural drainage class: Poorly drained
Runoff class: Very high
Capacity of the most limiting layer to transmit water (Ksat):
Moderately low to high (0.06 to 6.00 in/hr)
Depth to water table: About 6 to 24 inches
Frequency of flooding: Frequent
Calcium carbonate, maximum in profile: 15 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water storage in profile: Low (about 4.8 inches)

Interpretive groups

Land capability classification (irrigated): 5w
Land capability classification (nonirrigated): 5w
Hydrologic Soil Group: D
Ecological site: Wet Meadow (R067BY038CO)

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

W—Water

Map Unit Setting

National map unit symbol: wdnx

Mean annual precipitation: 12 to 14 inches

Farmland classification: Not prime farmland

Map Unit Composition

Water: 80 percent

Minor components: 20 percent

*Estimates are based on observations, descriptions, and transects of
the mapunit.*

Minor Components

Other soils

Percent of map unit: 10 percent

Hydric soil rating: No

Aquolls

Percent of map unit: 10 percent

Landform: Marshes

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties,
Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

UID—Ulm loam, 5 to 9 percent slopes

Map Unit Setting

National map unit symbol: 34x5
Elevation: 4,000 to 5,600 feet
Mean annual precipitation: 12 to 14 inches
Mean annual air temperature: 48 to 52 degrees F
Frost-free period: 125 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Ulm and similar soils: 80 percent
Minor components: 20 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Ulm

Setting

Landform: Plains
Landform position (three-dimensional): Talf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Residuum weathered from sandstone and shale

Typical profile

H1 - 0 to 4 inches: loam
H2 - 4 to 13 inches: silty clay
H3 - 13 to 30 inches: clay
H4 - 30 to 48 inches: clay loam
H5 - 48 to 52 inches: unweathered bedrock

Properties and qualities

Slope: 5 to 9 percent
Depth to restrictive feature: 40 to 60 inches to paralithic bedrock
Natural drainage class: Well drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat):
Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 15 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water storage in profile: Moderate (about 8.2 inches)

Interpretive groups

Land capability classification (irrigated): 4e

Land capability classification (nonirrigated): 6e
Hydrologic Soil Group: C
Ecological site: Loamy Plains (R067BY002CO)
Hydric soil rating: No

Minor Components

Shingle

Percent of map unit: 10 percent
Hydric soil rating: No

Renhill

Percent of map unit: 8 percent
Hydric soil rating: No

Apishapa

Percent of map unit: 2 percent
Landform: Swales
Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

Tc—Terrace escarpments

Map Unit Setting

National map unit symbol: 34ws
Elevation: 4,400 to 5,500 feet
Mean annual precipitation: 12 to 14 inches
Mean annual air temperature: 46 to 54 degrees F
Frost-free period: 120 to 160 days
Farmland classification: Not prime farmland

Map Unit Composition

Terrace escarpments: 90 percent
Minor components: 10 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Terrace Escarpments

Setting

Landform: Terraces
Landform position (three-dimensional): Riser
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium derived from mixed

Typical profile

H1 - 0 to 3 inches: gravelly sand
H2 - 3 to 60 inches: gravelly sand

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Ecological site: Gravel Breaks (R067BY063CO)
Hydric soil rating: No

Minor Components

Vona

Percent of map unit: 5 percent
Hydric soil rating: No

Dacono

Percent of map unit: 5 percent

Hydric soil rating: No

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

NuB—Nunn clay loam, 1 to 3 percent slopes

Map Unit Setting

National map unit symbol: 2tlpl
Elevation: 3,900 to 5,840 feet
Mean annual precipitation: 13 to 17 inches
Mean annual air temperature: 50 to 54 degrees F
Frost-free period: 135 to 160 days
Farmland classification: Prime farmland if irrigated

Map Unit Composition

Nunn and similar soils: 85 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Nunn

Setting

Landform: Terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Pleistocene aged alluvium and/or eolian deposits

Typical profile

Ap - 0 to 9 inches: clay loam
Bt - 9 to 13 inches: clay loam
Btk - 13 to 25 inches: clay loam
Bk1 - 25 to 38 inches: clay loam
Bk2 - 38 to 80 inches: clay loam

Properties and qualities

Slope: 1 to 3 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Well drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat):
Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 7 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.1 to 2.0 mmhos/cm)
Sodium adsorption ratio, maximum in profile: 0.5
Available water storage in profile: High (about 9.9 inches)

Interpretive groups

Land capability classification (irrigated): 2e
Land capability classification (nonirrigated): 3e
Hydrologic Soil Group: C
Ecological site: Clayey Plains (R067BY042CO)
Hydric soil rating: No

Minor Components

Heldt

Percent of map unit: 10 percent
Landform: Terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: Clayey Plains (R067BY042CO)
Hydric soil rating: No

Satanta

Percent of map unit: 5 percent
Landform: Terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: Loamy Plains (R067BY002CO)
Hydric soil rating: No

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

Lw—Loamy alluvial land, moderately wet

Map Unit Setting

National map unit symbol: 34w5
Elevation: 4,000 to 5,500 feet
Mean annual precipitation: 12 to 14 inches
Mean annual air temperature: 48 to 52 degrees F
Frost-free period: 135 to 155 days
Farmland classification: Not prime farmland

Map Unit Composition

Loamy alluvial land: 70 percent
Minor components: 30 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Loamy Alluvial Land

Setting

Landform: Drainageways
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium derived from mixed

Typical profile

H1 - 0 to 6 inches: variable
H2 - 6 to 36 inches: stratified loam to clay loam
H3 - 36 to 60 inches: sand

Properties and qualities

Slope: 0 to 1 percent
Natural drainage class: Somewhat poorly drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat):
Moderately high to high (0.20 to 6.00 in/hr)
Depth to water table: About 18 to 36 inches
Frequency of flooding: Occasional
Calcium carbonate, maximum in profile: 5 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water storage in profile: Low (about 6.0 inches)

Interpretive groups

Land capability classification (irrigated): 3w
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: C
Hydric soil rating: No

Minor Components

Satanta

Percent of map unit: 12 percent

Landform: Paleoterraces

Hydric soil rating: No

Nunn

Percent of map unit: 12 percent

Hydric soil rating: No

Fluvaquentic haplustolls

Percent of map unit: 6 percent

Landform: Sloughs

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

Lv—Loamy alluvial land, gravelly substratum

Map Unit Setting

National map unit symbol: 34w4
Elevation: 4,000 to 8,500 feet
Mean annual precipitation: 12 to 14 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 75 to 150 days
Farmland classification: Not prime farmland

Map Unit Composition

Loamy alluvial land: 75 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Loamy Alluvial Land

Setting

Landform: Drainageways
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium derived from mixed

Typical profile

H1 - 0 to 20 inches: loam
H2 - 20 to 60 inches: stratified very gravelly sand to clay

Properties and qualities

Slope: 0 to 2 percent
Natural drainage class: Somewhat excessively drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat):
Moderately high to high (0.57 to 5.95 in/hr)
Frequency of flooding: Occasional
Calcium carbonate, maximum in profile: 2 percent
Salinity, maximum in profile: Nonsaline to slightly saline (0.0 to 4.0 mmhos/cm)
Sodium adsorption ratio, maximum in profile: 2.0
Available water storage in profile: Low (about 4.8 inches)

Interpretive groups

Land capability classification (irrigated): 4w
Land capability classification (nonirrigated): 6w
Hydrologic Soil Group: A
Hydric soil rating: No

Minor Components

Dacono

Percent of map unit: 10 percent

Hydric soil rating: No

Nunn

Percent of map unit: 10 percent

Hydric soil rating: No

Halaquøpts

Percent of map unit: 5 percent

Landform: Terraces

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties, Colorado

Survey Area Data: Version 15, Sep 13, 2018

Adams County Area, Parts of Adams and Denver Counties, Colorado

EgA—Ellicott-Glenberg complex, 0 to 3 percent slopes, occasionally flooded

Map Unit Setting

National map unit symbol: 2x0j6
Elevation: 3,950 to 5,960 feet
Mean annual precipitation: 13 to 17 inches
Mean annual air temperature: 50 to 54 degrees F
Frost-free period: 135 to 165 days
Farmland classification: Not prime farmland

Map Unit Composition

Ellicott, occasionally flooded, and similar soils: 65 percent
Glenberg, rarely flooded, and similar soils: 20 percent
Minor components: 15 percent
*Estimates are based on observations, descriptions, and transects of
the mapunit.*

Description of Ellicott, Occasionally Flooded

Setting

Landform: Flood plains
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Noncalcareous, stratified sandy alluvium

Typical profile

A - 0 to 4 inches: sand
AC - 4 to 13 inches: sand
C1 - 13 to 30 inches: sand
C2 - 30 to 44 inches: sand
C3 - 44 to 80 inches: coarse sand

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Somewhat excessively drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to
very high (6.00 to 39.96 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: Occasional
Frequency of ponding: None
Salinity, maximum in profile: Nonsaline to very slightly saline (0.1
to 2.0 mmhos/cm)
Available water storage in profile: Very low (about 2.1 inches)

Interpretive groups

Land capability classification (irrigated): 4e

Land capability classification (nonirrigated): 7s
Hydrologic Soil Group: A
Ecological site: Sandy Bottomland (R067BY031CO)
Hydric soil rating: No

Description of Glenberg, Rarely Flooded

Setting

Landform: Ephemeral streams, flood-plain steps
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Stratified, calcareous alluvium

Typical profile

A - 0 to 6 inches: sandy loam
AC - 6 to 18 inches: sandy loam
C1 - 18 to 45 inches: sandy loam
C2 - 45 to 80 inches: loamy coarse sand

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Well drained
Runoff class: Very low
Capacity of the most limiting layer to transmit water (Ksat): High
(2.00 to 6.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: Rare
Frequency of ponding: None
Calcium carbonate, maximum in profile: 5 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.1
to 2.0 mmhos/cm)
Sodium adsorption ratio, maximum in profile: 2.0
Available water storage in profile: Low (about 5.6 inches)

Interpretive groups

Land capability classification (irrigated): 3e
Land capability classification (nonirrigated): 4c
Hydrologic Soil Group: A
Ecological site: Sandy Bottomland (R067BY031CO)
Hydric soil rating: No

Minor Components

Las animas, occasionally flooded

Percent of map unit: 10 percent
Landform: Flood plains, ephemeral streams
Down-slope shape: Linear
Across-slope shape: Concave, linear
Ecological site: Wet Meadow (R067BY038CO)
Hydric soil rating: No

Ellicott sandy-skeletal, occasionally flooded

Percent of map unit: 5 percent

Landform: Channels, flood plains
Down-slope shape: Linear
Across-slope shape: Concave, linear
Ecological site: Sandy Bottomland (R067BY031CO)
Hydric soil rating: No

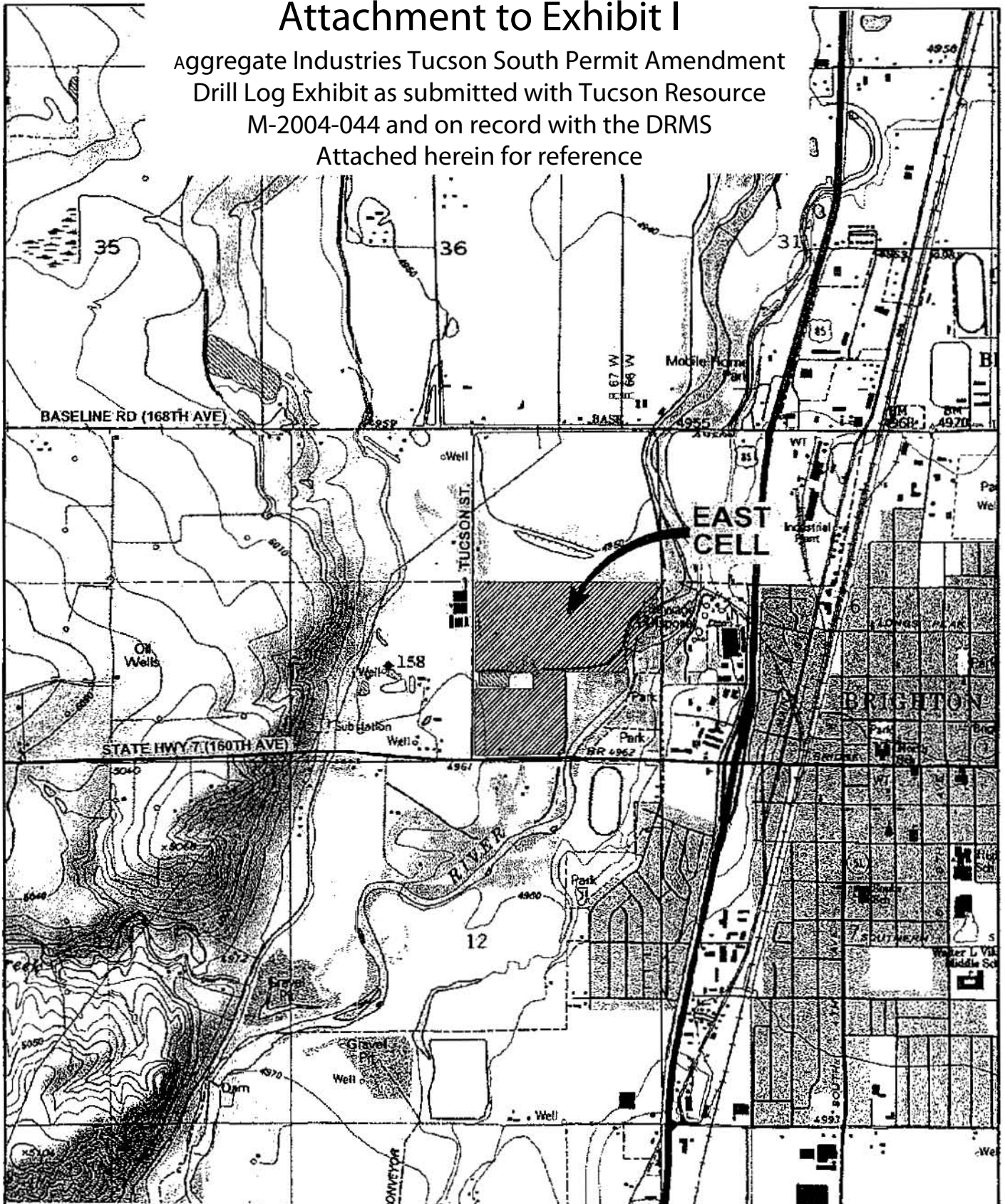
Data Source Information

Soil Survey Area: Adams County Area, Parts of Adams and Denver Counties,
Colorado

Survey Area Data: Version 15, Sep 13, 2018

Attachment to Exhibit I

aggregate Industries Tucson South Permit Amendment
Drill Log Exhibit as submitted with Tucson Resource
M-2004-044 and on record with the DRMS
Attached herein for reference



Map created with TOPO!® ©2002 National Geographic (www.nationalgeographic.com/topo)

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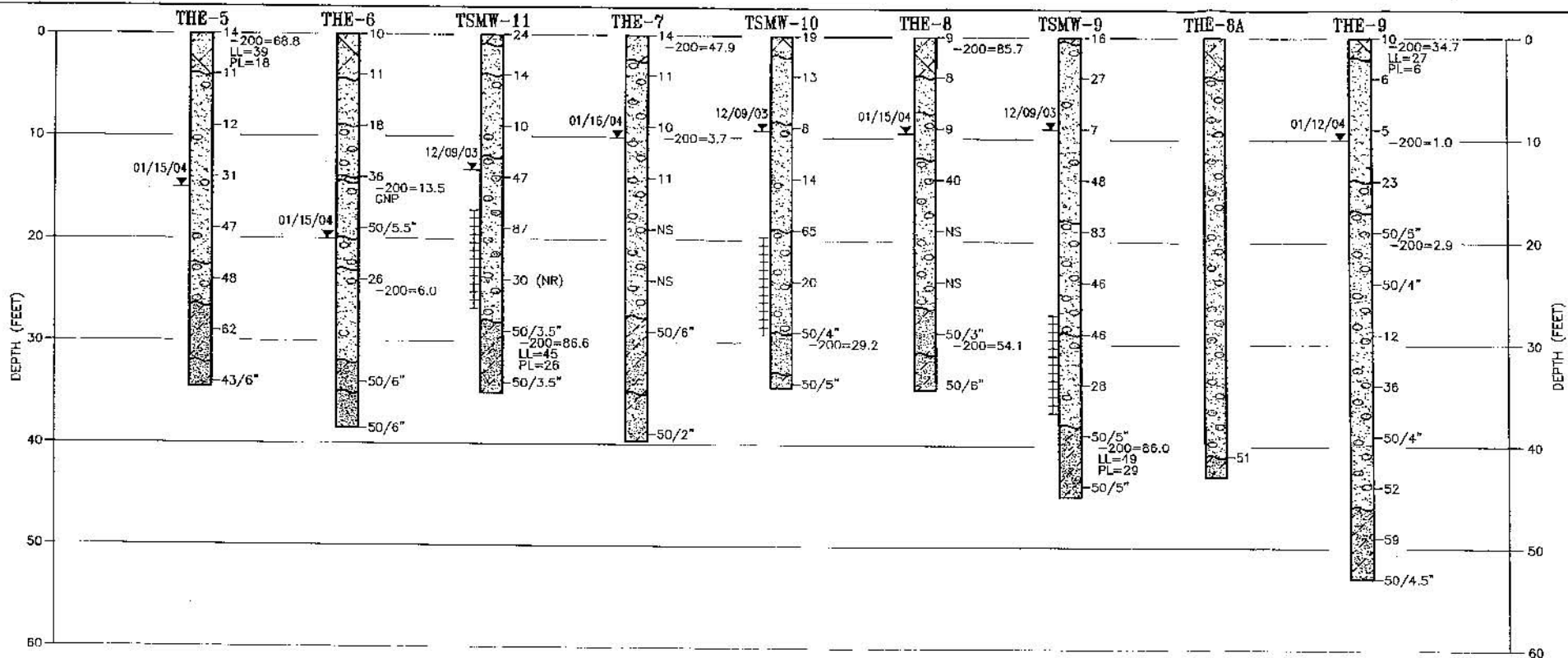
0 1000 2000
SCALE IN FEET

TUCSON SOUTH RESOURCE
VICINITY MAP (EAST)

RMC

FIGURE:

1



FOR LEGEND AND NOTES SEE FIGURE 3

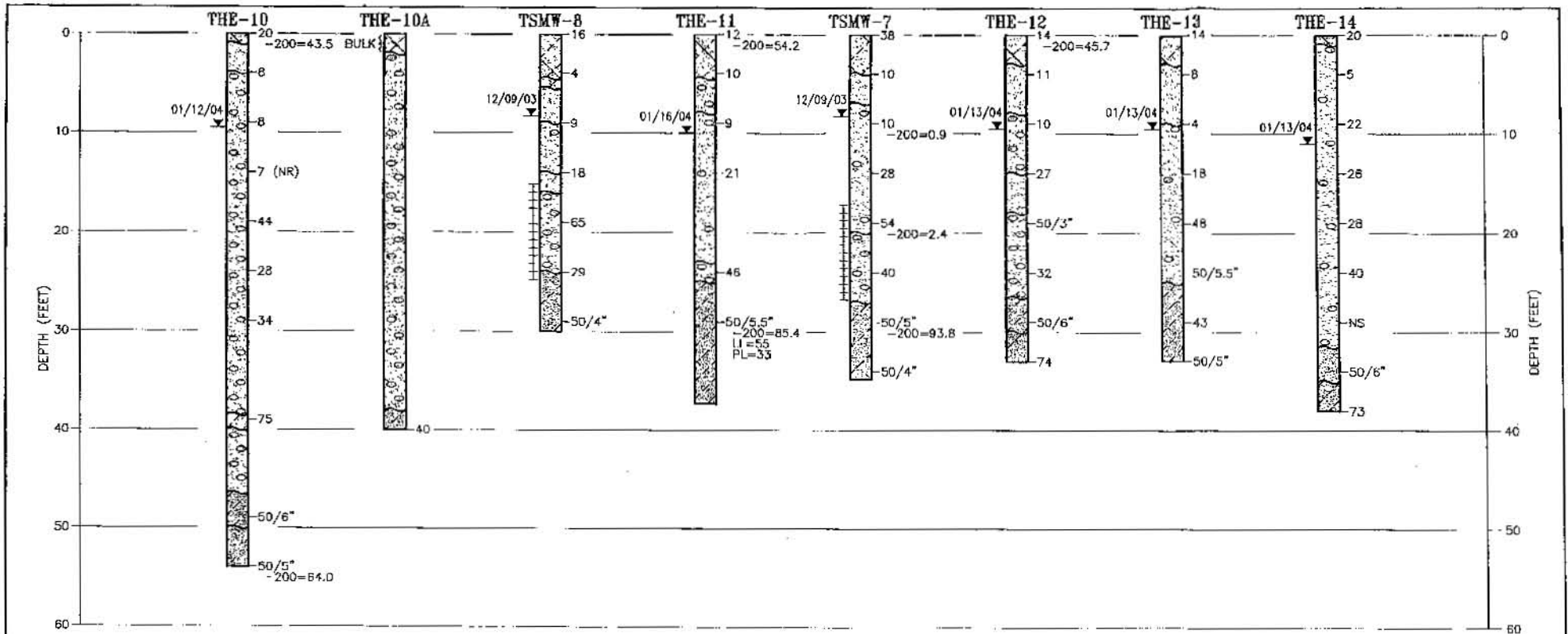
TUCSON SOUTH
SUMMARY LOGS OF
EXPLORATORY BORINGS (EAST)



FIGURE:

4

JOB NO. 19-3219.019.00

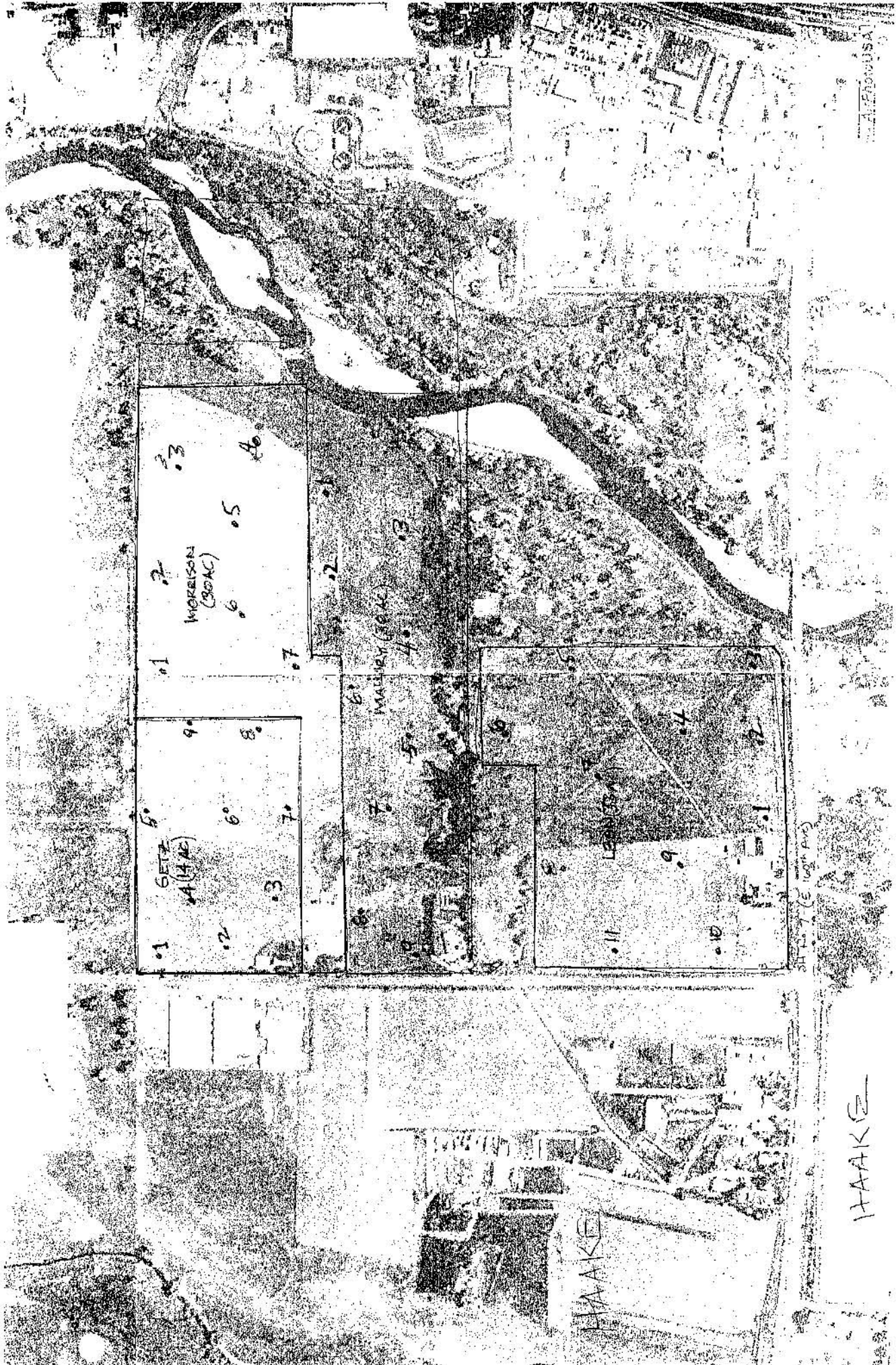


FOR LEGEND AND NOTES SEE FIGURE 3

JOB NO. 19-3919.019.00

TUCSON SOUTH
SUMMARY LOGS OF
EXPLORATORY BORINGS (EAST)

RMC
FIGURE:
5



GETZ
(4 AC)

MORRISON
(30 AC)

MATHIAS
(30 AC)

LEWIS

3

7

1

1

5

6

6

2

6

7

7

3

2

1

2

8

6

3

4

5

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8

6

11

4

9

2

10

SH No. 7 (E 100m AVS)

HAAKE

HAAKE

HAARLEM, N.Y.

Haake Property Lithologic Logs

HOLE HP-1

0'-0" to 4'-0" Overburden/TopSoil; dark brown
4'-0" to 7'-0" Sand; fine grained
7'-0" to 11'-0" Sand & Gravel; medium to coarse grained, gravel to 3"
11'-0" to 12'-0" Clay; dark brown
12'-0" to 27'-0" Sand & Gravel; medium to coarse grained, gravel to 1"
27'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 4'-11' & 12'-27'

HOLE HP-2

0'-0" to 7'-0" Overburden/TopSoil; dark brown
7'-0" to 10'-0" Sand & Gravel; medium to coarse grained, gravel to 1"
10'-0" to 12'-0" Clay; dark brown
12'-0" to 26'-0" Sand & Gravel; medium to coarse grained, gravel to 2"
26'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 7'-10' & 12'-26'

HOLE HP-3

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 6'-0" Sand; medium grained, trace gravel to 1/2"
6'-0" to 15'-0" Sand & Gravel; medium grained, gravel to 1"
15'-0" to 33'-0" As Above; gravel to 3"
33'-0" to 35'-0" Clay; gray
TD
Composite sample taken from 2'-33'

HOLE HP-4

0'-0" to 5'-0" Overburden/TopSoil; dark brown
5'-0" to 11'-0" Clay; brown
11'-0" to 25'-0" Sand & Gravel; medium grained, gravel to 2", water at 12 ft.
25'-0" to 30'-0" Shale; gray
TD
No Composite taken

HOLE HP-5

0'-0" to 3'-0" Overburden/TopSoil; dark brown
3'-0" to 5'-0" Sand; coarse grained
5'-0" to 15'-0" Sand & Gravel; medium to coarse grained, gravel to 1",
water at 8 ft.
15'-0" to 32'-0" As Above; gravel to 3"
TD-no further penetration
Composite sample taken from 5'-32'

HOLE HP-6

0'-0" to 3'-0" Overburden/TopSoil; dark brown
3'-0" to 6'-0" Sand & Gravel; fine grained, gravel to 2"
6'-0" to 10'-0" As Above; coarse grained, gravel to 1"
10'-0" to 13'-0" Clay; brown
13'-0" to 15'-0" Sand & Gravel; coarse grained, gravel to 1"
15'-0" to 28'-0" As Above; coarse grained, gravel to 3"
28'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 3'-10' & 13'-28'

HOLE HP-7

0'-0" to 6'-0" Overburden/TopSoil; dark brown
6'-0" to 12'-0" Sand; fine grained
12'-0" to 14'-0" Sand & Gravel; medium to coarse grained, gravel to 2", water at 11 ft.
14'-0" to 19'-0" Clay; dark brown
19'-0" to 29'-0" Sand & Gravel; medium to coarse grained, gravel to 1"
29'-0" to 35'-0" Clay; brown to gray
TD
No composite sample taken

HOLE HP-8

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 4'-0" Clay; brown
4'-0" to 14'-0" Sand & Gravel; medium to coarse grained, gravel to 2"
14'-0" to 21'-0" Clay; gray
21'-0" to 28'-0" Sand & Gravel; medium to coarse grained, gravel to 3"
28'-0" to 30'-0" Shale; gray
TD
Composite sample taken from 4'-14'

HOLE HP-9

0'-0" to 4'-0" Overburden/TopSoil; dark brown
4'-0" to 9'-0" Sand & Gravel; medium grained, gravel to 2".
9'-0" to 12'-0" Clay; dark brown
12'-0" to 15'-0" Sand & Gravel; medium grained, gravel to 2
15'-0" to 17'-0" Clay; brown
17'-0" to 26'-0" Sand & Gravel; coarse grained, gravel to 1/2"

26'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 4'-9', 12'-15' & 17'-26'

HOLE HP-10

0'-0" to 6'-0" Overburden/TopSoil; dark brown
6'-0" to 15'-0" Sand & Gravel; fine to medium grained, gravel to 1"
15'-0" to 19'-0" Clay; brown to gray
19'-0" to 28'-0" Sand & Gravel; medium grained, gravel to 3"
28'-0" to 30'-0" Clay; brown to gray
TD
Composite sample taken from 6'-15' & 19'-28'

HOLE HP-11

0'-0" to 5'-0" Overburden/TopSoil; dark brown
5'-0" to 10'-0" Sand; coarse grained, trace gravel to 1/2"
10'-0" to 15'-0" Sand & Gravel; coarse grained, gravel to 1"
15'-0" to 28'-0" Sand & Gravel; medium grained, minor gravel to 1"
28'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 5'-28'

HOLE HP-12

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 12'-0" Sand & Gravel; medium to coarse grained, trace gravel to 1"
12'-0" to 24'-0" As Above; coarse grained, gravel to 1", one 5" cobble
24'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 2'-24'

HOLE HP-13

0'-0" to 6'-0" Overburden/TopSoil; dark brown
6'-0" to 14'-0" Sand & Gravel; medium grained, minor gravel to 1", water at 12 ft.
14'-0" to 18'-0" Clay; gray
18'-0" to 24'-0" Sand & Gravel; medium grained, gravel to 3"
24'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 7'-14' & 18'-24'

HOLE HP-14

0'-0" to 3'-0" Overburden/TopSoil; dark brown
3'-0" to 6'-0" Clay; brown Sand & Gravel; fine grained, gravel to 2"
6'-0" to 11'-0" Silt/Sand & Gravel; fine grained, gravel to 2"
11'-0" to 13'-0" Sand & Gravel; coarse grained, gravel to 1/2"
13'-0" to 14'-0" Clay; gray
14'-0" to 25'-0" Sand & Gravel; medium to coarse grained, gravel to 1"
25'-0" to 30'-0" Clay; yellowish brown to gray
TD
Composite sample taken from 6'-13' & 14'-25'

HOLE HP-15

0'-0" to 3'-0" Overburden/TopSoil; dark brown
3'-0" to 11'-0" Sand; fine to medium grained, trace gravel to 2"
11'-0" to 25'-0" Clay; brown to gray
TD
Composite sample taken from 3'-11'

HOLE HP-16

0'-0" to 5'-0" Overburden/TopSoil; dark brown

5'-0" to 20'-0" Clay; brown to gray

TD

No composite sample taken

HOLE HP-17

0'-0" to 2'-0" Overburden/TopSoil; dark brown

2'-0" to 11'-0" Sand & Gravel; fine to medium grained, gravel to 1"

11'-0" to 18'-0" Clay; gray

18'-0" to 20'-0" Sand & Gravel; medium grained, gravel to 1/2"

20'-0" to 26'-0" Sand & Gravel; medium grained, gravel to 1"

26'-0" to 30'-0" Clay; gray

TD

Composite sample taken from 2'-11'

HOLE HP-18

0'-0" to 2'-0" Overburden/TopSoil; dark brown

2'-0" to 15'-0" Sand & Gravel; medium grained, gravel to 1"

15'-0" to 27'-0" Sand & Gravel; medium grained, gravel to 3"

27'-0" to 30'-0" Clay; brown to gray

TD

No composite sample taken

HOLE HP-19

0'-0" to 1'-0" Overburden/TopSoil; brown

1'-0" to 12'-0" Sand & Gravel; medium to coarse grained, gravel to 2",
water at 8 ft.

12'-0" to 19'-0" Clay; brown

19'-0" to 26'-0" Sand; coarse grained

26'-0" to 30'-0" Clay; brown to gray
TD
Composite sample taken from 1'-12'

HOLE HP-20

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 10'-0" Sand & Gravel; medium grained, gravel to 1"
10'-0" to 19'-0" Clay; brown to gray
19'-0" to 26'-0" Sand & Gravel; medium to coarse grained, gravel to 2"
26'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 2'-10' & 19'-26'

HOLE HP-21

0'-0" to 8'-0" Sand & Gravel; coarse grained, gravel to 2"
8'-0" to 12'-0" Sand & Gravel; medium grained, gravel to 1", water at 8 ft.
12'-0" to 20'-0" Clay; gray
TD
Composite sample taken from 0'-12'

HOLE HP-22

0'-0" to 1'-0" Overburden/TopSoil; brown
1'-0" to 8'-0" Sand & Gravel; medium grained, gravel to 2"
8'-0" to 14'-0" As Above; coarse grained, gravel to 3", one 5" cobble
14'-0" to 20'-0" Clay; gray
20'-0" to 27'-0" Sand & Gravel; medium grained, gravel to 2"
27'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 1'-14' & 20'-27'

HOLE HP-23

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 15'-0" Sand & Gravel; medium grained, gravel to 2", water at 10 ft.
15'-0" to 27'-0" Sand & Gravel; medium grained, gravel to 3"
27'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 2'-27'

HOLE HP-24

0'-0" to 4'-0" Overburden/TopSoil; dark brown
4'-0" to 10'-0" Clay; brown
10'-0" to 12'-0" Sand & Gravel; medium grained, gravel to 1/2"
12'-0" to 15'-0" Clay; gray
15'-0" to 27'-0" Sand & Gravel; fine to medium grained, gravel to 1/2"
27'-0" to 30'-0" Clay; brown to gray
TD
No composite sample taken

HOLE HP-25

0'-0" to 5'-0" Overburden/TopSoil; dark brown
5'-0" to 6'-0" Clay; brown
6'-0" to 7'-0" Sand; fine grained
7'-0" to 12'-0" Sand; coarse grained, trace gravel to 1/2"
12'-0" to 19'-0" Clay; gray
19'-0" to 28'-0" Sand & Gravel; medium grained, gravel to 1"
28'-0" to 30'-0" Clay; brown to gray
TD
Composite sample taken from 6'-12' & 19'-28'

HOLE HP-26

0'-0" to 6'-0" Overburden/TopSoil; dark brown
6'-0" to 8'-0" Clay; brown
8'-0" to 16'-0" Sand & Gravel; medium to coarse grained, gravel to 2"
16'-0" to 28'-0" Sand & Gravel; medium grained, gravel to 1"
28'-0" to 30'-0" Clay; brown to gray
TD
Composite sample taken from 8'-28'

HOLE HP-27

0'-0" to 4'-0" Overburden/TopSoil; dark brown
4'-0" to 7'-0" Clay; brown
7'-0" to 13'-0" Sand & Gravel; medium grained, gravel to 2"
13'-0" to 18'-0" Clay; brown
18'-0" to 29'-0" Sand & Gravel; coarse grained, gravel to 3"
29'-0" to 35'-0" Clay; brown to gray
TD
Composite sample taken from 7'-13' & 18'-29'

HOLE HP-28

0'-0" to 4'-0" Overburden/TopSoil; dark brown
4'-0" to 10'-0" Sand; medium grained
10'-0" to 13'-0" Sand & Gravel; medium grained, gravel to 1/2"
13'-0" to 18'-0" Clay; brown
18'-0" to 27'-0" Sand & Gravel; fine grained, gravel to 2"
27'-0" to 30'-0" Shale; gray
TD
Composite sample taken from 4'-13' & 18'-27'

HOLE HP-29

0'-0" to 2'-0" Overburden/TopSoil; dark brown
2'-0" to 15'-0" Sand & Gravel; medium to coarse grained, gravel to 3",
water at 15 ft.
15'-0" to 20'-0" Clay; brown
20'-0" to 27'-0" Sand & Gravel; medium to coarse grained, gravel to 3"
27'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 2'-15' & 20'-28'

HOLE HP-30

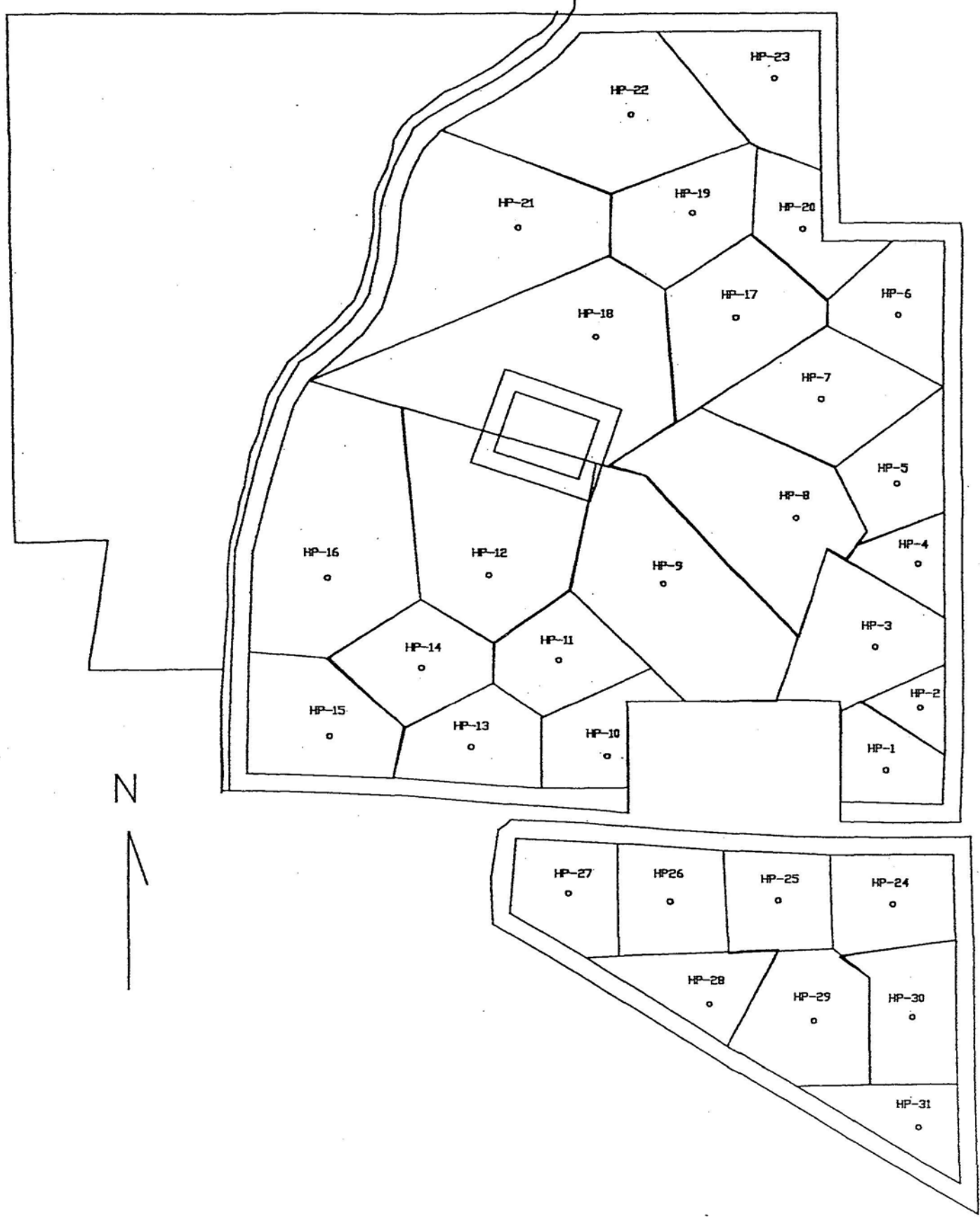
0'-0" to 3'-0" Overburden/TopSoil; dark brown
3'-0" to 4'-0" Silt/Sand; very fine grained
4'-0" to 20'-0" Sand & Gravel; medium grained, gravel to 1/2"
20'-0" to 27'-0" Sand & Gravel; coarse grained, gravel to 2"
27'-0" to 30'-0" Clay; gray
TD
Composite sample taken from 2'-15' & 20'-27'

HOLE HP-31

0'-0" to 5'-0" Sand & Gravel; medium grained, gravel to 1"
5'-0" to 20'-0" As Above; gravel to 3"
20'-0" to 28'-0" As Above; coarse grained, gravel to 2"
28'-0" to 30'-0" Clay;gray
TD
Composite sample taken from 0'-28'

All holes logged by C.L. Coppage

Haake Dairy Property Bore hole Location Map



LEON PROPERTY

HOLE LT-1

0'-0" to 2'-0"	Top soil
2'-0" to 5'-0"	Sand; fine grained; water at 17"
5'-0" to 15'-0"	Sand; coarse grained; trace gravel to 1/2"
15'-0" to 28'-0"	Sand and gravel; coarse grained; gravel to 1"
28'-0" to 30'-0"	Shale

TD

Composite sample taken from 5' to 28'

HOLE LT-2

0'-0" to 2'-0"	Top soil
2'-0" to 8'-0"	Sand; fine grained
8'-0" to 15'-0"	As above; coarse grained
15'-0" to 26'-0"	Sand and gravel; coarse grained; gravel to 2"
26'-0" to 30'-0"	Shale

TD

No composite sample taken

HOLE LT-3

0'-0" to 3'-0"	Top soil
<u>3'-0" to 12'-0"</u>	Clay; dark brown
<u>3'-0" to 15'-0"</u>	Sand
15'-0" to 24'-0"	As above; coarse grained, trace gravel to 1/2"
24'-0" to 30'-0"	Shale

TD
No composite sample taken

HOLE LT-4

0'-0" to 2'-0"	Top soil
2'-0" to 6'-0"	Clay
6'-0" to 16'-0"	Sand and gravel; coarse grained; gravel to 2"
16'-0" to 25'-0"	As above; gravel to 3"
25'-0" to 30'-0"	Shale

TD
Composite sample taken from 6' to 25'

HOLE LT-5

0'-0" to 3'-0"	Top soil
3'-0" to 5'-0"	Sand
5'-0" to 17'-0"	Sand and gravel; fine grained; minor gravel to 1/2"
17'-0" to 27'-0"	As above; coarse grained; abundant pea gravel
27'-0" to 47'-0"	As above; gravel to 2"
47'-0" to 50'-0"	Shale

TD
No composite sample taken

HOLE LT-6

0'-0" to 3'-0"	Top soil
3'-0" to 13'-0"	Sand
13'-0" to 20'-0"	Sand and gravel; coarse grained; gravel to 3"

20'-0" to 37'-0" Sand and gravel; coarse grained; abundant pea gravel

37'-0" to 47'-0" As above; coarse grained; _____

47'-0" to 50'-0" Shale; gray

TD

Composite sample taken from 13'-47'

HOLE LT-7

0'-0" to 2'-0" Top soil

2'-0" to 6'-0" Clay

6'-0" to 8'-0" Sand; fine grained

8'-0" to 18'-0" Sand and gravel; coarse grained; gravel to 1/2"

18'-0" to 27'-0" As above; gravel to 1"

27'-0" to 30'-0" Shale

TD

No composite sample taken

HOLE LT-8

0'-0" to 3'-0" Top soil

3'-0" to 7'-0" Sand

7'-0" to 18'-0" Sand and gravel; coarse grained; gravel to 1"

18'-0" to 26'-0" As above; gravel to 2"

TD

Composite sample taken 6'-26'

HOLE LT-9

0'-0" to 5'-0" Top soil

5'-0" to 15'-0"	Sand; medium grained
15'-0" to 25'-0"	Sand and gravel; medium grained; gravel to 1/2"
25'-0" to <u> </u> '-0"	Shale

TD

No composite sample taken

HOLE LT-10

0'-0" to 2'-0"	Top soil
2'-0" to 8'-0"	Clay
8'-0" to 13'-0"	Sand; fine grained
13'-0" to 17'-0"	Clay; brown; water at 17'
17'-0" to 26'-0"	Sand and gravel; coarse grained; abundant pea gravel
26'-0" to 30'-0"	Shale

TD

No composite sample taken

HOLE LT-11

0'-0" to 2'-0"	Top soil
2'-0" to 6'-0"	Sand; fine grained
6'-0" to 26'-0"	As above; trace gravel to 1/2"
26'-0" to 30'-0"	Shale

TD

Composite sample taken from 3'-26'

MALLORY PROPERTY

HOLE GMA-1

0'-0" to 3'-0"	Top soil
3'-0" to 7'-0"	Sand; fine grained
7'-0" to 20'-0"	As above; coarse grained
20'-0" to 27'-0"	Sand and gravel, minor gravel to 1"

TD

Composite sample taken from 7'-27"

HOLE GMA-2

0'-0" to 5'-0"	Top soil
5'-0" to 12'-0"	Sand; fine grained
12'-0" to 19'-0"	As above; coarse grained
19'-0" to 29'-0"	Sand and gravel; minor gravel to 1/2"
29'-0" to 30'-0"	Shale

TD

Composite sample taken from 5'-0" to 29'-0"

HOLE GMA-3

0'-0" to 6'-0"	Top soil
6'-0" to 11'-0"	Clay; brown
11'-0" to 21'-0"	Sand; coarse grained, water at 13ft
21'-0" to 30'-0"	Sand and gravel; gravel to 2"
30'-0" to 35'-0"	Shale

TD

No composite sample taken

HOLE GMA-4

0'-0" to 1'-0"	Top soil
1'-0" to 3'-0"	Sand
3'-0" to 8'-0"	Sand and gravel; dirty; fine grained; gravel to 2"
8'-0" to 21'-0"	As above; clean, coarse grained; gravel to 2"
21'-0" to 34'-0"	As above, gravel to 3"; see _____

TD

Composite sample taken from 3'-34'

HOLE GMA-5

0'-0" to 6'-0"	Sand and gravel; dirty; fine grained; gravel to 1"
6'-0" to 15'-0"	As above; clean; coarse grained; gravel to 2"
15'-0" to 27'-0"	As above; gravel to 3"
27'-0" to 36'-0"	As above; gravel to 2"
36'-0" to 40'-0"	Shale

TD

Composite sample taken from 6' to 36"

HOLE GMA-6

0'-0" to 6'-0"	Sand and gravel; dirty; fine grained; gravel to 2"
6'-0" to 8'-0"	Sand; fine grained
8'-0" to 12'-0"	As above; coarse grained; water @ 12'
12'-0" to 24'-0"	Sand and gravel, coarse grained, minor gravel to 2"
24'-0" to 37'-0"	As above; gravel to 3"

37'-0" to 40'-0" Shale

TD

No composite sample taken

HOLE GMA-7

0'-0" to 1'-0" Top soil

1'-0" to 7'-0" Silt; sand

7'-0" to 13'-0" Sand and gravel; dirty; medium grained; gravel to 1"

13'-0" to 28'-0" As above; clean; coarse grained; gravel to 2"

28'-0" to 46'-0" As above; gravel to 3"

46'-0" to 50'-0" Shale; gray

TD

Composite sample taken to 7'-46'

HOLE GMA-8

0'-0" to 0'-1" Top soil

1'-0" to 3'-0" Sand and gravel, medium grained, abundant pea gravel

3'-0" to 12'-0" Sand; fine grained

12'-0" to 18'-0" Sand and gravel; coarse grained; gravel to 2"

18'-0" to 23'-0" Sand; fine grained

23'-0" to 28'-0" Sand and gravel, coarse grained; gravel to 3"

28'-0" to 30'-0" Shale

TD

No composite sample taken

HOLE GMA-9

0'-0" to 2'-0"	Top soil
2'-0" to 7'-0"	Sand and gravel; dirty; fine grained; gravel to 1/2"
7'-0" to 16'-0"	Sand; fine grained
16'-0" to 21'-0"	As above; coarse grained' trace gravel to 1/2"
21'-0" to 30'-0"	Sand and gravel; coarse grained; gravel to 2"
30'-0" to 35'-0"	Shale; gray

TD

No composite sample taken

MORRISON PROPERTY

HOLE GM-1

0'-0" to 6'-0"	Top soil
6'-0" to 9'-0"	Sand
9'-0" to 29'-0"	Sand and gravel; coarse grained; gravel to 2"
29'-0" to 30'-0"	Shale; gray

TD

Composite sample taken from 9'-29'

HOLE GM-2

0'-0" to 5'-0"	Top soil
5'-0" to 7'-0"	Sand
7'-0" to 12'-0"	Sand and gravel; coarse grained; pea gravel
12'-0" to 20'-0"	As above; gravel to 1"
20'-0" to 30'-0"	As above
30'-0" to 35'-0"	Shale; gray

TD

Composite sample taken from 7' to 30'

HOLE GM-3

0'-0" to 6'-0"	Top soil
6'-0" to 15'-0"	Sand and gravel; coarse grained; gravel to 3"
15'-0" to 30'-0"	As above; gravel to 2"; water at 15'
30'-0" to 35'-0"	Shale; gray

TD

Composite sample taken from 6'-30'

HOLE GM-4

0'-0" to 7'-0" Top soil
7'-0" to 18'-0" Sand; trace gravel to 1/2"
18'-0" to 31'-0" Sand and gravel; coarse grained; minor gravel to 2"
31'-0" to 35'-0 Shale

TD
No composite sample taken

HOLE GM-5

0'-0" to 8'-0" Top soil
8'-0" to 12'-0" Sand and gravel; medium grained; gravel to 1"
12'-0" to 27'-0" As above; coarse grained
27'-0" to 30'-0" Shale; gray

TD
Composite sample taken from 8'-27'

HOLE GM-6

0'-0" to 1'-0" Top soil
1'-0" to 7'-0" Sand; fine grained
7'-0" to 18'-0" Sand; coarse grained
18'-0" to 30'-0" Sand and gravel; coarse grained; gravel to 1"

TD
Composite sample taken from 7'-30'

HOLE GM-7

0'-0" to 2'-0" Top soil

2'-0" to 5'-0" Sand; fine grained
5'-0" to 13'-0" As above; coarse grained; water at 13'
13'-0" to 25'-0" Sand and gravel; coarse grained; gravel to 2"

TD
No composite sample taken

GETZ PROPERTY

HOLE GT-1

0'-0" to 2'-0"	Top soil
2'-0" to 6'-0"	Sand; fine grained
6'-0" to 16'-0"	Sand and gravel; medium grained; gravel to 1"
16'-0" to 24'-0"	As above; coarse grained; gravel to 2"
24'-0" to 30'-0"	Clay; brown

TD

Composite sample taken from 7'-24'

HOLE GT-2

0'-0" to 1'-0"	Top soil
1'-0" to 5'-0"	Sand
5'-0" to 25'-0"	Sand and gravel; coarse grained; abundant pea gravel; trace gravel to 1"
25'-0" to 28'-0"	As above; coarse grained; _____
28'-0" to 30'-0"	Shale; gray

TD

Composite sample taken from 5'-28'

HOLE GT-3

0'-0" to 1'-0"	Top soil
1'-0" to 6'-0"	Silt; sand
6'-0" to 11'-0"	Sand and gravel; medium grained; gravel to 2"
11'-0" to 23'-0"	As above; abundant pea gravel
23'-0" to 29'-0"	As above; coarse grained; gravel to 2"

29'0" to 30'0" Shale; gray

TD

Composite sample taken from 6'-29'

HOLE GT-4

0'-0" to 6'-0" Top soil

6'-0" to 8'-0" Sand

8'-0" to 27'-0" Sand and gravel; coarse grained; pea gravel; trace gravel to 2"

27'-0" to 30'-0 Shale; gray

TD

No composite sample taken

HOLE GT-5

0'-0" to 3'-0" Top soil

3'-0" to 7'-0" Sand

7'-0" to 15'-0" Sand and gravel; coarse grained; gravel to 3"

15'-0" to 27'-0" As above; medium grained

27'-0" to 31'-0" As above; gravel to 2"

31'-0" to 35'-0" Shale; gray

TD

Composite sample taken from 7'-31'

HOLE GT-6

0'-0" to 2'-0" Top soil

2'-0" to 9'-0" Sand; fine grained

9'-0" to 19'-0" Sand and gravel; coarse grained; gravel to 2"

19'-0" to 27'-0" As above; gravel to 3"

27'-0" to 30'-0" Shale; gray

TD

No composite sample taken

HOLE GT-7

0'-0" to 2'-0" Top soil

2'-0" to 10'-0" Sand

10'-0" to 16'-0" Sand and gravel; fine grained; abundant pea gravel

16'-0" to 30'-0" As above; gravel to 1"

30'-0" to 35'-0" Shale; gray

TD

No composite sample taken

HOLE GT-8

0'-0" to 0'-4" Top soil

4'-0" to 7'-0" Sand

7'-0" to 18'-0" Sand and gravel; medium grained; gravel to 1"

18'-0" to 26'-0" As above; gravel to 2"

TD

_____ Composite sample taken from 4'-26'

HOLE GT-9

0'-0" to 4'-0" Top soil

4'-0" to 6'-0" Sand

6'-0" to 17'-0" Sand and gravel; coarse grained; pea gravel

17'-0" to 26'-0" As above; medium grained; gravel to 1"

26'-0" to 33'-0" As above

33'-0" to 35'-0" Shale; gray

TD

Composite sample taken from 6'-33'

HOOD PROPERTY

HOLE HT-1

0'-0" to 3'-0"	Top soil
3'-0" to 15'-0"	Sand and gravel; coarse grained; gravel to 2"
15'-0" to 17'-0"	Clay; brown
17'-0" to 28'-0"	Sand and gravel; coarse grained
28'-0" to 30'-0"	Shale; gray

TD

Composite sample taken from 3'-15'

HOLE HT-2

0'-0" to 2'-0"	Top soil
2'-0" to 7'-0"	Silt sand; _____
7'-0" to 14'-0"	Sand and gravel; coarse grained; gravel to 1"
14'-0" to 28'-0"	As above; medium grained; gravel to 1/2"
28'-0" to 30'-0"	Shale; gray

TD

Composite sample taken from 7'-8'

HOLE HT-3

0'-0" to 4'-0"	Top soil
4'-0" to 12'-0"	Sand and gravel; coarse grained; gravel to 2"
12'-0" to 18'-0"	As above; medium grained; abundant pea gravel, water at 12'
18'-0" to 25'-0"	As above; coarse grained; gravel to 2"; _____
25'-0" to 28'-0"	Shale; gray

TD

Composite sample at 4'-25'

HOLE HT-4

0'-0" to 2'-0"	Top soil
2'-0" to 6'-0"	Sand; trace gravel to 1/2"
6'-0" to 22'-0"	Sand and gravel; coarse grained; abundant pea gravel; water at 15'
22'-0" to 28'-0"	As above; gravel to 2"
28'-0" to 30'-0"	Shale; gray

TD

Composite sample taken from 6'-28'

HOLE HT-5

0'-0" to 2'-0"	Top soil
2'-0" to 13'-0"	<u>Sand and gravel; gravel to pea gravel</u>
13'-0" to 18'-0"	Clay; brown
18'-0" to 25'-0"	Sand and gravel; coarse grained; gravel to 2"
25'-0" to 30'-0"	Shale; gray

TD

No composite sample taken

HOLE HT-6

0'-0" to 6'-0"	Top soil
6'-0" to 15'-0"	Sand and gravel; coarse grained; gravel to 1/2"
15'-0" to 20'-0"	Shale; gray

TD
No composite sample taken

HOLE HT-7

0'-0" to 1'-0"	Top soil
1'-0" to 14'-0"	Sand and gravel; coarse grained; gravel to 2"
14'-0" to 20'-0"	Shale; gray

TD
Composite sample taken from 1'-14'

HOLE HT-8

0'-0" to 2'-0"	Top soil
2'-0" to 8'-0"	Sand; trace gravel to 1/2"
8'-0" to 16'-0"	Sand and gravel; coarse grained; abundant pea gravel; water at 12'
16'-0" to 20'-0"	Shale; gray

TD
No composite sample taken

HOLE HT-9

0'-0" to 2'-0"	Top soil
2'-0" to 14'-0"	Sand and gravel; coarse grained; gravel to 3"
14'-0" to 17'-0"	Clay; brown
17'-0" to 22'-0"	Sand and gravel
22'-0" to 25'-0"	Shale; gray

TD
Composite sample taken from 2'-14'

HOLE HT-10

0'-0" to 2'-0"	Top soil
2'-0" to 12'-0"	Sand and gravel; medium grained; gravel to 1"
12'-0" to 25'-0"	As above; coarse grained; gravel to 2"
25'-0" to 32'-0"	As above; _____
32'-0" to 35'-0"	Shale; gray

TD
No composite sample taken

EXHIBIT J

VEGETATION INFORMATION

Tucson South Sand and Gravel Mine Project— Adams County, Colorado

Wetland Delineation Report



September 2017



Prepared for: Aggregate Industries, LLC
1687 Cole Boulevard, Suite 300
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Prepared by:



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Attachments

- Attachment 1: Figures
- Attachment 2: Wetland Determination and Stream Data Forms
- Attachment 3: Representative Photos

1. Introduction

Aggregate Industries (AI) is proposing to mine sand and gravel at the Tucson South Mine Project (Project) in Adams County, Colorado. On behalf of AI, Tetra Tech conducted a field survey on July 6 and 7, 2017 to characterize the site wildlife and vegetation, as well as to identify and delineate wetlands and other waters of the U.S. (WOTUS) to determine the need for permitting under Section 404 of the Clean Water Act. This report is prepared in support of a permit under a Section 404 of the Clean Water Act.

1.1 Project Description and Location

The Project is located west of Brighton, CO at the intersection of Tucson Street and Colorado Highway 7 in Sections 1 and 12 of Township 1 South, Range 67 West. The Project area has multiple parts divided by roads and parcel boundaries, and is shown in Figure 1, attached. The total Project area is approximately 227 acres. The Project will extract material and permanently leave two reservoirs and areas of uplands. The Project will include the construction of temporary construction access roads, gravel mining areas, and equipment storage areas. The Project is currently in the design phase and the final location of these features have not yet been defined. Therefore, for planning purposes, all of the Project area was evaluated for the presence of biological resources.

The Project is expected to go through a review process by the U.S. Army Corps of Engineers (USACE); U.S. Fish and Wildlife Service (USFWS); Colorado Department of Public Health and Environment; Colorado Office of Archaeology and Historic Preservation; Colorado Department of Transportation; Colorado Parks and Wildlife; Colorado Division of Mining and Reclamation Safety, and Adams County. Construction of the Project would begin after issuance of all necessary permits, which is currently anticipated as summer 2018. The Project would be developed over time and would operate indefinitely after the City of Aurora takes control of the site and operates the two reservoirs.

1.2 Ecoregional Setting

The Project is completely situated in the High Plains Level III Ecoregion. The High Plains Ecoregion includes four Level IV ecoregions. The Project ROW lies within the Flat to Rolling Plains (25d) Level IV ecoregion (Chapman et al. 2006). This ecoregion is characterized by moderate topological relief, silty and sandy soils, shortgrass prairie vegetation, and intermittent streams with few perennial streams. This ecoregion is known to have small, scattered depressional “playa” wetlands and dense oil and gas production. Elevation in the Project Area is between 4,900 and 5,000 feet above sea level. The Project area is located in the USACE Great Plains Region in Land Resource Region G – Western Great Plains.

1.3 Regulatory Setting

1.3.1 Clean Water Act

All discharges of dredged or fill material into jurisdictional waters of the U.S., that result in permanent or temporary losses of Waters of the United States (WOTUS), are regulated by the U.S. Army Corps of Engineers (USACE) under Section 404 of the Clean Water Act (CWA). The USACE regulates projects in navigable waters under Section 10 of the Rivers and Harbors Act.

Under USACE and U.S. Environmental Protection Agency (EPA) regulations, wetlands are defined as “those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.” In non-tidal waters, the lateral extent of USACE jurisdiction is determined by the ordinary high water mark, which is defined as the “line on the shore established by the fluctuations of water and indicated by physical characteristics such as clear, natural line impressed on the bank, shelving, changes in the character of soil, destruction of terrestrial vegetation, the presence of litter and debris, or other appropriate means that consider the characteristics of the surrounding areas” (33 CFR 328[e]).

Depending upon the level of impacts to the jurisdictional features, a preconstruction notification (PCN) and an approved jurisdictional determination (JD) by the USACE may be necessary for the Project. For permanent impacts less than 0.1 acre, no PCN would be required. If impacts to jurisdictional waters cannot be avoided, the Project will require permitting under the CWA § 404 program administered by USACE. The Denver Regulatory Office of USACE recommends consultation on projects that may exceed these thresholds to determine the need and/or type of permitting.

2. Desktop Analysis Methods and Results

The following sections briefly describe the methods used for this series of wetland determinations. Results of the desktop analysis are shown in Attachment 1, Figure 1.

2.1 Wetlands and Other Waters of the U.S. Desktop Methods

Tetra Tech conducted a desktop analysis of the Project area to identify potential jurisdictional wetlands or other WOTUS in the proposed construction area. Desktop analysis used information described in the following sections.

The U.S. Fish and Wildlife Service (USFWS) online *Wetlands Mapper* tool (USFWS 2015a) depicts mapped wetlands as part of the National Wetland Inventory (NWI) Program. The NWI dataset identified one wetland in the Project area. NWI wetland polygons situated in the Project area are depicted in Attachment 1, Figure 1

The U.S. Geological Survey (USGS) produces the National Hydrography Dataset (NHD) that identifies perennial and intermittent streams, ponds, and lakes. The online database NHD *Viewer* tool (USGS 2015a) was queried for the Project area. The query found one NHD feature, South Platte River, in the project area. NHD data in the Project area are depicted in Attachment 1, Figure 1.

The U.S. Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) is the source for hydric soils information. These data are available online via the *Web Soil Survey* tool (USDA-NRCS 2015). Data were obtained for the Project area and were used to cross-check against field sites that were initially observed to exhibit wetland or surface water conditions. Hydric soils were identified in the Project area associated with NWI and NHD mapped features. Additionally, the *Web Soil Survey* was queried for drainage class across the Project area. One soil, Nunn-Kim complex is listed by the NRCS as a hydric soil.

The USDA-Farm Service Bureau (2016) produces current high-quality aerial photography through the National Agricultural Imagery Program (NAIP). This aerial photography was used to further refine the field delineation for wetlands and other surface waterbodies within the Project area.

2.2 Wetlands and Other Waters of the U.S. Desktop Results

The Desktop Analysis identified locations where the proposed Project intersected possible wetlands or other WOTUS features. Remote sensing data (NWI, NHD, NRCS) are typically not precise. Tetra Tech wetland scientists determined that a field reconnaissance was required to determine the accurate locations and boundaries of wetlands and other WOTUS located in the Project area.

2.2.1 Floodplains

The FEMA mapped floodplain of the South Platte River is intersected by the Project. Several forested, shrub, and palustrine emergent wetlands and canals with perennial or intermittent flow were mapped in the Project area as part of wetland delineation activities (Attachment 1, Figure 1.)

3. Wetland and Other WOTUS Delineation Methods and Results

Wetland delineations for the Project were performed on July 6 and 7, 2017. The delineations were conducted in areas initially identified during the desktop analysis.

3.1 Wetland Delineation Methods

Wetland delineation for the Project followed Methods contained in the USACE *Wetland Delineation Manual* (USACE 1987) and the *Regional Supplement to the USACE Wetland Delineation Manual: Great Plains Region (Version 2.0)* (USACE 2010). The delineation process was utilized to document dominant vegetation, soils, and hydrology in the Project. For a site to be considered a wetland, there must be positive indication of dominance by hydrophytic vegetation, hydric soils, and characteristic wetland hydrology. In normal conditions, if a sample plot lacks any of these three criteria, it is considered upland. To determine these three variables, the field team typically designated paired sample plots, placed at discrete (typically less than 25 feet) distances from one another—one to represent wetland conditions, the other to represent uplands. Each sample plot featured a hand-dug soil pit averaging 20 inches in depth. The sample plot also included nested concentric sampling rings for vegetation cover and species identification, as follows:

- Herbaceous vegetation was identified within a 5-foot radius of the sample plot center
- Sapling/shrub vegetation was identified within a 15-foot radius of the sample plot center
- Trees and woody vines were documented within a 30-foot radius of the sample plot center

3.1.1 Hydrophytic Vegetation

The dominant vegetation at each sample plot was keyed to species level and each species was assigned a wetland indicator status using *The National Wetland Plant List* (Lichvar 2016). The field team used the *Flora of Colorado* (Ackerfield 2015) as the field taxonomic reference for keying unknown plant species.

Hydrophytic vegetation, or plants that are indicators of wetlands, include those species designated obligate (OBL), facultative wetland (FACW), or facultative (FAC). As a general rule, hydrophytes dominate a sample plot when greater than 50 percent of the evaluated species are OBL, FACW, or FAC. Upland plants include those listed with facultative upland (FACU), or upland (UPL) status. **Table 1** provides descriptions of these indicators.

Table 1. Wetland Indicator Status

Indicator Status	Occurrence in Wetlands
Obligate (OBL)	Almost always occur in wetlands under natural conditions (estimated probability >99%).
Facultative Wetland (FACW)	Usually occur in wetlands (estimated probability 67%-99%), but occasionally found in non-wetlands (estimated probability 1%-33%).
Facultative (FAC)	Equally likely to occur in wetlands or non-wetlands (estimated probability 34%-66%).
Facultative Upland (FACU)	Usually occur in non-wetlands (estimated probability 67%-99%), but occasionally found in wetlands (estimated probability 1%-33%).

Upland (UPL)	Almost always occur in non-wetlands under natural conditions (estimated probability >99%).
Not Listed (NL)	Not Listed plants are assumed to be UPL as defined in the user notes for the Great Plains 2016 Regional Plant List.

3.1.2 Cowardin Classification

Wetlands were classified according to *Classification of Wetlands and Deepwater Habitats in the United States* (Cowardin et al. 1979) during the field survey. The classification system, also known as the Cowardin Classification, was developed as a tool to aid in distinguishing the different types of wetlands. Three wetlands classes were identified in the Project area: palustrine (non-tidal) emergent wetlands (PEM), palustrine scrub/shrub wetlands (PSS), and palustrine forested wetlands (PFO). Palustrine features are typically situated in depressional topography. Emergent wetlands consist of erect and rooted wetland plants. Scrub/shrub wetlands are dominated by woody vegetation less than 20 feet tall. Forested wetlands are dominated by woody vegetation 20 feet high or taller.

3.1.3 Wetland Soils

Soil from each soil pit was evaluated for hue, value, and chroma in each observable horizon using *Munsell Soil Color Charts* (Gretag 2009). Each soil horizon was also checked for texture and for the presence of redoximorphic features, depleted matrix, saturation, and other specific criteria used to document hydric conditions. Each paired wetland and upland soil pit was mapped using a Trimble Geo 7X handheld GPS with sub-meter accuracy.

3.1.4 Wetland Hydrology

Hydrology was analyzed for primary and secondary wetland indicators. Primary wetland indicators included visible inundation, soil saturation, water marks, drift lines, sediment deposits, and drainage patterns in wetlands. Secondary wetland indicators of wetland hydrology included observable features such as oxidized root channels associated with living roots, water-stained leaves, soil cracks, and local soil survey data. Once established, the soil pits were left open a sufficient amount of time to allow the apparent high water table, if present, to stabilize.

3.1.5 Wetland Determination Data Forms

Sample plots that exhibited qualifying characteristics of hydrophytic vegetation, hydric soils, and wetland hydrology were identified as wetlands. A Wetland Determination Data Form, specific to the Great Plains Region, was completed for each paired wetland and upland sample plot. The wetland determination data forms are included in Attachment 2.

3.1.6 Wetland Mapping

A wetland delineation was conducted to identify the transitional area between wetland and upland conditions. Wetland scientists accomplished the delineation by walking the outer limit of visibly

identifiable wetland vegetation between the paired wetland and upland sample plots recording the path with a Trimble Geo 7X GPS. The Trimble Geo 7X GPS unit provides an estimated 3-foot (1-meter) survey accuracy (post-processing). The field-collected data were plotted as a map layer using geographic information system (GIS) software. Photographs of the wetlands are provided in the photo log included as Attachment 3.

3.1.7 Assessment of Other WOTUS

Non-wetland WOTUS are regulated under the CWA for the placement of dredged or fill materials. The desktop analysis and field surveys identified other WOTUS including ephemeral, intermittent, and perennial streams and ponds.

3.1.7.1 Surface Water Assessment Methods

Stream and pond features were mapped along their ordinary high water marks (OHWM). The USACE regulations define “ordinary high water mark” as:

... that line on the shore established by the fluctuations of water and indicated by physical characteristics such as a clear, natural line impressed on the bank, shelving, changes in the character of soil, destruction of terrestrial vegetation, the presence of litter and debris, or other appropriate means that consider the characteristics of the surrounding areas.

Once the OHWM was observed in the field by the team, the Trimble Geo 7X GPS unit was used to map this line in the Project area. Only the western OHWM boundary was mapped during the field survey because the Project does not extend to the beyond the OHWM and no impacts to the South Platte River are anticipated. .

3.1.8 Uplands

Several upland points were established during the survey. Upland points were mapped to document that neither wetland nor other WOTUS conditions prevailed at these locations. These locations are generally flat or convex surfaces that do not hold surface water. They are non-jurisdictional and do not need to be avoided due to presence of wetlands or other potentially jurisdictional WOTUS. Uplands are shown in Figure 2 with an “UP” in their name.

3.1.8.1 Swales

One swale feature was observed during field reconnaissance. Swales are linear or curvilinear depressional features that naturally collect overland flows from surrounding uplands. The swale location that was mapped was determined to lack a defined OHWM, bed, bank, and scoured channel. It did not contain wetland plants, but was instead vegetated with upland species. Although this feature may contain flowing water during rare seasonal precipitation events, construction in this feature will not require permitting from the USACE.

4. Wetlands and Other WOTUS Delineation Results

4.1 Wetlands

A total of eight wetlands were delineated in the Project area. Narratives including the dominant wetland vegetation along with its indicator status, hydric soil indicator, and hydrology indicator for these delineated wetlands are provided below. Table 3 summarizes the delineated wetlands, the likely jurisdictional status, and the approximate acreage of each feature. The wetlands are depicted on Attachment 1, Figure 2.

4.1.1 Wetland TM-A4-WT

Wetland TM-A4-WT (Wetland A4) is a mix of palustrine emergent and forested wetland classes located on the eastern portion of the Project. The wetland is within a man-made topographical depression located adjacent to the river. Upland areas exist between the wetland and the South Platte River. Vegetation in the wetland plot was dominated by American elm (*Ulmus Americana*, FAC) and peachleaf willow (*Salix amygdaloides*, FACW) in both the tree stratum and shrub stratum. The herbaceous stratum was dominated by kochia (*Bassia scoparia*, FACU). Soils in the wetland sample plot were clays which qualified for the hydric soil indicators Redox Dark Surface (F6) and Depleted Below Dark Surface (A11). The hydrology indicators for the wetland included Oxidized Rhizospheres on Living Roots (C3) in 10 percent of the soil profile and Geomorphic Position (D2). Wetland A4 is approximately 0.53 acre. Although this wetland did not appear to have an outlet to the South Platte River, the wetland is likely a jurisdictional WOTUS because of its location within the 100-year floodplain associated with the South Platte River. The South Platte River is a perennial water and is considered a traditionally navigable water (TNW).

4.1.2 Wetland TM-A6-WT

Wetland TM-A6-WT (Wetland A6) is a mix of palustrine emergent and forested wetland classes located immediately west of Wetland A4. Wetland A6 is part of the same man-made topographical depression as Wetland A4. Although upland areas surround Wetland A6, Wetlands A4 and A6 overflow drainage patterns did exist indicating that Wetland A6 may occasionally overflow into Wetland A4. The western boundary of Wetland A6 is Tucson Street. Vegetation in the wetland plot was dominated by plains cottonwood (*Populus deltoides ssp. monilifera*, FAC) and peachleaf willow in the tree stratum. The dominant vegetation in the herb stratum was narrowleaf cattail (*Typhus angustifolia*, OBL). Soils in the wetland sample plot were silty clays which qualified for the hydric soil indicator Redox Dark Surface (F6). The hydrology indicators included Saturation (A3), Water Marks (B1), and the FAC-neutral Test (D5). Wetland A6 is approximately 3.56 acres. The wetland is likely a jurisdictional WOTUS because of its location within the 100-year floodplain

associated with the South Platte River. The South Platte River is a perennial water and is considered a traditionally navigable water (TNW).

4.1.3 Wetland TM-A10-WT

Wetland TM-A10-WT (Wetland A10) is a palustrine emergent wetland located on the west side of the Project and adjacent to Brighton Ditch (TM-A18-STR-01). Wetland A10 is a fringe wetland surrounding a small pond. The mapped area for this wetland includes the pond area. Vegetation in the wetland sample plot was dominated by reed canary grass (*Phalaris arundinacea*, FACW) and narrowleaf cattails. Soils in the wetland plot were clays which qualified for the hydric soil indicator Hydrogen Sulfide Odor (A4). Hydrologic indicators included Surface Water (A1), High Water Table (A2), Saturation (A3), Hydrogen Sulfide Odor (C1), and FAC-Neutral Test (D5). Wetland A10 is approximately 0.76 acre. The wetland is not likely a jurisdictional WOTUS because there is no connection to a TNW. While the feature is immediately adjacent to the Brighton Ditch and the ditch draws water from the South Platte River, the ditch flows north eventually terminating in an upland setting.

4.1.4 Wetland TM-A11-WT

Wetland TM-A11-WT (Wetland A11) is a palustrine emergent wetland located on the west side of the Project. Piles of material nearby were observed indicating the wetland is likely man made. Wetland A11 is a fringe wetland surrounding a small pond. The mapped area for this wetland includes the pond area. Vegetation in the wetland sample plot was dominated by plains cottonwood in the tree stratum with peachleaf willow and coyote willow (*Salix exigua*, FACW) dominating the shrub stratum. The dominate vegetation in the herb stratum is Canada thistle (*Cirsium arvense*, FACU) and broadleaf cattail (*Typha latifolia*, OBL). Soils in the wetland plot were a silty clays which qualified for the hydric soil indicator Hydrogen Sulfide Odor (A4). Hydrologic indicators included High Water Table (A2), Saturation (A3), Hydrogen Sulfide Odor (C1), Geomorphic Position (D2) and FAC-Neutral Test (D5). Wetland A11 is approximately 1.00 acre. The wetland is not likely jurisdictional because there is no clear connectivity to a WOTUS.

4.1.5 Wetland TM-A12-WT

Wetland TM-A12-WT (Wetland A12) is a palustrine emergent wetland located on the west side of the Project. Wetland A12 appears to be a man-made feature created when an area of upland was excavated approximately 6 feet deep and below the water table. Piles of material nearby were observed indicating the wetland is likely man made. Vegetation in the wetland sample plot was dominated by coyote willow in the shrub stratum with annual rabbits-foot grass (*Polypogon monspeliensis*, FACW) and oak-leaf goosefoot (*Chenopodium glaucum*, FAC) dominate in the herb stratum. Soils in the wetland plot were a sands which qualified for the hydric soil indicator Hydrogen Sulfide Odor (A4). Hydrologic indicators included Hydrogen Sulfide Odor (C1), Drainage Patterns (B10) and FAC-Neutral Test (D5). Wetland A12 is approximately 0.47 acre. The wetland is not likely jurisdictional because there is no clear connectivity to a WOTUS.

4.1.6 Wetland TM-A13-WT

Wetland TM-A13-WT (Wetland A13) is a palustrine emergent wetland located on the west side of the Project. Wetland A13 is immediately adjacent to Wetland A12 and, like Wetland A12, appears to be a man-made feature created when an area of upland was excavated approximately 6 feet deep and below the water table. Piles of material nearby were observed indicating the wetland is likely man made. Vegetation in the wetland sample plot was dominated by narrowleaf cattails. Soils in the wetland plot were a sands which qualified for the hydric soil indicator Hydrogen Sulfide Odor (A4). Hydrologic indicators included High Water Table (A2), Saturation (A3), Hydrogen Sulfide Odor (C1), and FAC-Neutral Test (D5). Wetland A13 is approximately 0.02 acre. The wetland is not likely jurisdictional because there is no clear connectivity to a WOTUS.

4.1.7 Wetland TM-A14-WT

Wetland TM-A14-WT (Wetland A14) is a palustrine emergent wetland located on the west side of the Project. Wetland A14 is immediately adjacent to Wetland A12 and, like Wetland A12 appears to be a man-made feature created when an area of upland was excavated approximately 6 feet deep and below the water table. Piles of material nearby were observed indicating the wetland is likely man made. Vegetation in the wetland sample plot is dominated by narrowleaf cattails. Soils in the wetland plot were a sandy clays which qualified for the hydric soil indicator Redox Dark Surface (F6). Hydrologic indicators included High Water Table (A2), Saturation (A3), and FAC-Neutral Test (D5). Wetland A14 is approximately 0.06 acre. The wetland is not likely jurisdictional because there is no clear connectivity to a WOTUS.

4.1.8 Wetland TM-A16-WT

Wetland TM-A16-WT (Wetland A16) is a palustrine emergent wetland located on the west side of the Project. Wetland A14 appears to be a man-made feature created when an area of upland was excavated approximately 6 feet deep and below the water table. Piles of material nearby were observed indicating the wetland is likely man made. Vegetation in the wetland sample plot was dominated by narrowleaf cattail. Soils in the wetland plot did not meet the criteria for any hydric soil indicator, however Saturation (A3) and Saturation Visible on Aerial Imagery (B7) hydrology indicators were observed. Wetland scientists used their best professional judgement to determine that the delineated area is a wetland because hydrophytic vegetation and hydrology indicators were observed and it is very similar to the other wetlands identified in the survey area (A12, A13, and A14). Wetland A16 is approximately 0.19 acre. The wetland is not likely jurisdictional because there is no clear connectivity to a WOTUS.

Table 3. Delineated Wetlands in the Project Area

Wetland Number	Approximate Acreage	Latitude	Longitude	Likely Jurisdictional Status ¹
A4	0.53	39.990557	-104.833057	Jurisdictional
A6	3.56	39.990653	-104.834511	Jurisdictional

Table 3. Delineated Wetlands in the Project Area

Wetland Number	Approximate Acreage	Latitude	Longitude	Likely Jurisdictional Status ¹
A10	0.76	39.989971	-104.836905	Non-Jurisdictional
A11	1.00	39.988956	-104.843833	Non-Jurisdictional
A12	0.47	39.989988	-104.843286	Non-Jurisdictional
A13	0.02	39.991824	-104.841724	Non-Jurisdictional
A14	0.06	39.991941	-104.841707	Non-Jurisdictional
A16	0.19	39.992437	-104.842122	Non-Jurisdictional

¹ Note that only the USACE can render an approved Jurisdictional Determination (JD). The likely jurisdictional status listed in Table 3 only reflect Tetra Tech's understanding of Jurisdictional Waters of the United States. Without a USACE rendered jurisdictional determination, impacts should be avoided to these wetlands.

4.2 Other WOTUS Results

4.2.1 Streams

A total of six stream features were recorded during the field survey. Stream A1, South Platte River, is a perennial water feature that is considered a traditional navigable water and is jurisdictional. The remainder of the stream features draw water either directly or indirectly from the South Platte River but do not drain into the river or other potential WOTUS. Therefore, the rest of the streams are identified as likely non-jurisdictional. Table 4 provides a summary of the stream features noted in the Project Area. Stream forms are included in Attachment 3.

Table 4. Streams in the Project Area

Stream Number	Stream Name	Approximate Acreage in Project Area	Latitude	Longitude	Likely Jurisdictional Status ¹
A1	South Platte River	3.79	39.990557	-104.833057	Jurisdictional
A8	Unnamed	0.03	39.990653	-104.834511	Non-Jurisdictional
A17	Unnamed	0.06	39.989971	-104.836905	Non-Jurisdictional
A18	Brighton Ditch	1.29	39.988956	-104.843833	Non-Jurisdictional
A23	Unnamed	0.96	39.991824	-104.841724	Non-Jurisdictional
A25	Unnamed	0.06	39.991941	-104.841707	Non-Jurisdictional

¹ Note that only the USACE can render an approved Jurisdictional Determination (JD). The likely jurisdictional status listed in Table 3 only reflect Tetra Tech's understanding of Jurisdictional Waters of the United States. Without a USACE rendered jurisdictional determination, impacts should be avoided to these wetlands.

4.2.2 Ponds

One pond was observed during field surveys (Table 5). The pond was observed to have surface water and a wetland fringe around the edge of the entire pond. This feature has no connection to a WOTUS and is likely non-jurisdictional.

Table 5:
Ponds Observed Within the Project Boundary

Pond Number	Approximate Acreage	Latitude	Longitude	Likely Jurisdictional Status ¹
A15	0.61	39.99038	-104.84156	Likely Non-Jurisdictional

¹ Note that only the USACE can render an approved Jurisdictional Determination (JD). The likely jurisdictional status listed in Table 3 only reflect Tetra Tech's understanding of Jurisdictional Waters of the United States. Without a USACE rendered jurisdictional determination, impacts should be avoided to these wetlands.

5. Conclusions and Recommendations

The wetland and other WOTUS delineation report presents the results of a desktop analysis and field delineation in accordance with methods outlined in the USACE *Wetland Delineation Manual* (USACE 1987) and the *Regional Supplement to the USACE Wetland Delineation Manual: Great Plains Region (Version 2.0)* (USACE 2010).

Fourteen features were delineated in the Project area (Figure 2) including eight wetlands (Table 3), six streams (Table 4), and one pond (Table 5). Tetra Tech identified eleven of these features as not likely jurisdictional and therefore not likely subject to Section 404 permitting. Three features, Wetlands A4 and A6 and Stream A1 (South Platte River) were determined to be likely jurisdictional and subject to Section 404 permitting. Because only the USACE can determine the jurisdictional status of a wetland or other WOTUS, Tetra Tech recommends consultation with the Denver Regulatory Office of USACE prior to construction to confirm our determinations and to identify the permitting requirements, if any, for the development of the project. The USACE typically issues Nationwide permits (NWPs) from the USACE allow for minor impacts in streams, wetlands, and other WOTUS that are jurisdictional under Section 404 of the CWA. A minor impact is generally less than 0.5 acre. When impacts to jurisdictional wetlands or other WOTUS exceed minor impacts, the USACE will generally require an Individual Permit. Should the project construction design include impacts greater than 0.5 acres, the project would likely be subject to an Individual Permit.

The Project area intersects a FEMA mapped floodplain associated with the South Platte River. Tetra Tech recommends consultation with Adams County to determine permitting requirements for construction within the FEMA mapped floodplain.

6. References

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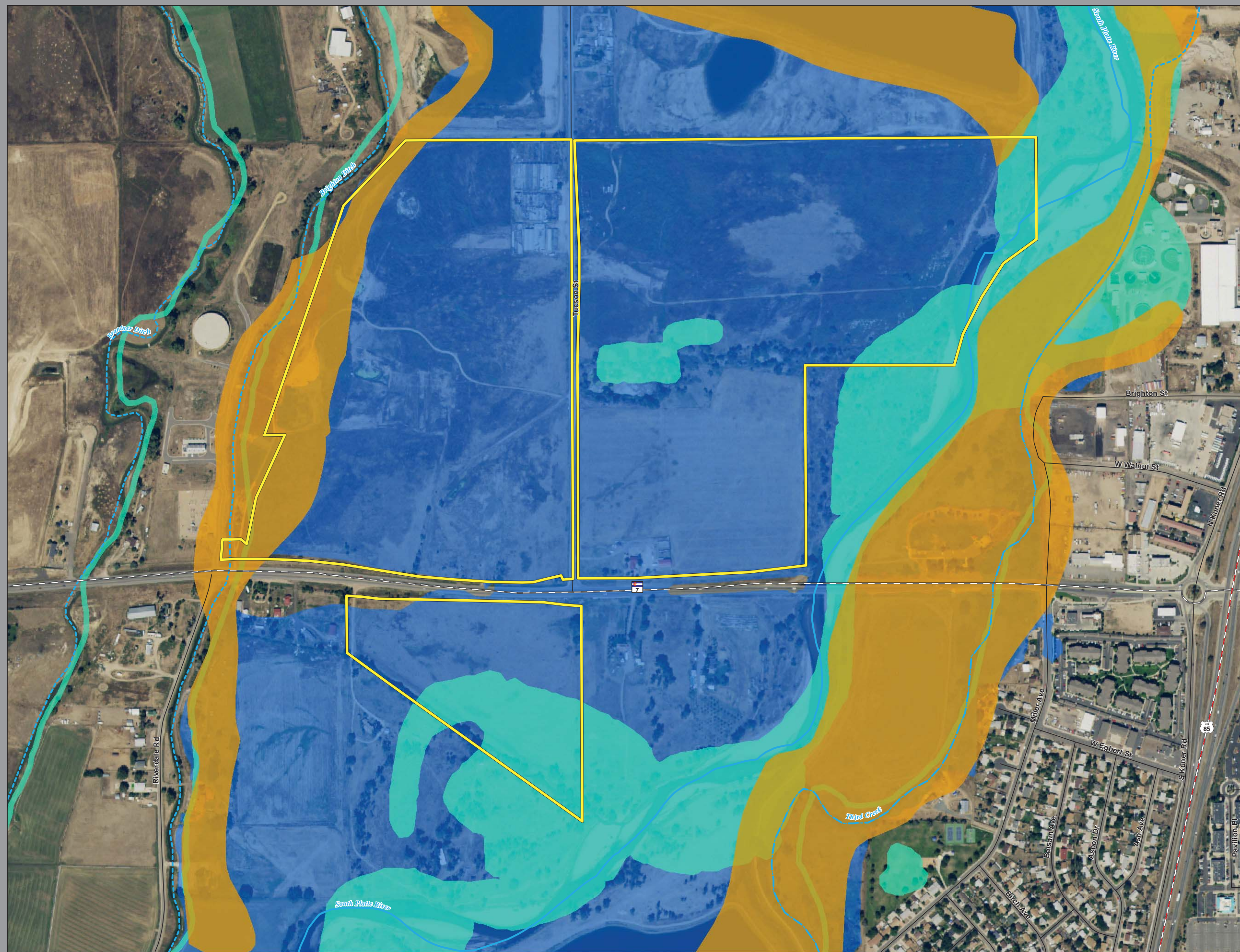
Attachment 1: Figures

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Tuscon South Mine Project

Figure 1 Desktop Analysis Results Map

Adams County, CO
September 2017

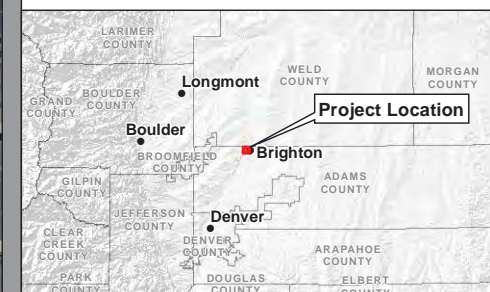


Legend

- Project Area
- Hydrology**
- Perennial Stream (NHD)
- Intermittent Stream (NHD)
- Canal/Ditch (NHD)
- NWI Wetland
- 100-year FEMA Floodplain
- Transportation**
- State Highway
- Hydric Soil**
- Hydric Soil



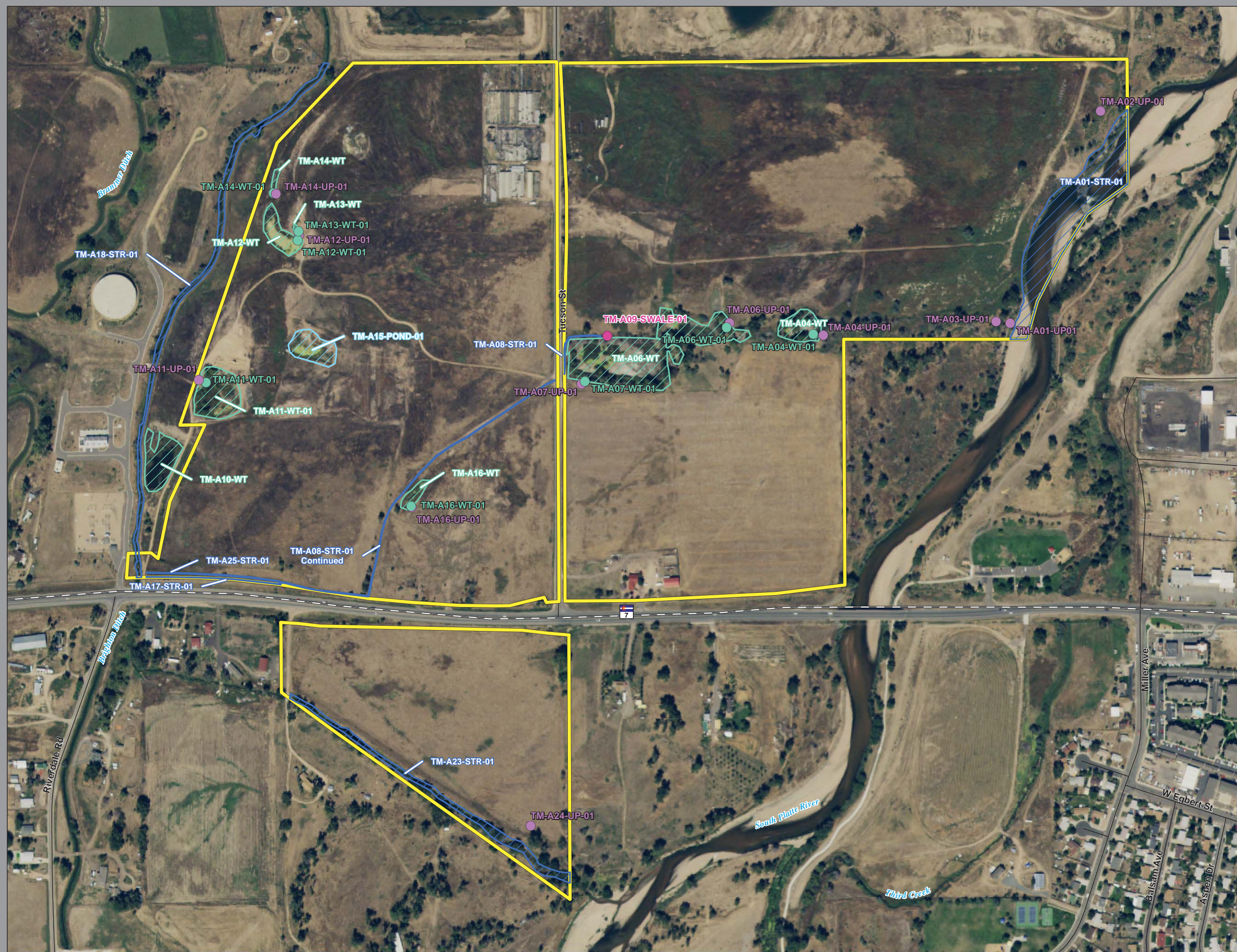
0 250 500 Feet
Scale is 1:3,200 when printed at 22x34"



Tuscon South Mine Project

Figure 2 Wetland Delineation Results Map

Adams County, CO
September 2017



Legend

Project Area

Sample Plots

- Swale
- Upland Sample Plot
- Wetland Sample Plot

Field Delineated Features

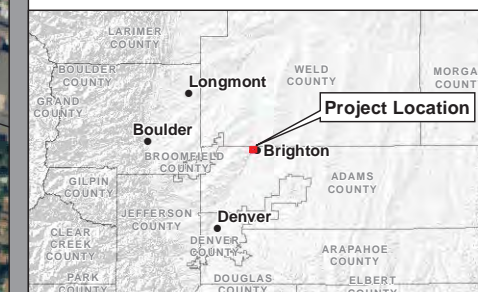
- Pond
- Stream
- Wetland

Transportation

- State Highway



0 250 500 Feet
Scale is 1:2,600 when printed at 22x34"



Attachment 2:
Wetland Determination and Stream Data
Forms

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WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A1-UP01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): None Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990680 Long: -104.829737 Datum: WGS 84
 Soil Map Unit Name: Water NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes X No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <u>X</u> No _____ Hydric Soil Present? Yes _____ No <u>X</u> Wetland Hydrology Present? Yes _____ No <u>X</u>	Is the Sampled Area within a Wetland? Yes _____ No <u>X</u>
Remarks: <u>Plot established in a mapped NWI wetland located within the floodplain of the S. Platte River outside the OHWM. This location was selected based on the lower topography and the hydrophytic vegetation.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Populus deltoides</u>	<u>5</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>67</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>5</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>Tamarix chinensis</u>	<u>10</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Salix exigua</u>	<u>30</u>	<u>Y</u>	<u>FACW</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>40</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Euphorbia escula</u>	<u>20</u>	<u>Y</u>	<u>NL</u>	
2. <u>Phalaris arundinaceae</u>	<u>20</u>	<u>Y</u>	<u>FACW</u>	
3. <u>Bromus inermis</u>	<u>20</u>	<u>Y</u>	<u>UPL</u>	
4. <u>Rumex crispus</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
5. <u>Bromus tectorum</u>	<u>15</u>	<u>N</u>	<u>UPL</u>	
6. <u>Lactuca serriola</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
7. <u>Cardaria draba</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
8. <u>Chenopodium album</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
9. <u>Bassia scoparia</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
10. _____	_____	_____	_____	
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum _____				
Remarks: _____				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A4-UP01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): None Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990543 Long: -104.832885 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with TM-A4-WT01.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Salix amygdaloides</u>	<u>20</u>	<u>Y</u>	<u>FACW</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>4</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>25</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>20</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Bromus tectorum</u>	<u>40</u>	<u>Y</u>	<u>UPL</u>	Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Chenopodium album</u>	<u>20</u>	<u>Y</u>	<u>FACU</u>	
3. <u>Cardaria draba</u>	<u>10</u>	<u>N</u>	<u>UPL</u>	
4. <u>Agropyrum trachycalum</u>	<u>20</u>	<u>Y</u>	<u>FACU</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>90</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>10</u>				

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A4-WT01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): None Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990552 Long: -104.833057 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>Located in a depressional area between man-made berms on the north and south.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Salix amygdaloides</u>	<u>20</u>	<u>Y</u>	<u>FACW</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>80</u> (A/B)
2. <u>Ulmus americana</u>	<u>30</u>	<u>Y</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>50</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Salix amygdaloides</u>	<u>20</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Ulmus americana</u>	<u>10</u>	<u>Y</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>30</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Bassia scoparia</u>	<u>90</u>	<u>Y</u>	<u>FACU</u>	Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Cirsium arvense</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				

Remarks:

SOIL

Sampling Point: TM-A4-WT

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-8	10YR 3/1	95	10YR 3/4	5	C	M/PL	Clay	
11-21	10YR 4/1	85	7.5YR 3/4	15	C	M/PL	Clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) (LRR F)
- 1 cm Muck (A9) (LRR F, G, H)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)
- 5 cm Mucky Peat or Peat (S3) (LRR F)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR I, J)
- Coast Prairie Redox (A16) (LRR F, G, H)
- Dark Surface (S7) (LRR G)
- High Plains Depressions (F16)
- (LRR H outside of MLRA 72 & 73)
- Reduced Vertic (F18)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) (where not tilled)
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) (where tilled)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes _____ No Depth (inches): _____
 Water Table Present? Yes _____ No Depth (inches): _____
 Saturation Present? (includes capillary fringe) Yes _____ No Depth (inches): _____

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A5-UP01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): None Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990338 Long: -104.832621 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot established outside the bermed wetland area (TM-A4-WT) in the northeast corner of the associated agricultural field in a small sloped area with willows and cottonwood trees present.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Populus deltoides</u>	<u>30</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>4</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>50</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>20</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>Salix exigua</u>	<u>40</u>	<u>Y</u>	<u>FACW</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Chenopodium album</u>	<u>70</u>	<u>Y</u>	<u>FACU</u>	Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Cardaria draba</u>	<u>30</u>	<u>Y</u>	<u>UPL</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum _____				
Remarks: _____				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A6-UP01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990711 Long: -104.834461 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with wetland TM-A6-WT-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>0</u> (A) Total Number of Dominant Species Across All Strata: <u>1</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. _____				
2. _____				
3. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Bromus tectorum</u>	<u>50</u>	<u>Y</u>	<u>UPL</u>	Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Cirsium arvense</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
3. <u>Hordeum jubatum</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>65</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>35</u>				
Remarks: _____				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A6-WT01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990653 Long: -104.834511 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Populus deltoides</u>	<u>20</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. <u>Salix amygdaloides</u>	<u>30</u>	<u>Y</u>	<u>FACW</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
		<u>50</u>	= Total Cover	
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>	_____	_____	_____	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
		<u>0</u>	= Total Cover	
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Typha angustifolia</u>	<u>85</u>	<u>Y</u>	<u>OBL</u>	Hydrophytic Vegetation Indicators: <input checked="" type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
		<u>85</u>	= Total Cover	
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>	_____	_____	_____	Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. _____	_____	_____	_____	
		<u>0</u>	= Total Cover	
% Bare Ground in Herb Stratum <u>15</u>				
Remarks:				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A7-UP01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.989935 Long: -104.836961 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with TM-A7-WT-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Bromus tectorum</u>	<u>85</u>	<u>Y</u>	<u>UPL</u>	
2. <u>Chenopodium album</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
3. <u>Cardaria draba</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): 0 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = _____
 FACW species _____ x 2 = _____
 FAC species _____ x 3 = _____
 FACU species _____ x 4 = _____
 UPL species _____ x 5 = _____
 Column Totals: _____ (A) _____ (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 1 - Rapid Test for Hydrophytic Vegetation
 2 - Dominance Test is >50%
 3 - Prevalence Index is ≤3.0¹
 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

SOIL

Sampling Point: TM-A7-UP

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-20	10YR 3/3	100					Sand	Fine to coarse grain sand

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) **(LRR F)**
- 1 cm Muck (A9) **(LRR F, G, H)**
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) **(LRR G, H)**
- 5 cm Mucky Peat or Peat (S3) **(LRR F)**
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16) **(MLRA 72 & 73 of LRR H)**

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) **(LRR I, J)**
- Coast Prairie Redox (A16) **(LRR F, G, H)**
- Dark Surface (S7) **(LRR G)**
- High Plains Depressions (F16) **(LRR H outside of MLRA 72 & 73)**
- Reduced Vertic (F18)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes _____ No X

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) **(where not tilled)**
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) **(where tilled)**
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) **(LRR F)**

Field Observations:

Surface Water Present? Yes _____ No X Depth (inches): _____
 Water Table Present? Yes _____ No X Depth (inches): _____
 Saturation Present? Yes _____ No X Depth (inches): _____
 (includes capillary fringe)

Wetland Hydrology Present? Yes _____ No X

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A7-WT01
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): floodplain Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990653 Long: -104.834511 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>Feature appears to be man-made with berms forming the north/south boundaries. The wetland is composed of multiple wetland classes including PFO, PSS, and PEM.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Ulmus americana</u>	<u>15</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>15</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>	_____	_____	_____	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Rumex crispus</u>	<u>40</u>	<u>Y</u>	<u>FAC</u>	Hydrophytic Vegetation Indicators: <input checked="" type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)
2. <u>Typha angustifolia</u>	<u>55</u>	<u>Y</u>	<u>OBL</u>	
3. <u>Cardaria draba</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>	_____	_____	_____	¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum _____				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Remarks:

SOIL

Sampling Point: TM-A7-WT

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-6	10YR 4/2	95	2.5YR 3/6	5	C	M	Sand	Fine to coarse grain sand
6-9	10YR 2/2	98	2.5YR 3/6	2	C	M	Sand	Saturated
9-22	10YR 3/2	100					Sand	water table at 16"

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) (LRR F)
- 1 cm Muck (A9) (LRR F, G, H)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)
- 5 cm Mucky Peat or Peat (S3) (LRR F)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16) (MLRA 72 & 73 of LRR H)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR I, J)
 - Coast Prairie Redox (A16) (LRR F, G, H)
 - Dark Surface (S7) (LRR G)
 - High Plains Depressions (F16) (LRR H outside of MLRA 72 & 73)
 - Reduced Vertic (F18)
 - Red Parent Material (TF2)
 - Very Shallow Dark Surface (TF12)
 - Other (Explain in Remarks)
- ³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) (where not tilled)
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) (where tilled)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes No Depth (inches): _____
 Water Table Present? Yes No Depth (inches): 16
 Saturation Present? (includes capillary fringe) Yes No Depth (inches): 9

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A10-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): none Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.988969 Long: -104.843787 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with TM-A10-WT-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Hordeum jubatum</u>	<u>10</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Lepidium perfoliatum</u>	<u>15</u>	<u>Y</u>	<u>FAC</u>	
3. <u>Bromus inermis</u>	<u>10</u>	<u>Y</u>	<u>UPL</u>	
4. <u>Taraxacum officinale</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
5. <u>Bassia scoparia</u>	<u>10</u>	<u>Y</u>	<u>FACU</u>	
6. <u>Lactuca serriola</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
7. <u>Cirsium arvense</u>	<u>10</u>	<u>Y</u>	<u>FACU</u>	
8. <u>Carduus acanthoides</u>	<u>15</u>	<u>Y</u>	<u>UPL</u>	
9. _____				
10. _____				
<u>80</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>20</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): 2 (A)
 Total Number of Dominant Species Across All Strata: 6 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 33 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = _____
 FACW species _____ x 2 = _____
 FAC species _____ x 3 = _____
 FACU species _____ x 4 = _____
 UPL species _____ x 5 = _____
 Column Totals: _____ (A) _____ (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 1 - Rapid Test for Hydrophytic Vegetation
 2 - Dominance Test is >50%
 3 - Prevalence Index is ≤3.0¹
 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

SOIL

Sampling Point: TM-A10-U

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-9	10YR 4/3	40					Sandy Clk	
0-9	10YR 3/2	60					Sandy Clk	two dominate matrices
9-17	10YR 3/2	100					Clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)		Indicators for Problematic Hydric Soils ³ :
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> (LRR H outside of MLRA 72 & 73)
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	<input type="checkbox"/> (MLRA 72 & 73 of LRR H)	

Restrictive Layer (if present): Type: _____ Depth (inches): _____	Hydric Soil Present? Yes _____ No <u>X</u>
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Remarks:

HYDROLOGY

Wetland Hydrology Indicators:	
Primary Indicators (minimum of one required; check all that apply)	Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> (where tilled)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)
<input type="checkbox"/> Salt Crust (B11)	
<input type="checkbox"/> Aquatic Invertebrates (B13)	
<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Dry-Season Water Table (C2)	
<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3) (where not tilled)	
<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Thin Muck Surface (C7)	
<input type="checkbox"/> Other (Explain in Remarks)	

Field Observations: Surface Water Present? Yes _____ No <u>X</u> Depth (inches): _____ Water Table Present? Yes _____ No <u>X</u> Depth (inches): _____ Saturation Present? (includes capillary fringe) Yes _____ No <u>X</u> Depth (inches): _____	Wetland Hydrology Present? Yes _____ No <u>X</u>
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Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A10-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): none Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.988956 Long: -104.843833 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>Palustrine wetland that forms around a pond. An upgradient canal may contribute to the wetland formation.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>4</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>Salix amygdaloides</u>	<u>5</u>	<u>Y</u>	<u>FACW</u>	
2. _____				
3. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Phalaris arundinaceae</u>	<u>35</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Eleocharis palustris</u>	<u>20</u>	<u>Y</u>	<u>OBL</u>	
3. <u>Typha angustifolia</u>	<u>30</u>	<u>Y</u>	<u>OBL</u>	
4. <u>Cirsium arvense</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				
Hydrophytic Vegetation Indicators: <input checked="" type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)				
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				
Remarks: _____				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A11-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): None Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990025 Long: -104.843406 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with TM-A11-WT-01.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>4</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>25</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Rumex crispus</u>	<u>10</u>	<u>Y</u>	<u>FAC</u>	Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)
2. <u>Convolvulus arvensis</u>	<u>25</u>	<u>Y</u>	<u>UPL</u>	
3. <u>Bassia scoparia</u>	<u>10</u>	<u>Y</u>	<u>FACU</u>	
4. <u>Sisymbrium altissimum</u>	<u>10</u>	<u>Y</u>	<u>FACU</u>	
5. <u>Bromus tectorum</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
6. <u>Alyssum desertorum</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>65</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>35</u>				
Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>				

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/06/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A11-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.988956 Long: -104.843833 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>Palustrine wetland that forms around a pond. An up-gradient canal may contribute to the wetland formation.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Populus deltoides</u>	<u>25</u>	<u>Y</u>	<u>FAC</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>5</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>83</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>Salix amygdaloides</u>	<u>10</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Salix exigua</u>	<u>15</u>	<u>Y</u>	<u>FACW</u>	
3. <u>Elaeagnus angustifolia</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>30</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Typha latifolia</u>	<u>20</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Cirsium arvense</u>	<u>25</u>	<u>Y</u>	<u>FACU</u>	
3. <u>Schoenoplectus pungens</u>	<u>15</u>	<u>N</u>	<u>OBL</u>	
4. <u>Schoenoplectus acutus</u>	<u>35</u>	<u>Y</u>	<u>OBL</u>	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				
Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)				
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				

Remarks:

SOIL

Sampling Point: TM-A11-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-3	10YR 3/2	100					Silty Clay	
3-9	10YR 4/2	100					Sandy Loam	
9-20	5Y 5/2	80	7/5YR 6/6	20	C	M	Clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)		Indicators for Problematic Hydric Soils ³ :
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)
<input checked="" type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	(LRR H outside of MLRA 72 & 73)
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)
<input checked="" type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	(MLRA 72 & 73 of LRR H)	

Restrictive Layer (if present): Type: _____ Depth (inches): _____	Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
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Remarks: Hydrogen sulfide odor apparent upon cracking the soil surface.

HYDROLOGY

Wetland Hydrology Indicators:	
Primary Indicators (minimum of one required; check all that apply)	Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Salt Crust (B11)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Invertebrates (B13)
<input checked="" type="checkbox"/> Saturation (A3)	<input checked="" type="checkbox"/> Hydrogen Sulfide Odor (C1)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Drift Deposits (B3)	(where tilled)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Water-Stained Leaves (B9)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
	<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)

Field Observations: Surface Water Present? Yes _____ No <input checked="" type="checkbox"/> Depth (inches): <u>0</u> Water Table Present? Yes <input checked="" type="checkbox"/> No _____ Depth (inches): <u>10</u> Saturation Present? (includes capillary fringe) Yes <input checked="" type="checkbox"/> No _____ Depth (inches): <u>1</u>	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
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Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A12-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): none Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991885 Long: -104.8417 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Upland plot shared with TM-A12-WT-01 and TM-A13-WT-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Ambrosia psilostachya</u>	<u>5</u>	<u>Y</u>	<u>FACU</u>	
2. <u>Bassia scoparia</u>	<u>5</u>	<u>Y</u>	<u>FACU</u>	
3. <u>Centaurea diffusa</u>	<u>5</u>	<u>Y</u>	<u>UPL</u>	
4. <u>Onopordum acanthium</u>	<u>5</u>	<u>Y</u>	<u>UPL</u>	
5. <u>Solanum rostratum</u>	<u>5</u>	<u>Y</u>	<u>UPL</u>	
6. <u>Argemone hispida</u>	<u>5</u>	<u>Y</u>	<u>UPL</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>30</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>70</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>0</u> (A) Total Number of Dominant Species Across All Strata: <u>6</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A/B)
Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____				
Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain)				
1Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>				
Remarks:				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A12-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991941 Long: -104.841707 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>A small man-made depression that is approximately 6' deep and below the water table. No clear connection to a WoUS.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____				
3. _____				
4. _____				
	<u>0</u>	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Salix exigua</u>	<u>25</u>	<u>Y</u>	<u>FACW</u>	Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
2. _____				
3. _____				
4. _____				
5. _____				
	<u>25</u>	= Total Cover		
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Typha angustifolia</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation <u>X</u> 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Polypogon monspeliensis</u>	<u>30</u>	<u>Y</u>	<u>FACW</u>	
3. <u>Chenopodium glauca</u>	<u>20</u>	<u>Y</u>	<u>FAC</u>	
4. <u>Rumex crispus</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
5. <u>Schoeoplectus acutus</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	
6. <u>Echinochola crus-gali</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	
7. <u>Hordeum jubatum</u>	<u>5</u>	<u>N</u>	<u>FACW</u>	
8. _____				
9. _____				
10. _____				
	<u>85</u>	= Total Cover		
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. _____				
	<u>0</u>	= Total Cover		
% Bare Ground in Herb Stratum <u>0</u>				
Remarks: _____				

SOIL

Sampling Point: TM-A12-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-18	10YR 5/2	100					Sand	H2S odor

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)
<input checked="" type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> (LRR H outside of MLRA 72 & 73)
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	<input type="checkbox"/> (MLRA 72 & 73 of LRR H)	

Restrictive Layer (if present):

Type: _____

Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

<u>Primary Indicators (minimum of one required; check all that apply)</u>	<u>Secondary Indicators (minimum of two required)</u>
<input checked="" type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> (where tilled)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Iron Deposits (B5)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): <u>1</u>	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Water Table Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): <u>3</u>	
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): <u>0</u>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: surface water 1" deep

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A12-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991824 Long: -104.841724 Datum: WGS 84
 Soil Map Unit Name: Loamy alluvial land, gravelly substratum NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>A small man-made depression that is approximately 6' deep and below the water table. No clear connection to a WoUS.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>1</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Typha angustifolia</u>	<u>100</u>	<u>Y</u>	<u>OBL</u>	
2. _____				
3. _____				
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>0</u>				

Remarks:

SOIL

Sampling Point: TM-A13-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-18	10YR 5/1	100					Sand	H2S odor

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)
<input checked="" type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> (LRR H outside of MLRA 72 & 73)
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	<input type="checkbox"/> (MLRA 72 & 73 of LRR H)	

Restrictive Layer (if present):

Type: _____

Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

<u>Primary Indicators (minimum of one required; check all that apply)</u>	<u>Secondary Indicators (minimum of two required)</u>
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> (where tilled)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Iron Deposits (B5)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Water Table Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>3</u>	
Saturation Present? (includes capillary fringe) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>0</u>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A14-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): convex Slope (%): 5
 Subregion (LRR): Western Great Plains (G) Lat: 39.992427 Long: -104.842079 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with Wetland A14-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Lactuca seriolla</u>	<u>10</u>	<u>N</u>	<u>FAC</u>	
2. <u>Bromus tectorum</u>	<u>30</u>	<u>Y</u>	<u>UPL</u>	
3. <u>Conyza canadensis</u>	<u>10</u>	<u>N</u>	<u>FACU</u>	
4. <u>Onopordum acanthium</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
5. <u>Marrubium vulgare</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>60</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>40</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): 0 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = _____
 FACW species _____ x 2 = _____
 FAC species _____ x 3 = _____
 FACU species _____ x 4 = _____
 UPL species _____ x 5 = _____
 Column Totals: _____ (A) _____ (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 1 - Rapid Test for Hydrophytic Vegetation
 2 - Dominance Test is >50%
 3 - Prevalence Index is ≤3.0¹
 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A14-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 3
 Subregion (LRR): Western Great Plains (G) Lat: 39.992437 Long: -104.842122 Datum: WGS 84
 Soil Map Unit Name: Wet alluvial land NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes <input checked="" type="checkbox"/> No _____ Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Remarks: <u>Adjacent (north) to Wetland A12. This is a man-made feature with no clear connection to the Brighton Ditch to the west.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>1</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Typha angustifolia</u>	<u>50</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Lactuca seriolla</u>	<u>5</u>	<u>N</u>	<u>FAC</u>	
3. <u>Schoenoplectus acutus</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	
4. <u>Hordeum jubatum</u>	<u>10</u>	<u>N</u>	<u>FACW</u>	
5. <u>Conyza canadensis</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
6. <u>Veronica americana</u>	<u>5</u>	<u>N</u>	<u>OBL</u>	
7. <u>Eleocharis palustris</u>	<u>5</u>	<u>N</u>	<u>OBL</u>	
8. <u>Helianthus annuus</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
9. _____				
10. _____				
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				
Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation <u>X</u> 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain)				
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____				
Remarks:				

SOIL

Sampling Point: TM-A14-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-8	10YR 3/2	100					Sandy Clk	
8-19	10YR 3/2	95	10YR 4/4	5	C	M	Sandy Clk	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) (LRR F)
- 1 cm Muck (A9) (LRR F, G, H)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)
- 5 cm Mucky Peat or Peat (S3) (LRR F)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16) (MLRA 72 & 73 of LRR H)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR I, J)
- Coast Prairie Redox (A16) (LRR F, G, H)
- Dark Surface (S7) (LRR G)
- High Plains Depressions (F16) (LRR H outside of MLRA 72 & 73)
- Reduced Vertic (F18)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) (where not tilled)
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) (where tilled)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes No Depth (inches): 0
 Water Table Present? Yes No Depth (inches): 10
 Saturation Present? (includes capillary fringe) Yes No Depth (inches): 2

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A19-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 0.5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991525 Long: -104.843801 Datum: WGS 84
 Soil Map Unit Name: Nunn clay loam, 1 to 3 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes <input checked="" type="checkbox"/> No _____ Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Remarks: <u>A man-made rectangular depression with cement pipelines generating inflow with no clear discharge location.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>0</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Convolvulus arvensis</u>	<u>30</u>	<u>Y</u>	<u>UPL</u>	
2. <u>Bassia scoparia</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
3. <u>Leymus cinereus</u>	<u>10</u>	<u>N</u>	<u>UPL</u>	
4. <u>Bromus tectorum</u>	<u>15</u>	<u>N</u>	<u>UPL</u>	
5. <u>Cirsium arvense</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
6. <u>Heterotheca villosa</u>	<u>20</u>	<u>Y</u>	<u>UPL</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>85</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>15</u>				
Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain)				
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes _____ No <input checked="" type="checkbox"/>				

Remarks:

SOIL

Sampling Point: TM-A19-U

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-5	10YR 4/3	100					Sandy Lo:	
5-18	10YR 4/3	95	10YR 5/8	5	C	M	Sandy Lo:	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) (LRR F)
- 1 cm Muck (A9) (LRR F, G, H)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)
- 5 cm Mucky Peat or Peat (S3) (LRR F)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16) (MLRA 72 & 73 of LRR H)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR I, J)
- Coast Prairie Redox (A16) (LRR F, G, H)
- Dark Surface (S7) (LRR G)
- High Plains Depressions (F16) (LRR H outside of MLRA 72 & 73)
- Reduced Vertic (F18)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes _____ No X

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) (where not tilled)
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) (where tilled)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes _____ No X Depth (inches): _____
 Water Table Present? Yes _____ No X Depth (inches): _____
 Saturation Present? (includes capillary fringe) Yes _____ No X Depth (inches): _____

Wetland Hydrology Present? Yes _____ No X

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A16-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 3
 Subregion (LRR): Western Great Plains (G) Lat: 39.988373 Long: -104.839848 Datum: WGS 84
 Soil Map Unit Name: Nunn clay loam, 1 to 3 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>This is a man-made feature with no outflow.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>1</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Typha latifolia</u>	<u>90</u>	<u>Y</u>	<u>OBL</u>	
2. _____				
3. _____				
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>90</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>10</u>				

Hydrophytic Vegetation Indicators:
 ___ 1 - Rapid Test for Hydrophytic Vegetation
 ___ 2 - Dominance Test is >50%
 ___ 3 - Prevalence Index is ≤3.0¹
 ___ 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 ___ Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A19-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 1
 Subregion (LRR): Western Great Plains (G) Lat: 39.991525 Long: -104.843801 Datum: WGS 84
 Soil Map Unit Name: Nunn clay loam, 1 to 3 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Plot paired with Wetland A19-01</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Convolvulus arvensis</u>	<u>30</u>	<u>Y</u>	<u>UPL</u>	
2. <u>Bromus tectorum</u>	<u>15</u>	<u>N</u>	<u>UPL</u>	
3. <u>Bassia scoparia</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
4. <u>Heterotheca villosa</u>	<u>20</u>	<u>Y</u>	<u>UPL</u>	
5. <u>Cirsium arvense</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
6. <u>Leymus cinereus</u>	<u>10</u>	<u>N</u>	<u>UPL</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>85</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>15</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): 0 (A)
 Total Number of Dominant Species Across All Strata: 2 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = _____
 FACW species _____ x 2 = _____
 FAC species _____ x 3 = _____
 FACU species _____ x 4 = _____
 UPL species _____ x 5 = _____
 Column Totals: _____ (A) _____ (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 1 - Rapid Test for Hydrophytic Vegetation
 2 - Dominance Test is >50%
 3 - Prevalence Index is ≤3.0¹
 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

SOIL

Sampling Point: TM-A19-U

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-5	10YR 4/3	100					Sandy Lo:	
5-18	10YR 4/3	95	10YR 5/8	5	C	M	Sandy Lo:	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils ³ :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)			
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> (LRR H outside of MLRA 72 & 73)			
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)			
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)			
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)			
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.			
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	<input type="checkbox"/> (MLRA 72 & 73 of LRR H)				

Restrictive Layer (if present): Type: <u>Large Cobble</u> Depth (inches): <u>10</u>	Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
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Remarks:

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> (where tilled)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> (where not tilled)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Water-Stained Leaves (B9)		<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)

Field Observations: Surface Water Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____ Saturation Present? (includes capillary fringe) Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
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Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A19-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): Valley floor Local relief (concave, convex, none): concave Slope (%): 1
 Subregion (LRR): Western Great Plains (G) Lat: 39.99156 Long: -104.843758 Datum: WGS 84
 Soil Map Unit Name: Nunn clay loam, 1 to 3 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks: <u>This is man-made rectangular shaped pond with a fringe wetland.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>4</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>Salix amygdaloides</u>	<u>5</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Populus deltoides</u>	<u>10</u>	<u>Y</u>	<u>FAC</u>	
3. <u>Elaeagnus angustifolia</u>	<u>5</u>	<u>Y</u>	<u>FACU</u>	
4. _____				
5. _____				
<u>20</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Schoenoplectus acutus</u>	<u>40</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Schoenoplectus pungens</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	
3. <u>Typha latifolia</u>	<u>30</u>	<u>Y</u>	<u>OBL</u>	
4. <u>Phalaris arundinacea</u>	<u>10</u>	<u>N</u>	<u>FACW</u>	
5. <u>Cirsium arvense</u>	<u>15</u>	<u>N</u>	<u>FACU</u>	
6. <u>Juncus balticus</u>	<u>10</u>	<u>N</u>	<u>FACW</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>115</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum _____				
Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)				
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				
Remarks: _____				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A20-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): slope Slope (%): 5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991651 Long: -104.844896 Datum: WGS 84
 Soil Map Unit Name: Ulm loam, 5 to 9 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Upland plot paired with TM-A20-WT</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>0</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A/B)
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>				
2. _____				
3. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Bromus inermis</u>	<u>70</u>	<u>Y</u>	<u>UPL</u>	Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Leymus cinereus</u>	<u>20</u>	<u>Y</u>	<u>UPL</u>	
3. _____				
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>				Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>10</u>				
Remarks:				

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A20-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): slope Slope (%): 5
 Subregion (LRR): Western Great Plains (G) Lat: 39.991696 Long: -104.844893 Datum: WGS 84
 Soil Map Unit Name: Ulm loam, 5 to 9 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____ Hydric Soil Present? Yes <input checked="" type="checkbox"/> No _____ Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Remarks: <u>The wetland is along the slope below the Brantner Ditch.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Typha angustifolia</u>	<u>80</u>	<u>Y</u>	<u>OBL</u>	
2. <u>Phalaris arundinacea</u>	<u>10</u>	<u>N</u>	<u>FACW</u>	
3. <u>Cirsium arvense</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	
4. _____				
5. _____				
6. _____				
7. _____				
8. _____				
9. _____				
10. _____				
<u>95</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>5</u>				Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>1</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____				
Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation <u>X</u> 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain)				
Remarks: _____				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____

SOIL

Sampling Point: TM-A20-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-2	10YR 3/1	97	10YR 3/6	3	C	M	Silty Clay	
2-18	10YR 4/1	90	10YR 3/6	10	C	M	Silty Clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils ³ :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 1 cm Muck (A9) (LRR I, J)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Coast Prairie Redox (A16) (LRR F, G, H)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Dark Surface (S7) (LRR G)			
<input checked="" type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> High Plains Depressions (F16)			
<input type="checkbox"/> Stratified Layers (A5) (LRR F)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> (LRR H outside of MLRA 72 & 73)			
<input type="checkbox"/> 1 cm Muck (A9) (LRR F, G, H)	<input checked="" type="checkbox"/> Depleted Matrix (F3)	<input type="checkbox"/> Reduced Vertic (F18)			
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input checked="" type="checkbox"/> Redox Dark Surface (F6)	<input type="checkbox"/> Red Parent Material (TF2)			
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)			
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)	<input type="checkbox"/> High Plains Depressions (F16)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.			
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3) (LRR F)	<input type="checkbox"/> (MLRA 72 & 73 of LRR H)				

Restrictive Layer (if present): Type: _____ Depth (inches): _____	Hydric Soil Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Remarks:	

HYDROLOGY

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one required; check all that apply)		Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)
<input checked="" type="checkbox"/> Saturation (A3)	<input checked="" type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Dry-Season Water Table (C2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> (where tilled)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> (where not tilled)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input checked="" type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Water-Stained Leaves (B9)		<input type="checkbox"/> Frost-Heave Hummocks (D7) (LRR F)

Field Observations: Surface Water Present? Yes _____ No <input checked="" type="checkbox"/> Depth (inches): _____ Water Table Present? Yes <input checked="" type="checkbox"/> No _____ Depth (inches): <u>10</u> Saturation Present? Yes <input checked="" type="checkbox"/> No _____ Depth (inches): <u>2</u> (includes capillary fringe)	Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:	
Remarks:	

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A22-UPO
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): slope Slope (%): 5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990252 Long: -104.845608 Datum: WGS 84
 Soil Map Unit Name: Ulm loam, 5 to 9 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Upland plot paired with TM-A22-WT</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
<u>0</u> = Total Cover				
Sapling/Shrub Stratum (Plot size: <u>15'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
3. _____				
4. _____				
5. _____				
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Bromus inermis</u>	<u>40</u>	<u>Y</u>	<u>UPL</u>	
2. <u>Convolvulus arvensis</u>	<u>20</u>	<u>Y</u>	<u>UPL</u>	
3. <u>Onopordum acanthium</u>	<u>15</u>	<u>N</u>	<u>UPL</u>	
4. <u>Rumex crispus</u>	<u>10</u>	<u>N</u>	<u>FAC</u>	
5. <u>Leymus cinereus</u>	<u>5</u>	<u>N</u>	<u>UPL</u>	
6. <u>Eremopyrum triticeum</u>	<u>10</u>	<u>N</u>	<u>NL</u>	
7. _____				
8. _____				
9. _____				
10. _____				
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>None</u>				
2. _____				
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>0</u>				

Dominance Test worksheet:
 Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): 0 (A)
 Total Number of Dominant Species Across All Strata: 2 (B)
 Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)

Prevalence Index worksheet:
 Total % Cover of: _____ Multiply by: _____
 OBL species _____ x 1 = _____
 FACW species _____ x 2 = _____
 FAC species _____ x 3 = _____
 FACU species _____ x 4 = _____
 UPL species _____ x 5 = _____
 Column Totals: _____ (A) _____ (B)
 Prevalence Index = B/A = _____

Hydrophytic Vegetation Indicators:
 1 - Rapid Test for Hydrophytic Vegetation
 2 - Dominance Test is >50%
 3 - Prevalence Index is ≤3.0¹
 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
 Problematic Hydrophytic Vegetation¹ (Explain)

¹Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes No

Remarks:

WETLAND DETERMINATION DATA FORM – Great Plains Region

Project/Site: Tucson South Mine City/County: Brighton/ Adams Sampling Date: 07/07/2017
 Applicant/Owner: Aggregate Industries State: CO Sampling Point: TM-A22-WTC
 Investigator(s): C. Ansari, J. Heule Section, Township, Range: 1, T01S, R67W
 Landform (hillslope, terrace, etc.): hillslope Local relief (concave, convex, none): slope Slope (%): 5
 Subregion (LRR): Western Great Plains (G) Lat: 39.990265 Long: -104.845675 Datum: WGS 84
 Soil Map Unit Name: Ulm loam, 5 to 9 percent slopes NWI classification: N/A

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Hydric Soil Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Remarks: <u>Slope wetland down-gradient from the Brantner Ditch.</u>	

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'</u>)	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Elaeagnus angustifolia</u>	<u>5</u>	<u>Y</u>	<u>FACU</u>	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC (excluding FAC-): <u>2</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>66</u> (A/B)
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
<u>0</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
<u>0</u> = Total Cover				
Herb Stratum (Plot size: <u>5'</u>)				
1. <u>Phalaris arundinaceae</u>	<u>70</u>	<u>Y</u>	<u>FACW</u>	Hydrophytic Vegetation Indicators: ___ 1 - Rapid Test for Hydrophytic Vegetation <input checked="" type="checkbox"/> 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 ¹ ___ 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) ___ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Rumex crispus</u>	<u>20</u>	<u>Y</u>	<u>FAC</u>	
3. <u>Schoenoplectus acutus</u>	<u>10</u>	<u>N</u>	<u>OBL</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>100</u> = Total Cover				
Woody Vine Stratum (Plot size: <u>30'</u>)				
1. <u>None</u>	_____	_____	_____	
2. _____	_____	_____	_____	
<u>0</u> = Total Cover				
% Bare Ground in Herb Stratum <u>0</u>				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				

Remarks:

SOIL

Sampling Point: TM-A22-W

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-4	10YR 2/2						Clay	
4-18	10YR 2/2	80	5YR 4/6	20	C	M	Clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5) (LRR F)
- 1 cm Muck (A9) (LRR F, G, H)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 2.5 cm Mucky Peat or Peat (S2) (LRR G, H)
- 5 cm Mucky Peat or Peat (S3) (LRR F)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)
- High Plains Depressions (F16) (MLRA 72 & 73 of LRR H)

Indicators for Problematic Hydric Soils³:

- 1 cm Muck (A9) (LRR I, J)
 - Coast Prairie Redox (A16) (LRR F, G, H)
 - Dark Surface (S7) (LRR G)
 - High Plains Depressions (F16) (LRR H outside of MLRA 72 & 73)
 - Reduced Vertic (F18)
 - Red Parent Material (TF2)
 - Very Shallow Dark Surface (TF12)
 - Other (Explain in Remarks)
- ³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
 Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Water-Stained Leaves (B9)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Dry-Season Water Table (C2)
- Oxidized Rhizospheres on Living Roots (C3) (where not tilled)
- Presence of Reduced Iron (C4)
- Thin Muck Surface (C7)
- Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- Surface Soil Cracks (B6)
- Sparsely Vegetated Concave Surface (B8)
- Drainage Patterns (B10)
- Oxidized Rhizospheres on Living Roots (C3) (where tilled)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)
- Frost-Heave Hummocks (D7) (LRR F)

Field Observations:

Surface Water Present? Yes _____ No Depth (inches): _____
 Water Table Present? Yes _____ No Depth (inches): _____
 Saturation Present? (includes capillary fringe) Yes _____ No Depth (inches): _____

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: Drainage Patterns are also present (B10).

GENERAL ID					
Stream ID TM-A1-STR-01		Stream Name: South Platte River			
Lat: 39.99196		Long: -104.82893		Date: 7/6/2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Perennial		Water Type: RPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):		250	Stream Erosion:		Moderate
Top of Bank Height (feet):		4ft	Artificial, Modified, or Channelized:		Yes
LB (feet):		4	Dam Present:		No
RB (feet):		4	Sinuosity:		Medium
Water Depth (in.):		3 ft.	Gradient:		Flat (0.5-100ft)
Water Width (feet):		40			
High Water Mark (inches):		220			
FLOW CHARACTERISTICS					
Water Present: Yes		Flowing Water	Proportion of Reach Represented by Stream Morphology Types:		
Velocity: Moderate		Moderate	Riffle (%): 5	Pool (%): 10	Run (%): 85
Turbidity:		Slightly turbid			
		Other:			
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock		0	Detritus	Sticks, wood, coarse plant materials (CPOM)	5
Boulder	> 256mm (10")	5	Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")	5	Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")	60			
Sand	0.06–2mm (gritty)	20			
Silt	0.004–0.06mm	5			
Clay	< 0.004mm (slick)	5			
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input checked="" type="checkbox"/> Shrubs		<input type="checkbox"/> Grasses <input type="checkbox"/> Herbaceous	
Canopy Cover:		Partly shaded			
Floodplain Width:		Wide (over 30 ft)	Wetland Present:		<input type="checkbox"/> Yes <input type="checkbox"/> No
				Wetland ID:	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent		<input type="checkbox"/> Rooted submergent	<input type="checkbox"/> Rooted floating	<input type="checkbox"/> Free floating	
<input type="checkbox"/> Floating algae		<input type="checkbox"/> Attached algae	<input checked="" type="checkbox"/> None	<input type="checkbox"/> Reed canary grass	
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					
Fish observed in stream; (1-2' long). Canopy includes 10% cover of cottonwood and peach leaf willow.					

GENERAL ID					
Stream ID TM-A8-STR-01		Stream Name: Unnamed			
Lat: 39.98763		Long: -104.84100		Date: 7/6/2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Perennial		Water Type: RPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):	4		Stream Erosion:	None	
Top of Bank Height (feet):	2		Artificial, Modified, or Channelized:	Yes	
LB (feet):	2		Dam Present:	No	
RB (feet):	2		Sinuosity:	Low	
Water Depth (in.):	0		Gradient:	Flat (0.5-100ft)	
Water Width (feet):	0				
High Water Mark (inches):	2				
FLOW CHARACTERISTICS					
Water Present:	No water present, stream bed dry		Proportion of Reach Represented by Stream Morphology Types:		
Velocity:	N/A		Riffle (%):	Pool (%):	Run (%):
Turbidity:	N/A				
	Other:				
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	60
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")		Concrete lined stream bed.		
Sand	0.06–2mm (gritty)				
Silt	0.004–0.06mm				
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input type="checkbox"/> Shrubs		<input checked="" type="checkbox"/> Grasses <input type="checkbox"/> Herbaceous	
Canopy Cover:	Open				
Floodplain Width:	Narrow (less than 16 ft)	Wetland Present:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetland ID: TOM-A7-UP-WT	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent	<input type="checkbox"/> Rooted submergent	<input type="checkbox"/> Rooted floating	<input type="checkbox"/> Free floating		
<input type="checkbox"/> Floating algae	<input type="checkbox"/> Attached algae	<input type="checkbox"/> None	<input type="checkbox"/> Reed canary grass		
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					
This is a cement lined irrigation ditch. The ditch is culverted under Tucson Street.					

GENERAL ID					
Stream ID: TM-A17-STR-01		Stream Name: Unnamed			
Lat: 39.98746		Long: -104.84319		Date: 7-6-2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Perennial		Water Type: NRPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):	4		Stream Erosion:	None	
Top of Bank Height (feet):	2		Artificial, Modified, or Channelized:	Yes	
LB (feet):	2		Dam Present:	No	
RB (feet):	2		Sinuosity:	Low	
Water Depth (in.):	0		Gradient:	Flat (0.5-100ft)	
Water Width (feet):	0				
High Water Mark (inches):	2				
FLOW CHARACTERISTICS					
Water Present:	No water present, stream bed dry		Proportion of Reach Represented by Stream Morphology Types:		
Velocity:	N/A		Riffle (%):	Pool (%):	Run (%):
Turbidity:	N/A				
	Other:				
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	50
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10"		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5"		Concrete lined stream bed.		
Sand	0.06–2mm (gritty)				
Silt	0.004–0.06mm				
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input type="checkbox"/> Shrubs		<input checked="" type="checkbox"/> Grasses <input type="checkbox"/> Herbaceous	
Canopy Cover:	Open				
Floodplain Width:	Narrow (less than 16 ft)	Wetland Present:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetland ID:	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent	<input type="checkbox"/> Rooted submergent	<input type="checkbox"/> Rooted floating	<input type="checkbox"/> Free floating		
<input type="checkbox"/> Floating algae	<input type="checkbox"/> Attached algae	<input type="checkbox"/> None	<input type="checkbox"/> Reed canary grass		
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					
Stream is culverted under 160 th Avenue.					

GENERAL ID					
Stream ID TM-A18-STR-01		Stream Name: Brighton Ditch			
Lat: 39.98955		-104.84431		Date: 7-6-2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Intermittent		Water Type: RPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):		20	Stream Erosion:		None
Top of Bank Height (feet):		15	Artificial, Modified, or Channelized:		Yes
LB (feet):		12	Dam Present:		No
RB (feet):		12	Sinuosity:		Low
Water Depth (in.):		2	Gradient:		N/A
Water Width (feet):		8			
High Water Mark (inches):		8			
FLOW CHARACTERISTICS					
Water Present:		Flowing Water	Proportion of Reach Represented by Stream Morphology Types:		
Velocity:		Moderate	Riffle (%):	Pool (%):	Run (%): 100
Turbidity:		Turbid			
		Other:			
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	50
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")		Concrete lined stream bed.		
Sand	0.06–2mm (gritty)				
Silt	0.004–0.06mm				
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input type="checkbox"/> Shrubs		<input checked="" type="checkbox"/> Grasses <input checked="" type="checkbox"/> Herbaceous	
Canopy Cover:		Open			
Floodplain Width:		Moderate (15-30 ft)	Wetland Present:		<input type="checkbox"/> Yes <input type="checkbox"/> No
				Wetland ID:	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent		<input type="checkbox"/> Rooted submergent		<input type="checkbox"/> Rooted floating	
<input type="checkbox"/> Floating algae		<input type="checkbox"/> Attached algae		<input type="checkbox"/> None	
				<input type="checkbox"/> Free floating	
				<input type="checkbox"/> Reed canary grass	
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					

GENERAL ID					
Stream ID TM-A21-STR-01		Stream Name: Brantner Ditch			
Lat: 39.99126		Long: -104.84352		Date: 7-7-2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Intermittent		Water Type: RPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):		30	Stream Erosion:		None
Top of Bank Height (feet):		15	Artificial, Modified, or Channelized:		Yes
LB (feet):		15	Dam Present:		No
RB (feet):		15	Sinuosity:		Low
Water Depth (in.):		2	Gradient:		Flat (0.5-100ft)
Water Width (feet):		10			
High Water Mark (inches):		11			
FLOW CHARACTERISTICS					
Water Present:		Flowing Water		Proportion of Reach Represented by Stream Morphology Types:	
Velocity:		Moderate		Riffle (%):	Pool (%):
Turbidity:		Turbid		Run (%): 100	
		Other:			
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	50
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")				
Sand	0.06–2mm (gritty)				
Silt	0.004–0.06mm	100			
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input type="checkbox"/> Agricultural <input type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input type="checkbox"/> Shrubs		<input checked="" type="checkbox"/> Grasses <input checked="" type="checkbox"/> Herbaceous	
Canopy Cover:	Open				
Floodplain Width:	Narrow (less than 16 ft)	Wetland Present:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetland ID: TM-A20-WT	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent		<input type="checkbox"/> Rooted submergent		<input type="checkbox"/> Rooted floating	
<input type="checkbox"/> Floating algae		<input type="checkbox"/> Attached algae		<input checked="" type="checkbox"/> None	
				<input type="checkbox"/> Free floating	
				<input type="checkbox"/> Reed canary grass	
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					
Man-made earthen canal.					

GENERAL ID					
Stream ID TM-A23-STR-01		Stream Name: Unnamed Canal			
Lat: 39.98525		Long: -104.84062		Date: 7-7-2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Intermittent		Water Type: RPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):		20	Stream Erosion:		Moderate
Top of Bank Height (feet):		15	Artificial, Modified, or Channelized:		Yes
LB (feet):		18	Dam Present:		No
RB (feet):		15	Sinuosity:		Low
Water Depth (in.):		2ft.	Gradient:		Flat (0.5-100ft)
Water Width (feet):		5ft			
High Water Mark (inches):		3ft.			
FLOW CHARACTERISTICS					
Water Present:		Flowing Water	Proportion of Reach Represented by Stream Morphology Types:		
Velocity:		Moderate	Riffle (%): 10	Pool (%):	Run (%): 90
Turbidity:		Turbid			
		Other:			
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")	50			
Sand	0.06–2mm (gritty)	30			
Silt	0.004–0.06mm	20			
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Shrubs		<input type="checkbox"/> Grasses <input type="checkbox"/> Herbaceous	
Canopy Cover:	Open				
Floodplain Width:	Moderate (15-30 ft)	Wetland Present:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetland ID:	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent	<input type="checkbox"/> Rooted submergent	<input type="checkbox"/> Rooted floating	<input type="checkbox"/> Free floating		
<input type="checkbox"/> Floating algae	<input type="checkbox"/> Attached algae	<input type="checkbox"/> None	<input type="checkbox"/> Reed canary grass		
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					
Man-made canal.					

GENERAL ID					
Stream ID TM-A25-STR-01		Stream Name: Unnamed			
Lat: 39.98748		Long: -104.84277		Date: 7/6/2017	
Project Name: Tucson South Mine			Client: Aggregate Industries		
Investigators: J. Heule, C. Ansari					
Flow Regime: Perennial		Water Type: NRPW		Photo ID:	
CHANNEL FEATURES					
Estimate Measurements			Stream Erosion		
Top of Bank Width (feet):		4	Stream Erosion:		None
Top of Bank Height (feet):		2	Artificial, Modified, or Channelized:		Yes
LB (feet):		2	Dam Present:		No
RB (feet):		2	Sinuosity:		Low
Water Depth (in.):		0	Gradient:		Flat (0.5-100ft)
Water Width (feet):		0			
High Water Mark (inches):		2			
FLOW CHARACTERISTICS					
Water Present:		No water present, stream bed dry	Proportion of Reach Represented by Stream Morphology Types:		
Velocity:		Slow	Riffle (%):	Pool (%):	Run (%):
Turbidity:		N/A			
		Other:			
SUBSTRATE COMPONENTS					
Inorganic Substrate Components—Should add to 100%			Organic Substrate Components—Does not necessarily add to 100%		
Substrate Type	Diameter	% Composition in Sampling Reach	Substrate Type	Characteristic	% Composition in Sampling Reach
Bedrock			Detritus	Sticks, wood, coarse plant materials (CPOM)	50
Boulder	> 256mm (10")		Muck–Mud	Black, very fine grain organic	
Cobble	64–256mm (2.5"–10")		Marl	Grey, shell fragments	
Gravel	2–64mm (0.1"–2.5")		Concrete lined stream bed.		
Sand	0.06–2mm (gritty)				
Silt	0.004–0.06mm				
Clay	< 0.004mm (slick)				
WATERSHED FEATURES					
Predominant Surrounding Land Use:		<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Field/Pasture <input checked="" type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial		<input type="checkbox"/> Industrial (gravel quarry) <input type="checkbox"/> Residential Other:	
Indicate the dominant type:		<input type="checkbox"/> Trees <input type="checkbox"/> Shrubs		<input checked="" type="checkbox"/> Grasses <input type="checkbox"/> Herbaceous	
Canopy Cover:	Open				
Floodplain Width:	Narrow (less than 16 ft)	Wetland Present:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetland ID:	
AQUATIC VEGETATION					
Indicate the dominant type and record the dominant species present:					
<input type="checkbox"/> Rooted emergent		<input type="checkbox"/> Rooted submergent		<input type="checkbox"/> Rooted floating	
<input type="checkbox"/> Floating algae		<input type="checkbox"/> Attached algae		<input type="checkbox"/> None	
				<input type="checkbox"/> Free floating	
				<input type="checkbox"/> Reed canary grass	
MACROINVERTEBRATES OR OTHER WILDLIFE OBSERVED/OBSERVATIONS AND NOTES					

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Attachment 3: Representative Photos



Photo 1: Looking northeast along the South Platte River from approximately 50 feet east of upland sample plot TM-A01-UP-01. The ordinary high water mark (OHWM) can be seen on the left side of this photo; a sandbar exists within the OHWM and trees and shrubs are growing outside of the OHWM.



Photo 2: View to the east of TM-A9-Swale-01, located on the northern side of wetland TM-A06-WT-01. Stream TM-A08-STR-01 can be seen in the lower half of this photograph as a cement lined irrigation ditch. No OHWM, defined bed, defined banks, or scour were observed within TM-A09-Swale-01; the swale is not likely a jurisdictional WOTUS.



Photo 3: View to the south of stream TM-A18-UP-01, Brighton Ditch. The stream had flowing water during surveys. The stream was observed to flow north out of the Project area.



Photo 4: View of Pond TM-A15-POND-01. The delineated area of this pond was observed to be covered in a majority surface water, and had a wetland fringe around the edge. Uplands were observed to be dominated by curly dock (*Rumex crispus*), smooth brome (*Bromus inermis*) and kochia (*Bassia scoparia*). No outlet to other potential WOTUS were observed at the pond.



Photo 5: View to the northwest of wetland TM-A16-WT. This wetland was dominated by broadleaf cattail (*Typha latifolia*), and the soil sample plot was observed to have saturation. Surface water in the wetland can be seen on the right side of this picture.



Photo 6: View to west of wetland TM-A06-WT from wetland sample plot TM-A06-WT-01. This wetland was observed to be a mix of herbaceous wetland dominated by broadleaf cattail and shrub wetland dominated by peach leaf willow (*Salix amygdaloides*) in some areas, and a forested wetland area dominated by plains cottonwood (*Populus deltoides*) around the edge of the wetland.



Photo 7: View to the west from upland sample plot TM-A22-WT-01, which is located on a hillside down gradient of Brantner Ditch. The wetland was dominated by reed canary grass (*Phalaris arundinaceae*) and curly dock.



Photo 8: View to the northwest of wetland TM-A13-WT, a depressional wetland dominated by broadleaf cattails. Several wetlands were observed near TM-A13-WT that were also small depressional wetlands dominated by cattails including TM-A13-WT, including TM-A12-WT, and TM-A14-WT.



Photo 8: View to the east of wetland TM-A19-WT, and the center of the center of the Project area. Wetland TM-A19-WT appears to be a man-made feature dominated by narrow leaf cattails.



Photo 8: View to the north from TM-A24-UP-01. This area is mapped as a National Wetland Inventory Wetland, but indicators of neither hydrophytic vegetation, nor wetland hydrology, nor hydric soils, were observed here, therefore, it was determined to be upland, and will not require a USACE permit for construction.

EXHIBIT K

CLIMATE INFORMATION

EXHIBIT K

Climate Information

The proposed Tucson South Resource permit area exhibits a semi-arid climate typical of the Northern Colorado Front Range region. The region is characterized by low humidity, relatively low average precipitation, and a high percentage of sunshine. A large amount of the precipitation which occurs falls during short duration, high intensity summer thunderstorm activity.

Climate information was available from the Western Regional Climate Center in Brighton, Colorado. The climate data collected from 1973 through 2016, indicates the total annual precipitation at the site to be approximately 14.03 inches per year. Monthly average temperature and precipitation data for the periods of record are provided in the following table.

BRIGHTON 3 SE, COLORADO (050950)

Period of Record Monthly Climate Summary -Period of Record: 10/01/1973 to 06/10/2016

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
Average Max. Temperature (F)	43.3	46.9	55.8	63.8	72.8	83.8	89.6	87.1	79.1	67.1	52.4	43.9	65.5
Average Min. Temperature (F)	14.8	18.4	26.0	33.5	42.7	51.6	57.1	55.2	46.0	34.5	23.7	15.6	34.9
Average Total Precipitation (in.)	0.42	0.39	1.11	1.76	2.33	1.60	1.64	1.63	0.95	0.92	0.76	0.51	14.03
Average Total Snow Fall (in.)	5.6	4.5	7.5	4.5	0.8	0.0	0.0	0.0	0.4	2.4	6.6	6.5	38.9
Average Snow Depth (in.)	1	1	0	0	0	0	0	0	0	0	1	1	0

EXHIBIT M

OTHER PERMITS AND LICENSES

EXHIBIT M

Other Permits and Licenses

The operator either currently has or will obtain:

- Adams County Use by Special Review Permit – AI will apply to Adams County for a Conditional Use Permit for Gravel mining. The Conditional Use Permit will be obtained prior to operations.
- Adams County Floodplain Use Permit – AI will apply to Adams County for a Floodplain Use Permit concurrent with the Conditional Use Permit.
- Adams County Erosion and Sediment Control Plan - AI will apply to Adams County for an Erosion and Sediment Control Plan concurrent with the Conditional Use Permit.
- Adams County Conservation Plan Permit - AI will apply to Adams County for Conservation Plan Permit concurrent with the Conditional Use Permit.
- CDOT Access Permit – AI will apply for the CDOY Access Control Permit Concurrent with the Adams County Conditional Use Permit. Material Hauling traffic from Phase 1 will not access the State Highway until the requires permits are obtained from CDOT.
- **Well Permit and Substitute Water Supply Plan, Colorado State Engineer's Office** – A Substitute Water Supply Plan and well permit have been obtained from State Engineer's Office.
- APEN, Colorado Department of Public Health and Environment Air Pollution Emission Notification Permit – Permits will be obtained prior to operations.
- CDPS, Colorado Department of Public Health and Environment Colorado Discharge Permit System Permit – Permits will be obtained prior to operations.
- Adams County Road Access Permit – Permit will be obtained prior to transporting material onto Adams County roads.
- Adams County work in the ROW Permit - Permit will be obtained prior to any required work within Adams County road right of ways.

EXHIBIT N

SOURCE OF LEGAL RIGHT TO ENTER

Exhibit A
To
Consent to Permitting Activities

Horiuchi/Faudoa Parcel

That part of the Southwest One-Quarter of Section 1, Township 1 South, Range 67 West of the 6th Principal Meridian, Adams County, Colorado, described as: Beginning at the center of said Section 1; thence N90°00'00"W on an assumed bearing along the East-West centerline of said Section 1 a distance of 30.00 feet to the true point of beginning; thence continuing along said line a distance of 324.12 feet; thence S00°11'00"W along a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet; thence N90°00'00"E on a line parallel to the East-West centerline of said Section 1 a distance of 324.12 feet; thence N00°11'00"E on a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet to the true point of beginning.

County of Adams,
State of Colorado.

Also known by street and number as: 16315 Tucson Street, Brighton, CO 80601

Mars Parcel

That part of the Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$) of Section 1, Township 1 South, Range 67 West of the 6th Principal Meridian, Adams County, Colorado, described as follows:

Beginning at a point on the North line of said Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$), 30 feet East of the Northwest corner of said Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$); thence East along said North line 850 feet; thence South parallel with the West line of said Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$), 250 feet; thence West parallel with the North line of said Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$), 850 feet; thence North 250 feet to the point of beginning, County of Adams, State of Colorado.

Also known by APN number: 157101000017

~~~ End of Document ~~~

|                |
|----------------|
| Date           |
| \$ 88.97       |
| State Doc. Fee |

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 9/09/2002 14:05:27  
 PG: 0001-004  
 21.00 DOC FEE: 88.97  
 CAROL SNYDER  
 ADAMS COUNTY

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 4<sup>th</sup> day of September 2002, is by and between Leonard C. Leon and Lydia E. Leon whose address is 13115 E. 160th Avenue, Brighton Colorado 80601 ("Grantor"), and Aggregate Industries-WCR Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, the real property situate in the County of Adams, State of Colorado, and more particularly described on **Exhibit A** attached hereto and incorporated herein by this reference (hereinafter "the Property"),

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances, except as otherwise provided herein.

RESERVING, however, unto the Grantor, all right, title, and interest in and to all gold, oil, gas, and other liquid hydrocarbon substances, and casinghead gas (collectively the "Reserved Minerals"), together with the right to mine and remove the same. Notwithstanding the foregoing reservation, it is expressly recognized that the minerals and mineral rights conveyed to Grantee herein are dominant to Grantor's rights with respect to the Reserved Minerals, and that Grantor may not mine and remove any of the Reserved Minerals in such a manner as to interfere with or make more expensive the mining or development of gravel, sand or other minerals by Grantee. In addition, it is expressly recognized that Grantee will have the right to mine and develop gravel, sand and other minerals conveyed to it hereunder without testing for, and without any obligation to account to Grantor for, any gold that may be interspersed with or found in conjunction with such sand, gravel or other minerals.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature soever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on **Exhibit B** attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against all and every person or persons lawfully claiming or to claim the whole or any part thereof.

Adams

910137169



Doc fee \$88.97  
 R.F. \$2000

(1)



EXHIBIT "A"

LEGAL DESCRIPTION

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN THE 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO.

EXHIBIT "B"

PERMITTED EXCEPTIONS

1. Taxes for the year 2002, and subsequent years; special assessments or charges not certified to the County Treasurer.
2. Oil and Gas recorded June 02, 1970, in Book 1602 at Page 236, and any assignments thereof or interests therein or rights thereunder.
3. Oil and Gas recorded February 27, 1975, in Book 1979 at Page 732, and any assignments thereof or interests therein or rights thereunder.
4. Oil and Gas recorded February 27, 1975, in Book 1979 at Page 736, and any assignments thereof or interests therein or rights thereunder.
5. Reservations contained in Deed recorded January 14, 1985, in Book 2957 at Page 179.
6. Terms, conditions, provisions and obligations contained in Option Agreement, recorded January 22, 2002, at Reception Number C0916204.
7. Lease by and between Aggregate Industries, Lessor and Leonard C. Leon and Lydia E. Leon, Lessee.
8. Reservations contained in Deed from Leonard C. Leon and Lydia E. Leon to Aggregate Industries - WCR, Inc.
9. Encroachment of the ditch and fence onto an adjoining parcel to the North as evidenced by survey of Farnsworth Group, dated August 29, 2002, Job Number 302052.1.
10. 30 foot right of way along the Western boundary of the subject property for Tuscon Street as evidenced by survey of Farnsworth Group, dated August 29, 2002, Job Number 302052.1.



SPECIAL WARRANTY DEED

THIS DEED, dated July 17, 2017, between Thomas Z. Mars, of the County of Adams and State of Colorado, grantor, and the City of Aurora, a Colorado municipal corporation of the Counties of Adams, Arapahoe and Douglas acting by and through its Utility Enterprise, whose legal address is 15151 E. Alameda Plwy, Aurora, CO 80012 of the County of Arapahoe and State of Colorado, grantees:

NO DOCUMENTARY FEE REQUIRED CITY OF AURORA IS EXEMPT

WITNESS, that the grantor, for and in consideration of the sum of ONE HUNDRED SIXTY EIGHT THOUSAND AND NO DOLLARS (\$168,000.00), the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto the grantee, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Adams and State of Colorado, described as follows:

SEE ATTACHED EXHIBIT "A"

Assessor's schedule or parcel number: 0157101000017

TOGETHER with all and singular the hereditaments and appurtenances therunto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee, its successors and assigns forever. The grantor, for itself, its successors and assigns, does covenant and agree that it shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee, its successors and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under the grantor.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

*Thomas Z. Mars*  
Thomas Z. Mars

STATE OF COLORADO  
COUNTY OF Elbert

The foregoing instrument was acknowledged before me this 17 day of July, 2017, by Thomas Z. Mars.



Witness my hand and official seal.  
My commission expires: 8-10-19

*Diane L. Mars*  
Notary Public

Name and Address of Person Creating Newly Created Legal Description (§38-35-106.5, C.R.S.)

Exhibit A

Legal Description of the Property

That part of the Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$ ) of Section 1,  
Township 1 South, Range 57 West of the 6th Principal Meridian, Adams County,  
Colorado, described as follows:

Beginning at a point on the North line of said Southwest Quarter of the Southeast  
Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$ ), 30 feet East of the Northwest corner of said Southwest Quarter  
of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$ ); thence East along said North line 850 feet;  
thence South parallel with the West line of said Southwest Quarter of the Southeast  
Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$ ), 250 feet; thence West parallel with the North line of said  
Southwest Quarter of the Southeast Quarter (SW $\frac{1}{4}$ SE $\frac{1}{4}$ ), 850 feet; thence North  
250 feet to the point of beginning, County of Adams, State of Colorado.

Also known by APN number: 157101000017

**SPECIAL WARRANTY DEED  
(Seltzer Well Site)**

**THIS DEED**, made this 6<sup>th</sup> day of APRIL, 2012, by and between TODD CREEK VILLAGE METROPOLITAN DISTRICT, a Colorado special district and political subdivision of the State of Colorado organized and acting pursuant to the provisions of Article 1, Title 32, C.R.S., whose legal address is 10450 E. 159th Ct., Brighton, CO 80601 ("Grantor"), and AGGREGATE INDUSTRIES – WCR, INC., a Colorado corporation, whose address is 1707 Cole Blvd., Suite 100, Golden, CO 80401 ("Grantee").

**WITNESSETH**, that the Grantor, for and in consideration of ten dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto the Grantee, its successors and assigns forever, the real property described as "Parcel A (Seltzer Farms – Well Site)" in that special warranty deed recorded in the real property records of the County of Adams, State of Colorado on August 7, 2001 at reception no. C0839204 (the "Property"), which Property is depicted in Exhibit A attached hereto and more particularly described as follows:

A parcel of land in the SW1/4 of Section 1, Township 1 South, Range 67 West of the 6th P.M., County of Adams, State of Colorado, hereinafter referred to as the "Well Parcel" and more particularly described as follows:

Beginning at the Southwest corner of said Section 1; thence North along the West line of said Section 1 a distance of 1449 feet; thence S84°05'E a distance of 1334.7 feet to the true Point of Beginning;

Thence S69°18'E, 260.7 feet;

Thence N07°32'E, 171.6 feet;

Thence N69°18'W, 260.7 feet;

Thence S07°32'W, 171.6 feet to the Point of Beginning;

Consisting of approximately 1.0 acres, more or less.

Grantor reserves the right but is not obligated to remove any well equipment, pumps and/or motors located on, over, under or within the above-described Well Parcel, which right shall terminate upon Grantee's election to remove said Well Equipment in its sole discretion.

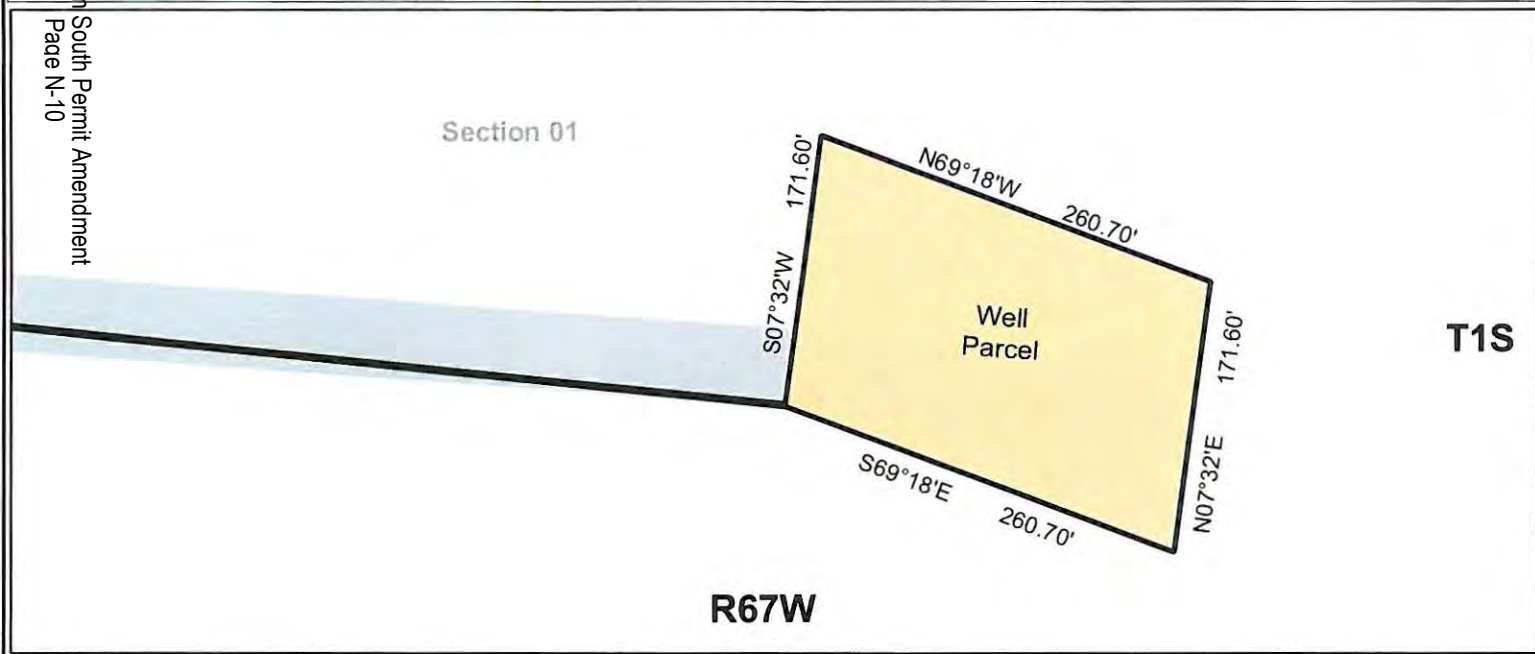
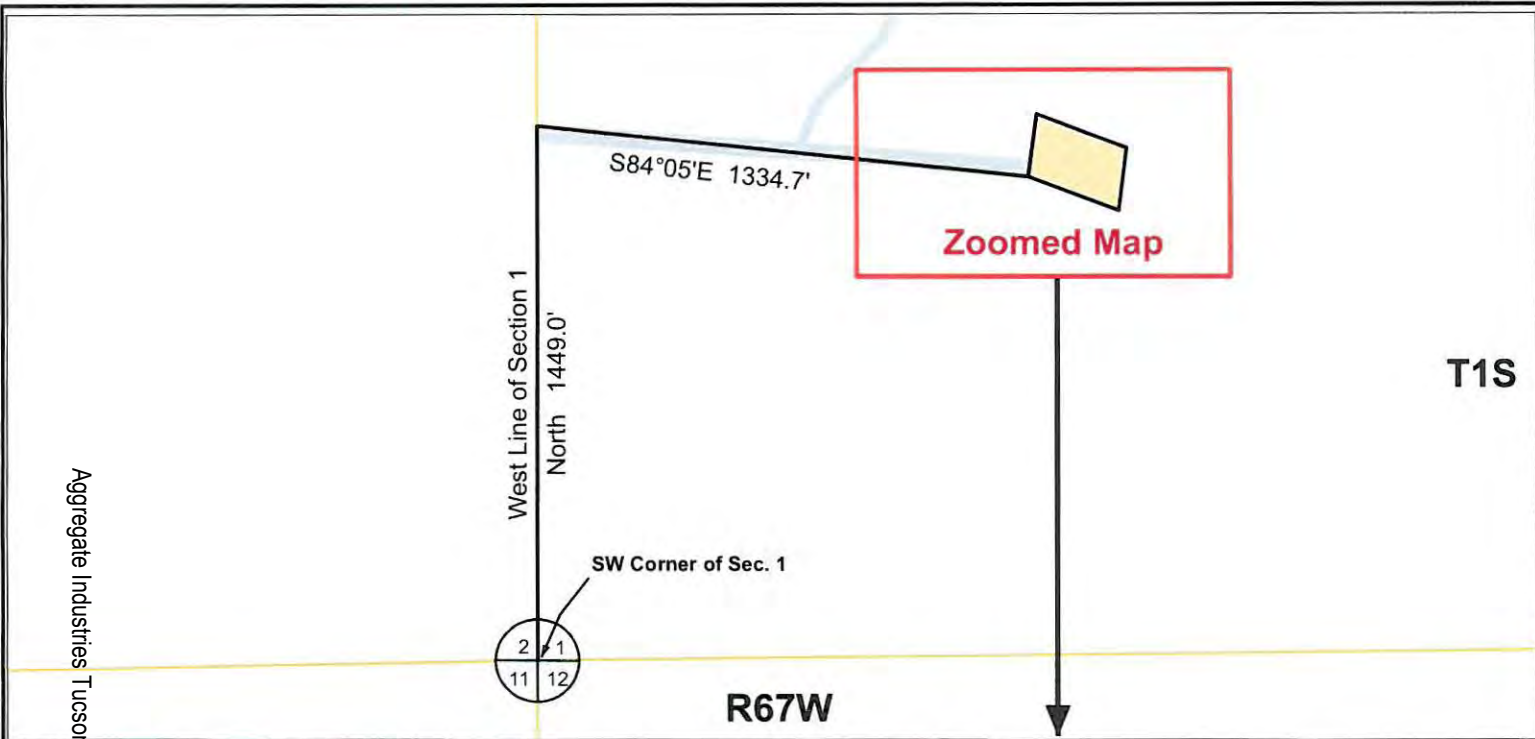
**TO HAVE AND TO HOLD** the said Property above bargained and described, unto the Grantee, its successors and assigns forever. The Grantor, for itself and its successors and assigns, does covenant and agree that it shall and will **WARRANT AND FOREVER DEFEND** the above Property in the quiet and peaceable possession of the Grantee, its successors and assigns against all and every person or persons claiming the whole or any part thereof, by, through or under the Grantor.



**Exhibit A to**  
**SPECIAL WARRANTY DEED**  
**(SELTZER WELL SITE)**  
**Depiction of Property**

6886\1\1473314.2





# Exhibit A Well Parcel Location Map

**BBA**  
water consultants  
BISHOP BROGDEN ASSOCIATES, INC.

Date: Jan. 22, 2010  
Job No. 9927.00

**Legend**

- Well Parcel
- Easements

1 inch = 117 feet

0 80 160 Feet

**Overview Map**

Main Map

Colorado

SPECIAL WARRANTY DEED

THIS DEED, dated May 16, 2017, between Hector Alonso Fuentes, of the County of Adams and State of Colorado, grantor, and the City of Aurora, a Colorado municipal corporation of the Counties of Adams, Arapahoe and Douglas acting by and through its Utility Enterprise, whose legal address is 15151 B. Alameda Pkwy, Aurora, CO 80012 of the County of Arapahoe and State of Colorado, grantees:

NO DOCUMENTARY FEE REQUIRED CITY OF AURORA IS EXEMPT

WITNESS that the grantor, for and in consideration of the sum of ONE HUNDRED EIGHTY THOUSAND AND NO DOLLARS (\$180,000.00), the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm unto the grantees, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Adams and State of Colorado, described as follows:

SEE ATTACHED EXHIBIT "A"

Assessor's schedule or parcel number: 0157101000028 Address: 16315 Tucson Street, Englewood, CO 80602

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

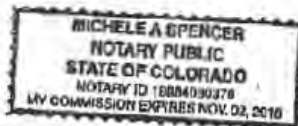
TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantees, its successors and assigns forever. The grantor, for itself, its successors and assigns, does covenant and agree that it shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantees, its successors and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under the grantor.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

Hector Alonso Fuentes Hector Alonso Fuentes

STATE OF COLORADO CITY AND COUNTY OF DENVER

The foregoing instrument was acknowledged before me this 16th day of May, 2017, by Hector Alonso Fuentes.



Witness my hand and official seal. My commission expires:

Michele A. Spencer (Signature)

Person and Address of Person Creating Newly Created Legal Description (39-05-106.3, C.R.S.)

Re. Ex. No. 4-21, SPECIAL WARRANTY DEED



**Exhibit A**  
**Legal Description of the Property**

That part of the Southwest One-Quarter of Section 1, Township 1 South, Range 67 West of the 6<sup>th</sup> Principal Meridian, Adams County, Colorado, described as: Beginning at the center of said Section 1; thence N90°00'00"W on an assumed bearing along the East-West centerline of said Section 1 a distance of 30.00 feet to the true point of beginning; thence continuing along said line a distance of 324.12 feet; thence S00°11'00"W along a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet; thence N90°00'00"E on a line parallel to the East-West centerline of said Section 1 a distance of 324.12 feet; thence N00°11'00"E on a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet to the true point of beginning.

County of Adams,  
State of Colorado.

Also known by street and number as: 16315 Tucson Street, Brighton, CO 80601

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 9<sup>th</sup> day of July 2002, is by and between John L. Kloefkorn and Mary Ann Kloefkorn of 320 ACC, Alamo, Texas 78516 ("Grantor"), and Aggregate Industries-WCR Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, an undivided one-half interest in and to the real property situate in the County of Adams, State of Colorado, and more particularly described on **Exhibit A** attached hereto and incorporated herein by this reference (hereinafter "the Property"),

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances. Except, Grantor reserves all of its right, title, and interest in and to all oil royalty, gas royalty and royalty in casinghead gas and gasoline that may be produced under that certain Oil, Gas and Mineral Lease dated April 13, 1973, from Edward Getz and Betty Getz as Lessor to Amoco Production Company as Lessee.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensealing and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature so ever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on **Exhibit B** attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against

Adams 901 33250

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Date  
\$ 44.00  
State Doc. Fee

Doc fee \$ 44.00  
R. F. \$ 20.00

①



EXHIBIT A

LEGAL DESCRIPTION

An undivided 1/2 interest in and to:

That part of the North one-half Southeast one quarter Section 1, Township 1 South, Range 67 West of the Sixth Principal Meridian, Adams County, Colorado, lying North and West of the centerline of the South Platte River, described as:

Commencing at the Northwest corner of said North one-half Southeast one-quarter;  
thence South 0°08'29" East along the West line of said North one-half Southeast one-quarter, a distance of 621.95 feet to a line that is parallel with the North line of said North one-half Southeast one-quarter and 5 feet South of an existing house and the Point of Beginning;  
thence North 89°37'18" East, parallel with the North line of said North one-half Southeast one-quarter, a distance of 1050.57 feet;  
thence North 0°08'29" West, parallel with the West line of said North one-half Southeast one-quarter, a distance of 621.95 feet to the North line of said North one-half Southeast one-quarter;  
thence North 89°37'18" East along the North line of said North one-half Southeast one-quarter, a distance of 1635.47 feet to the Northeast corner of said North one-half Southeast one-quarter;  
thence South 0°31'01" East along the East line of said North one-half Southeast one-quarter, a distance of 590.02 feet to the centerline of the South Platte River;  
Thence Southerly along the centerline of the South Platte River South 53°55'12" West, a distance of 142.93 feet to a line that is 646.34 feet North of and parallel with the South line of said North one-half Southeast one quarter;  
thence South 89°54'25" West along said line, a distance of 1324.16 feet to a line that is 1250.00 feet East of and parallel with the West line of said North one-half Southeast one-quarter;  
thence South 0°08'29" East, parallel with the West line of said North one-half Southeast one-quarter, a distance of 169.08 feet to a line that is 477.26 feet North of and parallel with the South line of said North one-half Southeast one-quarter;  
thence South 89°54'25" West along said line, a distance of 1250.00 feet to the West line of said North one-half Southeast one-quarter; thence North 0°08'29" West along the West line of said North one-half Southeast one-quarter, a distance of 207.94 feet to the Point of Beginning,

EXCEPT the West 40.00 feet thereof.

County of Adams, State of Colorado.

## EXHIBIT B

### PERMITTED EXCEPTIONS

1. Taxes for the year 2002, and subsequent years thereto.
2. Oil and gas lease between Edward Getz and Betty Getz and Amoco Production, recorded May 7, 1973, in Book 1862, at Page 112, and any and all assignments thereof, or interests therein.

NOTE: Affidavit of Lease Extension or Production recorded September 18, 1975, in book 2018, at Page 408.

NOTE: Notice of Oil and Gas Interests and Surface Use recorded December 5, 2000, in Book 6346, at Page 848.

3. Terms, conditions, provisions, obligations and easements, contained in Shared Well Agreement, recorded December 23, 1996, in Book 4904, at Page 814.
4. Easement and right of way for major drainageway facilities and related appurtenances, including maintenance trails, granted to Urban Drainage and Flood Control District, by instrument recorded October 17, 1989, in Book 3612, at Page 381.
5. a. Rights of others in and to the use of the South Platte River, located over, across, in or under a Southeasterly portion of subject property, and rights to enter said property to maintain the same.  
  
b. The consequences of any past or future change in the location of the centerline of the South Platte River, which forms the Southeasterly boundary of the property.
6. Lease by and between David L. Morrison and Penelope E. Morrison as Lessee and Aggregate Industries-WCR, Inc., a Colorado corporation as Lessor.

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 9<sup>th</sup> day of July 2002, is by and between Richard L. Getz and Beverly L. Getz of 16332 Tucson Street, Brighton Colorado 80601 ("Grantor"), and Aggregate Industries-WCR Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, the real property situate in the County of Adams, State of Colorado, and more particularly described on **Exhibit A** attached hereto and incorporated herein by this reference (hereinafter "the Property"),

4

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances. Except, Grantor reserves all of its right, title, and interest in and to all oil royalty, gas royalty and royalty in casinghead gas and gasoline that may be produced under that certain Oil, Gas and Mineral Lease dated April 13, 1973, from Edward Getz and Betty Getz as Lessor to Amoco Production Company as Lessee.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature so ever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on **Exhibit B** attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against all and every person or persons lawfully claiming or to claim the whole or any part thereof.

90133248  
Adams

Date  
\$ 44.00  
State Doc. Fee

Doc fee \$44.00  
P.F. \$2000

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## EXHIBIT A

### LEGAL DESCRIPTION

That part of the North one-half Southeast one-quarter, Section 1, Township 1 South, Range 67 west of the Sixth Principal Meridian, Adams County, Colorado, described as:

Commencing at the Northwest corner of said North one-half Southeast one-quarter, said point being the Point of Beginning;

Thence N.  $89^{\circ}37'18''$  E. along the North line of said North one-half Southeast one-quarter a distance of 1050.57 feet;

Thence S.  $0^{\circ}08'29''$  E, parallel with the West line of said North one-half Southeast one-quarter a distance of 621.95 feet to a line that is parallel with the North line of said North one-half Southeast one-quarter and 5 feet South of an existing house;

Thence S.  $89^{\circ}37'18''$  W. along said line a distance of 1050.57 feet to the West line of said North one-half Southeast one-quarter;

Thence N.  $0^{\circ}08'29''$  W. along the West line of said North one-half Southeast one-quarter a distance of 621.95 feet, to the Point of Beginning;

EXCEPT the West 40.00 feet thereof,

County of Adams, State of Colorado.

## EXHIBIT B

### PERMITTED EXCEPTIONS

1. Taxes for the year 2002 and subsequent years thereto.
2. Oil and gas lease between Edward Getz and Betty Getz and Amoco Production, recorded May 7, 1973, in Book 1862, at Page 112, and any and all assignments thereof, or interests therein.

NOTE: Affidavit of Lease Extension or Production recorded September 18, 1975, in book 2018, at Page 408.

NOTE: Notice of Oil and Gas Interests and Surface Use recorded December 5, 2000, in Book 6346, at Page 848.

3. Notice concerning underground facilities by Panhandle Eastern Pipe Line Company recorded June 25, 1986, in Book 3162, at Page 961.
4. Terms, conditions, provisions, obligations and easements, contained in Shared Well Agreement, recorded December 23, 1996, in Book 4904, at Page 814.
5. Lease by and between Richard L. Getz and Beverly L. Getz as Lessee and Aggregate Industries-WCR, Inc., a Colorado corporation as Lessor.

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 9<sup>th</sup> day of July 2002, is by and between David L. Morrison and Penelope E. Morrison of 16322 Tucson Street, Brighton Colorado 80601 ("Grantor"), and Aggregate Industries-WCR Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, an undivided one-half interest in and to the real property situate in the County of Adams, State of Colorado, and more particularly described on **Exhibit A** attached hereto and incorporated herein by this reference (hereinafter "the Property"),

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances. Except, Grantor reserves all of its right, title, and interest in and to all oil royalty, gas royalty and royalty in casinghead gas and gasoline that may be produced under that certain Oil, Gas and Mineral Lease dated April 13, 1973, from Edward Getz and Betty Getz as Lessor to Amoco Production Company as Lessee.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature so ever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on **Exhibit B** attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against

90133249  
Adams

Date  
\$ 44.00  
State Doc. Fee

Aggregate Industries Tucson South Permit Amendment  
Doc fee \$4400  
P.F. \$2000  
Page N-21

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## EXHIBIT A

### LEGAL DESCRIPTION

An undivided 1/2 interest in and to:

That part of the North one-half Southeast one quarter Section 1, Township 1 South, Range 67 West of the Sixth Principal Meridian, Adams County, Colorado, lying North and West of the centerline of the South Platte River, described as:

Commencing at the Northwest corner of said North one-half Southeast one-quarter;  
thence South 0°08'29" East along the West line of said North one-half Southeast one-quarter, a distance of 621.95 feet to a line that is parallel with the North line of said North one-half Southeast one-quarter and 5 feet South of an existing house and the Point of Beginning;  
thence North 89°37'18" East, parallel with the North line of said North one-half Southeast one-quarter, a distance of 1050.57 feet;  
thence North 0°08'29" West, parallel with the West line of said North one-half Southeast one-quarter, a distance of 621.95 feet to the North line of said North one-half Southeast one-quarter;  
thence North 89°37'18" East along the North line of said North one-half Southeast one-quarter, a distance of 1635.47 feet to the Northeast corner of said North one-half Southeast one-quarter;  
thence South 0°31'01" East along the East line of said North one-half Southeast one-quarter, a distance of 590.02 feet to the centerline of the South Platte River;  
Thence Southerly along the centerline of the South Platte River South 53°55'12" West, a distance of 142.93 feet to a line that is 646.34 feet North of and parallel with the South line of said North one-half Southeast one quarter;  
thence South 89°54'25" West along said line, a distance of 1324.16 feet to a line that is 1250.00 feet East of and parallel with the West line of said North one-half Southeast one-quarter;  
thence South 0°08'29" East, parallel with the West line of said North one-half Southeast one-quarter, a distance of 169.08 feet to a line that is 477.26 feet North of and parallel with the South line of said North one-half Southeast one-quarter;  
thence South 89°54'25" West along said line, a distance of 1250.00 feet to the West line of said North one-half Southeast one-quarter; thence North 0°08'29" West along the West line of said North one-half Southeast one-quarter, a distance of 207.94 feet to the Point of Beginning,

EXCEPT the West 40.00 feet thereof.

County of Adams, State of Colorado.

## EXHIBIT B

### PERMITTED EXCEPTIONS

1. Taxes for the year 2002, and subsequent years thereto.
2. Oil and gas lease between Edward Getz and Betty Getz and Amoco Production, recorded May 7, 1973, in Book 1862, at Page 112, and any and all assignments thereof, or interests therein.

NOTE: Affidavit of Lease Extension or Production recorded September 18, 1975, in book 2018, at Page 408.

NOTE: Notice of Oil and Gas Interests and Surface Use recorded December 5, 2000, in Book 6346, at Page 848.

3. Terms, conditions, provisions, obligations and easements, contained in Shared Well Agreement, recorded December 23, 1996, in Book 4904, at Page 814.
4. Easement and right of way for major drainageway facilities and related appurtenances, including maintenance trails, granted to Urban Drainage and Flood Control District, by instrument recorded October 17, 1989, in Book 3612, at Page 381.
5. a. Rights of others in and to the use of the South Platte River, located over, across, in or under a Southeasterly portion of subject property, and rights to enter said property to maintain the same.  
b. The consequences of any past or future change in the location of the centerline of the South Platte River, which forms the Southeasterly boundary of the property.
6. Lease by and between David L. Morrison and Penelope E. Morrison as Lessee and Aggregate Industries-WCR, Inc., a Colorado corporation as Lessor.

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 22<sup>nd</sup> day of August 2002, is by and between Darrell R. Mallory and Betty B. Mallory, Trustees Under The Darrell R. Mallory and Betty B. Mallory Living Trust Dated October 19, 1995, whose address is 16202 Tucson Street, Brighton Colorado 80601 ("Grantor"), and Aggregate Industries-WCR Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, the real property situate in the County of Adams, State of Colorado, and more particularly described on Exhibit A attached hereto and incorporated herein by this reference (hereinafter "the Property"),

4

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances.

90137171

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature soever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on Exhibit B attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against all and every person or persons lawfully claiming or to claim the whole or any part thereof.

Adams

IN WITNESS WHEREOF, Grantor has executed this Deed as of the day and year first above written.

Date 8/20  
State Doc. Fee

THE DARRELL R. MALLORY AND BETTY B. MALLORY LIVING TRUST DATED OCTOBER 19, 1995

Darrell R. Mallory - Trustee  
Darrell R. Mallory, Trustee

Betty B. Mallory - Trustee  
Betty B. Mallory, Trustee

C1015062  
8/26/2002 13:28:41  
PG: 0001-004  
20.00 DOC FEE: 84.80  
CAROL SNYDER  
ADAMS COUNTY

RF 2002  
Doc fee \$84.80

2

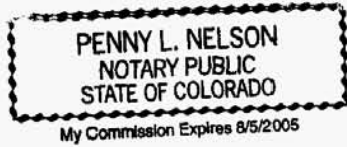


STATE OF Colorado )  
COUNTY OF Denver ) ss.

The foregoing instrument was acknowledged before me this 22nd day of August 2002, by Darrell R. Mallory and Betty B. Mallory as Trustees of The Darrell R. Mallory and Betty B. Mallory Living Trust Dated October 19, 1995.

Witness my hand and official seal.

My commission expires: 8/5/2005.



Penny L. Nelson  
Notary Public

## EXHIBIT A

### LEGAL DESCRIPTION

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29"W, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER:

S53°55'12"W, 94.57 FEET;  
S32°39'44"W, 231.53 FEET;  
S26°54'09"W, 242.48 FEET;  
S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF.

EXHIBIT "B"

PERMITTED EXCEPTIONS

1. Taxes for the year 2002, and subsequent years; special assessments or charges not certified to the County Treasurer.
2. Lease by and between Ronald R. Mallory as Tenant and Aggregate Industries-WCR, Inc., a Colorado corporation, as Landlord.
3. Oil and Gas recorded May 07, 1973, in Book 1862 at Page 112, and any assignments thereof or interests therein or rights thereunder.
4. Terms, conditions, provisions, obligations and easements, contained in Easement Deed, recorded October 17, 1989, in Book 3612, at Page 381. Correction Easement in connection therewith recorded November 02, 1989, in Book 3617 at Page 596.
5. a. Rights of others in and to the use of the South Platte River, located over, across, in or under a Southeasterly portion of subject property, and rights to enter said property to maintain the same.  
  
b. The consequences of any past or future change in the location of the centerline of the South Platte River, which forms the Southeasterly boundary of the property.
6. The effect, if any, of the Resolutions recorded July 11, 1995, in Book 4545 at Pages 325 through 328.  
  
NOTE: Getz Exemption From Subdivision recorded February 28, 1996, at Reception No. C0150993.
7. Terms, conditions, provisions and obligations contained in Option Agreement, recorded January 22, 2002, at Reception Number C0916204.
8. The land described herein shall not be deemed to include any house trailer, mobile home or mobile dwelling on the subject property.

Date  
\$ 32.69  
State Doc. Fee

1/22/2001 11:14:32  
PG: 0001-006  
30.00 DOC FEE: 32.69  
CAROL SNYDER  
ADAMS COUNTY

GENERAL WARRANTY DEED

THIS DEED, made as of this 18th day of January, 2001, is by and between Daniel B. Stough of 4691 Old Town Road, Marshall, Texas 75672 ("Grantor"), and Aggregate Industries-WCR, Inc., a Colorado corporation, whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Three hundred twenty-six thousand nine hundred sixteen & 00/100 (\$326,916.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, the real property situate in the County of Adams, State of Colorado, and more particularly described on Exhibit A attached hereto and incorporated herein by this reference (hereinafter "the Property"),

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensealing and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form aforesaid, and that the same is free and clear from all former and other grants, bargains, sales, liens, taxes, assessments and encumbrances of whatever kind or nature soever except general taxes and assessments for the current year and all subsequent years; and except for those matters shown on Exhibit B attached hereto and incorporated herein; and the above bargained premises in the quiet and peaceable possession of Grantee, its successors and assigns, will warrant or forever defend against all and every person or persons lawfully claiming or to claim the whole or any part thereof.

90112860

D.F. \$32.69  
R.F. 3000

(2)





EXHIBIT A

to

General Warranty Deed

Legal Description

## EXHIBIT A

### LEGAL DESCRIPTION

A parcel of land located in the South half of the Northeast quarter of Section 1, Township 1 South, Range 67 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

Beginning at the East quarter corner of said Section 1;  
thence South  $89^{\circ}39'53''$  West 2445.14 feet along the South line of the Northeast quarter of said Section 1;  
thence North  $00^{\circ}06'03''$  West 827.14 feet;  
thence 214.58 feet along the arc of a curve to the right having a radius of 2944.62 feet and a long chord which bears North  $69^{\circ}36'00''$  West 214.53 feet to a point lying 40.00 feet Easterly from the West line of the Northeast quarter of said Section 1;  
thence North  $00^{\circ}06'03''$  West 32.52 feet parallel to the West line of the Northeast quarter of said Section 1;  
thence 305.94 feet along the arc of a curve to the left having a radius of 2914.62 feet and a long chord which bears South  $70^{\circ}16'26''$  East 305.80 feet, said point being on the Southerly line of the Tucson Resources Subdivision as recorded in the Adams County Records in File 17 Map 855;  
thence South  $73^{\circ}16'48''$  East 2463.67 feet along the Southerly line of said Tucson Resources Subdivision to the East line of the Northeast quarter of said Section 1;  
thence South  $00^{\circ}10'30''$  East 108.13 feet along the East line of the Northeast quarter of said Section 1 to the Point of Beginning.

NOTE: The following disclosure is made pursuant to C.R.S. 38-35-106.5:  
Said description created by survey of Epp & Associates, Inc., Job No. 99.104-12, dated September 27, 2000.





Date 26<sup>th</sup>  
State Doc. Fee

75110039

**AGREEMENT FOR THE PURCHASE AND  
SALE OF REAL ESTATE**

**GENERAL WARRANTY DEED**

THIS DEED, made as of this 26<sup>th</sup> day of February, 2001, is by and between HAAKE FARMS INC., whose address 12711 East 160<sup>th</sup> Avenue, Brighton, Colorado 80602, ("Grantor"), and Aggregate Industries -WCR, Inc. A Colorado Corporation whose address is 3605 South Teller Street, Lakewood, Colorado 80235 ("Grantee").

WITNESSETH, that Grantor, for and in consideration of the sum of Two Million Six Hundred Thousand Dollars (2,600,000.00) to Grantor in hand paid by Grantee, the receipt whereof is hereby confessed and acknowledged, has granted, bargained, sold and conveyed and by these presents does grant, bargain, sell, convey and confirm unto Grantee, its heirs, successors and assigns forever, the real property situate in the County of ADAMS, State of Colorado, and more particularly described on Exhibit A attached hereto and incorporated herein by this reference (hereinafter "the Property").

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in any wise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, including, but not limited to, to the extent owned by Grantor, all gravel, sand, oil, gas, and other liquid hydrocarbon substances, casinghead gas, coal, carbon dioxide, helium, geothermal resources, and all other naturally occurring elements, compounds and substances, whether similar or dissimilar, organic or inorganic, metallic or non-metallic in whatsoever form and whether occurring, found, extracted or removed in solid, liquid or gaseous state or in combination, association or solution with other mineral or non-mineral substances, regardless of their intended use or current commercial value, and all the estate, right, title, interest, claim and demand whatsoever of Grantor, either in law or equity, of, in and to the Property, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the Property above bargained and described, with the appurtenances unto Grantee, its heirs, successors and assigns forever. And Grantor, for itself, its successors and assigns, does covenant, grant, bargain and agree to and with Grantee, its heirs, successors and assigns, that at the time of the ensembling and delivery of these presents it is well seized of the Property, as of good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right,



**EXHIBIT A**

**to**

**General Warranty Deed**

**Legal Description**

LEGAL DESCRIPTION

PARCEL A:

The Southwest One-quarter of Section 1, Township 1 South, Range 67 West of the Sixth Principal Meridian,

EXCEPT the following 6 parcels:

PARCEL A-1:

That portion conveyed by Warranty Deed recorded September 4, 1951, in Book 427, at Page 20, described as follows:

Beginning at the Southwest corner of Section 1, Township 1 South, Range 67 West of the 6th P.M., Adams County, Colorado, thence North along the West line of said Section 1 a distance of 1100 feet; thence Southeasterly along an irrigation ditch 270 feet; thence Southwesterly 1100 feet to the South line of Section 1; thence West along the South line of Section 1, a distance of 110 feet to the point of beginning.

PARCEL A-2:

That portion lying South of State Highway No. 7 described in Quit Claim Deed recorded September 1, 1956, in Book 626, at Page 50.

PARCEL A-3:

That portion conveyed by Warranty Deed recorded April 27, 1981, in Book 905, at Page 538, described as follows:

Beginning at the Southwest corner of Section 1; Thence North 88°35' East 110.00 feet along South line of SW1/4 of Section 1; thence North 08°23' E 79.7 feet to point on the Northerly right of way line Colorado State Highway No. 7, said point being the true point of beginning; thence North 08°23' East 558.11 feet; thence North 88°35' East 403.9 feet; thence South 07°13' West 226.62 feet; thence South 04°40' West 268.90 feet more or less to a point on Northerly right of way line of Colorado State Highway No. 7; thence South 80°56' West 440.25 feet along said Northerly right of way line to the true point of beginning.

PARCEL A-4:

That portion conveyed by Quit Claim Deed recorded June 3, 1963, in Book 1070, at Page 495, described as follows:

Beginning at the SW corner of Sec. 1, Township 1 South, Range 67 West of the  
Continued on next page

## Continuation of

## Legal Description

6th P.M., thence North along West line of said Sec. 1, a distance of 1449.0 feet, thence S 84°05' E a distance of 1334.7 feet to the true point of beginning; thence S 69°18' E, 260.7 feet; thence N 07°32' E, 171.6 feet; thence N 69°18' W, 260.7 feet; thence S 07°32' W, 171.6 feet to the point of beginning.

## PARCEL A-5:

Those portions taken by Rule And Order recorded July 12, 1968, in Book 1448, at Page 387, described as follows:

Beginning at a point on the North-South center line of Sec. 1, from which point the South 1/4 corner of Sec. 1, T. 1 S., R. 67 W. bears S 0°02'30" W, a distance of 72.8 feet;

1. Thence S 89°36'30" W, a distance of 54.0 feet;
2. Thence S 78°03' W, a distance of 124.8 feet;
3. Thence along the arc of a curve to the right, having a radius of 5,680.0 feet, a distance of 550.2 feet. (The chord of this arc bears N 87°37' W, a distance of 550.0 feet);
4. Thence N 84°50'30" W, a distance of 415.1 feet;
5. Thence N 78°49'45" W, a distance of 238.7 feet;
6. Thence along the arc of a curve to the left, having a radius of 5,805.0 feet, a distance of 689.2 feet. (The chord of this arc bears N 88°14'30" W, a distance of 688.7 feet) to the West property line;
7. Thence S 04°53'30" W, a distance of 80.2 feet to a point on the North right of way line of State Highway No. 7 (April 1966);
8. Thence along said North right of way line, S 81°09'30" W, a distance of 440.3 feet;
9. Thence S 08°36'30" W, a distance of 38.0 feet to the center of State Highway No. 7 (April 1966);
10. Thence along the center line of State Highway No. 7, N 81°15' E, a distance of 394.0 feet;
11. Thence along said center line, N 86°07' E, a distance of 197.0 feet;
12. Thence along said center line, S 84°50'30" E., a distance of 708.0 feet;
13. Thence along said center line, S 89°17' E, a distance of 717.7 feet, to the South line of Sec. 1;
14. Thence along said South line, N 88°48'30" E, a distance of 500.4 feet, to the South 1/4 corner of Sec. 1;
15. Thence along the North-south center line of Sec. 1, N 0°02'30" E, a distance of 72.8 feet, more or less, to the point of beginning;

Continued on next page

Continuation of

Legal Description

AND

Beginning at a point on the Westerly property line from which the SW corner of Section 1, T. 1 S., R. 67 W., bears S 58°21'30" W, a distance of 674.8 feet;

1. Thence along the Westerly property line S 4°53'30" W a distance of 125.8 feet;
2. Thence along the arc of a curve to the right having a radius of 5,805.0 feet a distance of 689.2 feet (the chord of this arc bears S 88°14'30" E a distance of 688.3 feet);
3. Thence S 78°49'45" E a distance of 238.7 feet;
4. Thence S 84°50'30" E a distance of 250.0 feet;
5. Thence N 5°09'30" E a distance of 40.0 feet;
6. Thence N 84°50'30" W a distance of 250.00 feet;
7. Thence N 78°49'45" W a distance of 88.7 feet;
8. Thence N 5°09'30" E a distance of 25.0 feet;
9. Thence N 78°49'45" W a distance of 150.0 feet;
10. Thence N 87°09'30" W a distance of 506.2 feet;
11. Thence N 50°22' W a distance of 91.6 feet;
12. Thence along the arc of a curve to the left having a radius of 5,930.0 feet a distance of 107.5 feet (the chord of this arc bears S 89°00'45" W a distance of 107.5 feet, more or less, to the point of beginning;

AND

Beginning at a point from which the S1/4 corner of Section 1, T. 1 S., R. 67 W. bears S 30°19'45" E, a distance of 107.0 feet;

1. Thence S 78°03' W a distance of 124.8 feet;
2. Thence along the arc of a curve to the right, having a radius of 5,660.0 feet a distance of 267.7 feet (the chord of this arc bears N 89°02'03" W a distance of 267.7 feet);
3. Thence S 5°09'30" W a distance of 20.09 feet;
4. Thence along the arc of a curve to the left, having a radius of 5,680.0 feet, a distance of 266.8 feet. (the chord of this arc bears S 89°02'30" E, a distance of 266.8 feet);
5. Thence N 78°03'E a distance of 124.8 feet;
6. Thence N 0°23'30" W a distance of 20.0 feet, more or less, to the point of beginning;

AND

Continued on next page

Beginning at a point 50 feet opposite Sta. 421+00;

1. Thence N 02°18'30" E a distance of 20.0 feet;
2. Thence along the arc of a curve to the right, having a radius of 5,660.0 feet, a distance of 281.5 feet, (the chord of this arc bears N 89°02'30" W, a distance of 281.5 feet);
3. Thence N 84°50'30" W, a distance of 165.1 feet;
4. Thence S 05°09'30" W, a distance of 20.0 feet;
5. Thence S 84°50'30" E, a distance of 165.1 feet;
6. Thence along the arc of a curve to the left, having a radius of 5,680.0 feet, a distance of 282.5 feet; (the chord of this arc bears S 89°02'30" E, a distance of 282.5 feet more or less, to the point of beginning.

PARCEL A-6:

That portion conveyed by Deed recorded August 3, 1964, Book 2902, at Page 248, described as follows:

Beginning at the center of said Section 1; thence N 90°00'00" W on an assumed bearing along the East-West centerline of said Section 1 a distance of 30.00 feet to the true point of beginning; thence continuing along said line a distance of 324.12 feet; thence S 00°11'00" W along a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet; thence N 90°00'00" E on a line parallel to the East-West centerline of Said Section 1 a distance of 324.12 feet; thence N 00°11'00" E on a line parallel to the North-South centerline of said Section 1 a distance of 672.00 feet to the true point of Beginning;

AND ALSO EXCEPT any portion thereof lying within the existing roadways known as East 160th Avenue/State Highway 7 and Tucson Street,

All in County of Adams, State of Colorado.

PARCEL B:

That part of the Northeast One-quarter Northwest One-quarter of Section 12, Township 1 South, Range 67 West of the 6th Principal Meridian, Adams County, Colorado, described as:

Beginning at the North quarter corner of said Section 2; thence S 00°17'15" E on an assumed bearing along the East line of said Northeast one-quarter

Continued on next page



## Continuation of

## Legal Description

Northwest One-quarter a distance of 77.30 feet to the true Point of Beginning, said point being a point on the South R.O.W. line of Colorado State Highway No. 7; thence Westerly along said South R.O.W. line as follows:

S 87°18'30" W, 52.80 feet;  
Thence N 83°05'15" W, 123.10 feet to the beginning of a curve to the right, the delta of said curve is 5°33'00", the radius of said curve is 5780.00 feet, the chord of said curve bears N 87°18'30" W, 559.70 feet; thence along the arc of said curve a distance of 559.88 feet to the end of said curve; thence N 05°28'00" E a distance of 27.53 feet to a point on the North line of said Northeast one-quarter Northwest one-quarter; thence S 89°07'00"W along said North line a distance of 582.33 feet to the Northwest corner of said Northeast one-quarter Northwest one-quarter; thence S 00°18'40" E along the West line said Northeast one-quarter Northwest one-quarter a distance of 330.00 feet; thence S 53°12'55" E a distance of 1645.86 feet to the Southeast corner said Northeast one-quarter Northwest one-quarter; thence N 00°17'15" W along the East line of said Northeast one-quarter Northwest one-quarter a distance of 1258.52 feet to the true point of beginning.





**EXHIBIT O**

**OWNERS OF RECORD OF AFFECTED  
LAND (SURFACE) AND OWNERS OF  
SUBSTANCE TO BE MINED**

# EXHIBIT O

## Owners of Record of Affected Land (Surface Area) and Owners of Substance to be Mined

### Surface Ownership

Aggregate Industries-WCR, Inc.  
1687 Cole Blvd, Suite 300  
Golden, Colorado 80401

City of Aurora  
15151 East Alameda Parkway, Suite 3600  
Aurora, Colorado 80012

City of Thornton  
9500 Civic Dr  
Thornton Co 80229-4326

Adams County c/o Department of Public Works  
4955 E 74th Ave,  
Commerce City, CO 80022

Owners of Substance to be Mined:  
Aggregate Industries-WCR, Inc.  
1687 Cole Blvd, Suite 300  
Golden, Colorado 80401

City of Aurora  
15151 East Alameda Parkway, Suite 3600  
Aurora, Colorado 80012

Also see Exhibit C, Pre-Mining Maps.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Owners of Interest, Easement Holders, within the project site; as identified in Title Commitments by Empire Title:</p> <p>Adams County<br/>Associated Natural Gas<br/>Beverly Getz<br/>Brantner Ditch Company<br/>Brighton Ditch Company<br/>Carl Seltzer and RV Carlson<br/>Charles S. Davis and Alma G. Davis<br/>City of Westminster<br/>Great Western Operating Company LLC<br/>Haake Farms Inc.<br/>Jack Alden Seltzer<br/>Mary Ann and the Estate of John L. Kloefkorn et al<br/>Joseph C Stone and Virginal R Stone<br/>Leonard C Leon and Antoinette J Leon<br/>Mountain View Water Users Association<br/>Panhandle Eastern Pipeline Company (Kerr McGee Gathering, Inc.)<br/>Public Service Company of Colorado (Xcel Energy, Inc.)<br/>Richard Getz et al<br/>Robert Seltzer Family Trust<br/>Seltzer Farms Inc.<br/>Todd Creek Farms Metropolitan District No. 1<br/>TS Pace<br/>Union Pacific RR<br/>Union Rural Electric Association (United Power, Inc.)<br/>Urban Drainage and Flood Control District</p> | <p>Mineral Owners and Lessees</p> <p>Aggregate Industries-WCR, Inc.<br/>City of Aurora<br/>David L. Morrison &amp; Penelope E. Morrison<br/>Estate of Joseph C. Stone, a/k/a Joseph Carl Stone, Deceased, c/o Joseph J. Stone<br/>Great Western Operating Company, LLC<br/>Grizzly Petroleum Company, LLC<br/>Haake Farms, Inc.<br/>Kerr-McGee Oil &amp; Gas Onshore, LP<br/>Leonard C. Leon &amp; Lydia E. Leon, as joint tenants<br/>Margaret Sorenson<br/>Mark Samford<br/>Mary Ann Kloefkorn &amp; the Estate of John L. Kloefkorn, deceased<br/>Mary Hogue<br/>Richard L. Getz &amp; Beverly L. Getz<br/>Royalty Asset Holdings, LP</p> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

# EXHIBIT P

## MUNICIPALITIES WITHIN TWO MILES

## EXHIBIT P

### Municipalities Within Two Miles

City of Brighton  
500 S. 4th Avenue  
Brighton, Colorado 80601



**EXHIBIT Q**

**PROOF OF MAILING NOTICE TO THE  
COUNTY COMMISSIONERS AND  
CONSERVATION DISTRICT**

EXHIBIT Q

Proof of Mailing of Notices to County Commissioners and Conservation District

See attached

7018 0360 0001 9458 5854

|                                                                                                 |                                               |
|-------------------------------------------------------------------------------------------------|-----------------------------------------------|
| <b>U.S. Postal Service™</b>                                                                     |                                               |
| <b>CERTIFIED MAIL® RECEIPT</b>                                                                  |                                               |
| Domestic Mail Only                                                                              |                                               |
| For delivery information, visit our website at <a href="http://www.usps.com">www.usps.com</a> ™ |                                               |
| BRIGHTON, CO 80601                                                                              |                                               |
| Certified Mail Fee                                                                              | \$3.45                                        |
| Extra Services & Fees (check box, add fee as appropriate)                                       | \$2.75                                        |
| <input type="checkbox"/> Return Receipt (hardcopy)                                              | \$0.00                                        |
| <input type="checkbox"/> Return Receipt (electronic)                                            | \$0.00                                        |
| <input type="checkbox"/> Certified Mail Restricted Delivery                                     | \$0.00                                        |
| <input type="checkbox"/> Adult Signature Required                                               | \$0.00                                        |
| <input type="checkbox"/> Adult Signature Restricted Delivery                                    | \$0.00                                        |
| Postage                                                                                         | \$0.50                                        |
| Total Postage and Fees                                                                          | \$6.70                                        |
| Sent To                                                                                         | ADAMS COUNTY COMMISSIONERS                    |
| Street and Apt. No.                                                                             | 4430 S. ADAMS COUNTY PKWY.                    |
| City, State, ZIP+4                                                                              | 5TH FLOOR, SUITE C5000A<br>BRIGHTON, CO 80601 |
| PS Form 3800, April 2015 PSN 7530-02-000-9047                                                   | See Reverse for Instructions                  |

7018 0360 0001 9458 5915

|                                                                                                 |                                  |
|-------------------------------------------------------------------------------------------------|----------------------------------|
| <b>U.S. Postal Service™</b>                                                                     |                                  |
| <b>CERTIFIED MAIL® RECEIPT</b>                                                                  |                                  |
| Domestic Mail Only                                                                              |                                  |
| For delivery information, visit our website at <a href="http://www.usps.com">www.usps.com</a> ™ |                                  |
| BRIGHTON, CO 80601                                                                              |                                  |
| Certified Mail Fee                                                                              | \$3.45                           |
| Extra Services & Fees (check box, add fee as appropriate)                                       | \$2.75                           |
| <input type="checkbox"/> Return Receipt (hardcopy)                                              | \$0.00                           |
| <input type="checkbox"/> Return Receipt (electronic)                                            | \$0.00                           |
| <input type="checkbox"/> Certified Mail Restricted Delivery                                     | \$0.00                           |
| <input type="checkbox"/> Adult Signature Required                                               | \$0.00                           |
| <input type="checkbox"/> Adult Signature Restricted Delivery                                    | \$0.00                           |
| Postage                                                                                         | \$0.50                           |
| Total Postage and Fees                                                                          | \$6.70                           |
| Sent To                                                                                         | WEST ADAMS CONSERVATION DISTRICT |
| Street and Apt. No.                                                                             | 57 W BROMLEY LN                  |
| City, State, ZIP+4                                                                              | BRIGHTON CO 80601                |
| PS Form 3800, April 2015 PSN 7530-02-000-9047                                                   | See Reverse for Instructions     |

**EXHIBIT R**

**PROOF OF FILING WITH COUNTY  
CLERK AND RECORDER**

EXHIBIT R

Proof of Filing with County Clerk or Recorder

See attached.

# EXHIBIT S

## PERMANENT MAN-MADE STRUCTURES

EXHIBIT S

Permanent Man-Made Structures

The applicant, Aggregate Industries-WCR, Inc. believes that the mining operation, as proposed, will not adversely affect any of the permanent, man-made structures located within 200 feet of the affected area. The recommended distance limits of mining excavation is addressed in the Geotechnical Stability Exhibit.

Structures within 200 feet of the affected land shown on Exhibit C Pre-Mining Maps are listed below.

| STRUCTURE ID               | STRUCTURE DESCRIPTION                               | OWNER                                |
|----------------------------|-----------------------------------------------------|--------------------------------------|
| STRUCTURES TO BE REMOVED   |                                                     |                                      |
| A-1                        | FENCE                                               | CITY OF AURORA                       |
| A-2                        | FENCES LOCATED ON PROPERTY                          | AGGREGATE INDUSTRIES WCR, INC.       |
| A-3                        | WW-62                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-4                        | WW-10                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-5                        | PUMP HOUSE, WELL & WATERLINE                        | AGGREGATE INDUSTRIES WCR, INC.       |
| A-6                        | IRRIGATION DITCH                                    | AGGREGATE INDUSTRIES WCR, INC.       |
| A-7                        | IRRIGATION LATERALS                                 | AGGREGATE INDUSTRIES WCR, INC.       |
| A-8                        | IRRIGATION LATERALS                                 | AGGREGATE INDUSTRIES WCR, INC.       |
| A-9                        | WW-64                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-10                       | WW-38                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-11                       | OVERHEAD ELECTRIC WITH POWER POLES                  | UNITED POWER INC                     |
| A-12                       | WW-12                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-13                       | WW-13                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-14                       | WW-14                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-15                       | WW-15                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-16                       | WW-63                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-17                       | WW-18                                               | AGGREGATE INDUSTRIES WCR, INC.       |
| A-18                       | PRIVATE RESIDENCE                                   | AGGREGATE INDUSTRIES WCR, INC.       |
| STRUCTURE ID               | STRUCTURE DESCRIPTION                               | OWNER                                |
| STRUCTURES TO BE PRESERVED |                                                     |                                      |
| B-1                        | OIL AND GAS FACILITY, WELL, APPERTENACES, AND FENCE | GREAT WESTERN OPERATING COMPANY, LLC |
| B-2                        | GAS LINE                                            | GREAT WESTERN OPERATING COMPANY, LLC |
| B-3                        | OVERHEAD ELECTRIC WITH POWER POLES                  | PUBLIC SERVICE CO. OF COLO.          |
| B-4                        | OVERHEAD ELECTRIC WITH POWER POLES                  | PUBLIC SERVICE CO. OF COLO.          |
| B-5                        | OVERHEAD ELECTRIC WITH POWER POLES                  | PUBLIC SERVICE CO. OF COLO.          |
| B-6                        | ELECTRICAL SUBSTATION                               | UNITED POWER INC                     |
| B-7                        | WATERLINE                                           | CITY OF AURORA                       |
| B-8                        | NUMBER INTENTIONALLY NOT USED                       | N/A                                  |
| B-9                        | BRIGHTON DITCH                                      | BRIGHTON DITCH COMPANY               |



| STRUCTURE ID | STRUCTURE DESCRIPTION                       | OWNER                                                       |
|--------------|---------------------------------------------|-------------------------------------------------------------|
| B-10         | BRIGHTON DITCH RETURN FLOW                  | BRIGHTON DITCH COMPANY                                      |
| B-11         | CHALLENGER RESERVOIR                        | CITY OF AURORA                                              |
| B-12         | PRIVATE RESIDENCE                           | DELORES BAKER, APRIL AND BRET BAKER                         |
| B-13         | SHARED ACCESS                               | KATHLEEN BLOOM, DELORES, APRIL & BRET BAKER, CITY OF AURORA |
| B-14         | PRIVATE RESIDENCE AND OUTBUILDINGS          | KATHLEEN BLOOM                                              |
| B-15         | TELEPHONE LINE                              | CENTURY LINK                                                |
| B-16         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC INC                                        |
| B-17         | GAS LINE                                    | XCEL                                                        |
| B-18         | UNDERGROUND ELECTRIC                        | UNITED POWER INC INC                                        |
| B-19         | WATERLINE                                   | TODD CREEK FARMS METROPOLITAN DIST. NO. 1                   |
| B-20         | FENCE                                       | COLORADO DEPARTMENT OF TRANSPORTATION                       |
| B-21         | FENCE                                       | COLORADO DEPARTMENT OF TRANSPORTATION                       |
| B-22         | CO STATE HIGHWAY 7                          | COLORADO DEPARTMENT OF TRANSPORTATION                       |
| B-23         | GAS LINE                                    | XCEL                                                        |
| B-24         | TELEPHONE LINE                              | CENTURY LINK                                                |
| B-25         | TUCSON STREET                               | ADAMS COUNTY                                                |
| B-26         | GAS LINE                                    | XCEL                                                        |
| B-27         | WATERLINE                                   | TODD CREEK FARMS METROPOLITAN DIST. NO. 1                   |
| B-28         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC                                            |
| B-29         | FENCE                                       | AGGREGATE INDUSTRIES WCR, INC.                              |
| B-30         | FENCE                                       | CITY OF AURORA                                              |
| B-31         | TELEPHONE LINE                              | CENTURY LINK                                                |
| B-32         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC                                            |
| B-33         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC                                            |
| B-34         | UNDERGROUND ELECTRIC                        | UNITED POWER INC                                            |
| B-35         | FENCE                                       | SAN MARTIN CABALLERO, LLC                                   |
| B-36         | RIVERBANK STABILIZATION                     | URBAN DRAINAGE AND FLOOD CONTROL DISTRICT                   |
| B-37         | RIVERBANK STABILIZATION                     | URBAN DRAINAGE AND FLOOD CONTROL DISTRICT                   |
| B-38         | HIGHWAY 7 BRIDGE                            | COLORADO DEPARTMENT OF TRANSPORTATION                       |
| B-39         | THORNTON RESERVOIR                          | CITY OF THORNTON                                            |
| B-40         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC                                            |
| B-41         | OVERHEAD ELECTRIC WITH POWER POLES          | UNITED POWER INC                                            |
| B-42         | 168TH STREET                                | ADAMS COUNTY                                                |
| B-43         | WATERLINE, WELL, PUMP HOUSE & APPURTENANCES | TODD CREEK FARMS METROPOLITAN DIST. NO. 1                   |
| B-44         | GUARDRAIL                                   | COLORADO DEPARTMENT OF TRANSPORTATION                       |
| B-45         | UNDERGROUND ELECTRIC                        | UNITED POWER, INC.                                          |
| B-46         | UNDERGROUND ELECTRIC                        | TODD CREEK FARMS METROPOLITAN DIST. NO. 1                   |

| STRUCTURE ID | STRUCTURE DESCRIPTION               | OWNER                                |
|--------------|-------------------------------------|--------------------------------------|
| B-47         | PRIVATE RESIDENCE AND OUT BUILDINGS | FERNANDO DE LA CRUZ                  |
| B-48         | PRIVATE RESIDENCE AND OUT BUILDINGS | FERNANDO ARMANDO DE LA CRUZ BRECEDA  |
| B-49         | OIL AND GAS FACILITY                | GREAT WESTERN OPERATING COMPANY, LLC |
| B-50         | ACCESS ROAD                         | AGGREGATE INDUSTRIES WCR, INC.       |
| B-51         | PRIVATE RESIDENCE AND OUT BUILDINGS | CHRISTOFER MUHLER                    |

# RULE 6.5

## GEO TECHNICAL STABILITY EXHIBIT

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**To:** Joel Bolduc, Aggregate Industries, Inc.

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**cc:** Connie Davis, Aggregate Industries, Inc.

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**From:** Michelle Franke, EI, Tetra Tech; Justin Stoeber, PE, Tetra Tech

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**Date:** November 9, 2018

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**Subject:** Updated Tucson South Proposed Gravel Mine Slope Stability Analysis;  
Tetra Tech Job No. 200-23514-18004

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This memo presents the results of the updated stability modeling for the proposed Tucson South Resource aggregate mine (Tucson South) based on the updated factors of safety accepted by the Division of Reclamation, Mining and Safety Minerals Program (DRMS) on May 16, 2018<sup>1</sup>. The memo describes the methods and results of an analysis conducted to evaluate the minimum distance between the proposed mine limits and surrounding critical structures to avoid damage to the structures per the Mine Land Reclamation Board (MLRB) Construction Materials Rules 6.3.12(b) and 6.4.19(b) and the memorandum from the DRMS dated May 16, 2018.

## 1.0 SITE LAYOUT

The proposed site is approximately 250 acres, located a half-mile from the City of Brighton, Colorado. The site lies within the south half of Section 1 and the northwest quarter of Section 12 in Township 1 South, Range 67, West of the 6<sup>th</sup> Principal Meridian. Land use around the site is aggregate mining, residential, and agricultural. Tucson Street separates the proposed East and West Pits of the mine. Colorado Highway 7 (E 160<sup>th</sup> Avenue) separates the proposed East and West Pits from the proposed Southwest Pit. The South Platte River forms the eastern border for the proposed East Pit and the Brighton Ditch forms the western border of the proposed West Pit.

Figure 1 shows the proposed mine boundaries and slurry wall alignments. The proposed slurry wall will be constructed around the perimeter of the East and West Pits. The slurry wall will cross Tucson Street in two places:

- 1) Along the northern boundary of the East and West Pits
- 2) Along the southern boundary of the East and West Pits. No slurry wall will be constructed around the Southwest Pit. The Southwest Pit will be mined via wet mining.

## 2.0 GEOLOGY

The site is in the alluvial valley of the South Platte River. Geologic mapping indicates that the mine is located on an alluvial terrace corresponding with the Piney Creek and Post Piney Creek alluvium<sup>2</sup>. The bedrock underlying the alluvium may be the Arapahoe Formation, which consists of claystone and sandstones.

A total of 130 boreholes have been drilled on the site. Drilling logs indicate the general subsurface profile consists of an average of three feet (one to ten feet) of silty sand overburden, overlying an average of 23 feet (five to 46 feet) of sand and gravel, overlying a claystone bedrock. A mud lens is present in the area, mainly in the West and Southwest Pits of the proposed mine.

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<sup>1</sup> Cazier, T. (2018, May 16). Re: Factors of Safety for Slope Stability/Geotechnical Analyses Associated with Mining Operations. Denver, CO: Division of Reclamation, Mining and Safety Minerals Program.

<sup>2</sup> Trimble, E. D., & Machette, N. M. (1979). Geologic Map of the Greater Denver Area, Front Range Urban Corridor, Colorado. USGS Map I-856-H, Version 1.1.

Groundwater was encountered while drilling in 2004 at depths between eight and 12 feet below the ground surface. Monitoring well readings from December 2003 to August 2004 have water levels between four and 16 feet below ground surface.

### 3.0 PREVIOUS EVALUATIONS

A similar evaluation was completed for the Tucson South mine in November 2004<sup>3</sup>. The evaluation used the (previously required) factor of safety value of 1.0 and analyzed a total of 14 critical structures surrounding the Tucson South Resource footprint. No seismic analysis was conducted. A mud lens was modeled in each section. The analysis found that several of the minimum mining setbacks needed to be increased to meet the minimum required factor of safety of 1.0. The previous evaluation was used as a basis for this evaluation.

### 4.0 STABILITY ANALYSIS

The stability analysis was conducted using GeoStudio 2012 (*Slope/W Define*) computer software<sup>4</sup>. The software is capable of computing factors of safety for a range of materials using finite element analysis. Spencer's method of slices<sup>5</sup> was used to calculate the safety factor for the individual failure surfaces.

Several assumptions were made for the models including:

- Surficial geology was modeled based on stability models and borehole data from 2004.
- Geologic layers are horizontal in the subsurface.
- The West and East pits will be mined after the slurry wall is installed and will be dewatered as needed.
- The slurry wall will be built around the perimeter of the East and West Pits, crossing Tucson Street on the north and south ends. No slurry wall will divide the East and West Pits.
- The slurry wall will be keyed six feet into bedrock.
- No significant berms of stockpiled materials would be placed on the surface.

#### 4.1 ANALYZED SECTIONS

Critical structures within 200 feet of proposed disturbance were modeled. A critical structure is defined by the DRMS as a structure that poses a potential human safety risk, major environmental impact, and major repair cost if the slope were to fail<sup>1</sup>. No critical structures were analyzed for the Southwest Pit since the pit will be mined via wet mining and the slopes will not be vertical. Also, contrary to the previous stability modeling effort, a mud lens was not modeled in each section. Seven critical structures were identified within 200 feet of the proposed Tucson South, East, and West Pit mine boundaries:

- Tucson St.
- Colorado Highway 7 (E 160<sup>th</sup> Avenue)
- Power poles to the west of the proposed West Pit boundary
- South Platte River
- Gas well to the west of the proposed West Pit boundary
- Pipeline north of the proposed mine boundary
- Brighton Ditch

<sup>3</sup> Goss, C. (2004, November 22). RE: Revised Tucson South Proposed Gravel Mine Slope Stability Analysis; Tetra Tech RMC Job No. 19-3919.019.00. (T. M. Refer, Ed.) Longmont, CO: Tetra Tech.

<sup>4</sup> GEO-SLOPE International, Ltd. (2014). SLOPE/W 2012. December 2014 Release.

<sup>5</sup> Spencer, E., 1967. *A Method of Analysis of the Stability of Embankments Assuming Parallel Inter-Slice Forces.* Geotechnique, Vol. XVII, No. 1, pp. 11-26.

A total of eight sections were evaluated for the critical structures as follows and as shown in Figure 1. For all sections, the groundwater level on the pit side of the slurry wall was modeled at the base of the pit.

#### **Section 1 – Tucson St. Setback from the West Mine Pit**

Section 1, (static analysis Figure 2, seismic analysis Figure 3) evaluated the proposed setback for Tucson St. from the West Pit boundary. A 500 psf load is applied to the road to represent live traffic loads. A mud lens is present based on previous studies in the area<sup>6</sup>. No slurry wall is modeled, and the area is assumed to be dewatered by the slurry walls surrounding the property.

#### **Section 2 – Tucson St. Setback from the East Mine Pit**

Section 2 (static analysis Figure 4, seismic analysis Figure 5) evaluated the proposed setback for Tucson St. from the East Pit boundary. A 500 psf load is applied to the road to represent live traffic loads. No mud lens is modeled based on previous studies in the area<sup>6</sup>. No slurry wall is modeled, and the area is assumed to be dewatered by the slurry walls surrounding the property.

#### **Section 3 – South Platte River**

Section 3 (static analysis Figure 6, seismic analysis Figure 7) evaluated the proposed setback for the South Platte River from the East Pit boundary. The section where the South Platte River came closest to the proposed mine boundary was modeled. In general, the South Platte River is greater than 200 feet away from the proposed mine boundary. A mud lens is not modeled based on previous studies in the area<sup>6</sup>. The proposed slurry wall is modeled, and the area is assumed to have a groundwater table approximately three feet below ground surface on the east side of the slurry wall. Offset regulations may dictate the location of the slurry wall and the mine extents.

#### **Section 4 – Pipeline North of the Proposed Mine Boundary**

Section 4 (static analysis Figure 8, seismic analysis Figure 9) evaluated the proposed setback for the pipeline north of the proposed East and West Pit boundaries. A mud lens is not modeled based on previous studies in the area<sup>6</sup>. The proposed slurry wall is modeled. The groundwater table on the north side of the slurry wall was modeled at approximately six feet below ground surface.

#### **Section 5 – Gas Well West of the Proposed West Pit Boundary**

Section 5 (static analysis Figure 10, seismic analysis Figure 11) evaluated the proposed setback for the gas well to the west of the proposed West Pit boundary. A mud lens is modeled based on previous studies in the area<sup>6</sup>. The aggregate layer is noticeably thinner in this area. The weight of the gas well is simulated by a 3,000 psf load. The proposed slurry wall is also modeled. The water table on the west side of the slurry wall was modeled at approximately seven feet below ground surface.

#### **Section 6 – Power Poles to the West of the Proposed West Pit Boundary**

Section 6 (static analysis Figure 12, seismic analysis Figure 13) evaluated the proposed setback for the power poles to the west of the proposed West Pit boundary. The closest power pole to the proposed mine boundary was modeled. A mud lens is not modeled based on previous studies in the area<sup>6</sup>. The proposed slurry wall is modeled. Groundwater on the west side of the slurry wall was modeled to be approximately two to five feet below the ground surface since the Brighton Ditch is also in the vicinity.

#### **Section 7 – Brighton Ditch**

Section 7 (static analysis Figure 14, seismic analysis Figure 15) evaluated the proposed setback for the Brighton Ditch to the west of the proposed West Pit boundary. The section of the ditch closest to the proposed mine boundary was modeled. The proposed slurry wall is modeled. Groundwater on the west side of the slurry wall was modeled to be approximately one to three feet below the ground surface. A mud lens is not modeled based on previous studies in the area<sup>6</sup>.

#### **Section 8 – Highway 7**

Section 8 (static analysis Figure 16, seismic analysis Figure 17) evaluated the proposed setback for Highway 7 to the south of the proposed East and West Pit boundaries. A mud lens is not modeled based on previous studies in the area<sup>6</sup>. The proposed slurry wall is modeled, and the water table is assumed to be approximately 15.5 feet below ground surface on the south side of the slurry wall. A 500 psf load is modeled to simulate traffic on the highway.

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<sup>6</sup> Goss, C. (2004, May 25). RE: Material Quantities at Proposed Tucson South Resource; Tetra Tech RMC Job No. 19-3919.019.00. Longmont, CO: Tetra Tech.

## 4.2 INPUT PARAMETERS

Each section was modeled to resemble the existing site topography. Material thicknesses were modeled based on previous drilling on the site. In general, the sand and gravel were thinner on the west side of the site. The materials were assumed to be horizontal in the subsurface. A three-foot thick weathered claystone bedrock was modeled based on a letter from Allen Sorenson to Kate Pickford dated March 6, 2003<sup>7</sup>. The sections modeled should not be used as an estimation of the aggregate resource.

The input parameters for each of the materials used were those required for the 2004 analysis and are based on a memo from Allen Sorenson to Larry Oehler, dated August 29, 2004<sup>8</sup>. The material properties are presented in Table 1. All materials were modeled using the Mohr/Coulomb framework.

Table 1: Material parameters used in the slope stability models<sup>8</sup>.

| <b>Material Parameters</b>                      |                         |                             |                               |                                            |
|-------------------------------------------------|-------------------------|-----------------------------|-------------------------------|--------------------------------------------|
| Material                                        | Moist Unit Weight (pcf) | Saturated Unit Weight (pcf) | Effective Cohesion $c'$ (psf) | Effective Friction Angle $\phi'$ (degrees) |
| Overburden                                      | 114                     | 126                         | 50                            | 28                                         |
| Sand & Gravel                                   | 130                     | 137                         | 0                             | 35                                         |
| Weathered Claystone Bedrock (residual strength) | 124                     | 134                         | 0                             | 14                                         |
| Claystone Bedrock (peak strength)               | 124                     | 134                         | 100                           | 28                                         |
| Mud Lens                                        | 114                     | 126                         | 50                            | 28                                         |
| Slurry Wall                                     | 110                     | 122                         | 0                             | 0                                          |

*\*pcf= pounds per cubic foot; psf= pounds per square foot*

A seismic analysis was also conducted for each of the sections. The seismic analysis accounts for the effects of horizontal acceleration experienced during an earthquake. The horizontal acceleration used was 0.067 g. The value was obtained from a U.S. Seismic Design map of the area<sup>9</sup>. The U.S. Seismic Design Maps program considers the soil classification and location of the site. For the Tucson South site, Site Class D – Stiff Soil was used.

Other applicable DRMS requirements that were used are as follows:

- Highwalls were modeled as vertical slopes.
- The minimum factor of safety for the static analysis is 1.5.
- The minimum factor of safety for the seismic analysis is 1.3.

The scenarios were modeled with entry/exit geometry for currently proposed setbacks. The setbacks were adjusted as needed to reach the minimum required factor of safety in each case.

<sup>7</sup> Sorenson, A. (2003, March 6). RE: Pit Wall Stability Analysis, Irwin Corporation, Bernhardt Resource Gravel Pit, Permit No. M-2002-120. Denver, CO.

<sup>8</sup> Sorenson, A. (2004, August 29). RE: Reclamation Cost Estimate and Pit Wall Stability Analysis, Aggregate Industries, Tucson South Resource Gravel Pit, File No. M-2004-044.

<sup>9</sup> U.S. Geological Survey. (2017, July 27). U.S. Seismic Design Maps. U.S. Geological Survey.



## 4.3 MODEL RESULTS

The model results are given in Table 2. The setbacks listed are the minimum setbacks required. Resulting sections from the model are presented as Figures 2 through 17.

| Tucson South Aggregate Mine Stability Models |                                              |                |                         |                          |                                               |
|----------------------------------------------|----------------------------------------------|----------------|-------------------------|--------------------------|-----------------------------------------------|
| Section                                      | Structure                                    | Mud Lens (Y/N) | Static Factor of Safety | Seismic Factor of Safety | Required Setbacks Based on Model Results (ft) |
| 1                                            | Tucson St. (from West Pit)                   | Y              | 1.5 - 1.6               | 1.3 - 1.4                | 75                                            |
| 2                                            | Tucson St. (from East Pit)                   | N              | 1.6 - 1.7               | 1.3 - 1.4                | 75                                            |
| 3                                            | South Platte River                           | N              | 1.5 - 1.6               | 1.3 - 1.4                | 90                                            |
| 4                                            | Water Pipeline                               | N              | 1.5 - 1.6               | 1.3 - 1.4                | 110                                           |
| 5                                            | Gas Well                                     | Y              | 1.8 - 1.9               | 1.3 - 1.4                | 70                                            |
| 6                                            | Power Pole                                   | N              | 1.5 - 1.6               | 1.4 - 1.5                | 150                                           |
| 7                                            | Brighton Ditch                               | N              | 1.6 - 1.7               | 1.3 - 1.4                | 160                                           |
| 8                                            | Highway 7 (from closest mine limits to road) | N              | 1.7 - 1.8               | 1.3 - 1.4                | 85                                            |

## 5.0 LIMITATIONS

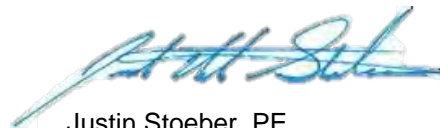
The findings presented in this Report are based on previous studies of the site and strength parameters for the various materials modeled provided by the Colorado Division of Minerals and Geology in 2004. Tetra Tech should be contacted if the mining plans change or if the subsurface conditions vary from their portrayal in this study to reevaluate the potential effects of any changes on the factors of safety for the critical structures. Factors of safety were only considered at the critical structure and were not considered close to the highwall.

Please do not hesitate to reach out with any questions or comments.

Sincerely,



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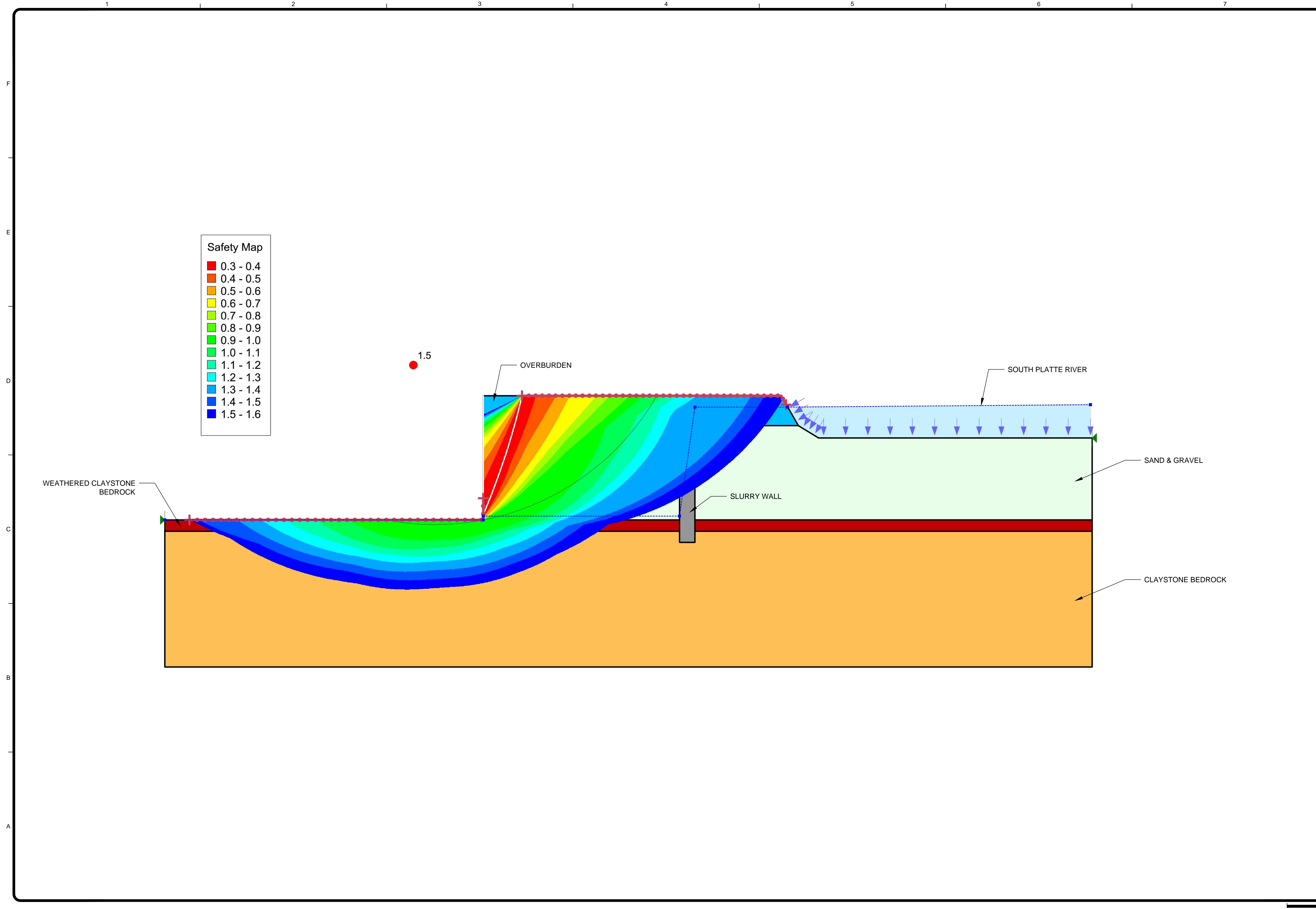








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AGGREGATE INDUSTRIES  
 TUCSON SOUTH RESOURCE  
**SECTION 3**  
**SOUTH PLATTE RIVER**  
**STABILITY SECTION**

Project No.: 200-23514-18004  
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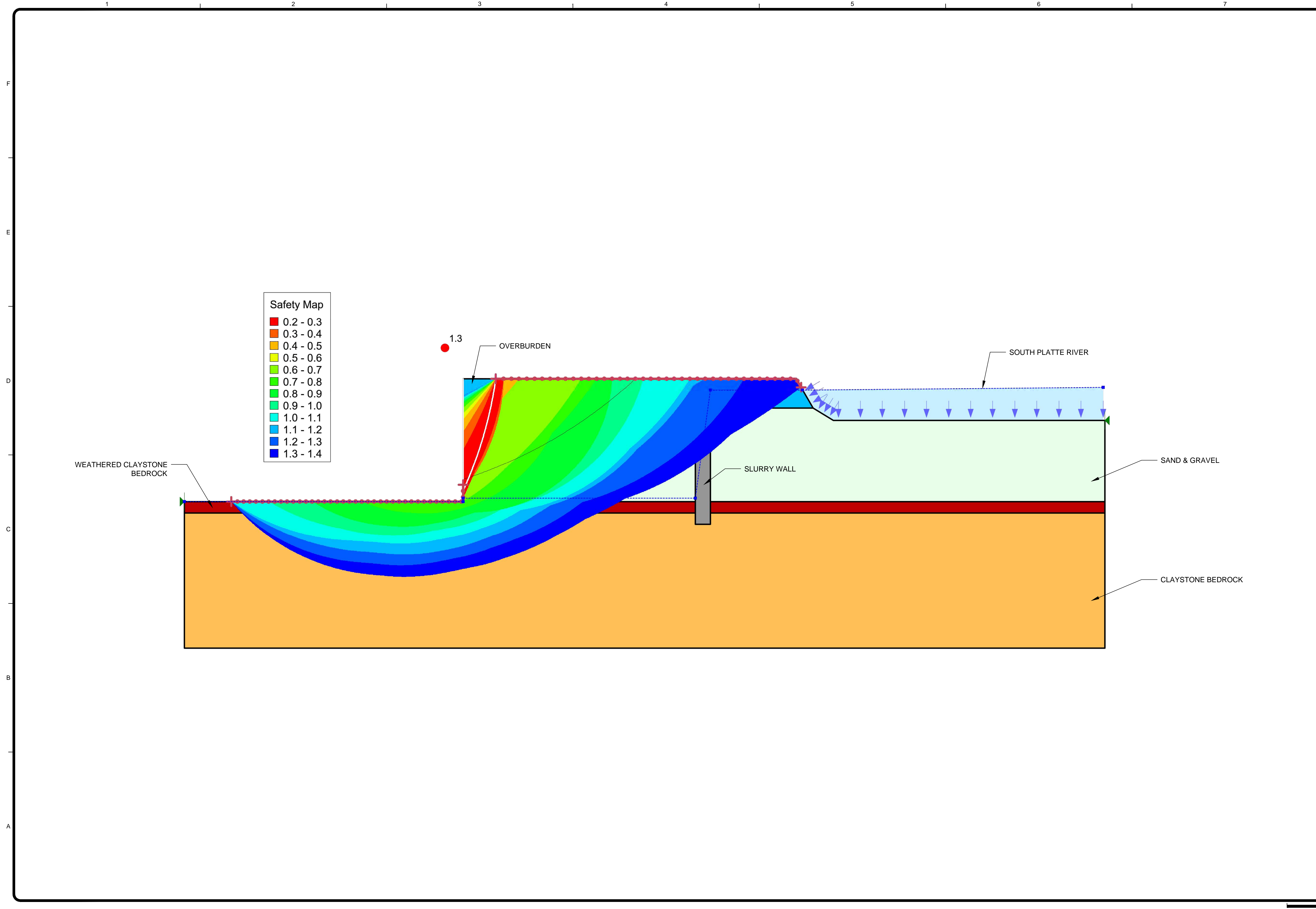
**FIG-6**

Bar Measures 1 inch

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**Safety Map**

|           |
|-----------|
| 0.2 - 0.3 |
| 0.3 - 0.4 |
| 0.4 - 0.5 |
| 0.5 - 0.6 |
| 0.6 - 0.7 |
| 0.7 - 0.8 |
| 0.8 - 0.9 |
| 0.9 - 1.0 |
| 1.0 - 1.1 |
| 1.1 - 1.2 |
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AGGREGATE INDUSTRIES  
 TUCSON SOUTH RESOURCE  
**SECTION 3**  
 SOUTH PLATTE RIVER  
 STABILITY SECTION  
 SEISMIC ANALYSIS

Project No.: 200-23514-18004  
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**FIG-7**

Bar Measures 1 inch

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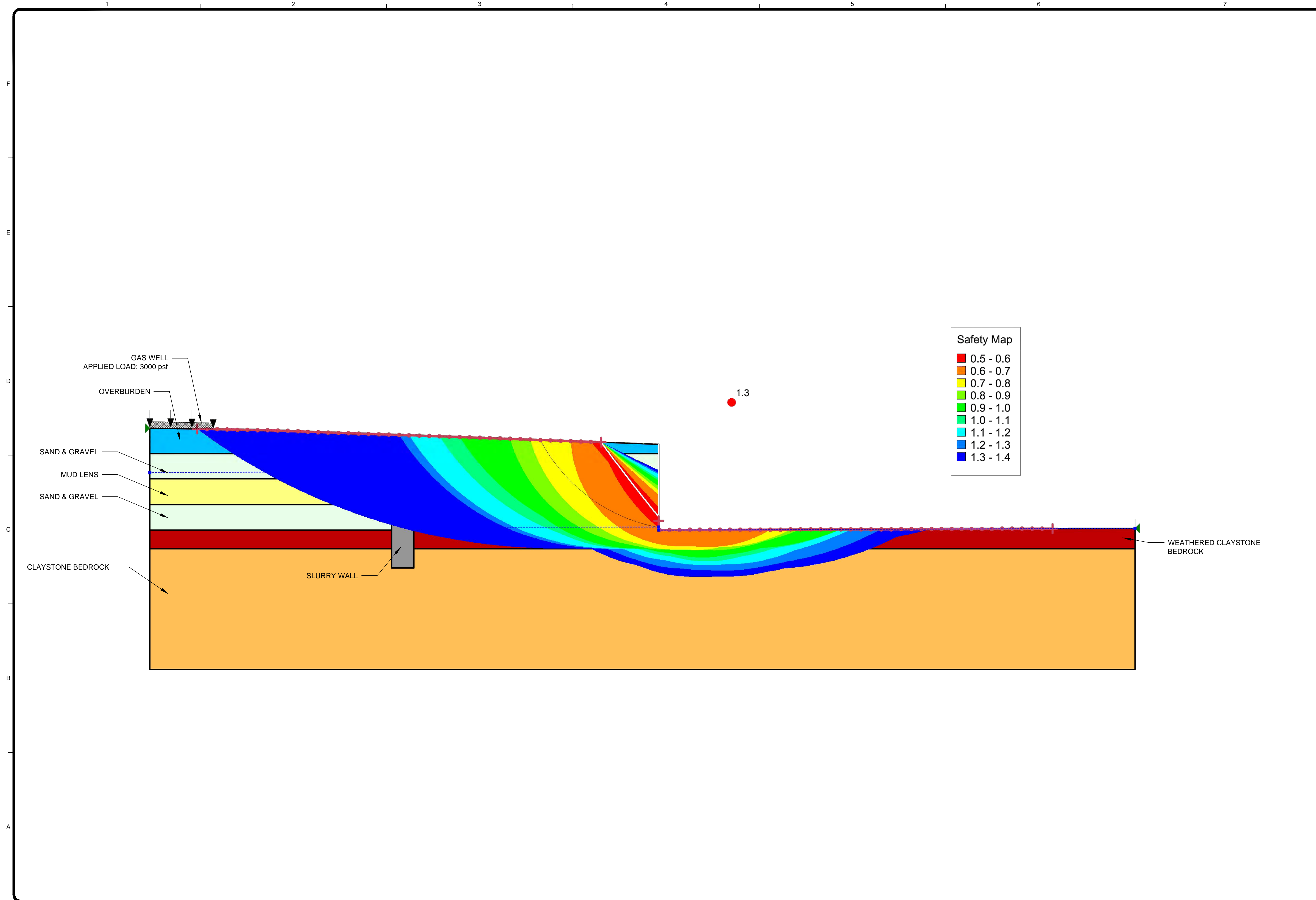








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**Safety Map**

|           |
|-----------|
| 0.5 - 0.6 |
| 0.6 - 0.7 |
| 0.7 - 0.8 |
| 0.8 - 0.9 |
| 0.9 - 1.0 |
| 1.0 - 1.1 |
| 1.1 - 1.2 |
| 1.2 - 1.3 |
| 1.3 - 1.4 |

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AGGREGATE INDUSTRIES  
 TUCSON SOUTH RESOURCE  
 SECTION 5  
 GAS WELL  
 STABILITY SECTION  
 SEISMIC ANALYSIS

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 Drawn By: M. FRANKE  
 Checked By:

**FIG-11**

Bar Measures 1 inch

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**To:** Christine Felz, Aggregate Industries, Inc.

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**cc:** Joel Bolduc, Aggregate Industries, Inc.

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**From:** Derek Foster, PE, Tetra Tech July 3, 2019

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**Updated:** Jacob Jansen, EI, Tetra Tech September 16, 2019

---

**Subject:** Slope Stability and Setback Updates, July 3, 2019; Tetra Tech Job No. 200-23514-18004

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The memo describes the updated analysis performed to evaluate the minimum setback distance between the proposed mine limit and identified critical manmade structures near the site as required per the Mine Land Reclamation Board (MLRB) Construction Materials Rules 6.3.12(b) and 6.4.19(b) and the memorandum from the DRMS dated May 16, 2018<sup>1</sup>. This slope stability analysis was not performed to evaluate the stability of highwalls, proposed mine slopes, proposed reclamation slopes, or infrastructure owned by Aggregate Industries. The setbacks reported in this memo represent the minimum setback based on the physical and geotechnical input parameters for each model. The required setback may be greater based on regulatory requirements.

## 1.0 SITE LAYOUT

The Tucson South Mine is comprised of approximately 250 acres, located a half-mile west of the City of Brighton, Colorado. The site lies within the south half of Section 1 and the northwest quarter of Section 12 in Township 1 South, Range 67, West of the 6<sup>th</sup> Principal Meridian. Land use around the site is aggregate mining, residential, and agricultural. Tucson Street, a paved north-south road, bisects the proposed East and West Pits of the mine. Colorado Highway 7 (E 160<sup>th</sup> Avenue) separates the proposed East and West Pits from the proposed Southwest Pit. The South Platte River forms the eastern border for the proposed mine and the Brighton Ditch forms the western border of the proposed mine.

## 2.0 GEOLOGY

The site is in the alluvial valley of the South Platte River. Geologic mapping indicates that the mine is located on an alluvial terrace corresponding with the Piney Creek and Post Piney Creek alluvium<sup>2</sup>. The bedrock underlying the alluvium may be the Arapahoe Formation, which consists of claystone and sandstones.

A total of 130 boreholes have been drilled on the site. Drilling logs indicate the general subsurface profile consists of an average of three feet (one to ten feet) of silty sand overburden, overlying an average of 23 feet (five to 46 feet) of sand and gravel, overlying the bedrock. A mud lens was found in the area, mainly in the West and Southwest Pits of the proposed mine. Groundwater was encountered while drilling in 2004 at depths between eight and 12 feet below the ground surface. Monitoring well readings from December 2003 to August 2004 have water levels between four and 16 feet below ground surface.

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<sup>1</sup> Cazier, T. (2018, May 16). Re: Factors of Safety for Slope Stability/Geotechnical Analyses Associated with Mining Operations. Denver, CO: Division of Reclamation, Mining and Safety Minerals Program.

<sup>2</sup> Trimble, E. D., & Machette, N. M. (1979). Geologic Map of the Greater Denver Area, Front Range Urban Corridor, Colorado. USGS Map I-856-H, Version 1.1.

### 3.0 PREVIOUS EVALUATIONS

A slope stability evaluation was performed by Tetra Tech for the Tucson South mine in November 2004<sup>3</sup>. The evaluation used the (previously required) required minimum factor of safety value of 1.0 and analyzed sections for a total of 14 critical structures surrounding the Tucson South mine. A seismic analysis was not required by the DRMS as part of the slope stability analysis in 2004. The 2004 evaluation was used as the basis for an updated slope stability analysis performed by Tetra Tech in 2018.

In preparation of an amendment to the Tucson South permit application in 2018 Tetra Tech performed an updated slope stability analysis. Critical structures within 200 feet of the mine in 2018 were reevaluated and seven manmade structures were identified as requiring slope stability analysis. A memorandum dated November 9, 2018<sup>4</sup> describes the results of the analysis that was prepared and submitted to Aggregate Industries for their use.

A slope stability analysis performed in February of 2019 to determine required minimum setbacks from permanent manmade structures around the Tucson South Mine if mine highwalls were excavated at a slope of 0.5H:1V and not reclamation slopes were not constructed concurrently.

### 4.0 STABILITY ANALYSIS JUNE 2019

This updated stability analysis was performed using GeoStudio 2018 (*Slope/W Define*) computer software<sup>5</sup>. The software is capable of computing factors of safety for a range of materials using finite element analysis. Spencer's method of slices<sup>6</sup> was used to calculate the safety factor for the individual failure surfaces.

Several assumptions were made for the models including:

- Surficial geology was modeled based on stability models and borehole data from 2004.
- Geologic layers are generally horizontal in the subsurface.
- The highwall will be concurrently reclaimed, or mined only at 3H:1V slopes
- The West and East pits will be mined after the slurry wall is installed and will be dewatered as needed.
- The slurry wall (designed by others) will be keyed into bedrock.
- No excess pore pressure build up will occur within the soil strata.
- No slurry wall will be constructed around the South pit.
- The South pit will be wet mined.
- The slurry wall is setback a minimum of 20 feet from the crest of the mine slope/reclamation slope.
- The slurry wall will be constructed a minimum of 15 feet from any structure or easement.

Both a reclamation slope and a mine slope were considered during this stability analysis for each section analyzed in February 2018. A reclamation slope is a slope built of fill material, typically overburden found at the site, used to stabilize the mine highwall. A mine slope is a slope cut at a stable grade leaving the native material in place. The grade modeled for both the reclamation slope and the mine slope was a 3H:1V. The highwall, from the February study, is assumed to be 0.5H:1V.

<sup>3</sup> Goss, C. (2004, November 22). RE: Revised Tucson South Proposed Gravel Mine Slope Stability Analysis; Tetra Tech RMC Job No. 19-3919.019.00. (T. M. Refer, Ed.) Longmont, CO: Tetra Tech.

<sup>4</sup> Franke, M. (2018, November 9). RE: Updated Tucson South Proposed Gravel Mine Slope Stability Analysis; Tetra Tech Job No. 200-23514-18004. (Bolduc, J, Ed.) Longmont, CO: Tetra Tech.

<sup>5</sup> GEO-SLOPE International, Ltd. (2014). SLOPE/W 2012. December 2014 Release.

<sup>6</sup> Spencer, E., 1967. *A Method of Analysis of the Stability of Embankments Assuming Parallel Inter-Slice Forces.* Geotechnique, Vol. XVII, No. 1, pp. 11-26.

## 4.1 ANALYZED SECTIONS

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Critical manmade structures within 200 feet of proposed mining were modeled during this evaluation. A critical structure is defined by the DRMS as a manmade structure that poses a potential human safety risk, major environmental impact, and major repair cost if the slope were to fail<sup>1</sup>. A mud lens was modeled in sections evaluated where a mud lens was present at the site based on borehole information prepared for the 2004 evaluation. The cross sections and profiles were created using Figures 1 to 6. These figures show the proposed site layout and locations to critical structures, easements, and the topography in the area. Sections were created at each of the critical structures in the vicinity, and the estimated depth to bedrock from the subsurface study was used to create the profile for the slope stability analysis. The eleven (11) critical manmade structures were identified within 200 feet of the proposed Tucson South, East, and West Pit mine boundaries were:

- Tucson St.
- Colorado Highway 7 (E 160<sup>th</sup> Avenue)
- Power poles to the west of the proposed West Pit boundary
- South Platte River
- Gas well to the west of the proposed West Pit boundary
- Todd Creek waterline north of the proposed mine boundary
- Brighton Ditch
- Brighton Return Ditch
- A gravel road and building to the west of the South pit
- Challenger Pit to the north of the West pit
- City of Aurora waterline

A total of fifteen (15) slope stability models were prepared to evaluate the risk of damage to critical manmade structures for this evaluation as shown on Figure 1. Below is a description of the 15 model sections:

### **Section A – Tucson St. Setback from the West Mine Pit**

Section A, (static analysis Figures A-1; seismic analysis Figures A-2) evaluated the proposed setback from the Tucson St. easement from the West Pit boundary. A 500 psf load was applied to the road to represent live traffic loads. A mud lens was present and modeled based on previous studies in the area. The area is modeled with high water table assuming wet season. The model includes the transmission lines adjacent to the road as the critical structure.

### **Section B – Tucson St. Setback from the East Mine Pit**

Section B (static analysis Figures B-1; seismic analysis Figures B-2) evaluated the proposed setback from the Tucson St. easement from the East Pit boundary. A 500 psf load was applied to the road to represent live traffic loads. No mud lens was modeled based on previous studies in the area<sup>7</sup>. The model uses the edge of the Right of Way as the critical location.

### **Section C – South Platte River**

Section C (static analysis Figures C-1; seismic analysis Figures C-2) evaluated the proposed setback for the South Platte River from the East Pit boundary. The section is modeled where the South Platte River comes closest to the proposed mine boundary. A mud lens is not modeled based on the information available from previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled 20 feet from the river bank. This alignment should be verified by the slurry wall designer. Offset regulations may dictate a greater minimum setback. The model uses the edge of the riverbank as the critical structure.

### **Section D – Pipeline (North Side of East Cell)**

Section D (static analysis Figures D-1; seismic analysis Figures D-2) evaluated the proposed setback for the Todd Creek waterline (pipeline) north of the proposed East and West Pit boundaries. A mud lens is not modeled based on the information available from previous studies in the area<sup>7</sup>. The proposed slurry wall alignment is modeled 15 feet inside of the existing easement. The model identifies the pipeline as the critical structure with the setback measured from the edge of the easement. An agreement with the Todd Creek Metropolitan Water District included in the DRMS application allows for a lesser setback than estimated in the models.



### **Section E – Gas Well West of the Proposed West Pit Boundary**

Section E (static analysis Figures E-1; seismic analysis Figures E-2) evaluated the proposed setback for an existing gas well to the west of the proposed West Pit boundary. A mud lens is modeled based on previous studies in the area<sup>7</sup>. The aggregate layer is noticeably thinner in this area. The weight of a tank in the area is simulated by a 3,000 psf load. The proposed slurry wall is modeled 15 feet from the edge of a gravel apron for the well. The water table on the west side of the slurry wall was modeled at approximately seven feet below ground surface. The water table was not modeled above the mud lens on the east side of the slurry wall since the pit is assumed to be dewatered. The gravel apron was the critical location in the model.

### **Section F – Power Poles to the West of the Proposed West Pit Boundary**

Section F (static analysis Figures F-1; seismic analysis Figures F-2) evaluated the proposed setback for the power poles to the west of the proposed West Pit boundary. The closest power pole to the proposed mine boundary was modeled. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled. The overburden is assumed to be approximately constant in thickness. The existing grade at the location would prevent the cutting of a mine slope, only a reclamation slope was considered for this cross section.

### **Section G – Brighton Ditch**

Section G (static analysis Figures G-1; seismic analysis Figures G-2) evaluated the proposed setback for the Brighton Ditch to the west of the proposed West Pit boundary. The section of the ditch closest to the proposed mine boundary was modeled. The proposed slurry wall is modeled 15 feet inside of the affected land boundary. The overburden is assumed to be approximately constant in thickness. The existing grade at the location would prevent the cutting of a mine slope, only a reclamation slope was considered for this cross section. A mud lens is not modeled based on previous studies in the area<sup>7</sup>. The setback presented is measured from the affected land boundary.

### **Section H – Highway 7 from North Cell (East)**

Section H (static analysis Figures H-1; seismic analysis Figures H-2) evaluated the proposed setback for Highway 7 to the south of the proposed East pit boundary. A mud lens is not modeled based on previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled. A 500 psf load was modeled to simulate traffic on Highway 7. A power pole adjacent to Highway 7 is used as the critical structure for the setback. Right-of-way requirements may increase the required offset for this section.

### **Section I – Highway 7 from South Cell**

Section I (static analysis Figures I-1; seismic analysis Figures I-2) evaluated the proposed setback for Highway 7 and a power line to the north of the proposed South pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. A slurry wall will not be constructed around the cell and is not modeled. A steady state phreatic surface was modeled along the top of the mud seam, and daylights along the cut slope to model open pit dewatering. A 2H:1V mine slope was modeled to increase yield from the pit, the reclamation slope remained at 3H:1V. A 500 psf load was modeled to simulate traffic on the Highway 7. A 200 psf load was modeled to simulate the weight of a screening berm on the north side of the South Cell.

### **Section J – Brighton Return Ditch**

Section J (static analysis Figures J-1; seismic analysis Figures J-2) evaluated the proposed setback for the Brighton Return Ditch to the southwest of the proposed South pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. A slurry wall will not be constructed around the cell and is not modeled. A steady state phreatic surface was modeled along the top of the mud seam, and daylights along the cut slope to model open pit dewatering. A 2H:1V mine slope was modeled to increase yield from the pit, the reclamation slope remained at 3H:1V. In order to comply with regulatory stability requirements, without increasing mine setback limits, the phreatic surface must be dewatered as to not seep down the face of the mine slope. The ditch was modeled with approximately five feet of water.

### **Section K – Gravel Road and Waterline**

Section K (static analysis Figures K-1; seismic analysis Figures K-2) evaluated the proposed setback for a building and gravel road and waterline to the west of the proposed South pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. A slurry wall will not be constructed around the cell and is not modeled. A steady state phreatic surface was modeled along the top of the mud seam, and daylights along the cut slope to model open pit dewatering. A 2H:1V mine slope was modeled to increase yield from the pit, the reclamation slope remained at 3H:1V. The waterline adjacent to the gravel road is the critical structure. A 3000

psf load is modeled to simulate the weight of the building. The setback presented is measured from the edge of the water utility easement.

#### **Section L – Challenger Pit**

Section L (static analysis Figures L-1; seismic analysis Figures L-2) evaluated the proposed setback for the Challenger Pit to the north of the proposed West pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. A slurry wall is modeled for the proposed Tucson South pit and the existing Challenger Pit. The water table is modeled 13 feet below ground surface. The setbacks presented are measured from the edge of the utility easements. Offset regulations may dictate a different minimum setback.

#### **Section M – Pipeline (East Side of East Cell)**

Section M (static analysis Figures M-1; seismic analysis Figures M-2) evaluated the proposed setback for the Todd Creek waterline (pipeline) to the east of the proposed East pit boundary. The pipeline comes closer to the property in this area. A mud lens is not modeled based on previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled. The presented setbacks are measured from the edge of the utility easement. An agreement with the Todd Creek Metropolitan Water District included in the DRMS application allows for a lesser setback than estimated in the models

#### **Section N – Highway 7 from North Cell (West)**

Section N (static analysis Figures N-1; seismic analysis Figures N-2) evaluated the proposed setback for Highway 7 to the south of the proposed West pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled. A 500 psf load was modeled to simulate traffic on the Highway 7. A transmission line adjacent to Highway 7 is the critical structure which the setback presented is measured from. The model assumes a screening berm is located between the road and the mine and the slurry wall is not constructed under the berm.

#### **Section O – City of Aurora Water Line**

Section O (static analysis Figures O-1; seismic analysis Figures O-2) evaluated the proposed setback for the Aurora waterline to the south of the proposed West pit boundary. A mud lens was present and modeled based on previous studies in the area<sup>7</sup>. The proposed slurry wall is modeled. A 200 psf load was modeled to simulate the weight of a screening berm on the south side of the West Cell. The model assumes that the slurry wall is not constructed under the screening berm. The waterline is the critical structure and where the setback is measured from.

## **4.2 INPUT PARAMETERS**

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Each section was modeled to resemble the existing site topography based on the site survey referenced on the Tucson South Resource Pre-Mining and Mining Plan Maps. Material thicknesses were modeled based on a geotechnical investigation performed at the site in 2004. In general, the sand and gravel were thinner on the west side of the site. The materials were generally assumed to be horizontal in the subsurface. A three-foot thick weathered claystone bedrock layer was modeled based on a letter from Allen Sorenson to Kate Pickford dated March 6, 2003<sup>7</sup>. The sections modeled should not be used as an estimation of the aggregate resource.

The input parameters for each of the materials used were those required for the 2004 analysis and are based on a memo from Allen Sorenson to Larry Oehler, dated August 29, 2004<sup>8</sup>. A reclamation slope fill material was added for this revised analysis. The material properties are presented in Table 1. All materials were modeled using the Mohr/Coulomb framework.

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<sup>7</sup> Sorenson, A. (2003, March 6). RE: Pit Wall Stability Analysis, Irwin Corporation, Bernhardt Resource Gravel Pit, Permit No. M-2002-120. Denver, CO.

<sup>8</sup> Sorenson, A. (2004, August 29). RE: Reclamation Cost Estimate and Pit Wall Stability Analysis, Aggregate Industries, Tucson South Resource Gravel Pit, File No. M-2004-044.

Table 1: Material parameters used in the slope stability models<sup>9</sup>.

| <b>Material Parameters</b>                      |                                |                                    |                                    |                                                              |
|-------------------------------------------------|--------------------------------|------------------------------------|------------------------------------|--------------------------------------------------------------|
| <b>Material</b>                                 | <b>Moist Unit Weight (pcf)</b> | <b>Saturated Unit Weight (pcf)</b> | <b>Effective Cohesion c' (psf)</b> | <b>Effective Friction Angle <math>\phi'</math> (degrees)</b> |
| Overburden                                      | 114                            | 126                                | 50                                 | 28                                                           |
| Sand & Gravel                                   | 130                            | 137                                | 0                                  | 35                                                           |
| Weathered Claystone Bedrock (residual strength) | 124                            | 134                                | 0                                  | 14                                                           |
| Claystone Bedrock (peak strength)               | 124                            | 134                                | 100                                | 28                                                           |
| Mud Lens                                        | 114                            | 126                                | 50                                 | 28                                                           |
| Slurry Wall                                     | 110                            | 122                                | 0                                  | 0                                                            |
| Reclamation Slope Fill                          | 119                            | 126                                | 25                                 | 26                                                           |

*\*pcf= pounds per cubic foot; psf= pounds per square foot*

A seismic analysis was also performed for each of the sections described above as required by the DRMS. The seismic analysis accounts for the effects of horizontal acceleration experienced during an earthquake. The horizontal acceleration used was 0.067 g. The value was obtained from a U.S. Seismic Design map of the area<sup>9</sup>. The U.S. Seismic Design Maps program considers the soil classification and location of the site. For the Tucson South site, Site Class D – Stiff Soil was used.

Other applicable DRMS requirements that were used are as follows:

- The minimum factor of safety for the static analysis is 1.5.
- The minimum factor of safety for the seismic analysis is 1.3.

The scenarios were modeled with entry/exit geometry for currently proposed setbacks. The setbacks were adjusted as needed to reach the minimum required factor of safety in each case.

## 4.3 MODEL RESULTS

The model results are given in Table 2. Detailed model results and a comparison with previous slope stability modeling is included in Appendix A. The setbacks listed are the minimum setbacks required. Resulting sections from the model are presented in Figures. It should be noted that the setback requirement for model J is dependent on the reduced phreatic surface in the soils behind the mine cut, care should be given to the dewatering process chosen in the South Pit.

<sup>9</sup> U.S. Geological Survey. (2017, July 27). U.S. Seismic Design Maps. U.S. Geological Survey.

| Model                        | Mine Slope                              |                                          |                 | Reclamation Slope                       |                                          |                 | Highwall                                |                                          |              | Object measured from                                                               |
|------------------------------|-----------------------------------------|------------------------------------------|-----------------|-----------------------------------------|------------------------------------------|-----------------|-----------------------------------------|------------------------------------------|--------------|------------------------------------------------------------------------------------|
|                              | Factor of Safety<br>Static<br>(1.5 min) | Factor of Safety<br>Seismic<br>(1.3 min) | Setback<br>(ft) | Factor of Safety<br>Static<br>(1.5 min) | Factor of Safety<br>Seismic<br>(1.3 min) | Setback<br>(ft) | Factor of Safety<br>Static<br>(1.5 min) | Factor of Safety<br>Seismic<br>(1.3 min) | Setback (ft) |                                                                                    |
| A-Tucson St. West Power Pole | 1.68                                    | 1.31                                     | 35              | 1.64                                    | 1.34                                     | 44              | 1.76                                    | 1.30                                     | 110          | Power Pole                                                                         |
| B-Tucson St. East            | 2.17                                    | 1.67                                     | 35              | 1.91                                    | 1.49                                     | 35              | 1.71                                    | 1.41                                     | 65           | Edge of ROW                                                                        |
| C-South Platte River         | 2.13                                    | 1.63                                     | 44              | 1.89                                    | 1.46                                     | 44              | 1.87                                    | 1.32                                     | 120          | Edge of Riverbank                                                                  |
| D-Pipeline                   | 2.09                                    | 1.65                                     | 35              | 1.73                                    | 1.37                                     | 35              | 1.86                                    | 1.33                                     | 175          | Pipeline easement                                                                  |
| E-Fence near gas well        | 2.08                                    | 1.49                                     | 56              | 2.10                                    | 1.52                                     | 56              | 1.72                                    | 1.31                                     | 65           | Gas Well                                                                           |
| F-Power Pole                 | (1)'                                    |                                          |                 | 1.89                                    | 1.41                                     | 68              | 1.75                                    | 1.39                                     | 100          | Power Pole                                                                         |
| G-Brighton Ditch             | (1)'                                    |                                          |                 | 1.93                                    | 1.53                                     | 35              | 1.69                                    | 1.38                                     | 90           | Affected Land Boundary                                                             |
| H-Highway 7 North            | 2.00                                    | 1.56                                     | 35              | 1.77                                    | 1.38                                     | 35              | 1.81                                    | 1.32                                     | 105          | Power Pole                                                                         |
| I-Highway 7 South            | 2.31                                    | 1.67                                     | 86              | 2.72                                    | 1.86                                     | 86              | 1.63                                    | 1.33                                     | 90           | Power Pole (assume 20' offset from toe of berm) *2:1 mine slope with dewatered pit |
| J-Brighton Return Ditch      | 1.58                                    | 1.32                                     | 51              | 1.81                                    | 1.35                                     | 51              | 1.68                                    | 1.32                                     | 105          | Brighton Ditch Easement Boundary *2:1 mine slope with lowered phreatic surface     |
| K-South Cell Gravel Road     | 2.19                                    | 1.53                                     | 30              | 2.59                                    | 1.75                                     | 30              | 1.67                                    | 1.32                                     | 75           | Edge of Waterline Easement *2:1 mine slope with dewatered pit                      |
| L-Challenger Pit             | 2.24                                    | 1.75                                     | 45              | 1.97                                    | 1.52                                     | 45              | 1.81                                    | 1.34                                     | 185          | Edge of utility easements                                                          |
| M-East Cell Pipeline         | 2.37                                    | 1.76                                     | 52              | 2.22                                    | 1.66                                     | 52              | 2.08                                    | 1.53                                     | 120          | Todd Creek Pipeline easement                                                       |
| N-Highway 7 northwest        | 3.13                                    | 2.19                                     | 106             | 3.07                                    | 2.16                                     | 106             | 1.93                                    | 1.37                                     | 110          | Power Pole (assume screening berm between mine and pole)                           |
| O-City of Aurora Pipeline    | 2.76                                    | 1.88                                     | 72              | 2.61                                    | 1.79                                     | 72              | 1.90                                    | 1.37                                     | 80           | City water line (assume screening berm between mine and waterline)                 |

(1)- Existing geometry prevents a mine slope from being cut at a 3H:1V

## 5.0 LIMITATIONS

The findings presented in this memorandum are based on information from previous geotechnical investigations at the site and strength parameters of the modeled materials provided by the Colorado Division of Minerals and Geology in 2004. Tetra Tech should be contacted if the mining plans change or if the subsurface conditions vary from the descriptions here as reevaluation may be necessary to investigate potential effects of the changes on the factors of safety for the critical structures determined in this evaluation. Factors of safety for this evaluation were limited to effects at the critical manmade structures and were not an evaluation of the mining highwall and/or reclamation slopes.

Please do not hesitate to contact us with any questions or comments.

Sincerely,



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## REVISION HISTORY

9/16/2019

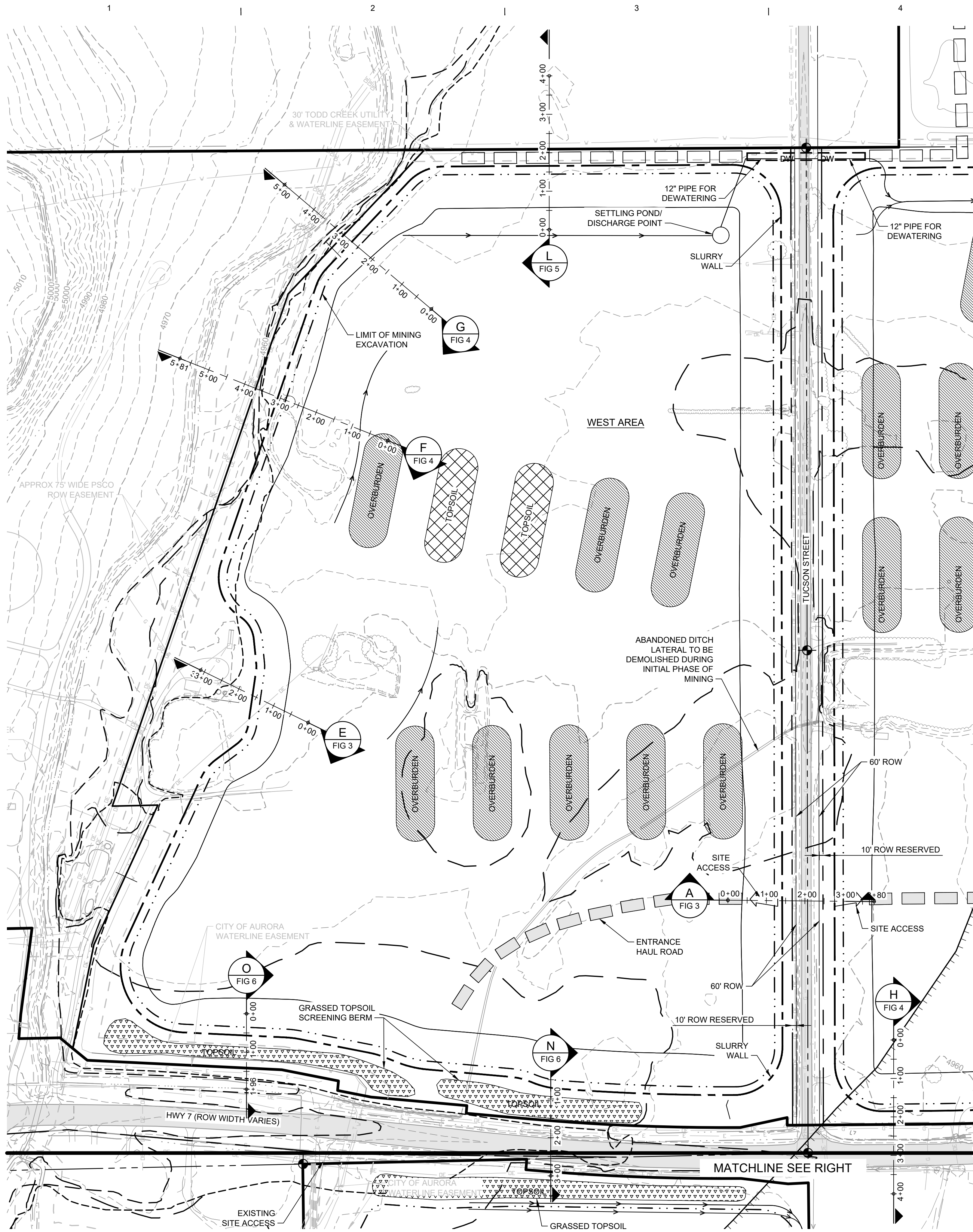
- Revised offset table
- Revised CAD cross section exhibits to add more detail
- Revised Slope/W cross section exhibit to add more detailed dimensions
  - Computer analysis changed for Section M only
  - Computer analysis not changed for all other cross sections

**FIGURES**

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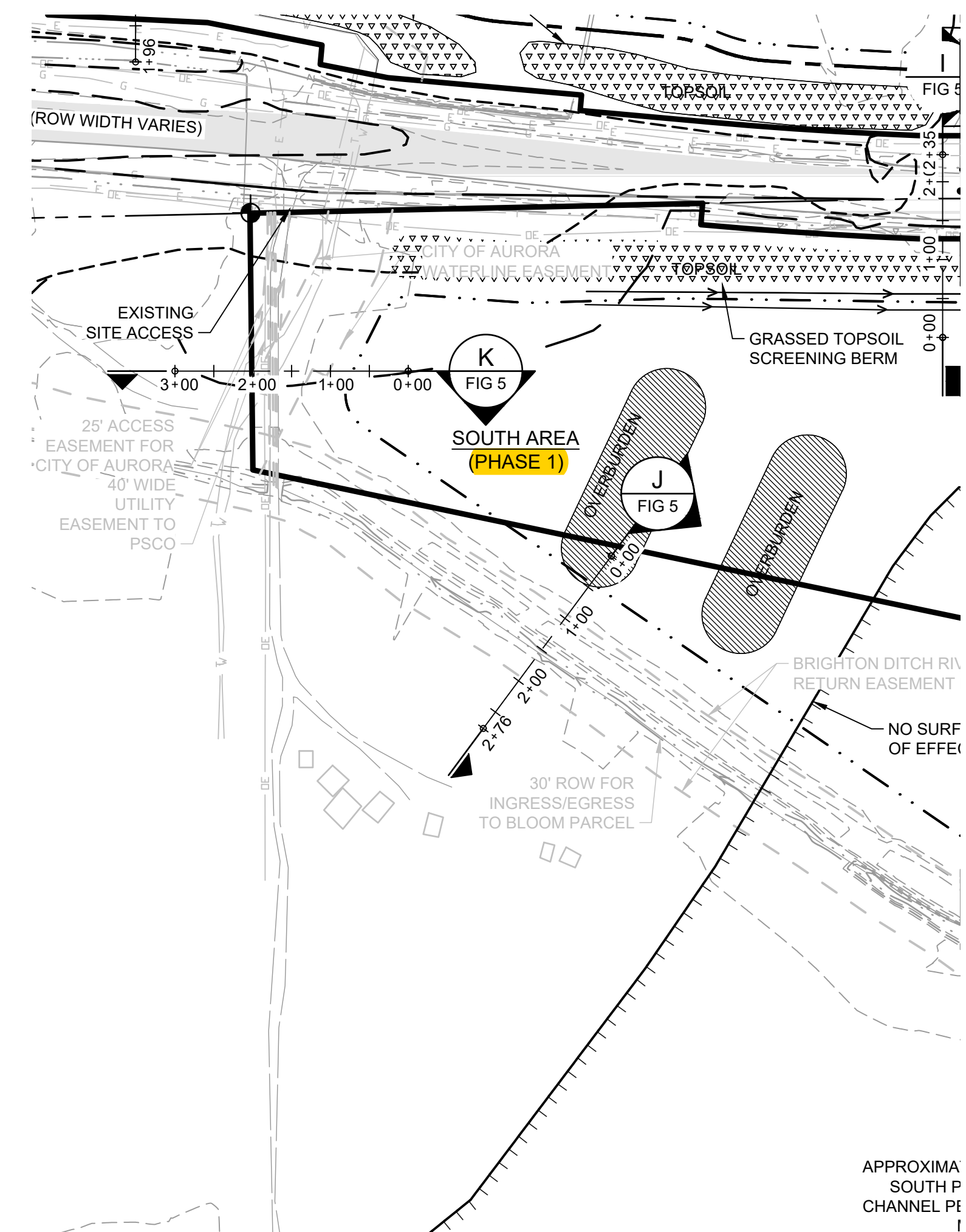


**WEST PLAN**  
SCALE: 1" = 150'

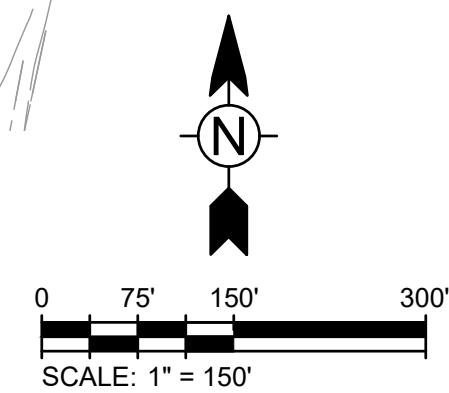
**LEGEND:**

|  |                                                         |  |                       |
|--|---------------------------------------------------------|--|-----------------------|
|  | MINE PERMIT BOUNDARY                                    |  | ON SITE HA            |
|  | TRACT BOUNDARY                                          |  | PROPOSED              |
|  | EASEMENT                                                |  | OVERBURD              |
|  | EFFECTIVE FLOODWAY                                      |  | TOPSOIL S1            |
|  | EFFECTIVE ZONE AE                                       |  | TOPSOIL S1 BERM W/ GI |
|  | EFFECTIVE ZONE X                                        |  | SETTLING F            |
|  | PRE-PROJECT/MINING CONDITIONS 100-YR FLOODPLAIN         |  | EXISTING A            |
|  | EXISTING WETLAND BOUNDARY                               |  | EXISTING S            |
|  | EXISTING EDGE OF WATER                                  |  | UDFCD STA             |
|  | EXISTING 2' CONTOURS                                    |  |                       |
|  | EXISTING FENCE                                          |  |                       |
|  | EXISTING EDGE OF ROAD                                   |  |                       |
|  | EXISTING ELECTRIC LINE                                  |  |                       |
|  | EXISTING OVERHEAD ELECTRIC LINE                         |  |                       |
|  | EXISTING GAS LINE                                       |  |                       |
|  | EXISTING WATER LINE                                     |  |                       |
|  | EXISTING TELEPHONE LINE                                 |  |                       |
|  | PROPOSED SLURRY WALL                                    |  |                       |
|  | LIMIT OF MINING EXCAVATION PER SLOPE STABILITY ANALYSIS |  |                       |
|  | SURFACE DEWATERING TRENCH                               |  |                       |
|  | 12" PIPE FOR DEWATERING                                 |  |                       |

MATCHLINE SEE SHT FIG 2



**SOUTH PLAN**  
SCALE: 1" = 150'

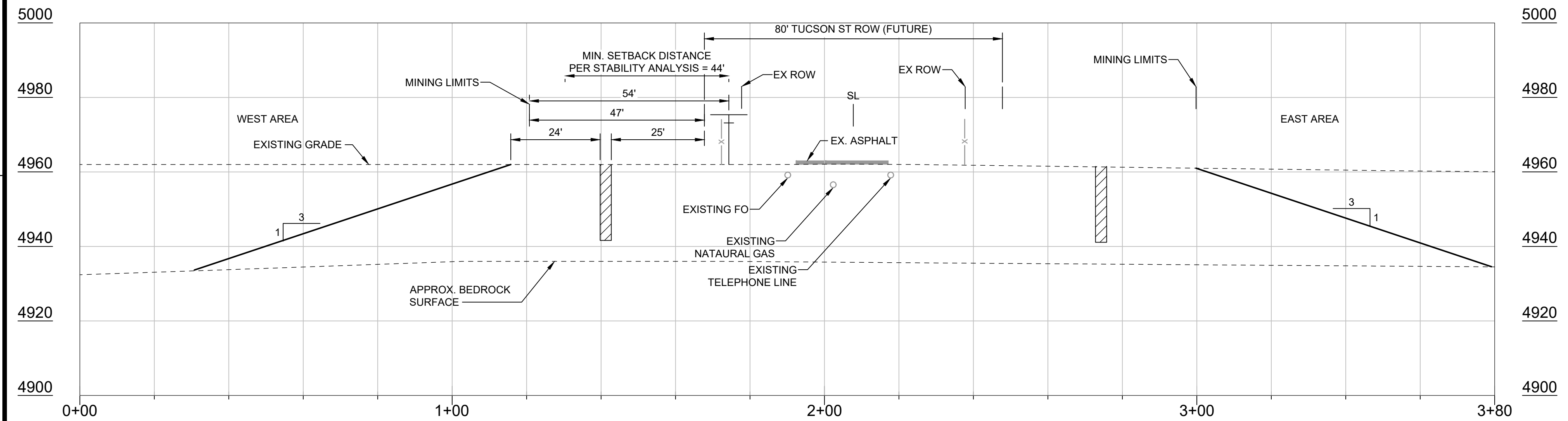




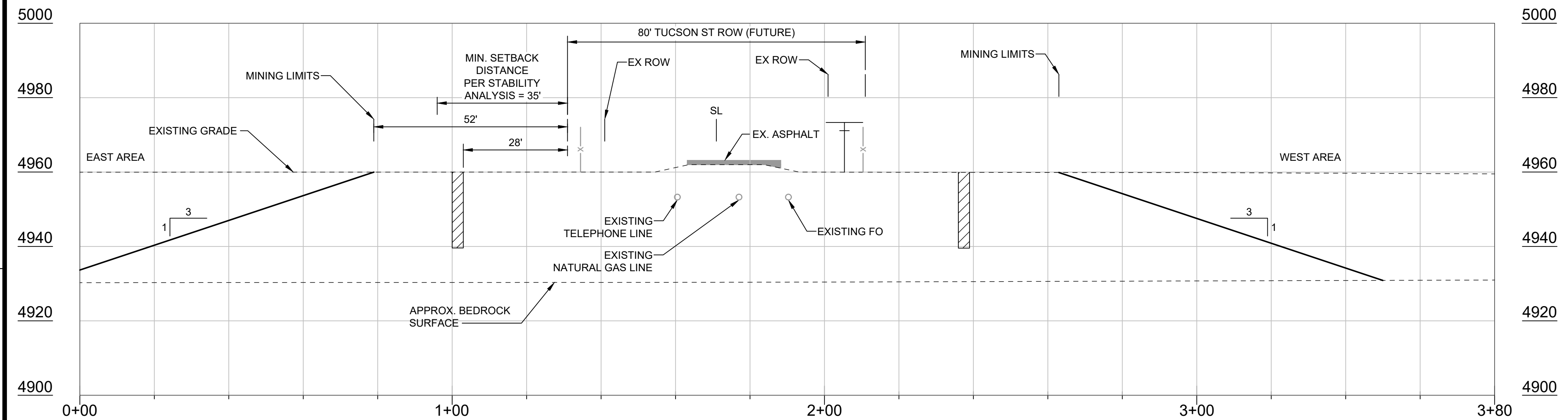


9/13/2019 12:37:01 PM - P:\235141\33-23514-17005\CAD\SHSHEETFILES\LOPE STABILITY ANALYSIS\FIG 1 STABILITY ANALYSIS CROSS SECTIONS.DWG - WEATHERL, LAURA

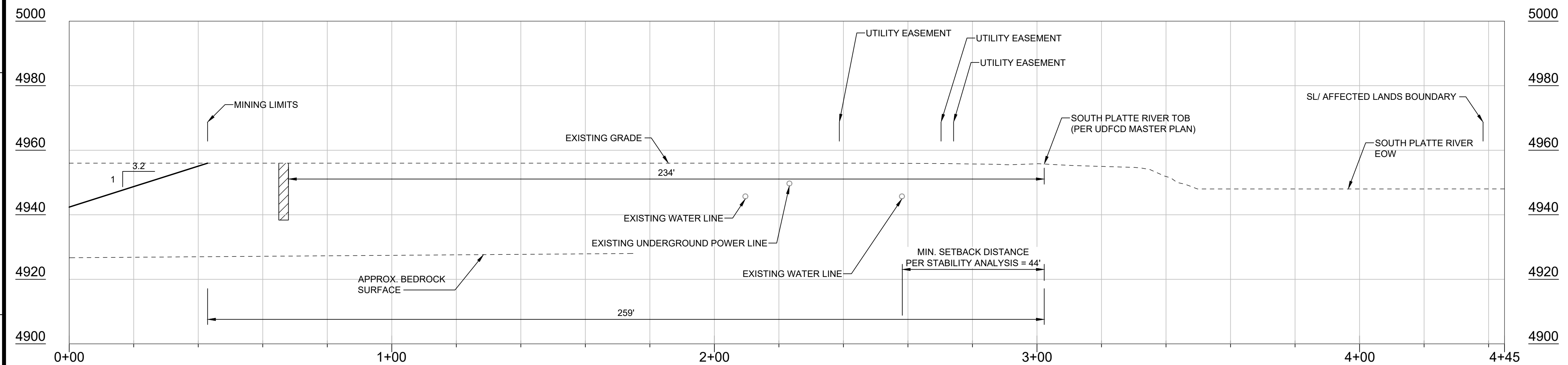
1 | 2 | 3 | 4 | 5 | 6



PROFILE CROSS SECTION A TUCSON ST  
SCALE: HORIZ: 1"= 20' VERT: 1"=20'



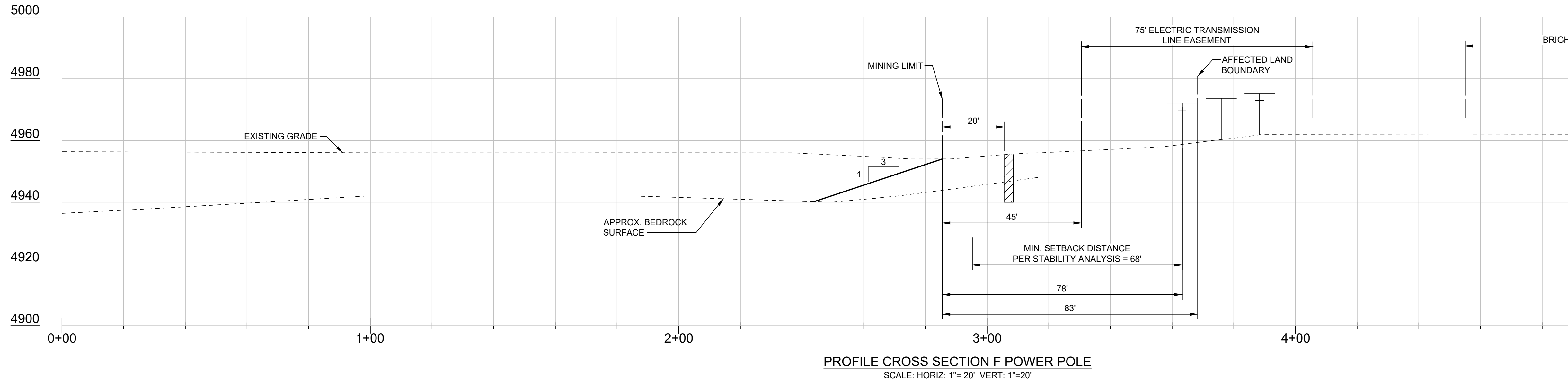
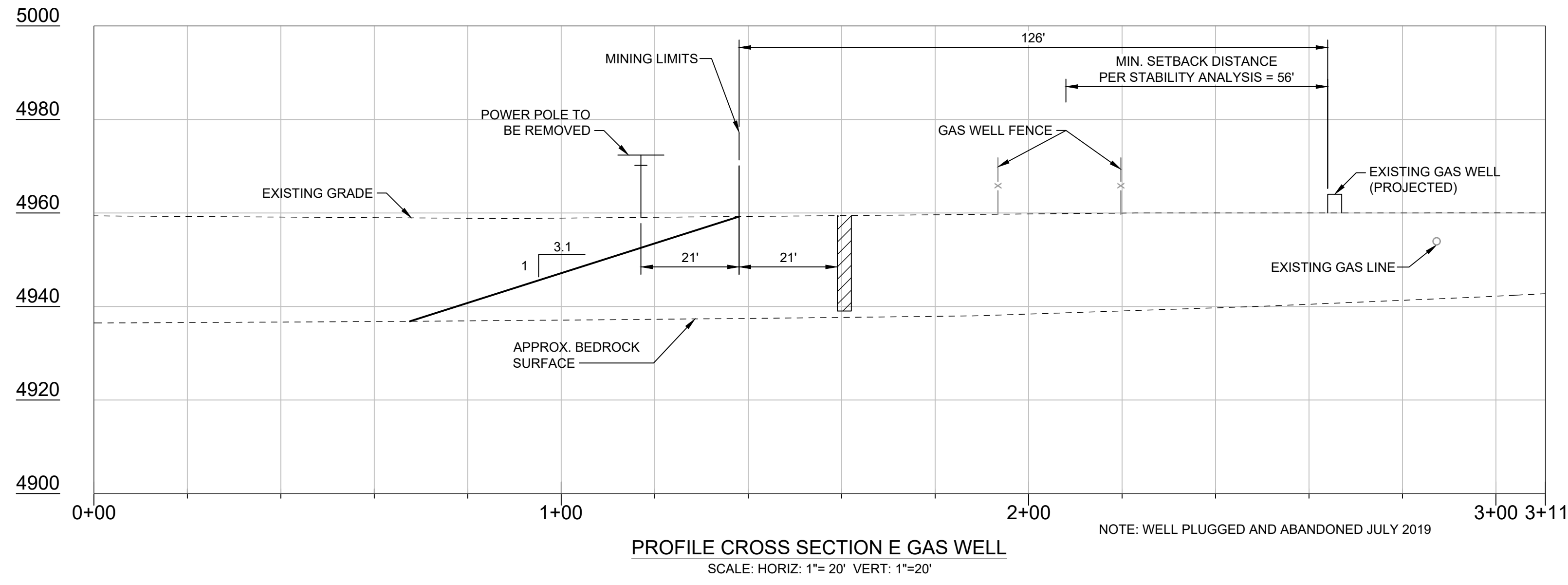
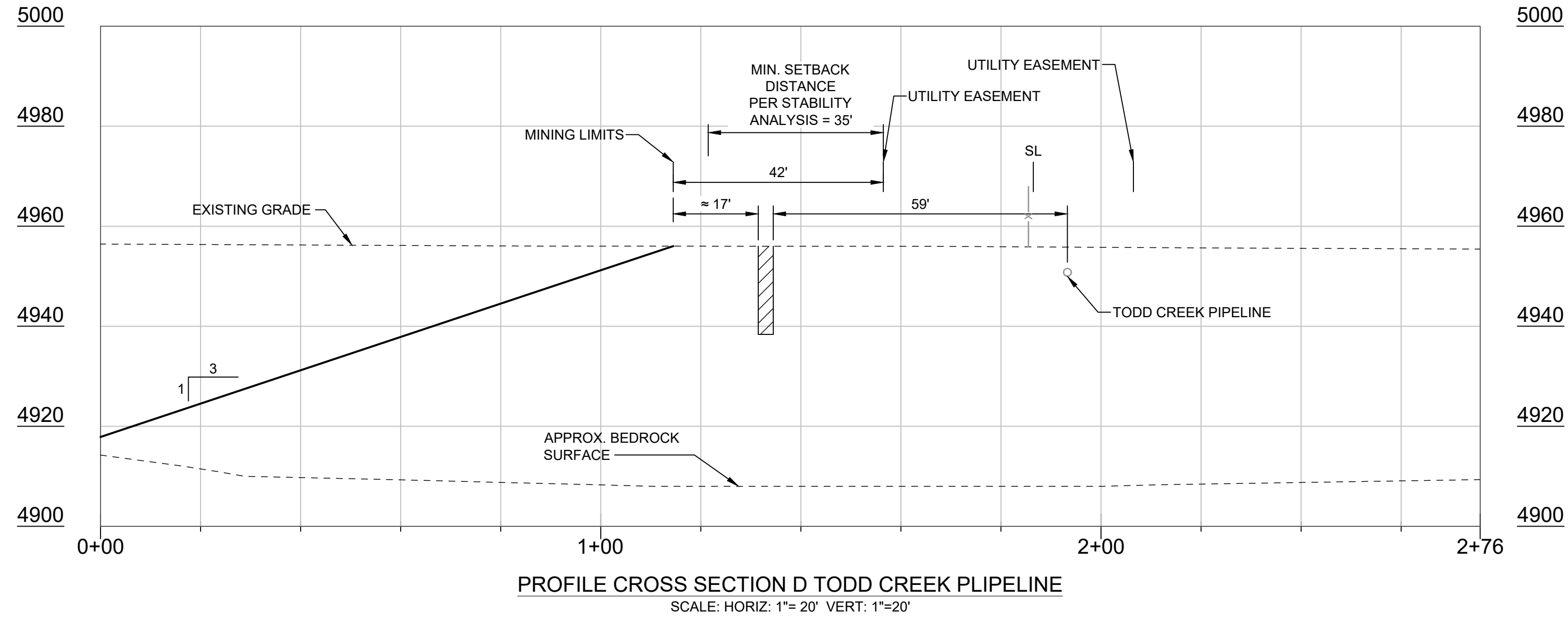
PROFILE CROSS SECTION B TUCSON ST  
SCALE: HORIZ: 1"= 20' VERT: 1"=20'



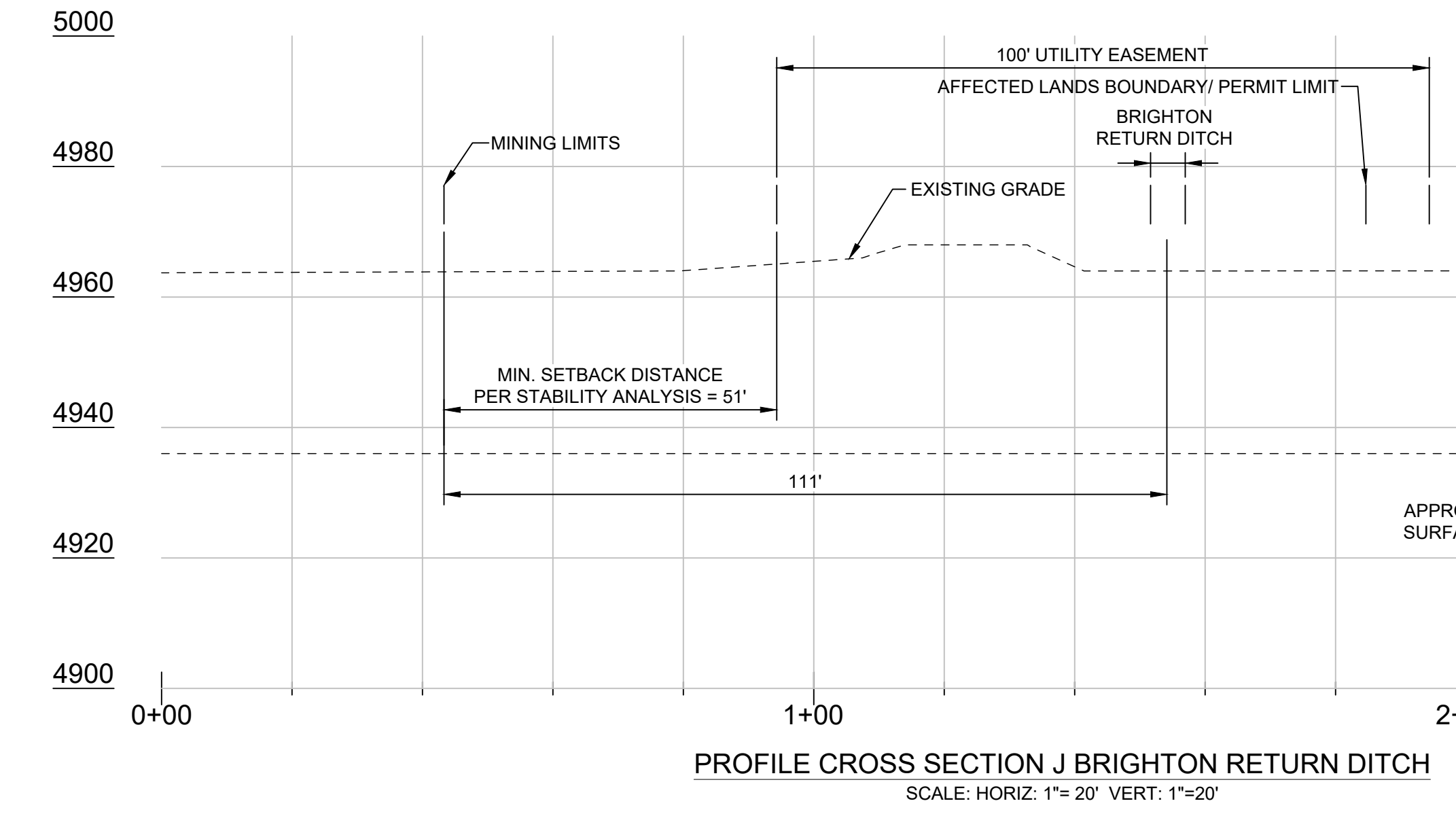
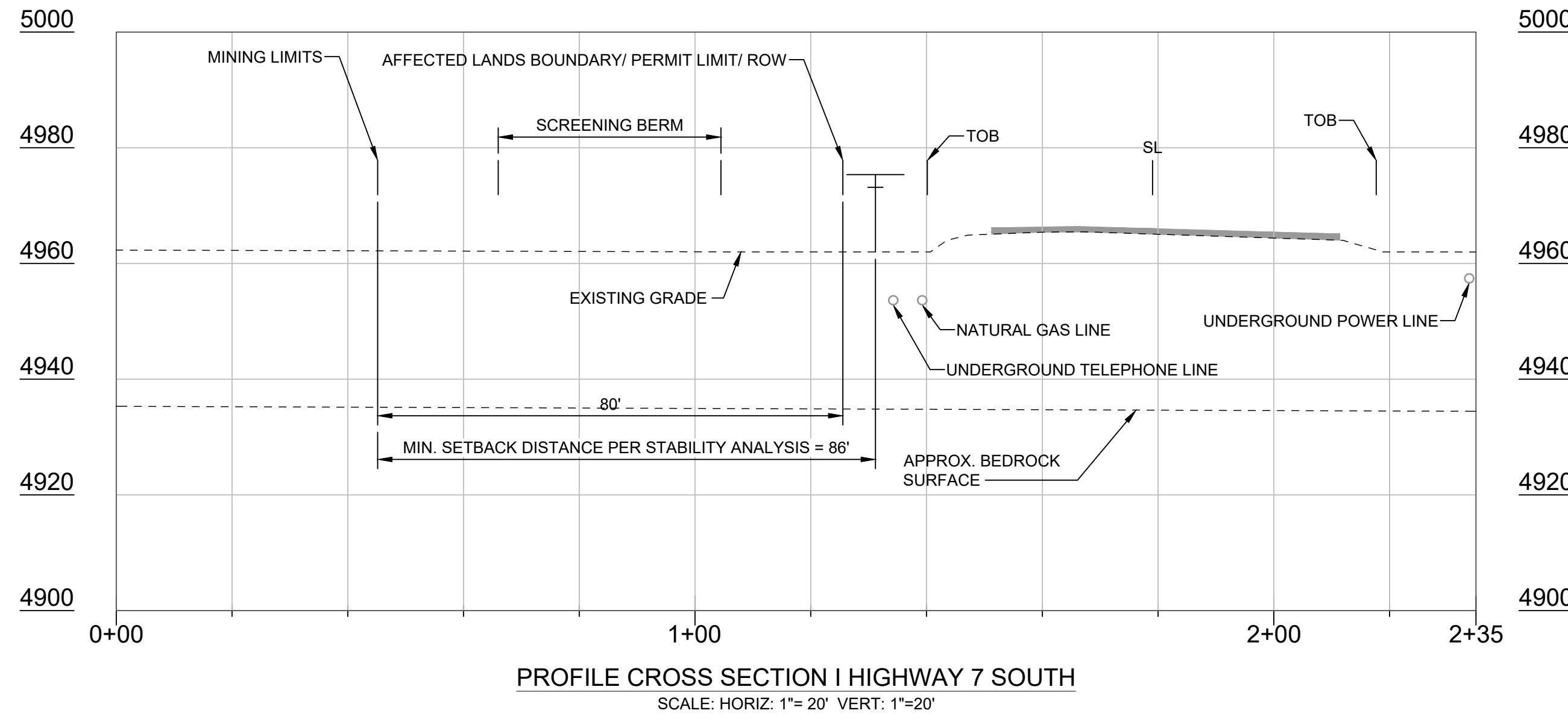
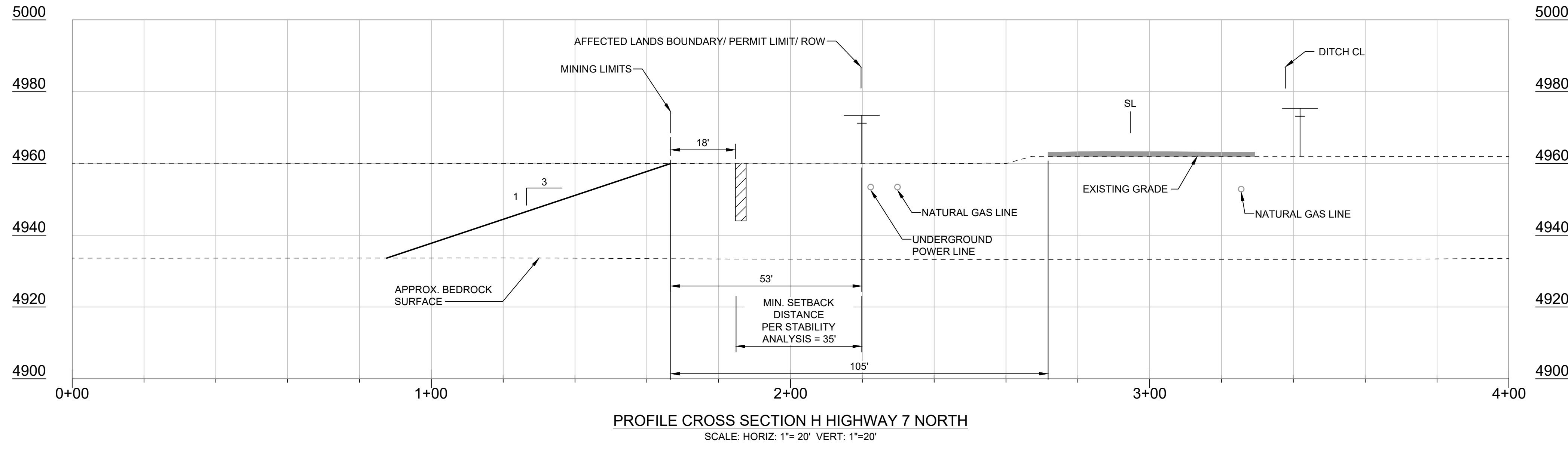
PROFILE CROSS SECTION C SOUTH PLATTE RIVER  
SCALE: HORIZ: 1"= 20' VERT: 1"=20'



9/13/2019 12:38:02 PM - P:\235141\33-23514-17005\CAD\SHEETFILES\SLOPE STABILITY ANALYSIS\FIG 1 STABILITY ANALYSIS CROSS SECTIONS.DWG - WEATHERL, LAURA

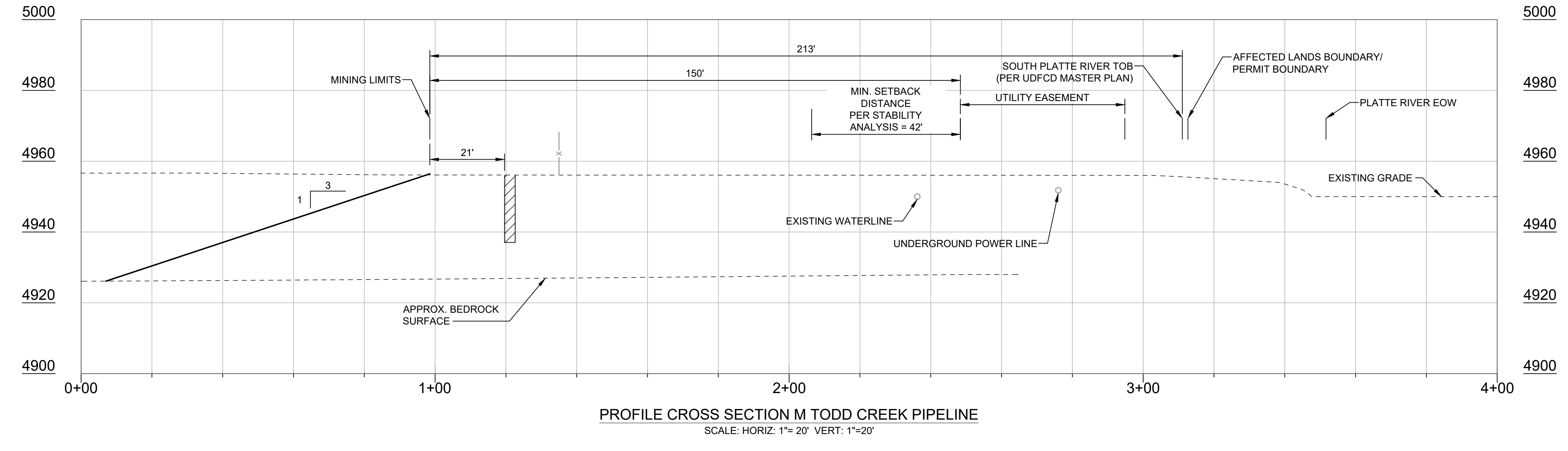
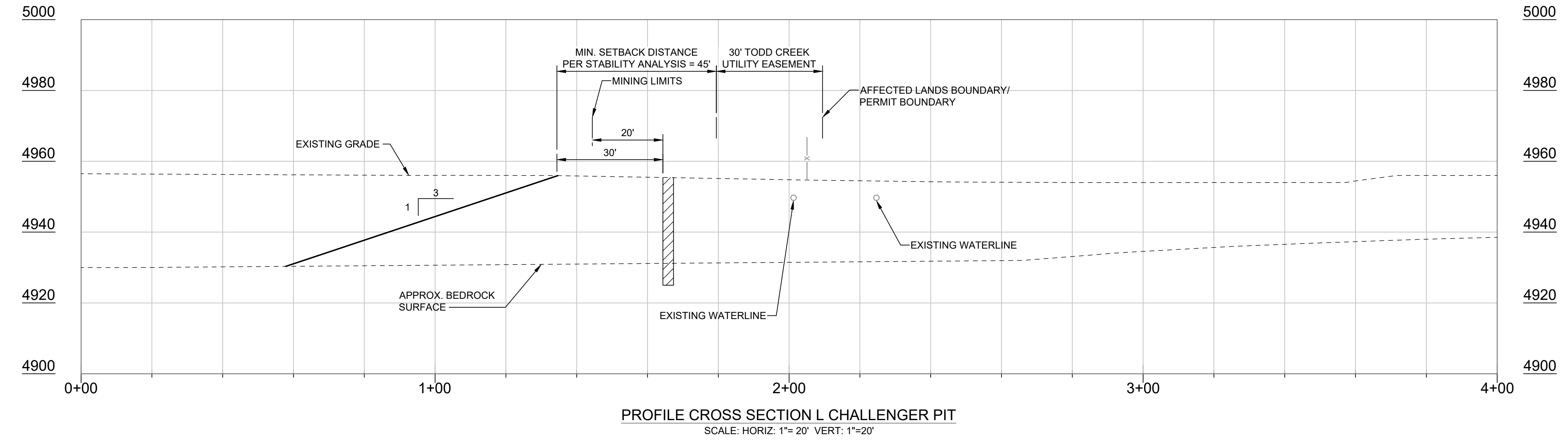
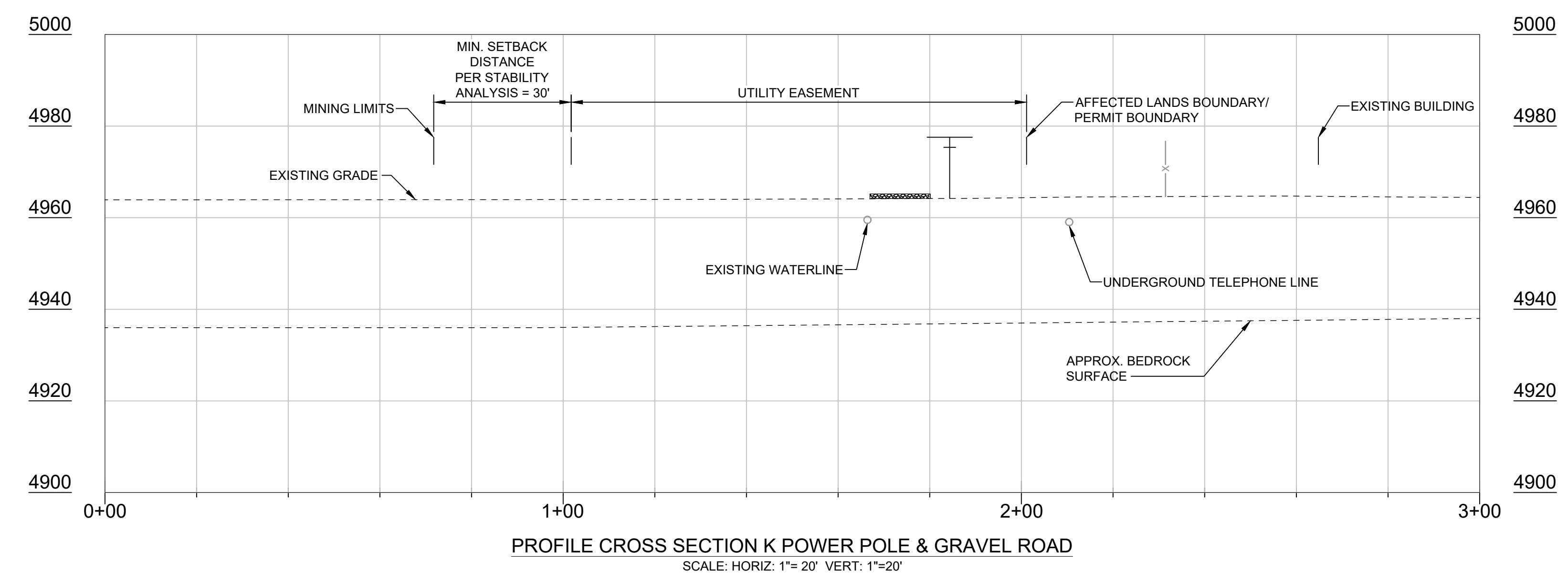


9/13/2019 12:39:22 PM - P:\235141\33-23514-17005\CAD\SH\FILES\SLOPE STABILITY ANALYSIS\FIG 1 STABILITY ANALYSIS CROSS SECTIONS.DWG - WEATHERL, LAURA

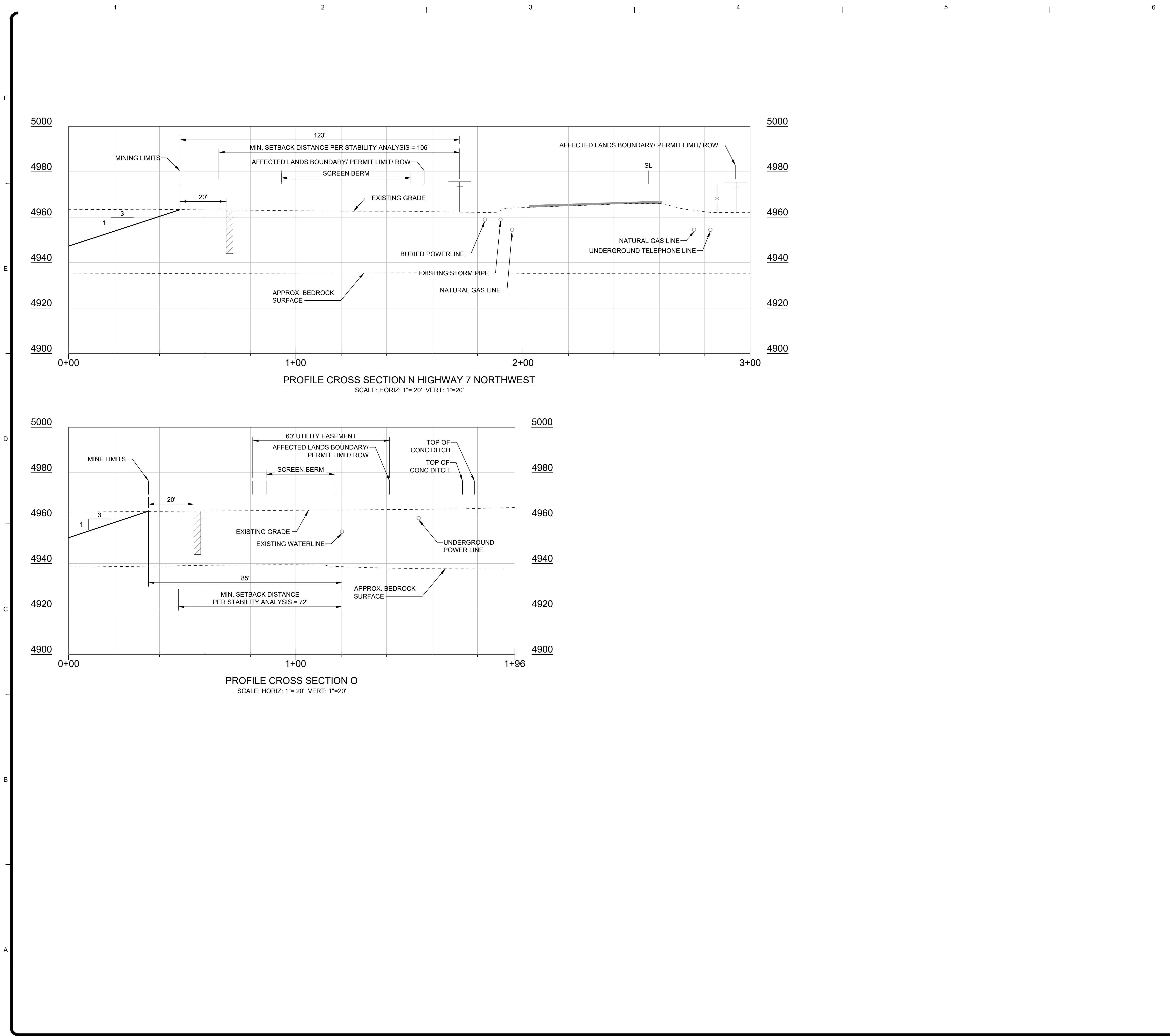


9/13/2019 12:40:22 PM - P:\235141\33-23514-17005\CAD\SHEETFILES\SLOPE STABILITY ANALYSIS\FIG 1 STABILITY ANALYSIS CROSS SECTIONS.DWG - WEATHERL, LAURA

F  
E  
D  
C  
B  
A



9/13/2019 12:41:00 PM - P:\235141\33-23514-17005\CAD\SHETS\FILES\SLOPE STABILITY ANALYSIS\FIG 1 STABILITY ANALYSIS CROSS SECTIONS.DWG - WEATHERL, LAURA



PROFILE CROSS SECTION N HIGHWAY 7 NORTHWEST  
SCALE: HORIZ: 1"= 20' VERT: 1"=20'

PROFILE CROSS SECTION O  
SCALE: HORIZ: 1"= 20' VERT: 1"=20'

**APPENDIX A**

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# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - WEST SIDE TUCSON STREET

| Color       | Name                                            | Model        | Unit Weight (pcf) | Cohesion' (psf) | Phi' (°) | Piezometric Line |
|-------------|-------------------------------------------------|--------------|-------------------|-----------------|----------|------------------|
| Orange      | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134               | 100             | 28       | 1                |
| Yellow      | Mud Lens                                        | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Blue        | Overburden                                      | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Light Green | Sand and Gravel                                 | Mohr-Coulomb | 137               | 0               | 35       | 1                |
| Grey        | Slurry Wall                                     | Mohr-Coulomb | 122               | 0               | 0        | 1                |
| Red         | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134               | 0               | 14       | 1                |

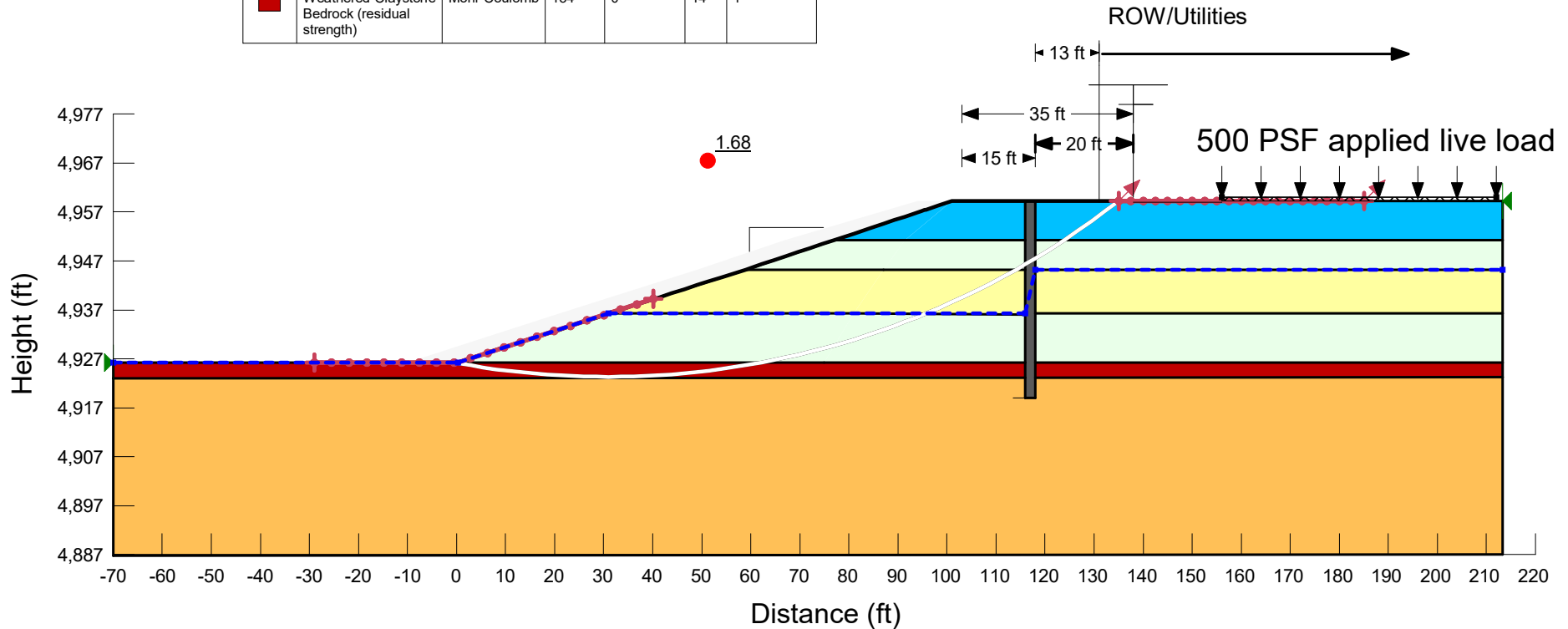
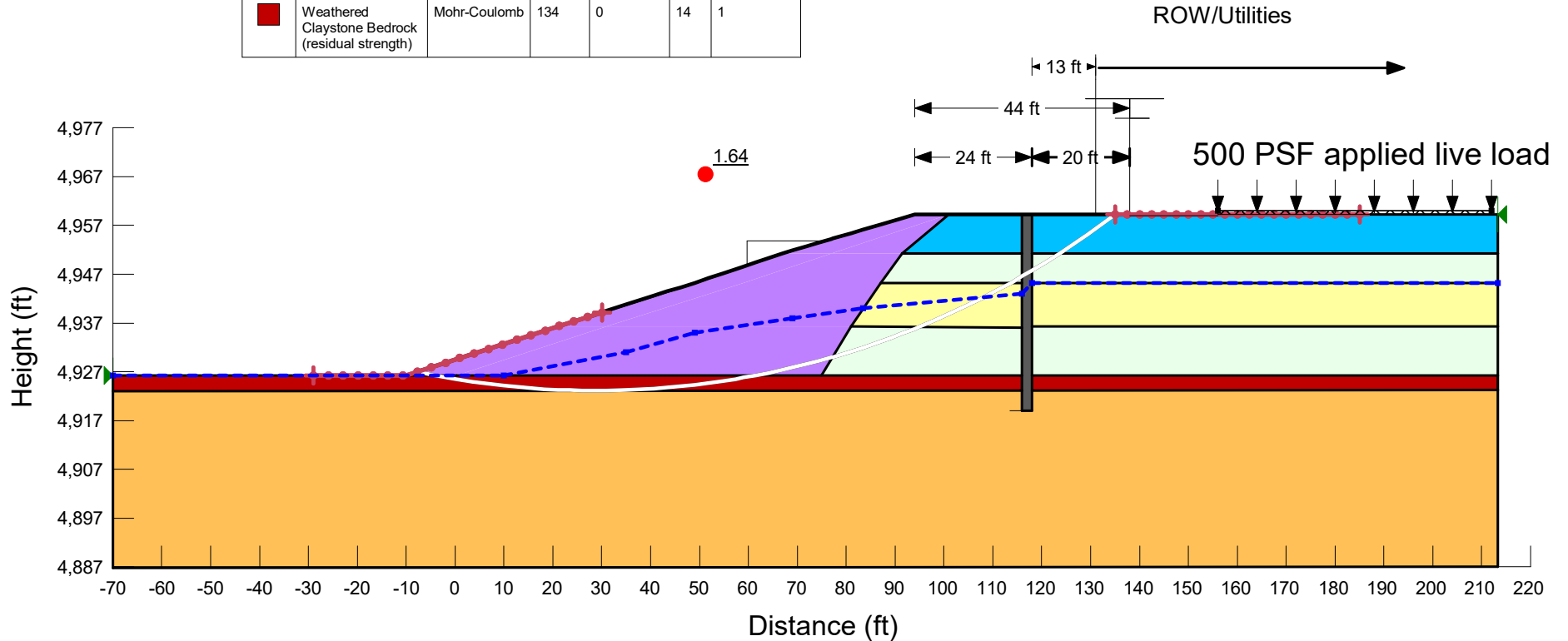


Figure A-1 - Static Analysis with Low Phreatic Surface



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - WEST SIDE TUCSON STREET

| Color       | Name                                            | Model        | Unit Weight (pcf) | Cohesion' (psf) | Phi' (°) | Piezometric Line |
|-------------|-------------------------------------------------|--------------|-------------------|-----------------|----------|------------------|
| Orange      | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134               | 100             | 28       | 1                |
| Purple      | Fill                                            | Mohr-Coulomb | 126               | 25              | 26       | 1                |
| Yellow      | Mud Lens                                        | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Blue        | Overburden                                      | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Light Green | Sand and Gravel                                 | Mohr-Coulomb | 137               | 0               | 35       | 1                |
| Grey        | Slurry Wall                                     | Mohr-Coulomb | 122               | 0               | 0        | 1                |
| Red         | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134               | 0               | 14       | 1                |

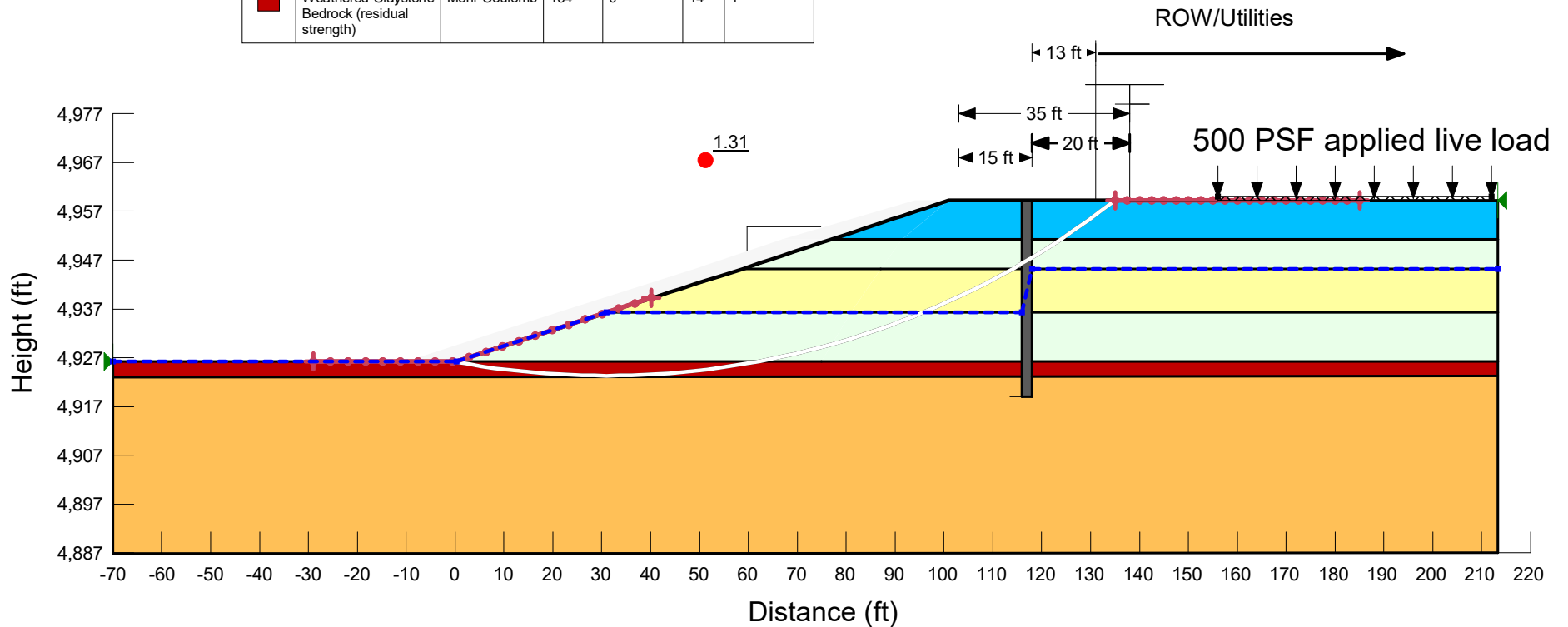


**Figure A-1 - Static Analysis with Low Phreatic Surface**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - WEST SIDE TUCSON STREET

| Color       | Name                                            | Model        | Unit Weight (pcf) | Cohesion' (psf) | Phi' (°) | Piezometric Line |
|-------------|-------------------------------------------------|--------------|-------------------|-----------------|----------|------------------|
| Orange      | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134               | 100             | 28       | 1                |
| Yellow      | Mud Lens                                        | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Blue        | Overburden                                      | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Light Green | Sand and Gravel                                 | Mohr-Coulomb | 137               | 0               | 35       | 1                |
| Grey        | Slurry Wall                                     | Mohr-Coulomb | 122               | 0               | 0        | 1                |
| Red         | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134               | 0               | 14       | 1                |



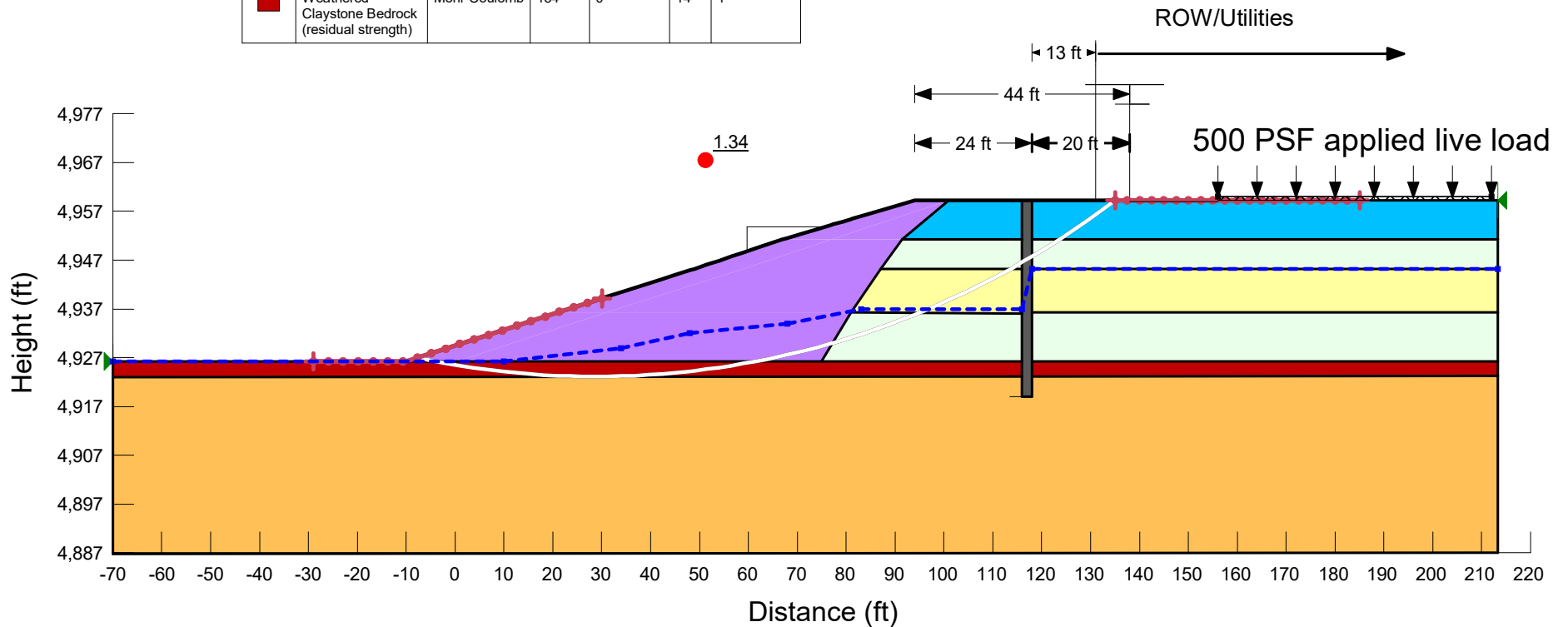
**Figure A-2 - Pseudostatic Analysis with Low Phreatic Surface**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - WEST SIDE TUCSON STREET

| Color       | Name                                            | Model        | Unit Weight (pcf) | Cohesion' (psf) | Phi' (°) | Piezometric Line |
|-------------|-------------------------------------------------|--------------|-------------------|-----------------|----------|------------------|
| Orange      | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134               | 100             | 28       | 1                |
| Purple      | Fill                                            | Mohr-Coulomb | 126               | 25              | 26       | 1                |
| Yellow      | Mud Lens                                        | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Blue        | Overburden                                      | Mohr-Coulomb | 126               | 50              | 28       | 1                |
| Light Green | Sand and Gravel                                 | Mohr-Coulomb | 137               | 0               | 35       | 1                |
| Grey        | Slurry Wall                                     | Mohr-Coulomb | 122               | 0               | 0        | 1                |
| Red         | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134               | 0               | 14       | 1                |








**Figure A-2 - Pseudostatic Analysis with Low Phreatic Surface**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - EAST SIDE TUCSON STREET

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

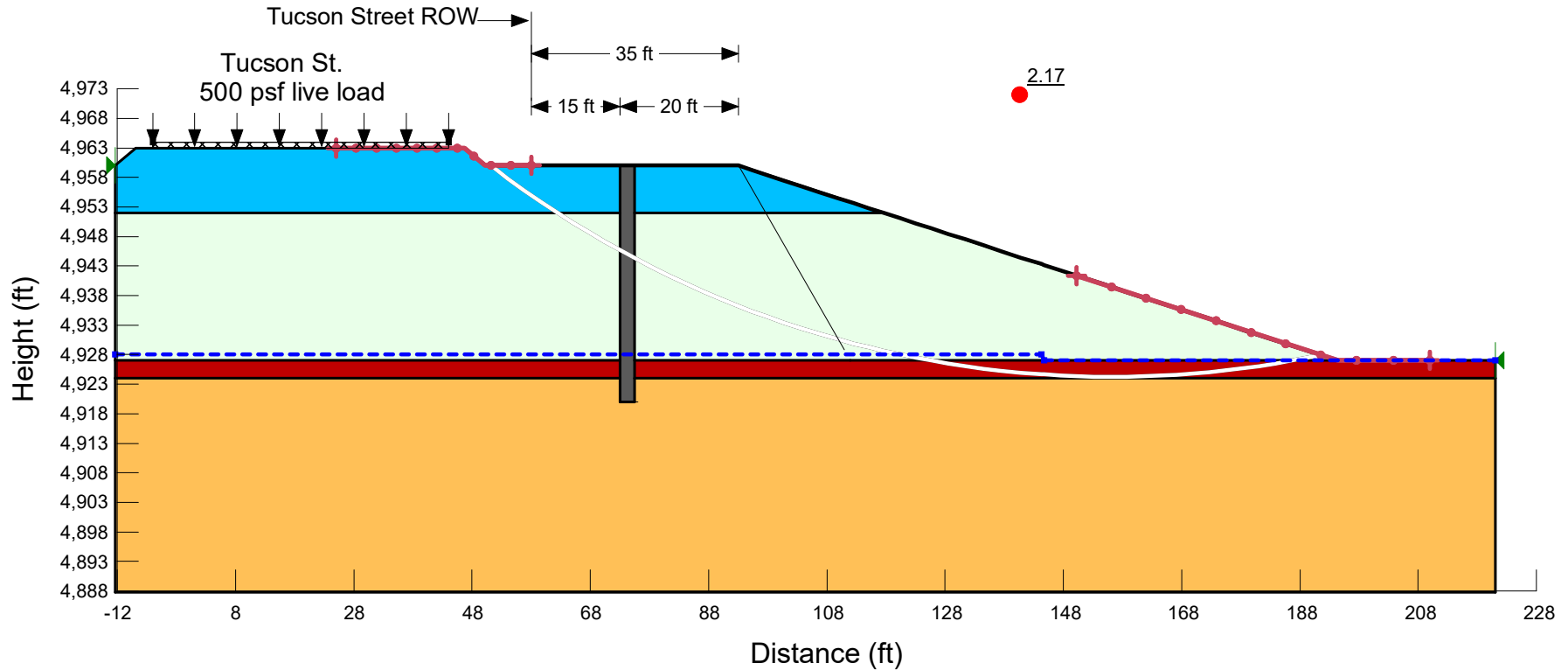


Figure B-1 -Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - EAST SIDE TUCSON STREET

|  |                                                 |              | (pcf) | (psf) | (°) |
|--|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

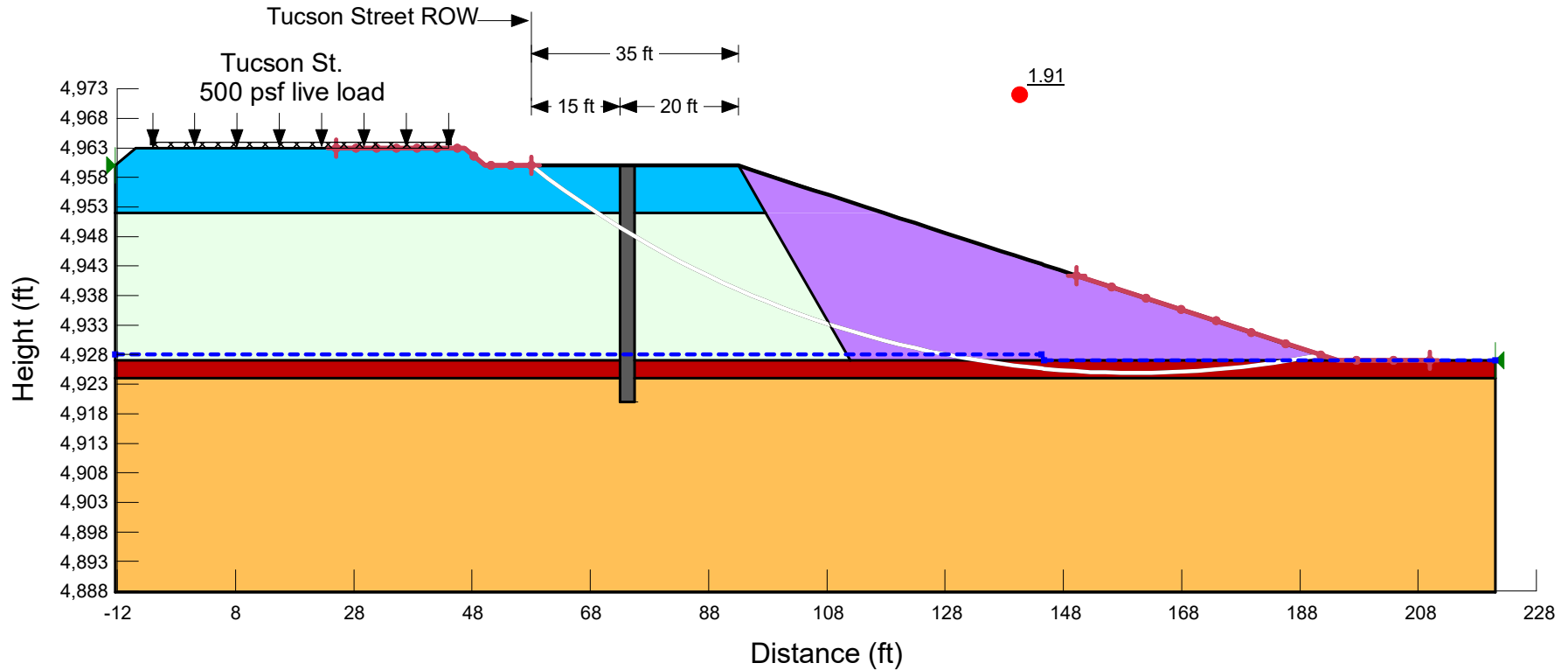







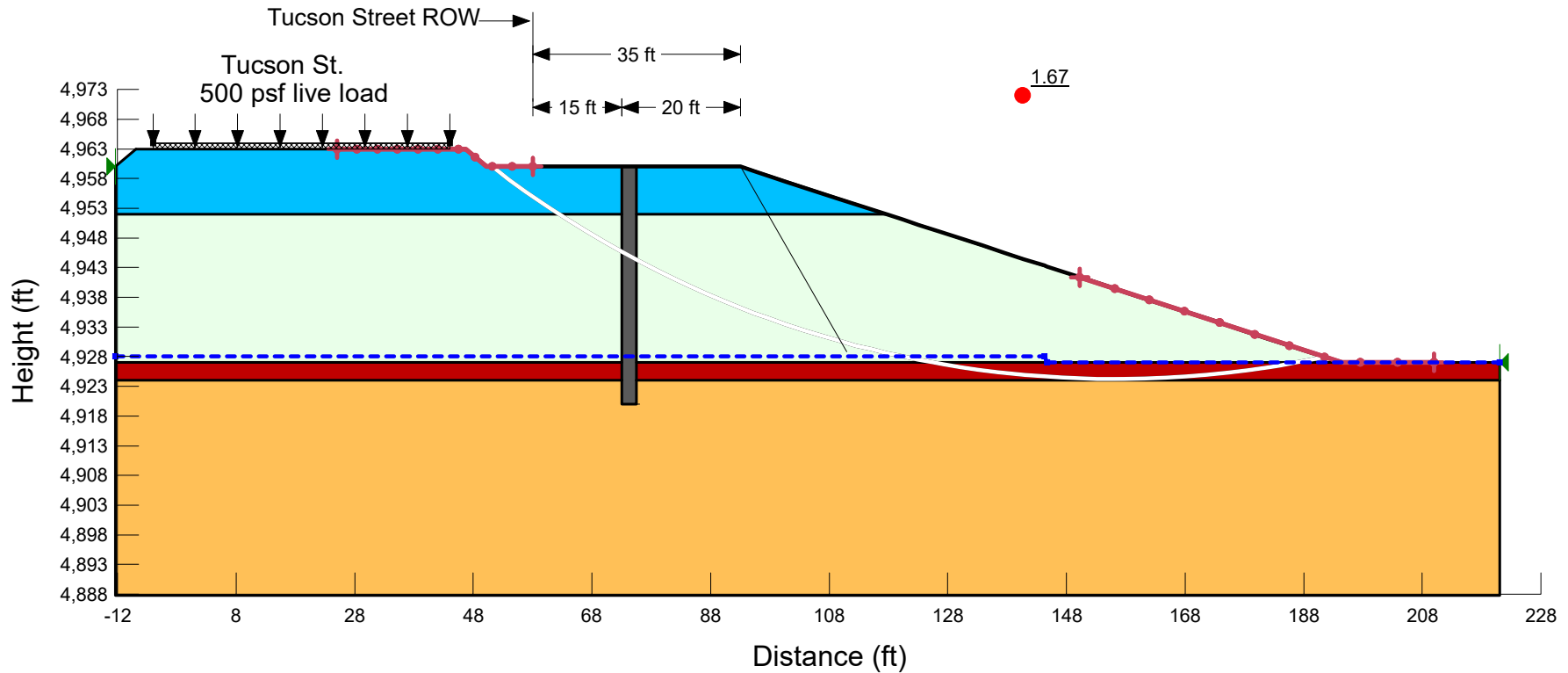
Figure B-1 -Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - EAST SIDE TUCSON STREET

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |



**Figure B-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g

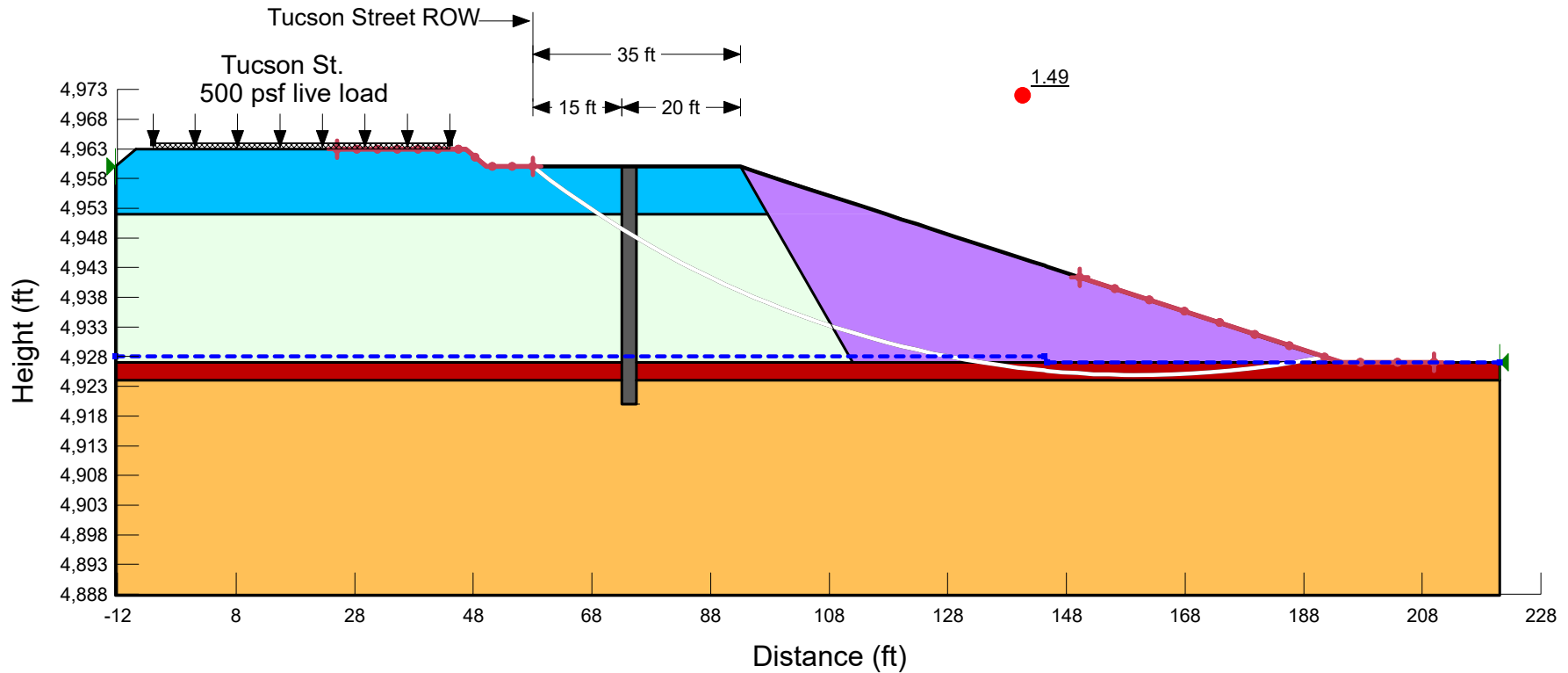




# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - EAST SIDE TUCSON STREET

|  |                                                 |              | (pcf) | (psf) | (°) |
|--|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








**Figure B-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - SOUTH PLATTE RIVER

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

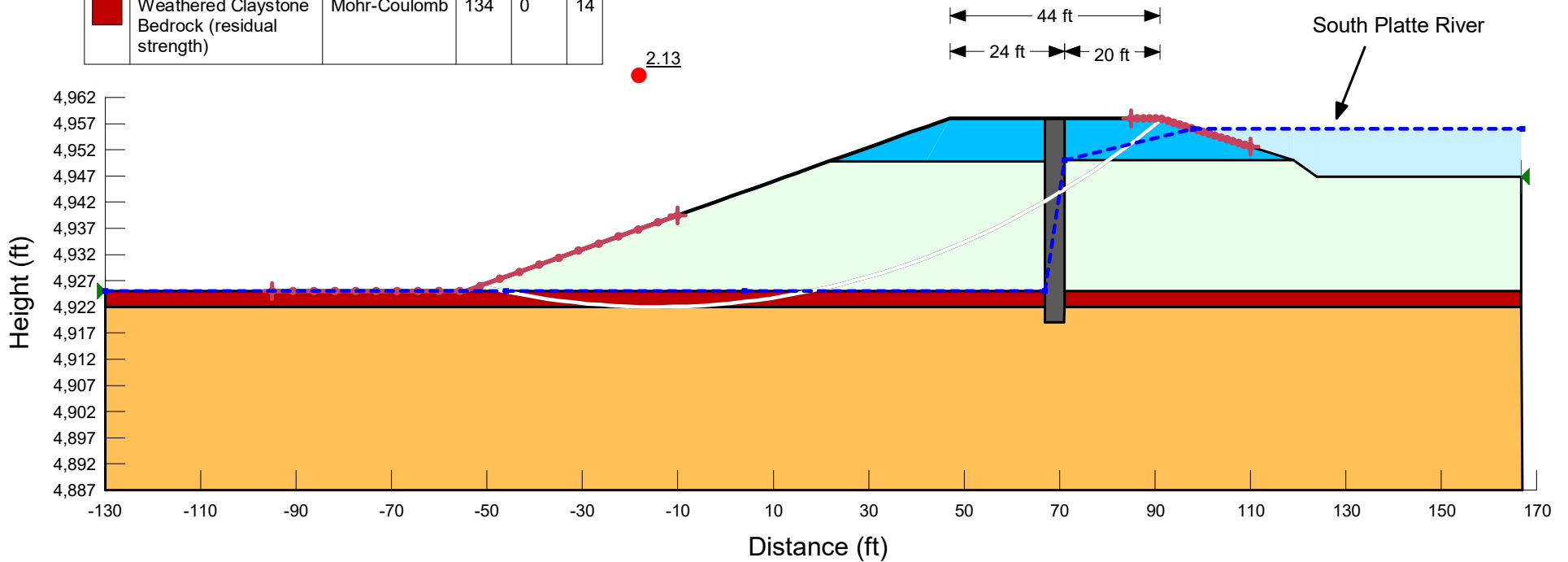








Figure C-1 - Static Analysis



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# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - SOUTH PLATTE RIVER

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

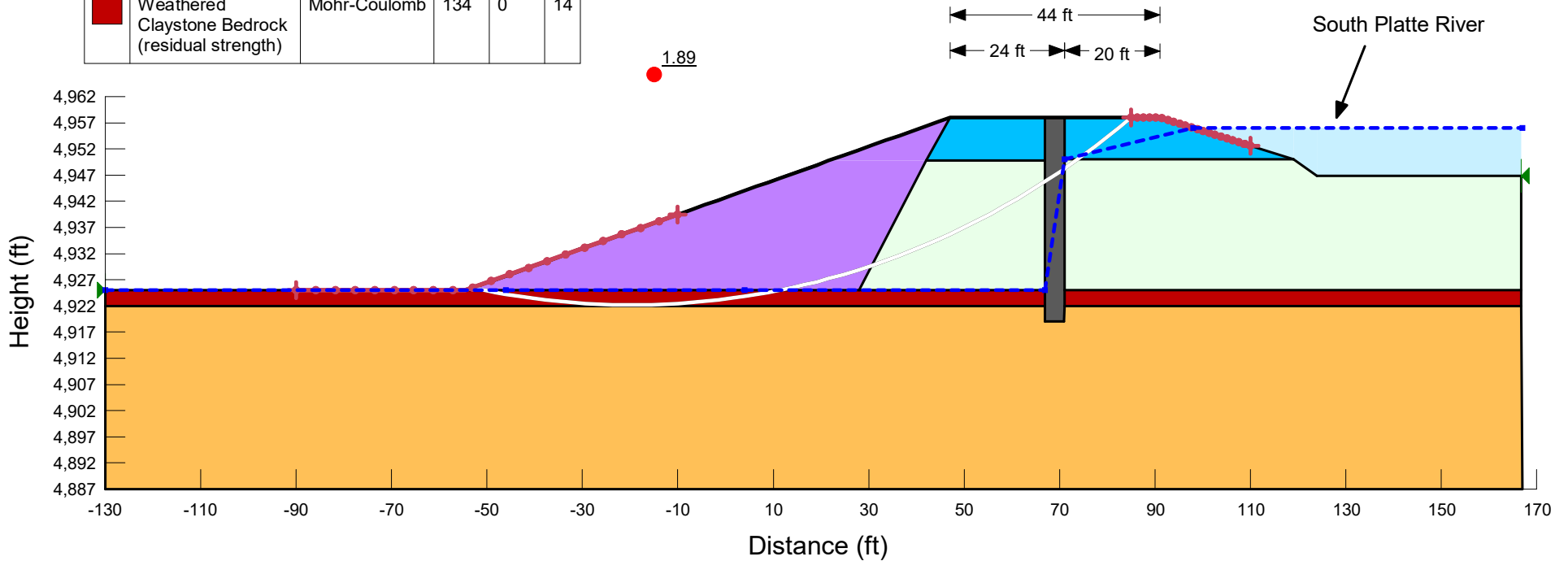





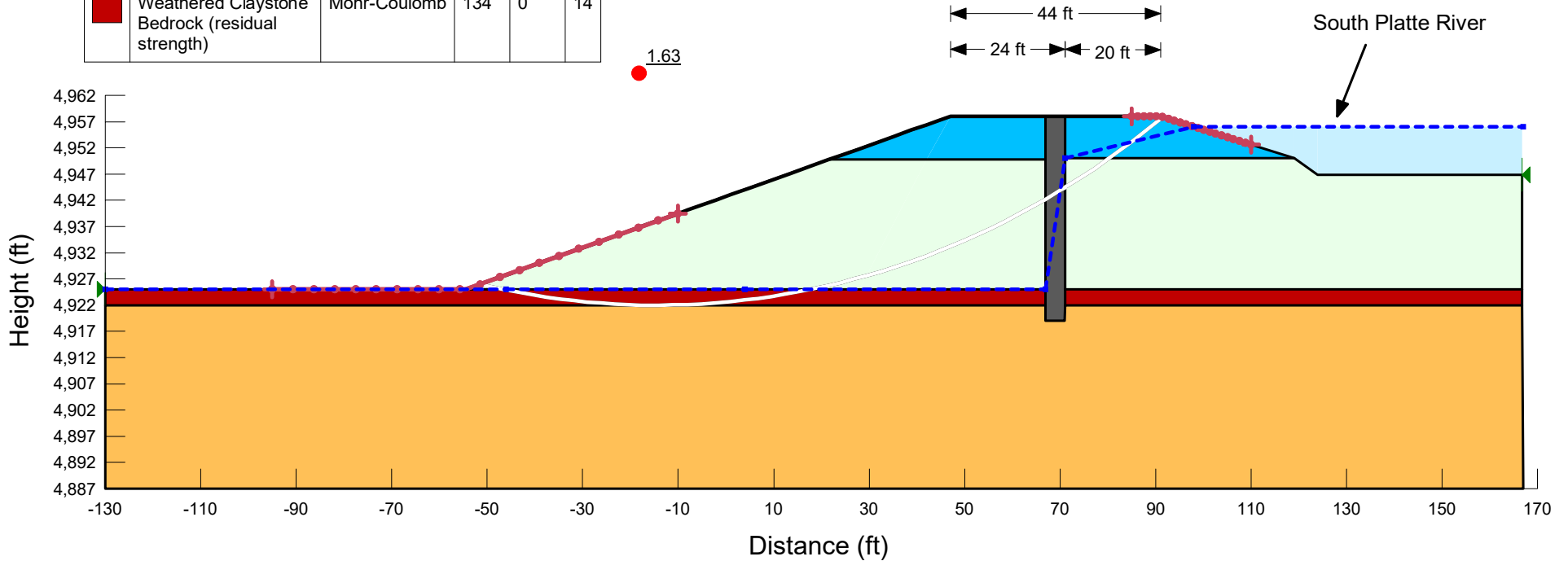


Figure C-1 - Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - SOUTH PLATTE RIVER

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









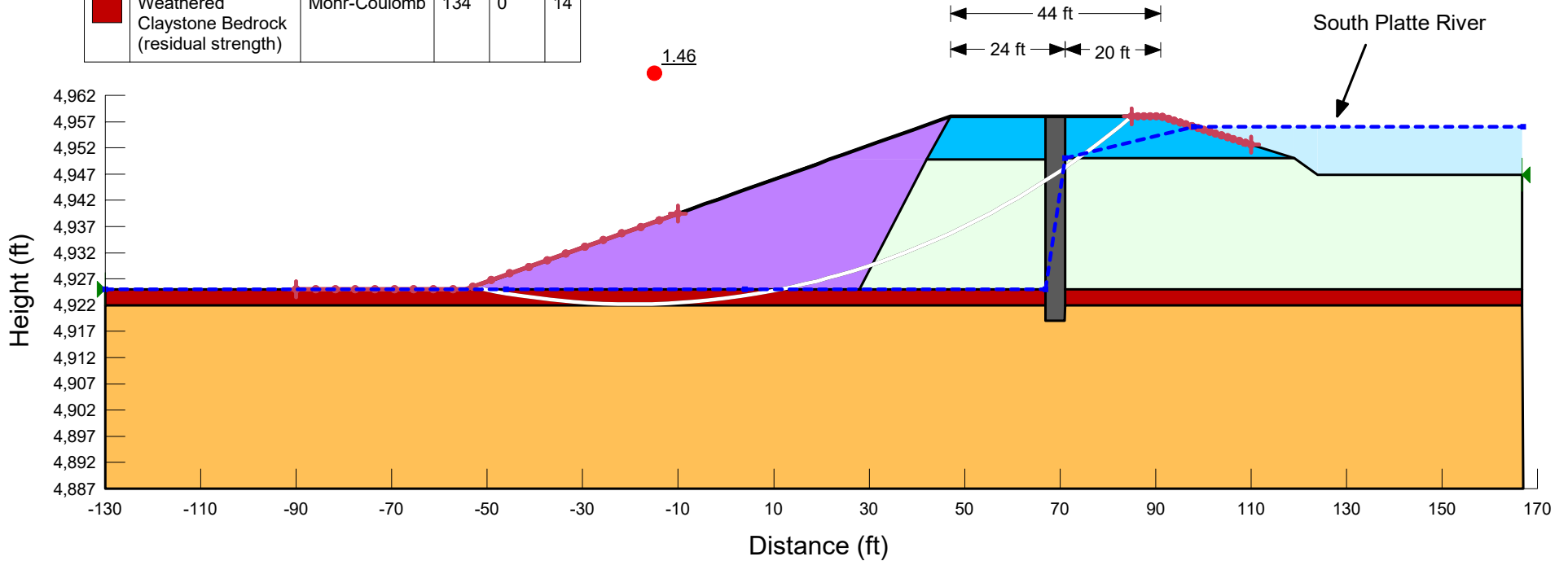
**Figure C-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - SOUTH PLATTE RIVER

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








**Figure C-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (NORTH SIDE OF EAST CELL)

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

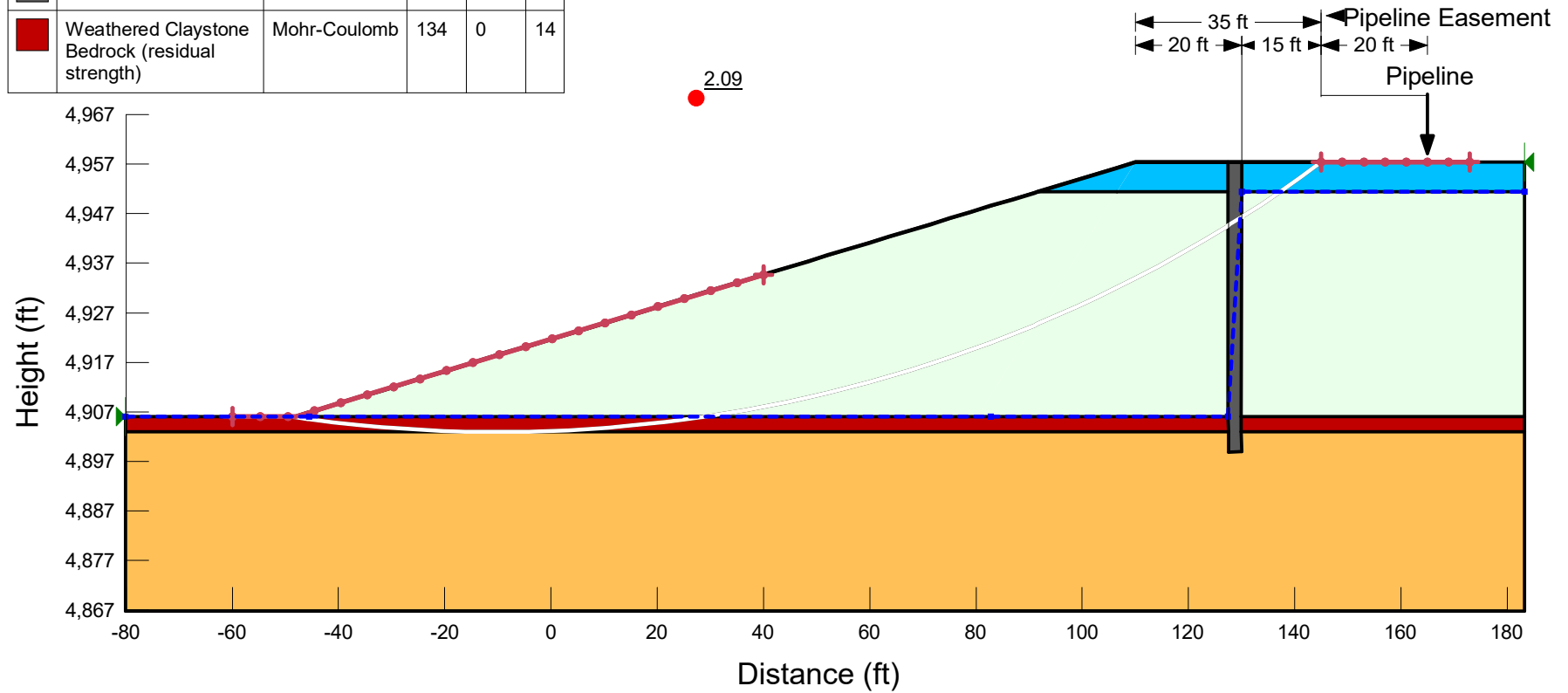








Figure D-1 - Static Analysis



TETRA TECH

# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (NORTH SIDE OF EAST CELL)

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

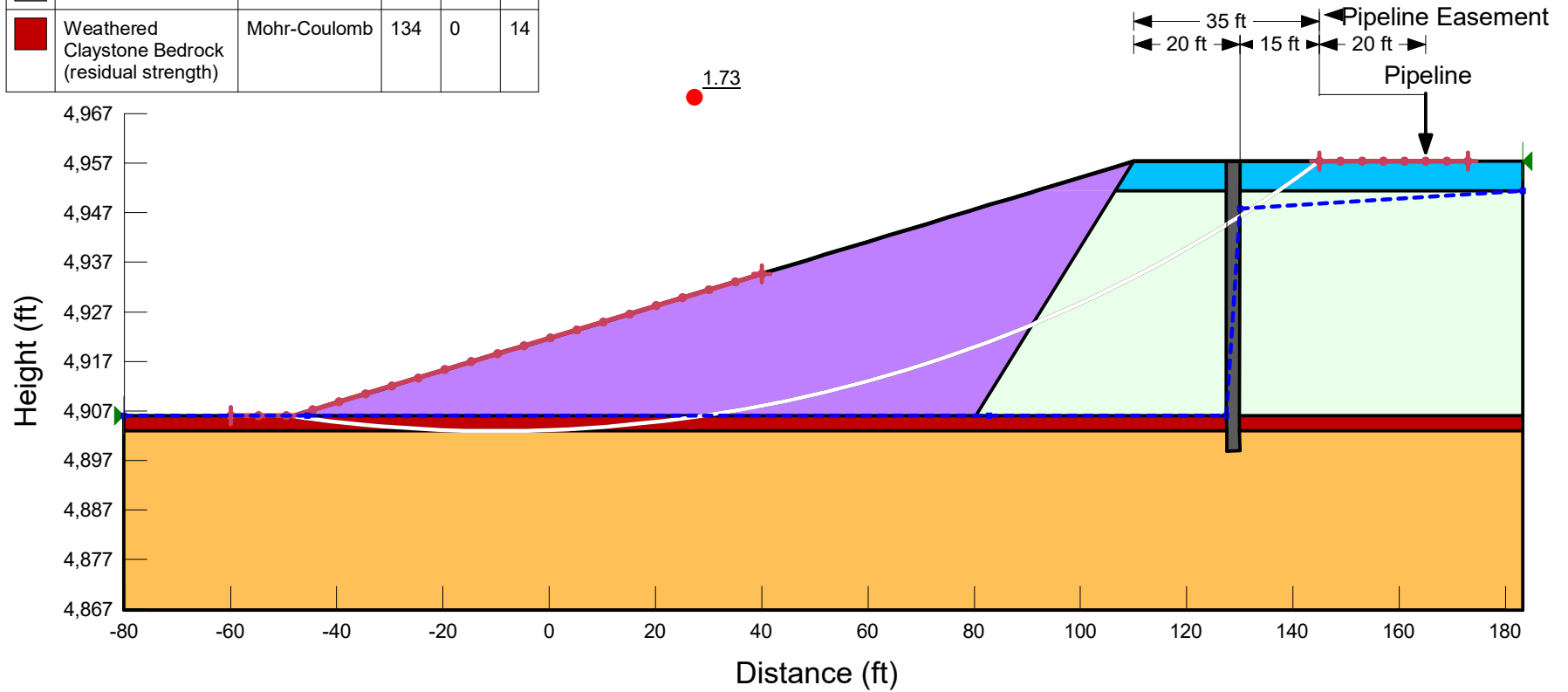







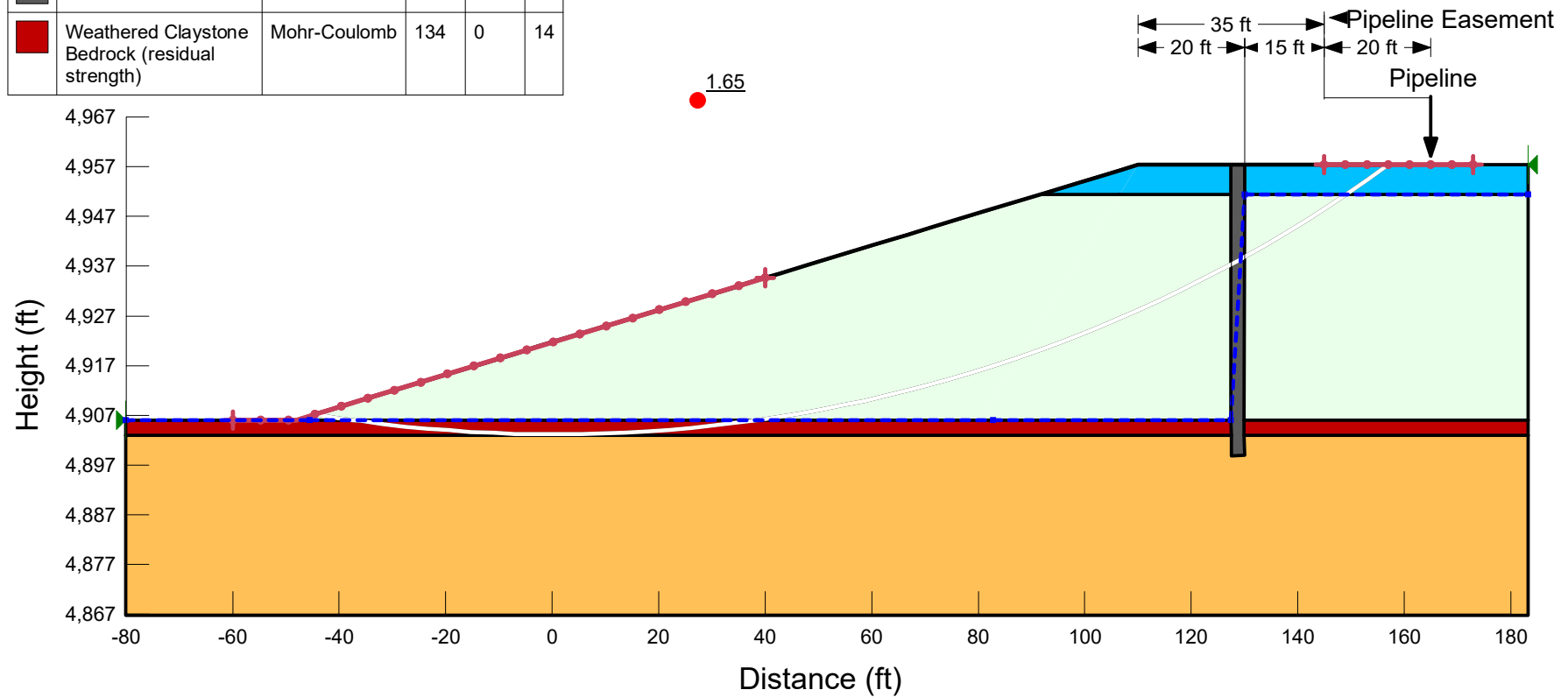
Figure D-1 - Static Analysis





# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (NORTH SIDE OF EAST CELL)

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure D-2 - Pseudostatic Analysis**

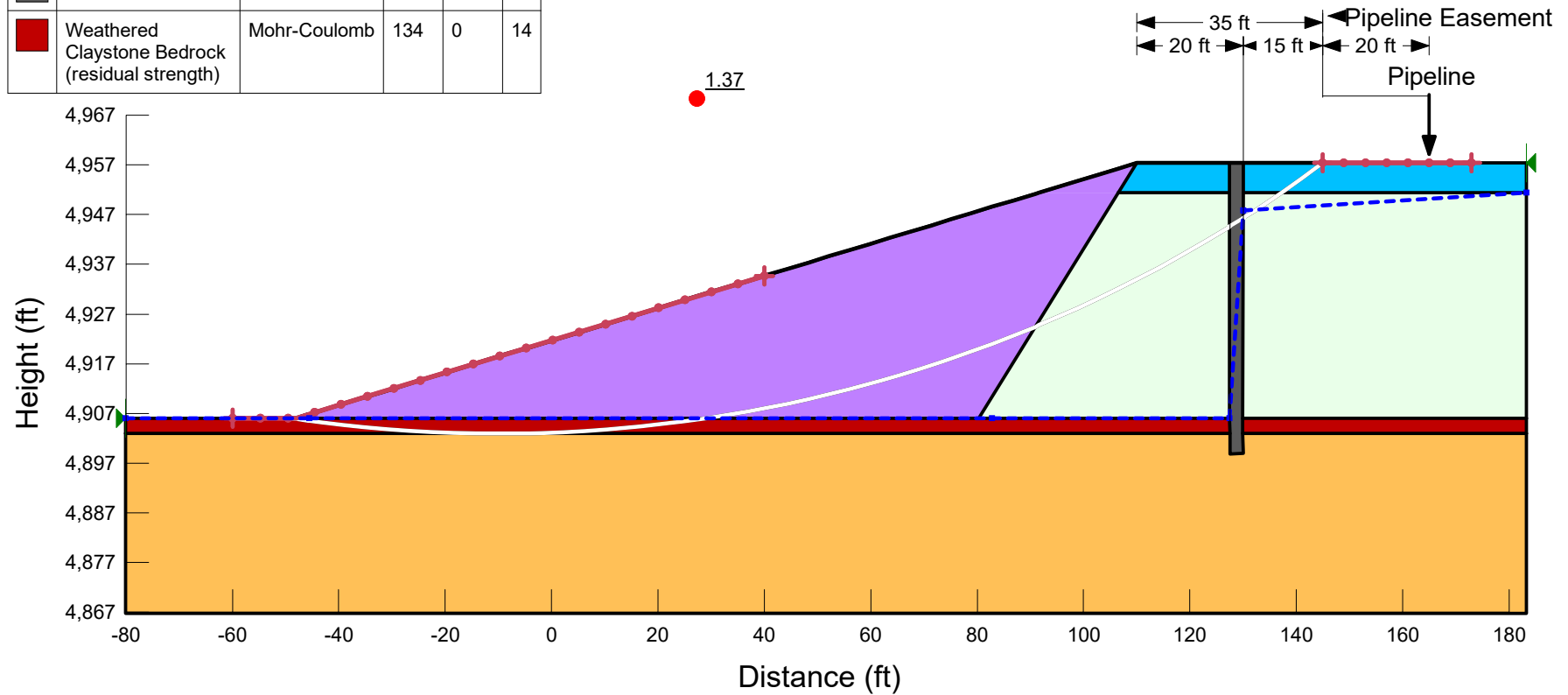
Horizontal Acceleration Coefficient: 0.067g



TETRA TECH

# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (NORTH SIDE OF EAST CELL)

|                                                                                   |                                                 |              | (pcf) | (psf) | (°) |
|-----------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









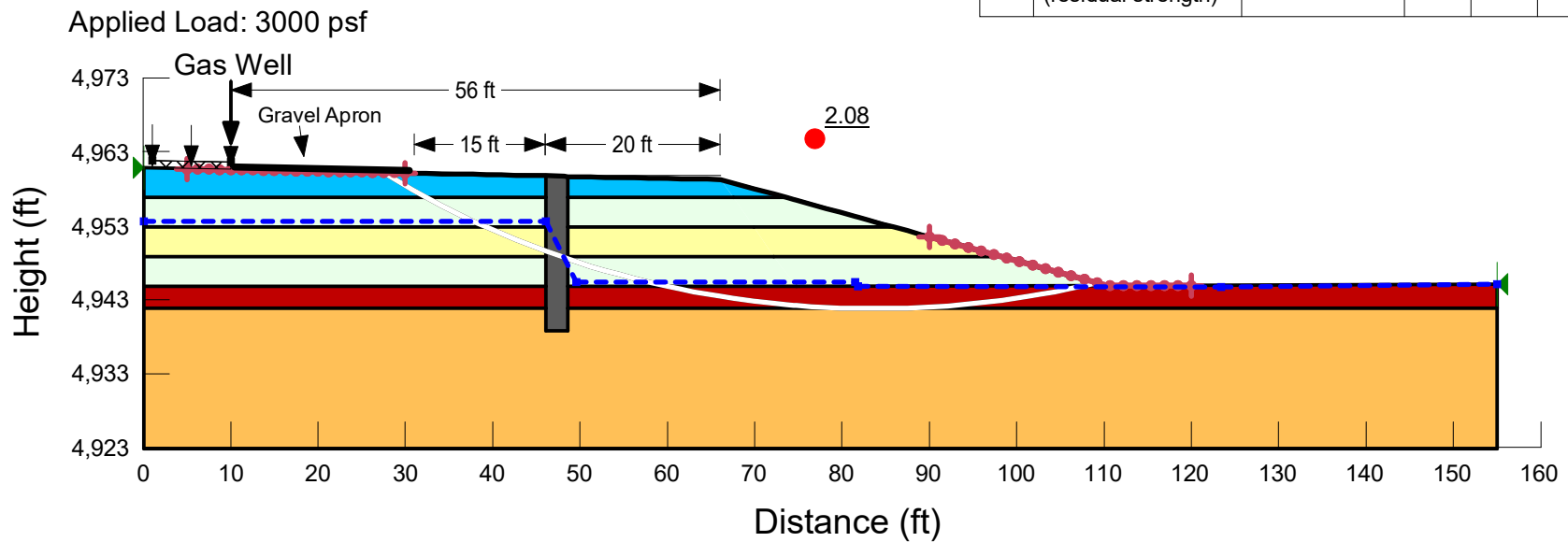
**Figure D-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - GAS WELL/FENCE








|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

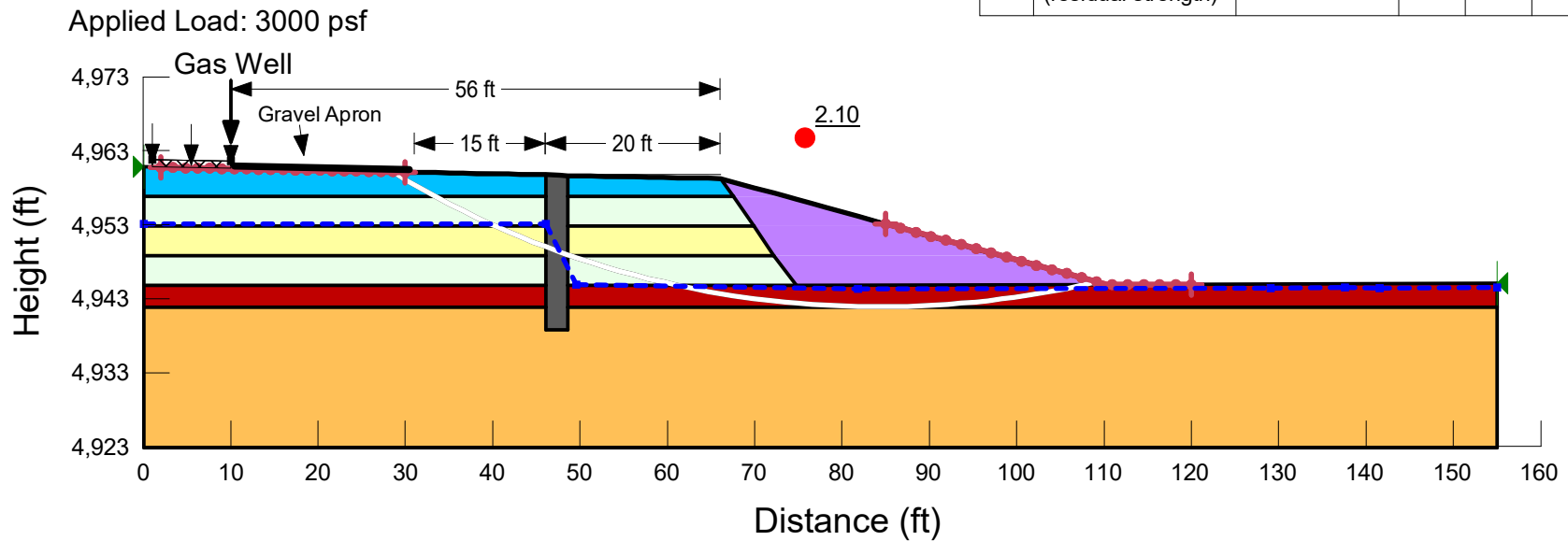


**Figure E-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - GAS WELL/FENCE







|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

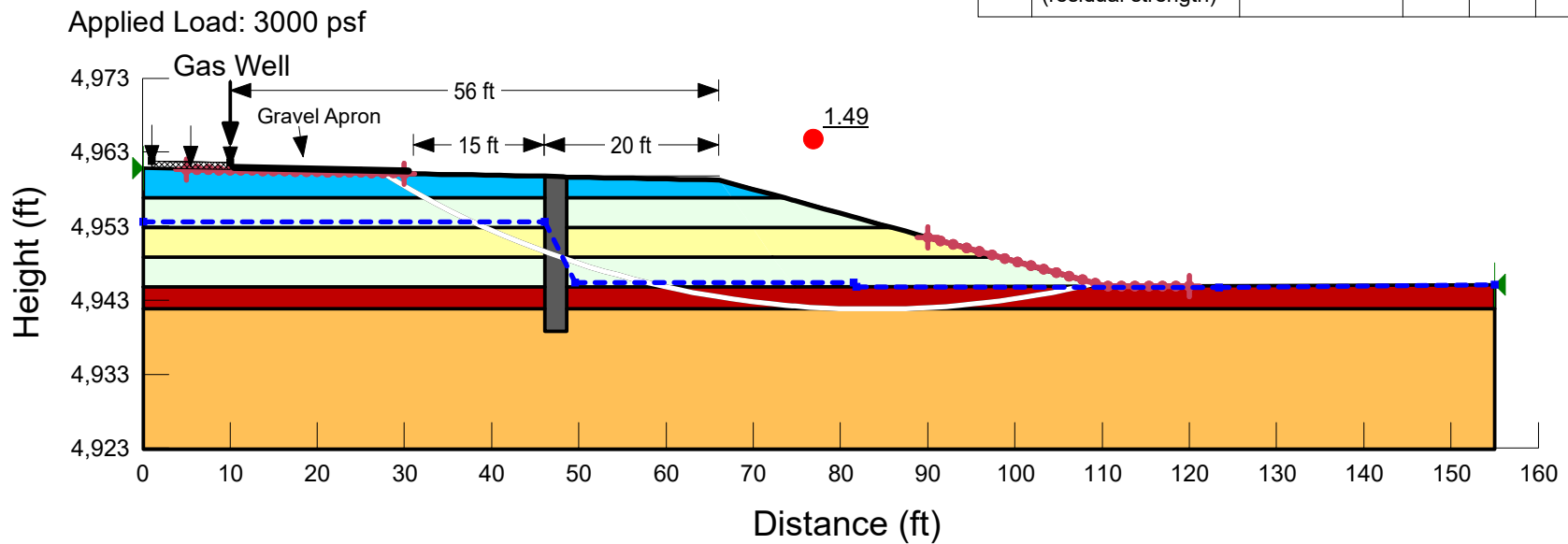


**Figure E-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - GAS WELL/FENCE

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |










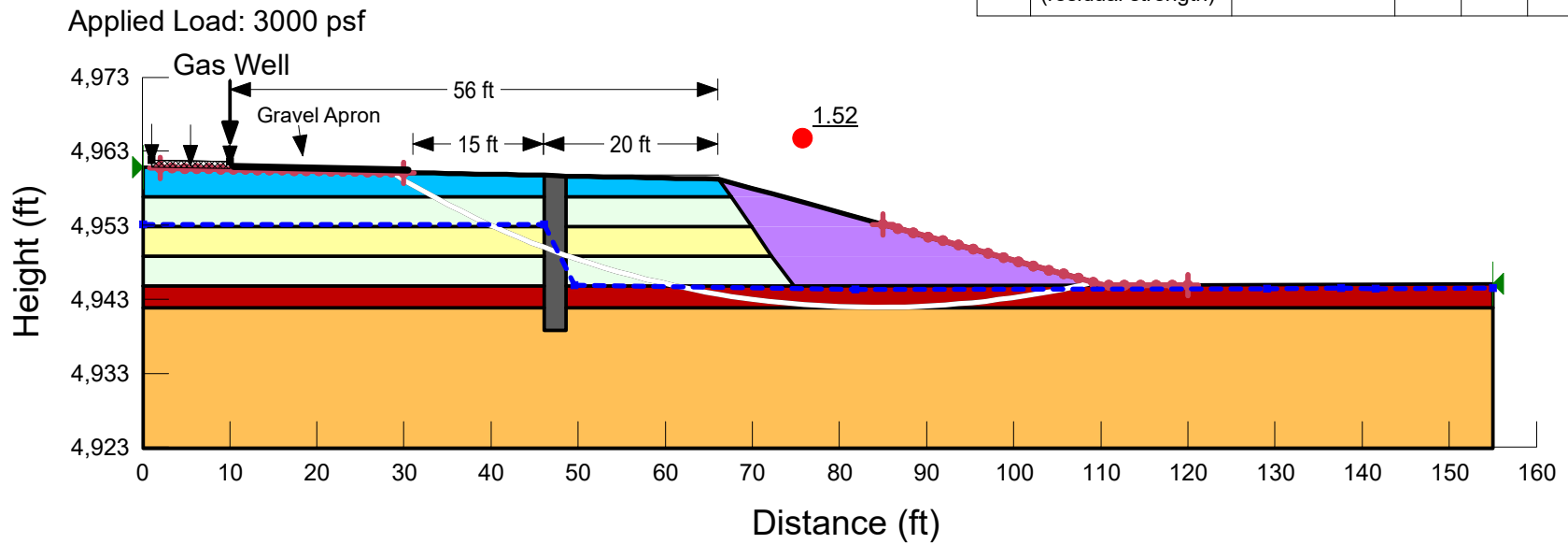
**Figure E-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - GAS WELL/FENCE

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









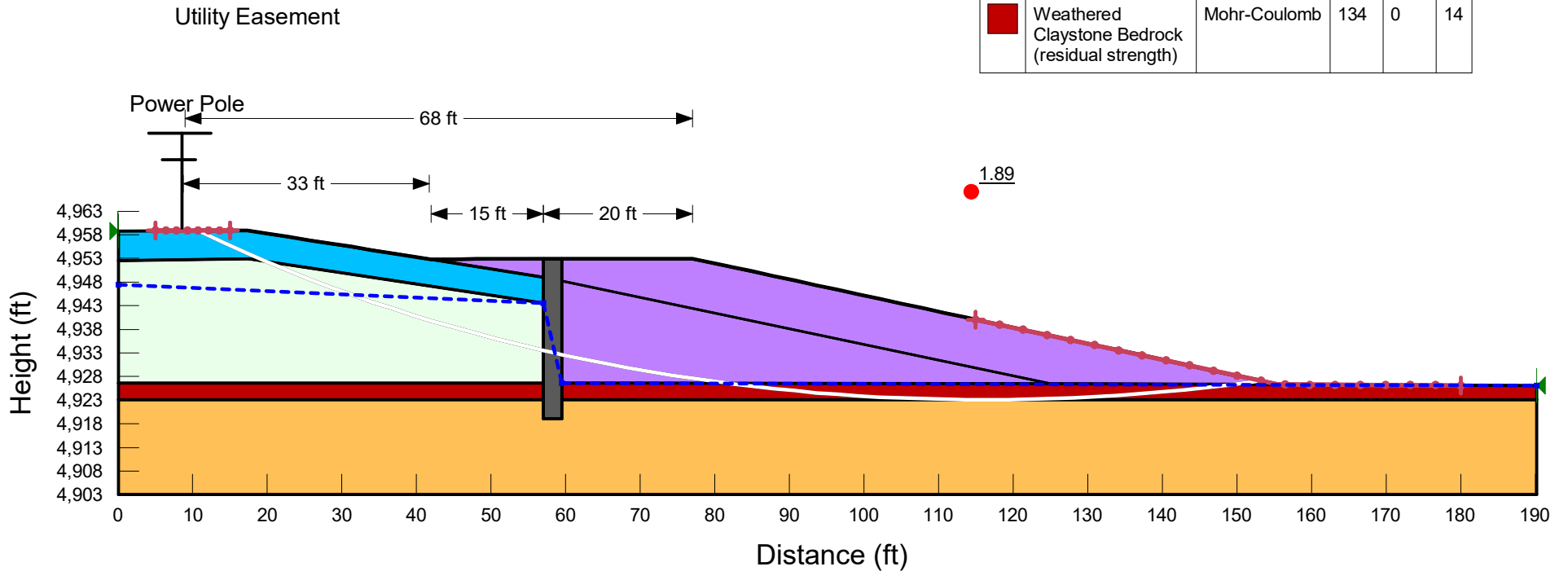
**Figure E-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - POWER POLES

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









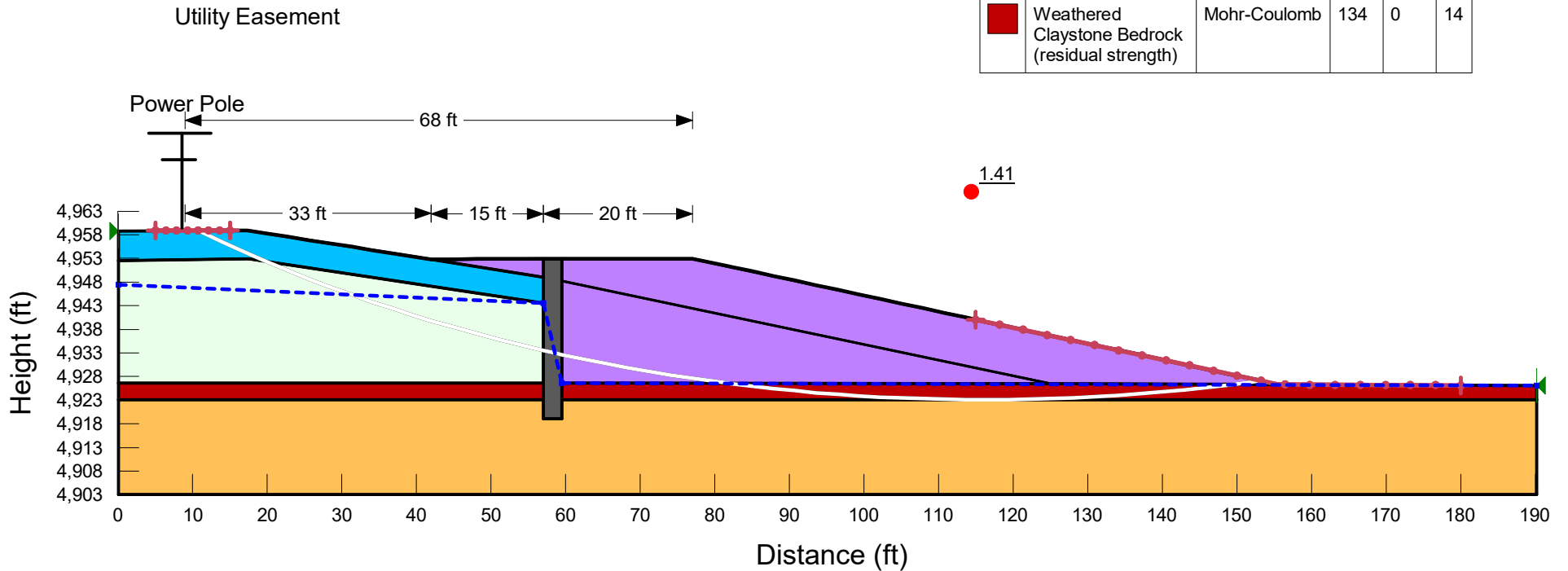
**Figure F-1- Static Analysis**





# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - POWER POLES

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure F-2 - Pseudostatic Analysis**

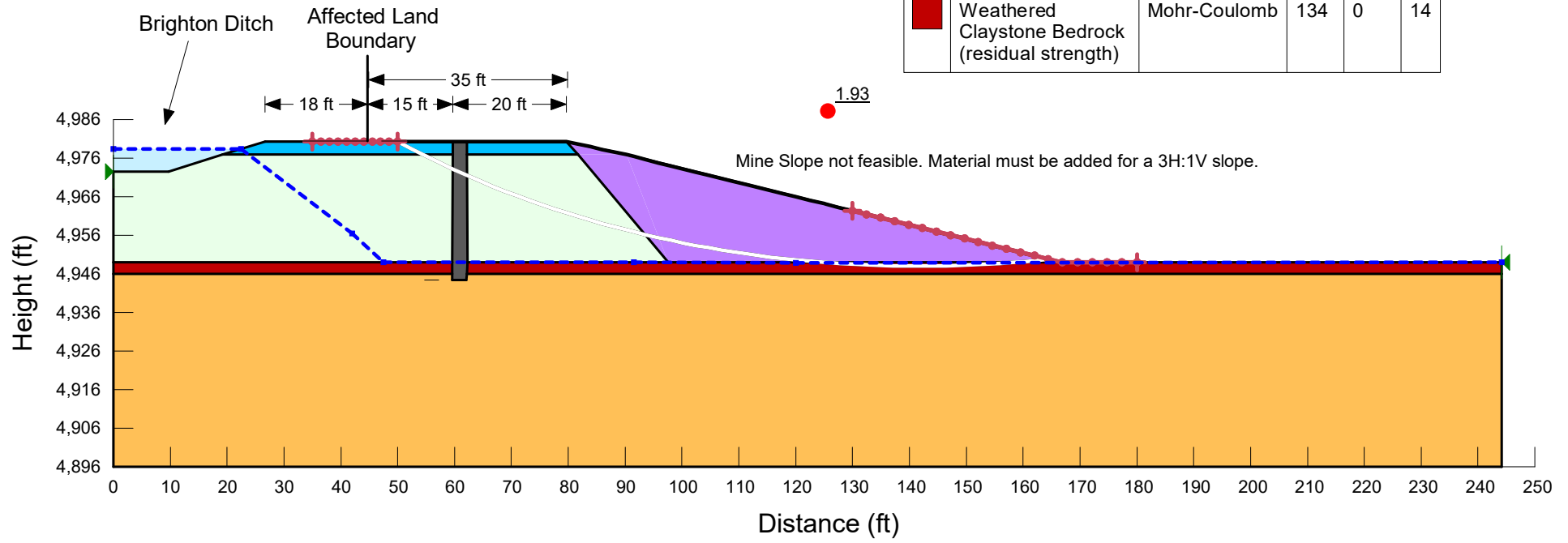
Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - BRIGHTON DITCH







|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

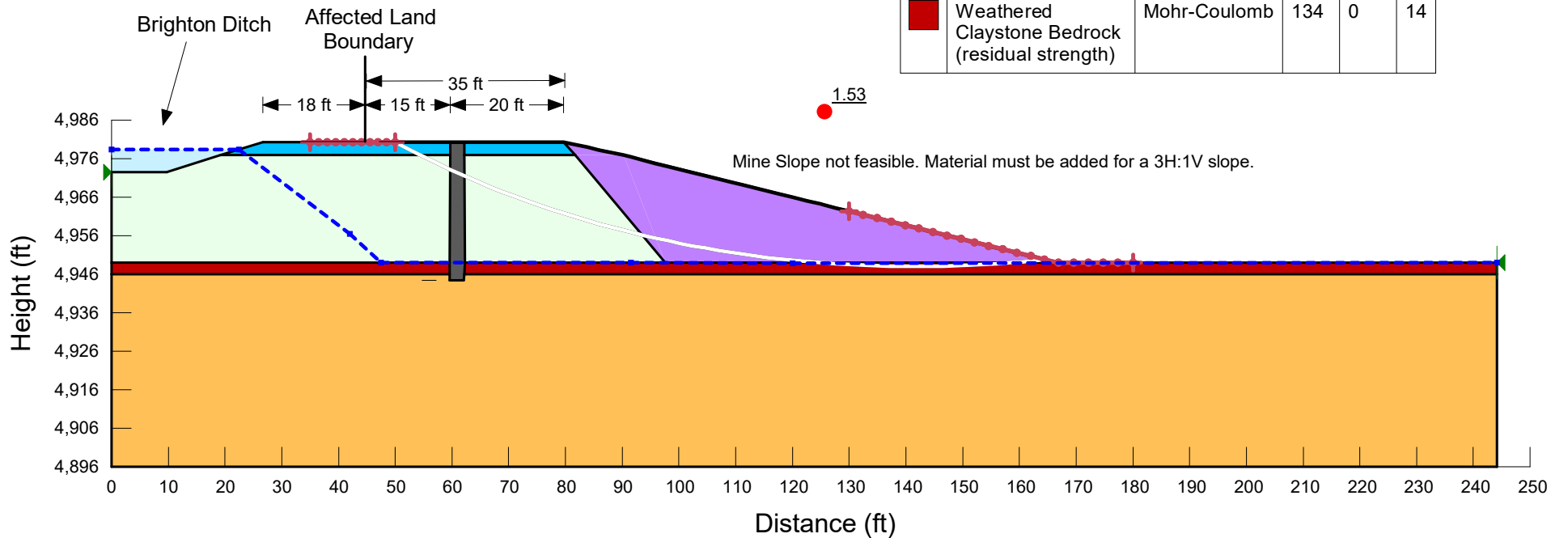


**Figure G-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - BRIGHTON DITCH

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








**Figure G-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELL (EAST)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

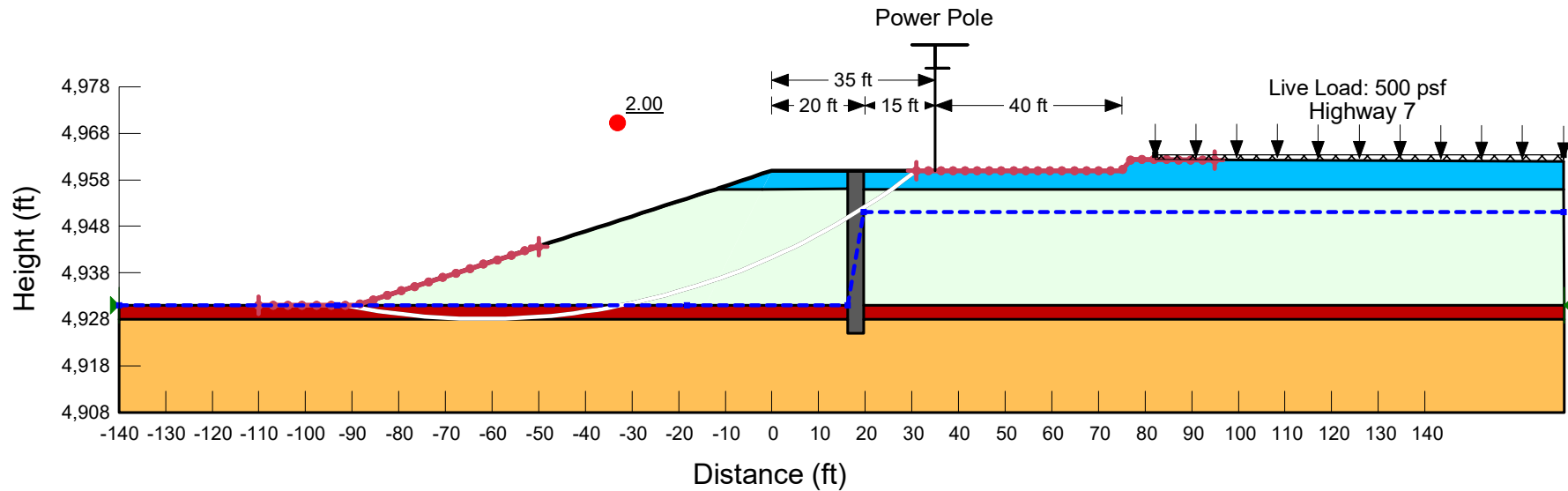








Figure H-1 - Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELL (EAST)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

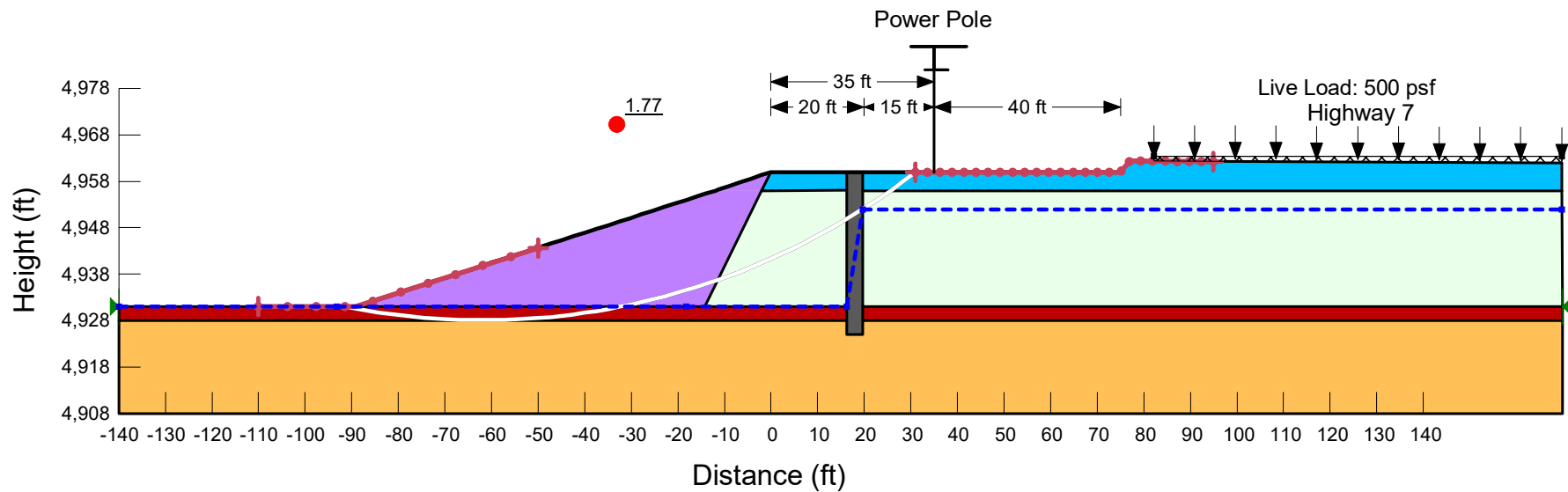







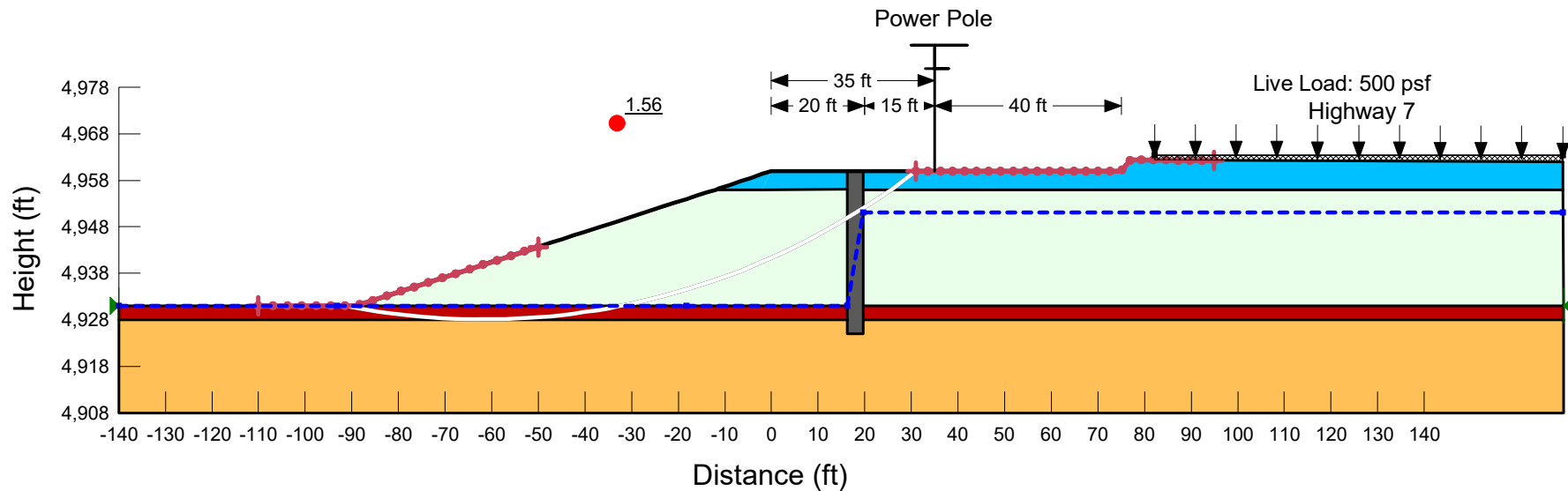
Figure H-1 - Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELL (EAST)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure H-2 - Pseudostatic Analysis**

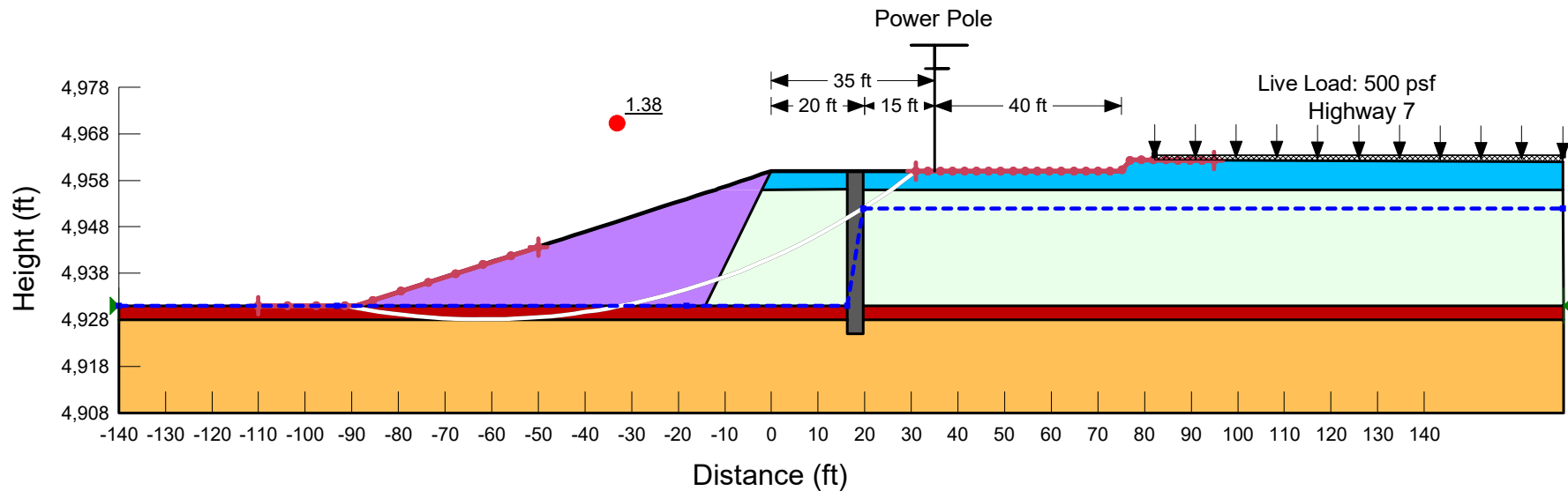
Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELL (EAST)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |



**Figure H-2 - Pseudostatic Analysis**






Horizontal Acceleration Coefficient: 0.067g

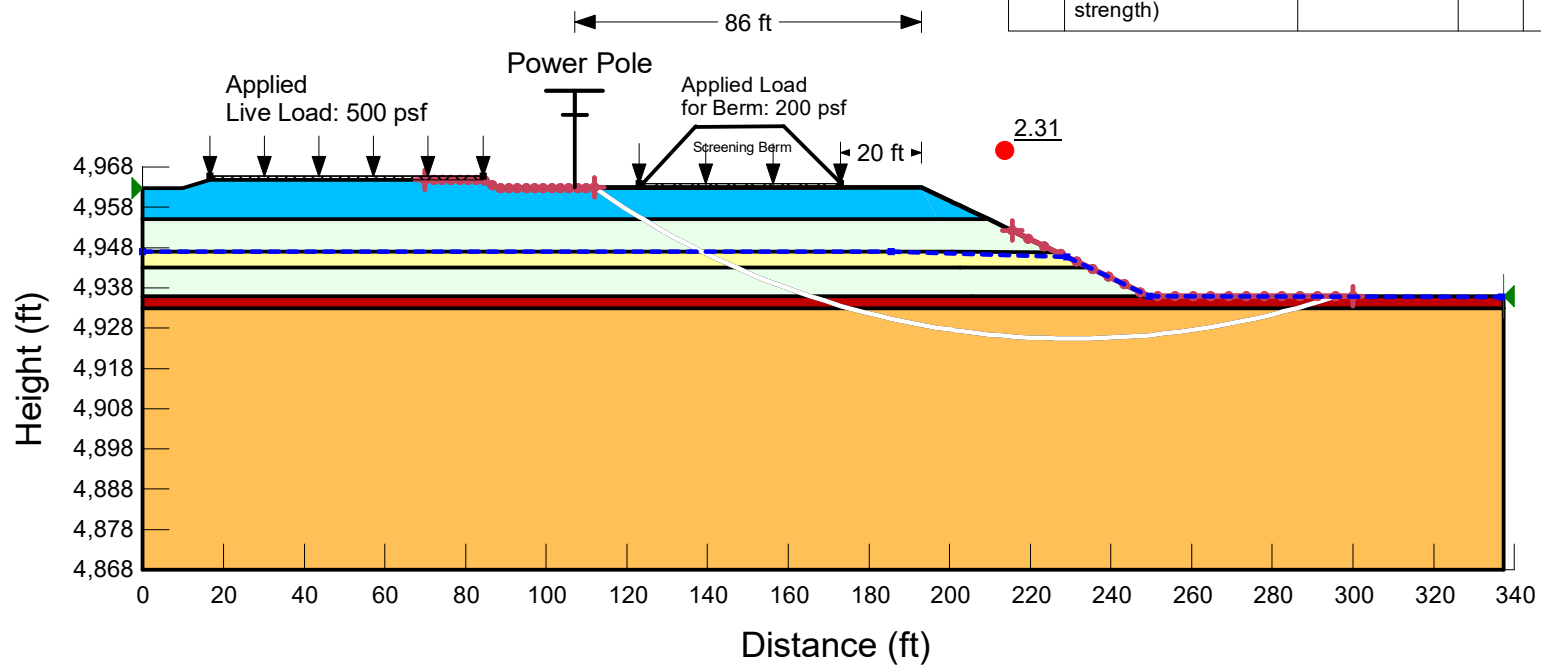




# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM SOUTH CELL







|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

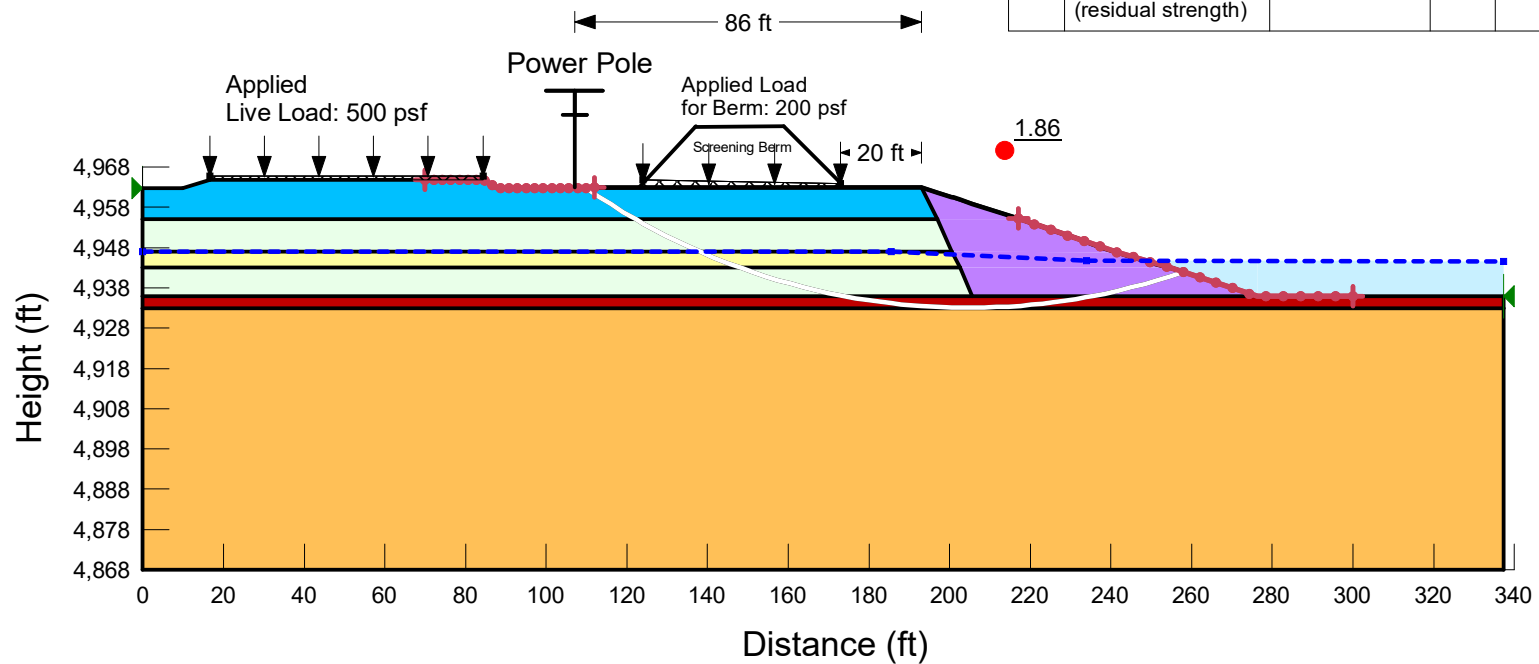


**Figure I-1 - Static Analysis with High Phreatic Surface**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM SOUTH CELL

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








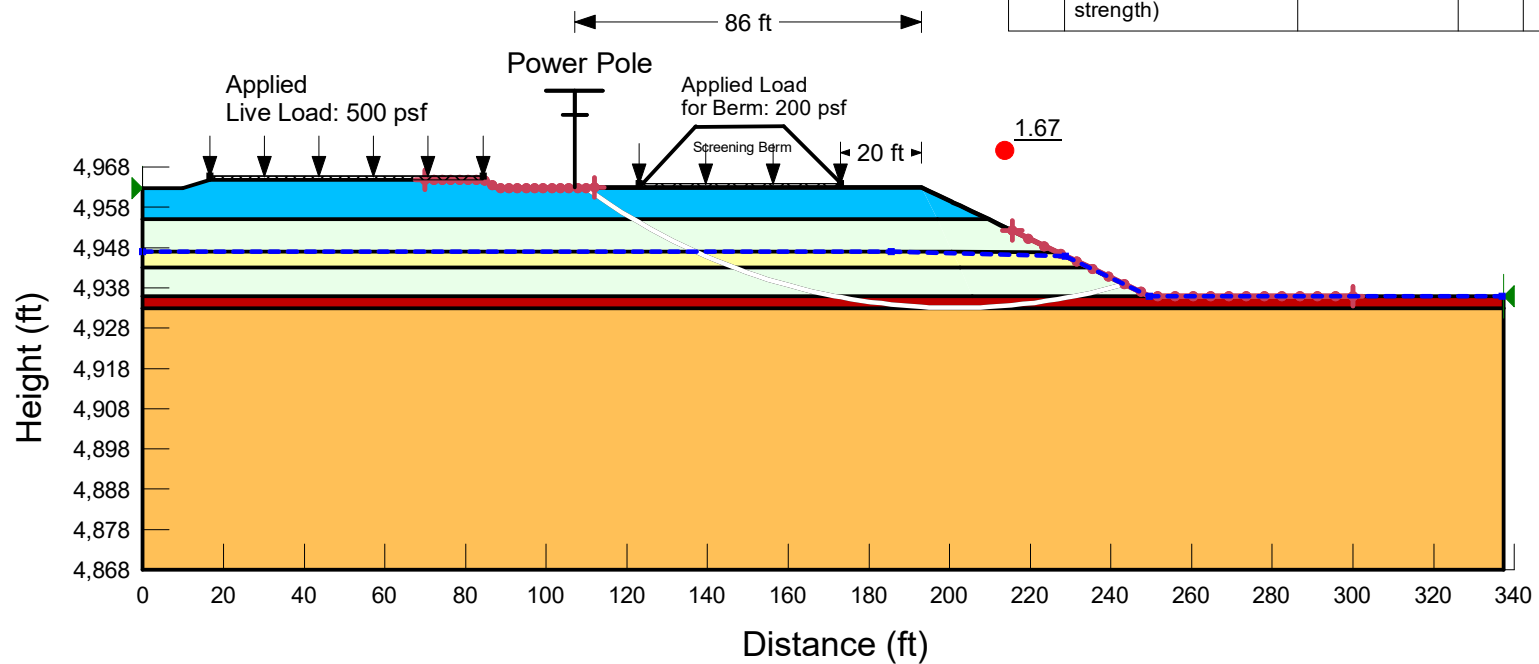
**Figure I-2 - Pseudostatic Analysis with High Phreatic Surface**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM SOUTH CELL

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure I-2 - Pseudostatic Analysis with High Phreatic Surface**

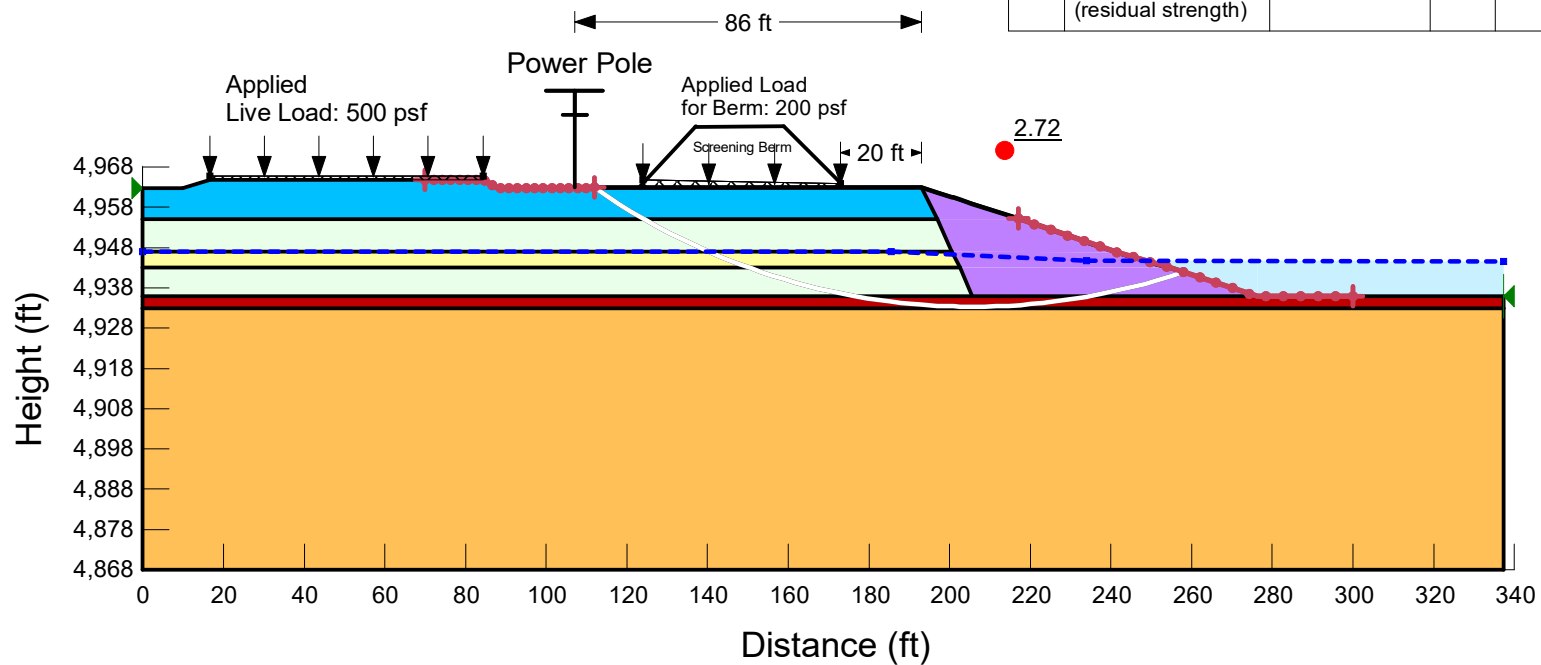
Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM SOUTH CELL






|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

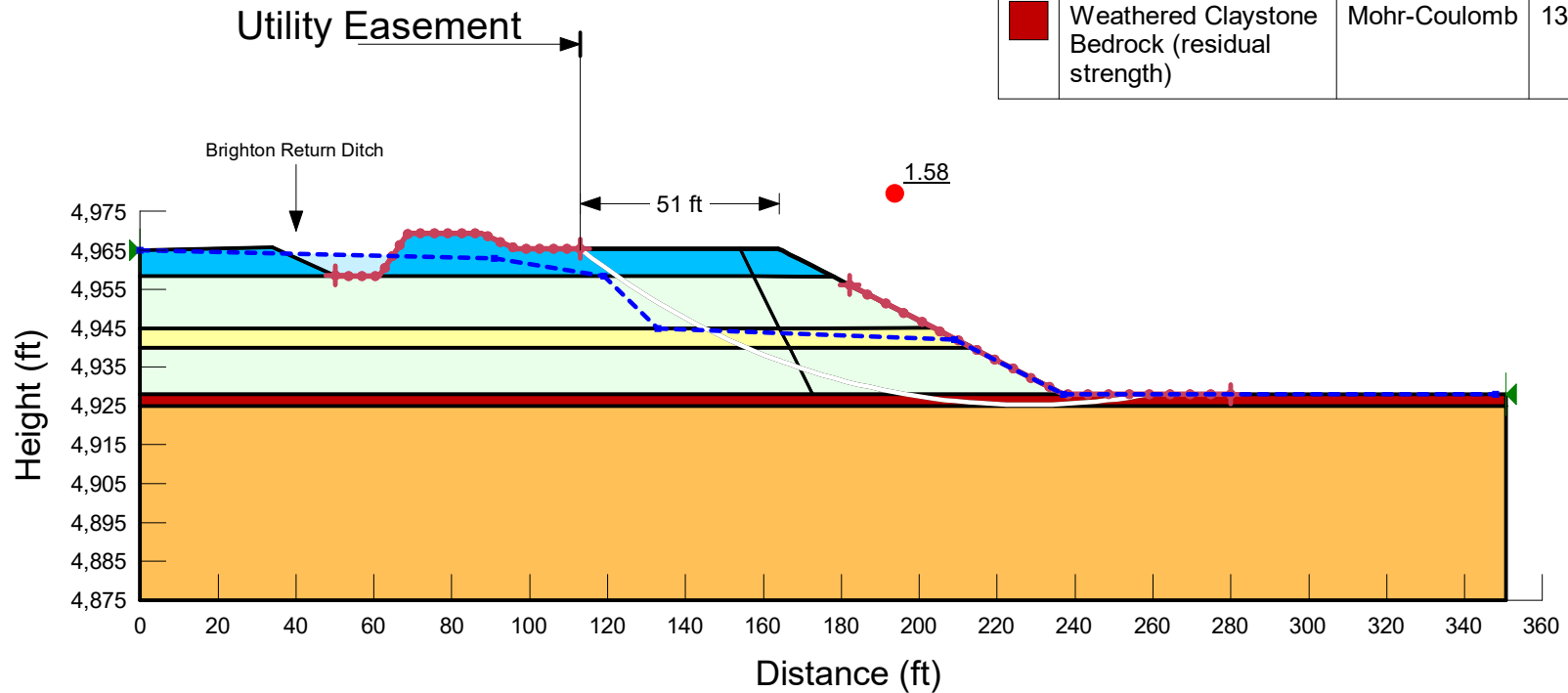


**Figure I-1 - Static Analysis with High Phreatic Surface**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - BRIGHTON RETURN DITCH

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









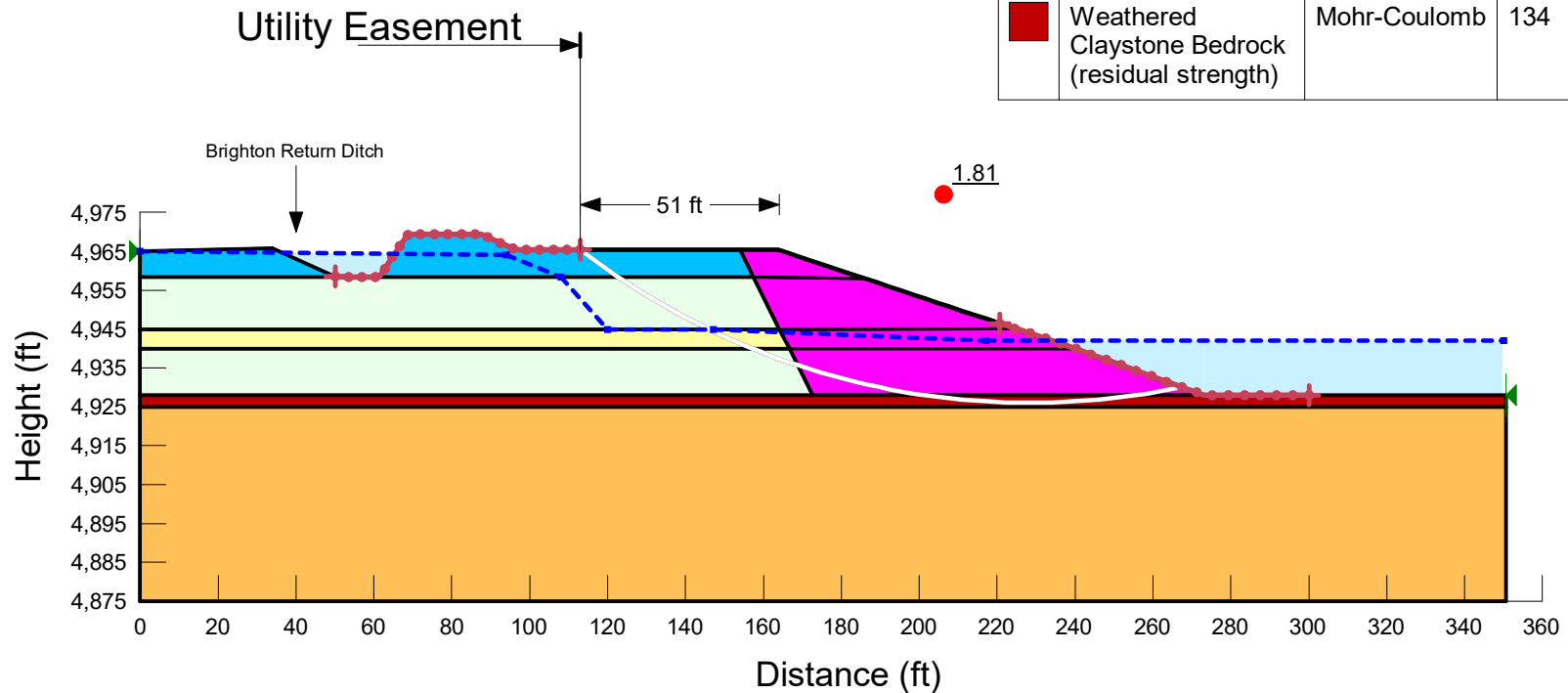
**Figure J-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - BRIGHTON RETURN DITCH






|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

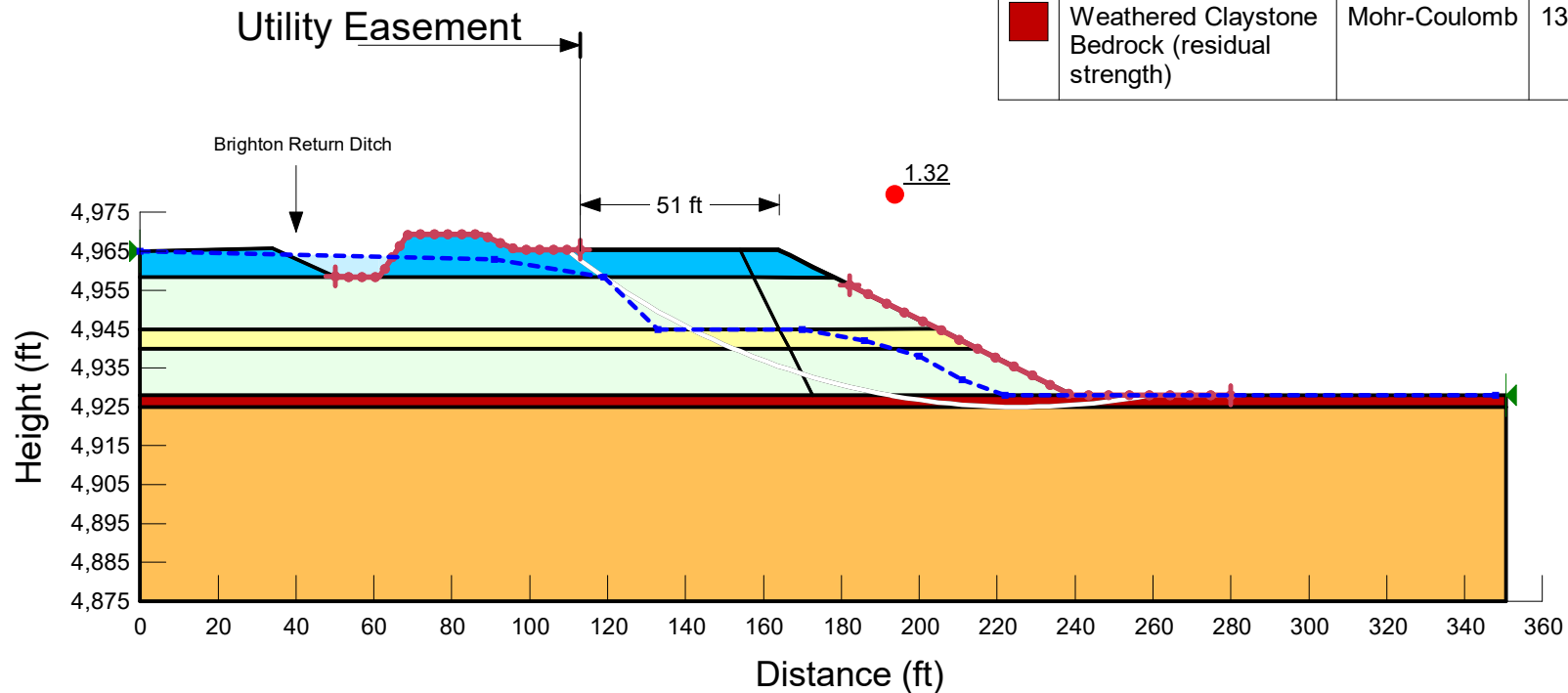


**Figure J-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - BRIGHTON RETURN DITCH

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |



**Figure J-2 - Pseudostatic Analysis with Mine Slope- Lowered Phreatic Surface**







Horizontal Acceleration Coefficient: 0.067g

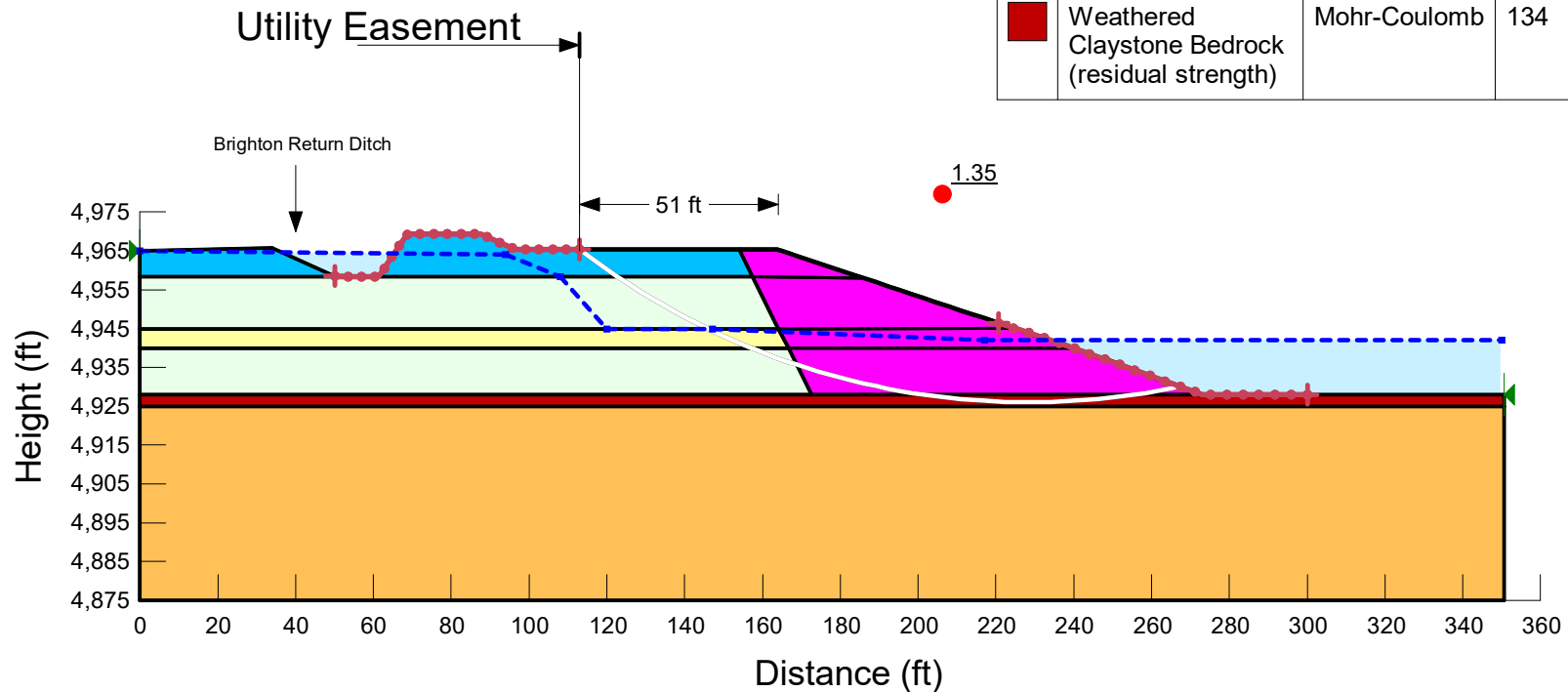




# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - BRIGHTON RETURN DITCH

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








**Figure J-2 - Pseudostatic Analysis with Mine Slope- Lowered Phreatic Surface**

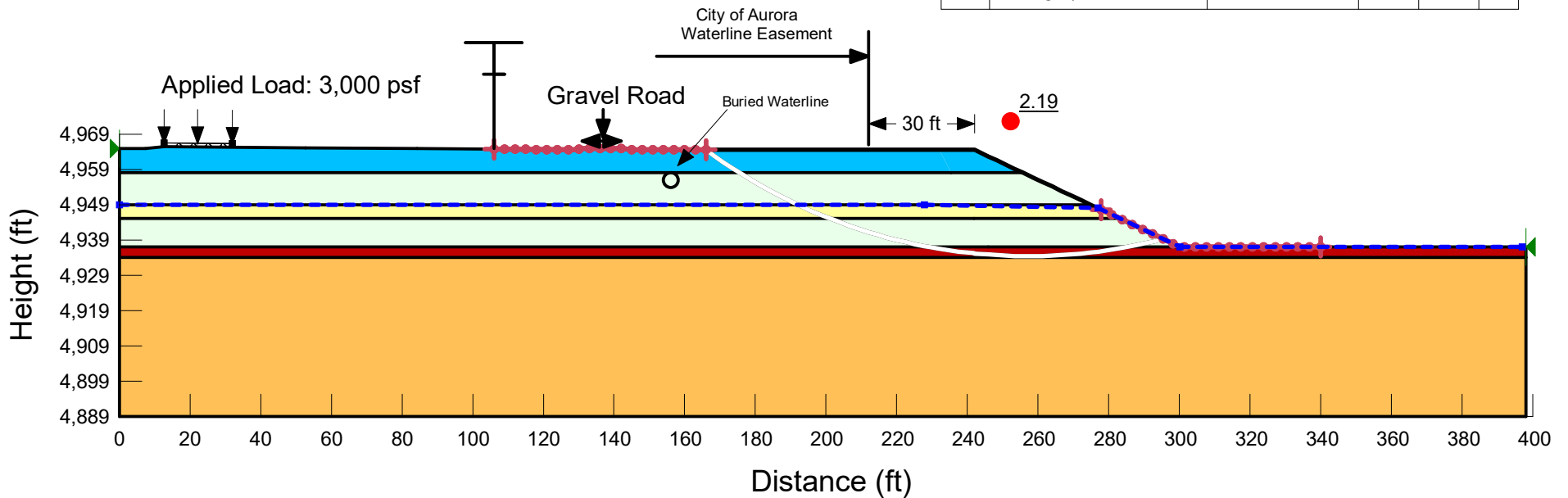
Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - GRAVEL ROAD/BUILDING

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure K-1 - Static Analysis with High Phreatic Surface**



TETRA TECH

# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - GRAVEL ROAD/BUILDING

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

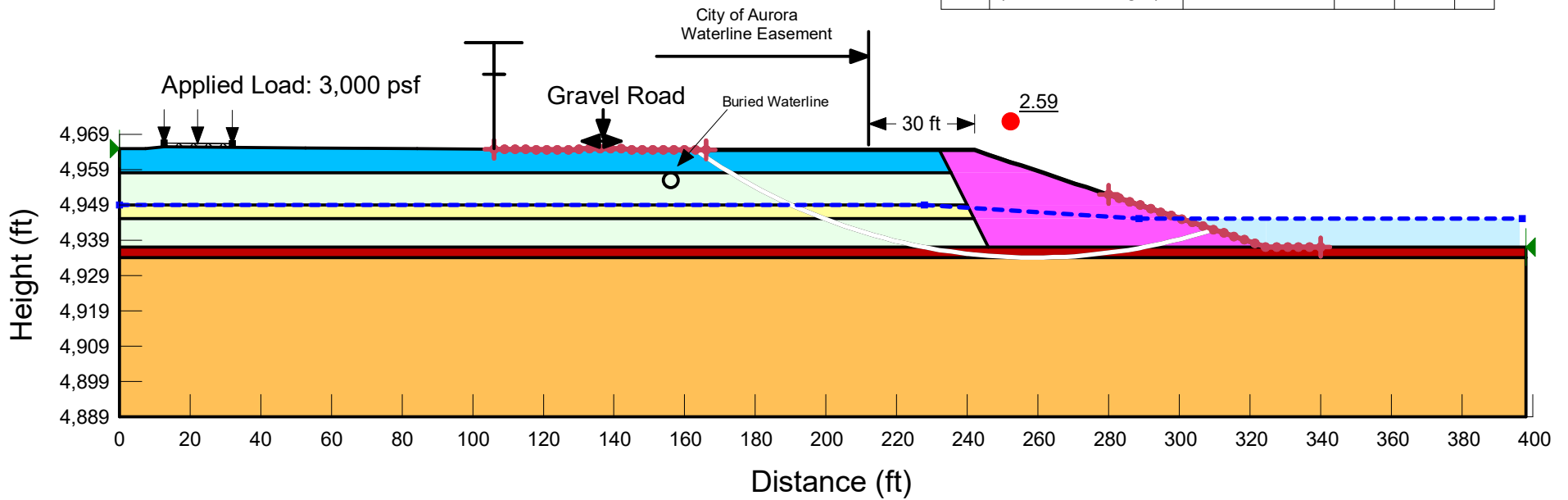







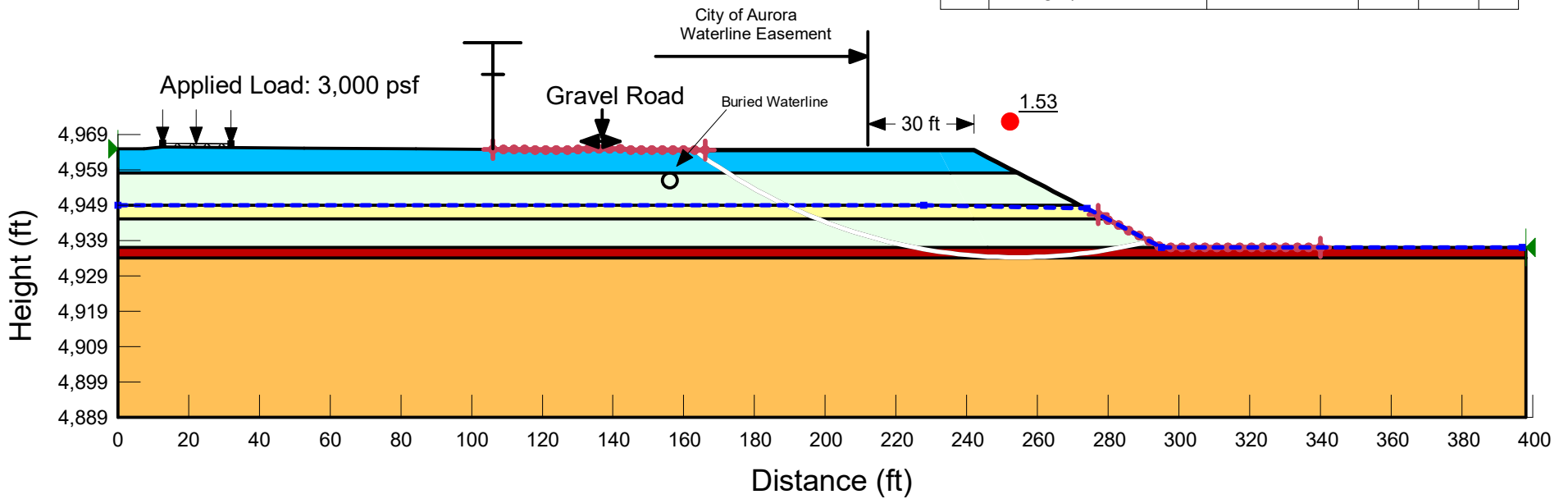
Figure K-1 - Static Analysis with High Phreatic Surface



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - GRAVEL ROAD/BUILDING

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure K-2 - Pseudostatic Analysis with High Phreatic Surface**

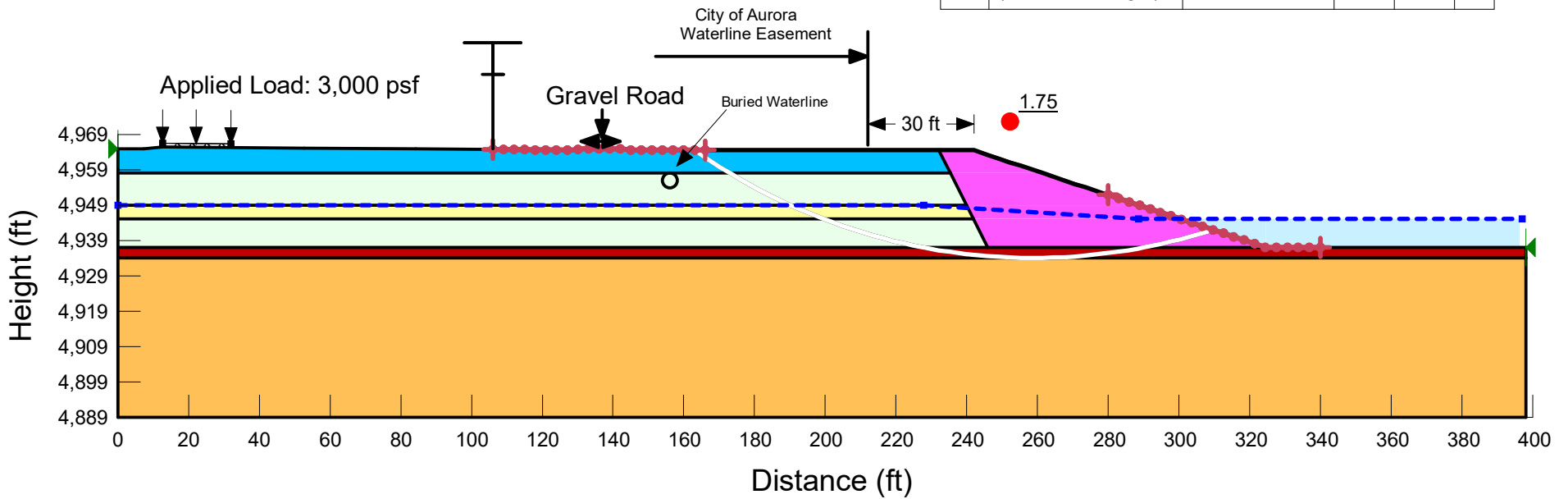
Horizontal Acceleration Coefficient: 0.067g



TETRA TECH

# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - GRAVEL ROAD/BUILDING

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure K-2 - Pseudostatic Analysis with High Phreatic Surface**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - CHALLENGER PIT

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

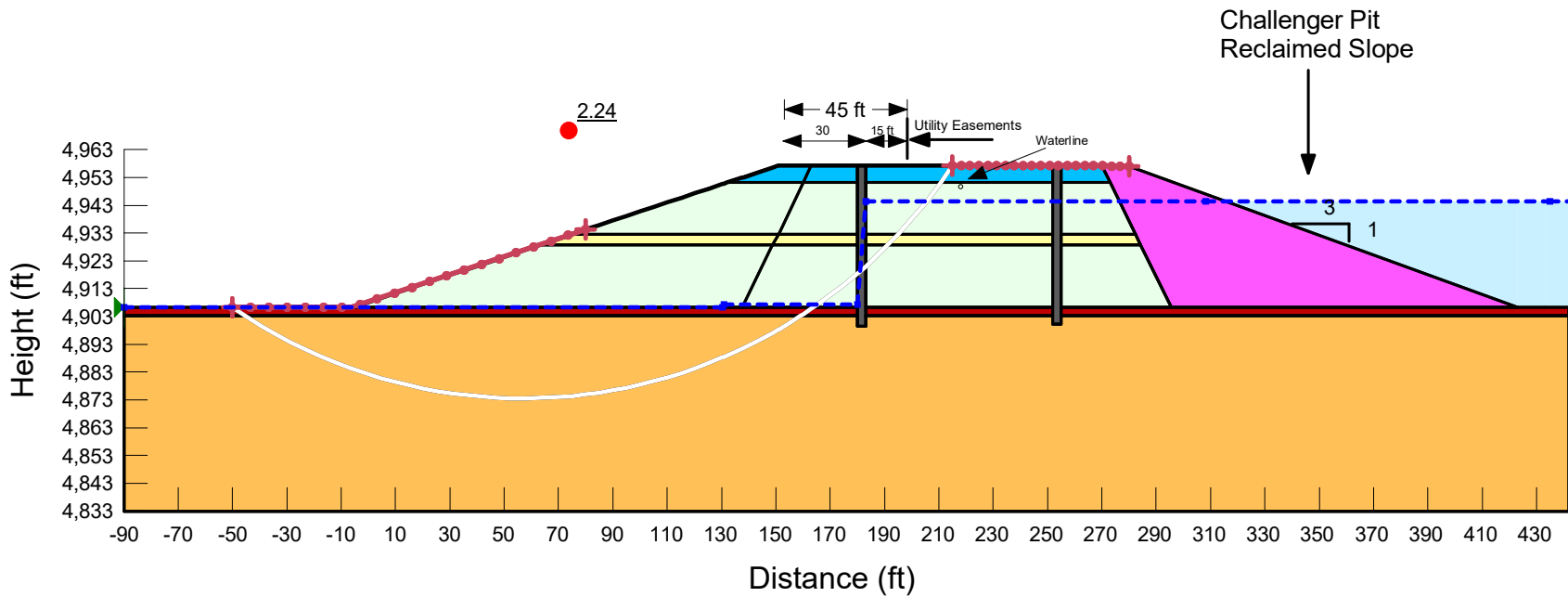







Figure L-1 - Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - CHALLENGER PIT

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

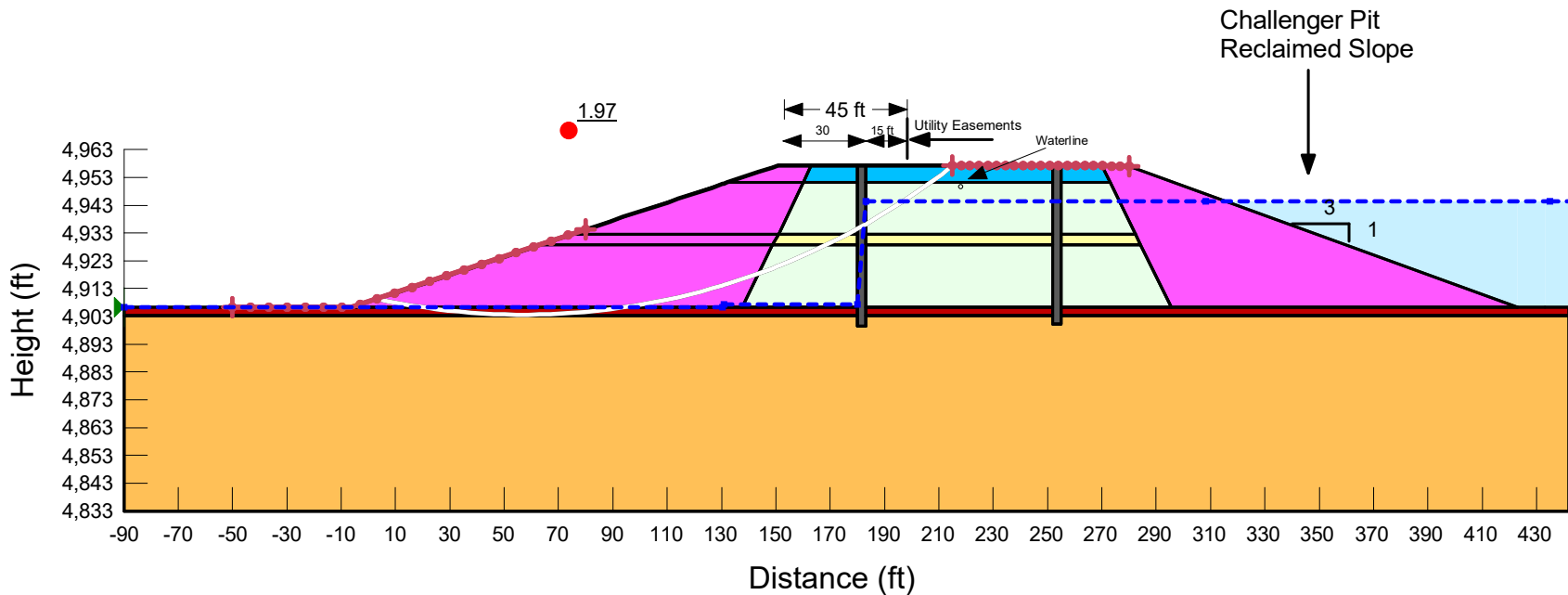








Figure L-1 - Static Analysis

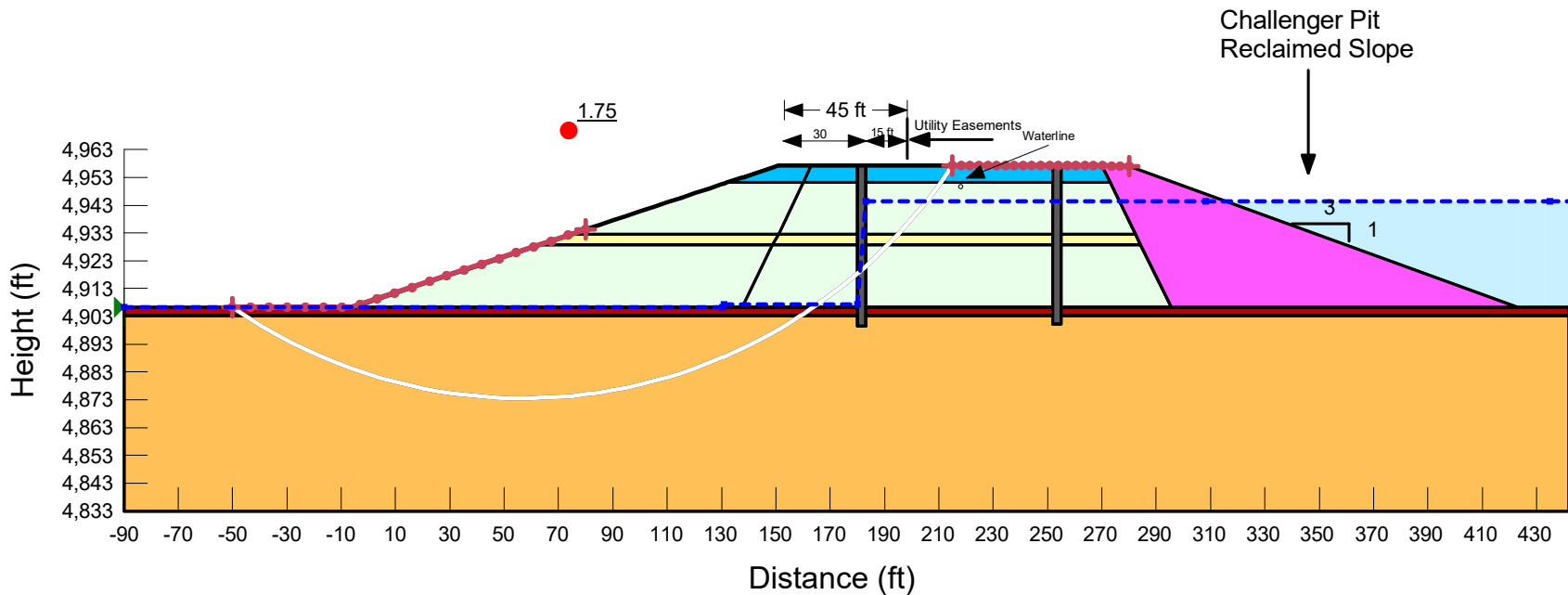




# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - CHALLENGER PIT

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |






**Figure L2 - Pseudostatic Analysis**

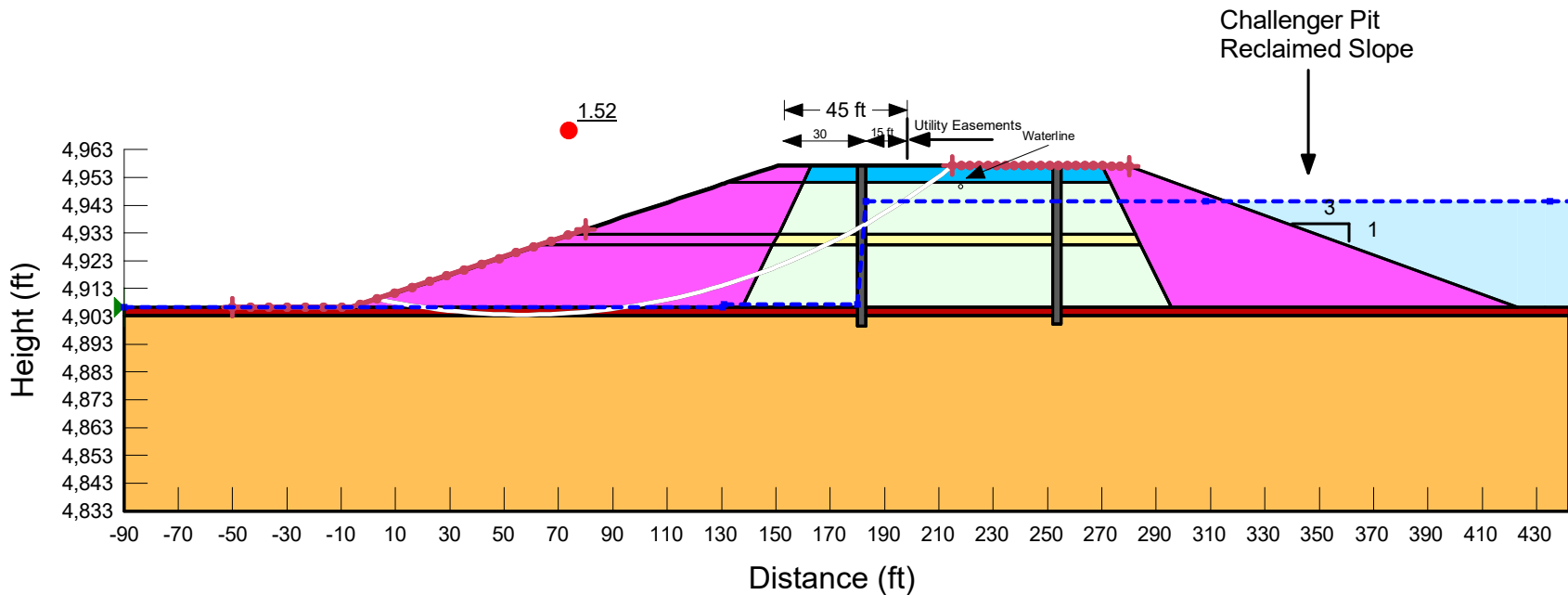
Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - CHALLENGER PIT

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |








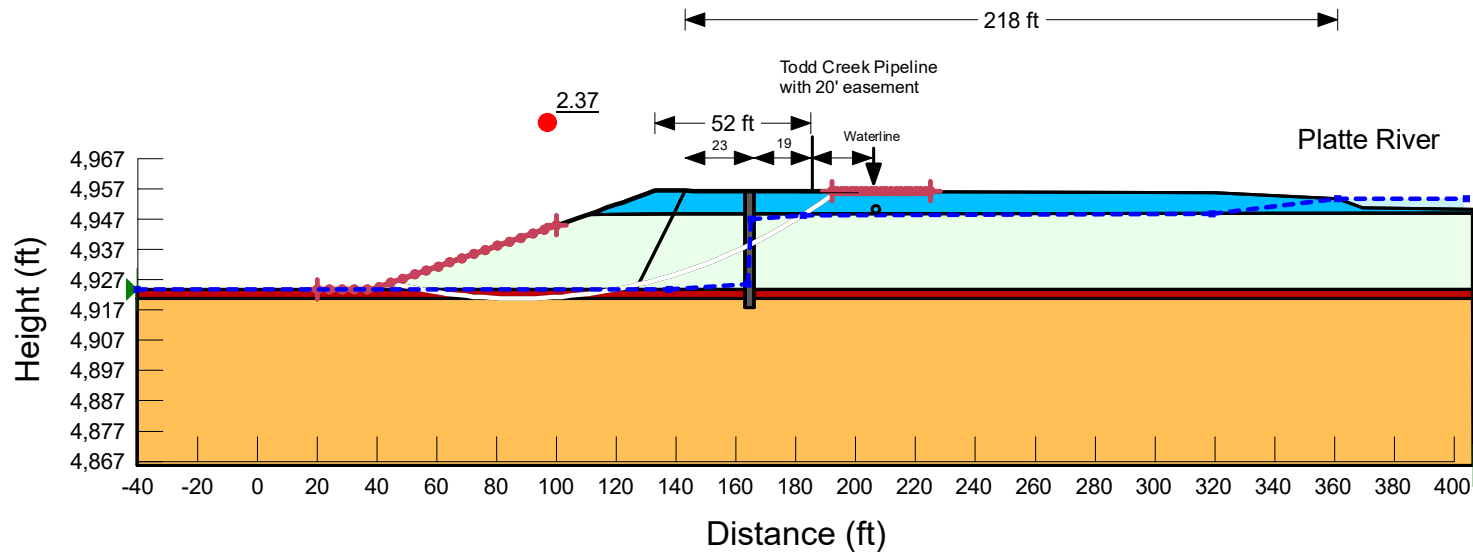
**Figure L2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (EAST SIDE OF EAST CELL)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









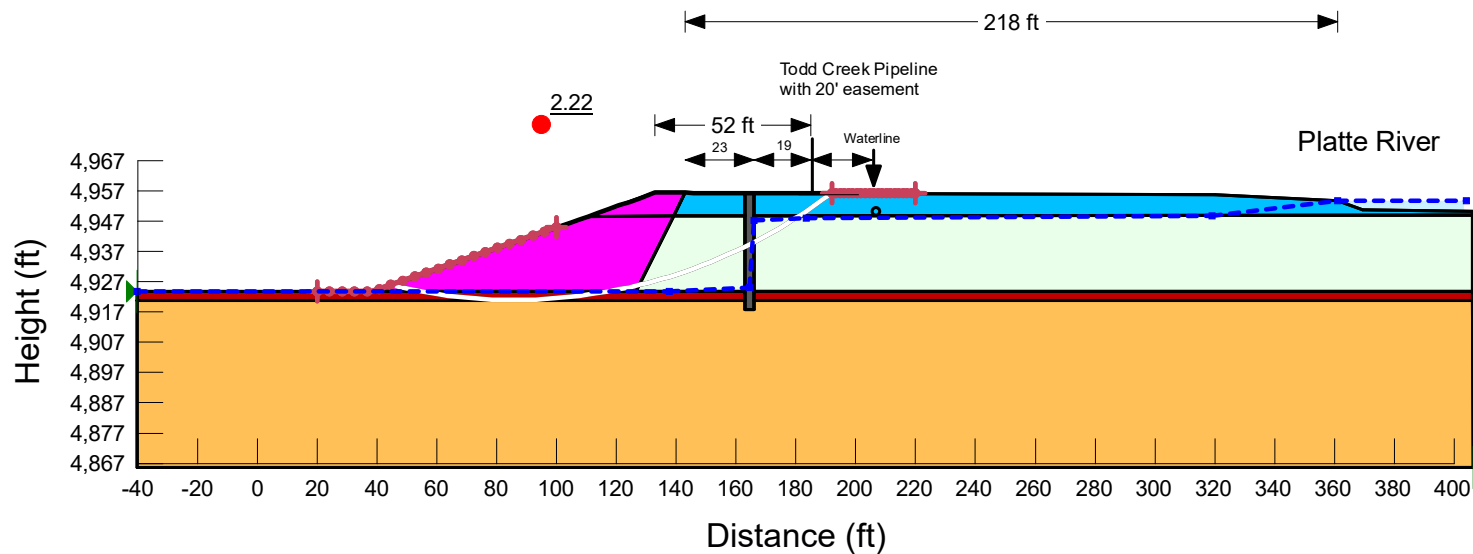
**Figure M-1- Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - PIPELINE (EAST SIDE OF EAST CELL)






|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

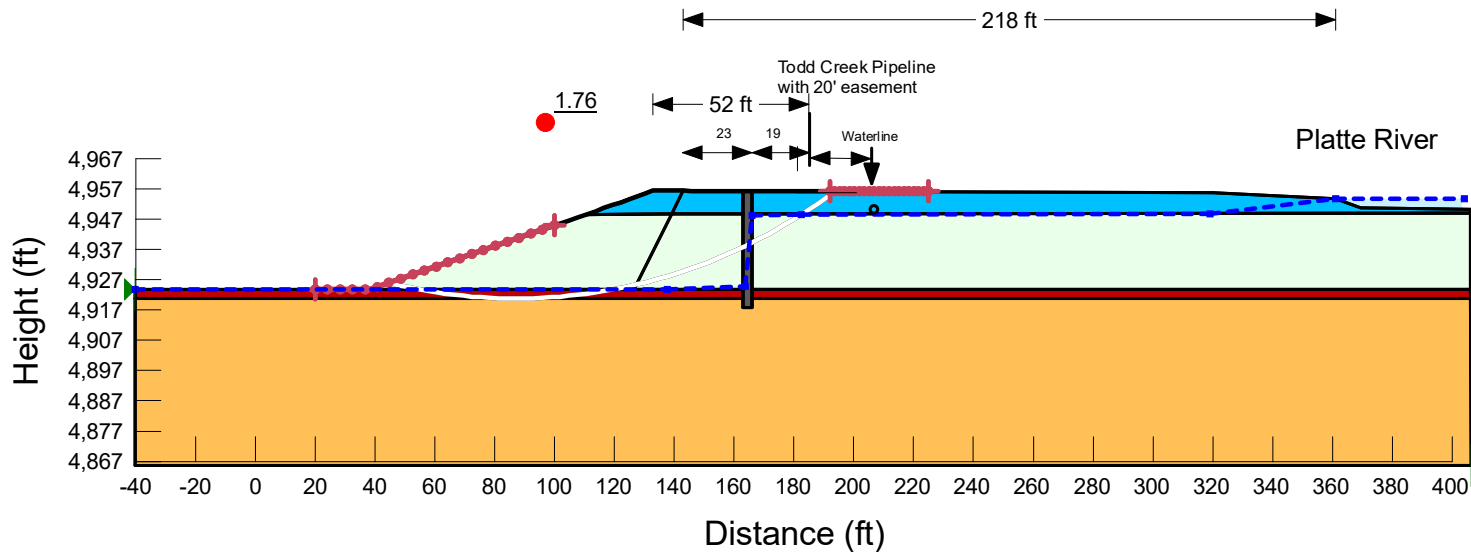


**Figure M-1- Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (EAST SIDE OF EAST CELL)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









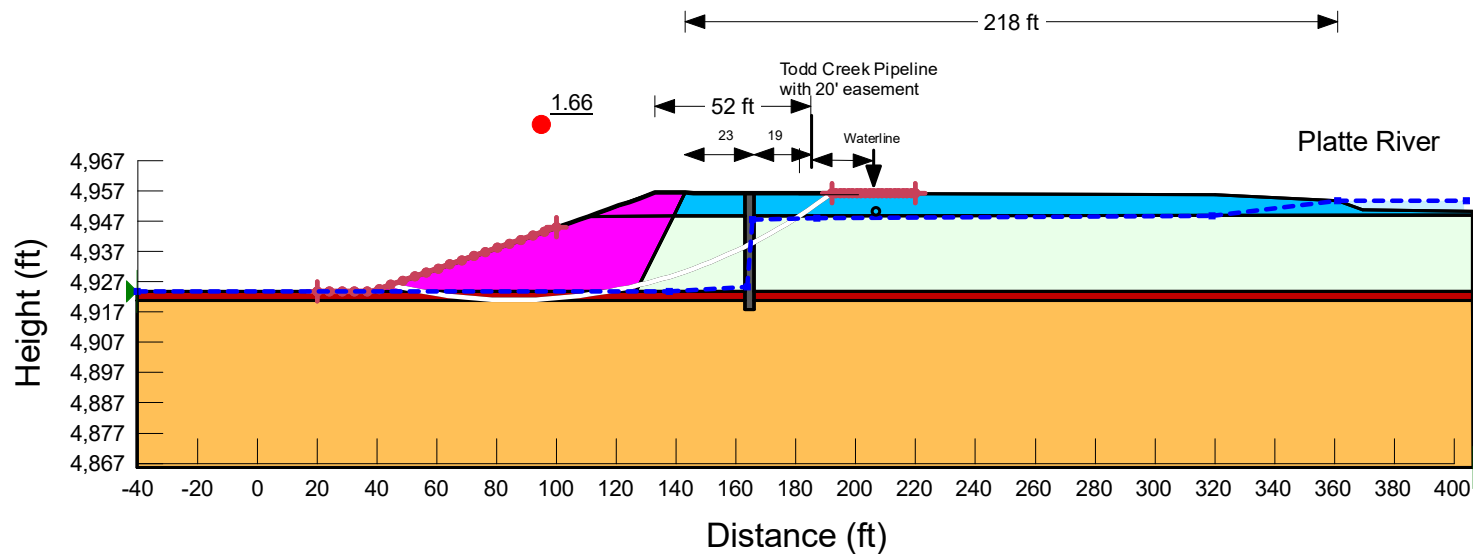
**Figure M-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - PIPELINE (EAST SIDE OF EAST CELL)

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Reclamation Slope Fill                          | Mohr-Coulomb | 126   | 25    | 26  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |









**Figure M-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS

## SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELLS - WEST

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

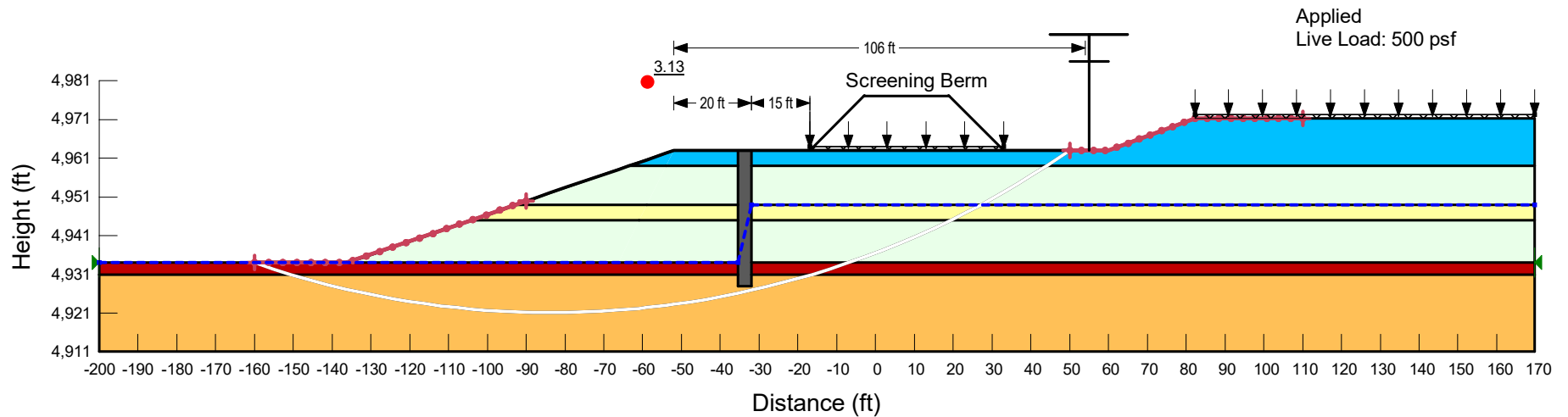









Figure N-1- Static Analysis





# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELLS - WEST

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

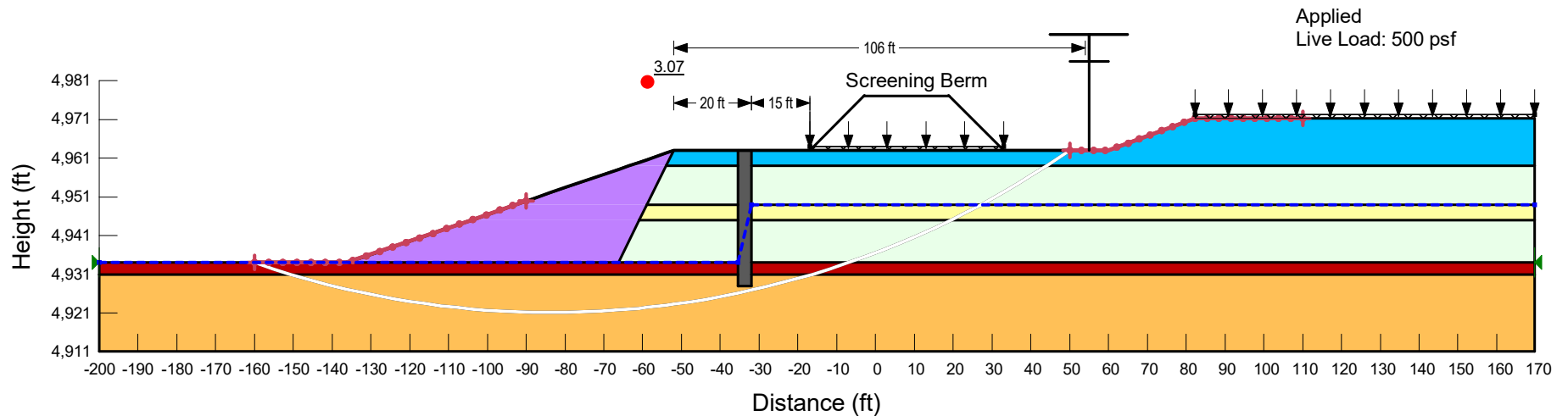






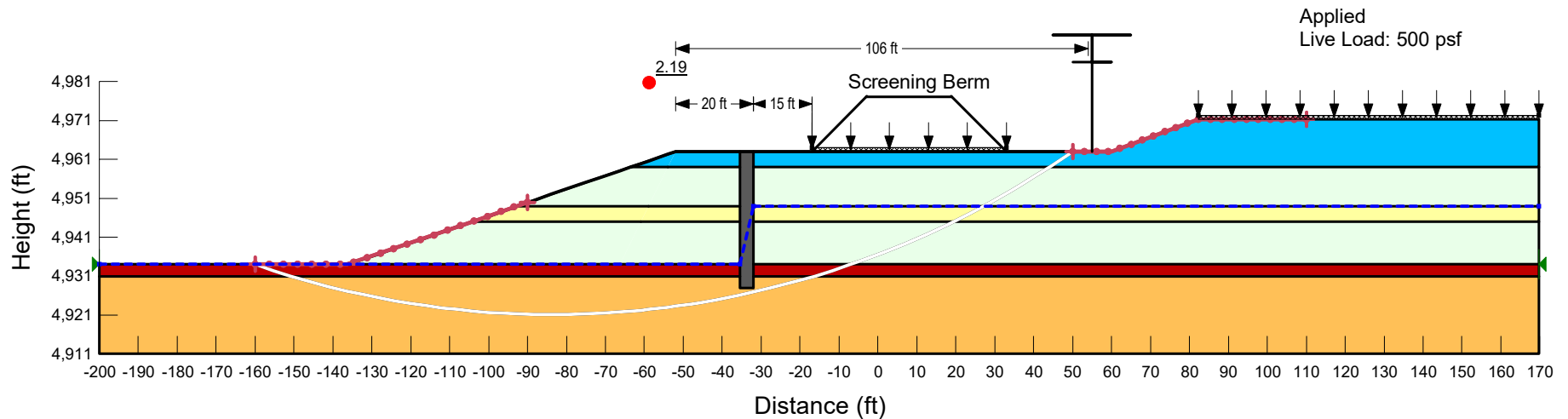


Figure N-1- Static Analysis



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELLS - WEST

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |










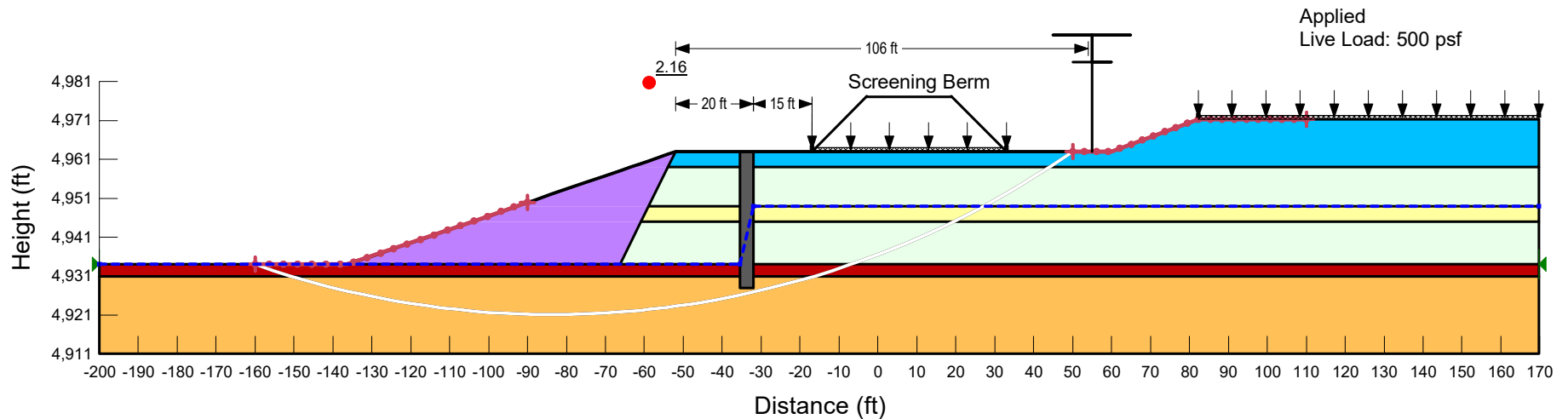
**Figure N-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - HIGHWAY 7 FROM NORTH CELLS - WEST

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Fill                                            | Mohr-Coulomb | 126   | 25    | 26  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

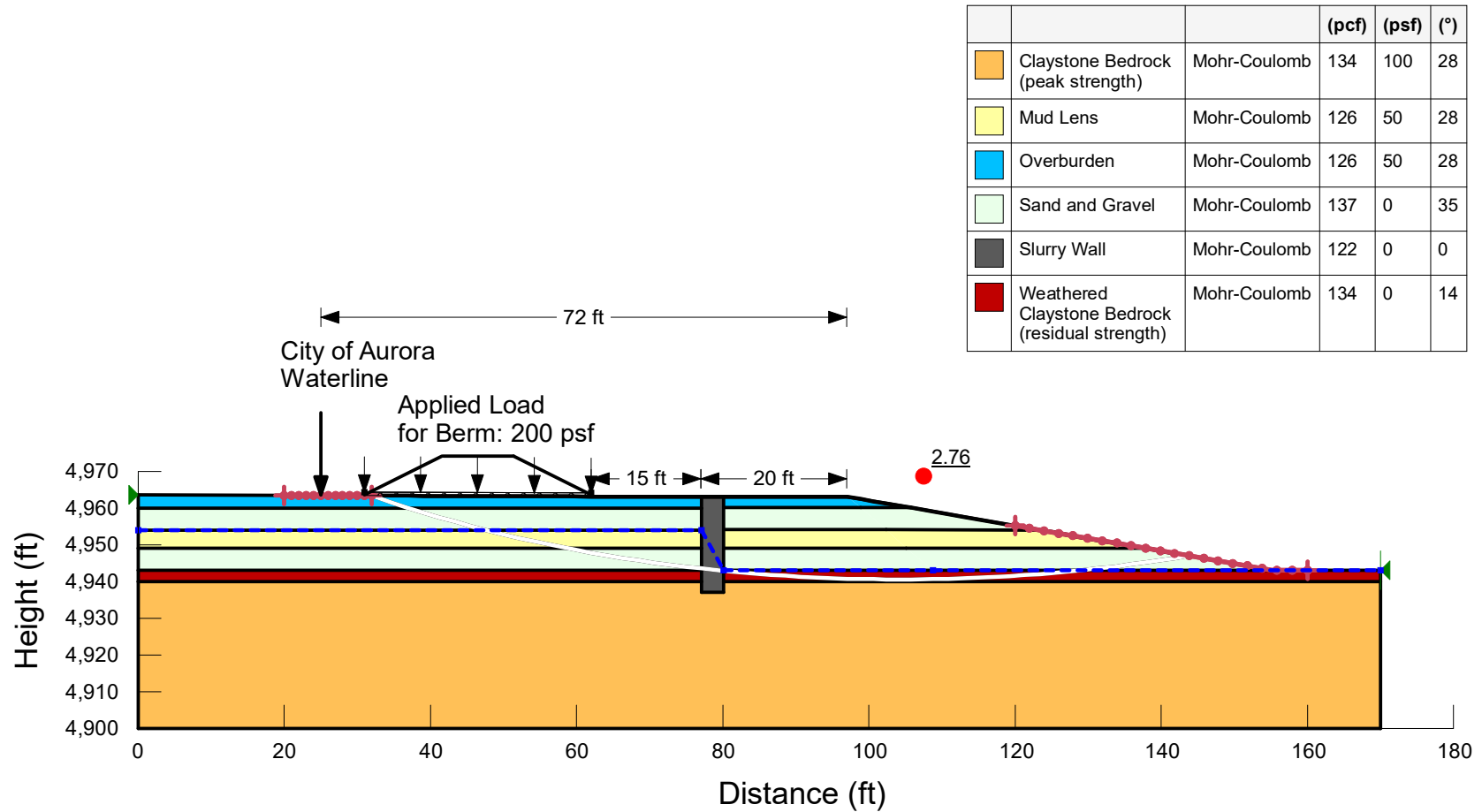


**Figure N-2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



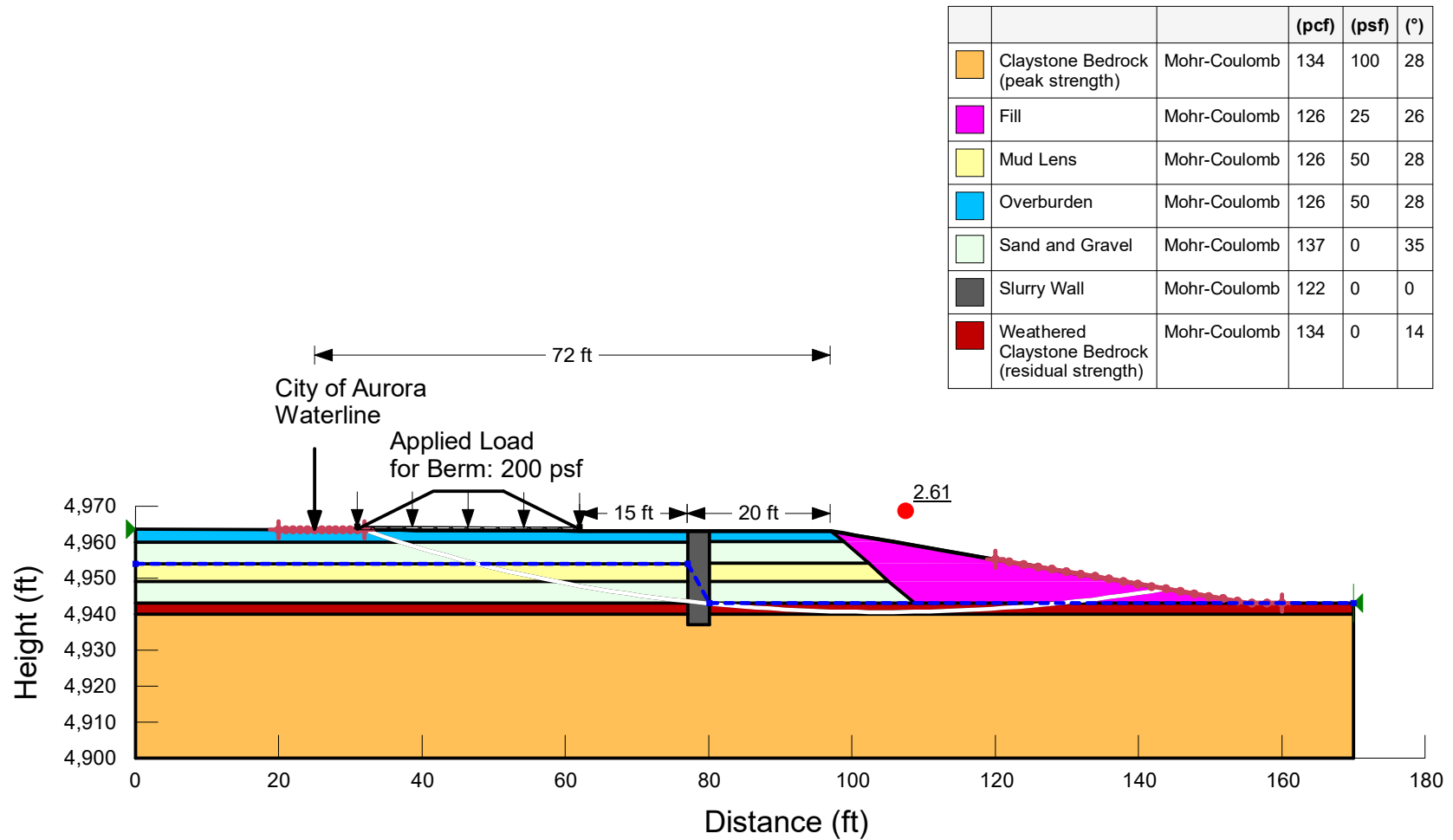
# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - CITY OF AURORA WATERLINE



**Figure O-1 - Static Analysis**









# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - CITY OF AURORA WATERLINE

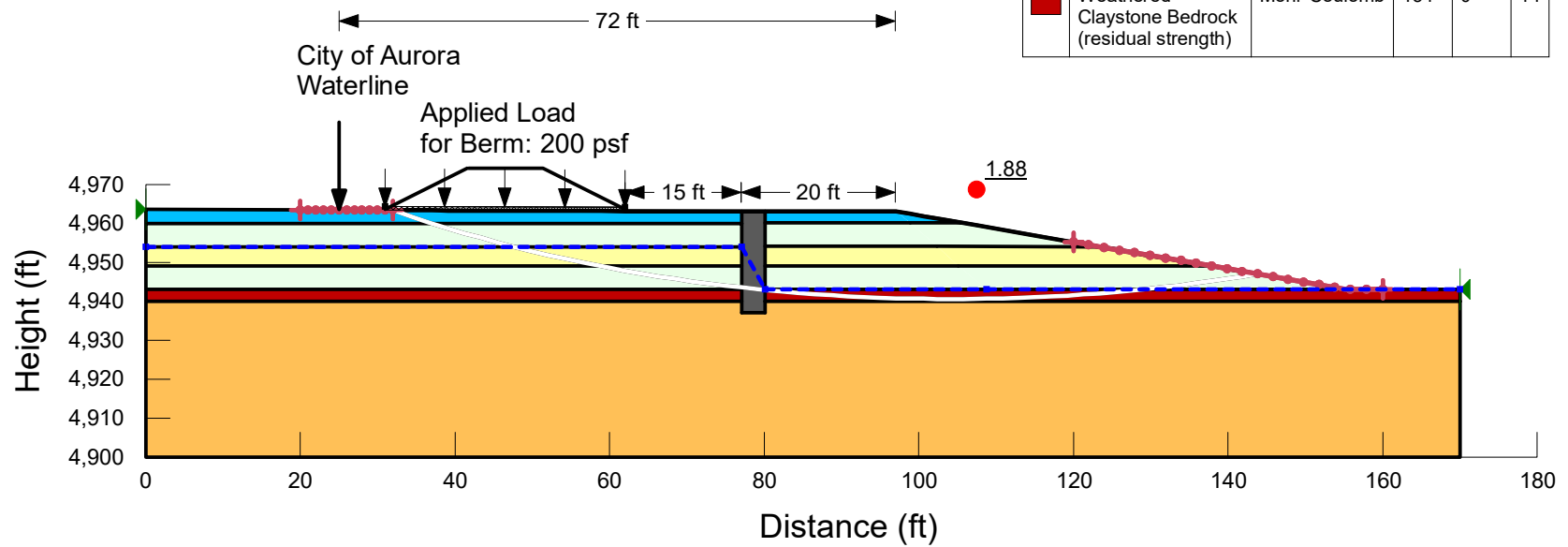


**Figure O-1 - Static Analysis**



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - CITY OF AURORA WATERLINE

|                                                                                     |                                                 |              | (pcf) | (psf) | (°) |
|-------------------------------------------------------------------------------------|-------------------------------------------------|--------------|-------|-------|-----|
|  | Claystone Bedrock (peak strength)               | Mohr-Coulomb | 134   | 100   | 28  |
|  | Mud Lens                                        | Mohr-Coulomb | 126   | 50    | 28  |
|  | Overburden                                      | Mohr-Coulomb | 126   | 50    | 28  |
|  | Sand and Gravel                                 | Mohr-Coulomb | 137   | 0     | 35  |
|  | Slurry Wall                                     | Mohr-Coulomb | 122   | 0     | 0   |
|  | Weathered Claystone Bedrock (residual strength) | Mohr-Coulomb | 134   | 0     | 14  |

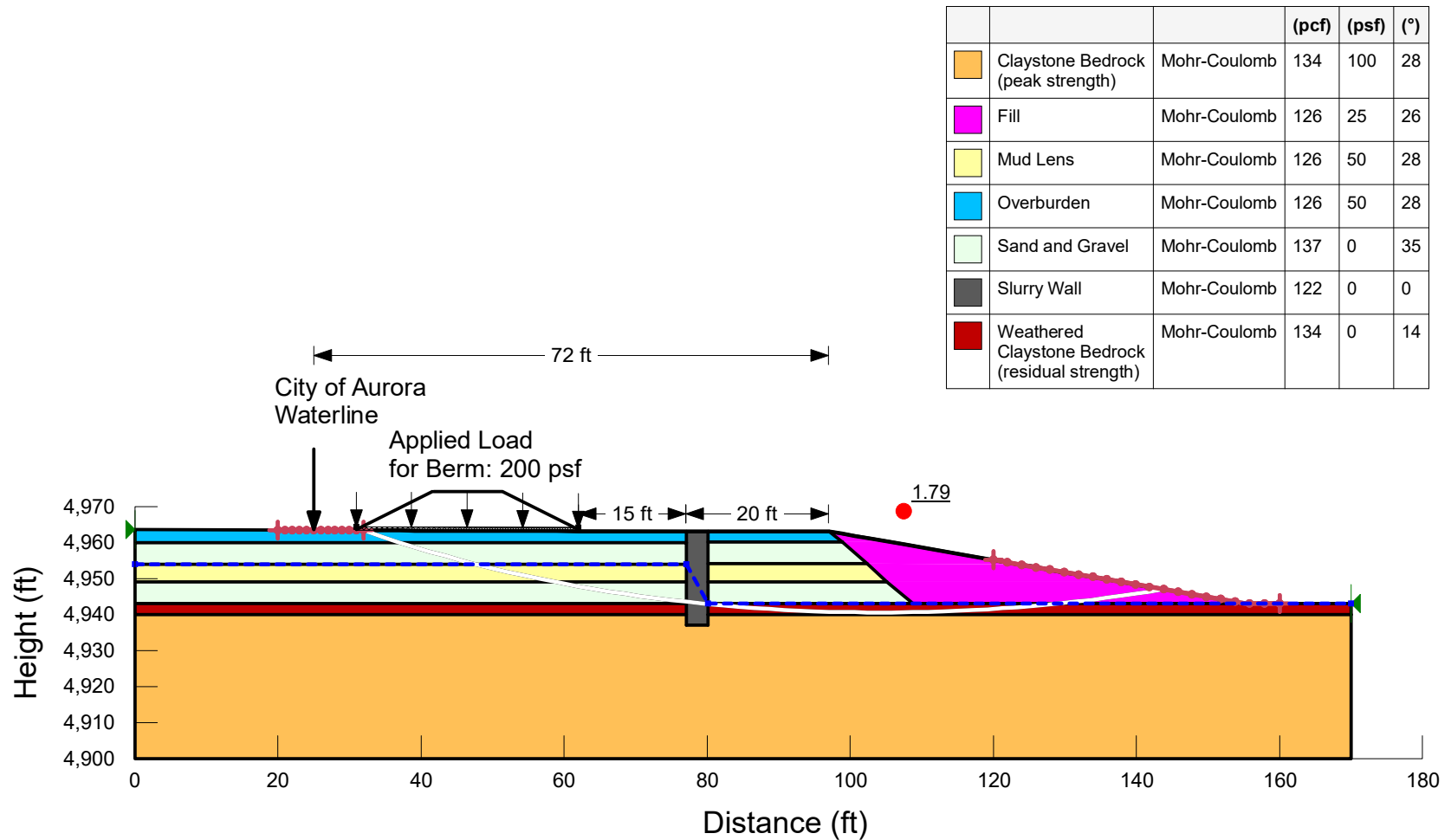


**Figure O2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



# TUCSON SOUTH PROPOSED GRAVEL MINE STABILITY ANALYSIS SLOPE STABILITY ANALYSIS - CITY OF AURORA WATERLINE



**Figure O2 - Pseudostatic Analysis**

Horizontal Acceleration Coefficient: 0.067g



Community & Economic  
Development Department  
www.adcogov.org



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1st Floor, Suite W2000  
Brighton, CO 80601-8204  
PHONE 720.523.6800  
FAX 720.523.6998

## **Development Review Team Comments**

**Date:** 10/27/2020

**Project Number:** EXG2020-00001

**Project Name:** Tucson South

---

**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 10/27/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 10/27/2020

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

PLN01: Page C-5 of the site plan shows some overlap of stockpile areas and flood districts. Please make a modification to fix that.

PLN02: What are the proposed height of the berms?

PLN03: What is the height of the above-ground conveyor?

PLN04: The site plans do not indicate the location of the proposed fence.

PLN05: Where will the proposed employee parking areas be located? What will; be the surface area? Please indicate this on the site plan, and show that the parking areas will conform to parking space requirements.

PLN06: If the slurry wall is not proposed for the Tucson Street right-of-way, then Note 11 on Page C-1 needs to be removed. If it is planned for the ROW, then please let us know because we do not currently see any proposed overlapping.

---

**Commenting Division:** Environmental Analyst Review 2nd Review

**Name of Reviewer:** Katie Keefe

**Date:** 10/20/2020

**Email:**

**Resubmittal Required**

ENV1. The applicant must either establish a permanent, dedicated setback from the existing plugged & abandoned well or provide written documentation from the well owner, Great Western Operating Company, demonstrating the well will be plugged and removed to a depth below the lowest excavation elevation.

---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Matthew Emmens

**Date:** 10/15/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

Review complete with comments. See doc # 6112355. Re-submittal required.

---

**Commenting Division:** Application Intake 2nd Review

**Name of Reviewer:** Kevin Mills

**Date:** 09/24/2020

**Email:**

**Complete**

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**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/08/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

PLN01: The application is for a Conditional Use Permit within the A-1 zone district with NRCO overlay to allow for extraction use. The site is heavily impacted by floodplain and floodway.

PLN02: My apologies if my comments are already addressed in your submittal. When over 900 pages of material is submitted, it becomes difficult for the public, agencies, and our staff to adequately review the information. Please consider being more concise and remove duplicate information from your resubmittal.

PLN03: I would like to see a summarized description of process and timeline. You say that there will be no trucking, yet there are hauling roads. Clearly some hauling has to occur to construct the berms. What is the timing of berm installation? Timing of conveyor installation? Are there metrics that will be met to ensure the eight year timeline?

PLN04: What happens in 2028 if the work isn't done? What guarantees can be placed to ensure that promises are being kept?

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PLN06: After reclamation, how will landscaping be irrigated and maintained?

PLN07: Criterion #4 of the approval criteria for conditional use permits states that the conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation. Based on the surrounding area, presence of floodplain, and proximity to heavily populated areas into Brighton, there are concerns that this criterion will not be met.

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PLN09: When will conveyor easements be secured and finalized? What is the likelihood that the conveyor will need to be relocated?

PLN10: Is there any opportunities for displacing the floodplain to allow for berming along Highway 7? Can screening be achieved by breakaway fencing?

---

**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Matthew Emmens

**Date:** 09/04/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

Review complete with comments. See doc # 6097935. Re-submittal required.

---

**Commenting Division:** ROW Review

**Name of Reviewer:** Mark Alessi

**Date:** 09/02/2020

**Email:**

**Resubmittal Required**

ROW1: Tucson Street is classified as a collector street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 40 feet (80ft for full street). Submit legal description and exhibit of right of way dedication.

ROW2: The applicant has indicated on the site plan submitted that they will be dedicating additional right of way to bring Tucson Street up to collector width standards.

ROW3: Services of a licensed Professional Land Surveyor should be secured to create the plat.

ROW4: Submit legal description and exhibit of right of way dedication.

---

**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

**Complete**

Recommended Conditions of Approval:

1. The applicant will install two (2) continuous, real-time Particulate Matter (PM) monitors along the southwest and northeast property line that are capable of providing real-time emissions data for PM-2.5, PM-10 and Total-PM to monitor fugitive dust during all project phases including site preparation and active mining.
2. The applicant shall report any documented exceedance of the 24-hour ambient air quality standard for particulate matter to the Adams County Environmental Program Manager within 8-hours of such occurrence. Concurrent APCD notification may be required.  
The applicant shall co-locate wind gauges with datalogging capabilities to track wind speed and direction with the PM monitors.
3. Records of wind speed and direction shall be included in the monthly air monitoring reports provided to Adams County Environmental Program Manager.
4. Mining and material moving operations shall cease when sustained wind speeds equal or exceed 25 mph or when wind gusts exceed 35 mph.
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8. If any construction is planned to occur between October 15th and July 31st, raptor and bald eagle surveys shall be conducted by a qualified biologist prior to disturbance. Survey reports shall be provided to both Adams County prior to commencement of mining operations.
9. If additional raptor nests are discovered or activity status changes, impacts to nest locations shall be minimized using the buffer zones and seasonal restrictions approved by CPW (2020).
10. A permanent, dedicated oil and gas well maintenance and work-over setback of not less than fifty (50) feet in width and 100 feet in length shall be established for each plugged and abandoned well within the project boundaries. There shall be public access for ingress and egress to the setback of not less than twenty feet.
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**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

**Comment**

ENV1. There are two plugged and abandoned oil and gas wells owned by Great Western Operating Company located within the proposed mining project limits. Well API 00106980 is located within the western portion of parcel 0157101300002 and well API 00107140 is located along the northwest edge of parcel 0157101100002.

ENV2. For site-specific development plans which contain plugged and abandoned wells, there shall be a dedicated well maintenance and workover setback for each well, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

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ENV6. The applicant has stated all backfill materials necessary for site reclamation will come from on-site mining activities. Please note that a separate inert fill permit must be obtained prior to importing additional fill materials that may be necessary to complete reclamation activities.



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**Commenting Division:** Parks Review

**Name of Reviewer:** Aaron Clark

**Date:** 08/24/2020

**Email:** [aclark@adcogov.org](mailto:aclark@adcogov.org)

**Complete**

PRK1: Parks is pleased that the parcel south of Highway 7 has been removed from consideration for mining in this case. Regarding the question of donating the parcel to the County, Parks is open to discussing this.

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 08/13/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**External Agencies Selected**

Community & Economic  
Development Department  
www.adcogov.org



4430 South Adams County Parkway  
1st Floor, Suite W2000  
Brighton, CO 80601-8204  
PHONE 720.523.6800  
FAX 720.523.6998

## **Development Review Team Comments**

**Date:** 9/8/2020

**Project Number:** EXG2020-00001

**Project Name:** Tucson South

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BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

---

**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/08/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

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**Date:** 09/04/2020

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**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

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**Date:** 08/28/2020

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**Name of Reviewer:** Greg Barnes

**Date:** 08/13/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**External Agencies Selected**



City of Brighton  
Community Development  
500 South 4th Avenue  
Brighton, CO 80601  
303.655.2059 Office  
[www.brightonco.gov](http://www.brightonco.gov)

August 21, 2020

Adams County Community and Economic Development Department  
4430 S. Adams County Pkwy.  
Suite W200A  
Brighton, CO 80601

Re: Aggregate Industries Mining (Case No. EXG2020-00001)

Mr. Barnes,

On behalf of the City of Brighton, I appreciate the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining project. The comments below are based on the Case Number EXG2020-00001 and the referral attachments sent to the City of Brighton on August 13, 2020.

The City of Brighton would appreciate the opportunity to work with Adams County and Aggregate Industries on a way to mitigate any impacts of the proposed mining operation on the City's infrastructure and on the health, safety, and welfare of the citizens of Brighton and the surrounding area. Some of the most significant impacts to Brighton will be regarding the use of conveyors, lighting, noise, visual impacts, and hours of operation.

Based upon the Executive Summary of the Tucson South Resource Conditional Use Permit, which was attached to the August 13, 2020 referral package (the "CUP Plans"), The applicant, Aggregate Industries (AI) states that the originally proposed plans have been narrowed in scope to only include onsite excavation and direct conveyance to the existing Wattenberg Lakes Resource Site. This will eliminate the need for truck traffic associated with the transport of mining materials. Additionally, the 24 acre south parcel (located southeast corner of Bridge Street and the Tucson Street alignment) will no longer be mined. The CUP Plans also state that the mining operations will be completed within eight (8) years from the time of conveyor installation. Hours of operation are proposed to be 7 am to 7 pm Monday through Saturday. A third party air quality consultant will be utilized to install two (2) real-time air quality monitors on the site.

Bridge Street (HWY 7) Right-of-Way Dedication:

The City would like to ensure that AI dedicate adequate right-of-way (ROW) for the eventual expansion of Bridge Street and to take this land dedication into consideration prior to planning the site and when laying out the berms, trail, fencing, and landscaping.

Lighting:

The City requests that all lighting on the site be contained completely on site, with cut-off lighting fixtures, to prevent light from spilling off-site. In addition, the City requests that light poles be no higher than 35-feet tall within 300' of an adjacent roadway and no higher than 50-feet tall at the interior of the site. The City also requests that the lighting levels would be limited to no more than 15 lumens per square foot in any specific spot, and no more than 100,000 lumens per gross acre (average of 2.3 lumens per gross acre), measured from between three (3) and five (5) feet above finished grade.

Landscaping and Reclamation:

In order to reduce the visual and other impacts to the City of Brighton, the City requests that all mining operations be setback 50-feet from Tucson Street and Hwy 7 in order to accommodate landscaped berms and future roadway improvement/expansion projects.

The City previously negotiated the following conditions during the mining application in 2011. We would appreciate your help in assuring that these conditions be placed on the current conditional use through the county. The City requests that the County and the operators, Aggregate Industries (AI) meet with City staff to establish a reclamation plan, including a landscaping and trails plan prior to approval of the conditional use. More specifically, the City requests the following:

- That landscaping be installed on the site during the first spring planting season, after all necessary permits for the mining are obtained.
- That, prior to installing the landscaping, AI work with City staff to determine the location of future trails along the Hwy 7 and Tucson Street corridors, and that AI install landscaping along these roadways in a location that will ensure that a trail can be installed in the future, without disturbing the trees and shrubs and other landscaping.
- That the landscaping shall have a native, irregular character to compliment the riparian corridor and shall include native and adaptive species.
- That AI install an irrigation system to ensure that the plantings are established, and that AI maintain the plantings during the mining and reclamation process.
- That AI shall install a grass berm, a minimum of 12-feet tall at the southwest corner of the property to help screen the line of sight to the north, into the mine, from Hwy 7.

Thank you, again, for the opportunity to comment on the proposed project. We appreciate the opportunity to work with the County's staff and Aggregate Industries to ensure the needs and concerns of all parties are adequately addressed.

Cordially,



Jason Bradford, AICP  
Planning Manager



January 13, 2021

Adams County Planning Commission  
Through, Raymond Gonzales  
Adams County Manager

Re: Adams County Case # EXG2020-00001 Aggregate Industries Mining Application

Honorable Planning Commissioners,

We write this letter to all of you in support of EXG2020-00001 which you will consider at a land use public hearing on January 14, 2021. This letter is in addition to the referral responses submitted by our Community Development staff regarding the technical issues (see attached letter dated 8/21/2020). The City Administration comes to this decision because of several important factors which we identify below. Further, we recognize that this is the second time you are reviewing this matter. It is important to note that significant changes to the application are clearly evident, but perhaps more importantly, the City of Brighton has been involved in this application in new and creative ways that benefit our entire community. The following reasons justify our support for the application:

1. Aggregate Industries listened to our concerns and worked hard to mitigate impacts from their proposed use. These mitigation efforts took the form of; (1) elimination of mining south of Highway 7, removing the parcel from their state mining permit and conveying the parcel to the County for public open space use; (2) elimination of all truck traffic to, from and on the site by constructing a 2 mile overland conveyor system with the consent of landowners along the conveyor route; (3) installation of dust monitoring systems, accessible by all city and county residents, to ensure ongoing compliance with state permitting requirements and a hotline to call in the event immediate action needs to be taken to resolve a dust issue and (4) an 8 year limitation for this use, ensured with a land use covenant that will run with the land.
2. Highway 7 is an important gateway to the city and ensuring high quality berming and landscaping is essential. Aggregate Industries, along with the City of Aurora, have worked hard to create significant landscaping and buffering along Highway 7 from the outset of the mining activities and long after the activities have ceased. It is crucial that this landscaping be established early in the process and be watered with a reliable water supply.
3. The creation of a community benefit is always something that sets land use projects apart. In this instance, the City of Aurora has committed to allowing some form of public use of this site upon completion of the mining operation. This site will be great for wildlife viewing, trail hiking and fishing.

4. Aggregate Industries worked hard to re-engage the relationship between the City of Brighton and the City of Aurora. This relationship is important for obvious reasons, but in the context of this application, the relationship endeavors to build upon a scarce water resource and find ways for the City of Brighton to work with the City of Aurora in sharing water storage capacity and finding additional sources for water augmentation, both of which are vital to the City of Brighton. Senior staff from both cities meet on a regular basis to continue to foster this relationship and forge new opportunities.
5. The requirement for mining completion within the maximum 8 year timeframe is very important to us and our residents. The concurrent reclamation and landscaping, completed immediately upon phased mining is a very appealing and required component of this project in our view. We would also request that additional effort go into the use of water reservoir storage in these completed phases as soon as possible rather than waiting until the finalization of the entire mining project.

Should any questions regarding this issue arise, please contact Marv Falconburg at 303-655-2021. The City of Brighton appreciates the opportunity to weigh in on this application and we wish you all a prosperous 2021.

Sincerely,



Jane Bais-DiSessa, City Manager  
City of Brighton



Marv Falconburg, Deputy City Manager  
City of Brighton

Attachment

CC: Mayor and City Council  
Lena McClelland, City Attorney  
Holly Prather, Community Development Director





City of Brighton  
Community Development  
500 South 4th Avenue  
Brighton, CO 80601  
303.655.2059 Office  
www.brightonco.gov

August 21, 2020

Adams County Community and Economic Development Department  
4430 S. Adams County Pkwy.  
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Planning Manager

DRAFT

RESOLUTION NO: \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO, SUPPORTING ADAMS COUNTY LAND USE CASE #EXG2020-00001 AGGREGATE INDUSTRIES MINING APPLICATION.

WHEREAS, the City of Brighton has received a land use referral from Adams County, regarding the proposed land use case #EXG2020-00001 Aggregate Industries mining application ; and

WHEREAS, the territory of the proposed project is located wholly outside of the boundaries of the City; and

WHEREAS, Aggregate Industries listened to our concerns and worked hard to mitigate impacts from their proposed use; and

WHEREAS, significant changes to the application are clearly evident, but perhaps more importantly, the City of Brighton has been involved in this application in new and creative ways that benefit our entire community; and

WHEREAS, an important revision includes the elimination of mining south of Highway 7, removing the parcel from their state mining permit and conveying the parcel to the County for public open space use; and

WHEREAS, an additional important revision includes elimination of all truck traffic to, from and on the site for mining activity, by constructing a two mile overland conveyor system with the consent of landowners along the conveyor route; and

WHEREAS, an additional important revision includes installation of dust monitoring systems, accessible by all city and county residents, to ensure ongoing compliance with state permitting requirements and a hotline to call in the event immediate action needs to be taken to resolve a dust issue; and

WHEREAS, a critical condition includes the 8 year limitation for this use, ensured with a land use covenant that will run with the land; and

WHEREAS, Highway 7 is an important gateway to the city and ensuring high quality berming and landscaping is essential and Aggregate Industries, along with the City of Aurora, have worked hard to create significant landscaping; and

WHEREAS, buffering along Highway 7 from the outset of the mining activities and long after the activities have ceased is crucial and shall be established early in the process and be watered with a reliable water supply; and

WHEREAS, the City of Aurora has committed to allowing some form of public use of this site upon completion of the mining operation. This site will be great for wildlife viewing, trail hiking and fishing; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO:

Section 1. The City Council supports the Adams County land use Case #EXG2020-00001 aggregate industries mining application with the following conditions:

- The elimination of mining south of Highway 7, removing the parcel from their state mining permit and conveying the parcel to the County for public open space use.
- Elimination of all truck traffic to, from and on the site for mining activity, by constructing a two mile overland conveyor system with the consent of landowners along the conveyor route.
- Installation of dust monitoring systems, accessible by all city and county residents, to ensure ongoing compliance with state permitting requirements and a hotline to call in the event immediate action needs to be taken to resolve a dust issue.
- Eight year limitation for this use, ensured with a land use covenant that will run with the land.
- Highway 7 is an important gateway to the city and ensuring high quality berming and landscaping is essential and Aggregate Industries, along with the City of Aurora, have worked hard to create significant landscaping.
- Buffering along Highway 7 from the outset of the mining activities and long after the activities have ceased is crucial and shall be established early in the process and be watered with a reliable water supply.
- City of Aurora has committed to allowing some form of public use of this site upon completion of the mining operation. This site will be great for wildlife viewing, trail hiking and fishing.

Section 2. The City Council relies on the Conditions of Approval attached to this land use case and will rely on the enforcement of these conditions through Adams County.

Section 3. The requirement for mining completion within the maximum 8 year timeframe is very important to the City Council and our residents. The concurrent reclamation and landscaping, completed immediately upon phased mining is a required component of this project. We would also request that additional effort go into the use of water reservoir storage in these completed phases as soon as possible rather than waiting until the finalization of the entire mining project.

ADOPTED this 19<sup>th</sup> day of January, 2021.

CITY OF BRIGHTON, COLORADO

By: \_\_\_\_\_  
Gregory Mills, Mayor

ATTEST:

By: \_\_\_\_\_  
Natalie Hoel, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Lena Mcclelland, Acting City Attorney

RESOLUTION NO. 2021-09

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO,  
SUPPORTING ADAMS COUNTY LAND USE CASE #EXG2020-00001 AGGREGATE  
INDUSTRIES MINING APPLICATION

WHEREAS, the City of Brighton has been made aware of an Adams County proposed land use case #EXG2020-00001 Aggregate Industries mining application; and

WHEREAS, the territory of the proposed project is located wholly outside of the boundaries of the City; and

WHEREAS, significant changes to the application are clearly evident and the City Council's concerns and suggestions were heard and acknowledged by Aggregate Industries and integrated in new and creative ways that benefit the community; and

WHEREAS, an important revision includes the elimination of mining south of Highway 7, removing the parcel from their state mining permit and conveying the parcel to the County for public open space use; and

WHEREAS, an additional important revision includes elimination of all truck traffic to, from and on the site for mining activity, by constructing a two mile overland conveyor system with the consent of landowners along the conveyor route; and

WHEREAS, an additional important revision includes installation of dust monitoring systems, accessible by all city and county residents, to ensure ongoing compliance with state permitting requirements and a hotline to call in the event immediate action needs to be taken to resolve a dust issue; and

WHEREAS, Highway 7 is an important gateway to the city and ensuring high quality berming and landscaping is essential and Aggregate Industries, along with the City of Aurora, have worked hard to create significant landscaping; and

WHEREAS, buffering along Highway 7 from the outset of the mining activities and long after the activities have ceased is crucial and shall be established early in the process and be watered with a reliable water supply; and

WHEREAS, Aggregate Industries has represented that it will construct a crusher fine trail along the southern perimeter of the property and convey the trail to the City; and

WHEREAS, the City of Aurora has committed to allowing some form of public use of this site upon completion of the mining operation.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BRIGHTON, COLORADO:

Section 1. The City Council acknowledges its support of the Adams County land use Case #EXG2020-00001 Aggregate Industries mining application with the following conditions:



- The elimination of mining south of Highway 7, removing the parcel from their state mining permit and conveying the parcel to the County for public open space use; and
- Elimination of all truck traffic to, from and on the site for mining activity, by the construction of a two mile overland conveyor system with the consent of landowners along the conveyor route; and
- Installation of dust monitoring systems, accessible by all city and county residents, to ensure ongoing compliance with state permitting requirements and a hotline to call in the event immediate action needs to be taken to resolve a dust issue; and
- Highway 7 is an important gateway to the city and ensuring high quality berming and landscaping is essential and Aggregate Industries, along with the City of Aurora, have worked hard to create significant landscaping; and
- Buffering along Highway 7 from the outset of the mining activities and long after the activities have ceased is crucial and shall be established early in the process and be watered with a reliable water supply; and
- The City of Aurora has committed to allowing some form of public use of this site upon completion of the mining operation; and
- Aggregate Industries has represented that it will construct a crusher fine trail along the southern perimeter of the property and convey the trail to the City; and
- Additional effort be made to use the water reservoir storage in the completed phases as soon as possible rather than waiting until the finalization of the entire project.

RESOLVED this 19<sup>th</sup> day of January, 2021.

CITY OF BRIGHTON, COLORADO

  
 \_\_\_\_\_  
 GREGORY MILLS, Mayor

ATTEST:

  
 \_\_\_\_\_  
 NATALIE HOEL, City Clerk

APPROVED AS TO FORM:

  
 \_\_\_\_\_  
 LENA McCLELLAND, Acting City Attorney

## Greg Barnes

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**From:** BFR Plan Reviews <planreviews@brightonfire.org>  
**Sent:** Tuesday, September 8, 2020 8:06 AM  
**To:** Greg Barnes  
**Subject:** RE: For Review: Tucson South (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

Good morning,

At this time the Fire District has no comments or concerns.

Thank you!



**Carla Gutierrez**

Fire Inspector  
Brighton Fire Rescue District  
500 S. 4<sup>th</sup> Ave – 3<sup>rd</sup> Floor  
Brighton CO 80601  
Office: 303.654.8042 / Cell: 720-684-7669  
[www.brightonfire.org](http://www.brightonfire.org)

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**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Sent:** Thursday, August 13, 2020 3:28 PM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** For Review: Tucson South (EXG2020-00001)

The Adams County Planning Commission is requesting comments on the following application: **conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district**. This request is located near 12255 East 160th Avenue. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, 0157101300002.

Applicant Information:

CHANCE ALLEN  
AGGREGATE INDUSTRIES - WCR, INC  
1687 COLE BLVD  
SUITE 300  
GOLDEN, CO 80401

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 09/07/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).



Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). Thank you for your review of this case.



**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am – 4:30 pm

**RECEIVED**

**OCT 23 2020**

**Adams County  
Commissioners' Office**

October 20, 2020

Adams County Commissioners  
4430 S. Adams County Parkway  
Brighton, CO 80601

**Re: EXG2020-00001 Aggregate Industries Tucson South Site**

Dear Commissioners,

On behalf of the Brighton Urban Renewal Authority (BURA), we are writing to express concerns with a land use application you are scheduled to consider. We understand that an application has been submitted by Aggregate Industries seeking approval for a mining operation in Adams County west of downtown Brighton.

BURA was created by the City Council in 2001 to help reduce blight and stimulate private investment in downtown Brighton. The proposed application for mining activities is approximately 1,400 linear feet from the western edge of our downtown urban renewal area. We have reviewed the proposal and we are concerned about the dust, noise and traffic associated with this operation. We believe this project will have negative impacts on nearby businesses and the city's gateway. Many downtown business owners have contacted BURA Commissioners expressing their concerns and objections to the project.

The very nature of an urban renewal authority is to reduce and eliminate blight. We feel that mining operations are not consistent with BURA's overarching objectives and further that this mining operation will contribute to blight. Would-be developers and investors shy away from investing in new developments when adjacent to industrial operations. The land use is not harmonious with the vision and objectives set forth by the Urban Renewal Plan.

Based on these concerns, we respectfully request that you deny the conditional use permit for Aggregate Industries.

Respectfully submitted,



**Candace Werth, Chair**  
Brighton Urban Renewal Authority

## Greg Barnes

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**From:** Loeffler - CDOT, Steven <steven.loeffler@state.co.us>  
**Sent:** Wednesday, August 19, 2020 2:54 PM  
**To:** Greg Barnes  
**Cc:** Bradley Sheehan - CDOT  
**Subject:** EXG2020-00001, Tuscon South

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the referral request for a CUP to allow extraction use located near 12255 East 160th Avenue and have the following comments:

- A review was done by CDOT Hydraulics in 2019 of the Drainage letter for this proposed mining operation. At that time Hydraulics had no major concerns. If there have been any changes to the plan or if the drainage has been updated we would like to review a copy.
- If any work is proposed in the State Highway 7 Right-of-Way a permit from our office will be required. Application can be made online at the following link: <https://cdotpermits.force.com/utilitypermits/s/login/>
- Any signing for this mining operation must be on premise and cannot be either partly or wholly in the state highway Right-of-Way.
- It is understood that the mined aggregate will be taken North by conveyor to the Wattenberg/Platte Valley facility in Weld County and the impact State Highway 7 will be low. If this is incorrect, we will want to review the updated Traffic Study.

Thank you for the opportunity to review this referral.

**Steve Loeffler**  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

## Greg Barnes

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**From:** Loeffler - CDOT, Steven <steven.loeffler@state.co.us>  
**Sent:** Wednesday, October 7, 2020 3:17 PM  
**To:** Greg Barnes  
**Subject:** Re: For Review: Tucson South (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the comment response document for Tucson South and my previous comments have been addressed. I have no additional comments.

Thank you for the opportunity to review this response.

**Steve Loeffler**  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

On Thu, Sep 24, 2020 at 8:34 AM Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)> wrote:

This notice is to inform you that Adams County has received a response to comments that you provided on a land use case. The case is Tucson South (EXG2020-00001). You may review the responses at the following link:  
<https://www.adcogov.org/planning/currentcases>

If you would like to provide additional comments after reviewing these responses, please e-mail them to [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org) on or before Thursday, October 15, 2020 at 2:00 p.m.

Thank you!



**COLORADO**  
Division of Water Resources  
Department of Natural Resources

August 25, 2020

Greg Barnes  
Adams County Planning & Development Department  
Transmission via email: [CBarnes@adcogov.org](mailto:CBarnes@adcogov.org)

Re: Aggregate Industries - WCR, Inc.- Conditional Use Permit  
Case no. EXG2020-00001  
Sec. 1, T1S, R67W, 6<sup>th</sup> P.M.  
Water Division 1, Water District 2

Dear Mr. Barnes,

This referral does not appear to qualify as a “subdivision” as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer’s March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

The applicant (Aggregate Industries-WCR, Inc.) requests an amendment to the original conditional use permit for a sand and gravel mine (EXG2004-004), to allow a change in the planned use from wet mining, onsite crushing and screening plants, sales yards, and truck transport of mined materials to only include onsite excavation and direct conveyance to the existing Wattenberg Lakes (M2004-051). Additionally, a 24-acre parcel, known as the “South Parcel” is in a process of being removed from the Division of Reclamation, Mining and Safety (“DRMS”) permitted boundary.

According to our records the Tucson South mine site is permitted by the DRMS under permit no. M2004-044. Depletions resulting from evaporation and mining operations at the site are replaced under a combined Substitute Water Supply Plan, currently valid through December 31, 2020, if not extended. The applicant must maintain a valid Substitute Water Supply Plan until such time as all depletions are replaced or obtain a court-decreed plan for augmentation to cover depletions at the mining site. In addition, the Applicant must maintain a valid well permit for the site.

If stormwater runoff is intercepted by this mining operation and is not diverted or captured in priority, it must be released to the stream system within 72 hours. This may require a discharge permit from CDPHE-WQCD. Otherwise, the operator will need to make replacements for evaporation.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,

Joanna Williams, P.E.  
Water Resource Engineer

Ec: Project No. 27265



# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



Karen Berry  
State Geologist

September 3, 2020

Greg Barnes  
Adams County Community and  
Economic Development Department  
Development Services Division  
GJBarnes@adcogov.org

**Location:**  
Section 1,  
T1S, R67W, 6<sup>th</sup> P.M.  
39.9926, -104.8363

**Subject: Tucson South EXG2020-00001**  
**Adams County, CO; CGS Unique No. AD-21-0001**

Dear Greg:

Colorado Geological Survey has reviewed the Tucson South EXG2020-00001 referral. I understand the applicant requests a conditional use permit to allow extraction of sand and gravel in the A-1 zone district. Permitting and revisions to this mining and reclamation plan are processed by the Colorado Division of Reclamation, Mining, and Safety (DRMS) under file no. M2004044. Reclamation plans involve water storage reservoirs with proposed normal high water elevations of 4954.7 ft. (Reservoir A) and 4953.4 ft. (Reservoir B), according to CUP Application Exhibit F, West Area and East Area Reclamation Plans (Tetra Tech, July 17, 2020).

The available referral documents include an Updated Tucson South Proposed Gravel Mine Slope Stability Analysis; Tetra Tech Job No. 200-23514-18004 (November 9, 2018), and Slope Stability and Setback Updates, July 3, 2019; Tetra Tech Job No. 200-23514-18004 (updated September 16, 2019). Tetra Tech's slope stability analyses and setback recommendations are valid, but only active mining (dewatered) conditions appear to have been modeled. I am concerned about stability of slopes, and improvements along the slope setback, under saturated conditions. Once the reservoirs fill, water levels will be higher than water levels used in Tetra Tech's models, and factors of safety will probably be lower.

**CGS recommends that the County require additional stability analysis to verify that the proposed reservoir slopes will be stable under saturated conditions. Since water levels in water storage reservoirs fluctuate, stability should be modelled using saturated slopes but lowered water level conditions.**

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.  
Engineering Geologist

# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



October 15, 2020

Karen Berry  
State Geologist

Greg Barnes  
Adams County Community and Economic Development  
Development Services Division  
GJBarnes@adcogov.org

**Location:**  
Section 1,  
T1S, R67W, 6<sup>th</sup> P.M.  
39.9926, -104.8363

**Subject: Tucson South EXG2020-00001**  
**Adams County, CO; CGS Unique No. AD-21-0001-2**

Dear Greg:

Colorado Geological Survey has reviewed the Tucson South EXG2020-00001 resubmittal and responses to comments, including an Aggregate Industries-WCR, Inc. Response to Colorado Geological Survey Review Comment on Tucson South EXG2020-00001 Referral (September 23, 2020).

The Tucson South applicant's 9/23/2020 response to comments is intended to address my 9/30/2020 review comments regarding post-reclamation reservoir slope stability under a drawdown condition. The applicant is correct that this analysis is not within the scope of DRMS review, since it is a post-mining, post-reclamation stability concern. However, it is relevant to the long-term stability and viability of the project as proposed, and therefore is within the scope of CGS review.

Since the lined water storage reservoirs are components of the post-reclamation project plans, and Tucson Street is proposed to remain a public road, **CGS continues to recommend that the county require stability analysis for at least one cross-section under a saturated slope (high pore water pressure)/rapid reservoir drawdown condition across the Tucson Street embankment**, to verify that the proposed slopes below Tucson Street will be stable under all conditions, or to determine a stable slope configuration.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.  
Engineering Geologist





# COLORADO

## Parks and Wildlife

Department of Natural Resources

Northeast Regional Office  
6060 Broadway  
Denver, CO 80216  
P 303.291.7227 | F 303.291.7114

September 3, 2020

Mr. Greg Barnes  
Community & Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601-8218

Re: Tucson South, EXG2020-00001

Dear Mr. Barnes:

Thank you for the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining, for extraction and disposal of gravel in an Agricultural-1 zone district. The various parcels that are covered by the Conditional Use Permit are owned by Aggregate Industries Mining, City of Thornton and City of Aurora, and comprise a total of approximately 415-acres. The South Platte River intertwines with portions of the eastern portion of the property. The property is bounded on the north by Adams County-Weld County line, and various parcels of private and local government properties. The property is bounded on the east by various government properties, private properties and the South Platte River. The southern boundary of the property is a mixture of Highway 7, government properties, private properties, and United Power Incorporated property. The western boundary of the property is various parcels of private property, Brighton Ditch, Bratner Ditch, and United Power Incorporated property.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

CPW would expect to find small passerine birds, deer, wild turkeys, and small ground dwelling mammals, including possibly black-tailed prairie dogs, within the property boundaries or in the vicinity of the property. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

### Water Sources



If heavy equipment is used near any water source, including the South Platte River, Brighton Ditch, or Brantner Ditch (that was used in another stream, river, lake, reservoir, pond, or wetland), one of the following disinfection practices is necessary prior to construction to prevent the spread of New Zealand mud snails, zebra mussels, quagga mussels, whirling disease, and any other aquatic invasive species into this drainage. These practices are also necessary after project completion, prior to this equipment being used in another stream, river, lake, reservoir, pond, or wetland:

- Remove all mud, plants, debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment in a 1:15 solution of Quat 4 or Super HDQ Neutral institutional cleaner and water. Keep equipment moist for at least 10 minutes **OR**
- Remove all mud, plants and debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment with water greater than 140 degrees F for at least 10 minutes.
- Clean hand tools, boots, and any other equipment that will be used in the water with one of the above options as well. Do not move water from one water body to another. Be sure equipment is dry before use.

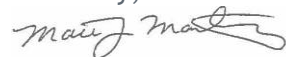
### **Burrowing Owls**

If prairie dog towns are present on the site or if prairie dogs establish themselves on the property prior to any development - CPW recommends that a burrowing owl survey be conducted prior to earth moving. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by state and federal laws, including the Migratory Bird Treaty Act. A copy of a burrowing owl survey can be obtained from CPW.

If prairie dogs are present at the site or if prairie dogs establish themselves on the property prior to any development and the developer wants to relocate the prairie dogs, CPW requires the developer to obtain a relocation permit prior to starting any relocation efforts. CPW allows prairie dogs to be relocated to another suitable wild habitat, a license raptor rehabilitation center or to the United States Fish and Wildlife Service Black-footed Ferret Recovery Program. The developer is not allowed to relocate prairie dogs without obtaining a relocation permit. Relocation requirements and an application for a prairie dog relocation can be obtained from CPW.

If you have any questions or concerns on this project, please feel free to contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Sincerely,



Matt Martinez  
Area Wildlife Manager

Cc: M. Leslie, K. Cannon, J. Likes

## Greg Barnes

---

**From:** Matthew Emmens  
**Sent:** Tuesday, September 8, 2020 2:41 PM  
**To:** Greg Barnes  
**Subject:** FW: Promontory Metropolitan District Improvements

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**From:** JR Osborne <c3construction@live.com>  
**Sent:** Tuesday, September 8, 2020 2:13 PM  
**To:** Matthew Emmens <MEmmens@adcogov.org>  
**Cc:** Christine FELZ <christine.felz@lafargeholcim.com>  
**Subject:** Promontory Metropolitan District Improvements

Please be cautious: This email was sent from outside Adams County

Dear Matt,

I spoke with Christine Felz from Lafarge Holcim/Aggregate Industries today about their plans to install a conveyor belt underneath 168th Ave, just west of the Platte River. The two items of concern that the Promontory District has are:

1. The depth of the conveyor belt underneath 168th Avenue.
2. The timeframe of the use for the conveyor belt.

Ms. Felz said that the conveyor belt would be a minimum of 10' feet deep and that the conveyor belt would only be used for an 8 year period, with no timeframe extensions, after they get ADCO approval (hopefully late 2020).

With a 10' minimum depth and an 8-year timeframe, the Promontory District has no objections with the Lafarge Holcim/Aggregate Industries request to install a conveyor belt underneath 168th Avenue.

If you have any questions, please feel free to contact me.

Very Truly Yours,

J.R. Osborne  
Promontory Metropolitan District President  
303-880-6410



September 4, 2020

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Aggregate Industries Tucson South, EXG2020-00001  
TCHD Case No. 6430

Dear Mr. Barnes

Thank you for the opportunity to review and comment on the conditional use permit to allow extraction located near 12255 East 160<sup>th</sup> Avenue, north of Highway 7 and west of Kuner Road. The case referral materials indicate that the revised plan does not include activities previously planned, including crushing, screening, sales, and truck transport. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

### **Air Pollution**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease.

#### *Permit Required*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions of hazardous air pollutants, asbestos, and chlorofluorocarbons (CFCs). The applicant's air permit may be required to be updated for this project. If required, Tri-County recommends that the County require the applicant to have obtained or updated the facility's air emissions permit as a condition for issuance of a building permit. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/air-emissions-business-and-industry>

#### *Fugitive Dust*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry> .

Aggregate Industries Tucson South  
September 4, 2020  
Page 2 of 2

*Air Quality Monitoring and Modeling*

The case referral materials indicate that a third party consultant will conduct an air modeling analysis and will commit to installing two real time air quality monitors on site. Data from these monitors will be transmitted monthly to Adams County. TCHD supports air quality monitoring in order to study and analyze sources of pollution, and implement controls to decrease air pollution. TCHD applauds the applicant for making this information available to Adams County and encourages a data sharing platform that would allow for sharing real time data in a timely manner.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



October 9, 2020

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Aggregate Industries Tucson South, EXG2020-00001  
TCHD Case No. 6516

Dear Mr. Barnes

Thank you for the opportunity to review and comment on a resubmittal of a conditional use permit to allow extraction located near 12255 East 160<sup>th</sup> Avenue, north of Highway 7 and west of Kuner Road. The case referral materials indicate that the revised plan does not include activities previously planned, including crushing, screening, sales, and truck transport. Tri-County Health Department (TCHD) staff previously reviewed the application and provided the comments below in a letter dated September 4, 2020. TCHD received a response from the applicant, dated September 8, 2020 and the applicant has responded to our comments satisfactorily.

### **Air Pollution**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease.

#### *Permit Required*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions of hazardous air pollutants, asbestos, and chlorofluorocarbons (CFCs). The applicant's air permit may be required to be updated for this project. If required, Tri-County recommends that the County require the applicant to have obtained or updated the facility's air emissions permit as a condition for issuance of a building permit. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/air-emissions-business-and-industry>

#### *Fugitive Dust*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at

Aggregate Industries Tucson South  
October 9, 2020  
Page 2 of 2

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry> .

*Air Quality Monitoring and Modeling*

The case referral materials indicate that a third party consultant will conduct an air modeling analysis and will commit to installing two real time air quality monitors on site. Data from these monitors will be transmitted monthly to Adams County. TCHD supports air quality monitoring in order to study and analyze sources of pollution, and implement controls to decrease air pollution. TCHD applauds the applicant for making this information available to Adams County and encourages a data sharing platform that would allow for sharing real time data in a timely manner.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in cursive script, appearing to read 'K Boyer', followed by a horizontal line.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD





Your Touchstone Energy® Cooperative 

September 6, 2020

Adams County Community & Economic Development Department  
4430 South Adams County Parkway  
1<sup>st</sup> Floor, Suite W2000B  
Brighton, CO 80601-8218

Re: EXG2020-00001 – Tucson South

Dear Greg Barnes:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the EXG2020-00001 – Tucson South. After review of the information, United Power, Inc. has no concerns or objection to the proposed conditional use permit to allow extraction use in the A-1 zone district, contingent upon United Power's ability to maintain all existing rights, facilities/equipment, and existing easements. This request should not hinder our ability for future expansion, including all present and any future accommodations for electrical distribution.

We look forward to safely and efficiently providing reliable electric power and outstanding service.

Thank you,

A handwritten signature in black ink, appearing to read "Samantha Riblett", enclosed in a thin black rectangular border.

Samantha Riblett  
United Power, Inc.  
Right of Way Administrative Assistant  
O: 303-637-1324 | Email: [platreferral@unitedpower.com](mailto:platreferral@unitedpower.com)



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

September 9, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Tucson South, Case # EXG2020-00001**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a possible conflict** with the above captioned project. Public Service Company has existing electric transmission lines and associated land rights as shown within this property. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the conditional use documentation, it is the responsibility of the property owner/developer/contractor to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement (via website [www.xcelenergy.com/rightofway](http://www.xcelenergy.com/rightofway) or email [coloradorightofway@xcelenergy.com](mailto:coloradorightofway@xcelenergy.com)).

PSCo also has natural gas distribution facilities running along Tucson Street, 168th Avenue and 160<sup>th</sup> Avenue.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)

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**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 09/08/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

### **Resubmittal Required**

PLN01: The application is for a Conditional Use Permit within the A-1 zone district with NRCO overlay to allow for extraction use. The site is heavily impacted by floodplain and floodway.

### **AI Response: Acknowledged**

PLN02: My apologies if my comments are already addressed in your submittal. When over 900 pages of material is submitted, it becomes difficult for the public, agencies, and our staff to adequately review the information. Please consider being more concise and remove duplicate information from your resubmittal.

**AI Response:** Based on comments received for application RCU2019-0002 as well as our neighborhood outreach and conceptual review comments for the current application, Aggregate wanted to ensure the application contained comprehensive information and studies addressing all the comments. In order to make the application easier to review and find information, however, Aggregate took care to remove duplicate information, create a Table of Contents, create clear references to supplemental studies, and provide an executive summary and FAQ sheet. Please see the attached **Applications Materials 03 (A03)** for a revised executive summary that includes links to specific locations within the larger application document and supplemental materials for ease of accessing additional information.

PLN03: I would like to see a summarized description of process and timeline. You say that there will be no trucking, yet there are hauling roads. Clearly some hauling has to occur to construct the berms. What is the timing of berm installation? Timing of conveyor installation? Are there metrics that will be met to ensure the eight ear timeline?

**AI Response:** Please see **Supplemental Materials 21 (S21)** for a detailed description of the pre-mining process and timeline. This summary separates the pre-mining construction work from the mining operations in order to show the equipment, personnel, and timing for each phase. This timeline outlines the specific time periods to complete construction of the conveyor systems, slurry wall, berms, landscaping, and environmental monitoring systems studies. Berm construction will utilize on-site materials and will only require transportation of materials within each cell utilizing equipment shown on the summary via the referenced internal roads. Slurry wall installation will utilize bentonite that is delivered to the site in 1,000 – 2,000 lb bags via a flatbed delivery truck. No off-site hauling trucks will be needed for delivery of the bentonite materials, and only traffic related to construction vehicles incidental to the above pre-mining construction tasks will occur. Aggregate will agree to a condition of approval that these pre-mining construction tasks will be completed within 12 months of approval of this application.

Immediately upon completion of these tasks Aggregate will commence mining operations subject to an eight-year completion date. To ensure the eight-year timeline will be met, Aggregate will agree to a condition of approval requiring the project be complete, including reclamation, within eight years after completion of the conveyor installation, with no allowance

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for extensions. Aggregate's reclamation bond, which was required as part of our DRMS permit, insures completion of the project including reclamation.

PLN04: What happens in 2028 if the work isn't done? What guarantees can be placed to ensure that promises are being kept?

AI Response: To provide clarity and certainty as to the length of the pre-mining construction activities, Aggregate has provided **Supplemental Materials 21 (S21)**. Aggregate will agree to a condition of approval requiring these activities be complete in 12 months of approval of this application and a condition of approval requiring the project be complete, including reclamation, within eight years after completion of the conveyor installation, with no allowance for extensions.

PLN05: Plans for reclamation don't show detail of fence or trail that are mentioned in your application. We will want to see these.

AI Response: Please see attached **Supplemental Materials 23 (S23)** which provides a narrative of the proposed fence, trail, and landscaping. It is Aggregate's understanding the County will approve final plans for flood-friendly fencing, and landscaping as part of the post-approval construction permitting process.

PLN06: After reclamation, how will landscaping be irrigated and maintained?

AI Response: After reclamation, the trail easement owner will assume responsibility for landscaping irrigation and maintenance. A variety of plants will be selected which, once established, should not require continued irrigation. Should permanent irrigation be desired by the easement holder, water can be supplied by way of wells, surface water or municipal water lines. It is important to note that Aggregate's landscaping plans specifically include the water conservation goals of the Colorado Water Plan and local water conservation plans. The City of Brighton Parks Department has provided a list of desired plant species from their Open Space Standards and Specifications document, which are in alignment with Aggregate's plans. Aggregate will continue to work with Adams County Open Space and the City of Brighton Parks Department to accommodate their desired vegetation and irrigation.

PLN07: Criterion #4 of the approval criteria for conditional use permits states that the conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. In making this determination, the Planning Commission and the Board of County Commissioners shall find, at a minimum, that the conditional use will not result in excessive traffic generation, noise, vibration, dust, glare, heat, smoke, fumes, gas, odors, or inappropriate hours of operation. Based on the surrounding area, presence of floodplain, and proximity to heavily populated areas into Brighton, there are concerns that this criterion will not be met.

AI Response: Aggregate appreciates the County's concerns that the use will meet this criterion, and believes it has made significant changes to this application to proactively address these concerns in a creative way. Specifically, not only has the South Parcel been eliminated from the DRMS permit and this application, but this valuable piece of property will be conveyed to either Brighton or Adams County to provide a benefit to all Adams County and Brighton residents as an open space that is an extension of Brighton Parks' long-term plans.

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Additionally, Aggregate has worked with the County to identify floodplain-friendly farm-style fencing to be used both during and after the mining operation and reclamation, and is working on living screening options for Highway 7. The exact fence style will be determined in conjunction with the County, after this application is approved.

To mitigate impacts to the surrounding area of excessive traffic generation, Aggregate has eliminated the previously-proposed 400 daily truck trips to transport mined material to the processing facility, and will instead exclusively use a conveyor system. This conveyor system will also mitigate dust, noise, fumes, and odors associated with truck hauling and alleviate adverse impacts to the County roads and bridges, and the neighborhood's safety concerns associated with heavy truck traffic.

To further address compatibility concerns associated with dust, air quality monitoring has been taken to a new level in this application. Through the use of third party air modeling, Aggregate has identified critical locations for the placement of air monitoring equipment to maximum areas of impact based on dispersion modeling. Such monitors are especially well suited for evaluating fugitive particulate concentrations, and are widely used by agencies and industry alike for compliance impacts. Wind stations will be installed with the monitors and will report wind speed and direction, with monthly results provided to Adams County. In their comments, Tri-County Health recognized and applauded Aggregate for these improvements to the application.

Finally, Aggregate will agree to a condition of approval that limits its hours of operation to 7 am to 7 pm Monday through Saturday, closed Sundays and holidays, and a reduction of the total time period for mining and reclamation to eight years after completion of the conveyor installation.

PLN08: I would like to know more about conveyor. Will it generate noise? What will it look like? I believe that the application only provides detail on the road crossing.

AI Response: Aggregate anticipates utilizing a conveyor for this project with belt material that minimizes noise. Based on sound decibel measurements within close proximity to the proposed conveyor, noise impacts at all points along the conveyor route will be below noise standards applicable to the A1 zone. Since sound attenuates quickly with distance, any conveyor noise will likely blend into pre-existing background levels at the property lines.

It is also important to note any private property on which the conveyor will be placed, will be subject to comprehensive agreements assuring specific performance standards are met by Aggregate, to the satisfaction of the landowner.

Please see **Supplemental Materials 22 (S22)** for a rendering of the conveyor along with pictures of the actual conveyor that will be installed.

PLN09: When will conveyor easements be secured and finalized? What is the likelihood that the conveyor will need to be relocated?

AI Response: Easement negotiations for the two proposed conveyor routes are continuing. Aggregate will agree to a condition of approval that the conveyor location and easements be finalized, and the conveyor installation be complete no later than 12 months after approval of this application. The conveyor will not be relocated once installed.

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PLN10: Is there any opportunities for displacing the floodplain to allow for berming along Highway 7? Can screening be achieved by breakaway fencing?

AI Response: Berming will only be located outside of the floodplain. Screening within the floodplain and floodway will be achieved using a combination of plants and fencing. Aggregate will provide landscaping plans for the County's review during the Floodplain Use Permit process. In the interim, please see the attached **Supplemental Materials 23 (S23)** for a more detailed explanation of the proposed landscaping.

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**Commenting Division:** Development Engineering Review

**Name of Reviewer:** Matthew Emmens

**Date:** 09/04/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

Review complete with comments. See doc # 6097935. Re-submittal required.

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**Commenting Division:** ROW Review

**Name of Reviewer:** Mark Alessi

**Date: Email:** 09/02/2020

**Resubmittal Required**

ROW1: Tucson Street is classified as a collector street per the 2012 Adams County Master Transportation Plan. As such it should have a half right-of-way width of 40 feet (80ft for full street). Submit legal description and exhibit of right of way dedication.

**AI Response:** The legal descriptions and exhibits for right of way dedications were submitted with the application on July 30, 2020. Please see **Supplemental Materials 20 (S20)**.

ROW2: The applicant has indicated on the site plan submitted that they will be dedicating additional right of way to bring Tucson Street up to collector width standards.

**AI Response:** Please see the dedication of additional right of way in **Supplemental Materials 20 (S20)**.

ROW3: Services of a licensed Professional Land Surveyor should be secured to create the plat.

**AI Response:** A licensed Professional Land Surveyor was used to create the plat. Please see the signed and stamped legal descriptions and exhibits in **Supplemental Materials 20 (S20)**.

ROW4: Submit legal description and exhibit of right of way dedication.

**AI Response:** Aggregate revised the ROW legal descriptions and exhibits to show easements and easement dimensions within the dedicated ROW, as requested. Signed and stamped versions will be provided after approval, prior to the ROW dedication. Please see **Supplemental Materials 20 (S20)**.



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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

**Complete**

Recommended Conditions of Approval:

1. The applicant will install two (2) continuous, real-time Particulate Matter (PM) monitors along the southwest and northeast property line that are capable of providing real-time emissions data for PM-2.5, PM-10 and Total-PM to monitor fugitive dust during all project phases including site preparation and active mining.

**AI Response: Acknowledged and Agreed.**

2. The applicant shall report any documented exceedance of the 24-hour ambient air quality standard for particulate matter to the Adams County Environmental Program Manager within 8-hours of such occurrence. Concurrent APCD notification may be required.

**AI Response: Acknowledged and Agreed.**

3. The applicant shall co-locate wind gauges with data logging capabilities to track wind speed and direction with the PM monitors.

**AI Response: Acknowledged and Agreed.**

4. Records of wind speed and direction shall be included in the monthly air monitoring reports provided to Adams County Environmental Program Manager.

**AI Response: Acknowledged and Agreed.**

5. Mining and material moving operations shall cease when sustained wind speeds equal or exceed 25 mph or when wind gusts exceed 35 mph.

**AI Response: Acknowledged and Agreed.**

6. Records of high wind speed shutdowns shall be maintained and included in the monthly air monitoring report submitted to Adams County, as applicable.

**AI Response: Acknowledged and Agreed.**

7. The applicant shall provide Adams County notification of all complaints received pertaining to offsite impacts and resolution of such complaints as part of the monthly air monitoring report, as applicable.

**AI Response: Acknowledged and Agreed.**

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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

8. The applicant will provide the County with a copy of the Annual Reclamation Report as submitted to the Division of Reclamation and Mining, and Safety.

**AI Response: Acknowledged and Agreed.**

9. If any construction is planned to occur between October 15th and July 31st, raptor and bald eagle surveys shall be conducted by a qualified biologist prior to disturbance. Survey reports shall be provided to both Adams County prior to commencement of mining operations.

**AI Response: Acknowledged and Agreed.**

10. If additional raptor nests are discovered or activity status changes, impacts to nest locations shall be minimized using the buffer zones and seasonal restrictions approved by CPW (2020).

**AI Response: Acknowledged and Agreed.**

11. A permanent, dedicated oil and gas well maintenance and work-over setback of not less than fifty (50) feet in width and 100 feet in length shall be established for each plugged and abandoned well within the project boundaries. There shall be public access for ingress and egress to the setback of not less than twenty feet.

**AI Response: This requirement is not applicable as Aggregate will provide documentation from the well owner that all subsurface equipment has been removed and the well abandoned at a depth such that our mining operations will not impact the plugged and abandoned well.**

12. The applicant shall obtain a separate inert fill permit prior to importing additional fill material if necessary to complete mined area reclamation.

**AI Response: Acknowledged and Agreed.**

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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

### **Comment**

ENV1. There are two plugged and abandoned oil and gas wells owned by Great Western Operating Company located within the proposed mining project limits. Well API 00106980 is located within the western portion of parcel 0157101300002 and well API 00107140 is located along the northwest edge of parcel 0157101100002.

**AI Response:** This requirement is not applicable as Aggregate will provide documentation from the well owner that all subsurface equipment has been removed and the well abandoned at a depth such that our mining operations will not impact the plugged and abandoned well.

ENV2. For site-specific development plans which contain plugged and abandoned wells, there shall be a dedicated well maintenance and workover setback for each well, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

**AI Response:** This requirement is not applicable as Aggregate will provide documentation from the well owner that all subsurface equipment has been removed and the well abandoned at a depth such that our mining operations will not impact the plugged and abandoned well.

ENV3. Meteorological station/wind gauge capable of logging both wind speed and direction shall be co-located with PM monitors.

**AI Response:** Acknowledged and Agreed.

ENV4. A requirement to provide to the County as part of the monthly air monitoring reports, associated wind data, records of high-speed wind shutdown periods, and information on the resolution of complaints pertaining to off-site impacts will be recommended as a condition of approval.

**AI Response:** Acknowledged and Agreed.

ENV5. AI should also consult with Adams County Open Space and Parks Department, local NRCS district office and consider consulting with Colorado Native Plant Society in regard to tree and plant selection and appropriate native grass seed mix for site restoration.

**AI Response:** AI is working with the City of Brighton Parks Department, Adams County Open Space, and a landscape architect to select plants for the trail easement. The native grass seed mix for site restoration was developed in coordination with a local reclamation seeding expert. AI will also consult with the local NRCS district office and the Colorado Native Plant Society for recommendations on appropriate grass, plant, and tree selections.

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**Commenting Division:** Environmental Analyst Review

**Name of Reviewer:** Katie Keefe

**Date:** 08/28/2020

**Email:**

ENV6. The applicant has stated all backfill materials necessary for site reclamation will come from on-site mining activities. Please note that a separate inert fill permit must be obtained prior to importing additional fill materials that may be necessary to complete reclamation activities.

**AI Response: Acknowledged and Agreed.**

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**Commenting Division:** Parks Review

**Name of Reviewer:** Aaron Clark

**Date:** 08/24/2020

**Email:** aclark@adcogov.org

**Complete**

PRK1: Parks is pleased that the parcel south of Highway 7 has been removed from consideration for mining in this case. Regarding the question of donating the parcel to the County, Parks is open to discussing this.

**AI Response: AI has reached out to Adams County Open Space to schedule a meeting discussing the donation of the south parcel.**

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**Commenting Division:** Planner Review

**Name of Reviewer:** Greg Barnes

**Date:** 08/13/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org) External Agencies Selected

Aggregate Industries  
Tucson South Resource  
Case # EXG2020-00001  
3<sup>rd</sup> Review

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H & 08001C0326H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, a portion of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site, A floodplain use permit will be required.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area; and Adams County Stormwater (SWQ) Permit will not be required. The installation of erosion and sediment control BMPs are expected.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG3: The Trip Generation Letter (TGL) submitted with the application has been reviewed. Although County Staff is in agreement with the methodology used in the TGL, it is hard to believe that there will only be 6 employees working on this site. Will there be visits by supervisors, inspectors, equipment repair crews, how often will water trucks be visiting the site? Please add more information about the site operations so that staff can determine if the trip generation is acceptable.

AI Response: Please see the attached **Supplemental Materials 21 (S21)** for additional details on pre-mining construction activities, including equipment and employees. As provided for in the TGL, there will be only six dedicated on-site employees once mining operations commence.

County Response: Supplemental Materials 21 (S21) was not found in the resubmittal materials. The Appendix table included with "Tucson South Resource Conditional Use Permit Project Description" document only goes to "Supplemental Materials 20 – Right of Way Dedications."

AI Response: Supplemental Materials 21 (S21) was submitted with AI's responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Supplemental Materials 21 (S21) was located at page 119 of 126 of the submittal. AI will email this response and Supplemental Materials 21 (S21) directly to Matt Emmens.

There will be 6 dedicated, full-time employees working on this site. The following is a list of additional potential visits and the expected frequency:

| Title                    | Anticipated Frequency of Visit | Vehicle Type  |
|--------------------------|--------------------------------|---------------|
| Site Supervisor          | 1-2 visits/day                 | Pick-up truck |
| Operations Manager       | 1-2 visits/week                | Pick-up truck |
| Portable toilet services | 1 visit/week                   | Vacuum truck  |
| Mechanic                 | 1 visit/week                   | Service truck |
| Electrician              | 1 visit/week                   | Pick-up truck |

|                          |                  |            |
|--------------------------|------------------|------------|
| Fuel delivery            | 1 visit/week     | Fuel truck |
| Safety Manager           | 2 visits/quarter | SUV        |
| Environment/Land Manager | 2 visits/quarter | SUV        |

County Response: The additional information has been received and does resolve the concerns above.  
 Comment Closed

ENG4: The developer is responsible for the repair or replacement of any County infrastructure that is broken or damaged because of the operations.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

AI Response: AI is not proposing to install over 3,000 square feet of impervious area on the project site. In fact, the site will remain entirely pervious except for movable blocks or timbers used to set feeders for belts.

County Response: Comment closed.

ENG6: The submittal documents indicate that the site will be served by several conveyor belts. The locations of the conveyor belts are not clearly shown. Revise the plans to clearly indicate where the conveyor belts will be located and exactly where the below grade roadway crossings will be located.

AI Response: Please refer to **Application Materials 04 (A04)** for revised site plans with benchmarks showing the distance the conveyor will be located from the property line.

County Response: Application Materials 04 (A04) could not be found in the resubmittal materials (nothing was labeled A04). Sheet F2 "West Area Reclamation Plan" identifies a conveyor route through one side of the site but, does not show where the crossings of Tucson St and 160<sup>th</sup> Ave are proposed to be located.

AI Response: Application Materials 04 (A04) was submitted with AI's responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Application Materials 04 (A04) was located at page 97 of 126 of the submittal. However, AI has further revised the A04 Site Plans to address comments made by Greg Barnes during this review cycle. Please see the revised **Application Materials 04 (A04)** for the conveyor belt locations. AI will email this response and Application Materials 04 directly to Matt Emmens.

County Response: Location of conveyor is now clearly shown on the construction plans. The location of the conveyor is on the west side of Tucson St and, a potential conveyor route is shown on the east side of Tucson St. If a conveyor will not be installed on the east side of Tucson St, how will the material get to the conveyor on the west side of Tucson St?

If haul trucks will be crossing Tucson St or, otherwise entering the County right-of-way (ROW), a Roadway Maintenance Agreement will be required prior to haul trucks using the County ROW. This will be included as a Condition of Approval.

Comment Closed



ENG7: As mentioned, the site is to be served by several conveyor belts that will take six (6) months to construct. Will there be any hauling of material before the conveyor belts become operational?

**AI Response:** There will be no off-site hauling of mined material to the processing plant at any time during the operation of the mine, even prior to conveyor installation. Please see **Supplemental Materials 21 (S21)** for a detailed description of the pre-mining construction and timeline, which addresses on-site transportation of overburden material for berm construction, delivery of bentonite for slurry wall construction via flatbed delivery trucks, and delivery of landscaping materials. Aggregate will agree to a condition of approval that mined materials will only be conveyed off-site for processing via the system of proposed conveyors.

**County Response:** Supplemental Materials 21 (S21) was not found in the resubmittal materials. The Appendix table included with "Tucson South Resource Conditional Use Permit Project Description" document only goes to "Supplemental Materials 20 – Right of Way Dedications."

**AI Response:** Supplemental Materials 21 (S21) was submitted with AI's responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Supplemental Materials 21 (S21) was located at page 119 of 126 of the submittal. AI will email this response and Supplemental Materials 21 (S21) directly to Matt Emmens.

**County Response:** Comment Closed

ENG8: Prior to the commencement of any type of operations, including site preparations, clearing and grubbing, staging of equipment, etc. The applicant must submit for review and approval all construction documents (i.e. site grading plans, conveyor belt construction plans, erosion and sediment control plans, traffic impact study's, drainage reports, etc).

**AI Response:** Acknowledged and Agreed.

**County Response:** Comment closed.

ENG9: All roadway accesses from E 168<sup>th</sup> Ave and Tucson St. into the development must be permitted by the County. Access permits will be reviewed and approved with the Engineering Review of the site construction documents (See Comment ENG8 above). The County would prefer to limit access to this development. Preferably the County would allow one access to be permitted off E 168<sup>th</sup> Ave (for both parcels) and two access points off Tucson St. (one on either side of the roadway and facing each other). However, the Fire District may require additional access points. If the District does require additional accesses to the properties, a letter or map, from the District, showing where the additional access should be located must be submitted to the County.

**AI Response:** Acknowledged and Agreed.

**County Response:** Comment closed.

ENG10: The responses to the above comments includes reference to materials that are supposed to be included in the resubmittal package but, nothing is labeled. The resubmittal should have all of the materials labeled so they can be found and confirmed.

UPDATE: All documents have been received.

## Aggregate Industries Tucson South Resource Case # EXG2020-00001

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H & 08001C0326H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, a portion of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site, A floodplain use permit will be required.

**AI Response: Acknowledged and Agreed.**

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area; and Adams County Stormwater (SWQ) Permit will not be required. The installation of erosion and sediment control BMPs are expected.

**AI Response: Acknowledged and Agreed.**

ENG3: The Trip Generation Letter (TGL) submitted with the application has been reviewed. Although County Staff is in agreement with the methodology used in the TGL, it is hard to believe that there will only be 6 employees working on this site. Will there be visits by supervisors, inspectors, equipment repair crews, how often will water trucks be visiting the site? Please add more information about the site operations so that staff can determine if the trip generation is acceptable.

**AI Response: Please see the attached **Supplemental Materials 21 (S21)** for additional details on pre-mining construction activities, including equipment and employees. As provided for in the TGL, there will be only six dedicated on-site employees once mining operations commence.**

ENG4: The developer is responsible for the repair or replacement of any County infrastructure that is broken or damaged because of the operations.

**AI Response: Acknowledged and Agreed.**

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

**AI Response: AI is not proposing to install over 3,000 square feet of impervious area on the project site. In fact, the site will remain entirely pervious except for movable blocks or timbers used to set feeders for belts.**

ENG6: The submittal documents indicate that the site will be served by several conveyor belts. The locations of the conveyor belts are not clearly shown. Revise the plans to clearly indicate where the conveyor belts will be located and exactly where the below grade roadway crossings will be located.

**AI Response: Please refer to **Application Materials 04 (A04)** for revised site plans with benchmarks showing the distance the conveyor will be located from the property line.**

ENG7: As mentioned, the site is to be served by several conveyor belts that will take six (6) months to construct. Will there be any hauling of material before the conveyor belts become operational?

**AI Response: There will be no off-site hauling of mined material to the processing plant at any time during the operation of the mine, even prior to conveyor installation. Please see **Supplemental Materials 21 (S21)** for a detailed description of the pre-mining construction and timeline, which addresses on-site transportation of overburden material for berm construction, delivery of bentonite for slurry wall construction via flatbed delivery trucks, and delivery of landscaping materials. Aggregate will agree to a condition of approval that mined materials will only be conveyed off-site for processing via the system of proposed conveyors.**

ENG8: Prior to the commencement of any type of operations, including site preparations, clearing and grubbing, staging of equipment, etc. The applicant must submit for review and approval all construction documents (i.e. site grading plans, conveyor belt construction plans, erosion and sediment control plans, traffic impact study's, drainage reports, etc).

**AI Response: Acknowledged and Agreed.**

ENG9: All roadway accesses from E 168<sup>th</sup> Ave and Tucson St. into the development must be permitted by the County. Access permits will be reviewed and approved with the Engineering Review of the site construction documents (See Comment ENG8 above). The County would prefer to limit access to this development. Preferably the County would allow one access to be permitted off E 168<sup>th</sup> Ave (for both parcels) and two access points off Tucson St. (one on either side of the roadway and facing each other). However, the Fire District may require additional access points. If the District does require additional accesses to the properties, a letter or map, from the District, showing where the additional access should be located must be submitted to the County

**AI Response: Acknowledged and Agreed.**



City of Brighton  
Community Development  
500 South 4th Avenue  
Brighton, CO 80601  
303.655.2059 Office  
www.brightonco.gov

August 21, 2020  
Adams County Community and Economic  
Development Department 4430 S. Adams  
County Pkwy.  
Suite W200A Brighton, CO 80601  
Re: Aggregate Industries Mining

(Case No. EXG2020-00001) Mr. Barnes,

On behalf of the City of Brighton, I appreciate the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining project. The comments below are based on the Case Number EXG2020-00001 and the referral attachments sent to the City of Brighton on August 13, 2020.

The City of Brighton would appreciate the opportunity to work with Adams County and Aggregate Industries on a way to mitigate any impacts of the proposed mining operation on the City's infrastructure and on the health, safety, and welfare of the citizens of Brighton and the surrounding area. Some of the most significant impacts to Brighton will be regarding the use of conveyors, lighting, noise, visual impacts, and hours of operation.

Based upon the Executive Summary of the Tucson South Resource Conditional Use Permit, which was attached to the August 13, 2020 referral package (the "CUP Plans"), The applicant, Aggregate Industries (AI) states that the originally proposed plans have been narrowed in scope to only include onsite excavation and direct conveyance to the existing Wattenberg Lakes Resource Site. This will eliminate the need for truck traffic associated with the transport of mining materials. Additionally, the 24 acre south parcel (located southeast corner of Bridge Street and the Tucson Street alignment) will no longer be mined. The CUP Plans also state that the mining operations will be completed within eight (8) years from the time of conveyor installation. Hours of operation are proposed to be 7 am to 7 pm Monday through Saturday. A third party air quality consultant will be utilized to install two (2) real-time air quality monitors on the site.

**Bridge Street (HWY 7) Right-of-Way Dedication:**

The City would like to ensure that AI dedicate adequate right-of-way (ROW) for the eventual expansion of Bridge Street and to take this land dedication into consideration prior to planning the site and when laying out the berms, trail, fencing, and landscaping.

#### Lighting:

The City requests that all lighting on the site be contained completely on site, with cut-off lighting fixtures, to prevent light from spilling off-site. In addition, the City requests that light poles be no higher than 35-feet tall within 300' of an adjacent roadway and no higher than 50-feet tall at the interior of the site. The City also requests that the lighting levels would be limited to no more than 15 lumens per square foot in any specific spot, and no more than 100,000 lumens per gross acre (average of 2.3 lumens per gross acre), measured from between three (3) and five (5) feet above finished grade.

#### Landscaping and Reclamation:

In order to reduce the visual and other impacts to the City of Brighton, the City requests that all mining operations be setback 50-feet from Tucson Street and Hwy 7 in order to accommodate landscaped berms and future roadway improvement/expansion projects.

The City previously negotiated the following conditions during the mining application in 2011. We would appreciate your help in assuring that these conditions be placed on the current conditional use through the county. The City requests that the County and the operators, Aggregate Industries (AI) meet with City staff to establish a reclamation plan, including a landscaping and trails plan prior to approval of the conditional use. More specifically, the City requests the following:

- That landscaping be installed on the site during the first spring planting season, after all necessary permits for the mining are obtained. (Agreed)
- That, prior to installing the landscaping, AI work with City staff to determine the location of future trails along the Hwy 7 and Tucson Street corridors, and that AI install landscaping along these roadways in a location that will ensure that a trail can be installed in the future, without disturbing the trees and shrubs and other landscaping.(Agreed)
- That the landscaping shall have a native, irregular character to compliment the riparian corridor and shall include native and adaptive species. (Agreed)
- That AI install an irrigation system to ensure that the plantings are established, and that AI maintain the plantings during the mining and reclamation process. (Agreed)
- That AI shall install a grass berm, a minimum of 12-feet tall at the southwest corner of the property to help screen the line of sight to the north, into the mine, from Hwy 7. (Agreed)

Thank you, again, for the opportunity to comment on the proposed project. We appreciate the opportunity to work with the County's staff and Aggregate Industries to ensure the needs and concerns of all parties are adequately addressed.

Cordially,

A handwritten signature in black ink that reads "Jason Bradford". The signature is written in a cursive, flowing style.

Jason Bradford, AICP Planning Manager

*Page 2 of 2*

Greg Barnes

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From: BFR Plan Reviews <planreviews@brightonfire.org>  
Sent: Tuesday, September 8, 2020 8:06 AM  
To: Greg Barnes  
Subject: RE: For Review: Tucson South (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

Good morning,

At this time the Fire District has no

comments or concerns. Thank you!



Carla Gutierrez

Rescue District 500 S. 4<sup>th</sup> Ave – 3<sup>rd</sup> Floor Brighton CO 80601  
Office: 303.654.8042 / Cell: 720-684-7669  
[www.brightonfire.org](http://www.brightonfire.org)

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From: Greg Barnes <GJBarnes@adcogov.org>  
Sent: Thursday, August 13, 2020 3:28 PM  
To: Greg Barnes <GJBarnes@adcogov.org>  
Subject: For Review: Tucson South (EXG2020-00001)

The Adams County Planning Commission is requesting comments on the following application: conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district. This request is located near 12255 East 160th Avenue. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, 0157101300002.

Applicant Information:  
CHANCE ALLEN  
AGGREGATE INDUSTRIES - WCR, INC 1687 COLE BLVD  
SUITE 300  
GOLDEN, CO 80401

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 09/07/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).



Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases). Thank you for your review of this case.



**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

**ADAMS COUNTY, COLORADO**

4430 S. Adams County

Parkway, 1st Floor, Suite

W2000A Brighton, CO 80601-

8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks

of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am –

4:30 pm

Greg Barnes

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From: Loeffler - CDOT, Steven <steven.loeffler@state.co.us>  
Sent: Wednesday, August 19, 2020 2:54 PM  
To: Greg Barnes  
Cc: Bradley Sheehan - CDOT  
Subject: EXG2020-00001, Tuscon South

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the referral request for a CUP to allow extraction use located near 12255 East 160th Avenue and have the following comments:

- A review was done by CDOT Hydraulics in 2019 of the Drainage letter for this proposed mining operation. At that time Hydraulics had no major concerns. If there have been any changes to the plan or if the drainage has been updated we would like to review a copy.

**AI Response: There have been no changes to the project that impact drainage.**

- If any work is proposed in the State Highway 7 Right-of-Way a permit from our office will be required. Application can be made online at the following link: <https://cdotpermits.force.com/utilitypermits/s/login/>

**Thank you. AI will not be crossing or using Hwy 7 so a right of way permit is not needed.**

- Any signing for this mining operation must be on premise and cannot be either partly or wholly in the state highway Right-of-Way.

**Acknowledged and Agreed.**

- It is understood that the mined aggregate will be taken North by conveyor to the Wattenberg/Platte Valley facility in Weld County and the impact State Highway 7 will be low. If this is incorrect, we will want to review the updated Traffic Study.

**This is correct. No impacts to Hwy 7 are being contemplated.**

Thank you for the opportunity to review this referral.

Steve Loeffler  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204

[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) |  
[www.cotrip.org](http://www.cotrip.org)



**COLORADO**  
**Division of Water Resources**  
Department of Natural Resources

August 25, 2020

Greg Barnes  
Adams County Planning &  
Development Department  
Transmission via email:  
[CBarnes@adcogov.org](mailto:CBarnes@adcogov.org)

Re: Aggregate Industries - WCR, Inc. -  
Conditional Use Permit Case no.  
EXG2020-00001  
Sec. 1, T1S, R67W, 6<sup>th</sup> P.M.  
Water

Division 1, Water

District 2 Dear Mr.

Barnes,

**This referral does not appear to qualify as a “subdivision” as defined in Section 30-28-101(10)(a),**

C.R.S. Therefore, pursuant to **the State Engineer’s March 4, 2005 and March 11, 2011** memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements.

In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

The applicant (Aggregate Industries-WCR, Inc.) requests an amendment to the original conditional use permit for a sand and gravel mine (EXG2004-004), to allow a change in the planned use from wet mining, onsite crushing and screening plants, sales yards, and truck transport of mined materials to only include onsite excavation and direct conveyance to the existing Wattenberg Lakes (M2004-051). Additionally, a **24-acre parcel, known as the “South Parcel”** is in a process of being removed from the Division of Reclamation, Mining and **Safety (“DRMS”) permitted boundary.**

According to our records the Tucson South mine site is permitted by the DRMS under permit no. M2004-

44. Depletions resulting from evaporation and mining operations at the site are replaced under a combined Substitute Water Supply Plan, currently valid through December 31, 2020, if not extended. The applicant must maintain a valid Substitute Water Supply Plan until such time as all depletions are replaced or obtain a court-decreed plan for augmentation to cover depletions at the mining site. In addition, the Applicant must maintain a valid well permit for the site.

**Acknowledged. Aggregate will renew its approved Substitute Water Supply Plan to cover evaporative losses and any other water use at the site, as necessary during the life of the project.**

If stormwater runoff is intercepted by this mining operation and is not diverted or captured in priority, it must be released to the stream system within 72 hours.

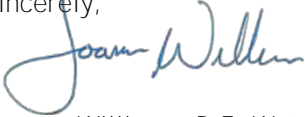


This may require a discharge permit from CDPHE-WQCD. Otherwise, the operator will need to make replacements for evaporation.

**Acknowledged and Agreed**

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,

A handwritten signature in blue ink that reads "Joanna Williams". The signature is written in a cursive style with a large initial 'J'.

Joanna Williams, P.E. Water Resource Engineer

Ec: Project No. 27265

# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



September 3, 2020

Greg Barnes  
Adams County Commu and  
Economic Development Department  
Development Services L  
GJBarnes@adcogov.org Division

**Location:**  
Section 1,  
T1S, R67W, 6<sup>th</sup> P.M.  
39.9926, -104.8363

**Subject: Tucson South EXG2020-00001**  
**Adams County, CO; CGS Unique No. AD-21-0001**

Dear Greg:

Colorado Geological Survey has reviewed the Tucson South EXG2020-00001 referral. I understand the applicant requests a conditional use permit to allow extraction of sand and gravel in the A-1 zone district. Permitting and revisions to this mining and reclamation plan are processed by the Colorado Division of Reclamation, Mining, and Safety (DRMS) under file no. M2004044. Reclamation plans involve water storage reservoirs with proposed normal high water elevations of 4954.7 ft. (Reservoir A) and 4953.4 ft. (Reservoir B), according to CUP Application Exhibit F, West Area and East Area Reclamation Plans (Tetra Tech, July 17, 2020).

The available referral documents include an Updated Tucson South Proposed Gravel Mine Slope Stability Analysis; Tetra Tech Job No. 200-23514-18004 (November 9, 2018), and Slope Stability and Setback Updates, July 3, 2019; Tetra Tech Job No. 200-23514-18004 (updated September 16, 2019). Tetra Tech's slope stability analyses and setback recommendations are valid, but only active mining (dewatered) conditions appear to have been modeled. I am concerned about stability of slopes, and improvements along the slope setback, under saturated conditions. Once the reservoirs fill, water levels will be higher than water levels used in Tetra Tech's models, and factors of safety will probably be lower.

**CGS recommends that the County require additional stability analysis to verify that the proposed reservoir slopes will be stable under saturated conditions. Since water levels in water storage reservoirs fluctuate, stability should be modelled using saturated slopes but lowered water level conditions.**

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

A handwritten signature in black ink, appearing to read "Jill Carlson".

Sincerely,

Jill

Carlson, C.E.G. Engineering Geologist

See **Supplemental Materials 24 (S24)** for a detailed explanation of the slope stability requirements.

AD-21-0001\_1 Tucson South EXG2020-00001  
5:08 PM, 09/03/2020





# COLORADO

## Parks and Wildlife

Department of Natural Resources

Northeast Regional Office  
6060 Broadway  
Denver, CO 80216  
P 303.291.7227 | F 303.291.7114

September 3, 2020

Mr. Greg Barnes  
Community & Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup>  
Floor, Suite W2000A Brighton, CO  
80601-8218

Re: Tucson

South,

EXG2020-

00001 Dear

Mr. Barnes:

Thank you for the opportunity to comment on the proposed conditional use permit for the Aggregate Industries Mining, for extraction and disposal of gravel in an Agricultural-1 zone district. The various parcels that are covered by the Conditional Use Permit are owned by Aggregate Industries Mining, City of Thornton and City of Aurora, and comprise a total of approximately 415-acres. The South Platte River intertwines with portions of the eastern portion of the property. The property is bounded on the north by Adams County-Weld County line, and various parcels of private and local government properties. The property is bounded on the east by various government properties, private properties and the South Platte River. The southern boundary of the property is a mixture of Highway 7, government properties, private properties, and United Power Incorporated property. The western boundary of the property is various parcels of private property, Brighton Ditch, Bratner Ditch, and United Power Incorporated property.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to **serve as active stewards of Colorado's natural resources. Our goal in** responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to **wildlife and wildlife habitat. The emphasis of CPW's concerns is on large** acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

CPW would expect to find small passerine birds, deer, wild turkeys, and

small ground dwelling mammals, including possibly black-tailed prairie dogs, within the property boundaries or in the vicinity of the property. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

## Water Sources

**Jeffrey M. Ver Steeg, Acting Director, Colorado Parks and Wildlife • Parks and Wildlife Commission: Robert W. Bray •**  
Matthew Burkett • Charles Garcia • Marie Haskett • Carrie Besnette Hauser • John Howard, Chair • Marvin McDaniel •  
Colleen Pepler • Jennifer Rieke Taylor • James Vigil, Secretary • Michelle Zimmerman, Vice-Chair



If heavy equipment is used near any water source, including the South Platte River, Brighton Ditch, or Brantner Ditch (that was used in another stream, river, lake, reservoir, pond, or wetland), one of the following disinfection practices is necessary prior to construction to prevent the spread of New Zealand mud snails, zebra mussels, quagga mussels, whirling disease, and any other aquatic invasive species into this drainage. These practices are also necessary after project completion, prior to this equipment being used in another stream, river, lake, reservoir, pond, or wetland:

- Remove all mud, plants, debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment in a 1:15 solution of Quat 4 or Super HDQ Neutral institutional cleaner and water. Keep equipment moist for at least 10 minutes OR
- Remove all mud, plants and debris from equipment (tracks, turrets, buckets, drags, teeth, etc.) and spray/soak equipment with water greater than 140 degrees F for at least 10 minutes.
- Clean hand tools, boots, and any other equipment that will be used in the water with one of the above options as well. Do not move water from one water body to another. Be sure equipment is dry before use.

Acknowledged - AI does not plan on working within any waterways, but acknowledges these mitigation measures if work does occur near these waterways.

### Burrowing Owls

If prairie dog towns are present on the site or if prairie dogs establish themselves on the property prior to any development - CPW recommends that a burrowing owl survey be conducted prior to earth moving. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by state and federal laws, including the Migratory Bird Treaty Act. A copy of a burrowing owl survey can be obtained from CPW.

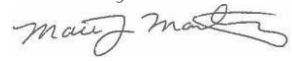
Acknowledged: Owl surveys are planned prior to any construction in accordance with CPW recommendations.

If prairie dogs are present at the site or if prairie dogs establish themselves on the property prior to any development and the developer wants to relocate the prairie dogs, CPW requires the developer to obtain a relocation permit prior to starting any relocation efforts. CPW allows prairie dogs to be relocated to another suitable wild habitat, a license raptor rehabilitation center or to the United States Fish and Wildlife Service Black-footed Ferret Recovery Program. The developer is not allowed to relocate prairie dogs without obtaining a relocation permit. Relocation requirements and an application for a prairie dog relocation can be obtained from CPW.

Acknowledged

If you have any questions or concerns on this project, please feel free to contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Martinez". The signature is fluid and cursive, with the first name "Matt" and last name "Martinez" clearly distinguishable.

Matt Martinez  
Area Wildlife Manager

Cc: M. Leslie, K. Cannon, J. Likes

Greg Barnes

---

From: Matthew Emmens  
Sent: Tuesday, September 8, 2020 2:41 PM  
To: Greg Barnes  
Subject: FW: Promontory Metropolitan District Improvements

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From: JR Osborne <c3construction@live.com>  
Sent: Tuesday, September 8, 2020 2:13 PM  
To: Matthew Emmens <MEmmens@adcogov.org>  
Cc: Christine FELZ <christine.felz@lafargeholcim.com>  
Subject: Promontory Metropolitan District Improvements

Please be cautious: This email was sent from outside Adams County

Dear Matt,

I spoke with Christine Felz from Lafarge Holcim/Aggregate Industries today about their plans to install a conveyor belt underneath 168th Ave, just west of the Platte River. The two items of concern that the Promontory District has are:

1. The depth of the conveyor belt underneath 168th Avenue.
2. The timeframe of the use for the conveyor belt.

Ms. Felz said that the conveyor belt would be a minimum of 10' feet deep and that the conveyor belt would only be used for an 8 year period, with no timeframe extensions, after they get ADCO approval (hopefully late 2020).

With a 10' minimum depth and an 8-year timeframe, the Promontory District has no objections with the Lafarge Holcim/Aggregate Industries request to install a conveyor belt underneath 168th Avenue.

If you have any questions,

please feel free to contact me.

Very Truly Yours,

J.R. Osborne  
Promontory  
Metropolitan District  
President 303-880-  
6410

AI appreciates the opportunity to work with the Metro District, and will continue to do so. Based on current information neither AI nor the Metro Districts anticipates any conflicts related to the crossing on 168<sup>th</sup> Street based on proposed installation locations, depth, and timeframes of both **party's** projects.



September 4, 2020

Greg Barnes  
Adams County Community and  
Economic Development 4430 South  
Adams County Parkway, Suite  
W2000A Brighton, CO 80601

RE: Aggregate Industries Tucson  
South, EXG2020-00001 TCHD  
Case No. 6430

Dear Mr. Barnes

Thank you for the opportunity to review and comment on the conditional use permit to allow extraction located near 12255 East 160<sup>th</sup> Avenue, north of Highway 7 and west of Kuner Road. The case referral materials indicate that the revised plan does not include activities previously planned, including crushing, screening, sales, and truck transport. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

**Air Pollution**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease.

*Permit Required*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions of hazardous air pollutants, asbestos, and chlorofluorocarbons (CFCs). The applicant's air permit may be required to be updated for this project. If required, Tri-County recommends that the County require the applicant to have obtained or updated the facility's air emissions permit as a condition for issuance of a building permit. The applicant shall contact the APCD at (303) 692- 3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/air-emissions-business-and-industry>

**Acknowledged and Agreed. AI has an air permit in place but will update the permit as needed prior to commencement of operations.**

### *Fugitive Dust*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692- 3100 for more information. Additional information is available at

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry>.

### **Acknowledged and Agreed.**

### *Air Quality Monitoring and Modeling*

The case referral materials indicate that a third party consultant will conduct an air modeling analysis and will commit to installing two real time air quality monitors on site. Data from these monitors will be transmitted monthly to Adams County. TCHD supports air quality monitoring in order to study and analyze sources of pollution, and implement controls to decrease air pollution. TCHD applauds the applicant for making this information available to Adams County and encourages a data sharing platform that would allow for sharing real time data in a timely manner.

**Thank you for acknowledging the proactive measures AI has taken in order to demonstrate project emissions will meet all regulatory levels to protect human health and the environment. We look forward to sharing real time particulate monitoring data to assure ongoing transparency.**

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,



Kathy Boyer, REHS  
Land Use and Built

Environment Specialist III

cc: Sheila Lynch,

Monte Deatrich, TCHD





Your Touchstone Energy® Cooperative 



September 6, 2020

Adams County Community & Economic  
Development Department 4430 South Adams  
County Parkway

Re:

EXG202000001

– Tucson South

Dear Greg

Barnes:

On behalf of United Power, Inc., thank you for inviting us to review and comment on the EXG2020-00001 – Tucson South. After review of the information, United Power, Inc. has no concerns or objection to the proposed conditional use permit to allow extraction use in the A-1 zone district, contingent upon United Power's ability to maintain all existing rights, facilities/equipment, and existing easements. This request should not hinder our ability for future expansion, including all present and any future accommodations for electrical distribution.

We look forward to safely and efficiently providing reliable electric power and outstanding service.

**AI Response – Thank you for your response.**

Thank you,

Samantha Riblett United Power, Inc.  
Right of Way Administrative Assistant  
O: 303-637-1324 | Email: [platreferral@unitedpower.com](mailto:platreferral@unitedpower.com)

Greg Barnes

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From: John Ashburn <jashburnjr@hotmail.com>  
Sent: Sunday, August 30, 2020 4:14 PM  
To: Greg Barnes  
Cc: John Ashburn  
Subject: Case # EXG2020-00001 Aggregate Industries  
  
Importance: High

Please be cautious: This email was sent from outside Adams County

Dear Adams County Planning Commission,

I am writing this email to express my extreme concern regarding the Aggregate Industries conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district. As you know, this application, if approved, would site an open pit aggregate mining operation immediately to the west of downtown Brighton and directly between downtown Brighton and an extremely large area of Brighton that is currently undergoing new residential development. As someone with more than two decades of experience with above ground and below ground mining operations, I can tell you that despite mitigation efforts, the proposed open pit aggregate mining operation will almost certainly create both dust and noise issues for both downtown Brighton and the surrounding residential areas, both current and future. In addition, the operation will almost certainly depress real estate values during the term of its operation. While the area proposed for this operation may have been an appropriate one 10 or 15 years ago, it is no longer an appropriate area for such an operation. Brighton is growing rapidly and has a very "bright" future. At this point in time, the Adams County Planning Commission should be focused on developing this area in a manner that will benefit Brighton and its citizens as the community continues to grow, not projects that will certainly have an adverse impact on future economic development. The area in question is now much better suited to residential or commercial development, both of which would be much more compatible with the other current and planned developments in the area. It would neither be appropriate, nor responsible, for the Adams County Planning Commission (or any Planning Commission for that matter) to allow an open pit aggregate mining operation to be first established in the middle of a thriving and actively developing community.

Accordingly, I would respectfully request that the Planning Commission not approve the proposed conditional use permit for Aggregate Industries. Please include my comments verbatim in the Commission's report and review of this case. Also, please inform me of any future public hearing dates and forward a copy of the staff report to me when available. Thank you for your time and consideration.

Sincerely,

John F. Ashburn, Jr. Attorney at Law

Dear Mr. Ashburn,

Thanks for your comments and we appreciate your concerns. The current project has been carefully evaluated by third party experts whose analysis indicates that project noise and

Greg Barnes

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emissions will be below applicable regulatory levels designed to be protective of human health. Real time particulate monitoring and a twenty-four hour complaint hotline will assure ongoing compliance and transparency. Given the distance of the project away from Brighton on the other side of Highway 85 and the temporary nature of the project, no diminution of property values is expected.

Greg Barnes

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From: Tina Cullen <Tina.Cullen@elevationscu.com>  
Sent: Wednesday, August 26, 2020 9:12 AM  
To: Greg Barnes  
Subject: Aggregate Industries - Tucson South

Please be cautious: This email was sent from outside Adams County

Good morning,

I live in Brighton, Todd Creek Riverside. I received the letter regarding AI's application (again) for mining aggregate near my home. I strongly object to allowing this to go forward. I was so proud of the Board for denying their request back in November of last year. It felt like we had advocates who cared about the people who live here and the businesses who want to thrive here. I really hope that advocacy continues.

The trucks that already use Highway 7 and Highway 85 as their main routes continue to destroy the roads, pollute the air, and make living and commuting here a terrible experience. We've had to replace 3 windshields since living here due to the lack of consideration from truckers who don't cover their aggregate loads. As Adams County and Brighton continue to grow, the traffic has become heavier with just the residents. Adding more heavy trucks to that traffic would be a mistake and a loss for those of us who chose to make Brighton our home. We want to build something here, not just focus on revenue for the county. We want a thriving community, not an industrial center. Please don't let industry and revenue be the primary focus in our county.

Thank you for your consideration.

**Christina Cullen** | Quality

Control Specialist II

[Elevations Credit Union](#)

1 Environmental Way, Broomfield

P.O. Box 9004,

Boulder, CO

80301 t:

303.443.4672

x. 1813 |

**It matters where you bank.**



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Please consider the environment before printing.

Greg Barnes

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Dear Ms. Cullen,

Thank you for taking the time to comment on our application. Aggregate Industries heard and responded to your concerns and the concerns of others regarding truck hauling traffic last November and has positively changed the application to address these concerns. This new application has eliminated the previously-proposed 400 daily truck trips for hauling mined material via local roads, including Highway 7, to the processing facility and instead all materials will be transported via an overland conveyor system.

Greg Barnes

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From: CenturyLink Customer <lepantzeus@q.com>  
Sent: Wednesday, August 19, 2020 6:48 PM  
To: Greg Barnes  
Cc: JOHN C LEPANT  
Subject: Case Number EXG2020-00001 Tucson South

Please be cautious: This email was sent from outside Adams County

ATTN: Greg Barnes, Planner III

In Regards: Case Name: Tucson South  
Case

Number: EXG2020-00001

19 August 2020

Dear Mr. Barnes,

Am sending you this email in response to your Letter headed ' REQUEST FOR COMMENTS ' regarding the above permit application.

Would respectfully request this permit be approved.

The Letter states you will include these comments verbatim in the case review. That is perfectly acceptable to me.

I am a long time resident of Brighton and have lived near this aggregate operation at my house on Denver Street for more than ten years. There has never been any trouble for me whatsoever from this operation. The truck drivers are careful and courteous and the operation is very well managed to the point that many local residents are not even aware that it exists. It is a quiet, unobtrusive, and comports well with the other activities adjacent which are primarily light industry and agriculture.

This mining operation supports local jobs and more importantly provides materials required for building businesses, homes, and local infrastructure all along the Colorado Front Range. Much has been said and written by others about the importance of infrastructure, both in terms of maintaining current infrastructure and building new infrastructure. There is no need to reiterate those points here and Adams



County is well versed on that need as it is part the ongoing County services. It is very likely the County has been a customer buying materials from the applicant.

A healthy construction industry and good infrastructure are both necessary for a healthy economy. The applicant provides materials that are critical to both. Doing so improves the economy of not just Adams County but the entire State of Colorado. The applicant has a long history of responsible business practices, operations, and stewardship. Approving this permit will not change the characteristics of the immediate area as those types of operations already exist there.

Therefore, as there is minimal impact, the applicant has a long history of responsible conduct, and this operation supports the economies of both Adams County and the entire State of Colorado, I respectfully request that this permit be approved.

Sincerely, John C Lepant

Dear John,

Thank you for your comments in support of AI's application! We will work hard to continue to be a positive member of the community and local economy.

B. Michl Lloyd 12202 East 168<sup>th</sup> Avenue

Brighton, CO 80602

303-659-4545

September 3, 2020

Adams County Community & Economic  
Development Department 4430 South Adams  
County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Aggregate Industries'  
Application for Conditional Use Permit  
Case Number EXG2020-00001 -  
**"Tucson South"**

Dear Mr. Barnes:

This letter is in response to your August 13<sup>th</sup> request for comments on the above referenced Conditional Use Permmit Application.

Even though Aggregate's current application eliminates a lot of the traffic concerns, includes donation of property south of highway 7, commits to a fixed life (without any extension requests) and supposedly enhances air quality monitoring compared to their application that was denied unanously by the Comissioners present at the November 2019 meeting, I still do not believe their proposed activity meets the County's Conditional Use Permit Criteria.

AI carefully evaluated the primary community concerns expressed last year, which were truck traffic and project duration. We addressed each of these concerns in this new application. Specifically, this application eliminates the previously-proposed 400 daily truck trips for hauling mined material, and instead all material will be transported via an overland conveyor system. In addition, we have committed to active real time dust monitoring. AI appreciates your concern over the County's Conditional Use Permit approval criteria. We believe that this application, however, demonstrates that impacts have been mitigated and it meets the criteria for approval for this protected aggregate resource.

The Comissioners are well aware of all of the objections and concerns raised by the community and businesses in 2019 regarding Aggregate not meeting these criteria and I will not reiterate those; however I believe that those concerns are still valid and maybe more so now that almost another year has passed and the area continues to grow – not get smaller. Aggregate seems convinced this is a rural farming area and back in 2004

when the mine was initially approved it probably was. However it is now over 16 years later and it is not a rural farming area any more. I do not **believe the residents should have to "pay" for Aggregate's failure to act on** this project much sooner.

The mining of this resource will provide many benefits to the community including vital high paying jobs, taxes, land donation, and construction materials needed to support growth and development. Aggregate will mitigate views into the site through landscaping, berms, and floodplain-friendly farm-style fencing. No truck traffic for material hauling or onsite processing will occur at this site. We have committed to a concise eight-year time period with no allowance for an extension to further alleviate impacts.

As to Aurora's water storage, they have the alternative to use the site as they do a site in Weld County and inject river water into the ground, filter it through the sand and gravel and extract the filtered water using wells. Aurora has a several million gallon water storage tank and distribution pipeline immediately adjacent to the west of the proposed mine site.

I do not believe those of us that are not citizens of Aurora should have to bear the responsibility of providing the area to store water that does not benefit us. This would leave the surface area of the site available for numerous uses that could definitely enhance the community.

**Not meeting the criteria for a Conditional Use Permit ("CUP") combined** with Aurora's alternative regarding water storage and Aggregate's alternatives for potential mine sites in less populated areas I recommend that the application once again be denied.

Knowing that some of Aggregate's changes from their previous application may cause others to be more inclined to be in favor of their current application, I would suggest that certain conditions be required if the current application were to be approved.

Conveyor System - Aggregate has committed to not starting mining until the conveyor system is operational however not all easements, approvals and engineering, etc. for the conveyor system are in place and accordingly a final route for the conveyor system has not been proposed. An Aggregate representative stated in the October 29, 2019 Commission meeting that it could take 18 months or more to complete the conveyor system. You could possibly believe they could accomplish this if all of the factors were under their control – but the easements and approvals are not under their control. I would expect there to be considerable opposition if some of the **proposed routes ended up being the “final” route.**

The current application shows both potential conveyor routes. We expect to affirm the exact route prior to the Planning Commission hearing and have agreed to a condition of approval that the conveyor easements will be finalized, and the conveyor installed within 12 months of approval of this application. Each route was selected to minimize impacts to the community.

I believe that Aurora needs to clarify and justify why they cannot grant an easement for the conveyor along the east side of their pit north of 168<sup>th</sup> Ave. Such a route would appear to be the least **objectionable. It was stated that “litigation” was preventing them** from granting such an easement. But this sounds like an **“easy out”** and the fact remains that this whole project benefits Aurora and not Brighton or the neighborhood.

AI continues to evaluate all routes including the use of the Aurora tract North of Highway 168. It is important to note that AI has worked to reduce impacts related to both the East and West routes. In all cases, any required agreements will be in place providing consent of each landowner prior to construction of the conveyor.

I believe Aggregate is premature in applying for a CUP before having at least the route for the conveyor finalized. If for any reason the CUP is approved there should at least be a condition precedent that sets a time limit for having the conveyor operational.

AI has agreed to a condition of approval that requires the conveyor route to be finalized and the conveyor constructed within 12 months of approval of this application.

Life of mine – Aggregate stated in the current application that mining and reclamation would be reduced to 8 years from the time the conveyor is installed and that no extensions would be requested. One Commissioner commented on the prior application that the life should not exceed 5 years and an Aggregate representative stated in the October 29, 2019 Commission meeting that it could be completed in as little as 4 years. Five years appears reasonable to me.

The issue though is they do not commit to a start date for what ever the time limit is. Since the start of the life begins with an operational conveyor system such a start date could be drug out for quite some time and this mine could last as long as other Aggregate mines in the County.

AI has agreed that the CUP approval will be conditional upon conveyor installation within 12 months of approval. Our current project proposal makes a firm commitment for mining and reclamation within eight years of conveyor installation while using a low impact conveyor. AI will agree to a condition that provides for no extensions of the CUP.

Slurry Wall – **Aggregate says that “Tract K” as designated on** their maps will not be mined but will be used as the staging area for material necessary for the slurry wall installation. The slurry wall(s) for this mine will be measured in miles, will require a substantial amount of material to be hauled to the site by trucks and will not be installed in any short time period.

AI has significant experience constructing slurry walls and has accounted for the laydown areas and time period needed to construct. Contractor traffic will be minimal and will occur over a short period of time during the first 12 months of the project.

Tract K is west of the area to be mined and encompasses two elevations – one level is relatively close in elevation to the area to be mined and houses Aurora's huge water storage tank and related facilities and does not have a large area for staging anything. This area is accessible by a service road however in order to access the area for the slurry wall they would have to cross the Brighton Ditch and there are no substantial bridges that cross the Brighton Ditch or they would have to use Highway 7 which has already been determined to be unacceptable. They still will have to traverse the total width of the site to get to the east side for installation of that portion of the slurry wall.

The other elevation is substantially higher (a very steep hill), is west of the Brantner Ditch and adjoins my property. There are no roads to access this area accordingly getting material to this area would be very problematic and to access the area for the slurry wall would be equally problematic and would mean crossing the Brantner Ditch (with no existing substantial bridges), traversing a very steep hill and then crossing the Brighton Ditch. Using 168<sup>th</sup> Avenue, crossing Great Western's oil and gas well site, crossing a farm field and a residential back yard to gain access would be totally unacceptable. Again, this area is even further west of the mine area. In addition this area borders residential backyards of a number of new homes in a substantial residential development.

Materials for the slurry wall will have to be moved by large trucks and without adequate roads and bridges I believe using Tract K as a staging area for the slurry wall is not only totally impractical but also totally unacceptable. Materials for the slurry wall should be staged close to where they are going to be used. Aggregate has well over 100 acres to use for this staging.

The application does not address the truck traffic, routes, etc. necessary to get slurry wall material to the site. Given the length of the slurry wall(s) I would not expect these to be minor issues and they should be addressed in the application.

Truck traffic during slurry wall construction will be minimal and short term. Access will be gained by way of existing perimeter roads or through the Tract itself.

South Parcel – One of Aggregate's responses indicated the State's approval of removal of the South Parcel from the mine permit was expected by August 31<sup>st</sup>. Did the State approve the removal?

Yes, the permit amendment removing the South Parcel has been approved by the DRMS.

Seeding Berms, etc. - Aggregate does not mention irrigating any of the seeded or landscaped area. Given our recent weather patterns I would not expect any landscaping to survive without irrigation.

Aggregate will install an irrigation system which will be used during establishment and on an ongoing basis to ensure the viability of the installed landscaping.

Concurrent reclamation - **"Concurrent reclamation"** is not adequately defined. Aggregate 's history of concurrent reclamation on the Tuscon North Mine meant leaving significant high walls (with a 3 wire farm fence that had mostly fallen down and a trailer park with a significant number of children close by) for years. Reclamation on that site was supposedly concurrent. If history is any indication, leaving it to Aggregate's discretion as to **when a mining area is "complete" means that a significant** portion or none of the site is likely to be reclaimed concurrent with being mined. Accordingly, a limited number of linear yards of pit walls allowed to be disturbed at any given time before being reclaimed should be defined for the whole site.

Mining and reclamation will occur in accordance with the approved site plans and DRMS permits. This will entail concurrently reclaiming the mined area in approximately 30 acre increments, which is approximately 800 linear feet of mine face. Overburden from mining will be used to complete reclamation slopes. Access will also be controlled by using perimeter fencing which meets both MSHA security requirements and community aesthetic concerns.

Yours truly,

B. Michl Lloyd



## Greg Barnes

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From: Greg Barnes  
Sent: Friday, September 4, 2020 8:25 AM  
To: Greg Barnes  
Cc: Aaron Clark  
Subject: Tucson South - Public Comment

Wayne Medlin prefers the parcel south of Highway 7 stay with the Adams County Parks system, rather than the City of Brighton's system. He lives adjacent to the property.

[waynemedlin@hotmail.com](mailto:waynemedlin@hotmail.com) / 303-819-7884

AI has discussed the future use of the South Parcel with both Brighton Parks and Recreation and Adams County Open Space. AI's only interest is that this donation of land is maximized to meet the most appropriate and desirable open space use to the benefit of the community.



### Greg Barnes

Planner III, *Community and Economic Development Dept.*

**ADAMS COUNTY, COLORADO**

4430 S. Adams County

Parkway, 1st Floor, Suite

W2000A Brighton, CO 80601-

8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

### **Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks

of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am –

4:30 pm

Greg Barnes

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From: Christy Montoya <christy.montoya@me.com>  
Sent: Tuesday, August 25, 2020 4:39 PM  
To: Greg Barnes  
Subject: Tucson South EXG2020-00001 Comment

Please be cautious: This email was sent from outside Adams County

Hi Mr. Barnes,

This email is in reply to the letter dated 8/13/2020, Request for Comments.

Please do not approve the conditional use permit to allow extraction use for Aggregate Industries, EXG2020-00001. There is too much drilling, fracking, excavation, water pipeline installation (RCU2020-00004) contained within a very small area. How much more are all the people that live in the immediate neighborhoods going to be subjected to?

Adams County was once beautiful with open space and farm land. Not anymore, corporations such as Aggregate Industries continue to suck all they can out of the earth with promises of air quality monitoring, donation of land for "open space" and a "dust complaint hotline" then move on to the next site to subject more people to their pollution. A hotline to complain about dust says it all!!! Currently, we can't open our windows due to the frack site right behind our house, if approved the Aggregate extraction and conveyor belt pollution will be even worse; in addition to the dust there will be noise pollution! Who regulates that? Who is going to respond to complaints? Aggregate Industries? If so, that's an absolute JOKE!! What's worse is the joke will be on all the neighboring families who live in close proximity to the extraction site.

It should be a requirement for the applicant, Chance Allen and his family, to move into a house next door to the Tucson South extraction site in order to get the permit approved. That way he could experience first hand all of the false promises Aggregate Industries has included in their application.

Please include my comments verbatim.

Furthermore, please forward the staff report and notice of public hearing dates upon completion, via email or USPS. If unable to send, I'll come pick them up.

Thank you, Christy Montoya

Dear Ms. Montoya,

Thank you for your comments and AI sincerely appreciates your concerns. AI has proactively completed an ambient air quality impacts assessment and a noise study of the project. These indicate that impacts will be well below regulatory thresholds in place to protect health and safety. The post construction air monitoring will provide real time data which will be shared with Adams County. This is in addition to the Colorado Department of Public Health and Environment, who will also have direct enforcement authority over our operations. The hot-line phone number is provided as an added communication tool for the community, not as a replacement for agency reports. AI will be supplying a monthly record to Adams County, which will include any reported concerns from the community.

Greg Barnes

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From: Greg Barnes  
Sent: Thursday, August 20, 2020 11:08 AM  
To: Greg Barnes  
Cc: Matthew Emmens; Katie Keefe; Gail Moon  
Subject: Phone Comments: Wayne Mueller on Tucson South (EXG2020-00001)

FYI - I had a phone conversation with Wayne Mueller (wmuhler@yahoo.com) on the morning of August 20, 2020.

- Has concerns about reclamation and end use.
- Wants assurance that end product will actually be a water reservoir  
**The final reclamation of the site will be a water storage facility. .**
- Believes the current site is not being controlled for weeds. (See Page 20 of application)  
**AI acknowledges that weed control should and will be a top priority for this site.**
- Believes a high water table in the area may present flooding issues for conveyor location.  
**The conveyor will not impede water drainage from its natural course**  
Has concerns that the mining process is not wet mining, like what is being claimed. Suggests that we evaluate if mining practices are appropriate. Dredging operations may be more expensive but will create less off-site impacts. **Dredging operations would be more intensive with regard to water use and noise in comparison to below grade mining. Such operations would require onsite processing to dewater and classify dredged materials. Even after slurry wall installation and dewatering, native materials will remain moist and will be supplemented with onsite hydration.**  
Has concerns about the duration being 8 years from the conveyor being operational. **AI has committed to eight years and will agree to a condition that no extension of the permit will be requested or allowed.**
- Additional concerns that the operator does not have a great track record of compliance. **AI has operated in the Denver Metro area for over 30 years and remains committed to environmental compliance. AI believes any past concerns have been addressed with the appropriate agencies, but looks forward to working with Adams County and the community on this project to ensure compliance.**



**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

**ADAMS COUNTY, COLORADO**

4430 S. Adams County

Parkway, 1st Floor, Suite

W2000A Brighton, CO 80601-

8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks

of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am –

4:30 pm

Greg Barnes

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From: Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>  
Sent: Saturday, August 29, 2020 3:02 PM  
To: Greg Barnes  
Cc: Mary Jane Olsavsky  
Subject: Comments on proposal Tuscon South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

**WE DO NOT WANT A MINING PIT OPERATING FROM 7 am-7pm 6 DAYS A WEEK! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA. NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE. LOOK AT THE RECORD OF THIS COMPANY AND THEIR RECORD OF COMPLETING PROJECTS ON TIME. EIGHT YEARS WILL TURN INTO 20 YEARS!**

**We are not a town. Todd Creek is more like a village. We moved out here to get away from the city and enjoy our space. There are homes along Riverdale and Hwy 7 that would be drastically affected by this. Also, do we really want a gravel pit to be the welcome view into Brighton?**

**My husband and I retired and built here. One of the most wonderful things about living here is the peace and quiet. When city dwellers come to visit you can just see some invisible power bathe them with peacefulness. With so much development everywhere now, our area is like a precious jewel that should not be tarnished.**

**The proposed mine would be one-half mile from our home. It is obvious to me that the entire fabric of our lives here would be ripped to shreds. If we could bring ourselves to sell our Dream Home, the property value would be ridiculous.**

**I have been reading the comments from local citizens who oppose the Gravel Pit Mining Proposal on Hwy 7 the CO2 emissions from construction trucks, the air pollution, the water pollution and danger to our Wild and Scenic designated Area, and the obliteration of our wildlife habitat.**

**And regarding the danger of fire, our area gets drier every year and I live every day in summer and early fall with a nagging fear of forest fire. We often spend a few days breathing smoke from fires somewhere in the mountains. Even now after a dry winter it is dry**

Greg Barnes

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**enough to be a high fire danger. Mining operations and large trucks can spark fires easily.**

**Thanks for your  
consideration,**

**Mary Jane  
Olsavsky**

Dear Ms. Olsavsky,

Thank you for your comments and as a resident living in close proximity to our project we understand your concerns and hope that our response will help clarify our project scope. Our proposed operating hours will be limited to 7am to 7pm, Monday-Saturday. Our use will be temporary and in no case will mining and reclamation extend beyond eight years. There will be no allowance for any extensions of time through Aggregate's agreement to such a condition to the permit.

Given that we have revised the application to exclude truck hauling of mined material, CO2 and other tailpipe emissions due to this activity have been eliminated. Air dispersion modeling completed by a third party demonstrated that our emissions will be well below the National Ambient Air Quality Standards. Real time dust monitors will serve to prove compliance each day.

We have taken all measures possible to minimize viewports into the site through landscaping, fencing and berms.

We share your concerns over fire hazards as we have also seen these impacts on regional air quality. Al works with the local fire department and other agencies to ensure a safe facility and to maintain compliance with all MSHA requirements regarding jobsite safety .

Greg Barnes

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From: Kay Olsen <kinden14@yahoo.com>  
Sent: Tuesday, August 25, 2020 2:05 PM  
To: Greg Barnes  
Subject: Gravel Pit Hwy 7

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

As a citizen of Brighton, I would like to register my disapproval of the creation of a gravel pit/mine anywhere near our city. The noise, pollution, and traffic may have been manageable 10 years ago, but with our higher population density, it is not, in my opinion, a worthwhile endeavor.

Although I don't have a geographic/geologic map available, I find it hard to believe that there are not more suitable locations for this. Perhaps 20 miles out of town east/north? I have a family member with an immune disorder that involves the lungs; this would be a real and present danger to his health.

Please consider the human factor, not the money factor, when

making your decision. Best regards,

Kay Olsen 303-909-9525

Dear Ms. Olsen,

Thanks for taking the time to comment on our application. The Tucson South site was once proposed as a mine with a full onsite crushing and screening plant, onsite stockpile yards and off-site hauling by large gravel trucks. The use has now been restricted to only onsite excavation and conveyance north by way of a low profile overland conveyor system. As a result of these changes, noise and dust emissions will be well below regulatory levels.

Sand and gravel mines located long distances from the marketplace are not cost effective and ultimately result in excess on-road emissions and wear and tear to the road.



Greg Barnes

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From: Manuel Ornelas <manuelmids@comcast.net>  
Sent: Monday, September 7, 2020 9:56 PM  
To: Greg Barnes  
Subject: BRIDGE A. LTD AND BRIDGE B. LTD COMMENTS  
Attachments: scan0003.pdf

Please be cautious: This email was sent  
from outside Adams County Case Name:  
Tucson South  
Case Number: EXG2020-00001

Mr. Barnes,

This is on behalf Of: BRIDGE A. LTD 75 WEST BRIDGE ST. BRIGHTON CO and BRIDGE B.  
LTD 115 WEST BRIDGE B. LTD

1- What are the proposed distances of excavations West and East of  
the River and how deep?

No excavation will occur east of the Platte River. Setbacks vary along  
the west side, but in all instances will be at least 200 feet from the  
river. Materials will be mined to a depth of 25-40 feet depending on  
quality of the material and the depth to bedrock.

2- What are the proposed distances of excavation South and North  
of Highway 7 and how deep?

Setbacks vary along Highway 7, but will be approximately 105 feet  
from the edge of ROW. This includes a 25 foot setback to the slurry  
wall and then an additional 80 foot on average to the existing edge of  
ROW. No mining will occur south of Highway 7.

3- What is the proposed distance of installation of the conveyor  
system West and East of River?

The conveyor will not be located east of the River. The conveyor will  
be at least 200 feet west of the river in the East Cell.

Greg Barnes

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Please let us know

Thanks,

Manuel Ornelas manuelmds@comcast.net

Greg Barnes

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From: Della Thompson <JATDT@msn.com>  
Sent: Wednesday, August 26, 2020 10:30 AM  
To: Greg Barnes  
Subject: RE: HWY 7 mining and traffic

Please be cautious: This email was sent from outside Adams County

Thank you for your response. I have one more concern:

HWY 7 needs to be widened from at least Colorado Blvd to HWY 85. The county needs to hold businesses accountable to provide some if not all funding for roads in Adam's County. Taxes go up but no major structural improvements are being done, including bridges.

If this is not in line with your responsibilities, please

route to correct department. However roads on HWy 7

and Road 2 are in need of widening.

Note land on Road 2 by Sacks land will be covered with houses. It seems visionary to widen Road 2 while space is still available and houses are not built up to the road.

Sincerely,  
Della Thompson

AI will not use Highway 7 for this operation. This is one of the most important changes in the current application based on concerns expressed in 2019. AI has accounted for future expansion of Highway 7 in our site plan, however, so that when CDOT decides to widen the road, it will not conflict with this site plan or the post-mined reclaimed site.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Greg Barnes <GJBarnes@adcogov.org> Date: 8/26/20 9:45 AM (GMT-07:00)  
To: Della Thompson <jatdt@msn.com> Subject: RE: HWY 7 mining and traffic

Thank you for providing comments on this case. At the end of the referral period, all comments received will be shared with the applicant, and they will be asked to provide a response. You will be notified when the County receives their response to your comments.

Your comments will also be shared with the Planning Commission and Board of County Commissioners when the project goes to public hearings. The County will send you a notification letter when the hearings are scheduled.

Greg Barnes  
Planner III, Community and  
Economic Development Dept.  
ADAMS COUNTY, COLORADO  
4430 S. Adams County

Greg Barnes

---

Parkway, 1st Floor, Suite  
W2000A Brighton, CO 80601-  
8216  
720.523.6853  
gjbarnes@adcogov.org  
adcogov.org

Beginning July 27, 2020, my work schedule is:  
Monday - Alternating weeks  
of 7 am - 3:30 pm and off  
Tuesday - Friday - 7 am -  
4:30 pm

-----Original Message-----

From: Della Thompson <jatdt@msn.com> Sent: Monday, August 24, 2020 7:10 PM  
To: Greg Barnes <GJBarnes@adco.gov.org> Subject: HWY 7 mining and traffic

Please be cautious: This email was sent from outside Adams County Dear Mr

Barnes,

My concern is the traffic with semi hauling equipment.

I understand currently drivers are paid per load. I believe this is a dangerous practice. This encourages drivers to speed. No matter what route is approved, the danger exist when they access HWY 7 or Road 2, then on to HWY 85 to go to a specified destination via many other roads.

**There is no offsite truck traffic for transportation of mined material proposed in our revised application, so this concern is not applicable to our proposed operations.**

Please make this one

major topic on the

agendas. Sincerely,

Della THOMPSON  
10561 East 158th CT Brighton, CO 80602  
720 254 7162  
Sent from my iPad

Greg Barnes

---

From: Debbie W <dj019283@gmail.com>  
Sent: Thursday, September 3, 2020 8:36 AM  
To: Emma Pinter; Eva Henry; Chaz Tedesco; Steve O'Doriso; Mary Hodge; Greg Barnes; Jen Rutter; Jill Jennings Golich  
Subject: EXG2020-00001 (Aggregate Industries Plan)

Please be cautious: This email was sent from outside Adams County

Hello,

I commented in 2019 and watched the hearing last year in which the County made good points against the Aggregate plan. Without reiterating all you have had to read and hear in the past: the noise and air pollution issues are still a concern; rather than improving Brighton and Adams County which has been agricultural and admittedly becoming more residential, it will bring just bring industrial problems; Business owners trying to improve Brighton downtown will be negatively impacted; Neither the "pond" that exists near the proposed area nor their land south of Hwy 7 have the desirable natural effect they claim residents will be left with; I understand you are looking to allow more acre lot housing just west of the area and that will lower property values and probably deter sales; etc. I admittedly have not read the 424 page application, but it does not appear to account for all of the concerns for Brighton and Adams County residents and businesses.

Thank you

Aggregate has worked closely with Brighton and ADCO on this revised application and believes it has listened to and addressed concerns. The proposed use will allow for the extraction of a necessary and protected aggregate resource while minimizing impacts to the surrounding community. AI will continue to work with stakeholders to ensure the South parcel donation is put to the most suitable open space use, as determined by Adams County and Brighton.

September 7, 2020 Adams County . . . .

Re: The Tucson South Gravel Pit Application 2020 Case Number: EXG2020-0001

To Whom it may Concern,

With all due respect, . . . For those of us who have followed this case and are familiar with the 2019 hearings (presentations, testimony, technical aspects, etc.), aside from now "starting" the project with the conveyor (allegedly this whole project was planned to be primarily mined by conveyor), the nuts and bolts of this application are still the same and an industrial mining operation at the gateway of downtown Brighton should never be allowed! Last year, at the start of the October 29th hearing, the south parcel had ALREADY been removed from the permit (not counting what they were doing behind the scenes), Aggregate had committed to air monitoring, Aurora had committed to a more decorative fence, and by the end of the hearing the time frame discussed was even less. So it has been disturbing to hear Aggregate Industries, in three different presentations that we have attended, (to city entities and the neighbors), explain how they have now come back with all these significant/major changes. Additionally, the Request For Comments is now making comparisons between their 2004 Permit and this current application to establish some change. The old application should have no bearing. In 2004, the majority of residential subdivisions that line Hwy 7 were not there, our development, Platteview Farms Plaza, was nothing but a pile of weeds and a conglomeration of utility poles and lines, the Pavillions did not exist, the Kum and Go gas station did not exist, and the Roundabout Crossings did not exist. So those 16 years have brought about changes that make their 2004 application not appropriate for comparison. Additionally, the dangling of the South Parcel as a gift should not be tied to this permit in any fashion. To us it equates to no more than a bribe or pay-to play tactic as it does not take away the gravel pit, or the fact that there is no way to take away the experience, visibility, or association of this gravel mine as you approach the gateway of Brighton (via Hwy 7) or exit it and it offers no great value. For the record: We are private Business owners that have invested several millions of dollars in Platteview Farms Plaza - (Miller St. & Hwy 7- home to Autowash, Piasano Liquors, Papa Johns Pizza, and Santiagos Mexican Restaurant) - AND are Brighton homeowners. Since the mid 2000's we have worked diligently in multiple ways to help revitalize the Brighton Downtown District, . . . trying to clean it up and create a pleasing environment that would help breathe new life, counterbalance Brighton's challenges, and attract both businesses and consumers to the downtown area, . . . businesses that could thrive because individuals would DESIRE to be there! Efforts include my husband's 7+/- years as a commissioner on BURA (BRIGHTON URBAN RENEWAL AUTHORITY) and roughly 3 years on the board of the Downtown Partnership - so we are speaking from having been in the trenches and on the front line. Downtown Brighton is challenged and a gravel pit at this gateway negates and undermines ALL that has been worked for (or the millions of tax dollars that have or are currently being spent!) to help negate its challenges. Regarding the requirements of the Conditional Use Permit:

1. The conditional use is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County. (including wildlife!)

The subject use is located in a Mining Conservation Overlay District which has been established by Adams County to protect valuable aggregate resources such as Tucson



South. AI has demonstrated that it will meet both the specific and general performance criteria applicable to this application. Air quality, noise, traffic, safety, and infrastructure impacts have all been assessed, mitigated, and demonstrated to be below regulatory thresholds.

2. The conditional use permit cannot address all off-site impacts. Please consider the following facts:

1. HWY 7 IS THE WEST GATEWAY to Downtown Brighton - and there is no way, traveling this MAIN ROUTE, in either direction that you would NOT be able to see this mine, or experience it. Specifically, you can NOT physically block/berm the view approaching from the west. And it will be visible exiting the city gates as well relative to the elevation and floodway (cannot berm it there). AND, it will also be visible at the Tucson intersection area.

Viewports along the highway will be shielded by a combination of berms, fencing and a living screen. Additionally, the excavation will be on average 20 feet below-grade once operations are established.

2. DUST - Environmental Issues of Health, and Safety: The method of mining will be a DRY mining technique - there will be dust! Slurry walls are created to keep water out of the pit and while the initial dewatering phase may take a year, the ground WILL dry out. Weld County confirmed dust issues on Aggregate's activities citing the type of wind conditions that exist out here as well as the physical impossibility of keeping the expansive overburden piles and surfaces wet enough to prevent it - and Aggregate's own representative admitted as much during a hearing. Crystalline silica dust is one of the particulates commonly found in gravel operations - and this is a known carcinogen! "This respirable silica dust causes lung disease and lung cancer. It only takes a very small amount of airborne silica dust to create a health hazard." (<https://www.silicasafe.org/know-the-hazard/why-is-silica-hazardous>) Dust particles (PM10) (big dust particles) can range in size from 2.5 to 10 micrometers in diameter. They can stay in the air for a number of minutes to a number of hours and can travel as little as a hundred yards or as much as 30 miles! Fine particles (PM2.5) (small dust particles) are 2.5 micrometers in diameter, or smaller, and can stay in the air for days or weeks -- and can travel much farther; many hundreds of miles! (and it is the smaller particles that are much more dangerous)

([https://webcms.pima.gov/UserFiles/Servers/Server\\_6/File/Government/Environmental%20Quality/Air/Air%20Monitoring/AWhatisParticulateMatter1.pdf](https://webcms.pima.gov/UserFiles/Servers/Server_6/File/Government/Environmental%20Quality/Air/Air%20Monitoring/AWhatisParticulateMatter1.pdf)) Air monitoring may sound good but gusts, pockets, and swirls of wind NEVER disperse dust equally or proportionately. You could not physically have enough monitors to accurately track true air quality. We were recipients once of a nasty gram (certified letter) from Todd Creek Village Parks and Recreation's legal counsel that accused us of painting a portion of their white rail fence brown - threatening repercussions for not fixing it! The fence appeared that way because of light moisture (misting rain) followed by an unequal dispersment of heavy dust. A monitor 200' away would never have picked up the same air/dust reading that we would have had at our house. So even though air monitoring may sound good, they're really pointless because they don't solve, resolve, or accurately track the problem. (letter and pictures available upon request!) (WET MINING WOULD GO A LONG WAY TO SOLVING THIS ISSUE)

The proposed operational plan will entail mining moist materials which will be attained through residual moisture in the subaqueous materials and daily watering of exposed materials. This technique has been proven to be effective at reducing particulate emissions. Wet mining is water intensive (a scarce resource) and results in greater noise due to onsite process dewatering and screening activities.

Aggregate Industries is committed to compliance with MSHA standards for Crystalline Silica

and has a comprehensive compliance plan in place at all of its facilities to comply with this rule which is primarily designed to protect onsite workers in close proximity operations. It is also important to note that respirable silica (Quartz) is a naturally occurring subset of all sand and gravel materials and comprises only a small percentage (< 10%) of the total dust concentrations from such sources. Data from the on-site dust monitors will also allow extrapolation of silica data.

Monitoring locations have been selected to correspond to maximum areas of impact based on dispersion modeling and such monitors are well suited for evaluating fugitive particulate concentrations. This type of field ambient monitoring is widely used by agencies and industry alike for compliance impacts. Wind stations to be installed with the monitors and will report wind speed and direction.

3. TRUCKING: The trucking impact will still be felt. Aggregate Industries has stated in their neighborhood and city presentations that roughly 75% of their product comes back down into Adams County. Per their application last year it was estimated that the quantity extracted from the Tucson South Mine would necessitate 420 semi-truck trips a day in traffic. If 75% of that quantity (or whatever quantity) moves back down into Adam's County, that is a lot of additional trucks. These trucks will use Hwy 85, Hwy 7, and County Rd. 2 to arrive at their destinations and then return. Note: Aggregate Industries is alleged to have had a previous road maintenance agreement in place with the Tucson North mine that they are said to have not honored. This was brought up at the Neighborhood Meeting and Aggregate side stepped it at the time and has still never addressed it. There is current road damage (sinking) to Holly St. (NW corner Holly/Hwy 7- turn lane to go west onto Hwy 7) which has been caused by gravel trucks sitting and waiting to turn west (tax payers will likely pay for the repair) and we do not think that it is unreasonable for Aggregate to step up and address their past permit/damage and whether or not they honored their agreement.

There are no new truck traffic impacts which will result from approval of this project. There is no offsite hauling associated with Tucson South, instead all 400 previously proposed daily truck trips will be eliminated by Aggregate's use of an overland conveyor system. The existing Wattenberg site in Weld County will continue to operate and use approved roads as it has for 15-20 years. The approval of this permit does not add to the existing traffic pattern on HWY 85.

4. Length of project/mining. No matter WHAT commitments are made up front, there is NO easy way to solve an incomplete job/project. It would be irresponsible to disregard the history of mining pits because they speak VOLUMES about the truth.

Approval will be conditioned upon an eight-year time frame with no allowance for extension. Reclamation bonds, future water storage commitments, and other financial assurances will ensure that project mining and reclamation is complete on time

5. Reclamation and end use of land: The Platte River corridor throughout Adams County has been pock marked and scarred with endless mining. Not every community has the opportunity to have river front property or access to it. It should be valued - especially with this land sitting right outside the downtown gateway as it has access off of major roads, and an additional intersecting road. Aggregate Industries suggests that there is not much other use for this land. Yes there is a portion that is in a flood way (unbuildable but could have community uses), but 100 year flood plains are buildable! I have sold both residential and multifamily homes that were built in 100 year flood plains and have seen successful commercial developments as well. (Campus? Medical facility? Sports fields/Soccer fields, etc.) They would all hold more value than an augmentation reservoir that may or may not have water in it. HIGHEST and BEST USE of land should always be considered. Please see these links for consideration as

to creative uses for Floodplains: <https://toolkit.climate.gov/case-studies/building-smart-floodplain> (Ft. Collins, Colorado) -- <https://theconversation.com/design-for-flooding-how-cities-can-make-room-for-water-105844> <https://www.sasaki.com/voices/getting-creative-in-the-floodplain/> The current reclamation calls for the end use of this land to be augmentation reservoirs for the City of Aurora and augmentation reservoirs may not even have water in them. Aurora's current reservoir off Tucson St. epitomizes blight.

Aggregate Industries understands that Aurora's water storage reservoirs are not a use you prefer for this site, but believes this use will equally meet vital community needs for a secure source of water for years to come. Moreover, each of the above preferred uses would be expected to add heavier traffic loads to Hwy 7 and degrade the natural environment in this area, which has been designated as part of the County's natural resources overlay district. Finally, strict requirements regarding building in a floodplain are necessary to prevent impacts to upstream properties and adverse impacts to wetlands, and much of the property is in the floodway, which is totally unbuildable.

6. FENCE: The fence that is being shown will be a possibility AFTER the project is completed but nobody seems able to answer what the fence will be during construction and mining. Adams County Development Standards and Regulations 3-38-066-12 (regarding gravel pit operations) requires the "prison fencing" ("V" mesh or chain link fence to a height of 72" topped with three strands of barbed wire canted to a 45 degree angle). How much this can safely be altered (if at all) is questionable. The sides of the mine (known as the high-wall) are extremely lengthy (2300 feet on the previous DRMS application) and will be nearly vertical during mining. They only become less steep (3-1) in the final reclamation.

Aggregate Industries will not install chain link "prison style" fencing before during or after the project is complete. The County indicated in the neighborhood meeting and subsequent conversations with AI that farm style fencing will be allowed during the mining operation and therefore, such a fence will be used. AI has supplied several examples of such fencing to the County for its consideration and approval.

AI will be completing concurrent reclamation. As new areas are opened up, the previous area will be backfilled to final slopes and seeded. This is an efficient way to mine and avoids double handling materials. It also mitigates impacts of mining on the surrounding area, comporting with the County's CUP approval criteria. There is no plan to leave 2300 feet of mine face exposed.

7. COST BENEFITS: There are not benefits to the City of Brighton or Adams County but in the neighborhood and city presentations, Aggregate Industries states that there could be benefits of up to a 30% savings in having a quarry less than 25 miles away. Given the number of gravel pits out in the Weld and Adams County region, (less than 25 miles away) we all should be able to get GREAT pricing because of our proximity! - But we have personally purchased tons and tons of a variety of different aggregate (including concrete) for various applications over the past several years and pricing is and has been relatively similar across the WHOLE metropolitan area! This would apply to them in bidding a job giving them room for a higher or lower profit margin, (and Aggregate Industries admitted this in our private meeting with them) but I would love to see where this would EVER benefit anyone in general. 8.

Thanks for your comment. AI believes construction aggregates are a great benefit to the community. It is well established that the value of any mineral deposit is based on its proximity to the end use due to high logistics cost. This site was always considered to be a valuable mineral deposit. Growth and development of roads infrastructure and medical plazas are not possible without these foundational materials.

The Adams County Mineral Extraction Plan (Multiple-Sequential use of Commercial Mineral Property) states “it is the intent of the state legislature, through this statutory guideline, to make mining areas beneficial to the community before, during and after mining.” Their plans seem to be a revolving door so commenting on what they actually are is difficult. However, Aggregate’s current proposed reclamation leaves the pits to be filled as reservoirs for the City of Aurora - with no public access. The trail they reference will be outside the fence along Hwy 7 and so nothing in this plan benefits the community, the wildlife, or the City of Brighton in any fashion. In fact it successfully does the opposite by blighting Brighton’s west gateway. There are already two reservoirs straddling Tucson St. which also fail to benefit our community or the native wildlife. They are fenced, ugly, and surrounded by infinite weeds and dirt.

As stated previously the subject site is located in a MCOB and the applicant has demonstrated that both the specific and general performance criteria for this use has been met. The scope of the project has been restricted significantly to ensure the impacts are mitigated so as to be in harmony with the surrounding area. A water storage pond surrounded by floodplain-friendly farm style fencing and an adjacent trail will provide a suitable and aesthetically pleasing long-term use. The South parcel donation for a community Open Space adds to this value.

9. Wildlife: At last year’s hearings, Aggregate Industries implied that gravel pits were beneficial to the area’s wildlife and that the wildlife would grow and benefit from it. Besides removing all the surface area from any sort of wildlife use, Aggregate will also be REMOVING all the cottonwoods that exist on their east parcel (runs from the river towards Tucson St. - home to many forms of wildlife). Additionally, no bushes or trees can be planted on the perimeter due to potential damage to the slurry wall. Please go look at the two existing reservoirs off Tucson St. and see if you really think these fenced pits benefit or increase the wildlife.

AI has completed a comprehensive wildlife study to support this project. AI will complete Owl surveys prior to startup of pre-mining construction activities. Cottonwoods will be relocated as possible based on size restrictions and in accordance with arborist’s recommendations.

10. THIS HAS TO BE WEIGHED IN ON: Brighton has benefited greatly from the residential growth to the west of the city (off Hwy 7). The growth has really helped to support and build businesses/revenue, but much of this west area is in a “no man’s land” (for retail or services). It leaves consumers picking between “drives” that are either east into Brighton, west towards Larkridge/I-25, or south down into Thornton. This is important because incentive to go into Brighton could soon be diminished by Thornton’s current aggressive plans for growth (even up into Weld County). We attended Thornton’s May 26th City Council meeting and twice in a discussion on a proposed med/higher density subdivision, it was vocalized that they did NOT want consumers/homeowners going to Brighton for business!!! They want the tax dollars in THEIR community. They are approving some major development with much of it currently calling for six lane roads to flank it, (i.e. Quebec and Holly) - REGARDLESS of having the necessary infrastructure (Hwy 7 staying two lanes!) to support it. Some of the zoning for this sort of density was approved years ago with the assumption that the RTD’s FasTracks light rail North Station (Colorado/Hwy 7) would be complete. However, Fastracks was estimated to be another 20 years out, . . . PRIOR to COVID! There are no immediate plans from CDOT to expand Hwy 7. But this has not stopped Thornton from approving these developments without having the necessary infrastructure. This will make the commute to Brighton a longer and less feasible or appealing endeavor – and adding a gravel pit to the gateway will only exacerbate

the negativity of this drive and further diminish the appeal of Brighton. Please, PLEASE consider the negative aspects of this proposed gravel pit. THIS IS NOT THE RIGHT LOCATION FOR THIS SORT OF INDUSTRIAL ACTIVITY and there is so much more that can be done with this land! For the sake of so many in this community, who call this home, please care. Respectfully submitted, Mark Cordova and Sherie Gould-Cordova Downtown Brighton Business Owners - Platteview Farms Plaza 124-128 W. Bridge St., Brighton, CO 80601 (303) 880-6788 5680 E. 165th Pl., Brighton, CO 80602

AI appreciates your concerns with the traffic load on Highway 7 and has revised its application so as to eliminate truck traffic for hauling of mined material from Highway 7. The timing of any Highway 7 expansion is beyond the scope of this application. We have, however, accounted for future CDOT expansion of the highway in the location of the slurry wall and setbacks from right of way so when CDOT widening occurs the future reservoirs will not conflict.



Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: 303.571.3306  
Facsimile: 303. 571. 3284  
donna.l.george@xcelenergy.com

September 9, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, 3<sup>rd</sup> Floor, Suite W3000  
Brighton, CO 80601

Attn: Greg Barnes

**Re: Tucson South, Case # EXG2020-00001**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a possible conflict** with the above captioned project. Public Service Company has existing electric transmission lines and associated land rights as shown within this property. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the conditional use documentation, it is the responsibility of the property owner/developer/contractor to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement (via website [www.xcelenergy.com/rightofway](http://www.xcelenergy.com/rightofway) or email [coloradorightofway@xcelenergy.com](mailto:coloradorightofway@xcelenergy.com)).

PSCo also has natural gas distribution facilities running along Tucson Street, 168th Avenue and 160<sup>th</sup> Avenue.

**AI Response: AI will work with Xcel prior to any activities in an existing Xcel right-of-way to ensure there are no conflicts or to obtain the appropriate approvals.**

Donna George  
Right of Way and Permits  
Public Service Company of Colorado / Xcel Energy  
Office: 303-571-3306 – Email: [donna.l.george@xcelenergy.com](mailto:donna.l.george@xcelenergy.com)





Water Resources  
15151 E. Alameda Parkway, Suite 3600  
Aurora, Colorado 80012  
303.739.7370

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September 11, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601-8216

**RE: Comments on the Conditional Use Permit to allow extraction use in Agricultural-1 (A-1) zone district, Case Name Tucson South, Case Number EXG2020-00001**

Dear Adams County Planning Commission:

The City of Aurora Water Department (Aurora Water) appreciates the opportunity to comment on the Conditional Use Permit for gravel mining submitted by Aggregate Industries in case number EXG2020-00001.

The City of Aurora is located within three counties, Adams, Arapahoe and Douglas. Our planning department estimates that 1/3 of our population resides in the Adams County portion of the city. The 2010 census estimated Aurora's population to be 325,000 residents. Currently, we believe that number has grown to nearly 380,000. Aurora is also home to University of Colorado Hospital and the Anschutz Medical Campus, Children's Hospital, the Veterans Hospital and the Gaylord of the Rockies Hotel and Convention Center and Amazon, all of which are also in Adams County.

As a result of the 2002 drought, Aurora Water began planning the \$750M Prairie Waters Project to recapture reusable return flows in the South Platte River below the Metro Water Reclamation Facility. This project became operational in 2010. Water storage through reclaimed gravel pit reservoirs is a critical component to this project. In 2003, Aurora Water signed a contract to purchase the Tucson South gravel reservoir from Aggregate Industries after it had been completed and reclaimed to become a component of the Prairie Waters system.

The Front Range and the City of Aurora is experiencing significant growth and we expect the growth to continue. With that comes the demand for both water and sand and gravel resources. The Tucson South gravel mine helps meet both of these demands within Adams County and the larger Front Range area. Aurora Water supports the approval of this project.

We appreciate your time and the consideration of our comments in the application. Please contact me or my staff with any questions or requests for additional information.

Sincerely,

Marshall P. Brown  
General Manager  
Aurora Water



Community & Economic  
Development Department  
www.adcogov.org



4430 South Adams County Parkway  
1st Floor, Suite W2000  
Brighton, CO 80601-8204  
PHONE 720.523.6800  
FAX 720.523.6998

## **Development Review Team Comments**

**Date:** 10/27/2020

**Project Number:** EXG2020-00001

**Project Name:** Tucson South

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**Commenting Division:** Plan Coordination 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 10/27/2020

**Email:** [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

**Resubmittal Required**

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BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

---

**Commenting Division:** Planner Review 2nd Review

**Name of Reviewer:** Greg Barnes

**Date:** 10/27/2020

**Email:** gjbarnes@adcogov.org

**Resubmittal Required**

PLN01: Page C-5 of the site plan shows some overlap of stockpile areas and flood districts. Please make a modification to fix that.

**AI Response:** Page C-5 of the site plan has been modified to show no overlap of stockpile areas within the effective floodway.

PLN02: What are the proposed height of the berms?

**AI Response:** The mining phase screening berms will be 12 feet high with 3:1 slopes. Please see **Supplemental Materials 23 (S23)** for the typical berming section view. The height of the post-mine screening berms are currently being discussed with Aurora Water and will be finalized prior to the Planning Commission hearing.

PLN03: What is the height of the above-ground conveyor?

**AI Response:** Except as required for driveway access on the City of Aurora Challenger Pit parcel, the conveyor height will be 4 feet above grade.

PLN04: The site plans do not indicate the location of the proposed fence.

**AI Response:** Please see the revised A04 Site Plans that indicate the location of the proposed fence.

PLN05: Where will the proposed employee parking areas be located? What will; be the surface area? Please indicate this on the site plan, and show that the parking areas will conform to parking space requirements.

**AI Response:** Please see the revised A04 Site Plans that indicate the locations of the employee parking areas and the surface area. Please note the parking areas will move as needed to accommodate mining and parking spaces are temporary in nature.

PLN06: If the slurry wall is not proposed for the Tucson Street right-of-way, then Note 11 on Page C-1 needs to be removed. If it is planned for the ROW, then please let us know because we do not currently see any proposed overlapping.

**AI Response:** Please see the revised A04 Site Plans. Note 11 on Page C-1 has been removed.

---

**Commenting Division:** Environmental Analyst Review 2nd Review

**Name of Reviewer:** Katie Keefe

**Date:** 10/20/2020

**Email:**

**Resubmittal Required**

ENV1. The applicant must either establish a permanent, dedicated setback from the existing plugged & abandoned well or provide written documentation from the well owner, Great Western Operating Company, demonstrating the well will be plugged and removed to a depth below the lowest excavation elevation.

AI Response: Please see the newly added **Supplemental Materials 25 (S25)** for documentation demonstrating the well was plugged to a depth below the lowest excavation elevation. The depth of the excavation will be to bedrock, which is generally 35ft- 40ft below ground surface (bgs) throughout the site. The COGCC documents verify the well was abandoned to a depth well below our deepest excavation. These documents were obtained from the Colorado Oil and Gas Conservation Commission with guidance from Eric Jacobson, Central Region Engineer with COGCC.

---

**Commenting Division:** Development Engineering Review 2nd Review

**Name of Reviewer:** Matthew Emmens

**Date:** 10/15/2020

**Email:** memmens@adcogov.org

**Resubmittal Required**

Review complete with comments. See document at the end of the report.

**AI Response:** Please see responses below on the following pages.

Aggregate Industries  
Tucson South Resource  
Case # EXG2020-00001

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0327H & 08001C0326H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, a portion of the project site is located within a special flood hazard delineated area; If construction activity occurs in this area of the project site, A floodplain use permit will be required.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area; and Adams County Stormwater (SWQ) Permit will not be required. The installation of erosion and sediment control BMPs are expected.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG3: The Trip Generation Letter (TGL) submitted with the application has been reviewed. Although County Staff is in agreement with the methodology used in the TGL, it is hard to believe that there will only be 6 employees working on this site. Will there be visits by supervisors, inspectors, equipment repair crews, how often will water trucks be visiting the site? Please add more information about the site operations so that staff can determine if the trip generation is acceptable.

AI Response: Please see the attached **Supplemental Materials 21 (S21)** for additional details on pre-mining construction activities, including equipment and employees. As provided for in the TGL, there will be only six dedicated on-site employees once mining operations commence.

County Response: Supplemental Materials 21 (S21) was not found in the resubmittal materials. The Appendix table included with “Tucson South Resource Conditional Use Permit Project Description” document only goes to “Supplemental Materials 20 – Right of Way Dedications.”

AI Response: Supplemental Materials 21 (S21) was submitted with AI's responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Supplemental Materials 21 (S21) was located at page 119 of 126 of the submittal. AI will email this response and Supplemental Materials 21 (S21) directly to Matt Emmens.

There will be 6 dedicated, full-time employees working on this site. The following is a list of additional potential visits and the expected frequency:

| <b>Title</b>             | <b>Anticipated Frequency of Visit</b> | <b>Vehicle Type</b> |
|--------------------------|---------------------------------------|---------------------|
| Site Supervisor          | 1-2 visits/day                        | Pick-up truck       |
| Operations Manager       | 1-2 visits/week                       | Pick-up truck       |
| Portable toilet services | 1 visit/week                          | Vacuum truck        |
| Mechanic                 | 1 visit/week                          | Service truck       |
| Electrician              | 1 visit/week                          | Pick-up truck       |
| Fuel delivery            | 1 visit/week                          | Fuel truck          |
| Safety Manager           | 2 visits/quarter                      | SUV                 |
| Environment/Land Manager | 2 visits/quarter                      | SUV                 |

It is anticipated that there will be an on-site supply of water for the water truck, which will stay at the mine site. Therefore, this site will not require regular visits for water delivery.

ENG4: The developer is responsible for the repair or replacement of any County infrastructure that is broken or damaged because of the operations.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG5: If the applicant is proposing to install over 3,000 square feet of impervious area on the project site, a drainage report and drainage plans in accordance to Chapter 9 of the Adams County Development Review Manual, are required to be completed by a registered professional engineer and submitted to Adams County for review and final approval.

AI Response: AI is not proposing to install over 3,000 square feet of impervious area on the project site. In fact, the site will remain entirely pervious except for movable blocks or timbers used to set feeders for belts.

County Response: Comment closed.

ENG6: The submittal documents indicate that the site will be served by several conveyor belts. The locations of the conveyor belts are not clearly shown. Revise the plans to clearly indicate where the conveyor belts will be located and exactly where the below grade roadway crossings will be located.

**AI Response:** Please refer to **Application Materials 04 (A04)** for revised site plans with benchmarks showing the distance the conveyor will be located from the property line.

**County Response:** Application Materials 04 (A04) could not be found in the resubmittal materials (nothing was labeled A04). Sheet F2 “West Area Reclamation Plan” identifies a conveyor route through one side of the site but, does not show where the crossings of Tucson St and 160<sup>th</sup> Ave are proposed to be located.

**AI Response:** Application Materials 04 (A04) was submitted with AI’s responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Application Materials 04 (A04) was located at page 97 of 126 of the submittal. However, AI has further revised the A04 Site Plans to address comments made by Greg Barnes during this review cycle. Please see the revised **Application Materials 04 (A04)** for the conveyor belt locations. AI will email this response and Application Materials 04 directly to Matt Emmens.

ENG7: As mentioned, the site is to be served by several conveyor belts that will take six (6) months to construct. Will there be any hauling of material before the conveyor belts become operational?

**AI Response:** There will be no off-site hauling of mined material to the processing plant at any time during the operation of the mine, even prior to conveyor installation. Please see **Supplemental Materials 21 (S21)** for a detailed description of the pre-mining construction and timeline, which addresses on-site transportation of overburden material for berm construction, delivery of bentonite for slurry wall construction via flatbed delivery trucks, and delivery of landscaping materials. Aggregate will agree to a condition of approval that mined materials will only be conveyed off-site for processing via the system of proposed conveyors.

**County Response:** Supplemental Materials 21 (S21) was not found in the resubmittal materials. The Appendix table included with “Tucson South Resource Conditional Use Permit Project Description” document only goes to “Supplemental Materials 20 – Right of Way Dedications.”

**AI Response:** Supplemental Materials 21 (S21) was submitted with AI’s responses to the comments on 9/23/20 with receipt of the documents confirmed by the E-Permit center on 9/24/20. Supplemental Materials 21 (S21) was located at page 119 of 126 of the submittal. AI will email this response and Supplemental Materials 21 (S21) directly to Matt Emmens.

ENG8: Prior to the commencement of any type of operations, including site preparations, clearing and grubbing, staging of equipment, etc. The applicant must submit for review and approval all construction documents (i.e. site grading plans, conveyor belt construction plans, erosion and sediment control plans, traffic impact study’s, drainage reports, etc).

**AI Response:** Acknowledged and Agreed.

**County Response:** Comment closed.

ENG9: All roadway accesses from E 168<sup>th</sup> Ave and Tucson St. into the development must be permitted by the County. Access permits will be reviewed and approved with the Engineering Review of the site construction documents (See Comment ENG8 above). The County would prefer to limit access to this development. Preferably the County would allow one access to be permitted off E 168<sup>th</sup> Ave (for both parcels) and two access points off Tucson St. (one on either side of the roadway and facing each other). However, the Fire District may require additional access points. If the District does require additional



accesses to the properties, a letter or map, from the District, showing where the additional access should be located must be submitted to the County.

AI Response: Acknowledged and Agreed.

County Response: Comment closed.

ENG10: The responses to the above comments includes reference to materials that are supposed to be included in the resubmittal package but, nothing is labeled. The resubmittal should have all of the materials labeled so they can be found and confirmed.

**OCT 23 2020**  
**Adams County**  
**Commissioners'0**

October 20, 2020

Adams County Commissioners  
4430 S. Adams County Parkway  
Brighton, CO 80601

**Re: EXG2020-00001 Aggregate Industries Tucson South Site**

Dear Commissioners,

On behalf of the Brighton Urban Renewal Authority (BURA), we are writing to express concerns with a land use application you are scheduled to consider. We understand that an application has been submitted by Aggregate Industries seeking approval for a mining operation in Adams County west of downtown Brighton.

BURA was created by the City Council in 2001 to help reduce blight and stimulate private investment in downtown Brighton. The proposed application for mining activities is approximately 1,400 linear feet from the western edge of our downtown urban renewal area. We have reviewed the proposal and we are concerned about the dust, noise and traffic associated with this operation. We believe this project will have negative impacts on nearby businesses and the city's gateway. Many downtown business owners have contacted BURA Commissioners expressing their concerns and objections to the project.

The very nature of an urban renewal authority is to reduce and eliminate blight. We feel that mining operations are not consistent with BURA's overarching objectives and further that this mining operation will contribute to blight. Would-be developers and investors shy away from investing in new developments when adjacent to industrial operations. The land use is not harmonious with the vision and objectives set forth by the Urban Renewal Plan.

Based on these concerns, we respectfully request that you deny the conditional use permit for Aggregate Industries.

Respectfully submitted,

  
**Candace Werth, Chair**  
Brighton Urban Renewal Authority

## Greg Barnes

---

From: Loeffler - CDOT, Steven <steven.loeffler@state.co.us>  
Sent: Wednesday, October 7, 2020 3:17 PM  
To: Greg Barnes  
Subject: Re: For Review: Tucson South (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the comment response document for Tucson South and my previous comments have been addressed. I have no additional comments.

Thank you for the opportunity to review this response.

Steve Loeffler  
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886  
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204  
[steven.loeffler@state.co.us](mailto:steven.loeffler@state.co.us) | [www.codot.gov](http://www.codot.gov) | [www.cotrip.org](http://www.cotrip.org)

On Thu, Sep 24, 2020 at 8:34 AM Greg Barnes <[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)> wrote:

This notice is to inform you that Adams County has received a response to comments that you provided on a land use case. The case is Tucson South (EXG2020-00001). You may review the responses at the following link:  
<https://www.adcogov.org/planning/currentcases>

If you would like to provide additional comments after reviewing these responses, please e-mail them to [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org) on or before Thursday, October 15, 2020 at 2:00 p.m.

Thank you!



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am – 4:30 pm

# COLORADO GEOLOGICAL SURVEY

1801 Moly Road  
Golden, Colorado 80401



Karen Berry  
State Geologist

October 15, 2020

Greg Barnes  
Adams County Community and Economic Development  
Development Services Division  
GJBarnes@adcogov.org

**Location:**  
Section 1,  
T1S, R67W, 6<sup>th</sup> P.M.  
39.9926, -104.8363

**Subject: Tucson South EXG2020-00001**  
**Adams County, CO; CGS Unique No. AD-21-0001-2**

Dear Greg:

Colorado Geological Survey has reviewed the Tucson South EXG2020-00001 resubmittal and responses to comments, including an Aggregate Industries-WCR, Inc. Response to Colorado Geological Survey Review Comment on Tucson South EXG2020-00001 Referral (September 23, 2020).

The Tucson South applicant's 9/23/2020 response to comments is intended to address my 9/30/2020 review comments regarding post-reclamation reservoir slope stability under a drawdown condition. The applicant is correct that this analysis is not within the scope of DRMS review, since it is a post-mining, post-reclamation stability concern. However, it is relevant to the long-term stability and viability of the project as proposed, and therefore is within the scope of CGS review.

Since the lined water storage reservoirs are components of the post-reclamation project plans, and Tucson Street is proposed to remain a public road, **CGS continues to recommend that the county require stability analysis for at least one cross-section under a saturated slope (high pore water pressure)/rapid reservoir drawdown condition across the Tucson Street embankment**, to verify that the proposed slopes below Tucson Street will be stable under all conditions, or to determine a stable slope configuration.

Thank you for the opportunity to review and comment on this project. If you have questions or require further review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson".

Jill Carlson, C.E.G.  
Engineering Geologist



October 9, 2020

Greg Barnes  
Adams County Community and Economic Development  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601

RE: Aggregate Industries Tucson South, EXG2020-00001  
TCHD Case No. 6516

Dear Mr. Barnes

Thank you for the opportunity to review and comment on a resubmittal of a conditional use permit to allow extraction located near 12255 East 160<sup>th</sup> Avenue, north of Highway 7 and west of Kuner Road. The case referral materials indicate that the revised plan does not include activities previously planned, including crushing, screening, sales, and truck transport. Tri-County Health Department (TCHD) staff previously reviewed the application and provided the comments below in a letter dated September 4, 2020. TCHD received a response from the applicant, dated September 8, 2020 and the applicant has responded to our comments satisfactorily.

### **Air Pollution**

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease.

#### *Permit Required*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions of hazardous air pollutants, asbestos, and chlorofluorocarbons (CFCs). The applicant's air permit may be required to be updated for this project. If required, Tri-County recommends that the County require the applicant to have obtained or updated the facility's air emissions permit as a condition for issuance of a building permit. The applicant shall contact the APCD at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/air-emissions-business-and-industry>

#### *Fugitive Dust*

The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at

Aggregate Industries Tucson South  
October 9, 2020  
Page 2 of 2

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry> .

*Air Quality Monitoring and Modeling*

The case referral materials indicate that a third party consultant will conduct an air modeling analysis and will commit to installing two real time air quality monitors on site. Data from these monitors will be transmitted monthly to Adams County. TCHD supports air quality monitoring in order to study and analyze sources of pollution, and implement controls to decrease air pollution. TCHD applauds the applicant for making this information available to Adams County and encourages a data sharing platform that would allow for sharing real time data in a timely manner.

Please feel free to contact me at 720-200-1575 or [kboyer@tchd.org](mailto:kboyer@tchd.org) if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'K Boyer', with a horizontal line extending to the right.

Kathy Boyer, REHS  
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, TCHD



October 14, 2020

To Whom It May Concern:

Re: **The Tucson South Gravel Pit Application 2020 Case Number: EXG2020-0001** -  
(additional questions, secondary comments, concerns)

Apologies if these questions were answered in the online material but I searched for these answers and was unable to find them. Some of the questions are directed to Aggregate while others may apply more to the county.

**Regarding the Conveyor:**

1. What is the approximate total length the conveyor will travel and at what speed will it travel at? (I have heard both 1.5 and 2 miles)
2. Will there be any wetting stations along the conveyor's journey?
3. What will be the gross weight on the conveyor totally loaded? Given the considerable distance, how much is this estimated to change with the addition of any sleet, snow, or rain?
4. Will there be multiple motors to power it and if so, where will all these motors be located?
5. Will the conveyor be able to start up fully loaded? (i.e. after a power failure or first thing in the morning or if sudden weather changes necessitate a pause)
6. What are the **specific** sound decibel ratings generated from this conveyor and how much do those ratings vary under ALL operational conditions? (start up, light load vs. heavy load)
7. How many feet from the De La Cruz family residence will material be dumped onto this conveyor and will that be at ground level or in a pit and how often will this location be changed?
8. What decibel, in sound ratings, will the dumping itself create? Has this been tested?
9. How many feet from the De La Cruz family residence will this conveyor belt be located?
10. What safety measures will be required to make sure animals or humans would not be injured by stepping or falling onto the conveyor, or to prevent individuals from dumping things on it as it journeys to its destination?
11. How will the conveyor be permitted in Weld County? Will it go through planning and zoning? Will the process allow for notification to neighbors and public comments? What is the process outside of Adam's County for permitting it through the DRMS?

**Regarding Slurry Walls and Trucking:**

1. The bentonite slurry walls will require material to be brought in. **How many** truck loads will be required to supply the bags of this material?
2. Will Aggregate Industries complete the wall themselves or sub-contract it?

3. When excavating for the slurry wall, what is the longest length of cavity that will ever be open at one time and will any cavity ever be open/exposed overnight?

**Regarding Length of Project:**

1. Can Aggregate Industries clarify the specifics of **what entails completion** of this mining project? (i.e. reclamation signed off on, released from the state permit, all landscaping/fencing finished and approved, 90 day leak test passed, etc.)

2. Will Aggregate Industries be allowed to lease or transfer ownership of these reservoirs, or any parcel they own in the permit, or take payment for any work completed on them, prior to completion of the entire project in this eight year "covenant"?

**3. Can Aggregate Industries provide ANY examples of a mining project of a similar size that they HAVE ACTUALLY completed (including reclamation signed off on) in a similar amount of time?**

4. Aggregate Industries has stated that mining/reclamation operations will be completed in eight years and that they will not ask for an extension. The reason given for Aggregate Industries failure to mine in their 2004 permit was attributed to a force majeure event (change in market conditions). This one year (conveyor) and eight year mining/reclamation time frame is being touted as an "absolute." **Is there ANY force majeure event that would contractually allow for an extension of this time frame?** (i.e. weather events/natural disasters, fires, accidents, permit issues, law suits/legal issues, terrorism, wars, equipment failures/losses, supply shortages, labor issues, pandemics, etc. - **ANYTHING?**)

**5. Who will test or determine if the conveyor truly is ready/fully functional within the one year time frame stated? And, in the event the conveyor is not suitable/satisfactory/completed/operational within the one year time frame promised, what consequences will exist? What will Aurora do and how will the **County proceed then - what will they do???****

7. In the event mining and or reclamation is NOT completed within the eight years, can Aggregate Industries detail what would then happen in regards to the mines OR their contractual agreement with Aurora Water?

Setting aside the fact that suitable bonding would be in place, this becomes a VERY complicated matter because the conveyor necessary to mine it is owned/possessed by Aggregate Industries and the conveyor is an integral part of the entire operation. Additionally, the backside of this permit entails the complexities of a very LARGE sum of money being paid to AI for delivering completed reservoirs to Aurora. How do you divvy up what is attributable to these profits? And if a reservoir fails to meet the 90 day water test, whose liability? Whose warranty? This would be a legal nightmare and these legal battles that tangle up these pits can go on for years. Case in point is the Walker South Reservoir just north of 168th - which I am told was completed YEARS ago (for Aurora but not by AI) and still has unresolved legal issues.

**Note:** Aggregate Industries response to my first comments on the eight year guarantee was *"...Reclamation bonds, future water storage commitments, and other financial assurances will ensure that project mining and reclamation is complete on time."*



5600 N. Washington Street  
P.O. Box 16561  
Denver, Colorado 80216  
(303) 295-0014 Business • (303) 295-0745 Fax

January 8, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Ainsworth Trucking Co. Inc. is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. We are a trucking company that has about 65 sub-contractors. We have done hauling with Aggregate Industries for over 18 years. We support this permit as it will help keep our sub-contractors on the job.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,

A handwritten signature in blue ink, appearing to read "Steve Ainsworth Sr.", is written over the word "Sincerely,".

Steve Ainsworth Sr.

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

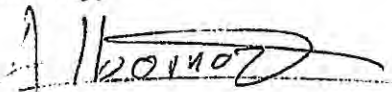
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink, appearing to read "A. Howard", written over a horizontal line.

20 Years Resident

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Elite Transport Service Inc, 11829 Columbine St Thornton, Co 80233, We support this permit because we do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our 15 employees on the job.

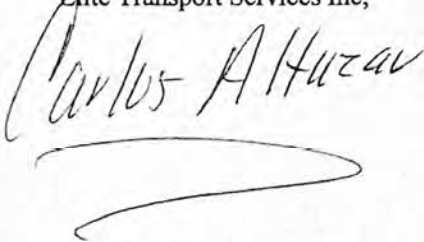
The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,  
Carlos Altzaur

Elite Transport Services Inc,

A handwritten signature in black ink that reads "Carlos Altzaur". The signature is written in a cursive style and is positioned below the typed name. A large, sweeping horizontal flourish is drawn below the signature.

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora. My family and I already enjoy many recreational areas in Adams County that are former mine sites. My niece caught her first fish at the Thornton gravel ponds.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the Front Range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Steven Applegate  
7151 Ruth way  
Denver, CO 80221

## Greg Barnes

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**From:** John Ashburn <jashburnjr@hotmail.com>  
**Sent:** Sunday, August 30, 2020 4:14 PM  
**To:** Greg Barnes  
**Cc:** John Ashburn  
**Subject:** Case # EXG2020-00001 Aggregate Industries

**Importance:** High

Please be cautious: This email was sent from outside Adams County

Dear Adams County Planning Commission,

I am writing this email to express my extreme concern regarding the Aggregate Industries conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district. As you know, this application, if approved, would site an open pit aggregate mining operation immediately to the west of downtown Brighton and directly between downtown Brighton and an extremely large area of Brighton that is currently undergoing new residential development. As someone with more than two decades of experience with above ground and below ground mining operations, I can tell you that despite mitigation efforts, the proposed open pit aggregate mining operation will almost certainly create both dust and noise issues for both downtown Brighton and the surrounding residential areas, both current and future. In addition, the operation will almost certainly depress real estate values during the term of its operation. While the area proposed for this operation may have been an appropriate one 10 or 15 years ago, it is no longer an appropriate area for such an operation. Brighton is growing rapidly and has a very "bright" future. At this point in time, the Adams County Planning Commission should be focused on developing this area in a manner that will benefit Brighton and its citizens as the community continues to grow, not projects that will certainly have an adverse impact on future economic development. The area in question is now much better suited to residential or commercial development, both of which would be much more compatible with the other current and planned developments in the area. It would neither be appropriate, nor responsible, for the Adams County Planning Commission (or any Planning Commission for that matter) to allow an open pit aggregate mining operation to be first established in the middle of a thriving and actively developing community. Accordingly, I would respectfully request that the Planning Commission not approve the proposed conditional use permit for Aggregate Industries. Please include my comments verbatim in the Commission's report and review of this case. Also, please inform me of any future public hearing dates and forward a copy of the staff report to me when available. Thank you for your time and consideration.

Sincerely,  
John F. Ashburn, Jr.  
Attorney at Law



## Greg Barnes

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**From:** Jeanne <J.M.Ashburn@hotmail.com>  
**Sent:** Friday, January 29, 2021 3:47 PM  
**To:** Greg Barnes  
**Subject:** Tuscon South EXG2020-00001.

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

I am writing about the Aggregate Mining operation as a very concerned resident. We moved to Brighton a year ago and love the peace and quiet, and our beautiful neighborhood, Todd Creek Riverside. We moved here to enjoy our retirement years in a friendly, tranquil environment.

Now, a company that purchased neighboring land 8 years ago, and who did not notify anyone moving into this area that they would ruin it with noise, dust, and very ugly conditions that we will have to endure, is threatening our future enjoyment of this area and our home. I am VERY allergic to dust, and am very certain that I will suffer the rest of my life from the dust and mess this will create, not to mention how this will decrease our property values. To introduce a mining operating next to homes that cost almost a million dollars is outrageous!!!! It seems Aggregate is trying every way possible to sneak this through. How many more times will they keep pushing this? It was already rejected. Even with their so called improvements, it's very sad that our city is considering allowing this to happen here!

Although Aggregate Mining has redone their proposed plans, they will ruin the appearance of our city, and make living here far less appealing!

I do not understand that the Planning Committee did not pass this, and yet they are letting another hearing take place about this! They are giving Aggregate a second chance, where we, the people, will NOT get a second chance if this is approved!

It was mentioned at the planning meeting, that the Brighton city council has been "wined and dined" to get this approved! Although I understand that this is how business works, it is absolutely lousy for those of us who will have to pay the price by having to live with this mess, ugliness, noise, dust, health issues, etc. The people that were 'wined and dined' are supposed to represent us, not a business that will harm us and make our city far less attractive for many, many years to come.

This project does NOT fit into this community, will bring no value to the area, will harm Brighton's reputation, and will be negative to future development and growth in the area. We will have to suffer through all of this when any advantages are for another city, and we won't even be able to enjoy the reservoir in the future because Aurora doesn't want to have the responsibility and liability! Even when finished, it takes years for reservoirs to fill, and many never do completely, leaving a visually insightful, bare hole. Is this really what we want at the entrance to our historic city?

I know several people who like Brighton and would consider it for a future home. However, if the city approves this, it sends out a message to everyone that Brighton does not care about its residents, and I certainly could not continue recommending it as a good place to live.

PLEASE, PLEASE, PLEASE consider all of the residents and businesses that will definitely be negatively impacted by this!!!

Sincerely,  
Jeanne Ashburn

11581 E 161st Ave  
Brighton, CO. 80602

Sent from my iPhone



Water Resources  
15151 E. Alameda Parkway, Suite 3600  
Aurora, Colorado 80012  
303.739.7370

Worth Discovering • [auroragov.org](http://auroragov.org)

November 16, 2020

Adams County Board of County Commissioners  
4430 South Adams County Parkway, 5th Floor, Suite C5000A  
Brighton, CO 80601-8216

**RE: Comments on the Conditional Use Permit to Allow Extraction Use in Agricultural-1 (A-1) Zone District, Case Name Tucson South, Case Number EXG2020-00001**

Dear Adams County Board of County Commissioners:

The City of Aurora Water Department (Aurora Water) appreciates the opportunity to comment on the Conditional Use Permit for gravel mining submitted by Aggregate Industries in case number EXG2020-00001.

The City of Aurora is located within three counties, Adams, Arapahoe and Douglas. Our planning department estimates that 1/3 of our population resides in the Adams County portion of the city. The 2010 census estimated Aurora's population to be 325,000 residents. Currently, we believe that number has grown to nearly 380,000. Aurora is also home to University of Colorado Hospital and the Anschutz Medical Campus, Children's Hospital, the VA Hospital, Gaylord of the Rockies Hotel and Convention Center and Amazon, all of which are also in Adams County.

As a result of the 2002 drought, Aurora Water began planning the \$750M Prairie Waters Project to recapture reusable return flows in the South Platte River below the Metro Water Reclamation Facility. This project became operational in 2010. Water storage through reclaimed gravel pit reservoirs is a critical component to this project. In 2003, Aurora Water signed a contract to purchase the Tucson South gravel reservoir from Aggregate Industries after it had been completed and reclaimed to become a component of the Prairie Waters system.

The front range is experiencing significant growth and with that comes the demand for both water and sand and gravel resources. The Tucson South gravel mine will help provide for both demands within Adams County and larger front range area.

Several years ago, Aurora Water and the City of Thornton executed an Intergovernmental Agreement where water resources were traded in order to eliminate the need for a large multi-million-dollar sewer main from Thornton back to the Metro Water Reclamation Facility. Aurora Water is currently developing Intergovernmental Agreements with South Adams County Water and Sanitation District and the City of Westminster to explore water operations opportunities which will be mutually beneficial to all the water providers involved. Aurora Water has also had some initial discussions with the City of Brighton as well. All these partners are within Adams County and Aurora Water is only able to explore these opportunities because of the current and planned infrastructure we have in this reach of the river like the Tucson South facility. Current and future planned infrastructure are central to these discussions and give us the flexibility to work with these partners and other water providers in the region for mutual benefit. We ask for your support for the Tucson South facility which will help Aurora to continue to provide quality water

service to its customers and allow for additional opportunities to work with our partners within Adams County.

We appreciate your time and the consideration of our comments in the application. Please contact me or my staff with any questions or requests for additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Mike Coffman", with a long horizontal flourish extending to the right.

Mike Coffman  
Mayor  
City of Aurora



Water Resources  
15151 E. Alameda Parkway, Suite 3600  
Aurora, Colorado 80012  
303.739.7370

Worth Discovering • [auroragov.org](http://auroragov.org)

September 11, 2020

Adams County Community and Economic Development Department  
4430 South Adams County Parkway, Suite W2000A  
Brighton, CO 80601-8216

**RE: Comments on the Conditional Use Permit to allow extraction use in Agricultural-1 (A-1) zone district, Case Name Tucson South, Case Number EXG2020-00001**

Dear Adams County Planning Commission:

The City of Aurora Water Department (Aurora Water) appreciates the opportunity to comment on the Conditional Use Permit for gravel mining submitted by Aggregate Industries in case number EXG2020-00001.

The City of Aurora is located within three counties, Adams, Arapahoe and Douglas. Our planning department estimates that 1/3 of our population resides in the Adams County portion of the city. The 2010 census estimated Aurora's population to be 325,000 residents. Currently, we believe that number has grown to nearly 380,000. Aurora is also home to University of Colorado Hospital and the Anschutz Medical Campus, Children's Hospital, the Veterans Hospital and the Gaylord of the Rockies Hotel and Convention Center and Amazon, all of which are also in Adams County.

As a result of the 2002 drought, Aurora Water began planning the \$750M Prairie Waters Project to recapture reusable return flows in the South Platte River below the Metro Water Reclamation Facility. This project became operational in 2010. Water storage through reclaimed gravel pit reservoirs is a critical component to this project. In 2003, Aurora Water signed a contract to purchase the Tucson South gravel reservoir from Aggregate Industries after it had been completed and reclaimed to become a component of the Prairie Waters system.

The Front Range and the City of Aurora is experiencing significant growth and we expect the growth to continue. With that comes the demand for both water and sand and gravel resources. The Tucson South gravel mine helps meet both of these demands within Adams County and the larger Front Range area. Aurora Water supports the approval of this project.

We appreciate your time and the consideration of our comments in the application. Please contact me or my staff with any questions or requests for additional information.

Sincerely,

Marshall P. Brown  
General Manager  
Aurora Water

## Greg Barnes

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**From:** Vidmar, Richard <rvidmar@auroragov.org>  
**Sent:** Wednesday, January 13, 2021 3:25 PM  
**To:** Greg Barnes  
**Cc:** Davis, Alexandra; Brown, Marshall; Michelle L. Berger; 'Woodrow ALLEN'  
**Subject:** Tucson South Mine Project (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

Hi Greg,

The City of Aurora has reviewed the proposed landscaping plans Aggregate Industries has commissioned for the Tucson South Mine Project (EXG2020-00001) and approves of the design, trees and vegetation selected. The proposal exceeds the standard the City of Aurora has for our water storage facilities and will enhance the view along Highway 7. This landscaping will provide a significant community benefit both during mining and after Aurora takes ownership of the completed water storage facilities.

I hope you are doing well and we'll see you tomorrow at the hearing.

Thanks,

Rich

Richard A. Vidmar, P.E.  
Water Resources Principal  
Water Resources Division  
Aurora Water  
15151 E. Alameda Pkwy., #3600  
P 303-739-7326  
F 303-739-7604

## Greg Barnes

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**From:** Ronald Barlow <milldipper@yahoo.com>  
**Sent:** Sunday, January 17, 2021 11:12 AM  
**To:** Greg Barnes  
**Subject:** west gate gravel mining.

Please be cautious: This email was sent from outside Adams County

We don't need anymore gravel pits. There is a large population of wild turkeys though out that area. There is wild deer in the area. We have gravel pits from Commerce City to Ft Lupton. It looks terrible, the heavy truck traffic has ruined Tucson St. I would hope that Adams County would not make the same money grab that Weld county has done just few miles north.

Thank You,  
Ronald R. Barlow,



## Greg Barnes

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**From:** Aubrie Beddo <abeddo@gmail.com>  
**Sent:** Thursday, January 14, 2021 2:36 PM  
**To:** Greg Barnes  
**Subject:** Proposed AI Gravel Mine/Pit

Please be cautious: This email was sent from outside Adams County

Mr. Barnes

I am writing to you as a concerned citizen of the Brighton area who is OPPOSED the the possible gravel mining pit off of highway 7 at the entryway of Brighton.

Firstly, the focus needs to be on making the town of Brighton an attractive city where businesses and consumers want to invest. A gravel mine would deter this growth as it would be the first thing one sees upon entering the town. An eyesore for years and years is not how you set the city up for success.

Add to that is the list of health concerns that come with this prospect. As I write this the wind is gusting upwards of 50mph. I can only imagine the dust and other sediment that would be getting blown around if this mine were to be approved. As a mother to an asthmatic child, the air quality of this would gratefully impact my sons health cause severe breathing problems and a constant use of his rescue inhaler. We drive past the proposed location daily, to and from school and extracurricular activities. It is not something we could avoid and I would have to consider the possibility of changing schools and leaving beloved activities such as baseball, karate and gymnastics...all that are within the Brighton town limits.

As extreme as that may sound it would have to be something to consider should the health of my child become effected due to poor air quality.

I wish I could continue to tell you more about why I'm so opposed to this...unfortunately I feel like I had very little notice of the hearing today. Having to quickly write this email, I offer up only my greatest of concerns about this...but most definitely not my only concerns.

Please vote no on this proposal. It is not good for Brighton and not what the citizens want.

Best,  
Aubrie Beddo

Sent from my iPhone



PO Box 16561  
5600 Washington Street  
Denver, CO 80216  
(303)295-2990 fax (303)295-0745

January 6, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Ainsworth Rock Sales Inc. is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. We are a retail landscaping business located in Denver, CO that has done business with Aggregate Industries for over 35 years. We currently have 6 trucks that utilize all of their pit locations. We support this permit because we do business mainly with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our employees on the job.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,

Denise Bennett



January 7, 2021

Board of County Commissioners  
Adams County  
4430 S. Adams County Parkway, Suite C5000A  
Brighton, CO 80601

Subject: Aggregate Industries Tucson South EXG2020-00001

Dear Board of County Commissioners,

Concrete Express, Inc. (CEI) owns property and operates our shop/yard facility at 5580 Franklin in unincorporated Adams County for our Heavy/Highway Construction business. CEI and Aggregate Industries have maintained a business relationship in the capacity of vendor, subcontractor, material hauler and supplier for many years.

CEI supports Aggregate Industries' proposed mining permit EXG2020-0001 Tucson South Quarry due to the need for aggregate materials. Aggregate from this site will facilitate new and reconstruction projects essential to provide quality infrastructure for our community in Adams County and the Denver Metro Area.

CEI supports approval from the Board of County Commissioners for this permit. If you require any further information, please contact me at 303-472-4978 or via email [ablackford@ceiconstructors.com](mailto:ablackford@ceiconstructors.com).

Regards,

A handwritten signature in blue ink, appearing to read "A.P. Blackford". The signature is fluid and cursive, written over a light blue horizontal line.

Andrew P. Blackford  
Principal  
CEI

March 04, 2021

To: Adams County Board of County Commissioners: Emma Pinter, chair; Eva Henry, Chaz Tedesco, Steve O'Dorisio, Lynn Baca

RE: Aggregate Industries Request for Approval of a Conditional Use Permit in a A1 Zone District referred to as: Tucson South Resource

Dear Board Members,

I submit to you my support for approval of the AI permit referenced above. Having been an adjacent land owner to the south parcel since AI was permitted to mine there in 2004, there have been many changes and revisions I've witnessed through the many hearings I've attended.

Looking back to Aggregate Industries' acquisition of the Haake Dairy Farm, their goal has remained the same: with ownership of the mineral rights, to extract the high quality aggregate located there as a permitted conditional use in a A1 zone district. When AI received that 2004 permit from the County Commissioners, none knew of the drastic economic changes that would occur in the years to follow that affected that permit. Now, in this request to receive a conditional use permit, the 1st expiring in 2018, the process has begun again, with incredible changes in the permitting process due to huge, rapid growth issues in this area that you all are now faced with in your decision, as you know!

With all that said, as I look at AI's continual need to reach their goal to extract the now much needed aggregate, with all the challenges this permit process has been for you as Commissioners, I'm reminded of your Vision for your BOCC –that Adams County be the most innovative and inclusive county in America for all families and businesses! And, for that to be a win-win for both, as much as is possible!

In asking for you to grant this permit to AI, I want to thank you all for looking at all of the current challenges this permit decision has required you to consider. Different pros and cons, as always, but difficult decisions that will affect so many of us with a 9 year permit. Specifically, requiring AI to implement a conveyor system that removes most of the traffic issues, and removing the south parcel, next to me, from the permit. Personally, I am most grateful and I applaud AI's new staff in their commitment to do whatever has been necessary to meet your conditions. I applaud the City of Brighton and your own planning staff (for all the hours that have gone into this) for their careful long-term look at the end result benefits.

Last of all, at the last recent zoom meeting of the Planning Commission, I heard of the many people who will have employment connecting to this permit, people who are Adams County residents. For them, as well, I ask for your approval of the AI permit. I have lived here on this little piece of ground on the South Platte River for more than 47 years and have been mightily blessed! Your affirmative decision next week will bless a whole lot of others in the long run as well! Thank you.

Sincerely,

Kathy Bloom  
12500 E. 160<sup>th</sup> Avenue  
Brighton, CO 80602

January 31, 2008

Adams County Open Space Advisory Board  
Adams County Parks and Community Resources  
9755 Henderson Road  
Brighton, CO 80601

**RE: Riverdale Road Agricultural Conservation Easements**

Dear Members of the Board,

We celebrate, with you, the recent award of the 5.25 million dollar GOCO Grant for the completion of the South Platte River Corridor projects. That \$4 million of it was allocated to see the possible fruition of the preservation of the agricultural lands along the River is really wonderful, isn't it! We know that your Board has a vital part to play in the decision to use open space funds to help match the GOCO Grant monies. The purpose of this letter is to encourage you to do that and to thank you for all the time and dedication you have all invested to make these kinds of things happen.

In 2003, we worked with Trust for Public Lands to create a conservation easement on our 35 acre parcel of land on the South Platte, just south of CO Highway 7. Years before that, however, we saw how imperative it was to find a way to legally protect the river ecosystem and its wildlife. As conservation easements gradually became a reality, we recognized they could provide a means for that to happen.

During the years since then, we have watched the wild turkey, mule and white tail deer, and so many other mammals and birds that live along the river feed from the few agricultural lands that remain. We strongly support the current plans for Adams County Parks and Community Resources to place conservation easements on the Novak and Winfrey properties with the intent to sell them to the Larson and McIntosh Farms and finally, the placement of conservation easements on the Larson Farm and the remaining part of the McIntosh Farm.

We believe the protection of those farmlands is an essential part of the survival of the wild life that still exists along the South Platte River. And, we know that the money your Board can invest in this project will be a gift to the citizens of Adams County. You offer them a continuance of the legacy of this very special river corridor. We thank you.

Sincerely,

Jack Bloom     &     Kathy Bloom

February 10, 2009

Adams County Open Space Advisory Board  
9755 Henderson Road  
Brighton, CO 80601

RE: Support letter for the "Lost 40"

Dear Board Members,

My husband, Jack, and I own a bit more than 35 acres near the north gateway to the South Platte River Heritage Corridor. We placed our property into a conservation easement in December, 2003. Prior to that, for several years, I was a part of the Steering Committee that helped create the Corridor.

From the beginning, our primary goal was to find a way to legally protect the diminishing wildlife habitat along the river. In the years since, we have been so pleased to see Adams County Parks do that, piece by piece, either through conservation easements or direct purchase, until now, we are getting close to seeing the Corridor completed from 104<sup>th</sup> to 160<sup>th</sup> Avenues.

The "Lost 40" had seemed almost forgotten because it has been so remote and not easily accessed--protection for the wildlife already there by the very nature of it's location. However, we respectfully ask that you allocate funds for the ADCO Parks grant request. Through a fee simple acquisition, legal protection will be possible to assure the "Lost 40" is never lost to the citizens of Adam County.

With all the unforeseen events that happen through the course of time, it is so important that the River Corridor be legally protected. We look forward to the day that all of the land along the river is included. It will be truly a "win-win" for the people of Adams County through their tax dollars and for the many wild animals who still share their lives with us.

Thank you.

Sincerely,

Kathy Bloom



February 24, 2011

Open Space Grant Program  
Great Outdoors Colorado  
1600 Broadway, Suite 1650  
Denver, CO 80202

**RE: 144<sup>th</sup> Avenue Farmland Preservation**

To: Great Outdoors Colorado Open Space Grant Program Staff and Grant Reviewers,

This is a letter of support for the City of Brighton's grant application request to create a 75 acre conservation easement north and south of 144<sup>th</sup> Avenue, east of Highway 85.

In 2003, our 35+ acre property west of Brighton on the South Platte River, became part of the north gateway to the South Platte River Corridor. Our conservation easement is habitat preservation for many species of animals and birds that migrate up and down the river. We have learned that essential to our habitat protection is the adjacent agricultural land, (the Medlin conservation easement.) Food sources sustain the food chain! The approximate 75 acres requested in this grant application create more sustainable wildlife populations. Our many kinds of "gleaners" can successfully bring up their young because these kinds of farmland preservations.

Perception is everything, isn't it? The City of Brighton has historically been surrounded by truck farms, hay fields and crop lands. A "rural" kind of town. Though all the development in recent years has changed much of that, open space tax revenues, voted for by Adams County residents, in addition to the GOCO grants, tell us that there is a mandate from residents to preserve the "rural" aspects of the land that can still be preserved. We and they see it as "quality of life"...**why we want to be here...why we want to stay.**

We encourage and applaud the City of Brighton's open space plan and their desire to include in it, the 144<sup>th</sup> Avenue Farm Preservation. We encourage and applaud your opportunity to grant GOCO funds to match their commitment to this project.

Sincerely,

Kathy Bloom  
12500 E. 160<sup>th</sup> Avenue  
Brighton, CO 80602



August 1, 2017

Adams County Open Space Advisory Board  
Adams County Parks and Open Space  
9755 Henderson Road  
Brighton, CO 80601

**Re: Riverdale Road Agricultural Heritage Preservation**

Dear Members of the Board,

My husband, Jack, and I own 35.43 acres on the South Platte River, just south of CO Highway 7. We placed our property into a conservation easement in December 2003. Having purchased the acreage in 1974, we knew throughout the years that the abundance of wildlife along the River would have to be legally protected to survive.

In the years since, we have been so pleased to see Adams County Parks place piece after piece of property, either through conservation easements or direct purchase, into the South Platte River Heritage Corridor from 104<sup>th</sup> to 160<sup>th</sup> Avenues. One of the last large remaining agricultural acreage still outside of that legal protection was the Littlefield property. This letter of support is to encourage your Board to provide the funds to finally acquire a conservation easement there as well.

To provide for a conservation easement on this property, between Riverdale Road and the River, is a huge step in completing the goal of a total legally protected River Corridor and contributes greatly to the scenic beauty of Riverdale Road. The most important aspect, however, is the necessity of preserving this agricultural land, with its water rights, as an essential part of the survival of the ecosystem that sustains the remaining wildlife along the River Corridor.

With all the unforeseen events that happen through the course of time, we know your Board has a responsible to act on behalf of the citizens of Adams County. We trust that you will see this conservation acquisition as a "win-win" for them, as they will see that their tax dollars provided for this legacy, and, when completed, is a permanent life-sustaining gift to the many wild animals who still share their lives with us.

Sincerely,

Kathy Bloom





Hwy. 7

AI South Parcel

Kloorn Conservation Easement



February 4, 2021

Adams County Planning Commission: Chairman Justin Martinez, Sean Forest, Rosie Garner, Sharon Richardson, Greg Thompson, John Depriest  
4430 South Adams County Parkway,  
Brighton, CO 80601

RE: Aggregate Industries request for approval of a Conditional Use Permit in a A1 zone district referred to as: Tucson South Resource

Dear Members of the Planning Commission,

I am responding to the 3 to 3 decision your Commission made at the Zoom meeting on January 14. (I was participant I.D. 408087 but chose not to comment then.)

I do so now, because I have been an adjacent land owner to the south parcel since Aggregate Industries was permitted to mine there in 2004. There are two reasons I ask that your Commission vote to approve the AI permit:

1. In consideration of the comments to object to the permit by nearby fellow Adams County residents.

2. To speak to the possible completion of the South Platte River Wildlife Corridor through a donation by AI of the south parcel, which is no longer included in this permit application.

1. The people who expressed their view on Jan.14th that the AI permit should be denied, seemed to feel that the removal of the aggregate on the land north of Hwy.7 is not compatible with current land use considerations. Those who live in the Todd Creek development probably did not attend all the hearings where there were major objections to removal of that prime agricultural land from a rural area and that allowed private septic systems for each residence, despite even Tri-County Health Dept. objections.

Change does bring a need for a new perspective. Do we not all deal with the major acceleration of traffic on Hwy.7 where now it is common that 40-60 vehicles pass by before we can safely access the highway. The serious need for Aggregate Industries to adapt their permit to accommodate these changes in our environment is necessary and we should say so.

I would say, however, in the 47 years I have lived here on an acreage with an A1 zoning, I do see we have a legal right to use what we own in a responsible manner. When AI purchased the property from the Haake family, their dairy farm had been creating problems for their new neighbors. People

were fearful of the bulls in the nearby pasture, the flies, and the smell of the dairy cows. Their 25+ acre cornfield across the highway, next to me, needed cautious use of their farm equipment back and forth across the highway.

AI is asking for a Conditional Use Permit for an 8 year span to remove the aggregate they purchased that land to extract. We always knew that. We, on the other hand, decided in 2003, to place our farm into a Conservation Easement to remove all possibility of that happening on our property—because we had the right to do that with our A1 zoning.

2. That brings me to the other reason for asking you all to approve the AI permit. In 1998, I was part of a new steering committee, determined to find a way to legally protect the fragile but amazing amount of wildlife on the South Platte River—both residents and Park officials together in a joint effort.

The McIntosh Dairy was the first Conservation Easement, ours was soon to follow. By then, we knew we could legally protect the west wildlife corridor of the South Platte through those private easements, County Park acquisitions and completed sand and gravel operations. Our goal was to begin the Corridor officially at 104<sup>th</sup> Avenue and continue to 160<sup>th</sup> Avenue—Highway 7. It is almost completely finished. It legally protects the diverse wildlife environment, providing habitat and a food supply from remaining agricultural lands, while increasing public viewing of these wild ones who can still survive among us.

The willingness of AI to donate the south parcel completes the goal we began in 1998: the South Platte River Wildlife Corridor from 104<sup>th</sup> to 160<sup>th</sup> Avenue. I could say this permit would put Aggregate Industries into the community as a participant of value!

I appreciate your patience in reading my lengthy comments, as I hope you see a big picture that started a long time ago. The Wildlife Corridor is a legacy we hope to leave to all the current citizens of Adams County, including those in the future who will care about the unique land use consideration it truly is. Thank you.

Sincerely,

Kathy Bloom

12500 E. 160<sup>th</sup> Avenue  
Brighton, CO 80602  
303-659-2102

5 enclosures: 3 letters of support requests to ADCO Open Space Board; 1 request to GOCO Open Space Grant Program: sent in 2008, 2009, 2011 & 2017 + 1 map of the Conservation Easement I own adjacent to the AI south parcel.

# **GROUND**

## **ENGINEERING**

January 7, 2021

**Adams County Planning & Zoning Commission**  
4430 South Adams County Parkway  
Brighton, CO 80601

To Whom It May Concern:

Ground Engineering Consultants, Inc. (GROUND) has been located at 7393 Dahlia Street in Commerce City, Adams County for 28 years and has approximately 200 employees. We have worked with Aggregate Industries on numerous projects, and in our experience they are a professional and competent materials supplier and construction company.

Recently we have been notified of Aggregate Industries proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. – Gravel Mining Area in Adams County. In addition to sourcing construction materials locally for use in Denver Metro Area construction this would also add water storage and trails for public use.

Aggregate Industries is a reputable enterprise in Colorado and we ask you to approve the permit they seek so we can continue to partner with them in Adams County.

Please contact our office with any questions or concerns regarding the information presented herein.

Sincerely,

**GROUND Engineering Consultants, Inc.**



James Booze

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

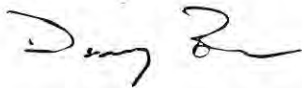
Dear Commissioners:

As an employee of Aggregate Industries for 7 years, I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since I am a Adams County resident, I know first-hand that the aggregate materials from this quarry will help build the infrastructure that I support and our jobs and families welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. I look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow me to enjoy life on the front range. I urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Danny Bowen

## Greg Barnes

---

**From:** Monica Broncucia-Jordan  
**Sent:** Thursday, January 14, 2021 4:51 PM  
**To:** Greg Barnes  
**Subject:** Gravel Mining Pits

**Importance:** High

Good Afternoon,

It is my understanding that gravel mining pits are proposed just west of Brighton's round-a-bouts. I am writing to express concern over the associated truck traffic that these will likely generate. My Office is off of 19<sup>th</sup> Ave. and Bridge Street. We have to respond quickly to death scenes. Getting in and out of Brighton is already challenging. This will create additional challenges for us to serve our west end cities. I am adamantly against any development that will create travel issues along Hwy 7 and interfere with the limited avenues out of Brighton.

Thank you,

**Monica Broncucia-Jordan • Chief Coroner**  
**Office of the Coroner, Adams and Broomfield Counties**

330 North 19<sup>th</sup> Avenue, Brighton, CO 80601

(303)659-1027 main • (303)659-4718 fax

[mbroncucia-jordan@adcogov.org](mailto:mbroncucia-jordan@adcogov.org)

[www.officeofthecoroner.com](http://www.officeofthecoroner.com)

The information contained in or attached to this e-mail may be confidential information subject to protection by law or terms of applicable confidentiality agreements, and is intended only for the use of the individual or entity named above. If you are not the intended recipient or the person responsible for delivering it to the intended recipient, you are hereby notified that any dissemination, distribution, copying, or use of any of the information contained in or attached to this transmission is strictly prohibited and may be unlawful. If you have received this transmission in error please immediately notify the sender by telephone or return email and delete the original transmission and its attachments. Thank you.



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. JKJ Trucking LLC, 15970 Dale Ave Fort Lupton, Co 80621, We support this permit because we do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our 5 employees on the job.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,  
Luis A Camacho Marrero



# CARLSON & CARLSON LLC

11259 Kalispell Street  
Denver, Colorado 80022  
T 303-898-6916

[Craigcarlson11@gmail.com](mailto:Craigcarlson11@gmail.com)

January 14, 2021

Adams County Board of County Commissioners  
Attn: Honorable Members  
4430 S. Adams County Parkway  
5<sup>th</sup> Floor, Suite C5000A  
Brighton, Colorado 80601

*Via Facsimile: (720) 523-6045*

**Re: Project EXG2020-00001**

Dear Honorable Members:

I am writing this letter in support of project EXG2020-00001.

As you all know, I have been a lifelong resident of Adams County. I have enjoyed the measured growth and development within the county and in many of our municipalities. And, as we all know, the many projects that now have come to define our county, were built with aggregate resources, that often times, came from Adams County. In fact, one of the projects I was proud to build was the Brighton Pavilions, one of the first projects approved within the Brighton Urban Renewal Authority (BURA). In fact, much of the aggregate that was used for the construction of the Brighton Pavilions came from one of the gravel facilities adjacent to the gravel mine presently under consideration.

This proposed use is not only necessary for the ongoing growth and development within the county, but it is temporary and will ultimately make way for a permanent low intensity use in perpetuity. Further, from what I understand, Aggregate Industries has made significant efforts to reduce the impact of their use and to operate as good neighbors.

Thank you for considering my thoughts as you review this application. Feel free to call me if you have any further questions

Sincerely,



Craig A. Carlson

## Greg Barnes

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**From:** Mark Carlson <macarlson956@yahoo.com>  
**Sent:** Tuesday, February 2, 2021 8:13 PM  
**To:** Greg Barnes  
**Subject:** Gravel pits on Tucson west of Brighton

Please be cautious: This email was sent from outside Adams County

As a 30 year Brighton resident I am vehemently opposed to any heavy industry/gravel pits that close to the entrance to downtown Brighton. Do not allow this

Mark Carlson  
5111 Purple Mustard Ct  
Brighton, CO 80601

[Sent from Yahoo Mail on Android](#)



PO Box 16473  
5600 Washington Street  
Denver, CO 80216  
(303)295-0014 fax (303)295-0745

January 8, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Clear Creek Trucking Co., Inc. is writing to request the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. We are a local trucking company that has been in business for over 30 years. We primarily haul material for Aggregate Industries. We currently have 16 trucks that haul out of all of their pit locations. We support this permit because we do business mainly with the PLATTE VALLEY facility. The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,

A handwritten signature in blue ink that reads "Natalie Casey". The signature is written in a cursive, flowing style.

Natalie Casey

## Greg Barnes

---

**From:** Cheri Caulkins <chericaulkins@gmail.com>  
**Sent:** Friday, January 29, 2021 1:56 PM  
**To:** Greg Barnes  
**Subject:** Hwy 7 Gravel Mining

Please be cautious: This email was sent from outside Adams County

Hi Greg,

I am writing to express opposition to the mining proposal for the site north of Hwy 7 in Brighton. After reviewing the information as well as researching and exploring what these mining operations entail, this does not match what it seems that Brighton is all about. This is very near where we live and with the high winds that occur in this area, this is not appealing in any way. Besides the dust, what about the noise that will affect so many? And what about the construction traffic?

I understand that mining happens, but when it is so near residential and park areas, it detracts and degrades and since mining operations last many years, this is a big concern. Besides, neither Brighton nor Adams County, as far as I understand, will benefit from this operation. Even though the proposal says this will be a reservoir, if it is fenced, that is not an attraction, but a detraction.

Please let me know if you have any questions or if my concerns should be voiced elsewhere.

Thank you for your consideration.

Sincerely,

Cheri Caulkins

343 Miller Ave

Brighton, CO 80601

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

EDUARDO CISNEROS  


10 years Resident Adams County

## Greg Barnes

---

**From:** Benjamin Cooper <cooperbf@comcast.net>  
**Sent:** Monday, February 15, 2021 9:13 PM  
**To:** Greg Barnes  
**Subject:** Gravel pit

Please be cautious: This email was sent from outside Adams County

Please vote no for Aggregate Industries and their for their propped gravel mine at Hwy7 and Tucson street. As a Todd Creek resident this is not something we need in/near/around Brighton. Thornton is already decreasing my quality of life by approving the huge development of Quebec. Please don't decrease it further with a gravel monstrosity.

Ben Cooper  
303-819-0532



## Greg Barnes

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**From:** DONNA CUDDEMI <cuddemi@comcast.net>  
**Sent:** Tuesday, February 2, 2021 10:10 AM  
**To:** Greg Barnes  
**Subject:** No to the gravel pit

Please be cautious: This email was sent from outside Adams County

Hi,

I just heard that the gravel pits planned west of the gateway to Brighton would negatively impact the South Platte bike paths. My husband and I just moved from Fort Collins to Thornton in October and often walk these paths (we call the paths we've found since moving here "hidden gems!") Is this info. Correct? If so, I'm hoping you decline this location for the gravel pits and place them in areas that the public doesn't access.

Thanks for your help!

Gratefully,

Donna Cuddemi

***E-Code Practitioner***

[cuddemi@comcast.net](mailto:cuddemi@comcast.net)

970-689-2292

## Greg Barnes

---

**From:** Tina Cullen <Tina.Cullen@elevationscu.com>  
**Sent:** Wednesday, August 26, 2020 9:12 AM  
**To:** Greg Barnes  
**Subject:** Aggregate Industries - Tucson South

Please be cautious: This email was sent from outside Adams County

Good morning,

I live in Brighton, Todd Creek Riverside. I received the letter regarding Al's application (again) for mining aggregate near my home. I strongly object to allowing this to go forward. I was so proud of the Board for denying their request back in November of last year. It felt like we had advocates who cared about the people who live here and the businesses who want to thrive here. I really hope that advocacy continues.

The trucks that already use Highway 7 and Highway 85 as their main routes continue to destroy the roads, pollute the air, and make living and commuting here a terrible experience. We've had to replace 3 windshields since living here due to the lack of consideration from truckers who don't cover their aggregate loads. As Adams County and Brighton continue to grow, the traffic has become heavier with just the residents. Adding more heavy trucks to that traffic would be a mistake and a loss for those of us who chose to make Brighton our home. We want to build something here, not just focus on revenue for the county. We want a thriving community, not an industrial center. Please don't let industry and revenue be the primary focus in our county.

Thank you for your consideration.

**Christina Cullen** | Quality Control Specialist II

[Elevations Credit Union](#)

1 Environmental Way, Broomfield  
P.O. Box 9004, Boulder, CO 80301  
t: 303.443.4672 x. 1813 |

**It matters where you bank.**



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Please consider the environment before printing.

## Greg Barnes

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**From:** Tina Cullen <Tina.Cullen@elevationscu.com>  
**Sent:** Wednesday, January 20, 2021 8:41 AM  
**To:** Greg Barnes  
**Subject:** Tucson South EXG2020-00001

**Importance:** High

Please be cautious: This email was sent from outside Adams County

Hi Greg – I'm writing again as I understand the vote was tied on whether to approve Aggregate's most recent proposal. I have to express, in the strongest terms, my objections to this proposal.

Aggregate's proposed mining is not compatible with this area – our neighborhood would overlook this pit. It's not harmonious with the character of our neighborhood. Any possible future development of the area would be negatively impacted, as seen a bit further north off of 168<sup>th</sup>. Open pits slowly filling with water are not attractive to developers who might bring projects that will add more benefit to the area and to Adams County. Additionally, there is always negative environmental impact from these mining projects in the form of noxious fumes and noise, which are detrimental to the health and welfare of the existing inhabitants of the area.

The damage that will continue to be done to Highway 7 and Highway 85 will lead to less and less people coming to Brighton to eat, to shop, and to support local merchants. We are at a pivotal point in the growth of Brighton and the surrounding areas. We can continue to disregard these citizens and their health and wellbeing, or we can make a firm commitment to a future of non-industrial growth and the support of Brighton's small businesses and its people.

Please read my email at the next meeting. Thank you.

**Tina Cullen** | Quality Control Specialist III

[Elevations Credit Union](#)

1 Environmental Way, Broomfield

P.O. Box 9004, Boulder, CO 80301

t: 303.443.4672 x. 1813 |

**It matters where you bank.**



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Please consider the environment before printing.

## Greg Barnes

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**From:** Nancy Darschewski <nandarski@hotmail.com>  
**Sent:** Sunday, January 31, 2021 9:56 PM  
**To:** Greg Barnes  
**Subject:** Gravel mining

Please be cautious: This email was sent from outside Adams County

SAY NO TO GRAVEL MINING IN BRIGHTON

Sent from my Verizon, Samsung Galaxy smartphone

Get [Outlook for Android](#)

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204


Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Juan De La Torre

12 Years Adams County Resident

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Juan Diaz



Enriquez Trucking, LLC.  
P.O. Box 383  
Hudson, CO 80642

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

I am writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. I do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry and will help keep me self employed as a single trucker.

Having the construction materials available close to developments helps me to hold down my trucking expenses associated with hauling and delivering it to the job sites

I appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Thank you,

17110 *ENRIQUEZ*

Nilo Enriquez



## Greg Barnes

---

**From:** farleybosch <farleybosch@aol.com>  
**Sent:** Monday, January 11, 2021 6:12 PM  
**To:** Greg Barnes  
**Subject:** say NO

Please be cautious: This email was sent from outside Adams County

Dear Greg,

Please fight on our behalf to make sure these gravel pits do not happen at this location. We bought property out here to be somewhat in the country. We do not need truck traffic and industrial pollution. Please let me know if I can do anything else to stop this ridiculous plan.

STACY FARLEY  
10800 E 151ST AVE

Sent from my Verizon, Samsung Galaxy smartphone

## Greg Barnes

---

**From:** B <faulkenbrando3282@gmail.com>  
**Sent:** Friday, February 5, 2021 5:23 AM  
**To:** Greg Barnes  
**Subject:** NO GRAVEL PITS

Please be cautious: This email was sent from outside Adams County

Let's improve Brighton! No gravel pits. We seem to be going backwards in this town with improvements. Make good choices for our town!! No one wants ugly AF gravel pits that will produce more traffic and more eye sores.

Sent from my iPhone

## Greg Barnes

---

**From:** M Fluharty <mfluharty600@gmail.com>  
**Sent:** Monday, February 8, 2021 11:21 AM  
**To:** Greg Barnes  
**Subject:** Comments on Tucson South Project, Case No.: EXG2020-00001

Please be cautious: This email was sent from outside Adams County

To: Mr. Greg Barnes

Adams County Case Planner

[GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org)

February 8, 2021

Dear Mr. Barnes:

I am a homeowner in the Bartley Subdivision located immediately west of the proposed Tucson South Sand and Gravel Mine Project. I am opposed to this project. I do not believe the proposed project is compatible nor appropriate for the rural nature of this area. I also believe the project timeframes (duration) are unrealistic. The proposed project site is 0.5 mile from our development. My husband and I retired to the Todd Creek area for its peace and quiet and rural nature. We never imagined a sand and gravel mining operation so close to our home. I have read the Adams County (County) Community and Economic Development Department Staff Report (January 14, 2021) and the Aggregate Industries – WCR, Inc Tucson South Resource Conditional Use Permit (CUP) Application (July 30, 2020). While it is clear that the project proponent has revised the original plan to address the concerns of constituents and therefore mitigate some issues, the proposed project is still a sand and gravel mine in an inappropriate location. Additionally, what evidence does the project proponent have to demonstrate that a project of this size can be completed within the specified timeframe? I provide the following comments:

### Aesthetics/Land Use

COA No. 6 discusses a site landscape plan to address the visual impact of the project. It is unimaginable how berms, trees, and shrubs could mitigate the visual impact of this project's operation. Traveling east on Highway 7, prior to the project site, you are on a hill. There is no way a landscape plan could eliminate the visual impacts of this project. Sand and gravel mines are a blemish on the landscape; a drive south down SR 85 from Fort Lupton to Brighton provides a good visual of what a sand and gravel mine looks like, and it is ugly. Having such an operation so close to

our Bartley subdivision and the entrance to the City of Brighton would be a blight on our area, not to mention how such a project could negatively affect our property values. I disagree with the project proponent's view that "*..the Application provides a proposed use that is compatible and in harmony with surrounding uses...*"

### Unrealistic 8-year Mining and Reclamation Timeline

I believe the timeframe of 8 years is unrealistic. The project proponent states that mining and reclamation will be reduced to 8 years from the time the conveyors are installed, "assuming" an operating schedule of Monday through Saturday, 7 a.m. to 7 p.m. The project proponent also states they are "*committing to no requested extensions of the CUP permit*" (CUP pg.5). I question how this will be possible given the factors that could impede the start of the project; for example, obtaining all necessary permits, and the installation of conveyors, as well as factors that could temporarily suspend mining operations such as inclement weather, high winds, equipment failure, the potential implementation of raptor buffer zones, and other proposed measures. For example, raptor buffer zones can be quite large, even up to 0.5 mile. The Tetrattech Biological Resources Inventory Report (September 2017) noted, "*several large stands of deciduous trees with the potential to support raptor nests were observed throughout the Project area and within a 0.5 mile buffer of the Project area. The east side of the Project area in the riparian corridor along the South Platte River was noted to have a relatively high abundance of potential nesting sites.*" A 0.5-mile buffer could significantly impact project operations.

COA No. 32 states, "*All mining operations, reclamation of sloping, grading, and initial seeding shall be completed within eight (8) years of the Notice to Proceed, but no later than February 2, 2030.*" What if the project is not complete by 2030? I question how project completion would be possible given the factors that could impede the start of the project and factors that could temporarily delay operations. I question how will the project proponent could complete operations within 8 years, not exceed year 2030, and still abide by all CUP requirements. It is likely that the project proponent will request and be granted future County approvals and it is conceivable that this project could extend well beyond 2030.

### Conveyor System

The project proponent, has removed all haul out operations and replaced them with a 1.5-mile-long overland conveyor system. While this is a commendable mitigation measure for traffic, I question what happens if the conveyors fail and need to be repaired/replaced. Will dump trucks temporarily replace the conveyor? If this occurs it would result in unanticipated increased air emissions.

While I hope that this project will not be approved by the County, I provide the following comments on the Conditions of Approval:

### Recommended Conditions of Approval No. 3; Raptor and Bald Eagle Surveys

COA Precedent to Approval No.3 states, “A raptor and bald eagle surveys shall be conducted by a qualified biologist prior to site disturbance, if any grading or construction activity is planned to occur between October 15th and July 31<sup>st</sup>.” It further states, “In the event that a raptor survey identifies additional nests or documents changes in nest activity status, a site plan detailing raptor nest buffer zones and seasonal restrictions (as provided in the most recent CPW guidance document) shall be provided to the Adams County Community & Economic Development Department.” In addition to nesting sites, raptors utilize hunting perches and night roosts. Surveys and site plans should include the identification of hunting perches and night roosts and appropriate buffers. Additionally, the measure requires submission of a site plan but there is no time frame of when such a plan should be submitted (e.g., within 2 days of surveys). Without a specific time frame the plan could conceivably be submitted months after observations. Finally, there is no mention of any County approval of such plan. The site plan should require approval.

### Activities Adjacent to the South Platte River

The South Platte River forms a portion of the eastern boundary of Phase II. While COAs 9 and 27 address secondary containment of aboveground petroleum storage tanks and the removal and disposal of fluid spills, I did not see a spill prevention plan, that is, countermeasures that contain, cleanup, and mitigate the effects of a petroleum spill that has reached and impacted the River. With a portion of the project activities being close to the River there should be such a plan. The South Platte River provides rich habitat for many wildlife species and Veterans Park, just across the River, attracts many visitors. Although the proposed project is not supposed to impact the River, a petroleum spill without a plan would certainly be an impact.

### Reporting

COA Nos. 11, 12 and 13, require the project proponent comply with all the requirements specified by Colorado Department of Natural Resources’ Division of Parks and Wildlife, the Tri-County Health Department, and the Colorado Division of Water Resources, respectively. How will we know if these requirements are indeed being carried out? Is there a reporting mechanism? Is there a third party who will monitor this?

Thank you for the opportunity to comment on this project.

Marilyn J. Fluharty

## Greg Barnes

---

**From:** Audrey Franklin <acab38@gmail.com>  
**Sent:** Wednesday, February 3, 2021 3:28 PM  
**To:** Greg Barnes  
**Subject:** Gravel pits

Please be cautious: This email was sent from outside Adams County

I was horrified to find they had applied again to dig huge pits to remove sand on both sides of Hiway 7. I heard there wouldn't be trucks on 7 as they plan an overhead conveyor for sand. That is unbelievable as it would leak sand on the Hiway.

Please do not approve the digging of ANY sand in that area. It is our only road west and highly traveled us it would forever ruin the entrance to Brighton.

Audrey Franklin  
14360 Meadow Lark Ln

## Greg Barnes

---

**From:** shar fullerton <sharsoccer13@yahoo.com>  
**Sent:** Sunday, January 17, 2021 11:42 AM  
**To:** Greg Barnes  
**Subject:** NO Gravel mine at West Gateway

Please be cautious: This email was sent from outside Adams County

***Please NO more gravel pits....***

***Please, we have too many gravel pits as it is.  
They seem to run from north of Ft Lupton to  
south of Commerce City. Enough Already***

This area is home to wild turkey's, deer, and 2 nests of bald eagles. Also you can see Peregrine Falcons & Hawks circling the sky in this area. I'm not sure if they nest here though, I'm guessing the eagles rule the area. I sure there's other animals in this area as well, just can see them from the road.

One eagles nest is by the river and the other is next to Tucson by the dried up pond on the east side of Tucson, north of the old Santa Fa style house.

The turkeys roam all through this area, it's such a beautiful sight, especially when there all together feathers out dancing. So Cool!

The deer roam mostly in the dried pond area and by the trees to the east, but early in the morning just at sun up, you can spot them on both sides of Tucson.

**Stop this Please**, leave this open to nature, There running out of places to live.

Thank you  
Sharon Fullerton  
303-475-3320



Ray Gallegos  
4160 E 119<sup>th</sup> PL APT C  
Thornton CO 80233

January 6, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that is imperative to the growth and improvement of our community.

Furthermore, our jobs depend on residential and commercial developments as well as infrastructure projects. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen of Colorado that has provided for my family's life on the front range. We urge you to approve the permit sought by Aggregate Industries so that together we can continue to build Colorado.



Sincerely,

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

*Jose Garcia*

*3 years being a Adams County resident*

## Greg Barnes

---

**From:** Joseph Gillespie <gillespie63@msn.com>  
**Sent:** Wednesday, February 3, 2021 11:14 AM  
**To:** Greg Barnes  
**Subject:** Tucson South

Please be cautious: This email was sent from outside Adams County

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Tucson South. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Joseph Gillespie

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. A& D Trucking Inc, 1261 S Quiet Way Denver, Co 80223, We support this permit because we do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our 10 employees on the job.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,  
Juan M Gonzalez

Juan M Gonzalez

September 17, 2020

Adams County

Re: The Tucson South Gravel Pit Application 2020  
Case Number: EXG2020-0001

To Whom it may Concern,

With all due respect, . . . For those of us who have followed this case and are familiar with the 2019 hearings (presentations, testimony, technical aspects, etc.), aside from now "**starting**" the project with the conveyor (allegedly this whole project was planned to be **primarily mined by conveyor**), **the nuts and bolts of this application are still the same and an industrial mining operation at the gateway of downtown Brighton should never be allowed!**

Last year, at the start of the October 29<sup>th</sup> hearing, the south parcel had ALREADY been removed from the permit (not counting what they were doing behind the scenes), Aggregate had committed to air monitoring, Aurora had committed to a more decorative fence, and by the end of the hearing the time frame discussed was even less. So it has been disturbing to hear Aggregate Industries, in three different presentations that we have attended, (to city entities and the neighbors), explain how they have now come back with all these significant/major changes. Additionally, the Request For Comments is now making comparisons between their 2004 Permit and this current application to establish some change. The old application should have no bearing. In 2004, the majority of residential subdivisions that line Hwy 7 were not there, our development, Platteview Farms Plaza, was nothing but a pile of weeds and a conglomeration of utility poles and lines, the Pavillions did not exist, the Kum and Go gas station did not exist, and the Roundabout Crossings did not exist. So those 16 years have brought about changes that make their 2004 application not appropriate for comparison.

Additionally, the dangling of the South Parcel as a gift should not be tied to this permit in any fashion. To us it equates to no more than a bribe or pay-to play tactic as it does not take away the gravel pit, or the fact that there is no way to take away the experience, visibility, or association of this gravel mine as you approach the gateway of Brighton (via Hwy 7) or exit it and it offers no great value.

**For the record:** We are private Business owners that have invested several millions of dollars in Platteview Farms Plaza - (Miller St. & Hwy 7- home to Autowash, Piasano Liquors, Papa Johns Pizza, and Santiagos Mexican Restaurant) - AND are Brighton homeowners. Since the mid 2000's we have worked diligently in **multiple** ways to help revitalize the Brighton Downtown District, . . . trying to clean it up and create a pleasing environment that would help breathe new life, counterbalance Brighton's challenges, and attract both businesses and consumers to the downtown area, . . . businesses that could thrive because individuals would DESIRE to be

there! Efforts include my husband's 7+/- years as a commissioner on BURA (BRIGHTON URBAN RENEWAL AUTHORITY) and roughly 3 years on the board of the Downtown Partnership - so we are speaking from having been in the trenches and on the front line! **Downtown Brighton is challenged and a gravel pit at this gateway negates and undermines ALL that has been worked for** (or the millions of tax dollars that have or are currently being spent!) to help negate its challenges.

Regarding the requirements of the Conditional Use Permit:

1. The conditional use is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County. (including wildlife!)
2. The conditional use permit cannot address all off-site impacts.

### **Please consider the following facts:**

1. **HWY 7 IS THE WEST GATEWAY to Downtown Brighton** - and there is no way, traveling this MAIN ROUTE, in either direction that you would NOT be able to see this mine, or experience it. Specifically, you can NOT physically block/berm the view approaching from the west. And it will be visible exiting the city gates as well relative to the elevation and floodway (cannot berm it there). AND, it will also be visible at the Tucson intersection area.

### **2. DUST - Environmental Issues of Health and Safety:**

The method of mining will be a DRY mining technique - there will be dust! Slurry walls are created to keep water out of the pit and while the initial dewatering phase may take a year, the ground WILL dry out. Weld County confirmed dust issues on Aggregate's activities citing the type of wind conditions that exist out here as well as **the physical impossibility** of keeping the expansive overburden piles and surfaces wet enough to prevent it - and **Aggregate's own representative admitted as much during a hearing!**

Crystalline silica dust is one of the particulates commonly found in gravel operations - **and this is a known carcinogen!** *"This respirable silica dust causes lung disease and lung cancer. It only takes a very small amount of airborne silica dust to create a health hazard."* (<https://www.silica-safe.org/know-the-hazard/why-is-silica-hazardous>)

- **Dust particles (PM<sub>10</sub>)** (big dust particles) can range in size from 2.5 to 10 micrometers in diameter. They can stay in the air for a number of minutes to a number of hours and **can travel as little as a hundred yards or as much as 30 miles!**
- **Fine particles (PM<sub>2.5</sub>)** (small dust particles) are 2.5 micrometers in diameter, or smaller, and can stay in the air for days or weeks -- and **can travel much farther; many hundreds of miles!** (and it is the smaller particles that are much more dangerous)  
([https://webcms.pima.gov/UserFiles/Servers/Server\\_6/File/Government/Environmental%20Quality/Air/Air%20Monitoring/AWhatIsParticulateMatter1.pdf](https://webcms.pima.gov/UserFiles/Servers/Server_6/File/Government/Environmental%20Quality/Air/Air%20Monitoring/AWhatIsParticulateMatter1.pdf))

Air monitoring may sound good but **gusts, pockets, and swirls of wind NEVER disperse dust equally or proportionately**. You could not physically have enough monitors to accurately track

true air quality. We were recipients once of a nasty gram (certified letter) from Todd Creek Village Parks and Recreation's legal counsel that accused us of painting a portion of their white rail fence brown - threatening repercussions for not fixing it! The fence appeared that way because of light moisture (misting rain) followed by an unequal (which is typical) dispersement of heavy dust. A monitor 200' away would never have picked up the same air/dust reading that we would have had at our house. So even though air monitoring may sound good, it is really pointless because it doesn't solve, resolve, or even accurately track the problem. (letter and pictures available upon request!) (WET MINING WOULD GO A LONG WAY TO SOLVING THIS ISSUE)

3. **TRUCKING:** The trucking impact will still be felt. Aggregate Industries has stated in their neighborhood and city presentations that roughly 75% of their product comes back down into Adams County. Per their application last year it was estimated that the quantity extracted from the Tucson South Mine would necessitate 420 semi-truck trips a day in traffic. If 75% of that quantity (or whatever quantity) moves back down into Adams County, that is a lot of additional trucks. These trucks will use Hwy 85, Hwy 7, and County Rd. 2 to arrive at their destinations and then return. Note: Aggregate Industries is alleged to have had a previous road maintenance agreement in place with the Tucson North mine that they are said to have not honored. This was brought up at the Neighborhood Meeting and Aggregate side stepped it at the time and has still never addressed it. There is current road damage (sinking) to Holly St. (NW corner Holly/Hwy 7- turn lane to go west onto Hwy 7) which has been caused by gravel trucks sitting and waiting to turn west (tax payers will likely pay for the repair) and we do not think that it is unreasonable for Aggregate to step up and address their past permit/damage and whether or not they honored their agreement.

4. **Length of project/mining.** No matter WHAT commitments are made up front, **there is NO easy way to solve an incomplete job/project.** It would be irresponsible to disregard the history of mining pits because history speaks VOLUMES about the truth. (I believe the state permit called for 33 years)

5. **Reclamation and end use of land:** The Platte River corridor throughout Adams County has been pock marked and scarred with endless mining. Not every community has the opportunity to have river front property or access to it. It should be valued - especially with this land sitting right outside the downtown gateway as it has access off of major roads, and an additional intersecting road.

Aggregate Industries suggests that there is not much other use for this land. Yes there is a portion that is in a flood way (unbuildable but could have community uses), **but 100 year flood plains are buildable!** I have sold both residential and multifamily homes that were built in 100 year flood plains and have seen successful commercial developments as well. (Campus? Medical facility? Sports fields/Soccer fields, etc.) They would all hold more value than an augmentation reservoir that may or may not have water in it. **HIGHEST and BEST USE** of land should always be considered.

**Please see these links** for consideration as to creative uses for Floodplains:



<https://toolkit.climate.gov/case-studies/building-smart-floodplain> (Ft. Collins, Colorado) --

<https://theconversation.com/design-for-flooding-how-cities-can-make-room-for-water-105844>

<https://www.sasaki.com/voices/getting-creative-in-the-floodplain/>

The current reclamation calls for the end use of this land to be augmentation reservoirs for the City of Aurora and augmentation reservoirs are not drinking water reservoirs. They are often half empty. Aurora has some north of 168th that are empty and their current reservoir off Tucson St. epitomizes blight.

6. **FENCE:** The fence that is being shown will be a possibility AFTER the project is completed but nobody seems able to answer what the fence will be during construction and mining. Adams County Development Standards and Regulations 3-38-066-12 (regarding gravel pit operations) requires the “prison fencing” (“V” mesh or chain link fence to a height of 72” topped with three strands of barbed wire canted to a 45 degree angle). How much this can safely be altered (if at all) is questionable. The sides of the mine (known as the high-wall) are extremely lengthy (2300 feet on the previous DRMS application) and will be nearly vertical during mining. They only become less steep (3-1) in the final reclamation.

7. **COST BENEFITS:** There are really no benefits to the City of Brighton or Adams County but in the neighborhood and city presentations, Aggregate Industries states that there could be benefits of up to a 30% savings in having a quarry less than 25 miles away. Given the number of gravel pits out in the Weld and Adams County region, (less than 25 miles away) we all should be able to get GREAT pricing because of our proximity! - But we have personally purchased tons and tons of a variety of different aggregate (including concrete) for various applications over the past several years and **pricing is and has been relatively similar across the WHOLE metropolitan area!** This would apply to Aggregate in bidding a job - giving them room for a higher or lower profit margin, (and Aggregate Industries admitted this in our private meeting with them), but I would love to see where this would EVER benefit anyone in general.

8. **The Adams County Mineral Extraction Plan** (Multiple-Sequential use of Commercial Mineral Property) states “it is the intent of the state legislature, through this statutory guideline, to make mining areas **beneficial to the community before, during and after mining.**” Aggregate's plans seem to be a revolving door so commenting on what they actually are is difficult. However, their current proposed reclamation leaves the pits to be filled as reservoirs for the City of Aurora - with no public access. The trail they reference will be outside the fence along Hwy 7 and so nothing in this plan benefits the community, the wildlife, or the City of Brighton in any fashion. In fact it successfully does the opposite by blighting Brighton’s west gateway. There are already two reservoirs straddling Tucson St. which also fail to benefit our community or the native wildlife. They are fenced, ugly, and surrounded by infinite weeds and dirt.

9. **Wildlife:** At last year’s hearings, Aggregate Industries implied that gravel pits were beneficial to the area’s wildlife and that the wildlife would grow and benefit from it. Besides removing all the surface area from any sort of wildlife use, Aggregate will also be REMOVING all the

cottonwoods that exist on their east parcel (a band that runs from the river towards Tucson St. - home to many forms of wildlife). Additionally, no bushes or trees can be planted on the perimeter due to potential damage to the slurry wall. Please go look at the two existing reservoirs off Tucson St. and see if you really think these fenced pits benefit or increase the wildlife.

**10. THIS HAS TO BE WEIGHED IN ON:**

Brighton has benefited greatly from the residential growth to the west of the city (off Hwy 7). The growth has really helped to support and build businesses/revenue, but much of this west area is in a "no man's land" (for retail or services). It leaves consumers picking between "drives" that are either east into Brighton, west towards Larkridge/I-25, or south down into Thornton. **This is important because incentive to go into Brighton could soon be diminished by Thornton's current aggressive plans for growth (even up into Weld County).**

We attended Thornton's May 26<sup>th</sup> City Council meeting and twice in a discussion on a proposed med/higher density subdivision, it was vocalized that they did NOT want consumers/homeowners going to Brighton for business!!! They want the tax dollars in THEIR community. They are approving some major development with much of it currently calling for six lane roads to flank it, (i.e. Quebec and Holly) - REGARDLESS of not having the necessary infrastructure (Hwy 7 staying two lanes!) to support it. Some of the zoning for this sort of density was approved years ago with the assumption that the RTD's FasTracks (light rail) North Station (Colorado/Hwy 7) would be complete. However, Fastracks was estimated to be another 20 years out, . . . PRIOR to COVID! There are no immediate plans from CDOT to expand Hwy 7. But this has not stopped Thornton from approving these developments without having the necessary and crucial infrastructure in place. **This will make the commute to Brighton a longer and less feasible or appealing endeavor** – and adding a visible gravel pit to the gateway will only exacerbate the negativity of this drive and further diminish the appeal of Brighton.

Please, PLEASE consider the negative aspects of this proposed gravel pit. THIS IS NOT THE RIGHT LOCATION FOR THIS SORT OF INDUSTRIAL ACTIVITY and there is so much more that can be done with this land! For the sake of so many in this community, who call this home, please care.

Respectfully submitted,

Mark Cordova and Sherie Gould-Cordova  
Downtown Brighton Business Owners - Platteview Farms Plaza  
124-128 W. Bridge St.,  
Brighton, CO 80601  
(303) 880-6788

5680 E. 165th Pl.,  
Brighton, CO 80602

October 14, 2020

To Whom It May Concern:

Re: **The Tucson South Gravel Pit Application 2020 Case Number: EXG2020-0001** -  
(additional questions, secondary comments, concerns)

Apologies if these questions were answered in the online material but I searched for these answers and was unable to find them. Some of the questions are directed to Aggregate while others may apply more to the county.

**Regarding the Conveyor:**

1. What is the approximate total length the conveyor will travel and at what speed will it travel at? (I have heard both 1.5 and 2 miles)
2. Will there be any wetting stations along the conveyor's journey?
3. What will be the gross weight on the conveyor totally loaded? Given the considerable distance, how much is this estimated to change with the addition of any sleet, snow, or rain?
4. Will there be multiple motors to power it and if so, where will all these motors be located?
5. Will the conveyor be able to start up fully loaded? (i.e. after a power failure or first thing in the morning or if sudden weather changes necessitate a pause)
6. What are the **specific** sound decibel ratings generated from this conveyor and how much do those ratings vary under ALL operational conditions? (start up, light load vs. heavy load)
7. How many feet from the De La Cruz family residence will material be dumped onto this conveyor and will that be at ground level or in a pit and how often will this location be changed?
8. What decibel, in sound ratings, will the dumping itself create? Has this been tested?
9. How many feet from the De La Cruz family residence will this conveyor belt be located?
10. What safety measures will be required to make sure animals or humans would not be injured by stepping or falling onto the conveyor, or to prevent individuals from dumping things on it as it journeys to its destination?
11. How will the conveyor be permitted in Weld County? Will it go through planning and zoning? Will the process allow for notification to neighbors and public comments? What is the process outside of Adam's County for permitting it through the DRMS?

**Regarding Slurry Walls and Trucking:**

1. The bentonite slurry walls will require material to be brought in. **How many** truck loads will be required to supply the bags of this material?
2. Will Aggregate Industries complete the wall themselves or sub-contract it?

3. When excavating for the slurry wall, what is the longest length of cavity that will ever be open at one time and will any cavity ever be open/exposed overnight?

### **Regarding Length of Project:**

1. Can Aggregate Industries clarify the specifics of **what entails completion** of this mining project? (i.e. reclamation signed off on, released from the state permit, all landscaping/fencing finished and approved, 90 day leak test passed, etc.)

2. Will Aggregate Industries be allowed to lease or transfer ownership of these reservoirs, or any parcel they own in the permit, or take payment for any work completed on them, prior to completion of the entire project in this eight year "covenant"?

**3. Can Aggregate Industries provide ANY examples of a mining project of a similar size that they HAVE ACTUALLY completed (including reclamation signed off on) in a similar amount of time?**

4. Aggregate Industries has stated that mining/reclamation operations will be completed in eight years and that they will not ask for an extension. The reason given for Aggregate Industries failure to mine in their 2004 permit was attributed to a force majeure event (change in market conditions). This one year (conveyor) and eight year mining/reclamation time frame is being touted as an "absolute." **Is there ANY force majeure event that would contractually allow for an extension of this time frame?** (i.e. weather events/natural disasters, fires, accidents, permit issues, law suits/legal issues, terrorism, wars, equipment failures/losses, supply shortages, labor issues, pandemics, etc. - **ANYTHING?**)

5. Who will test or determine if the conveyor truly is ready/fully functional within the one year time frame stated? And, in the event the conveyor is not suitable/satisfactory/completed/operational within the one year time frame promised, what consequences will exist? What will Aurora do and how will the **County proceed then - what will they do???**

7. In the event mining and or reclamation is NOT completed within the eight years, can Aggregate Industries detail what would then happen in regards to the mines OR their contractual agreement with Aurora Water?

Setting aside the fact that suitable bonding would be in place, this becomes a VERY complicated matter because the conveyor necessary to mine it is owned/possessed by Aggregate Industries and the conveyor is an integral part of the entire operation. Additionally, the backside of this permit entails the complexities of a very LARGE sum of money being paid to AI for delivering completed reservoirs to Aurora. How do you divvy up what is attributable to these profits? And if a reservoir fails to meet the 90 day water test, whose liability? Whose warranty? This would be a legal nightmare and these legal battles that tangle up these pits can go on for years. Case in point is the Walker South Reservoir just north of 168th - which I am told was completed YEARS ago (for Aurora but not by AI) and still has unresolved legal issues.

**Note:** Aggregate Industries response to my first comments on the eight year guarantee was *"...Reclamation bonds, future water storage commitments, and other financial assurances will ensure that project mining and reclamation is complete on time."*

However, Back in 2000, the City of Westminster "entered into an agreement with CAMAS (now Aggregate Industries-WCR, Inc. (AI)) for the creation of a water storage vessel near the town of Wattenberg in Weld County - which was originally scheduled to be delivered in 2008." This had a reclamation bond AND a future water storage commitment -- but somehow that didn't help them keep their commitment and they (surprise, surprise) didn't make their deadline. (Market issues and permit issues were blamed) **In fact it took them till December of 2019 to deliver out just a portion of what they agreed to!** They now have till mid 2022 to deliver out the rest (apparently that being more than what they delivered out last December, AND a revised agreement with the city spells out under what circumstances AI may open a gravel operation (other than Wattenberg), "such that the financial incentive to work elsewhere does not cause a delay at Wattenberg." (this should be looked into!)

**The whole time frame pitch is a Pandora's Box waiting to be opened and solves nothing for the community, county, etc.**

### **Regarding Ground Water or Other Issues caused by mining:**

1. Relative to the fact that ground water will likely rise even "more" at this site, (previously, the northern gravel pits caused this) how much time is given for Aggregate to respond and remedy problems caused by this issue (or any issue)? ----- Both septic and water are essential basic requirements (or even a dry basement). The last application gave Aggregate 30 days to do something if there were well issues (don't know about septic) and that time frame seems flat out wrong! These slurry walls block the natural flow of underground waterways and this is not a small area that will be affected. There is a high likelihood that some properties will be impacted - especially the De La Cruz property or the others that have very high ground water now. Homeowners/landowners shouldn't have to wait, fight, or face the financial burden of fixing it themselves or "suing" to make things right. Nor should they have to suffer these sort of consequences in the first place - as a variety of neighbors already have.

**In 2018 Aggregate was fined for a ground water mounding issue that had knowingly gone on for SEVERAL years!** - (causing flooding to a neighboring property). (The Board's investigation found **failure to comply, failure to monitor/report, failure to act,** etc.) Aggregate **knew** about it (the complaint was ongoing) but it took **several agonizing years, an investigation, AND civil penalties** to get them to step up and do the right thing.

### **Additional Comments:**

1. **Regarding visibility** - Even if portions are shielded, **this mine WILL STILL BE VISIBLE from a number of areas,** . . . including in the winter, in the dark, with ALL the lights running till 7:00pm! In fact from the top of the hill you can see across the whole valley all the way up to the Thornton Reservoir! And the portions with "living screens" will take years to adequately block views. Additionally, overburden piles, (up to 30' high per the DRMS permit), will have equipment running **on them**, both in their creation AND in the reclamation, (which Aggregate claims will be running concurrently with mining activities).

**The significance of this visibility is that it DOES AFFECT HOW FOLKS FEEL ABOUT THEIR COMMUNITY and it DOES affect its desirability (or lack thereof)** and therefore it also affects property values. I'm speaking from 35 years of being a licensed real estate agent - plus our personal commercial/retail experience in wrestling with the struggles of Downtown Brighton. Brighton doesn't need more blight and industrial activity associated with it - and you cannot adequately eliminate this LARGE negative impact.

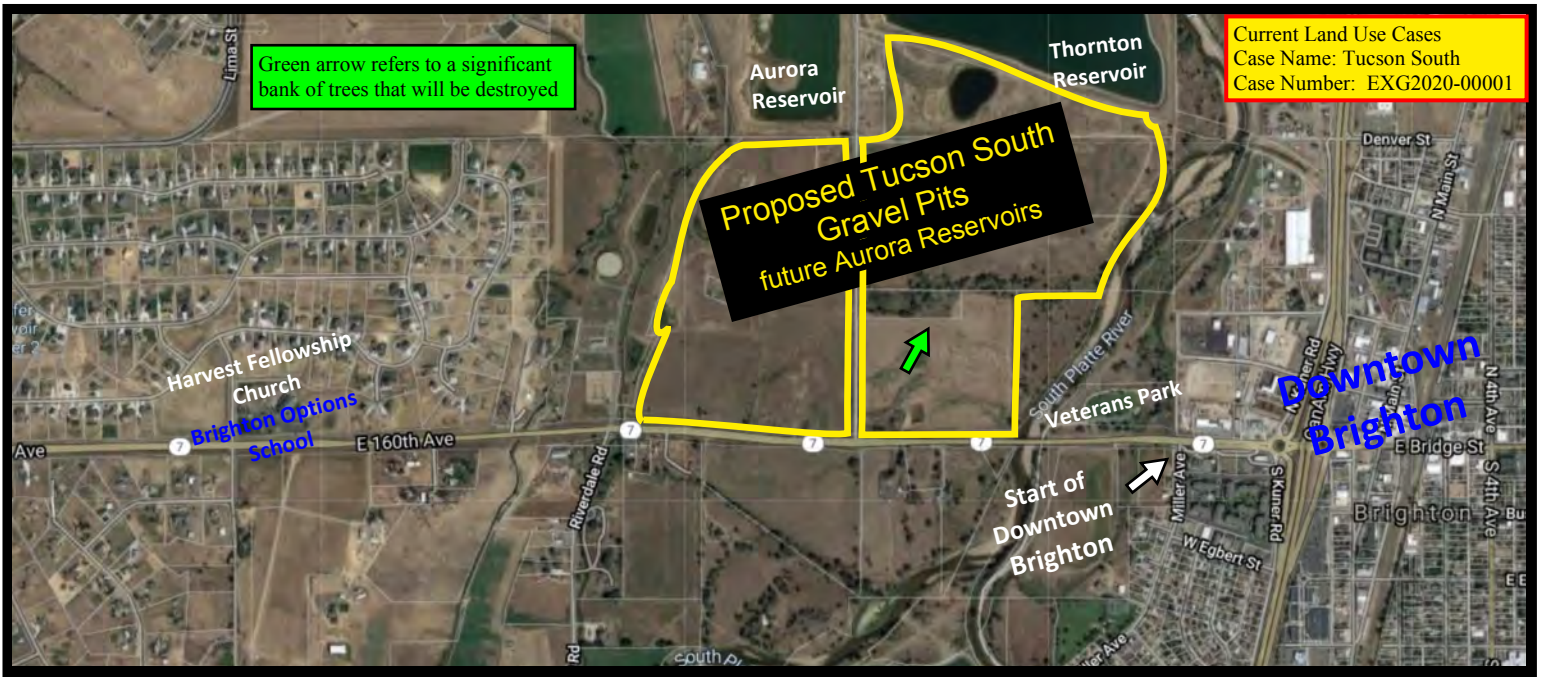
2. **Regarding Dust** - The Weld County Planner stated that dust issues were from the physical **inability** to keep the **overburden piles** wet enough (it wasn't from lack of trying). Several dust monitors cannot even begin to cover the enormous amount of the ground that will be disturbed in this application so truly what do they tell you? If Aggregate is so confident that there will not be dust would they be willing to accept fines for each 15 min period the air was OVER acceptable limits - with even MORE monitors???

3. **End use and benefit to community** - The south parcel really provides no measureable appeal/ benefit to our community. It is basically a very large treeless field with a nice view of Hwy 7. Competing with it is Veterans Park - which has much better access, paved parking, bathrooms, kiddo play amenities, nice shady areas, nature paths, excellent river access/trails, etc., etc. The money spent to make this field desirable would be MUCH better spent in other places. Regarding Aurora's reservoirs, they will rob a huge amount of acreage/ground that will permanently be lost to any benefit for the community OR wildlife. We don't even get a sidewalk out of it. The miniscule benefit of a crusher fine trail does not offset this loss. Nor does a "storage pond surrounded by floodplain-friendly fencing." Aggregate Industries missed the point of #10 in my previous comments (re: THIS HAS TO BE WEIGHED IN ON) - it was really about the things that **take away** the appeal or the desirability of a city, town, or drive/commute. Traffic from the mining was not a part of that. Brighton STRUGGLES to counter balance its challenges and it works hard to TRY to bring business and consumers in. A gravel pit at its doorstep, combined with Thornton's aggressive development (aimed at keeping business \$\$) will diminish that appeal. All this is an important consideration when you try to look down the road and assess what you have to do to stay healthy and grow a sustainable city. Planting a VERY large gravel pit outside your main downtown entrance is not one of them.

Respectfully submitted,

Mark Cordova and Sherie Gould-Cordova  
Downtown Brighton Business Owners - Platteview Farms Plaza  
124-128 W. Bridge St.,  
Brighton, CO 80601  
(303) 880-6788





**Reclamation and end use of land:** The end use of this land is just as inappropriate today, as the **industrial mining use**. Not every community has the opportunity to have river front property - or access to it. It should be valued (especially sitting right outside the downtown gateway), as it has access off of MAJOR roads, has an additional intersecting/cross road, and should serve to connect the city with the residential neighborhoods that support it.



**Platteview Farms Plaza**, (built 2006) is noted on the map with a white arrow and is just at the start of the downtown district. The Roundabout Crossing, the Pavillions, and the Kum and Go gas station are all post 2004 developments that anchor this downtown area. We and other developers have invested millions of dollars into cleaning up the downtown district and making it desirable for consumers and businesses. There is a proposed "Riverfront Project" across the street that would struggle to ever find investors with an industrial mining operation sitting across the river.



**Veterans Park** sits literally across the river from the proposed gravel mining operation. Who is drawn to a park with a gravel pit across from it? These two uses are not compatible.

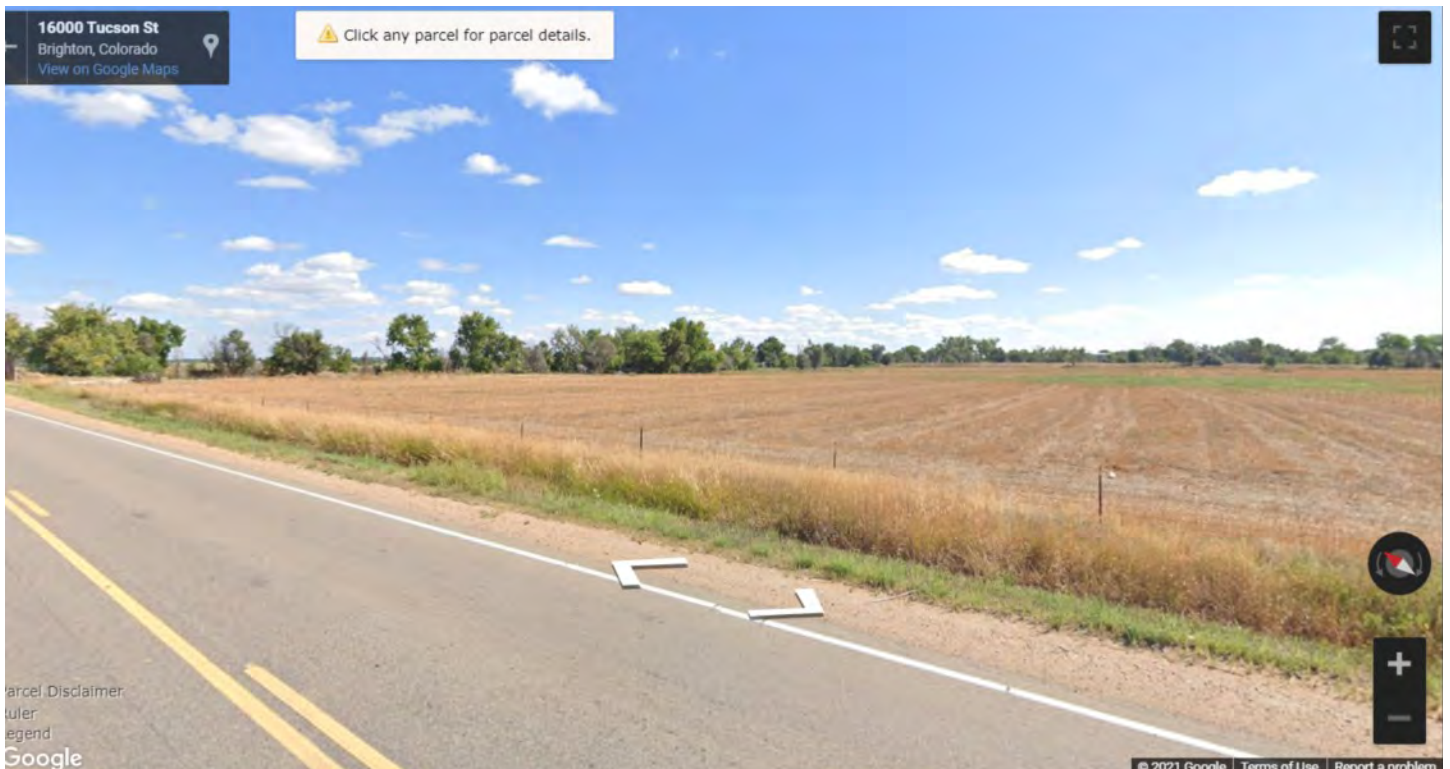






**Above is looking south (east) off Tucson St. towards the east parcel. There are a significant number of trees and wildlife habitat that will be destroyed to create one of these ugly reservoirs. (Trees noted in green on the first aerial map and the white arrow above shows these trees as well).**

Below is looking Northeast





Aside from the gravel pit use, there is the end use to consider as well.



Site lines demonstrate how much can be visible in the distance beyond 6' fencing.

Above is the Challenger Pit - (Aurora's reservoir off of Tucson St.) - just south of 168<sup>th</sup>. Aurora has additional reservoirs north of 168<sup>th</sup> that are currently NOT in use. **Augmentation Reservoirs may or may not have much water in them - if they have any.**

Below is another angle of Aurora's Challenger pit looking NW to 168<sup>th</sup> St. **The arrow points to a pickup truck for size and height reference.** These ugly "storage" reservoirs should not be occupying land off of a significant corridor that could offer so many higher uses AND benefits to both the community and the County.





**Dust** does not fly or swirl equally. Dirt devils are frequent! And little bit of moisture in the air causes the dust to adhere. **The main anchor at the Platteview Farms Plaza development, at the start of Downtown Brighton, is a Car Wash and 99% of the vehicle that leave there have varying degrees of moisture on their vehicles - which would cause ANY airborne dust to adhere!!!**

Because air dispersion is unequal, the amount of dust can be heavy in one area and non existent in another. The picture below shows some of where it was heavier or lighter. That is the problem with air monitoring - it is not a true representation. If you had had an air monitor here 200' to the north, it would not have picked up any of this significant dust.





← 13902 E 168th Ave  
Brighton, Colorado  
[View on Google Maps](#)

⚠️ Click any parcel for parcel details.

**Regarding Land Use:** Aggregate Industries has frequently claimed there is no other use of the land off Hwy 7 and Tucson St. land. This beautiful facility sits on the NW corner of 168<sup>th</sup> (County Rd 2) and Hwy 85. It was built on both floodway and flood plain. This is looking northward off of 168<sup>th</sup> St.

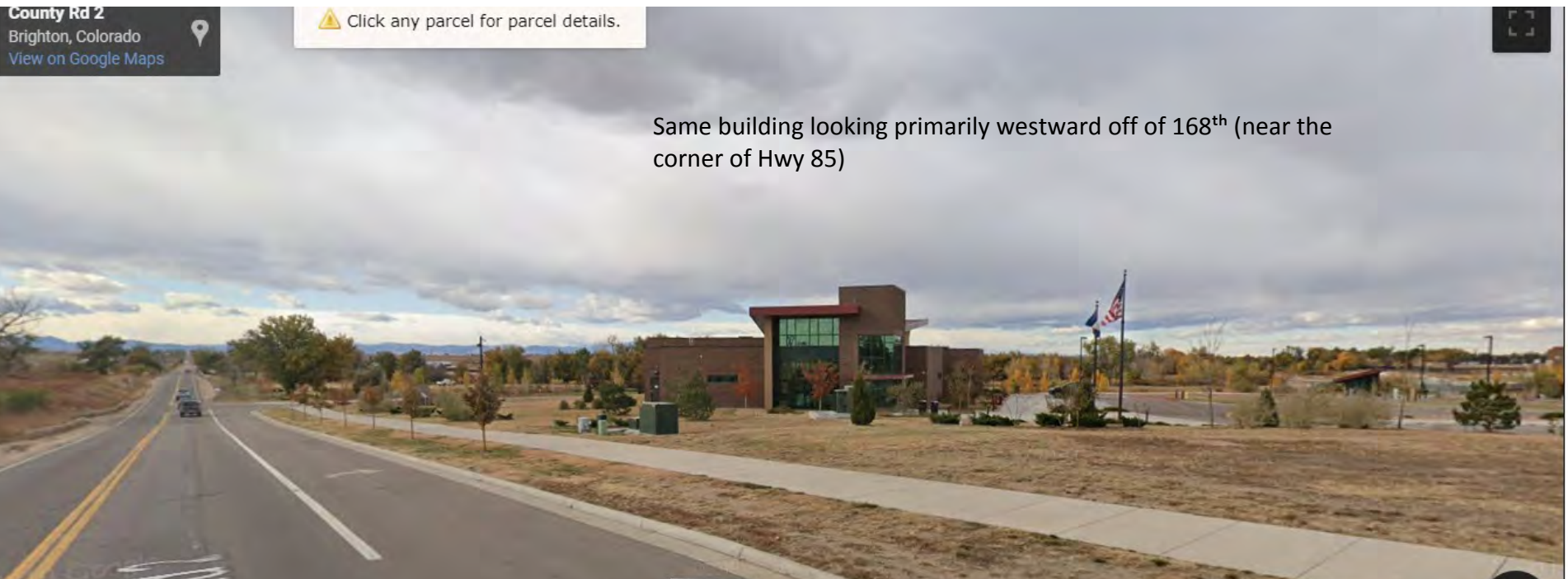
Note the bridge and creative use of land. - All beneficial to the community, and wildlife.



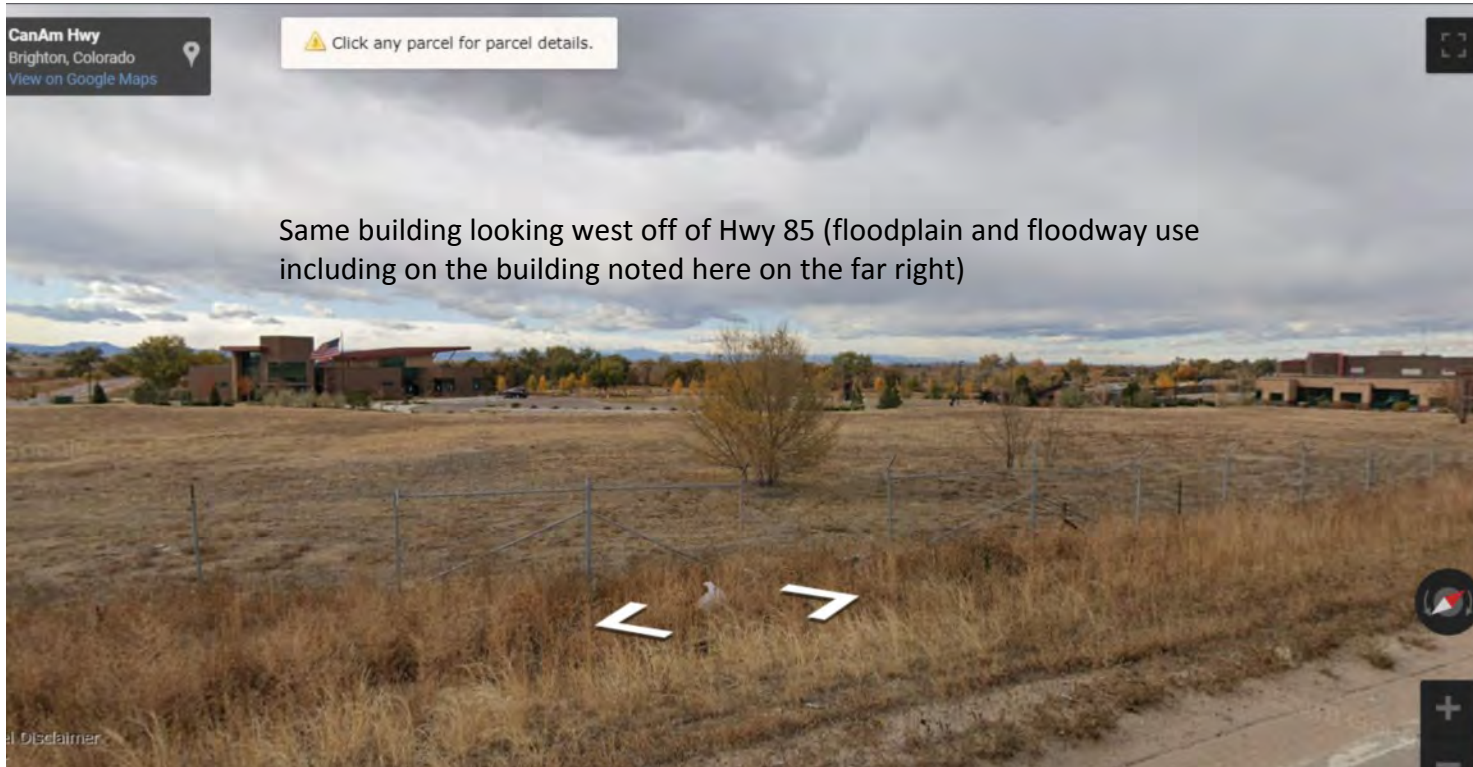
← County Rd 2  
Brighton, Colorado  
[View on Google Maps](#)

⚠️ Click any parcel for parcel details.

Same building looking primarily westward off of 168<sup>th</sup> (near the corner of Hwy 85)







Please weigh in on all of the above. The proposed land use is NOT compatible or harmonious, it would endanger future development as well as hurt existing development, and the problems it creates can not be adequately eliminated.

## Greg Barnes

---

**From:** mcsfh157@aol.com  
**Sent:** Friday, February 5, 2021 2:44 PM  
**To:** Greg Barnes  
**Subject:** Questions re: Tucson South Gravel Pit

Please be cautious: This email was sent from outside Adams County

Hello Greg,

Couple of questions for you:

Has AI shared/announced any new changes to their permit application since the last hearing? Is there a deadline for them to make or announce changes or can that happen up to or even during the hearing at a planning commissioners hearing?

During any of the hearings (2019 or now) the De La Cruz residence off of Tucson St. has never been depicted or even discussed or acknowledged.

Can it not be reflected on the map so that those who are clueless, would know that there is a home/family there? This is just not fair to them to act as though they do not exist.

During the last planning hearing, it was presented that one of the new things about AI's application was that the south parcel was now removed so there would be no truck traffic, etc. To me this is a misrepresentation because at the second BoCC hearing in 2019, at the start of the hearing, this had already been removed. They had also agreed to more decorative fencing, air monitoring and reporting, seeded berms, a crusher fine trail, 196 trees, etc. at this time. It seems very misleading to present these as changes to their application.

Also, the current conditions of approval still do not adequately protect owners in terms of septic issues, well issues, groundwater issues, or even water in basement issues, - leaving them to battle it out with AI. And this has ALL happened before. Can this not be addressed in the conditions? This is a significant amount of ground that will have the natural flow of underground water permanently affected and even the DRMS acknowledged the likelihood of groundwater mounding in areas. And then there will be other areas that will not receive the normal water or ground moisture that it would have prior.

Regarding the fact that the BoCC Commissioners have agreed to waive their statute regarding the required fencing for mining operations, where would I best address safety concerns or just concerns about unequal applications of this rule/statute? It seems if a wooden three wire fence is deemed safe, and there is no concern about the homeless/drunks, etc. that sometimes frequent that area, it should be safe for all, and the statute should be changed to reflect this and an equal application. If the floodway is the reason this is waived or not allowed, then Thornton's fence (existing in a floodway) should be changed to conform to floodway requirements.

Thanks for your input and time in these matters,

Sherie

***Sherie Gould, GRI***

*Broker Associate*

*Sterling Real Estate Group, Inc*

*303.919.1703 Cell*



## Greg Barnes

---

**From:** mcsfh157@aol.com  
**Sent:** Tuesday, February 9, 2021 12:36 PM  
**To:** Greg Barnes  
**Subject:** Re: Questions re: Tucson South Gravel Pit

Please be cautious: This email was sent from outside Adams County

Hi Greg,

See comments in red below:

### ***Sherie Gould, GRI***

*Broker Associate*

*Sterling Real Estate Group, Inc*

*303.919.1703 Cell*

-----Original Message-----

From: Greg Barnes <GJBarnes@adcogov.org>  
To: mcsfh157@aol.com <mcsfh157@aol.com>  
Sent: Tue, Feb 9, 2021 7:15 am  
Subject: RE: Questions re: Tucson South Gravel Pit

Hi Sherie,

No changes have been proposed to the application. There is no deadline for proposing changes.

I cannot speak on behalf of the DeLaCruz family. They have not submitted any public comments to my knowledge. I can specifically identify the location of a residence along Tucson Street, if you that would make you feel better. **Please do, absolutely!** This will destroy their property value and their quality of life. Mark met the wife and she said her husband has been working out of town and that they are scared and that AI has been bringing them gifts.

My question below re: **conditions of approval** not protecting individuals is because I have heard "fear of retaliation" from multiple neighbors. An example being if they complained or filed a complaint about something that AI did, that AI would intentionally delay their response in addressing pertinent issues (i.e. well issues: dragging it out 30 days, costing lost crops or it would get fixed temporarily to then start another 30 cycle)

The removal of the south parcel is a change from their original application, as submitted. It is important to note that, so that the Commissioners and public understand that the parcel is not included in this application. **While I understand "technicalities," I think it is more important that the Planning Commissioners understand what had been on the table for consideration (where things stood in 2019) when the BoCC made their decision. Taken now at face value, one would assume that these details and concessions are all new - and AI has repeatedly pushed this perception in all their presentations to sell the idea that they have made significant sacrifices and changes in their "new plan." Yes, please pass this along.**

Would you like my to pass along those additional comments to the Planning Commission?



### **Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**My work schedule is:**

Monday – Alternating weeks of 7 am – 3:30 pm and off  
Tuesday – Friday – 7 am – 4:30 pm

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**From:** mcsfh157@aol.com <mcsfh157@aol.com>  
**Sent:** Friday, February 5, 2021 2:44 PM  
**To:** Greg Barnes <GJBarnes@adcogov.org>  
**Subject:** Questions re: Tucson South Gravel Pit

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Please be cautious: This email was sent from outside Adams County

Hello Greg,

Couple of questions for you:

Has AI shared/announced any new changes to their permit application since the last hearing? Is there a deadline for them to make or announce changes or can that happen up to or even during the hearing at a planning commissioners hearing?

During any of the hearings (2019 or now) the De La Cruz residence off of Tucson St. has never been depicted or even discussed or acknowledged.

Can it not be reflected on the map so that those who are clueless, would know that there is a home/family there? This is just not fair to them to act as though they do not exist.

During the last planning hearing, it was presented that one of the new things about AI's application was that the south parcel was now removed so there would be no truck traffic, etc. To me this is a misrepresentation because at the second BoCC hearing in 2019, at the start of the hearing, this had already been removed. They had also agreed to more decorative fencing, air monitoring and reporting, seeded berms, a crusher fine trail, 196 trees, etc. at this time. It seems very misleading to present these as changes to their application.

Also, the current conditions of approval still do not adequately protect owners in terms of septic issues, well issues, groundwater issues, or even water in basement issues, - leaving them to battle it out with AI. And this has ALL happened before. Can this not be addressed in the conditions? This is a significant amount of ground that will have the natural flow of underground water permanently affected and even the DRMS acknowledged the likelihood of groundwater mounding in areas. And then there will be other areas that will not receive the normal water or ground moisture that it would have prior.

Regarding the fact that the BoCC Commissioners have agreed to waive their statute regarding the required fencing for mining operations, where would I best address safety concerns or just concerns about unequal applications of this rule/statute? It seems if a wooden three wire fence is deemed safe, and there is no concern about the homeless/drunks, etc. that sometimes frequent that area, it should be safe for all, and the statute should be changed to reflect this and an equal application. If the floodway is the reason this is waived or not allowed, then Thornton's fence (existing in a floodway) should be changed to conform to floodway requirements.

Thanks for your input and time in these matters,

Sherie

*Sherie Gould, GRI*  
Broker Associate  
Sterling Real Estate Group, Inc  
303.919.1703 Cell

## Greg Barnes

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**From:** mcsfh157@aol.com  
**Sent:** Wednesday, February 10, 2021 11:14 AM  
**To:** Greg Barnes  
**Subject:** Tuscon South Gravel Pit question

Please be cautious: This email was sent from outside Adams County

Hello Greg,

Couple more questions for you:

1. I had specifically asked AI how many semi truck loads it would take to bring in the bentonite necessary for creating the slurry walls but they chose not to answer. My recall is that per the DRMS permit these walls will average 32' deep and per one of the DRMS staff members, 3' is a good average width for calculations. There will be a couple of miles of wall that will need to be created and while I realize that the slurry wall is a mixed ratio, there is still a significant amount of trucking that will need to occur to bring in this material.

Per the County Permit, Aurora's Tract K, up on the hill, was where they had planned to stage all this material. If they reach this area by crossing land off Tucson St. they will have to bridge over two ditches. So will this be brought in off of Hwy 7 on Aurora's entrance??? Was this ever addressed in the permit? Trucks pulling out onto Hwy 7 could be extremely dangerous. (My recall is that per the permit, slurry wall building was estimated to be at least a six month project.)

2. Also, regarding this permit, how is the building of a slurry wall defined? Is it legally being defined or categorized as an act of mining? We have been told that AI will not be able to start mining until the conveyor is finished and operational. (assuming operational?) Could you please clarify what the county is considering slurry wall building to be and whether that has been directly addressed in this permit? (re: when they can begin that portion?).

Per Aurora, Aurora has an agreement to purchase/take ownership upon completion of the slurry walls and if that occurs prior to completion of the conveyor, it would greatly complicate matters regarding the use of this land.

Also, for the record, I reverified with the DRMS, any part of the conveyor not in an existing mining permit would need to be permitted through the DRMS.

Thank you for your help in these matters,

Sherie

***Sherie Gould, GRI***

*Broker Associate*

*Sterling Real Estate Group, Inc*

*303.919.1703 Cell*

February 10, 2021

**Re: Tucson South Gravel Pits  
EXG2020-00001**

Dear Planning Commissioners,

The decision you make on the Tucson South Gravel Pits may have years of ramifications. Our development, **Platteview Farms Plaza sits roughly 1300' to the east of it** and we have given years of sacrifice, and hard work, battling to make it a success and to help build up the appeal and desirability of the downtown area. There have been a lot of hard years and three minutes of speaking is not adequate to share some of the information we think you should know before you make your decision.

**Comparisons between the 2019 permit and the EXG2020 permit:**

You may hear how much this application has changed but please know that by the second BoCC hearing in 2019, the south parcel had ALREADY been removed and Aggregate Industries had committed to air monitoring and reporting, a more decorative fence, seeded berms, 196 trees, a gravel (crusher fine) trail, etc. From the beginning, this whole permit was presented as ONLY using trucking until the conveyor was built (estimated 1-1.5 yrs). However, it sounds more sacrificial and impressive if you present it as being 180 degrees different and have a lot of experts speak and then show impressive (but NOT realistic) oversized landscape drawings that will magically shield this UGLY industrial mining activity. (see attached 2019 BoCC Hearing Photos)

**Examination of the eight (8) year Mining Promise**

Aggregate has repeatedly promised an eight year mining time (not counting one year + six month possible extension for building the conveyor) - claiming they will just walk away if not finished. (Which in itself isn't even legally possible). When asked HOW they can guarantee this, Aggregate's response was *"...Reclamation bonds, future water storage commitments, and other financial assurances will ensure that project mining and reclamation is complete on time."* When asked for references of ANY similar size project that they have completed in a similar time frame they avoided answering.

So it is important to know that back in 2000 the City of Westminster *"entered into an agreement with CAMAS (now Aggregate Industries-WCR, Inc. (AI) for the creation of a water storage vessel near the town of Wattenberg in Weld county - which was originally scheduled to be delivered in 2008."* (side note: their Weld County Plant and all their land up there still shows CAMAS as 79.99% owner and Denver Aggregate as 20.01% owner and if you didn't know, LafargeHolcim owns AI). Their Westminster agreement had reclamation bonds, future water storage commitments, financial penalties, PLUS existed with CONCURRENT RECLAMATION and a conveyor, yet they are still NOT done. They could promise anything but really, who would be here roughly a decade from now to call them out on it? (see attached Westminster docs)

Additionally, they are in the process of filing a new permit with the Division of Reclamation, Mining, and Safety (DRMS) to help finish this commitment (Baurer Pit). HOWEVER, it is currently on hold pending a couple of missing items - one being that they missed listing a subsurface owner (50% per county records) in the application. Nearly 60 days out this has still not been resolved and they had to ask for an extension.

### **Reclamation in the real mining world:**

Aggregate Industries mined the Tucson North site for Thornton. It sits on the east side of Tucson St. just north of the Tucson South site. In that permit there was a parcel (south of the slurry walled reservoir) known as Expansion No. I (Phase III). **Reclamation on it called for a minimum of 25 cottonwood seedling trees and 50 willow root stock planted around the wetland area PLUS herbaceous plants, large & small shrubs and wetland grasses.** This parcel slid by reclamation because AI merely shifted it to the Tucson South application (it is now known as parcel M) to be reclaimed as an "upland meadow" by whatever year this project might be completed (if they get that far - but nobody polices this stuff).

Coincidentally AI provided a picture of this parcel as the cover of their 2020 application and it highlights the LOVELY overgrown NOXIOUS thistle weeds that grace this parcel - while exemplifying their disregard of state and county rules about noxious weeds, OR respectful land stewardship. Industry insiders say there is no money in reclamation and because the DRMS gives five years after mining is complete to reclaim (and pushing some dirt around constitutes mining) you can move it out indefinitely - because state permits do not expire. AI has still not finished reclaiming the Brighton Mine which was started in 1978.

### **The truth about wind and dust:**

In the 2019 hearings AI admitted dust was an issue and additionally, Weld County, (planner Kim Ogle), stated that dust was/is an issue. According to Kim, it is relative to the types of wind we have up here in this territory and he stated that it is physically IMPOSSIBLE to keep that much exposed surface wet (especially the extensive overburden piles), BUT that it is NOT for lack of trying. The DRMS refers to it as wind erosion. The air monitor solution (2 monitors) cannot remotely begin account for the dust that could migrate from all the various places on this vast site. **And air never disperses uniformly.** THERE WILL BE DUST ISSUES!

Back in 2014 we were actually accused of painting Todd Creek Village Parks & Recreation District's white vinyl fence (behind our property) BROWN because a broad swath/band of dust came across our property (and others beyond) adhering to solid surfaces where moisture had been. (see attached photos) This was an extensive amount of dust BUT **if had you gone a couple hundred feet to the north OR south, with an air monitor, the air "quality" would have been fine!** Moisture has a phenomenal ability to attract or hold dust. **The anchor business in our development is a CARWASH** and 98% of EVERY car that leaves there has some degree of moisture on it! You can't force air to behave and **it takes ONLY 9 miles an hour to start moving dirt particles.**

<https://science.howstuffworks.com/nature/climate-weather/storms/dust-storm2.htm>

Please look past the presentation fluff of this application. In the end it will just be two VERY large and ugly gravel pits that will sit here for years. As residents who have put our heart and soul, sweat and tears, into building our business, . . . and TRYING to make Brighton a more desirable and appealing place for EVERYONE to be, we are asking you to say no to this application. It is detrimental, it is NOT harmonious, and it is not compatible. AND, . . . there are no shortages of ACTIVE gravel pits in Weld County (over 60 per DRMS)!

Thank you for your time and your consideration,

Mark Cordova & Sherie Gould-Cordova  
(Business owners and residents)  
Platteview Farms Plaza Retail Center  
124-128 W. Bridge St.  
Brighton, CO 80601

Please find attached: Tucson South Notes and Pictures, Westminster City Council Review of (8 yr) AI Agreement and Highlights from Westminster Closing Agreement



# Slide snapshots from the 2nd 2019 Tucson South BoCC Hearing

### TUCSON SOUTH MINE BOARD OF COUNTY COMMISSIONERS FOLLOW UP CONSIDERATIONS

Thank you Adams County Community and Economic Development Staff

Status Update:

- Permit Boundary
- Permit Phasing and Material Transport
- Air Quality Control and Monitoring
- City of Aurora Fencing Commitment
- CDOT
- Wildlife



PARCEL SOUTH OF HWY 7 REMOVED FROM THE PERMIT

AGGREGATE

40:38 / 3:52:39

Hearings - October 29, 2019

### AIR QUALITY CONTROL & MONITORING

- CDPHE Air Pollution Emission Notice (APEN) and required controls – water and treat on site roads
- Wet Material
- Seeded Topsoil Stockpiles
- Tracking Pad and Water Process Street Sweeping 3 Times per day
- On site Air Quality Monitoring Station – share data with County.

AGGREGATE

42:22 / 3:52:39


Hearings - October 29, 2019

Random slides from the 2<sup>nd</sup> BoCC Hearing in 2019. On the Nov. 19<sup>th</sup> (3<sup>rd</sup> hearing) the BoCC unanimously turned the application down. For those of us who followed/participated in the hearings, there is NOT a lot that has changed in this new application - except for starting the process with a conveyor and watering the landscaping.

### WILDLIFE

- Complete Biological Resource Inventory prepared and submitted to Adams County and the State of Colorado for review. Report Conclusion:

"Overall wildlife and vegetation habitat are expected to improve compared to the habitat that currently exists. Available food for both herbivores and carnivores is expected to increase when the Project is completed because wildlife habitat and vegetation habitat is expected to improve."

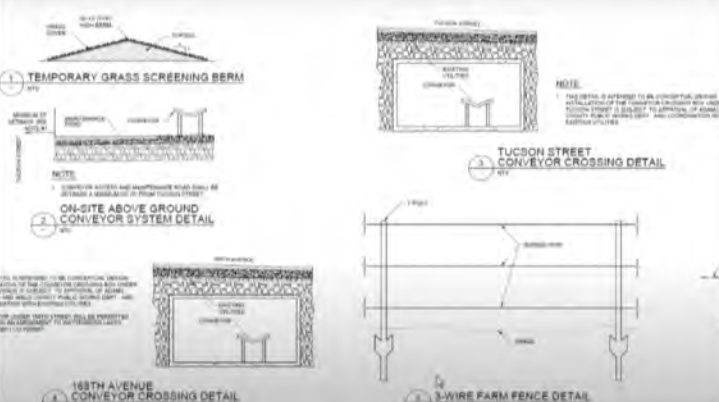


- Additional Conditions Precedent and Conditions of approval as recommended by Staff.

AGGREGATE

46:25 / 3:52:39

Hearings - October 29, 2019



TEMPORARY GRASS SCREENING BERM

ON-SITE ABOVE GROUND CONVEYOR SYSTEM DETAIL

168TH AVENUE CONVEYOR CROSSING DETAIL

TUCSON STREET CONVEYOR CROSSING DETAIL

3-WIRE FARM FENCE DETAIL

AGGREGATE

48:08 / 3:52:39

Had to include the wildlife slide because it was laughable and so far from the truth. This permit will allow the destruction of endless acres of habitat including a very large/mature grove of cottonwoods that runs from the Platte to nearly Tucson St.



### TREE TABLE

| COMMON NAME         | BOTANICAL NAME    | PLANTING SIZE | QUANTITY |
|---------------------|-------------------|---------------|----------|
| PLAINS COTTONWOOD   | POPULUS DELTOIDES | 10 GALLON     | 36       |
| AMERICAN PLUM       | PRUNUS AMERICANA  | 1 GALLON      | 40       |
| CHOKE CHERRY        | PRUNUS VIRGINIANA | 1 GALLON      | 40       |
| WESTERN SAND CHERRY | PRUNUS BESSEYI    | 1 GALLON      | 40       |
| COYOTE WILLOW       | SALIX ELIXIA      | 10 GALLON     | 40       |

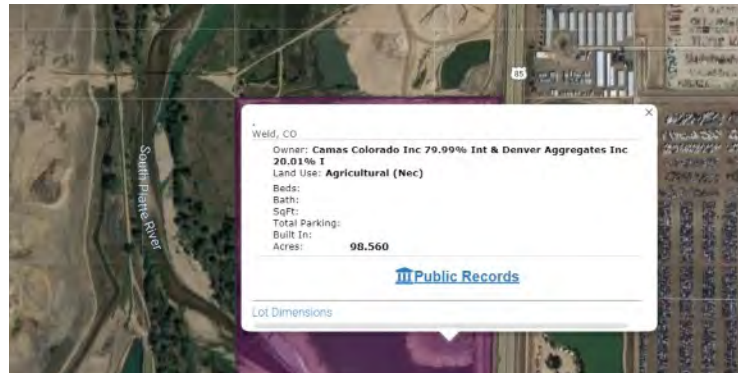
AGGREGATE

Hard to see but above was a cross section of the trail and plantings and a VERY unrealistic picture of a completed project. Drive up Tucson St. to see the ugly reservoirs, dirt, weeds and erosion that grace these augmentation reservoirs (which may or may not have water in them). Just north of 168th, Aurora has the Kirby/Dersham reservoirs (sitting empty) and the Walker North and South (maybe 1/3 full). ALL UGLY and graced with weeds!



Regarding the 8 year Westminster agreement -  
(See pdf of 2009 Westminster City Council Meeting for reference to Camas/AI)

ALL of AI's parcels including and surrounding their plant still show the ownership being Camas/Denver Aggregate.



Tract M was mined with the Tucson North parcel and never reclaimed but was instead shifted over to the Tucson South permit.

Never mentioned is the De La Cruz family who lives on the rectangular tract west of Tract M. Their lives and the value of their property will be destroyed if mining is allowed.

Tract K (sits visibly on the hill) will be used for the staging of the slurry wall construction. There will be a couple of miles of slurry wall averaging 32' deep and 3' wide (per DRMS) which will require a significant amount of trucks for delivery of all the bentonite clay. If these trucks are entering/exiting off the road on Hwy 7, that will be very dangerous.



Microsoft Word - EXG2020-00001 Tucson South PC Staff Report v 3.doc 20 / 376 100%

## AGGREGATE INDUSTRIES – WCR, INC TUCSON SOUTH RESOURCE CONDITIONAL USE PERMIT APPLICATION PROJECT DESCRIPTION

Tract M slipped by reclamation  
See pdf

Nice Thistle!

JULY 30, 2020



Perfect example of how dust out here does not disperse equally leaving dust monitoring VERY pointless.

5/13/14  
MTG

**SPENCER FANE**  
BRITT & BROWNE LLP  
Attorneys & Counselors at Law

PHILIP M. QUATROCHI  
DIRECT DIAL: (303) 839-3833  
pquatrochi@spencerfane.com

File No.

April 15, 2014

Mark C. Cordova & Sherie F. Angould

[REDACTED]  
Brighton, CO 80602-6060

**Re: Todd Creek Village Park and Recreation District Fence**

Dear Mr. Cordova & Ms. Angould:

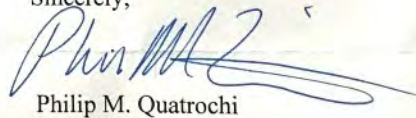
This firm represents the Todd Creek Village Park and Recreation District (the "District").

We have been informed that you have applied brown spray paint to the District's white vinyl fence that borders the western edge of your lot. This fence is owned by the District, is not your property and must be immediately returned to its original white color.

Therefore, this letter is to inform you that you must have the spray paint removed and the fence returned to its original color within seven (7) days of the date of this letter. Failure to timely return the District's fence to its original condition will force the District to do so and, in such event, the District will seek payment from you for the expense of repair and/or replacement if necessary.

Please feel free to contact me directly with any questions.

Sincerely,



Philip M. Quatrochi

PMQ/  
cc: Josh Schultz

**SPENCER FANE**  
BRITT & BROWNE LLP  
Attorneys & Counselors at Law  
1700 Lincoln Street, Suite 2000  
Denver, CO 80203-4554



To be served this ridiculous letter was a bit irritating and incredulous all at the same time. While the difference of where the dust/dirt was, and was not, obviously contributed to their conclusion, one would have hoped they would have investigated first. However, this serves as an awesome illustration of how much disparity can exist in the patterns of wind and what it can carry/disperse. **SEE PICS NEXT PAGE**

Mark C. Cordova & Sherie F. Angould  
[REDACTED]  
Brighton, CO 80602-6060



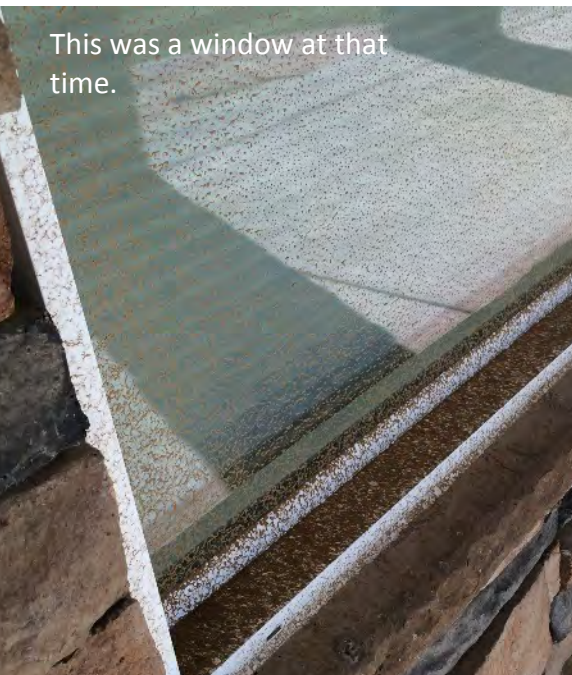
Todd Creek Fence Incident - taken a day or so after it happened. To the left you can see where the dust faded out. The swath was about 200' some feet wide sticking to where there was moisture.



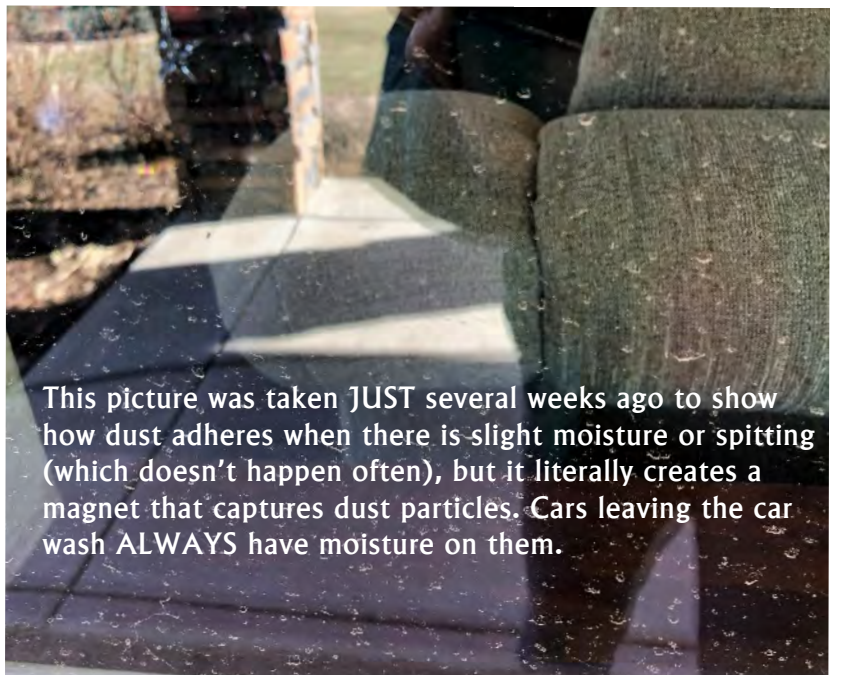
This was about a week or more out and the dust had started to wear off in areas. The majority of our winds tend to come from the west.



This was a window at that time.



This picture was taken JUST several weeks ago to show how dust adheres when there is slight moisture or spitting (which doesn't happen often), but it literally creates a magnet that captures dust particles. Cars leaving the car wash ALWAYS have moisture on them.

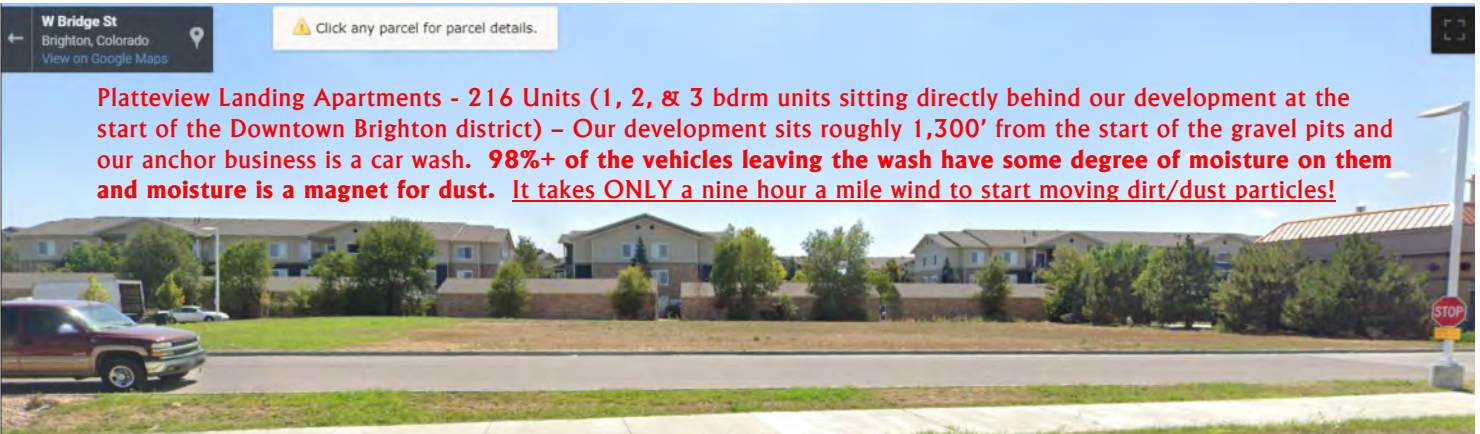




Below is Veterans Park - sitting diagonally from our development



Start of the Gravel Pits



Platteview Landing Apartments - 216 Units (1, 2, & 3 bdrm units sitting directly behind our development at the start of the Downtown Brighton district) – Our development sits roughly 1,300' from the start of the gravel pits and our anchor business is a car wash. **98%+ of the vehicles leaving the wash have some degree of moisture on them and moisture is a magnet for dust. It takes ONLY a nine hour a mile wind to start moving dirt/dust particles!**

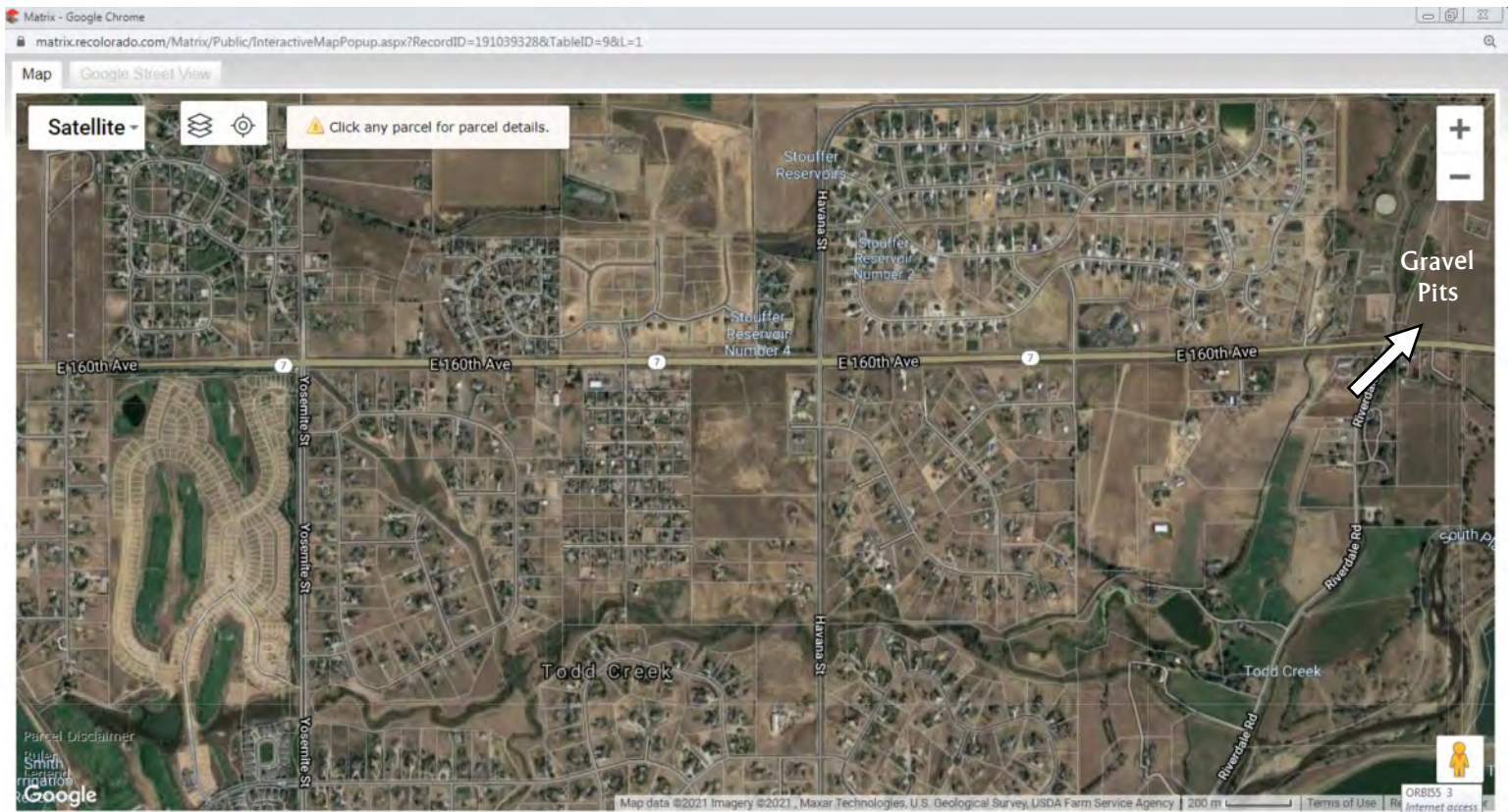




**Please consider a bigger picture:** Below is the area immediately west of the proposed gravel pits. It is easy to stand in the middle of the 283.2 acres involved in this permit and say it is compatible with itself, but how compatible and harmonious is a gravel mining operation when you look at the bigger picture?

Back in 2004 when AI originally permitted this pit, there would have been very few folks or businesses or even a park that this would have adversely affected. But this area has changed now and it is NOT compatible or harmonious and it will be detrimental to the area/businesses and to the future development in the area.

This is our community! Our homes! And our businesses! AND People ARE very affected by what they see and experience and there is NO WAY to block the valley view as you come down Highway 7 (or for that matter in a number of other areas!), OR eliminate the dust issues, OR guarantee a time frame - even a shorter time frame would be enormously detrimental to this area. Please care about this community and say NO!!



1.2 Election Amounts and Completion.

1.2.1 Storage Amounts.

AI and the City currently anticipate that a range of storage capacities between 4,000 acre feet and 7,000 acre feet may be produced at the Property. AI agrees to complete a minimum of 4,000 acre feet of storage at the Property. Subject to the terms of this Agreement, the City agrees to purchase all storage created at the Property up to a maximum of 7,000 acre feet of storage, ~~with an option to purchase any additional storage created above 7,000 acre feet.~~ Any such storage shall be lined below-grade storage as contemplated by this Agreement. AI will not construct above-grade storage, or storage involving a jurisdictional dam, at the Property without prior mutual written agreement of the Parties. In addition, the Parties may mutually agree by separate written agreement to revise the boundaries of the Property as described in Exhibit A.

1.2.2 Timing.

(1) AI agrees to complete ~~4,000~~ a minimum of 2,800 acre feet of storage by ~~May 15, 2008~~ December 31, 2017 and a cumulative total of no less than 4,000 acre feet of storage by June 30, 2020. The City agrees to accept conveyance of this storage capacity and pay for it pursuant to this Agreement. ~~If AI intends to complete more than 4,000 acre feet at the site by May 15, 2008, and if AI provides the notice required in paragraph 2.3, the City agrees to accept conveyance of this additional storage up to a maximum of 7,000 acre feet and pay for it pursuant to this Agreement.~~ The delivery dates set forth above may be extended based on market conditions; namely if AI's, and its subsidiary entities', production of sand and gravel materials in the Denver Area Market is less than a total of 1.8 million tons over the prior 12 months or upon mutual agreement. The "Denver Area Market" is defined as the counties of Denver, Arapahoe, Jefferson, Adams, Broomfield and that portion of Weld County south of Highway 52 and east of I-25. AI and the City will meet in July and January of each year for an update on AI's production of sand and gravel materials from the Denver Area Market during the prior 6 month period and to confirm status of the milestones set forth in the subsequent paragraph. In order to avail themselves of an extension of the delivery dates set forth above, AI has the burden of demonstrating that AI's, and its subsidiary entities',

meetings, within the limits of Colorado law. Regardless of market conditions in the Denver Area Market and any extensions of the delivery dates provided pursuant to this paragraph due to such market conditions, delivery of the 2,800 acre foot (or greater) cell

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must occur no later than December 31, 2019. Regardless of market conditions in the Denver Area Market and any extensions of the delivery dates provided pursuant to this paragraph due to such market conditions, delivery of the cumulative total of 4,000 acre feet (or greater) of storage must occur no later than June 30, 2022.

In addition, the following milestones are independent of market conditions and will be accomplished on the following schedule. AI agrees it will commence final design work on the slurry wall for the 2,800 acre foot (or greater) cell of lined storage reservoir contemplated in the Storage Facility Agreement by April 15, 2010 and



1.2. Closing. The Parties agree that due to delays in final construction of the reservoir cell, a final survey of the actual storage amount delivered by AI to Westminster at the First Delivery will not be completed and reviewed prior to the end of 2019 as required under provisions of Article 2 of the Storage Facility Agreement, nor will a final survey (or legal description prepared by a professional surveyor) of the Released Property as described in paragraph 3.2, below, be completed by the end of 2019. Despite these facts, the Parties are willing to go forward with closing in phases. As an inducement to Westminster's willingness to have an initial closing in 2019, AI agrees to issue a credit to Westminster in the amount of \$300,000. This will amount to a reduction in the overall purchase price paid by Westminster to AI. To the extent all other preconditions are satisfied, Initial Closing for the First Delivery shall occur on December 30, 2019, or a subsequent date mutually agreed to by the Parties (the "Initial Closing"). At the Initial Closing, Westminster will pay AI for a total of 2,100 acre feet of storage, less the 2.5% retainage for the Slurry Wall Warranty Period, and less the 2.5% retainage for the 18-Month Warranty Period, minus a \$300,000 credit in favor of Westminster. This amounts to a payment of \$4,687,500.00 at the Initial Closing, exclusive of closing fees and settlements. The conditions precedent to the Initial Closing shall expressly include AI providing to Westminster a certification from the State Engineer's Office that the First Delivery complies with the State Engineer's Guidelines for Lining Criteria for Gravel Pits. AI shall also provide a certification from Tetra Tech engineers that all of the requirements set forth in Exhibit B to the Storage Facility Agreement have been completed for the First Delivery in substantial compliance with the specifications contained therein. Both of these certifications must be provided by AI to Westminster on or before 12:00 p.m. (Mountain Time) on December 24, 2019, as a condition precedent to moving forward with the Initial Closing. At Westminster's sole discretion, failure to provide these certifications by the December 24, 2019, 12:00 p.m. deadline shall result in a postponement of the Initial Closing to January or February 2020. To the extent the Initial Closing occurs in December of 2019, a Final First Delivery Closing will occur at a mutually agreeable date on or before February 24, 2020. At the Final First Delivery Closing, Westminster shall pay to AI for storage amounts associated with the First Delivery over and above 2,100 acre feet based on the results of the Final Survey. In addition, Westminster will convey and AI will

|                                                |      | Debit           | Credit        |
|------------------------------------------------|------|-----------------|---------------|
| Storage                                        | 2100 | \$ 5,250,000.00 |               |
| Offered Discount                               |      |                 | \$ 300,000.00 |
| 2.5% Retainage for Slurry Wall Warranty Period |      |                 | \$ 131,250.00 |
| 2.5% Retainage for 18-Month Warranty Period    |      |                 | \$ 131,250.00 |
| Title Company Fee                              |      |                 |               |
|                                                |      | \$ 5,250,000.00 | \$ 562,500.00 |
|                                                |      |                 |               |
| Total                                          |      | \$ 4,687,500.00 |               |

For your information, the parties representatives and their contact information are as follows:

City of Westminster  
 Kristin Decker from the City Attorney's Office  
 Max Kirschbaum, Sarah Borgers and Megan Orloff from the City's Public Works Department  
 Lee H. Johnson and Katrina Fiscella -- Westminster's outside water counsel

Aggregate Industries (AI)

John Conlin from Aggregate Industries -- WCR in Golden  
 Mark Miller from Aggregate Industries parent office in Texas  
 Michelle L. Berger -- outside counsel for AI





# WESTMINSTER

## Staff Report

City Council Study Session  
October 19, 2009



**SUBJECT:** Revised and Amended Storage Facility Agreement and Water Lease Agreements with Aggregate Industries

**PREPARED BY:** Josh Nims, Water Resources Engineering Coordinator  
Mary Jay Vestal, Water Resources Engineer

### Recommended City Council Action

Concur with Staff's recommendation to revise and amend the storage facility agreement and consumable water lease agreements associated with the Wattenberg Gravel Lakes Project and bring this item back for official City Council action at the next regularly scheduled Council Meeting.

### Summary Statement

- The City entered into an agreement with CAMAS (now Aggregate Industries-WCR, Inc. (AI)) in 2000 for the creation of a water storage vessel near the town of Wattenberg in Weld County, which was originally scheduled to be delivered in 2008.
- The delivery date set forth in the original agreement was unattainable due to permitting delays and a slowed aggregate market.
- Fortunately, the City does not need the storage immediately due to a slow down in the rate of development in the City; however, this project is a vital part of the City's Comprehensive Water Supply Plan.
- City Staff and AI have negotiated a revised and amended storage facility agreement to revitalize the project.
- Along with this revision, two temporary water leases have been renegotiated for AI's mining needs.
- Staff will explain the terms of the new agreements in greater detail at the Study Session and would like to then bring them before Council for approval.

**Expenditure Required:** \$ 0

**Source of Funds:** N/A

## **Policy Issues**

Should Staff return to Council to approve a revised and amended storage facility agreement, a consumable water lease agreement, and a water share lease agreement with Aggregate Industries-WCR, Inc. (AI) in order to move forward with developing water storage on the lower South Platte?

## **Alternative**

City Council could direct Staff not to return to Council to approve these agreements. This is not recommended as approval of all three agreements is vital to developing water storage needed for growth to build-out.

## **Background Information**

The City produces effluent at Big Dry Creek and Metro Wastewater Treatment Facilities in higher quantities than its required return flows to the South Platte River. The majority of the excess is produced in the winter months, as historic returns are generally owed in the late summer; and the City's reclaimed water system draws effluent during the summer irrigation season. The ultimate capacity of the reclaimed water system is limited by the amount of available effluent. With storage on the lower South Platte, the City could capture excess effluent during the winter and store it to pay returns during the summer. This would free up summer effluent allowing an increase in the capacity of the reclaimed water system, as well as exchanges to deliver additional water to Standley Lake.

Alluvium in the vicinity of the lower South Platte happens to be one of the larger aggregate deposits in the region. It is common for aggregate companies to mine properties adjacent to the river and line the created depressions for water storage vessels, which they may then sell to water enterprises. The City entered into an agreement with CAMAS (now Aggregate Industries-WCR, Inc. (AI)) in 2000 for the creation of such a vessel near the town of Wattenberg in Weld County. The facility is to have a capacity of between 4,000 acre-feet (AF) and 7,000 AF, of which 1,200 AF was purchased by South Adams County Water and Sanitation District. The City's portion of the storage will provide between 1,350 AF and 2,800 AF of firm yield to its water supply.

Due to permitting delays and a slowed aggregate market, the delivery date set forth in the original agreement was unattainable. In order to move forward with the transaction for both parties' benefit, AI and the City have negotiated a revised and amended agreement outlining a new time frame for delivery of storage, with specific project milestones.

In this revised and amended storage facility agreement, the original purchase price is retained, along with a penalty of 1% price drop for storage per month of delay, but dates have been adjusted so as to forgive delays up to this point. Active mining of the property will begin no later than the end of 2012. AI has agreed to complete 2,800 AF of storage by the end of 2017 and at least 4,000 AF by mid-2020. These dates may be extended in six-month increments if AI demonstrates a lack of market for their products as outlined in the revised agreement. Also, the revised agreement spells out under what circumstances AI may open a gravel operation other than Wattenberg, such that the financial incentive to work elsewhere does not cause a delay at Wattenberg. The City and AI will meet bi-annually during the mining process, and the City will be allowed to review the company's books. The City will have legal remedies at their disposal should AI fail to meet the terms of this revised Agreement. Regardless of any extensions allowed under the new terms, 2,800 AF of storage must be delivered by the end of 2019 and 4,000 AF by mid-2022, which will still meet the City's water resource needs. It is possible that storage will be delivered as early as 2014 if the aggregate market rebounds.

Subject: Revised and Amended Storage Facility Agreement and Water Lease Agreements with  
Aggregate Industries

October 19, 2009

Page 3

Since the original agreement, AI has been leasing water from the City in the forms of consumable effluent and shares in the Brighton Ditch Company since signing the original agreement. The original lease agreements expired with the original storage facility agreement, so lease renewals are considered herein. The effluent lease agreement allows AI to lease up to 520 acre-feet of consumable water per year from the City from 2010 through 2017 at a rate of \$200 per acre-foot. Under the original effluent lease agreement, AI did not have to pay for the leased effluent. They will use this water to augment out-of-priority depletions due to exposure of groundwater. AI would also like to lease the City's 1.038 shares in the Brighton Ditch Company until delivery of storage at Wattenberg and will temporarily take over paying any assessments and fees associated with those shares. Staff has provided for additional flexibility on the City's part with the shares under the new lease.

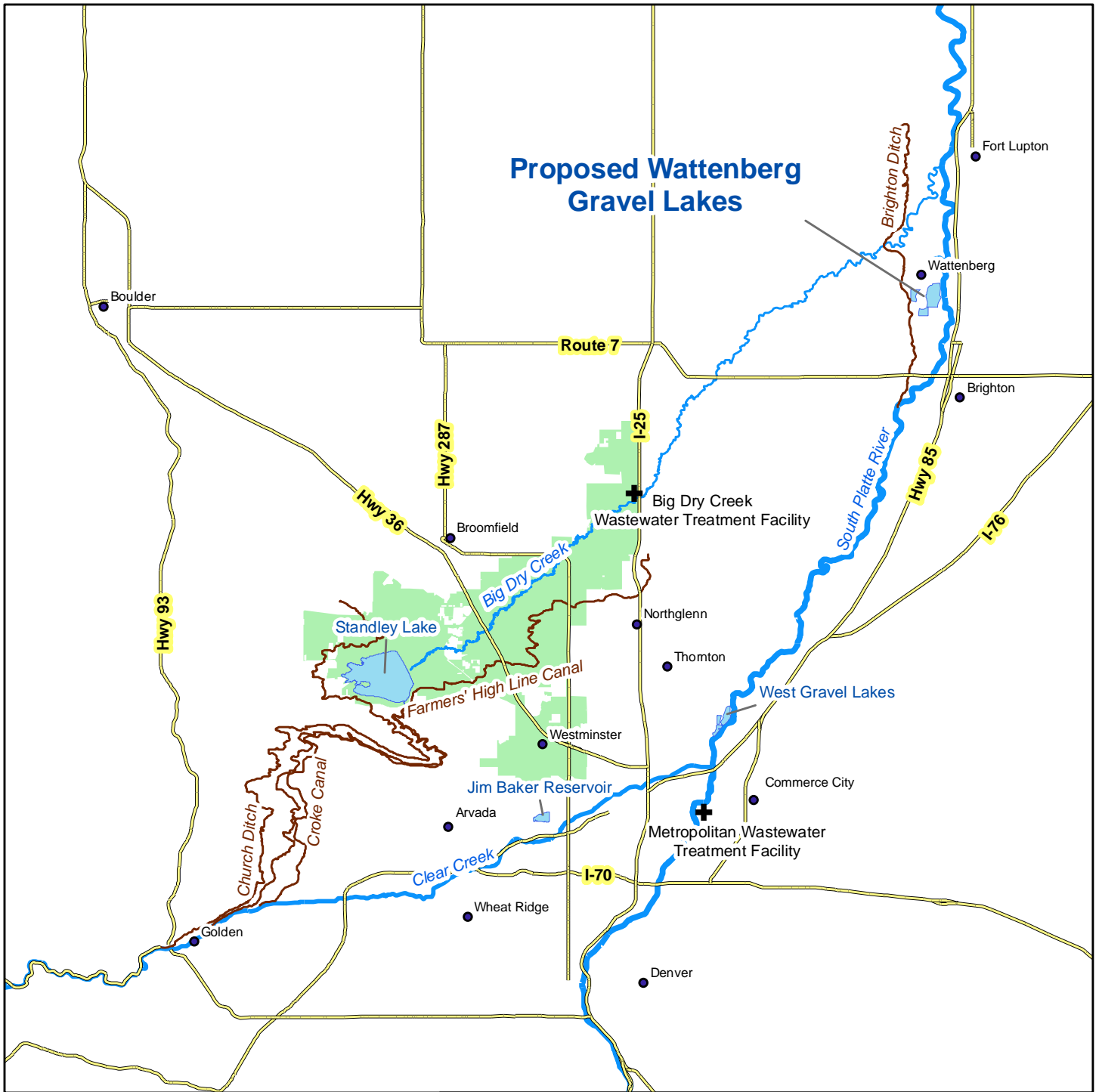
Staff recommends bringing the revised and amended storage facility agreement and consumable water lease agreements with AI before Council for approval. This will allow progress on developing lower South Platte storage for the City's water supply system that is very important for securing and developing long-term water supply. The revenue also assists the City in meeting the goal of a Financially Sustainable City Government by having the proceeds for future Public Works and Utilities projects.

Staff will be in attendance to make a presentation to City Council and answer any questions related to the Wattenberg Gravel Lakes Project and the revised and amended agreements.

Respectfully submitted,







J. Brent McFall  
City Manager

Attachment: Map—Location of Proposed Wattenberg Gravel Lakes



Location of Proposed Wattenberg Gravel Lakes

**LEGEND**

-  River
-  Lake
-  Canal
-  Westminster
-  City
-  Highway



Re Aggregate Industries  
Tuxan South.

Sept 10 2020

I reside at 13200 E 160<sup>th</sup> Av, Brighton & own  
real property at 125 W. Bridge St, Brighton.

Re: Aggregate comments

2. 7am-7pm Mon-Saturday is unacceptable  
Saturday 7-1 is acceptable.
3. irrelevant. Farm style fencing & a trail to  
nowhere doesn't address the issue.
4. Not relevant.
5. Not relevant.





The basic issue for myself & other neighbors is that  
the project is too close to the city of Brighton.  
Highway 7 is a gateway to the city, and  
having a large dirty gravel mine will diminish the  
appeal of the city. People will go to Thornton for  
their shopping and other services.

I would be in favor of leaving a buffer strip  
along Highway with trees/natural habitat.  
The buffer strip would need to be AT LEAST  
250 yards wide. If that isn't doable, I would  
remain STRONGLY opposed to the gravel  
operation as proposed by A.I.

Best Regards

Paul Greaves      303 808 9826  
13200 E 160<sup>th</sup> Av  
Brighton CO 80602

**Legend**

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

AD ITY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



For display purposes only.

Tucson South

EXG2020-00001

## Greg Barnes

---

**From:** paul greaves <pwgreaves1@gmail.com>  
**Sent:** Monday, January 11, 2021 5:11 PM  
**To:** Greg Barnes  
**Subject:** Tuscon South

Please be cautious: This email was sent from outside Adams County

Dear Mr Barnes

Thank you for your correspondence dated December 21 2020 regarding the above matter and the application for a conditional use permit by AI

I am an owner of two properties along Highway 7, one being my residence directly south of the east portion of the proposed site and the second in the City of Brighton to the immediate east of Veterans Park.

Whilst I appreciate the donation of the land to the south as a community asset it will be of no real value to the community unless managed by Adams county in some format, Otherwise it is simply a field!

Re the proposal on the North side of highway 7 I object to this proposal as presented in the strongest possible terms Brighton is the County seat of Adams county and Highway 7 is the western gateway to the City.

The concept of a large mining site less than 1/4 of a mile from the City is preposterous

No one will relish the idea of driving into Brighton through the dust and dirt caused by the mine and with the prevailing winds from the NW this will cover the western areas of the City in dust

Re AI's 5 bullet points:

- 1 The noise dust and beeping from heavy equipment will remain
- 2 The timeline is ridiculous No way will the project finish in that time line assuming all economic factors remain as good as today
3. The water resource is simply an inaccessible reservoir with no recreational value to the community The landscape trail proposed is a trail to nowhere!
- 4 previously discussed
- 5 All well and good but it does not take an expert to know the impact. A hotline does nothing to mitigate the problem. You may recall the discussions at the Commission meeting in late 2019 re the mine at 120th Av .... a disaster for the neighbourhood

I would be in however be of the mine being limited to area 1/3 of a mile to the north along the row of cottonwoods that now exist . This would provide a real buffer and allow AI to landscape the whole area

This would preserve some of the meadow, Preserve some of the gateway to Brighton and eliminate most of my concerns listed above

I strongly disagree with AI's assertion that the project is compatible with and in harmony with the surrounding area and a benefit to the community.

Best Regards

Paul W Greaves

Broadview LLC

125 W Bridge St, Suite F

Brighton Co 80601

303 808 9826



**JOSEPH J. GRIEVE, INC.**  
5390 TENNYSON ST.  
DENVER, CO 80212  
Phone-303-425-5312  
Grievetrucking.com

To: Adams County Planning & Zoning Commission

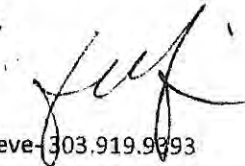
4430 South Adams County Parkway

Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Joseph J. Grieve, Inc at 5390 Tennyson St. Denver, Co 80212 in Adams county supports this permit because we do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our employees on the job. The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process. Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site. We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,



Frank Grieve-303.919.9893

Treasurer, Joseph J. Grieve, Inc.

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries for 6 years, I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since I am a Adams County residents, I know first-hand that the aggregate materials from this quarry will help build the infrastructure that I support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. I look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow me to enjoy life on the front range. I urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink, appearing to read "Cody Griffiths", written over a large, faint circular stamp or watermark.

Cody Griffiths

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Marc Gutener

Marc Gutener

## Greg Barnes

---

**From:** Jan Guyer <jlguyer@me.com>  
**Sent:** Saturday, January 9, 2021 4:57 PM  
**To:** Greg Barnes  
**Subject:** No to gravel mining pits anywhere near Brighton.

Please be cautious: This email was sent from outside Adams County

Hi Mr Barnes; Please vote no - you must stop any gravel pits to be developed/ built anywhere near a town in Adams county including Brighton... it's not ok to subject the citizens of any town including Brighton to the dust and airborne containment's that will be airborne from such a entity. I live just west of the area in Heritage Todd Creek and this would cause many health issues in our 55 & up community.

This was already voted down , no permits given to these companies in 2019. This must not happen!!! You must take into consideration how detrimental this will be for the health and well being of ALL citizens living close to said location, especially the kids and aged ... do not give this company permission to build Gravel Mining Puts anywhere in Adams county.

Sent from my iPhone

## Greg Barnes

---

**From:** Jan Guyer <jlguyer@me.com>  
**Sent:** Tuesday, February 2, 2021 12:19 PM  
**To:** Greg Barnes  
**Subject:** Gravel pits

Please be cautious: This email was sent from outside Adams County

Hi. I hope you are well.

I want to express my opinion about the gravel pits that are being discussed to be approved to move forward near Highway 85 in Brighton.

Vote No.

They will harm the wildlife and human quality of life also. Please vote NO!

Sent from my iPhone

Jan Guyer

## Greg Barnes

---

**From:** Saira Hamidi <saira.hamidi@gmail.com>  
**Sent:** Tuesday, January 12, 2021 6:34 AM  
**To:** Greg Barnes  
**Subject:** No to AI Gravel mining plans

Please be cautious: This email was sent from outside Adams County

Dear Greg Barnes,

We are residents of Adams county and are very concerned that Swiss owned Aggregate Industries/LafargeHolcim has reapplied for a Conditional Use Permit for TWO large gravel pits west of the gateway to Downtown Brighton.

As you know, when fully mined they would become CLOSED off augmentation reservoirs for the City of Aurora. We do not need this in our community and are firmly opposed to granting AI this permit.

We want our voices to be heard and counted among those who oppose granting AI this permit that was once already declined.

Thank you for your time and consideration.

Best,  
Saira

## Greg Barnes

---

**From:** forrest hancock <forresthayes@yahoo.com>  
**Sent:** Thursday, February 11, 2021 2:13 PM  
**To:** Greg Barnes  
**Subject:** Tucson South support

Please be cautious: This email was sent from outside Adams County

Mr. Barnes-

I understand comments were typically due already. I have been communicating with Aurora Water, Aggregate Industries and a few other parties and would now like to voice my support for the project as submitted. In 2019 when Aggregate Industries presented a plan that included up to 400 tractor trailers per day and no public access I was very opposed. I believe the new plan utilizing a conveyor system, donation of the south parcel for open space and commitments from AI and Aurora Water to allow passive recreation once the project is complete, I believe is a appropriate use for the land and ultimately will be of benefit to residents of Adams County and Brighton with a recreation feature that allows the public to enjoy this area.

Thanks for you hard work on this lengthy application,

Forrest Hancock



## Greg Barnes

---

**From:** Rebecca Adatao Harren <rebeccav775@gmail.com>  
**Sent:** Sunday, February 7, 2021 3:27 PM  
**To:** Greg Barnes  
**Subject:** Tucson South Mining Pit - DO NOT MOVE FORWARD PLEASE

Please be cautious: This email was sent from outside Adams County

February 7, 2021

Dear Mr. Barnes,

I am a resident of Todd Creek Riverside. I am writing to express my concern and protest regarding the proposed Tucson South Mining Pit EXG-2020-00001.

First and foremost, there are documented health risks associated with silica dust which will be produced by the proposed mining. Living near a mining pit can create changes to health, changes to lifestyle, the inability to enjoy your own home for decades to come. This is not acceptable and not something that anyone in the area desires. It will drive residents out of the area.

The mining permit indicates it is supposed to be harmonious with the area. There is no logical way that the proposed location will be harmonious. There are many homes nearby. There is a park nearby. The main entrance to the City of Brighton is nearby. There is no way this project can possibly fit this requirement. The community has been developed since the planning for this mining was originally completed twenty years ago.

This project is near a Todd Creek well. The well may be destroyed in the mining. We cannot take such a risk as this mining company has created issues of the very same type in the past.

The old mines to the North owned by Aurora are in poor repair. Lessons have not been learned from that experience. We cannot afford to make those same mistakes in our community.

Finally, there is no benefit to our community. Being a good neighbor is one thing, however this is a detriment to our community. This is not good for the renewal of Brighton or the surrounding residents. The location will be a huge detractor. People are going to move in droves from Brighton and the nearby Todd Creek areas in unincorporated Adams County. This will impact businesses, taxes, and revenue.

I hope you take the concerns of citizens into account and do the right thing.

Respectfully,  
Rebecca Harren  
11530 E 161<sup>st</sup> Avenue  
Brighton CO 80602  
303-522-8006

## Greg Barnes

---

**From:** rtharren@gmail.com  
**Sent:** Sunday, February 7, 2021 3:29 PM  
**To:** Greg Barnes  
**Subject:** Tucson South Mining Pit Protest

Please be cautious: This email was sent from outside Adams County

February 7, 2021

Dear Mr. Barnes,

I am a resident of Todd Creek Riverside. I am writing to express my concern and protest regarding the proposed Tucson South Mining Pit EXG-2020-00001.

There are documented health risks associated with silica dust which will be produced by the proposed mining. Living near a mining pit can create changes to health, changes to lifestyle, the inability to enjoy your own home for decades to come. This is not acceptable and not something that anyone in the area desires. It will drive residents out of the area.

The mining permit indicates it is supposed to be harmonious with the area. There is no logical way that the proposed location will be harmonious. There are many homes nearby. There is a park nearby. The main entrance to the City of Brighton is nearby. There is no way this project can possibly fit this requirement. The community has been developed since the planning for this mining was originally completed twenty years ago.

This project is near a Todd Creek well. The well may be destroyed in the mining. We cannot take such a risk as this mining company has created issues of the very same type in the past.

The old mines to the North owned by Aurora are in poor repair. Lessons have not been learned from that experience. We cannot afford to make those same mistakes in our community.

Finally, there is no benefit to our community. Being a good neighbor is one thing, however this is a detriment to our community. This is not good for the renewal of Brighton or the surrounding residents. The location will be a huge detractor. People are going to move in droves from Brighton and the nearby Todd Creek areas in unincorporated Adams County. This will impact businesses, taxes, and revenue.

I hope you take the concerns of citizens into account and do the right thing.

Respectfully,  
Ryan Harren  
11530 E 161<sup>st</sup> Avenue  
Brighton CO 80602  
303-990-7795

Sent from [Mail](#) for Windows 10

## Greg Barnes

---

**From:** Walt Hawley <walthawley20@gmail.com>  
**Sent:** Wednesday, January 13, 2021 8:23 AM  
**To:** Greg Barnes  
**Subject:** Tuscon gravel project

Please be cautious: This email was sent from outside Adams County

After reading the negative article written about this proposed gravel project in west Brighton in Next Door, I drive there. The area is ugly barren and appears to be a wasteland.

But, 1. if the proposed reservoir became a water source for west Brighton & NE Thornton that would be good. Our Heritage Todd Creek water arrangement needs to be reworked

2. If The reservoir became a recreation park like cherry creek, chatfield & st Vrain that would be good

3. If the reservoir connected to the nearby Platte River could it help improve ecological life for the River and shoreline?

Maybe you are covering all this in the 1.14.21 meeting. If there are long term improvements included in this gravel project all communications need not be negative and challenged

Thank you for any insights and proposals you can share in your reply

Walt Hawley  
# All lives matter  
US 🌍

## Greg Barnes

---

**From:** Mary Anne Hoffman <bicyclebytwo@yahoo.com>  
**Sent:** Tuesday, February 2, 2021 6:02 AM  
**To:** Greg Barnes  
**Subject:** Gravel Mining

Please be cautious: This email was sent from outside Adams County

It is a travesty that Brighton and Adams County is even considering gravel mining along Highway 7.

First of all there are already enough reservoirs in the community and ugly gravel pits along Highway 85. Do you want to continue to give Brighton and Adams County an ugly reputation and image by poor judgment and unsightly projects? Brighton has already done a good enough job in that regard. It's time to change that.

When we told friends and family we were moving to the Brighton area, they questioned why and were not impressed. That's what outsiders think of Brighton and Adams Co--a cess pool for Denver and now Aurora. After 1/12 years, we were pleasantly surprised with Brighton's efforts to improve and give Brighton a better image and outlook for the future. Now this! It's a step backward and for what--**water for Aurora!!!** YOU HAVE GOT TO BE KIDDING! With the continued prospect for drought and global warming, will there even be enough water for these "reservoirs"? Obviously no one cares about downstream users. More front range blight.

My husband and I frequently walk our dog in Veterans Park. Hawks, Eagles, Herons, and deer are frequent. In the springtime, the nesting birds are abundant. It is also the beginning of the South Platte bikeway. So rather than promote this and build upon it, Brighton and Aggregate Industries choose money. And who wins--Aurora and big money and big industry.

Now there will be dust, noise, wildlife and humans won't want to be in the area. Sad! Sad! Sad!

Mary Anne Hoffman  
303-908-855  
15341 Heritage Circle  
Brighton, CO 80602

# Memorandum

**To:** Jim Hood  
**CC:**  
**From:** Tom Maul  
**Date:** 2/21/2005  
**Re:** Tucson Pit Mining Impacts to Hood

---

Jim: the following bullet points outline relevant information regarding previous conditions and discussions related to the Aggregate Industries Tucson Pit:

1. In early 2001 I was appointed Operations Manager over the Tucson Pit.
2. Complaints were received by me from many neighbors of the pit, including: Ken and Gina Sayers, Ron Mallory, Richard Getz, Marilyn Kent, Bob Sakata, and Jim Hood. These complaints were mostly related to the impacts of dewatering operations at the mine: dead trees and well damage.
3. It was my opinion that the impacts sustained by the neighbors were, in fact, caused by the Tucson Pit mine dewatering operations.
4. Although the damage appeared to have taken place prior to AI owning the pit, it was my opinion that we had responsibility as the acquiring party, and therefore I authorized mitigation measures consisting of: replacement water delivery, well replacement, and tree stump removal and disposal, to several individuals included in the group above, including Jim Hood.
5. During that time (2001) AI augmented Jim Hood's irrigation well by direct pumping of water into the well.
6. In early 2002, Jim Hood's well pump failed. Upon inspection, it appeared that the pump had failed due to oversized gravel intrusion into the well column. Further inspection indicated that the gravel structure surrounding the column had been degraded, allowing the inflow of gravel into the well. It seemed plausible to me that the process of directly pumping water into the well could be responsible for this damage.
7. I agreed to repair Jim Hood's well pump and try to mitigate the gravel inflow issue as a short-term solution, and we discussed replacement of the well as a long-term solution. I expressed a commitment to Jim that AI would provide a long-term solution to his water needs. In addition, while the pump was being repaired, Jim was unable to water his field, and the crops sustained damage during that period. I agreed to work with Jim through the year to ascertain the actual impact of that damage to his crops, and to fairly compensate him for said crop loss.

February 21, 2005

8. Jim and I also discussed a former cottonwood grove on his property which had basically been destroyed. Several dozen trees had been killed, in my opinion due to the mine dewatering operations. I made a commitment to Jim that we would work with him toward mitigating this situation. The discussions considered removal and replacement of the trees, as well as monetary compensation, although no dollar amounts were discussed. These discussions were conceptual in nature, and were intended to indicate my willingness to act responsibly as a good corporate citizen.
9. In January 2003 I was terminated as an employee of Aggregate Industries. At that time, I am not aware that Jim had received any compensation for his 2002 crop damage, his damaged well, nor the dead trees.
10. As Operations Manager for AI, with up to 12 production facilities in my group, it was my job to "manage the business". It was common for me to make decisions in cases like this maintain the status as a responsible operator and ensure sustainability of the operations within their surrounding communities. The decisions I made in this instance were consistent with that objective, and with my handling of similar situations that occurred elsewhere within my operating group.

Please contact me if you have any questions.

Thomas

CONFIDENTIAL

|                                                                                                                                                                                                                                                                                                     |  |                                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------|
| <b>DISTRICT COURT, ADAMS COUNTY, COLORADO</b><br><b>Address: 1100 JUDICIAL CENTER DRIVE</b><br><b>BRIGHTON, CO 80601</b>                                                                                                                                                                            |  |                                                 |
| <b>Plaintiff: BESSIE HOOD</b><br><br>v<br><b>Defendant: AGGREGATE INDUSTRIES - WCR,</b><br><b>Inc., a Colorado Corporation</b>                                                                                                                                                                      |  | <b>▲COURT USE ONLY▲</b>                         |
| <b>David W. Pehr</b><br><b>Attorney for Plaintiff</b><br><b>8787 Turnpike Drive, Suite 280</b><br><b>Westminster, CO 80031-4300</b><br><b>Phone: (303) 427-1516</b><br><b>Fax: (303) 428-7412</b><br><b>E-mail: <a href="mailto:pehr@zaklaw.net">pehr@zaklaw.net</a></b><br><b>Atty. Reg. #7223</b> |  | <b>Case Number:</b><br><br><br><b>Division:</b> |
| <b>COMPLAINT</b>                                                                                                                                                                                                                                                                                    |  |                                                 |

**COMES NOW** Plaintiff, by and through her attorney, David W. Pehr of the Law Firm of Zak, Fox and Pehr, P.C., and, for a complaint against Defendant, states and alleges as follows:

**FIRST CLAIM FOR RELIEF**  
**(Negligence)**

1. Plaintiff is the owner of certain real properties, hereinafter *Plaintiff's property*, situate in Adams County, Colorado, and known and numbered as 16707 Tucson Street Brighton, Colorado, 80601 and 12502 E. 168<sup>th</sup> Ave., Brighton, Colorado, 80601.
2. Plaintiff owns a certain adjudicated irrigation water well and associated water right located on Plaintiff's property.
3. Defendant is a corporation existing under and by virtue of the laws of the State of Colorado.
4. Defendant owns real and personal property located within the State of Colorado.
5. Defendant does business within the State of Colorado.



6. For the reasons aforesaid, Defendant is subject to the laws of the State of Colorado and the District Courts of the State of Colorado have jurisdiction over the Defendant.

7. Defendant operates a gravel mining facility on certain real property located immediately East of Plaintiff's property, which property is hereinafter denominated *Defendant's property*.

8. Defendant owes a duty of due care to Plaintiff and others to so conduct its mining operations as not to damage Plaintiff's property.

9. Defendant owes a duty of due care to Plaintiff to so conduct its mining operations as not to unreasonably interfere with Plaintiff's use and enjoyment of her property.

10. Defendant has breached its said duty of care to Plaintiff in that Defendant has so negligently conducted its above described mining operations as to cause Plaintiff's above described water well to fail and to cease producing water in usable quantities.

11. As a direct and proximate result of Defendants said negligence, Plaintiff has been injured and damaged as follows:

a. The casing, piping, lining and physical structure of Plaintiff's water well have been so damaged and injured as to render the same useless and valueless to Plaintiff;

b. The pump, pump motor, pipes, fittings, hoses and other accessories use by Plaintiff in conjunction with her use of the above well have been so damaged and injured as to render the same useless and valueless to Plaintiff;

c. Defendant has interfered with Plaintiff's use of her water right;

d. Defendant has effectively prevented Plaintiff's use and enjoyment of her water right;

e. Plaintiff has been unable to use her property for the agricultural purposes to which it is suited and to which it has traditionally been put as a result of the destruction of Plaintiff's irrigation well;

f. Plaintiff has lost the profits she would otherwise have obtained from agricultural pursuits during 2000, 2001, 2002, 2003, 2004 and 2005;

g. Plaintiff has lost the profits she would otherwise have obtained from the application of her water right to her property during 2000, 2001, 2002, 2003, 2004 and 2005;

h. Defendant has interfered with Plaintiff's use and enjoyment of her property;

i. More than seventy cottonwood trees which use to enhance Plaintiff's property have died as a result of the de-watering of Plaintiff's property;

j. Plaintiff has been otherwise injured and damaged..

12. As a direct and proximate result of Defendant's aforesaid negligence, Plaintiff has been injured and damaged in an amount to be determined by the trier of fact.

**WHEREFORE** Plaintiff prays that this Court enter judgment for Plaintiff and against Defendant for compensatory damages in an amount to be determined by the trier of fact, for her costs and expert witness fees as incurred herein, for interest on the above amounts as provided by law, and for such other and further relief as to this Court may appear meet and just in the premises.

### **SECOND CLAIM FOR RELIEF (Trespass)**

13. By its conduct of the mining operations hereinabove described, Defendant set in motion a force which, in the usual course of events, would damage Plaintiff's above described property.

14. By its conduct of the mining operations hereinabove described, Defendant set in motion a force which, in the usual course of events, would damage Plaintiff's above described well and water right.

15. The above acts of Defendant constitute a trespass by Defendant upon the property of Plaintiff.

16. As a direct and proximate result of Defendant's aforesaid trespass, Plaintiff has been injured and damaged as set forth in paragraph 11, above.

17. As a direct and proximate result of Defendant's aforesaid trespass, Plaintiff has been injured and damaged in an amount to be determined by the trier of fact.

**WHEREFORE** Plaintiff prays that this Court enter judgment for Plaintiff and against Defendant for compensatory damages in an amount to be determined by the trier of fact, for her costs and expert witness fees as incurred herein, for interest on the above amounts as provided by law, and for such other and further relief as to this Court may appear meet and just in the premises.

Respectfully submitted,

---

David W. Pehr - 7223

Plaintiff's address:  
315 S. 20<sup>th</sup> Ave.  
Brighton, Colorado, 80601

## Greg Barnes

---

**From:** Shelley Hoover-Sheard <chirohoover@hotmail.com>  
**Sent:** Saturday, January 9, 2021 5:49 PM  
**To:** Greg Barnes  
**Subject:** Aggregate Industries Mining Proposal in Brighton

Please be cautious: This email was sent from outside Adams County

Please add my objection to the plans set forth by Aggregate Industries for mining west of Brighton on Highway 7. For many reasons such as the scar of useless, water-filled landscape, the increased noise for months on end, the amount of road damage caused by repeated heavy trucks/traffic pattern, the influx of increased traffic of large trucks on Highway 7 and 168th which are already handling more traffic than were logistically meant for. The list goes on. And, the is all to benefit Aurora at the "cost" of our livelihood in Brighton.

Shelley R. Hoover-Sheard, DC, DACBSP  
Sent from my iPad

## Greg Barnes

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**From:** Wes Hurd <hurdwes049@gmail.com>  
**Sent:** Wednesday, February 10, 2021 4:17 PM  
**To:** Greg Barnes  
**Subject:** Rock mining

Please be cautious: This email was sent from outside Adams County

My name is Wesley Hurd. I am a resident of Brighton. And I am opposed to any more strip mining in our area. I would appreciate a new look at this industry. Thank you Wesley S Hurd.

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries for 8 years, my and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are Adams County residents, We know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and families welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in blue ink that reads "JOSE IBARRA" followed by a stylized flourish.

Jose Ibarra Moreno

## Greg Barnes

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**From:** Gregory L. Barnes  
**Sent:** Tuesday, February 9, 2021 6:34 PM  
**To:** Greg Barnes  
**Subject:** FW: Tucson gravel pit

I think this for you.

Greg

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**From:** ROGER Iverson <rogerwiverson@comcast.net>  
**Sent:** Tuesday, February 9, 2021 3:58 PM  
**To:** Gregory L. Barnes <GBarnes@adcogov.org>  
**Subject:** Tucson gravel pit

Please be cautious: This email was sent from outside Adams County

Mr Barnes

I received a flyer suggesting all the things wrong with the proposed Tucson gravel operation. I actually see the proposed pit as a positive for Brighton based on the proposal Aggregate Industries put forward. It will add walking paths and vegetation with easy access for Brighton and surrounding residential areas. The area is not attractive now. The resources on the property, (aggregates) will support the growth that is forecast for Adams County. Industry needs to work with the community and it certainly looks like AI has improved their proposal to answer questions that were asked. It can be a win win proposition. If residents are concerned about the project extending beyond eight years it can be put into writing.

Thank you  
Roger Iverson  
Eagle Shadow resident

## Greg Barnes

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**From:** HARRY J <jjtag2@msn.com>  
**Sent:** Monday, February 8, 2021 9:30 AM  
**To:** Greg Barnes  
**Subject:** Gravel Mining

Please be cautious: This email was sent from outside Adams County

As a tax payer in Adams county & Brighton , I am completely against the gravel mining! The dust with the winds we get will be a huge problem. You should consider the property owners around the site. They have been paying property taxes and collecting sales for years.The value of their property will go down!

Sent from my iPad



## Greg Barnes

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**From:** Frank Jackson <jacksonfw1@gmail.com>  
**Sent:** Monday, January 11, 2021 9:31 PM  
**To:** Greg Barnes  
**Subject:** Gravel Pits

Please be cautious: This email was sent from outside Adams County

Mr. Greg Barnes,

Please oppose a permit for the proposed gravel pits along 160th by Aggregate Industries. This would be very detrimental to the area and future development and add blight to the entrance to downtown Brighton.

Respectfully,  
Frank Jackson  
Brighton, CO

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

I have seen a lot of growth in Adams County and hope to see more. Thank you for your time and consideration.

Sincerely,

Mike Janda ( Thornton Resident of 50 years)

A handwritten signature in cursive script that reads "Mike Janda". The signature is written in black ink and is positioned below the typed name.

## Greg Barnes

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**From:** Kristine Jenkin <kristinejenkin@yahoo.com>  
**Sent:** Tuesday, February 2, 2021 9:46 AM  
**To:** Greg Barnes  
**Subject:** Gravel Pit

Please be cautious: This email was sent from outside Adams County

NO TO MORE GRAVEL PITS. Brighton already has allowed so much of this that it truly has ruined the landscape.

We need more wildlife and recreation areas. It is not all about money, except for the gravel companies.

Sent from my iPhone

## Greg Barnes

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**From:** Mark Johnson <mjmark@usa.com>  
**Sent:** Wednesday, January 13, 2021 10:29 AM  
**To:** Greg Barnes  
**Subject:** Gravel mining pits at Brighton west gateway

Please be cautious: This email was sent from outside Adams County

Subject:Gravel mining pits at Brighton west gateway.

I am apposed to to having a gravel pit at this location.

Truck traffic, Dust,Noise,Eye sore.

Please do not approve this.

Thank You

Mark Johnson

11051 E 155<sup>th</sup> Pl Brighton

## Greg Barnes

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**From:** Caroline Johnson <bee.t.shops@gmail.com>  
**Sent:** Friday, January 15, 2021 7:17 AM  
**To:** Jen Rutter; Greg Barnes  
**Subject:** Tucson South Gravel Pit

Please be cautious: This email was sent from outside Adams County

To whom it may concern, Greg Barnes, Community and Economic Development Dept., Adams County Planning Commission, City Council Town of Brighton, CO, etc...

In regards to the Tucson South Gravel Pit proposal Case # EXG2020-00001 I, Caroline Johnson the LOCAL Owner/Operator of Bee & Thistle Marketshops + Buzz Coffee 43 N Main Street, adamantly oppose the construction of a gravel pit/water reservoir near to or adjacent to the Historic Downtown area of Brighton, CO.

We already have ugly gravel and industrial parks North on Hwy 85 that are a **proven eye sore** in our cute town. Small business owners and local residents will certainly be affected by this gross misuse of land if we continue to let anyone in to destroy our precious resources. In particular if we agree to this type of land use so close to town our businesses in the Historic downtown area may be forced to shut down their doors when customers don't want to drive up to or through a nasty gravel pit/industrial park, nevermind what it could potentially do to harm the ecosystem of the adjacent South Platte river.

When local businesses have to fold the City of Brighton will not collect sales tax from these local establishments. In fact, I see it costing the City of Brighton when giant land movers and gravel trucks destroy our roads, causing damage and forcing the city's hand to use it's own resources to rebuild. Overall this proposal would be counter intuitive to the quaint town atmosphere that I would hope the City wants to achieve specifically for the Historic Downtown area.

Respectfully,  
Caroline Johnson  
Bee & Thistle Marketshops  
Caroline Johnson, Owner  
303.653.5591

Bee & Thistle Marketshops is a fun artisan inspired marketplace where guests will find unique locally made wares and gifts from some of Colorado's best furniture and hand-made artisans. In addition to furniture our shop features natural body products, handmade decor, goat's milk soap, soy candles, local honey, crocheted items and hands-on workshops. We are located at 43 N Main St. in the heart of Historic Downtown Brighton.



# Kiewit

January 6, 2021

RE: Aggregate Industries Permit EXG2020-00001

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Planning & Zoning Commissioners:

Kiewit is a leader in infrastructure construction in the front range. Aggregate Industries has been a long-term partner to our company since we established a local presence. This partnership allows us to buy material locally, drive down costs and keep infrastructure project dollars local.

We support their proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. This support stems from the knowledge that the aggregate materials from this quarry will help build the critical infrastructure that is the core of our company's business.

In order to keep cost low and keep construction dollars local, we need access to construction materials that the Tucson South quarry would offer. Quarries such as this offer added benefit to the community beyond the materials produced in the form of water storage, open space and trails for the public to enjoy.

We respectfully ask you to approve the permit so we can continue to partner with Aggregate Industries and Adams County.

Sincerely,

Brian Heikes  
Senior Project Manager  
Kiewit Infrastructure Company

## Greg Barnes

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**From:** Amy Kindland <theporchshop@gmail.com>  
**Sent:** Tuesday, January 12, 2021 4:10 PM  
**To:** Greg Barnes  
**Subject:** The gravel pit

Please be cautious: This email was sent from outside Adams County

I have spoken many times about this gravel pit on HWY 7

I have a small business in Brighton on Main Street.

Covid has hard it a lot of small businesses hard this past year.

We can not afford to have yet another hit. This does not benefit Brighton and it will deter people from visiting out little town.

We as a community spoke on this and it was voted down.

They are back again stating changes and the song remains the same.

Brighton will not benefit from this and we need to vote this down again.

Best Regards

Amy Kindland.



## Greg Barnes

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**From:** Gary Krech <gtk8653@msn.com>  
**Sent:** Monday, January 11, 2021 7:21 AM  
**To:** Greg Barnes  
**Subject:** Tuscon South Gravel Pits

Please be cautious: This email was sent from outside Adams County

Mr. Barnes -

I live in Heritage Todd Creek and am very concerned about the negative impact gravel pits would have on the air quality in this area. Dust from these operations is not controllable. It will spread regardless of the best efforts of the operator. It will severely degrade the quality of life in all the surrounding communities. In addition, gravel pits located at a primary ingress to the city of Bright would be an unappealing eyesore. The truck traffic on the roads will shorten their life, and as we all know, Hiway 7 is in dire need of resurfacing now. It is my opinion that this project should be rejected - again.

Thanks for your time.

Regards,  
Gary Krech

## Greg Barnes

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**From:** Jewel Kusek <jewels4tx@yahoo.com>  
**Sent:** Sunday, February 28, 2021 8:51 AM  
**To:** Greg Barnes  
**Subject:** Mining Pit

Please be cautious: This email was sent from outside Adams County

Hello Adams County Reps,

I am a Brighton resident opposed to the mining pit on Tucson Street. I am concerned with the additional traffic of the workers going to and from the mining out. Highway 7 is already very crowded and not in great condition. The round about on Bridge Street at Highway 85 are very busy when residents are going to work and returning. Additional vehicles of workers going to the mine will only cause more congestion. The mining will cause excessive dust, noise and light pollution.

I ask that you please vote against project.

Thank you!

Kind regards,

Jewel Kusek  
16164 Paris Way  
Brighton, CO 80602

## Greg Barnes

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**From:** Curt Lacey <curt.lacey@yahoo.com>  
**Sent:** Monday, February 1, 2021 8:11 AM  
**To:** Greg Barnes  
**Subject:** Tuscon South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

Greg Barnes

In reference to Tuscon South EXG2020-0001, the Brighton area has plenty of gravel pits along with the dust problem and too many gravel trucks traveling in the area. The only wildlife that will benefit is the waterfowl, the animals that need land will be pushed out like the turkeys and deer. I live in the Platte River Ranch area and it took them almost 20 years to open the gravel pit with a walking path around it.

Make Brighton's West Gateway OPEN SPACE.

Thank you, Curt

# GROUND

## ENGINEERING

January 7, 2021

**Adams County Planning & Zoning Commission**  
4430 South Adams County Parkway  
Brighton, CO 80601

To Whom It May Concern:

Ground Engineering Consultants, Inc. (GROUND) has been located at 7393 Dahlia Street in Commerce City, Adams County for 28 years and has approximately 200 employees. We have worked with Aggregate Industries on numerous projects, and in our experience they are a professional and competent materials supplier and construction company.


Recently we have been notified of Aggregate Industries proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. – Gravel Mining Area in Adams County. In addition to sourcing construction materials locally for use in Denver Metro Area construction this would also add water storage and trails for public use.

Aggregate Industries is a reputable enterprise in Colorado and we ask you to approve the permit they seek so we can continue to partner with them in Adams County.

Please contact our office with any questions or concerns regarding the information presented herein.

Sincerely,

**GROUND Engineering Consultants, Inc.**



James Booze

Lloyd Land  
12501 Riverdale Road  
Brighton, Co. 80602  
January 13, 2021

Dear Adams County Commissioners:

Please accept this letter in support of EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area.

I am a neighboring property owner who received notice of this application. This project is important to the ongoing development of Brighton and Adams County. I am grateful that Aggregate Industries is eliminating all truck traffic relating to conveying the aggregate to their existing facility. This project with conveyor is very close to my property and is a big improvement over their earlier proposal in 2019!

Thanks for your time & consideration..



Lloyd Land  
Brighton Industrial Park

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

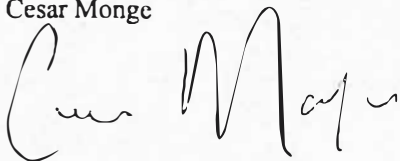
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. I have been with the company just little over a year, but my dad for 27 years and counting. Me being an Adams County resident my whole life, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

My time with Aggregate Industries I have learned that Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,  
Cesar Monge

A handwritten signature in black ink that reads "Cesar Monge". The signature is written in a cursive style with a large, stylized "C" at the beginning and a long, sweeping tail at the end.

## Greg Barnes

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**From:** CenturyLink Customer <lepantzeus@q.com>  
**Sent:** Wednesday, August 19, 2020 6:48 PM  
**To:** Greg Barnes  
**Cc:** JOHN C LEPANT  
**Subject:** Case Number EXG2020-00001 Tucson South

Please be cautious: This email was sent from outside Adams County

John C Lepant  
186 DENVER STREET  
BRIGHTON, COLORADO  
80601  
303.654.0269  
lepantzeus@q.com

ATTN: Greg Barnes, Planner III

In Regards: Case Name: Tucson South  
Case Number: EXG2020-00001

19 August 2020

Dear Mr. Barnes,

Am sending you this email in response to your Letter headed ' REQUEST FOR COMMENTS ' regarding the above permit application.

Would respectfully request this permit be approved.

The Letter states you will include these comments verbatim in the case review. That is perfectly acceptable to me.

I am a long time resident of Brighton and have lived near this aggregate operation at my house on Denver Street for more than ten years.

There has never been any trouble for me whatsoever from this operation. The truck drivers are careful and courteous and the operation is very well managed to the point that many local residents are not even aware that it exists. It is a quiet, unobtrusive, and comports well with the other activities adjacent which are primarily light industry and agriculture.

This mining operation supports local jobs and more importantly provides materials required for building businesses, homes, and local infrastructure all along the Colorado Front Range. Much has been said and written by others about the importance of infrastructure, both in terms of maintaining current infrastructure and building new infrastructure. There is no need to reiterate those points here and Adams



County is well versed on that need as it is part the ongoing County services. It is very likely the County has been a customer buying materials from the applicant.

A healthy construction industry and good infrastructure are both necessary for a healthy economy. The applicant provides materials that are critical to both. Doing so improves the economy of not just Adams County but the entire State of Colorado. The applicant has a long history of responsible business practices, operations, and stewardship. Approving this permit will not change the characteristics of the immediate area as those types of operations already exist there.

Therefore, as there is minimal impact, the applicant has a long history of responsible conduct, and this operation supports the economies of both Adams County and the entire State of Colorado, I respectfully request that this permit be approved.

Sincerely,

John C Lepant

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company is writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Our Company (F & M Trucking, LLC 6505 County Road 17 Fort Lupton, CO 80621), Our Company has 17 Tractor Trailer. Putting these trucks to work would help the economy. We support this permit because we do business with the PLATTE VALLEY facility currently and aggregate materials conveyed from this quarry will help keep our employees on the job

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,

Michelle Leyva  
F & M Trucking, LLC  
6505 County Road 17  
Fort Lupton, CO 80621  
720-255-3801 Mobile  
720-596-5179 Fax  
[Fmtrucking2006@outlook.com](mailto:Fmtrucking2006@outlook.com)

B. Michl Lloyd  
12202 East 168<sup>th</sup> Avenue  
Brighton, CO 80602  
303-659-4545

September 3, 2020

Adams County Community & Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Aggregate Industries'  
Application for Conditional Use Permit  
Case Number EXG2020-00001 - "Tucson South"

Dear Mr. Barnes:

This letter is in response to your August 13<sup>th</sup> request for comments on the above referenced Conditional Use Permit Application.

Even though Aggregate's current application eliminates a lot of the traffic concerns, includes donation of property south of highway 7, commits to a fixed life (without any extension requests) and supposedly enhances air quality monitoring compared to their application that was denied unamously by the Commissioners present at the November 2019 meeting, I still do not believe their proposed activity meets the County's Conditional Use Permit Criteria.

The Commissioners are well aware of all of the objections and concerns raised by the community and businesses in 2019 regarding Aggregate not meeting these criteria and I will not reiterate those; however I believe that those concerns are still valid and maybe more so now that almost another year has passed and the area continues to grow – not get smaller. Aggregate seems convinced this is a rural farming area and back in 2004 when the mine was initially approved it probably was. However it is now over 16 years later and it is not a rural farming area any more. I do not believe the residents should have to "pay" for Aggregate's failure to act on this project much sooner.

As to Aurora's water storage, they have the alternative to use the site as they do a site in Weld County and inject river water into the ground, filter it through the sand and gravel and extract the filtered water using wells. Aurora has a several million gallon water storage tank and distribution pipeline immediately adjacent to the west of the proposed mine site. I do not believe those of us that are not citizens of Aurora should have to bear the responsibility of providing the area to store water that does not benefit us. This would leave the surface area of the site available for numerous uses that could definitely enhance the community.

Not meeting the criteria for a Conditional Use Permit ("CUP") combined with Aurora's alternative regarding water storage and Aggregate's alternatives for potential mine sites in less populated areas I recommend that the application once again be denied.

Knowing that some of Aggregate's changes from their previous application may cause others to be more inclined to be in favor of their current application, I would suggest that certain conditions be required if the current application were to be approved.

Conveyor System - Aggregate has committed to not starting mining until the conveyor system is operational however not all easements, approvals and engineering, etc. for the conveyor system are in place and accordingly a final route for the conveyor system has not been proposed. An Aggregate representative stated in the October 29, 2019 Commission meeting that it could take 18 months or more to complete the conveyor system. You could possibly believe they could accomplish this if all of the factors were under their control – but the easements and approvals are not under their control. I would expect there to be considerable opposition if some of the proposed routes ended up being the “final” route.

I believe that Aurora needs to clarify and justify why they cannot grant an easement for the conveyor along the east side of their pit north of 168<sup>th</sup> Ave. Such a route would appear to be the least objectionable. It was stated that “litigation” was preventing them from granting such an easement. But this sounds like an “easy out” and the fact remains that this whole project benefits Aurora and not Brighton or the neighborhood.

I believe Aggregate is premature in applying for a CUP before having at least the route for the conveyor finalized. If for any reason the CUP is approved there should at least be a condition precedent that sets a time limit for having the conveyor operational.

Life of mine – Aggregate stated in the current application that mining and reclamation would be reduced to 8 years from the time the conveyor is installed and that no extensions would be requested. One Commissioner commented on the prior application that the life should not exceed 5 years and an Aggregate representative stated in the October 29, 2019 Commission meeting that it could be completed in as little as 4 years. Five years appears reasonable to me.

The issue though is they do not commit to a start date for what ever the time limit is. Since the start of the life begins with an operational conveyor system such a start date could be drug out for quite some time and this mine could last as long as other Aggregate mines in the County.

Slurry Wall – Aggregate says that “Tract K” as designated on their maps will not be mined but will be used as the staging area for material necessary for the slurry wall installation. The slurry wall(s) for this mine will be measured in miles, will require a substantial amount of material to be hauled to the site by trucks and will not be installed in any short time period.

Tract K is west of the area to be mined and encompasses two elevations – one level is relatively close in elevation to the area to be mined and houses Aurora's huge water storage tank and related facilities and does not have a large area for staging anything. This area is accessible by a service road however in order to access the area for the slurry wall they would have to cross the Brighton Ditch and there are no substantial bridges that cross the Brighton Ditch or they would have to use Highway 7 which has already been determined to be unacceptable. They still will have to traverse the total width of the site to get to the east side for installation of that portion of the slurry wall.

The other elevation is substantially higher (a very steep hill), is west of the Brantner Ditch and adjoins my property. There are no roads to access this area accordingly getting material to this area would be very problematic and to access the area for the slurry wall would be equally problematic and would mean crossing the Brantner Ditch (with no existing substantial bridges), traversing a very steep hill and then crossing the Brighton Ditch. Using 168<sup>th</sup> Avenue, crossing Great Western's oil and gas well site, crossing a farm field and a residential back yard to gain access would be totally unacceptable. Again, this area is even further west of the mine area. In addition this area borders residential backyards of a number of new homes in a substantial residential development.

Materials for the slurry wall will have to be moved by large trucks and without adequate roads and bridges I believe using Tract K as a staging area for the slurry wall is not only totally impractical but also totally unacceptable. Materials for the slurry wall should be staged close to where they are going to be used. Aggregate has well over 100 acres to use for this staging.

The application does not address the truck traffic, routes, etc. necessary to get slurry wall material to the site. Given the length of the slurry wall(s) I would not expect these to be minor issues and they should be addressed in the application.

South Parcel – One of Aggregate's responses indicated the State's approval of removal of the South Parcel from the mine permit was expected by August 31<sup>st</sup>. Did the State approve the removal?

Seeding Berms, etc. - Aggregate does not mention irrigating any of the seeded or landscaped area. Given our recent weather patterns I would not expect any landscaping to survive without irrigation.

Concurrent reclamation - "Concurrent reclamation" is not adequately defined. Aggregate's history of concurrent reclamation on the Tuscon North Mine meant leaving significant high walls (with a 3 wire farm fence that had mostly fallen down and a trailer park with a significant number of children close by) for years. Reclamation on

that site was supposedly concurrent. If history is any indication, leaving it to Aggregate's discretion as to when a mining area is "complete" means that a significant portion or none of the site is likely to be reclaimed concurrent with being mined. Accordingly, a limited number of linear yards of pit walls allowed to be disturbed at any given time before being reclaimed should be defined for the whole site.

Yours truly,

B. Michl Lloyd

B. Michl Lloyd  
12202 East 168<sup>th</sup> Avenue  
Brighton, CO 80602  
303-659-4545

September 16, 2020

Adams County Community & Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Aggregate Industries' Application for Conditional Use Permit  
Case Number EXG2020-00001 - "Tucson South"  
Supplement to September 3, 2020 Letter

Dear Mr. Barnes:

This letter is a supplement to my letter of September 3, 2020 on the above referenced Conditional Use Permit Application. Following are two items I wanted to comment on but failed to include in that letter.

Donation of property south of Highway 7 – Even though Aggregate has indicated they will donate land south of Highway 7, I am not convinced that this will benefit either Brighton or the County. There is presently a nice park east of this land and adjacent to the river. The land to be donated is west of and not adjacent to the river (residential properties are to the east and west of this land) and this land cannot be connected to the existing park. Given that it is "raw" land considerable cost could need to be incurred to bring it to a desirable state, otherwise it may be nothing more than a maintenance headache for whoever receives it or worse an eyesore. Appropriate entities in the County and Brighton should provide input as to whether they would even want this property before any positive weight is given to the proposed donation being an asset to be considered in the decision of issuing a Conditional Use Permit.

Slurry Walls – Slurry walls are typical for these water impoundments. They typically are a barrier which extends just below the ground surface down to bedrock which is intended to prevent water from entering or escaping from the impoundment. Ground water that is flowing through an area where a slurry wall is installed is then forced to seek alternative routes and typically rises closer to ground surface. Ground water in this general area is already high (relatively close to ground surface).

I am not a hydrologist but, given the number of existing impoundments in the area, adding slurry walls to the proposed mine site and installing the conveyor system under 168<sup>th</sup> Avenue (with slurry type wall that will be required) will result almost a solid barrier to ground water movement to the river which would extend from approximately Highway 7 north to approximately Weld County Road 6 almost certainly causing numerous issues (beyond those that already exist) with flow of ground water which



otherwise now goes into the river.

The reason I said "beyond those that already exist" is that numerous neighbors have had ground water issues develop. Such ground water issues are not the result of acts of nature – they are a result of changes caused by man made structures altering ground water flows. One neighbor had to spend approximately \$40,000 replacing their septic system because of rising ground water, another neighbor is also facing this issue and more than one neighbor has had basement or crawl space flooding. Mitigating the damage is not inexpensive and is coming out of residents pockets. To receive compensation from those causing the problem would involve tremendously expensive litigation and such a burden should not be placed on residents many of which have lived here longer than the impoundments have been here.

County representatives and the County Commissioners need to be certain that ground water issues and potential damage has been adequately addressed and that Aggregate and/or Aurora are accepting the liability for damages.

Yours truly,

B. Michl Lloyd

B. Michl Lloyd  
12202 East 168<sup>th</sup> Avenue  
Brighton, CO 80602  
303-659-4545

October 12, 2020

Adams County Community & Economic Development Department  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A  
Brighton, CO 80601-8218

Attention: Greg Barnes

RE: Comments on Aggregate Industries' Application for Conditional Use Permit  
Case Number EXG2020-00001 - "Tucson South"

Dear Mr. Barnes:

This letter is a supplement to my previous letters of September 3 and September 16, 2020 on the above referenced Conditional Use Permit Application. Following are two items I wanted to comment on.

Aggregate's Response to Certain Prior Comments - I still do not agree with Aggregate's conclusion that this project meets the criteria for a Conditional Use Permit and I firmly do not believe the area residents should have to bear the unfair burden for:

- Aggregate's failure to act on this mine for over 16 years and
- A project that in the short term has no net benefit for Brighton and ultimately is strictly for the benefit of Aurora – not Brighton.

**I am sending a separate letter addressing a very concerning issue I recently learned about concerning Aurora's utilization of water storage facilities.**

Comments Not yet Responded to - I sent a September 16 supplement to my original comment letter that Aggregate has not yet responded to. This supplement may not have been received in time for Aggregate's first round of responses. This supplement raised two issues:

- Whether Aggregate's proposed donation of property was at all meaningful and
- **The potentially devastating result of new slurry walls negatively impacting the flow of ground water into the Platte River between Highway 7 and WCR 6.**

Yours truly,

B. Michl Lloyd

B. Michl Lloyd  
12202 East 168<sup>th</sup> Avenue, Brighton, CO 80602, 303-659-4545

October 12, 2020

Adams County Community & Economic Development Department - Attention: Greg Barnes  
4430 South Adams County Parkway, 1<sup>st</sup> Floor, Suite W2000A, Brighton, CO 80601-8218

RE: Comments on Aggregate Industries' Application for Conditional Use Permit  
Case Number EXG2020-00001 - "Tucson South"

Dear Mr. Barnes:

I was recently informed of a condition regarding Aurora's use of water storage facilities that is a most concerning issue in connection with Aggregate's above application.

In my immediate Brighton area Aurora Water presently owns 3 substantial and adjacent reservoirs (1 in Adams County adjacent to the proposed mine and 2 across 168<sup>th</sup> Avenue in Weld County and they may own others that I am not aware of). Two of the three reservoirs are leaking and partially filled with ground water (not water supplied by Aurora). The third reservoir appears to be dry. I think the general public thinks that these reservoirs will soon be filled with water and although not great, will be able to be dealt with.

But alas – **NOT!** I was told that, when asked, **a senior official of Aurora Water informed a friend that it would be at least 10 to 15 years before any of these reservoirs would be used for water storage.** It is unbelievable that they would request another vast hole in the ground in essence adjacent to 3 that they already own that will sit empty for years!!!!!! If Aggregate's mine is granted a conditional use permit it will simply add to the hundreds of acres of vast holes in the ground in this area just outside of Brighton. I have not heard of any maintenance requirements once the pits are dug so it is hard to even imagine what type of eyesores, health hazards, weeds and numerous other types of hazards and negatives this situation will create for years to come.

I acknowledge that Aggregate is not responsible for Aurora's water storage use; however it is impossible to separate Aurora and Aggregate's interests in this project. As I have previously stated, Aggregate can sell the land to Aurora and Aurora can use it for unobtrusive water filtration.

I do not believe the citizens of the area are in any way responsible for Aggregate's profitability or their failure to act sooner. Also, the area in question is not part of Aurora nor is it in close proximity to Aurora. I realize part of Aurora is in Adams County, however I do not believe that Aurora has the right to impose on citizens outside of their jurisdiction and I do not believe those of us that are not citizens of Aurora should have to bear the responsibility and suffer the consequences of providing the area to store water that does not benefit us.

I wrote this as a separate letter because it is directed to an issue with Aurora and not necessarily Aggregate. Please share this letter with each of the County Commissioners.

Yours truly,

B. Michl Lloyd

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



JAMES  
MS

29 years  
RESIDENT

## Greg Barnes

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**From:** saxxon <saxxon@comcast.net>  
**Sent:** Saturday, January 30, 2021 8:42 PM  
**To:** Greg Barnes  
**Subject:** Gravel.mining permit

Please be cautious: This email was sent from outside Adams County

To be clear, I don't have a problem with gravel.mining or industry in general. We need the products, we need the jobs. As long as they keep the spillage off the roadway I don't mind it. It should include the latest mitigation for removing rocks from truck tires, windshields aren't cheap.

James Mapes  
Adams County (uninc)  
80603

Sent from Samsung Galaxy smartphone.

.....

# M&R CONCRETE, INC.

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

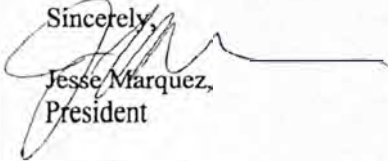
Dear Planning & Zoning Commissioners:

Our company, M&R CONCRETE, INC, located in Adams County, is a long-term partner of Aggregate Industries here in Colorado and we support their proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the permit because we know that the aggregate materials from this quarry will help build the critical infrastructure that is the centerpiece of our company's business.

In order to complete the construction projects we have here in the Denver Metro area, we need access to construction materials that the Tucson South quarry would offer. We look forward to having the opportunity to source the materials locally. It's an added advantage to the community that there will be a trail installed and water storage created.

Aggregate Industries is a reputable enterprise in Colorado. We ask you to approve the permit the company seeks so we can continue to partner with the company in Adams County.

Sincerely,



Jesse Marquez,  
President

.....

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Leo Navarro

25 years  
Resident



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Anthony McLead      Anthony McLead  
Resident of Adams Co. 40 yrs

## Greg Barnes

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**From:** Greg Barnes  
**Sent:** Friday, September 4, 2020 8:25 AM  
**To:** Greg Barnes  
**Cc:** Aaron Clark  
**Subject:** Tucson South - Public Comment

Wayne Medlin prefers the parcel south of Highway 7 stay with the Adams County Parks system, rather than the City of Brighton's system. He lives adjacent to the property.

[waynemedlin@hotmail.com](mailto:waynemedlin@hotmail.com) / 303-819-7884



### Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

**Beginning July 27, 2020, my work schedule is:**

Monday – Alternating weeks of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am – 4:30 pm

Fast Lane Trucking, LLC.  
1222 Magpie Ave  
Brighton, CO 80601  
(303) 579-8704

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners

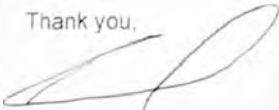
I am writing to request that the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc - Gravel Mining Area. We firmly support this permit because our company does business with the Platte valley facility currently and aggregate materials conveyed from this quarry will help keep our employees on the job. We operate 3 trucks daily out of this site and is vital to our operation.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process. We are locally from this area and see no reasons as to why it shouldn't be approved.

Having the construction materials available close to developments helps me to hold down my trucking expenses associated with hauling and delivering it to the job sites.

I appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Thank you,



Jean Mendoza

*MANN LAKES, LLC  
2027 West Colfax Ave  
Denver, CO 80204*

January 7, 2021

Board of County Commissioners  
Adams County  
4430 S. Adams County Parkway, Suite C5000A  
Brighton, CO 80601

Subject: Aggregate Industries Tucson South EXG2020-00001

Dear Board of County Commissioners,

Mann Lakes, LLC owns property at 11910 Brighton Road in Adams County and has been a business partner with Aggregate Industries for many years. Aggregate Industries is a reputable material supplier in the Denver market that provides quality materials in a safe, sustainable environment.

Mann Lakes, LLC supports Aggregate Industries' proposed mining permit EXG2020-0001 Tucson South Quarry to continue to provide quality aggregate materials for projects benefits Adams County and the Denver Metro Area.

Mann Lakes, LLC supports approval from the Board of County Commissioners for this permit. If you require any further information, please contact me at 303-472-9472 or via email [xmeritt@ceiconstructors.com](mailto:xmeritt@ceiconstructors.com)

Regards,



Xernie Meritt  
Manager  
Mann Lakes, LLC



BRINGING INFRASTRUCTURE TO LIFE

6880 SOUTH YOSEMITE COURT, SUITE 200  
CENTENNIAL, COLORADO 80112

TEL 303 290 6611 FAX 303 290 9141

January 11, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

On behalf of the Colorado Contractors Association's 300-plus members, we are writing to support the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. The Colorado Contractors Association (CCA) is the leading professional association for infrastructure construction professionals across the state, bringing infrastructure to life through the power of advocacy, education and training and partnerships.

Founded in 1933, CCA has evolved into Colorado's leading unifying voice and champion for Colorado infrastructure, serving as an essential partner to more than member firms and owner agencies as well as an influential catalyst and thought leader in securing infrastructure investments, advancing innovative practices, growing the industry, protecting industry interests, and advancing the future of quality infrastructure in our state.

Today, Colorado's infrastructure matters more than ever before because as Colorado continues to grow, the need for dependable, reliable, and efficient infrastructure systems, networks and connections has never been greater. From the water we drink and the roads we drive, to the freedoms we enjoy as we explore this beautiful state by air, land, or rail – nothing happens without infrastructure. Our members are a diverse, dedicated, and talented group who work together to enhance Colorado lives, industries and economies through the power of infrastructure.

Aggregate Industries is a member of CCA and we appreciate the company's engagement and involvement in our organization and in the state of Colorado's infrastructure development.

The permit for Aggregate Industries at Tucson South is important to the company and all of our members so that we have a reliable source of materials for the projects we are supporting.

Colorado Contractors Association members look forward to hearing that the Adams County Board of County Commissioners has approved the Aggregate Industries' Tucson South mining permit.

Sincerely,

A handwritten signature in black ink that reads 'Tony Milo'.

Tony Milo  
Executive Director  
Colorado Contractors Association



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

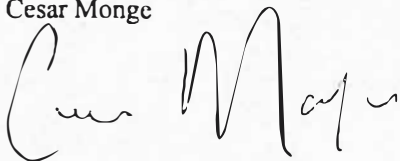
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. I have been with the company just little over a year, but my dad for 27 years and counting. Me being an Adams County resident my whole life, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

My time with Aggregate Industries I have learned that Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,  
Cesar Monge

A handwritten signature in black ink, appearing to read "Cesar Monge". The signature is written in a cursive style with a large initial "C" and "M".



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

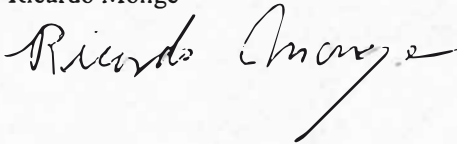
Dear Commissioners:

As an employee of Aggregate Industries for over 27 years, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Being an Adams County resident for over 35 years, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. With Aggregate Industries being a good company, over a year ago my son decided to join Aggregate Industries team here in Adam County. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,  
Ricardo Monge

A handwritten signature in black ink that reads "Ricardo Monge". The signature is written in a cursive style with a long, sweeping underline that extends to the right.



## Greg Barnes

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**From:** Michelle Monk <mickedymonk@yahoo.com>  
**Sent:** Tuesday, January 12, 2021 2:12 PM  
**To:** Greg Barnes  
**Subject:** opposed to proposed mining at Tucson South

Please be cautious: This email was sent from outside Adams County

Hello,

I'm writing to express my concerns about the proposed mining site at Tucson South Gravel Pit (case number EXG2020-00001).

I am opposed to the proposed location for the following reasons:

1. The area surrounding the proposed site is NOT compatible with a gravel pit. The entrance to the city of Brighton should be welcoming and have businesses that can bring dollars to the city of Brighton and Adams County.
2. I am very concerned about the production and distribution of silica dust, which is a hazard. The winds in this area are very strong and come often - I do not believe the dust generation will be able to be controlled.
3. The increased traffic and trucks will be a major danger and inconvenience while trying to get into Brighton. That entrance to Brighton is already often backed up. This added traffic issue will likely deter folks such as myself from choosing to go spend our money in Brighton. We currently live in between Thornton and Brighton. I have always chosen to drive to Brighton because I prefer the feel of Brighton over Thornton and I want to support Brighton. Making it harder to get into Brighton may drive folks like myself away from spending our time/money in Brighton.
4. The proposed location is a prime location and could be something great! Anything from more businesses to public spaces. The end result of these mining pits will not be useable land that the public can enjoy/use.
5. How is anything benefiting Adams Co. / Brighton if everything is for Aurora and going into Weld County? Again - a prime location such as this should contain something that will directly benefit the surrounding areas in a major way - not just a statement that "products will come back to Adams County".
6. The duration is not acceptable. The proposed eight years is too long, and I do not believe it will be done within that timeframe based on the same promise to surrounding areas being made and then broken again and again. This site has too great of an impact to the surrounding area to be on-going for 8-20 years.
7. Being in unincorporated Adams County between Thornton and Brighton, we already have long response times for any support we need (fire, police, etc.). Should any

support for our emergencies be coming from that direction, there will be even greater risk/chance of longer delays with the increased truck traffic.

Overall, I want to voice my great concern and disapproval of this proposed mining gravel pit. Please consider the voices of so many of us who are greatly concerned about this when casting your vote!

Thank you for your time and consideration,  
Michelle

## Greg Barnes

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**From:** Christy Montoya <christy.montoya@me.com>  
**Sent:** Tuesday, August 25, 2020 4:39 PM  
**To:** Greg Barnes  
**Subject:** Tucson South EXG2020-00001 Comment

Please be cautious: This email was sent from outside Adams County

Hi Mr. Barnes,

This email is in reply to the letter dated 8/13/2020, Request for Comments.

Please do not approve the conditional use permit to allow extraction use for Aggregate Industries, EXG2020-00001. There is too much drilling, fracking, excavation, water pipeline installation (RCU2020-00004) contained within a very small area. How much more are all the people that live in the immediate neighborhoods going to be subjected to?

Adams County was once beautiful with open space and farm land. Not anymore, corporations such as Aggregate Industries continue to suck all they can out of the earth with promises of air quality monitoring, donation of land for "open space" and a "dust complaint hotline" then move on to the next site to subject more people to their pollution. A hotline to complain about dust says it all!!! Currently, we can't open our windows due to the frack site right behind our house, if approved the Aggregate extraction and conveyor belt pollution will be even worse; in addition to the dust there will be noise pollution! Who regulates that? Who is going to respond to complaints? Aggregate Industries? If so, that's an absolute JOKE!! What's worse is the joke will be on all the neighboring families who live in close proximity to the extraction site.

It should be a requirement for the applicant, Chance Allen and his family, to move into a house next door to the Tucson South extraction site in order to get the permit approved. That way he could experience first hand all of the false promises Aggregate Industries has included in their application.

Please include my comments verbatim.

Furthermore, please forward the staff report and notice of public hearing dates upon completion, via email or USPS. If unable to send, I'll come pick them up.

Thank you,  
Christy Montoya

## Greg Barnes

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**From:** Mike Moore <Mike\_Moore64@hotmail.com>  
**Sent:** Tuesday, January 12, 2021 3:10 PM  
**To:** Greg Barnes  
**Subject:** Tucson South Gravel Pit (EXG2020-00001)

Please be cautious: This email was sent from outside Adams County

I'm writing to express my concerns about the proposed mining site at Tucson South Gravel Pit (case number EXG2020-00001).

I am opposed to the proposed location for the following reasons:

1. I am concerned about the production and distribution of silica dust, which is significant health hazard. The prevailing winds in the Brighton area would make the containment of this dust almost impossible, causing some level of risk to the residents of the area.
2. There is not sufficient roadway infrastructure to support the increase in traffic and large trucks entering and leaving the area. This would make it more difficult for local residents to commute to Brighton business to accommodate the need for groceries and entertainment. This would have a negative impact on Brighton revenue and traffic accidents.
3. The proposed location is more suited to expand local business footprint and/or public recreation areas. Once done with mining activities, the gravel pits would need to have environmental mitigation and work to leverage for other uses, creating a hurdle to repurpose the location for future business/public use.
4. There does not seem to be a direct business or financial value to allowing the mining operation in this area. If there are negative impacts to the environment, residents and businesses, it would stand to reason that Brighton or Adams county should at least have some level of financial reward, but in this case, there does not seem to be.
5. The duration is not acceptable. The proposed eight years is too long, and I do not believe it will be done within that timeframe based on the same promise to surrounding areas being made and then broken again and again. This site has too great of an impact to the surrounding area to be on-going for 8-20 years. In addition, I can see this type of mining with known "cancer causing" silica dust resulting in potential law suits due to long-term side affects that are currently unforeseen.
6. Being in unincorporated Adams County between Thornton and Brighton, we already have long response times for any support we need (fire, police, etc.). Should any support for our emergencies be coming from that direction, there will be even greater risk/chance of longer delays with the increased truck traffic.

7. The area surrounding the proposed site is NOT compatible with a gravel pit. This area is the entrance to the city of Brighton, which would detract from the city's aesthetics, thus detracting from business traffic and revenue.

Overall, I want to voice my great concern and disapproval of this proposed mining gravel pit. Please consider the voices of so many of us who are greatly concerned about this when casting your vote!

Thank you for your time and consideration,

Mike Moore

## Greg Barnes

---

**From:** Greg Barnes  
**Sent:** Thursday, August 20, 2020 11:08 AM  
**To:** Greg Barnes  
**Cc:** Matthew Emmens; Katie Keefe; Gail Moon  
**Subject:** Phone Comments: Wayne Mueller on Tucson South (EXG2020-00001)

FYI - I had a phone conversation with Wayne Mueller (wmuhler@yahoo.com) on the morning of August 20, 2020.

- Has concerns about reclamation and end use.
- Wants assurance that end product will actually be a water reservoir
- Believes the current site is not being controlled for weeds. (See Page 20 of application)
- Believes a high water table in the area may present flooding issues for conveyor location.
- Has concerns that the mining process is not wet mining, like what is being claimed. Suggests that we evaluate if mining practices are appropriate. Dredging operations may be more expensive but will create less off-site impacts.
- Has concerns about the duration being 8 years from the conveyor being operational.
- Additional concerns that the operator does not have a great track record of compliance



### Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 [gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

[adcogov.org](http://adcogov.org)

### Beginning July 27, 2020, my work schedule is:

Monday – Alternating weeks of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am – 4:30 pm

## Greg Barnes

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**From:** Michael Naeger <mnaeger1@gmail.com>  
**Sent:** Tuesday, February 2, 2021 6:30 AM  
**To:** Greg Barnes  
**Subject:** Board of County Commissioners Hearing -Gravel Mining along Brighton's West Gateway.

Please be cautious: This email was sent from outside Adams County

Board of County Commissioners Hearing

**I support property rights and the** Gravel Mining along Brighton's West Gateway.

--

Michael Naeger  
14746 Ulster Loop  
Thornton, CO 80602



## Greg Barnes

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**From:** Newman, Paul <Paul.Newman@Zachrycorp.com>  
**Sent:** Wednesday, February 3, 2021 9:54 AM  
**To:** Greg Barnes  
**Cc:** 'Lynn Newman'  
**Subject:** Aggregate Industries Tucson Site - Conditional Permit

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes

I write this email to convey our objection and opposition to granting the Conditional Use Permit to Aggregate Industries for the Tucson Site in Brighton CO.

This proposed Mining Operation is not compatible with the surrounding area. With it being in an Environmentally Sensitive area along the Platte River, it is not in the best interest of the environment nor the local residents or the City of Brighton. I have been involved in the aggregate industry during my career and have the following concerns that in my opinion have not been addressed and or once the project is in operation will not be enforced.

Major concerns:

1. Dust is a major problem with all Mining Operations. Since this operation is proposed to be mined in the dry, it will produce large clouds of dust on a daily basis. The wind in the Brighton area can be consistent and at high velocity and will raise large clouds of dust on an open dry pit even when mining operations are not operating. This will occur for 10 years!!! The erosion control mitigations I read will not prevent this.
2. Noise pollution is also a major concern. Heavy equipment along with the proposed Conveyor system will produce a steady noise level that will degrade the enjoyment of our surrounding community. The conveyor system is of particular concern as after they have run for several months/years they will get noisier and noisier over time as the system ages. This dull noise will last for 10 Years!!! These operations should not be allowed to Operate from 7 am to 7 pm. They should only be allowed during normal work hours, say 8 am to 5 pm Mon thru Friday.
3. The installation of a Slurry Wall will permanently effect the natural flow of groundwater in this area. Has this aspect (which is permanent) been truly studied for its long term effects? This will not become a "natural waterway" as purported, but rather a "holding tank" for water to be pumped in and out of.
4. Route 7 is a "Gateway into the City of Brighton" and what residents, visitors and prospective residents will see is a "Mining Pit" for 10 years, so let's not gloss over what this will look like. Has anyone truly assessed how this visual will set the city back in terms of good development and the natural beauty of the Platte River Waterway that Brighton residents and the surrounding communities have tried so hard to preserve?
5. I did not read how Aggregate Industries will improve/widen exiting/adjacent roadways to accommodate the added traffic of employees/service vehicles/delivery vehicles/maintenance vehicles and heavy equipment?
6. The proximity of this site to wetlands and environmentally sensitive area will affect the local wildlife habitat/water quality/noise pollution/air pollution for at least the next 10 years. This is why we want

this natural resource to remain as is or at least to be developed in the most responsible way possible, and a Mining Pit is not one of those.

7. The Comp-Plan for this area is to preserve as Agriculture and or to preserve in an environmentally and socially acceptable way. A Mining pit does not meet that criteria and is the opposite of that, especially in close proximity to the Platte River Basin.
8. I'm not sure why City of Brighton did not oppose this Project as it brings no value to the community. The spirit of Social/Environmental Justice of any major project in a community is to balance the impacts both environmentally/visually and noise level impacts to its residents vs the collective gain of that community. I do not see any gain for our community out of this project with the exception of possibly some additional employment. The negative impacts of this project far outweigh the benefits to our community.

Please reconsider the Issuance of this Conditional Permit, or at least request that this be further studied for the concerns that have been raised.

Regards

**Paul Newman, DBIA**

M 303.961.9908

11032 E 162<sup>nd</sup> Pl

Brighton, CO 80602

[Pnewman495@aol.com](mailto:Pnewman495@aol.com)



Date: January 7, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Re: Support of the Aggregate Mining Industry in the State of Colorado

Dear Adams County Planning & Zoning Commission,

I am writing you today on behalf of the Colorado Stone, Sand & Gravel Association (CSSGA) regarding the Tucson South proposed permit with Aggregate Industries, Inc. CSSGA is a Colorado based not for profit organization representing the interests of the entire Colorado aggregate mining industry. Founded in 1956, CSSGA is a member driven organization that works with state and local governments, regulatory agencies, and the Colorado community to continue improving the aggregate mining industry. CSSGA supports the opening and/or expansion of mine sites to meet the demands for material supply in our state.

Aggregate materials are the backbone of Colorado's infrastructure and economy. These materials are used in most building and road construction projects which are vital to the state's infrastructure. The consumption rate for construction aggregates is approximately 11 tons per capita per year in the state of Colorado. While citizens may not purchase aggregate directly, it is consumed in the construction of projects such as homes, schools, churches, bike lanes, mass transit, sidewalks, wind and solar farms, and roadway expansion and repairs. The roadway expansion and repairs directly affect all citizens allowing for ease of travel and shipments of goods and services to places like stores and restaurants in our communities. The local mining of construction aggregates benefits us all.

The aggregate mining sector is an important contributor to the Colorado economy. Colorado aggregate producers directly employ approximately 2,000 individuals throughout the state, with indirect employment impacting over 3,735 individuals. The jobs created by the aggregate mining industry are well above the national average salary of \$61,589 reaching \$75,129. With these factors in mind, the industry contributes \$6,385 on average in direct tax revenue per employee on an annual basis and contributes approximately \$10 million to the Colorado economy annually. Supporting mining expansion supports the local and state economy.

The aggregate mining industry is highly regulated to protect the health, safety, and wellbeing of both employees and citizens. From the start of the permitting process through reclamation, operators are required to abide by regulations set forth by the Environmental Protection Agency, Colorado Department of Health and Environment, Mine Safety and Health Administration, Colorado Division of Reclamation Mining and Safety, Colorado Department of Water Resources, and numerous other agencies. These regulations keep surrounding citizens and operational staff safe while providing industry oversight.

For these reasons, CSSGA supports projects like the Tucson South site as a logical approach that will help meet the growing demands of our industry in a responsible manner. If you have any questions, please feel free to contact CSSGA at 303.290.0303 or [cssga.org](http://cssga.org).

Sincerely,

A handwritten signature in black ink, appearing to read "Todd R. Ohlheiser", with a long horizontal flourish extending to the right.

Todd R. Ohlheiser  
Executive Director, Colorado Stone, Sand & Gravel Association



COLORADO READY MIXED CONCRETE ASSOCIATION

January 8, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Adams County Planning & Zoning Commission,

On behalf of the Colorado Ready Mixed Concrete Association (CRMCA), I am writing to indicate the associations support for the proposed Tucson South site permit, by Aggregate Industries Inc. Our organization consists of 150 members, and aggregate materials such as those proposed for mining under this permit are vital to our industry and the region's growth that we help build.

Without the type of aggregate resources that Aggregate Industries proposes be extracted from Tucson South, the cost of building materials for the region's growth would likely be more expensive. Having a local source of aggregates is important so that costs for hauling such materials remain at an affordable level.

These mining and material supply sites are highly regulated to protect the health, safety, and wellbeing of both employees and citizens. From the start of the permitting process through reclamation, operators are required to abide by regulations set forth by the Environmental Protection Agency, Colorado Department of Health and Environment, Mine Safety and Health Administration, Colorado Division of Reclamation Mining and Safety, Colorado Department of Water Resources, and numerous other agencies. These regulations keep surrounding citizens and operational staff safe while providing industry oversight.

For the reasons listed, CRMCA strongly supports projects like the Tucson South site as a logical approach that will help meet the growing demands of our industry.

Sincerely,

Todd R. Ohlheiser  
Executive Director  
Colorado Ready Mixed Concrete Association



## Greg Barnes

---

**From:** Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>  
**Sent:** Saturday, August 29, 2020 3:02 PM  
**To:** Greg Barnes  
**Cc:** Mary Jane Olsavsky  
**Subject:** Comments on proposal....Tuscon South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

**WE DO NOT WANT A MINING PIT OPERATING FROM 7 am-7pm 6 DAYS A WEEK! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA. NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE. LOOK AT THE RECORD OF THIS COMPANY AND THEIR RECORD OF COMPLETING PROJECTS ON TIME. EIGHT YEARS WILL TURN INTO 20 YEARS!**

**We are not a town. Todd Creek is more like a village. We moved out here to get away from the city and enjoy our space. There are homes along Riverdale and Hwy 7 that would be drastically affected by this. Also, do we really want a gravel pit to be the welcome view into Brighton?**

**My husband and I retired and built here. One of the most wonderful things about living here is the peace and quiet. When city dwellers come to visit you can just see some invisible power bathe them with peacefulness. With so much development everywhere now, our area is like a precious jewel that should not be tarnished.**

**The proposed mine would be one-half mile from our home. It is obvious to me that the entire fabric of our lives here would be ripped to shreds. If we could bring ourselves to sell our Dream Home, the property value would be ridiculous.**

**I have been reading the comments from local citizens who oppose the Gravel Pit Mining Proposal on Hwy 7 the CO2 emissions from construction trucks, the air pollution, the water pollution and danger to our Wild and Scenic designated Area, and the obliteration of our wildlife habitat.**

**And regarding the danger of fire, our area gets drier every year and I live every day in summer and early fall with a nagging fear of forest fire. We often spend a few days breathing smoke from fires somewhere in the mountains. Even now after a dry winter it is dry enough to be a high fire danger. Mining operations and large trucks can spark fires easily.**

**Thanks for your consideration,**

**Mary Jane Olsavsky**

## Greg Barnes

---

**From:** Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>  
**Sent:** Tuesday, February 9, 2021 7:27 PM  
**To:** Greg Barnes  
**Subject:** 2/11 planning comm

Please be cautious: This email was sent from outside Adams County

Greg - When will the agenda for the 2/11 planning comm meeting be posted

MJO

## Greg Barnes

---

**From:** Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>  
**Sent:** Thursday, February 11, 2021 10:42 AM  
**To:** Greg Barnes  
**Subject:** New Comments on proposal....Tuscon South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

**VOTE NO: THIS proposal is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.**

**(An industrial activity/gravel mine doesn't belong sandwiched between the downtown district and the residential homes to the west).**

**WE DO NOT WANT A MINING PIT OPERATING FROM 7 am-7pm 6 DAYS A WEEK! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA, noise, dust, health risk and blight.**

- 1) NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE.**
- 2) The 10 - 50 mph winds we have in this area will move the silica and dust!!!**
- 3) LOOK AT THE RECORD OF THIS COMPANY AND THEIR RECORD OF COMPLETING PROJECTS ON TIME in WESTMINSTER, EIGHT YEARS THERE HAS TURN INTO 20 YEARS! It also had an 8 year project timeline & uses conveyors.**



## Greg Barnes

---

**From:** Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>  
**Sent:** Thursday, February 11, 2021 10:42 AM  
**To:** Greg Barnes  
**Subject:** New Comments on proposal....Tuscon South EXG2020-00001

Please be cautious: This email was sent from outside Adams County

**VOTE NO: THIS proposal is not compatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.**

**(An industrial activity/gravel mine doesn't belong sandwiched between the downtown district and the residential homes to the west).**

**WE DO NOT WANT A MINING PIT OPERATING FROM 7 am-7pm 6 DAYS A WEEK! THIS WILL DISRUPT OUR NEIGHBORHOOD WHICH IS OVERLOOKING THE PIT AREA, noise, dust, health risk and blight.**

- 1) NO FENCE ALONG HIGHWAY 7 WILL PREVENT THE NOISE FROM REACHING US IN TODD CREEK RIVERSIDE.**
- 2) The 10 - 50 mph winds we have in this area will move the silica and dust!!!**
- 3) LOOK AT THE RECORD OF THIS COMPANY AND THEIR RECORD OF COMPLETING PROJECTS ON TIME in WESTMINSTER, EIGHT YEARS THERE HAS TURN INTO 20 YEARS! It also had an 8 year project timeline & uses conveyors.**

## Greg Barnes

---

**From:** Kay Olsen <kinden14@yahoo.com>  
**Sent:** Tuesday, August 25, 2020 2:05 PM  
**To:** Greg Barnes  
**Subject:** Gravel Pit Hwy 7

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

As a citizen of Brighton, I would like to register my disapproval of the creation of a gravel pit/mine anywhere near our city. The noise, pollution, and traffic may have been manageable 10 years ago, but with our higher population density, it is not, in my opinion, a worthwhile endeavor.

Although I don't have a geographic/geologic map available, I find it hard to believe that there are not more suitable locations for this. Perhaps 20 miles out of town east/north? I have a family member with an immune disorder that involves the lungs; this would be a real and present danger to his health.

Please consider the human factor, not the money factor, when making your decision.

Best regards,

Kay Olsen  
303-909-9525

## Greg Barnes

---

**From:** Manuel Ornelas <manuelmds@comcast.net>  
**Sent:** Monday, September 7, 2020 9:56 PM  
**To:** Greg Barnes  
**Subject:** BRIDGE A. LTD AND BRIDGE B. LTD COMMENTS  
**Attachments:** scan0003.pdf

Please be cautious: This email was sent from outside Adams County  
Case Name: Tucson South  
Case Number: EXG2020-00001

Mr. Barnes,

This is on behalf Of: BRIDGE A. LTD 75 WEST BRIDGE ST. BRIGHTON CO and BRIDGE B. LTD 115 WEST BRIDGE B. LTD

- 1- What are the proposed distances of excavations West and East of the River and how deep?
- 2- What are the proposed distances of excavation South and North of Highway 7 and how deep?
- 3- What is the proposed distance of installation of the conveyor system West and East of River?

Please let us know

Thanks,

Manuel Ornelas

manuelmds@comcast.net

## Greg Barnes

---

**From:** Maureen OWENS <maureen.owens@lafargeholcim.com>  
**Sent:** Friday, February 5, 2021 6:26 AM  
**To:** Greg Barnes  
**Subject:** Tuscon South

Please be cautious: This email was sent from outside Adams County

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Tucson South. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed reservoir to provide water for the City of Aurora.

Aggregate Industries is a great corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Have a wonderful weekend,

Maureen Owens  
Scale Operator  
Aggregate Industries US  
West Central Region  
Morrison Quarry  
18131 Colorado Hwy 8  
Morrison, CO 80465  
Scalehouse: 303-697-5770 Option 2  
Fax: 303-697-4676  
Dispatch: 303-987-1234  
[maureen.owens@lafargeholcim.com](mailto:maureen.owens@lafargeholcim.com)  
[www.lafargeholcim.us](http://www.lafargeholcim.us)

A member of LafargeHolcim

# Pacheco Construction Products, Inc.

4801 E. 60<sup>th</sup> Ave.  
Commerce City, CO 80022

January 7, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning & Zoning Commissioners:

My Company, Pacheco Construction Products is located off 60<sup>th</sup> and Vasquez in Commerce City. We produce precast concrete materials for the transportation market. We have been purchasing our concrete exclusively from Aggregate Industries since our inception in 2008.

Pacheco Construction Products is a long-term partner of Aggregate Industries here in Colorado and we support their proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the permit because we know that the aggregate materials from this quarry are a vital part of the concrete we bring into our plant every day.

In order to provide Precast Concrete materials to the construction projects we have here in the Denver Metro area, we need access to construction materials that the Tucson South quarry would offer. We look forward to having the opportunity to source the materials locally. It's our understanding that the quarry would provide trails for families to use and would create much needed water storage. Both significant assets to the community we work in and own property in.

My Company values the relationship we have built with Aggregate Industries. They are a reputable enterprise in Colorado. We ask you to approve the permit the company seeks so we can continue to partner with the company in Adams County.

Respectfully,

*David Pacheco*

David Pacheco  
President  
Pacheco Construction Products, Inc.



January 8, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning & Zoning Commissioners:

Our company, IHC Scott, Inc. (formerly Scott Contracting, Inc.), located at 9200 E. Mineral Ave., #400, Centennial, Colorado 80112, is a long-term partner of Aggregate Industries in Colorado and we support their permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the proposed pit permit because we know that the aggregate materials from this location will be critical to building the infrastructure that is a centerpiece of our company's business, particularly in the Front Range.

In order to complete our construction projects in the Denver Metro area, we need access to construction materials such as those the Tucson South quarry would provide. We look forward to the addition of another local source for these materials, which will only strengthen Colorado's construction industry, and further benefit the community with the addition of a trail and new water storage.

Aggregate Industries is a reputable enterprise in Colorado, and we are confident they will successfully operate the proposed pit well above required standards, and this site will only add value to the community.

Sincerely,

Sincerely,  
IHC SCOTT, INC.

A handwritten signature in blue ink, appearing to read "Cody Patterson", written over a light blue horizontal line.

Cody Patterson  
Director of Pre-Construction



**Creating Beautiful Landscapes™**

January 6, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning & Zoning Commissioners:

Our company, Pavestone LLC, located at 9401 E. 96<sup>th</sup> Avenue, Henderson, CO is a long-term partner of Aggregate Industries here in Colorado and we support their proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the permit because we know that the aggregate materials from this quarry will help build the critical infrastructure that is the centerpiece of our company's business.

In order to continue the manufacturing of concrete products for customers in the Denver Metro area, we need access to construction materials that the Tucson South quarry would offer. Without it, we are forced to travel further north along US 85, increasing both our freight costs but also the impact our tractor trailers have on our roads and highways. We look forward to having the opportunity to source the materials locally.

Aggregate Industries is a reputable enterprise in Colorado. We ask you to approve the permit the company seeks so we can continue to partner with the company in Adams County.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Midyett".

Michael Midyett  
The Quikrete Companies  
VP-Sales/Ops Mountain West HMG



Adams County Commissioners and Planners;

I have a special favor to ask, Please, once again vote NO on the Gravel Mining request by Aggregate Industries/LafargeHolcim, located on Highway 7 immediately adjacent to the West of what we Brightonians consider the Gateway to our city.

We are proud, being the County Seat of Adams County, but emphatically object to a long-term project that doesn't in anyway benefit our Community, Citizens or Businesses.

I can't even imagine the traffic nightmares that would be created, since we have grown to more than 42,000 in population. The conditional use, as I understand it, is NOT compatible with the surrounding area, and NOT harmonious with the character of the neighborhood.

It would be DETRIMENTAL - to the immediate area; to the future development of the area; AND to the health, safety, and welfare of the inhabitants of this area in YOUR County!

Aurora needs to look east of their city instead of creating a nightmare project affecting us, since only a small portion of it's city is in Adams.

Thank You for your learned thoughtfulness.

Respectfully, Jan Pawlowski, Former Brighton Mayor and  
Adams County Commissioner

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



40 WRS  
Adams  
Resident

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an Aggregate Industries Plant Manager here in Brighton, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,



Mark Ramos  
13491 Birch way  
Thornton CO. 80241  
Adams County resident for 53 years

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

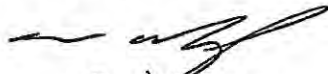
Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

  
Maria Rodriguez  
30 years Resident of Adams County

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

Luis Rodriguez C.

I been a Resident of  
Adams County for Five Years  
LERC.

Quick Haul Trucking, LLC

PO. Box 655

Hudson, CO 80642

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning and Zoning Commissioners:

Our company Quick Haul Trucking is writing to request that the Adams County Board of County Commissioners approve the proposed permit EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. We firmly support this permit because our family company does business with the Platte valley facility currently and aggregate materials conveyed from this quarry will help keep our employees on the job. We operate 10 trucks daily out of this site and is vital to our operation. We are also local to this area and completely support this permit.

The Tucson South quarry will be an important location for local, economical construction materials. We understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process.

Having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,



Yesenia Salinas

## Greg Barnes

---

**From:** Kay Sears <searskay@comcast.net>  
**Sent:** Saturday, January 9, 2021 9:28 PM  
**To:** Greg Barnes  
**Subject:** Gravel mining

Please be cautious: This email was sent from outside Adams County

Please do not allow this to happen in our neighborhood!

Kay Sears

Sent from my iPhone



## Greg Barnes

---

**From:** JENNIFER SEMROSKA <jsemroska@msn.com>  
**Sent:** Thursday, January 14, 2021 3:29 PM  
**To:** Greg Barnes  
**Subject:** Gravel Mining

Please be cautious: This email was sent from outside Adams County

I understand there is a meeting this evening for the planned gravel mining for the city of Aurora. As a resident of Brighton for the last 20 years, I would say this should be a hard pass. I'm not sure why this is even being considered. It seems like Adams County turn this down once... I don't understand why it is being brought up a second time.

This would be a huge eyesore for the city of Brighton, and frankly I would think there would be so many other possibilities for this land... Things that would beautify and better the city.

Please vote no on this proposed issue. Do it for the citizens of Brighton.

Thank you!

Jen Semroska  
City of Brighton resident

Sent from my iPhone

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely, *I have been a resident of Adams County for 33 years.*

  
Jose Sierra

## Greg Barnes

---

**From:** Marilyn <MS@spickler.net>  
**Sent:** Monday, January 11, 2021 5:48 PM  
**To:** Greg Barnes  
**Subject:** gravel pit

Please be cautious: This email was sent from outside Adams County

Dear sir,

I am completely against AI's new request for the gravel mining project near Brighton's entrance from CO Highway 7.

We frequently drive into Brighton to shop and enjoy our local restaurants. It would be heartbreaking to have this environmental disaster on our city's doorstep.

I am seriously concerned about the loss of income to the local businesses due to this eyesore.

Please do not allow this travesty to move forward.

Thank you for your consideration.

Sincerely,

Marilyn Spickler  
8480 E 160th Pl  
Brighton, CO

Sent from my Verizon, Samsung Galaxy smartphone

## Greg Barnes

---

**From:** Sandra Stockey <sanstockey@sbcglobal.net>  
**Sent:** Tuesday, January 12, 2021 11:55 AM  
**To:** Greg Barnes  
**Subject:** Mining Pits

Please be cautious: This email was sent from outside Adams County

**NO to Gravel Mining Pits at Brighton's West Gateway. Not compatible with the town of Brighton and Adams County.**

**Sandra Stockey**

## Greg Barnes

---

**From:** Della Thompson <JATDT@msn.com>  
**Sent:** Wednesday, August 26, 2020 10:30 AM  
**To:** Greg Barnes  
**Subject:** RE: HWY 7 mining and traffic

Please be cautious: This email was sent from outside Adams County

Thank you for your response. I have one more concern:

HWY 7 needs to be widened from at least Colorado Blvd to HWY 85. The county needs to hold businesses accountable to provide some if not all funding for roads in Adam's County. Taxes go up but no major structural improvements are being done, including bridges.

If this is not in line with your responsibilities, please route to correct department.

However roads on HWy 7 and Road 2 are in need of widening.

Note land on Road 2 by Sacks land will be covered with houses. It seems visionary to widen Road 2 while space is still available and houses are not built up to the road.

Sincerely,

Della Thompson

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Greg Barnes <GJBarnes@adcogov.org>  
**Date:** 8/26/20 9:45 AM (GMT-07:00)  
**To:** Della Thompson <jatdt@msn.com>  
**Subject:** RE: HWY 7 mining and traffic

Thank you for providing comments on this case. At the end of the referral period, all comments received will be shared with the applicant, and they will be asked to provide a response. You will be notified when the County receives their response to your comments.

Your comments will also be shared with the Planning Commission and Board of County Commissioners when the project goes to public hearings. The County will send you a notification letter when the hearings are scheduled.

Greg Barnes  
Planner III, Community and Economic Development Dept.  
ADAMS COUNTY, COLORADO  
4430 S. Adams County Parkway, 1st Floor, Suite W2000A  
Brighton, CO 80601-8216  
720.523.6853 gjbarnes@adcogov.org  
adcogov.org

Beginning July 27, 2020, my work schedule is:  
Monday - Alternating weeks of 7 am - 3:30 pm and off  
Tuesday - Friday - 7 am - 4:30 pm

-----Original Message-----

From: Della Thompson <jatdt@msn.com>  
Sent: Monday, August 24, 2020 7:10 PM  
To: Greg Barnes <GJBarnes@adcogov.org>  
Subject: HWY 7 mining and traffic

Please be cautious: This email was sent from outside Adams County

Dear Mr Barnes,  
My concern is the traffic with semi hauling equipment.

I understand currently drivers are paid per load. I believe this is a dangerous practice.  
This encourages drivers to speed. No matter what route is approved, the danger exist when they access HWY 7 or Road 2, then on to HWY 85 to go to a specified destination via many other roads.

Please make this one major topic on the agendas.

Sincerely,  
Della THOMPSON  
10561 East 158th CT  
Brighton, CO 80602  
720 254 7162  
Sent from my iPad

5460 Tennyson Street  
Denver CO 80212

**BUILD  
WITH CONCRETE FOR  
A BETTER TOMORROW**



Phone: 303-458-1298

Fax: 303-458-1424

**BUILD  
THE FUTURE OF  
TOMORROW NOW!**

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Planning & Zoning Commissioners:

Our company, Thoutt Bros. Concrete Contractors Inc., located at 5460 Tennyson St. Denver, CO 80212 is a long-term partner of Aggregate Industries here in Colorado and we support their proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area in Adams County. We support the permit because we know that the aggregate materials from this quarry will help build the critical infrastructure that is the centerpiece of our company's business.

In order to complete the construction projects we have here in the Denver Metro area, we need access to construction materials that the Tucson South quarry would offer. We look forward to having the opportunity to source the materials locally. It's an added advantage to the community that there will be a trail installed and water storage created.

Aggregate Industries is a reputable enterprise in Colorado. We ask you to approve the permit the company seeks so we can continue to partner with the company in Adams County.

Sincerely,

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Bryce Thoutt  
V.P. Of Operations



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

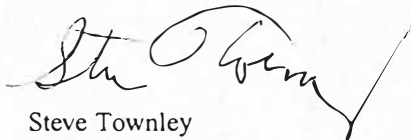
Dear Commissioners:

As an employee of Aggregate Industries for 25 years, my wife and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family's welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Townley", with a stylized flourish at the end.

Steve Townley

## Greg Barnes

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**From:** briant80514@gmail.com  
**Sent:** Saturday, January 30, 2021 6:51 AM  
**To:** Greg Barnes  
**Subject:** Gravel Pits

Please be cautious: This email was sent from outside Adams County

Mr Barnes,

I wanted to write in opposition of the gravel mining proposal along Hwy 7 just west of Brighton. I don't see how this benefits our area and will only create more pollution, dust and only creates an eyesore for our community. If you want an example look at the current state around the existing mined out gravel pits. While I generally support industry I just don't see how this can be viewed as a good thing for the residents or the community.

Regards,

Brian Travis  
6815 E 167th Ave  
Brighton, CO 80602

Regards,

Brian Travis  
President  
Eaton Sales & Service LLC  
(303) 296-5706

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

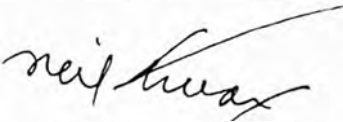
Dear Commissioners:

As an employee of Aggregate Industries for 20 years, my wife and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in black ink that reads "Neil Truax". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Neil Truax

## Greg Barnes

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**From:** DML Vollmer <dmlvollmer@comcast.net>  
**Sent:** Thursday, January 14, 2021 1:59 PM  
**To:** Greg Barnes  
**Subject:** TUSCAN SOUTH GRAVEL PITS

Please be cautious: This email was sent from outside Adams County

Hello Greg Barnes,

We have looked over the proposed Tucson South Gravel Pits. We are very concerned because of the close proximity to Veterans Park.

We love the Park and take our grandchildren there and feel their health as well as ours would be endangered with the pollution coming from the area.

So we are opposed to this operation.

Don & Mary Lou Vollmer  
15109 Verbena St  
Brighton Co 80108

## Greg Barnes

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**From:** Debbie W <dj019283@gmail.com>  
**Sent:** Thursday, September 3, 2020 8:36 AM  
**To:** Emma Pinter; Eva Henry; Chaz Tedesco; Steve O'Dorisio; Mary Hodge; Greg Barnes; Jen Rutter; Jill Jennings Golich  
**Subject:** EXG2020-00001 (Aggregate Industries Plan)

Please be cautious: This email was sent from outside Adams County

Hello,

I commented in 2019 and watched the hearing last year in which the County made good points against the Aggregate plan. Without reiterating all you have had to read and hear in the past: the noise and air pollution issues are still a concern; rather than improving Brighton and Adams County which has been agricultural and admittedly becoming more residential, it will just bring industrial problems; Business owners trying to improve Brighton downtown will be negatively impacted; Neither the "pond" that exists near the proposed area nor their land south of Hwy 7 have the desirable natural effect they claim residents will be left with; I understand you are looking to allow more acre lot housing just west of the area and that will lower property values and probably deter sales; etc. I admittedly have not read the 424 page application, but it does not appear to account for all of the concerns for Brighton and Adams County residents and businesses.

Thank you

Karen and Russell Walters  
11788 Cherry Drive  
Thornton, CO 80233

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As employees of Aggregate Industries, my husband 6 years and myself over 25 years, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also long time Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

A handwritten signature in blue ink that reads "Karen Walters". The signature is written in a cursive style.

Karen Walters  
40+ year resident

## Greg Barnes

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**From:** Ruth Widerski <bariten1@yahoo.com>  
**Sent:** Monday, January 11, 2021 6:16 PM  
**To:** Greg Barnes  
**Subject:** NO gravel mining pits at Brighton's West Gateway

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes

Swiss owned Aggregate Industries/LafargeHolcim is seeking a Conditional Use Permit for TWO large gravel pits west of the gateway to Downtown Brighton. When fully mined they would become CLOSED off augmentation reservoirs for the City of Aurora. Brighton does not need more ugliness, blight, or DUST and there is NOTHING in this for the community. I understand that Adams County Commissioners turned Aggregate Industries (AI) down in late 2019, but AI has reapplied. Conditional Use Permits require that conditions are met: Some criteria includes, . . . Is the use compatible with the surrounding area? Is it harmonious with the character of the neighborhood? Is it detrimental to the immediate area, or to the future development of the area? Is it detrimental to the health, safety, or welfare of the inhabitants of the area /County? Can it address all off-site impacts?

This certainly is NOT compatible with the surrounding area. There is housing close by and these gravel pits would be detrimental to the health, safety and welfare of the surrounding area. Please turn down the request for this permit.

Sincerely,

Ruth Widerski  
Heritage Todd Creek development



## Greg Barnes

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**From:** Lauren Wilson <rslswilson@gmail.com>  
**Sent:** Saturday, January 16, 2021 6:46 AM  
**To:** Greg Barnes  
**Subject:** Aggregate Industry Miming

Please be cautious: This email was sent from outside Adams County

We're against this mining project. No way to control the dust. No to the use of our water which is already outrageous. No to the unsightly look. What happened to the beautification and revitalization of Brighton? So disappointed that this has been voted down but they get to keep reapplying.

Thank you.

Lauren Wilson  
10609 E 166th Pl  
Brighton 80602

Sent from my iPad

## Greg Barnes

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**From:** Winnie Woodworth <WinnieWoodworth@honnen.com>  
**Sent:** Tuesday, February 16, 2021 7:40 AM  
**To:** Greg Barnes  
**Subject:** Aggregate Industries planned site

Please be cautious: This email was sent from outside Adams County

Good morning Mr. Barnes –

We've lived in Brighton for about 38 years. We have seen lots of growth, some good, some bad. What is disturbing us now is the planned site for Aggregate Industries. Highway 7 is an "entrance" into Brighton and adding trucking traffic into that area seems a little short sighted. With the growth from Brighton to Lafayette and traffic that is already too heavy adding MORE truck traffic into an already congested traffic area is kind of crazy! The road damage from this extra traffic and weight will be increased as well. Do we get to pay for that too? I know money is a driving factor in most decisions regarding our growth but sometimes can we just take a breath and really take a look at how we want our city to look and how it's citizens want the city to look? Did we want a waste water treatment plant on the north side of town? No, not really. Now we have an aggregate mining facility moving in on the west side of town. Do we want that? No, not really. Just because it's on the outer fringes of town doesn't mean it won't have an effect on how our city looks to people coming into our town for shopping and dining. It doesn't mean it won't have a huge effect on traffic. It also is not "pretty". Why not do something that makes our city look attractive to visitors and citizens alike? There are so many possibilities for new business growth in this area but an aggregate plant is not one that I thought would be in the plans. My question is will this **deter** new business/home growth in the area?

I was not happy hearing about the aggregate mining facility and I'll admit I've not been to any meetings regarding this new venture. I've been to previous meetings regarding new home development and I'm pretty sure what we think will not be considered. I've learned from our property being bought out by the airport years ago that the decisions are already made by the time we hear about a change and I'm sure this one is as well. What I've learned is that the meetings that allow citizens to voice their opinions is for "show". I hope this time the city commissioners listen to their constituents and stop this move. Thank you for your time.

Winnie Woodworth  
14575 Young Drive  
Brighton, Colorado 80601

Thomas Worrall  
dba, Dax Trucking  
11181 E. 151<sup>st</sup> Place  
Brighton, CO 80602

January 7, 2021

Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

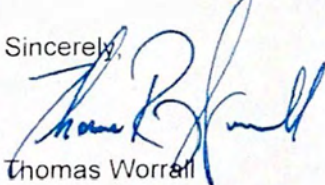
Dear Planning and Zoning Commissioners:

I am writing to request the Adams County Board of County Commissioners approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. I am a local trucker that primarily hauls material for Aggregate Industries. I mainly haul out the PLATTE VALLEY facility. The Tucson South quarry will be an important location for local, economical construction materials. I understand that there has been a great deal of planning to develop a conveyor system that moves materials from this site in a manner that is consistent with the standards the neighboring communities have sought during this process. I am local to this area and have no issues with this permit.

I believe having the construction materials available close to developments helps to hold down costs associated with hauling and delivering it to the job site.

We appreciate you considering Aggregate Industries' permit and would also appreciate you approving their permit.

Sincerely,



Thomas Worrall

## Greg Barnes

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**From:** Terry Young <n0ve@icloud.com>  
**Sent:** Tuesday, January 12, 2021 7:57 AM  
**To:** Greg Barnes  
**Cc:** Linda \_ICE Cate  
**Subject:** Aggregate Industries Brighton Gravel Pit

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

I live in Todd Creek Farms, in unincorporated Adams County, and I would like to express my opposition to the approval of any conditional or final permit to create a gravel pit mining operation off Highway 7 on the West entry to the city of Brighton. Such operations would have a direct and negative impact on me.

The tractor-trailer traffic and dust are a direct impact on me traveling from my home to the closest shopping centers, in Brighton. Living within approximately three to four miles from the proposed gravel pits, I expect the dust will invade every aspect of my home life, which will aggravate my asthma and other health issues.

The impact on the city of Brighton could be huge. Brighton is one of the states agricultural centers with Sakata, Lulu's, Palizzi, Berry Patch, and Bromley Farms to name a few, and the recently acquired and promoted historic Splendid Valley.

My understanding is that Aurora already has several augmentation reservoirs on 168th Av, in the vicinity of Brighton. We all need to be good neighbors, however, this reminds me of the effort several years ago by Broomfield to put their jail in the city of Westminster. I'm not an engineer, but if Aurora needs more augmentation reservoirs, put them in Aurora.

I urge the Adams County Board of County Commissioners to continue to say no to any gravel pit operations, conditional or final, along Highway 7 and Tucson Street or anywhere in the Brighton Area that detracts from the efforts of the people of Brighton, of which I consider myself to be one, to improve their community.

Sincerely,  
Terry

Terry Young  
[n0ve@icloud.com](mailto:n0ve@icloud.com)  
303-655-1550

## Greg Barnes

---

**From:** Linda Young <lyoung\_111@msn.com>  
**Sent:** Saturday, January 16, 2021 9:46 AM  
**To:** Greg Barnes  
**Subject:** Aggregate Industries Brighton Gravel Pit

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

I live in Todd Creek Farms, in unincorporated Adams County, and I would like to express my opposition to the approval of any conditional or final permit to create a gravel pit mining operation off Highway 7, at the West entry to the city of Brighton. Such operations would have a direct and negative impact on me and my neighbors.

We live about three miles from the proposed gravel pits and my husband and I travel from our home in Todd Creek eastbound on Highway 7 for virtually all of our shopping and other errands. I'm sure we'll be dealing with dust, noise, and traffic impacts every time we go into town or head east for any other direction. My husband has asthma and we don't need the extra dust and dirt, not to mention the traffic and the noise.

The impact on the city of Brighton could be huge. We are working to become a tourism destination, and it will not help the City and our local businesses if tourists and potential shoppers need to pass this mess as they enter and leave Brighton.

I urge the Adams County Board of County Commissioners to continue to say no to any gravel pit operations, conditional or final, along Highway 7 and Tucson Street or anywhere in the Brighton Area that detracts from the efforts of the people of Brighton, of which I consider myself to be one, to improve their community.

Sincerely,  
Linda Young  
10231 E 151st Ct  
Brighton CO 80602

## Greg Barnes

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**From:** Robert Young <robert.young1@comcast.net>  
**Sent:** Sunday, January 17, 2021 4:27 PM  
**To:** Greg Barnes  
**Subject:** Aggregate Industries Gravel Pit

Please be cautious: This email was sent from outside Adams County

I am writing you to voice my concerns regarding the proposed gravel pit by Aggregate Industries just west of Brighton. My major concerns are about the increased truck traffic on Hwy 7 as a result of this operation, the increased pollution (primarily dust), and the eventual reservoir that serves no benefit to Brighton or the Todd Creek area.

Existing semi-truck traffic for construction and fracking is already damaging the highway enough, plus there is already too much traffic on the two-lane highway. We do not need more damage due to a project that does not appear to support the community and compromises driving safety (there is already too much traffic on the two-lane highway - we do not need to compromise safety more). The increase in dust and other pollutants as a result of the operation will further adversely affect those with compromised lung issues.

Please say no to this proposal.

Robert Young  
7910 E 152nd Drive  
Thornton CO, 80602



9075 WCR 10 \* Fort Lupton, CO 80621  
PHONE: 303-857-1754  
FAX: 303-857-2933  
[www.nccconstructors.com](http://www.nccconstructors.com)

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January 5, 2021

Aggregate Industries  
1687 Cole Blvd  
Suite 300  
Golden, CO 80401

Re: Aggregate Industries Tucson Pit Opportunity

Recipient,

Currently, furthermore and the past, Aggregate Industries (AI) and Northern Colorado Constructors Inc., (NCCI) relations in the industry of Construction Materials processing and handling has illustrated a much different approach than our competitors, and it is their surroundings that make AI different. We have both deployed opportunities for our communities, the environment, and workforce, but AI has amplified NCCI opportunities even further.

Over the past few years, AI has expanded NCCI's business strategy tremendously. This includes Health and Safety, Environmental, Material Processing and Handling, Site Management, Reclamation and Community Awareness. AI has increased NCCI workforce across our entire company and most importantly, directly enhanced the various communities we live and work in. Furthermore, NCCI holds AI in high regard for their strong commitment to helping individuals and small businesses in the area piggyback on their success. Their attention to detail for providing jobs to the community is astonishing, but also their knowledge and passion for the Environment is clearly just as important.

Throughout the years of working with AI, NCCI has completed numerous improvements, modifications, and repairs to their facilities/sites to enhance the Environment and site appearance. This includes, creation of wildlife habitats, water management, earthen erosion mitigation, dust/air pollution mitigation and site landscaping. AI strongly recognizes all of these to be just as important as taking care of their customers. Working in this industry, we all recognize the Environment as a prime customer.

AI is a valued client, we recommend the Character, Honesty and Reliability this company has to offer for those who work with, deal with, and are involved with in any of their operation(s) they own, manage, or operate. Their success and level of knowledge, expertise and resources defines AI with certainty for those to trust.

A handwritten signature in blue ink that reads "Chris Zadel".

---

Chris Zadel  
Northern Colorado Constructors Inc.



Adams County Planning & Zoning Commission  
4430 South Adams County Parkway  
Brighton, CO 80601-8204

Dear Commissioners:

As an employee of Aggregate Industries, my family and I ask that the Adams County Planning & Zoning Commission approve the proposed permit, EXG2020-00001 Aggregate Industries WCR, Inc. - Gravel Mining Area. Since we are also Adams County residents, we know first-hand that the aggregate materials from this quarry will help build the infrastructure that we support and our jobs and family welfare relies on.

Every day, we know that our jobs depend on residential and commercial developments as well as the infrastructure that must be built and maintained for citizens and commerce. Our state's economy will continue to thrive with the development of these resources. The proposed quarry will not be a long-term feature of Adams County. We look forward to enjoying the proposed trail and having a much-needed facility to store water for the City of Aurora.

Aggregate Industries is a good corporate citizen here in Colorado and it provides the pay and benefits that allow my family and me to enjoy life on the front range. We urge you to approve the permit the company seeks so we can continue to build Colorado.

Sincerely,

SERGIO AMORANO

BE AN RESIDENT SINCE 2012.  
8 YEARS.



## Request for Comments

Case Name: Tucson South  
Case Number: EXG2020-00001

August 13, 2020

The Adams County Planning Commission is requesting comments on the following application: **conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district**. This request is located near 12255 East 160th Avenue. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, 0157101300002.

Applicant Information: AGGREGATE INDUSTRIES - WCR, INC  
CHANCE ALLEN  
1687 COLE BLVD  
SUITE 300  
GOLDEN, CO 80401

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 09/07/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to [GJBarnes@adcogov.org](mailto:GJBarnes@adcogov.org).

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Greg Barnes  
Planner III



## Public Hearing Notification

|                                             |                               |
|---------------------------------------------|-------------------------------|
| Case Name:                                  | Tucson South                  |
| Case Number:                                | EXG2020-00001                 |
| Planning Commission Hearing Date:           | January 14, 2021 at 6:00 p.m. |
| Board of County Commissioners Hearing Date: | February 2, 2021 at 9:30 a.m. |

December 21, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district. The Assessor's Parcel Numbers are: 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, and 0157101300002. The site is located on the east and west sides of Tucson Street in between Highway 7 and East 168<sup>th</sup> Avenue. The applicant is Aggregate Industries - WCR, Inc, 1687 Cole Blvd. Suite 300, Golden, CO 80401

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).

Thank you for your review of this case.

Greg Barnes

Planner III

[gjbarnes@adcogov.org](mailto:gjbarnes@adcogov.org)

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry  
DISTRICT 1

Charles "Chaz" Tedesco  
DISTRICT 2

Emma Pinter  
DISTRICT 3

Steve O'Dorisio  
DISTRICT 4

Mary Hodge  
DISTRICT 5

**PUBLICATION REQUEST**

**Case Name:** Tucson South

**Case Number:** EXG2020-00001

**Planning Commission Hearing Date:** January 14, 2021 at 6:00 p.m.

**Board of County Commissioners Hearing Date:** February 2, 2021 at 9:30 a.m.

**Case Manager:** Greg Barnes, gjbarnes@adcogov.org, 720-523-6853

**Request:** Conditional use permit to allow extraction use in the Agricultural-1 (A-1) zone district

**Parcel Numbers:** 0157101000016, 0157101000017, 0157101000028, 0157101000033, 0157101000034, 0157101000035, 0157101002001, 0157101100002, 0157101200010, 0157101300001, and 0157101300002

**Location of the Request:** east and west sides of Tucson Street in between Highway 7 and East 168<sup>th</sup> Avenue

**Applicant:** Aggregate Industries - WCR, Inc, 1687 Cole Blvd. Suite 300, Golden, CO 80401

**Legal Description:**

TRACT A

THAT PARCEL OF LAND AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

EXCEPT PARCEL B AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED FEBRUARY 27, 2001 AT RECEPTION NO. C0765905, COUNTY OF ADAMS, STATE OF COLORADO.

AND EXCEPT THAT TRACT OF LAND CONVEYED TO CITY OF AURORA AS DESCRIBED IN GENERAL WARRANTY DEED RECORDED DECEMBER 22, 2005, AS RECEPTION NO. 20051222001399920, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT B

A PARCEL OF LAND IN THE SW 1/4 OF SECTION I, TOWNSHIP I SOUTH. RANGE 67 WEST OF THE 6TH P.M.,

COUNTY OF ADAMS. STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 1: THENCE NORTH ALONG THE WEST LINE OF

SAID SECTION 1 A DISTANCE OF 1449 FEET; THENCE S84°05'E A DISTANCE OF 1334.7 FEET TO THE TRUE POINT OF BEGINNING:

THENCE S69°18'E, 260.7 FEET;

THENCE N07°32'E, 171.6 FEET;

THENCE N69°18'W, 260.7 FEET;

THENCE S07°32'W, 171.6 FEET TO THE POINT OF BEGINNING, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT C

ALL THAT TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED SEPTEMBER 26, 2016

AT RECEPTION NO. 2016000080681, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT D

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N. 89°37'18" E. ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1050.57 FEET; THENCE S. 00°08'29" E, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE; THENCE S. 89°37'18" W. ALONG SAID LINE A DISTANCE OF 1050.57 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE N. 00°08'29" W. ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 621.95 FEET, TO THE POINT OF BEGINNING; EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT E

THAT PART OF THE NORTH ONE-HALF SOUTHEAST ONE QUARTER SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER, DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO A LINE THAT IS PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER AND 5 FEET SOUTH OF AN EXISTING HOUSE AND THE POINT OF BEGINNING; THENCE NORTH 89°37'18" EAST, PARALLEL WITH THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1050.57 FEET; THENCE NORTH 00°08'29" WEST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 621.95 FEET TO THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 89°37'18" EAST ALONG THE NORTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1635.47 FEET TO THE NORTHEAST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°31'01" EAST ALONG THE EAST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 590.02 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE SOUTHERLY ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER SOUTH 53°55'12" WEST, A DISTANCE OF 142.93 FEET TO A LINE THAT IS 646.34 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1324.16 FEET TO A LINE THAT IS 1250.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 00°08'29" EAST, PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 169.08 FEET TO A LINE THAT IS 477.26 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE SOUTH 89°54'25" WEST ALONG SAID LINE, A DISTANCE OF 1250.00 FEET TO THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER; THENCE NORTH 00°08'29"

WEST ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 207.94 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS,  
STATE OF COLORADO.

TRACT F

THAT PART OF THE NORTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER, SECTION 1, TOWNSHIP 1, SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, ADAMS COUNTY, STATE OF COLORADO, LYING NORTH AND WEST OF THE CENTERLINE OF THE SOUTH PLATTE RIVER DESCRIBED AS:  
COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, SAID POINT BEING THE POINT OF BEGINNING; THENCE N00°08'29"W, ALONG THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 477.26 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONE-QUARTER, A DISTANCE OF 1250.00 FEET; THENCE N00°08'29", PARALLEL WITH THE WEST LINE OF SAID NORTH ONE-HALF SOUTHEAST ONEQUARTER, A DISTANCE OF 169.08 FEET; THENCE N89°54'25"E, PARALLEL WITH THE SOUTH LINE OF SAID NORTH ONE HALF SOUTHEAST ONE-QUARTER A DISTANCE OF 1324.16 FEET TO THE CENTERLINE OF THE SOUTH PLATTE RIVER; THENCE BY THE FOLLOWING COURSES AND DISTANCES ALONG THE CENTERLINE OF THE SOUTH PLATTE RIVER; S53°55'12"W, 94.57 FEET; S32°39'44"W, 231.53 FEET, S26°54'09"W, 242.48 FEET; S15°48'38"W, 187.17 FEET TO THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONEQUARTER; THENCE S89°54'25"W, ALONG THE SOUTH LINE OF SAID NORTH ONE-HALF SOUTHEAST ONEQUARTER, A DISTANCE OF 2210.47 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 40.00 FEET THEREOF, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT G

ALL THAT TRACT OF LAND DESCRIBED IN THE QUIT CLAIM DEED RECORDED MARCH 2, 2017 AT RECEPTION NO. 2017000018970, COUNTY OF ADAMS, STATE OF COLORADO.

TRACT H

THE SW1/4 OF THE SE1/4 OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 67 WEST, EXCEPT THAT PART AS DESCRIBED IN BOOK 1055 AT PAGE 52, AND IN BOOK 1214 AT PAGE 326 AND EXCEPT THAT PART DESCRIBED IN BOOK 1205 AT PAGE 128, COUNTY OF ADAMS, STATE OF COLORADO

**Virtual Meeting and Public Comment Information:**

These meetings will be held virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at [www.adcogov.org/planning/currentcases](http://www.adcogov.org/planning/currentcases).



Referral Listing  
Case Number EXG2020-00001  
Tucson South

Agency

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| BRIGHTON SCHOOL DISTRICT 27J                | Kerrie Monti<br>1850 EGBERT STREET<br>SUITE 140, BOX 6<br>BRIGHTON CO 80601<br>303-655-2984<br>kmonti@sd27j.net                            |
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| CDPHE SOLID WASTE UNIT                      | Andy Todd<br>4300 CHERRY CREEK DR SOUTH<br>HMWMD-CP-B2<br>DENVER CO 80246-1530<br>303.691.4049<br>cdphe_localreferral@state.co.us          |
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HENDERSON CO 80640-0273

500 MAIN LLC  
1400 MONACO PKWY  
DENVER CO 80220-2845

2018-1 IH BORROWER LP  
1717 MAIN ST STE 2000  
DALLAS TX 75201-4657

7509 GRANDVIEW LLC  
1480 E 73RD AVE  
DENVER CO 80229-6902

2018-4 IH BORROWER LP  
1717 MAIN ST STE 2000  
DALLAS TX 75201-4657

A D S GROUP LLC  
PO BOX 16452  
DENVER CO 80216-0452

240 BALSAM LLC  
805 S 8TH AVE  
BRIGHTON CO 80601-3230

ADAMS COUNTY  
4430 SOUTH ADAMS COUNTY PKWY  
BRIGHTON CO 80601-8204

250 N MAIN LLC  
267 N MAIN ST  
BRIGHTON CO 80601-1628

ADAMS COUNTY  
4430 S ADAMS COUNTY PKWY  
BRIGHTON CO 80601

29SC CRESTONE LLC  
343 W ERIE ST STE 300  
CHICAGO IL 60654-5735

ADDISON JOHN AND ADDISON ANITA  
PO BOX 154  
BRIGHTON CO 80601

29SC PHOENIX LLC  
343 W ERIE ST STE 300  
CHICAGO IL 60654-5735

ADDISON LINDA GERALDINE AND  
ADDISON RONALD EDWARD  
107 6TH STREET/PO BOX 562  
DACONO CO 80514

323 WALNUT ST LLC  
10035 E 143RD WAY  
BRIGHTON CO 80602-5777

ADKINS KENNETH WAYNE AND  
ADKINS DEBRA LYNN  
255 ASPEN DR  
BRIGHTON CO 80601-2906

415 NORTH 5TH LLC  
1245 E BROMLEY LN  
BRIGHTON CO 80601-3304

AGFINITY INC  
260 FACTORY RD  
EATON CO 80615-3481

455 NORTH 5TH LLC  
1245 E BROMLEY LN  
BRIGHTON CO 80601-3304

AGGREGATE INDUSTRIES - WCR INC  
1707 COLE BLVD STE 100  
GOLDEN CO 80401-3219

AGGREGATE INDUSTRIES WCR INC  
6211 N ANN ARBOR RD  
DUNDEE MI 48131-9527

AURORA CITY OF  
15151 E ALAMEDA PKWY # 3600  
AURORA CO 800121555

AGGREGATE INDUSTRIES-WCR INC  
6211 N ANN ARBOR RD  
DUNDEE MI 48131-9527

BACHICHA FELICIA  
344 MADISON AVE  
BRIGHTON CO 80601-1676

ALEMAN MANUEL GUERRERO  
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BRIGHTON CO 80601-1676

BALDERAS FIDEL AND  
BALDERAS ELIZABETH A  
293 S 21ST AVE  
BRIGHTON CO 80601

ALMOST HOME INC  
231 N MAIN STREET  
BRIGHTON CO 80601

BAMA LLC  
139 MAIN STREET  
BRIGHTON CO 80601-1626

ALVAREZ JOSE LUIS  
10136 HUDSON CT  
DENVER CO 80229-3435

BARRIOS CRISTINA AND  
QUINTERO LUIS GERARDO  
145 N 4TH AVE  
BRIGHTON CO 80601-1705

AMALGAMATED SUGAR COMPANY LLC  
1951 S SATURN WAY STE 100  
BOISE ID 83709-2924

BARTH BUILDING LLC THE  
C/O PAUL A BARTH  
9200 E 148TH CIRCLE  
BRIGHTON CO 80602-5682

ARCHER GEORGE C AND  
ARCHER MONA J  
11365 E 162ND PL  
BRIGHTON CO 80602-7654

BASELINE LAKES HOLDINGS LLC  
PO BOX 247  
EASTLAKE CO 80614-0247

ARD-LYN ENTERPRISES LTD  
6155 COUNTY ROAD 23  
FORT LUPTON CO 806218913

BECERRA-HERNANDEZ VICTOR M  
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AURORA CO 800121555

BELL VALORIE  
6706 ARAPAHOE LN  
KNOXVILLE TN 37918-9515

BERGLUND GREGORY A AND  
BERGLUND RANA M  
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JOHNSTOWN CO 80534-9134

BROOKS GREASE MANAGEMENT LLC  
3104 N ERIE AVE  
TULSA OK 74115-1900

BILLINGS DARYL D AND  
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HENDERSON CO 80640-0143

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BLS INVESTMENTS LLC  
6996 S BOULDER RD  
BOULDER CO 80303-4322

BURKE PHILIP J AND  
BURKE JENNIFER K  
15841 RIVERDALE RD  
BRIGHTON CO 80602-8216

BLUE LEAF LLC  
9669 HURON ST UNIT 200  
THORNTON CO 80260

BUSHBUCKS LLC  
ATTN VIRGINIA CASTRO  
522 E WALNUT AVE  
BURBANK CA 91501-1724

BRIDGE A LTD  
4709 WASHINGTON ST  
DENVER CO 80216-2745

BUSTAMANTE FAMILY TRUST DTD 05/21/2007  
THE  
16450 YORK ST  
BRIGHTON CO 80602

BRIDGE B LTD  
4709 WASHINGTON ST  
DENVER CO 80216-2745

CAPO HOLDINGS LLC  
1459 GRAND AVE  
DES MOINES IA 50309-3005

BRIGHTON INDUSTRIAL PARK LLC  
12501 RIVERDALE RD  
BRIGHTON CO 80602-8161

CAR-JON 1 LLC  
5024 COUNTY ROAD 6  
ERIE CO 80516-8210

BRIGHTON URBAN RENEWAL AUTHORITY  
22 S 4TH AVE SUITE 102  
BRIGHTON CO 80601-2038

CARLSON TAYLOR R UND 24.25% INT AND  
THORNTON CORY J UND 24.25% INT ET ALS  
PO BOX 247  
EASTLAKE CO 80614-0247

BROADVIEW LLC  
13200 E 160TH AVE  
BRIGHTON CO 80602-8224

CARLSON TAYLOR R UND 24.25% INT AND  
THORNTON CORY J UND 24.25% INT ET ALS  
PO BOX 247  
EASTLAKE CO 80614-0247

BROOKMAN SANDRA L AND  
BROOKMAN RICHARD A  
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CHACON HILDA G AND  
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5150 CRANE DR  
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COLORADO STATE HIGHWAY  
NEED ADDRESS

CHACON PEDRO M AND HILDA G  
5150 CRANE DR  
BRIGHTON CO 80601

COLORADO STATE HIGHWAY  
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AURORA CO 80012-1555

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COX MICHAEL  
24100 E 155TH WAY  
BRIGHTON CO 80603-3888

CITY OF AURORA THE  
15151 E ALAMEDA PKWY  
AURORA CO 80012-1555

D Z AND J LLC  
401 N KUNER RD  
BRIGHTON CO 80601-2841

CITY OF BRIGHTON  
500 S 4TH AVE  
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12295 PENNSYLVANIA ST STE 1B  
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PO BOX 249  
FREDERICK CO 80530-0249

DOHERTY DANIEL R  
384 S 5TH AVE  
BRIGHTON CO 80601-2112

FRIAS ENTERPRISES LLC  
155 N MAIN  
BRIGHTON CO 80601

DOHERTY HOSPITALITY INC AND  
DOHERTY DANIEL  
384 S 5TH AVE  
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GARCIA JESUS AND  
GARCIA PATRICIA  
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GOCHANOUR BRENDA L  
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ESPARZA CLAUDIA AND  
ESPARZA LILIANA  
395 WELD COUNTY ROAD 29  
BRIGHTON CO 80603

GONZALEZ GALINDO L  
13182 GRAPE CT  
THORNTON CO 80241-2317

EXTENDED HANDS OF HOPE  
PO BOX 1938  
BROOMFIELD CO 80038-1938

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CENTENNIAL CO 80122

FAUDOA HECTOR ALONSO  
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GUERRERO MAGALI  
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BRIGHTON CO 80603-6516

GUERRERO GABINO  
1031 BIRCH AVE  
FT LUPTON CO 80621

HIBE LLC  
301 CENTENNIAL DR  
MILLIKEN CO 805433222

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BRIGHTON CO 80601-3102

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MILLIKEN CO 805433222

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HARTIGAN PROPERTIES LLC  
2021 KENTMERE DR  
LONGMONT CO 80504-2324

HOUSING AUTHORITY OF THE  
CITY OF BRIGHTON  
22 S 4TH AVE  
BRIGHTON CO 80601-2030

HE HUI AND  
ZHANG XIUHUI  
10609 OURAY CT  
COMMERCE CITY CO 80022-0567

HUGHES STATION BHA 2017 LLC  
C/O BRIGHTON HOUSING AUTHORITY  
22 S 4TH AVE STE 202  
BRIGHTON CO 80601-2042

HERNANDEZ GUADALUPE MERAZ AND  
MERAZ HEIDY L  
361 N MAIN ST  
BRIGHTON CO 80601-1630

INDEPENDENT HOLDING LLC  
189 N KUNER RD  
BRIGHTON CO 80601-2883

HERR FAMILY LLC  
14378 HANOVER ST  
BRIGHTON CO 80602-5782

J AND J FAMILY TRUST THE  
1929 JEFFREY ST  
BRIGHTON CO 80601-2685

JOINT VENTURES LLC  
11612 MACON ST  
COMMERCE CITY CO 80640-9277

LOCKETT KEVIN LEE  
12302 E 168TH AVE  
BRIGHTON CO 80602-6627

JONES JOSEPH W  
16235 GREAT ROCK WAY  
BRIGHTON CO 80603

LOCKETT REFRIGERATION LLC  
PO BOX 972  
BRIGHTON CO 80601-0972

KUM AND GO LC  
6400 WESTOWN PKWY  
WEST DES MOINES IA 50266-7709

LOT HOLDING INVESTMENTS LLC  
301 CENTENNIAL DR  
MILLIKEN CO 805433222

KUNER PROPERTY LLC  
4047 E 130TH WAY  
THORNTON CO 80241

MADERA STEVEN  
PO BOX 805  
BRIGHTON CO 80601-0805

LAGERBERG GREGORY J AND  
LAGERBERG JOY B  
4220 IRIS ST  
WHEAT RIDGE CO 80033-2940

MAES FAMILY TRUST  
13654 STEELE COURT  
BRIGHTON CO 80602

LAMBERT INVESTMENT 1 LLC 50% UND INT  
LAMBERT INVESTMENT 2 LLC 50% UND INT  
155 E BRIDGE ST  
BRIGHTON CO 80601-1612

MAHNKE GARY AND  
MAHNKE JUDITH M  
5855 W 56TH AVE  
ARVADA CO 80002-2810

LAMBERT INVESTMENT 1 LLC 50% UND INT  
LAMBERT INVESTMENT 2 LLC 50% UND INT  
167 E BRIDGE ST  
BRIGHTON CO 80601-1612

MALLOY PAUL A  
129 N 4TH AVE  
BRIGHTON CO 80601-1705

LAMBERT JAMES DONALD 1/2 INT AND  
LAMBERT BARBARA JEAN 1/2 INT  
167 E BRIDGE ST  
BRIGHTON CO 80601-1612

MARCANTONIO JASON  
140 RADCLIFFE CT  
JUPITER FL 33458-2935

LAMPERT HOLDINGS LLC  
6229 HOLMAN CT  
ARVADA CO 80004-3626

MARTINEZ JOSEPH JAMES  
155 N 4TH AVE  
BRIGHTON CO 80601-1705

LIFE CHOICES PREGNANCY CENTER  
20 MOUNTAIN VIEW AVE  
LONGMONT CO 80501-3419

MC COY RUSSELL S AND  
MC COY TRACY L  
12651 UINTA ST  
BRIGHTON CO 80602-5204

MC CRORY LAND AND CATTLE LLC  
16080 MCCRORY CT  
BRIGHTON CO 80602-8330

MUHLER CRISTOFER  
11585 COUNTY ROAD 2  
BRIGHTON CO 806039223

MCC ENTERPRISES INC  
5680 E 165TH PL  
BRIGHTON CO 80602-6060

MUMFORD JAMES E  
11835 COUNTY ROAD 2  
BRIGHTON CO 806039223

MEDINA RUDY AND  
MEDINA RUDY JR  
496 N 5TH AVE  
BRIGHTON CO 80601-5143

MURRAY PATRICIA K  
16550 E 116TH CT  
COMMERCE CITY CO 80022-9790

MEDLIN WAYNE E AND PATRICIA L  
15655 RIVERDALE ROAD  
BRIGHTON CO 80601

MY BROTHERS LLC  
6947 SAINT VRAIN RD  
LONGMONT CO 80503

MEK COLORADO LLC  
24727 E 154TH CIR  
BRIGHTON CO 80603-3894

NAZARENUS MARY L  
514 VOILES DR  
BRIGHTON CO 80601-3321

MENDOZA ADRIAN AND  
MENDOZA STELLA  
371 CEDAR AVE  
BRIGHTON CO 80601-2945

NIXON ELENA C  
11990 E SOUTH BOULDER RD LOT 125  
LAFAYETTE CO 80026-2034

METRO WASTEWATER RECLAMATION DISTRICT  
6450 YORK ST  
DENVER CO 802297407

NOBEL STORE LLC  
9801 E ARIZONA DR APT 8-11  
DENVER CO 802476344

MJC COLORADO LLC  
4204 MORNING STAR DR  
CASTLE PINES CO 80108-9022

O BRIEN THOMAS E  
2631 E 166TH AVE  
BRIGHTON CO 80602-7627

MONACO HOLDINGS LLC  
4010 YOUNGFIELD ST  
WHEAT RIDGE CO 80033-3862

OCAMPO VICENTE  
16200 E 168TH AVE  
BRIGHTON CO 80601-6654

MONTOYA DOROTHY A  
283 N 5TH AVENUE  
BRIGHTON CO 80601-1630

OROZCO ROBERT IBARRA AND  
OROZCO EVA DIANN  
707 S 10TH AVE  
BRIGHTON CO 80601

PENFOLD BRYAN W AND  
PENFOLD LINDA K  
66 S 12TH AVE  
BRIGHTON CO 80601

PUBLIC SERVICE COMPANY OF COLORADO  
C/O PROPERTY AND LOCAL TAX  
PO BOX 1979  
DENVER CO 80201-1979

PETERSON DONALD O  
12055 COUNTY ROAD 2  
BRIGHTON CO 806039243

QUINTANA JOSEPH AND  
QUINTANA DEBORAH M  
466 N 13TH AVE  
BRIGHTON CO 80601-1554

PLATTE VIEW LANDING LLC 87.1081069% UND INT  
ET AL  
37 GRAHAM ST STE 200  
SAN FRANCISCO CA 94129-1724

RAM AUTO REPAIR INC  
29400 E 165TH AVE  
BRIGHTON CO 80603-8468

PLOCK GARY A AND  
PLOCK PAMELA L  
150 SOUTH MAIN STREET  
BRIGHTON CO 80601

REED OIL COMPANY  
C/O TRI STATE OIL  
1770 OTTO ROAD  
CHEYENNE WY 82001-9502

PLOCK GARY A AND  
PLOCK PAMELA L  
150 S MAIN STREET  
BRIGHTON CO 80601

REED OIL COMPANY  
PO BOX 1183  
BRIGHTON CO 80601

POINT WEST BUILDING LLC  
15242 WAGON WHEEL DRIVE  
BRIGHTON CO 80603

REGIONAL TRANSPORTATION DISTRICT  
1600 BLAKE ST  
DENVER CO 80202

POLITZKI KARL  
11915 COUNTY ROAD 2  
BRIGHTON CO 806039223

REICHARD-ARMSTRONG LORI LOUIS  
16197 PARIS WAY  
BRIGHTON CO 80602-8297

PROCHOWNIK LORRAINE H AND  
PROCHOWNIK MICHAEL R  
106 MELODY LANE  
PLATTEVILLE CO 80651

RICHARDS NATHANIEL J AND  
ROSS JULIA M  
319 MADISON AVE  
BRIGHTON CO 80601-1677

PUBLIC SERVICE CO OF COLORADO  
C/O PROPERTY AND LOCAL TAXES  
PO BOX 1979  
DENVER CO 80201-1979

RIOS RIOS FELIPE AND  
RIOS JESUS JAIME  
1139 MYRTLE ST  
BRIGHTON CO 80601-1836

PUBLIC SERVICE CO OF COLORADO  
PO BOX 1979  
DENVER CO 802011979

RIOS-RIOS FELIPE  
1139 MYRTLE STREET  
BRIGHTON CO 80601

RIVERSIDE VILLAGE OWNERS ASSOCIATION  
7501 VILLAGE SQUARE DR STE 205  
CASTLE PINES CO 80108-3700

SAKATA JOANNA LIVING TRUST  
PO BOX 508  
BRIGHTON CO 806010508

RODRIGUEZ ANTOLIN AND  
ARCINIEGA DE RODRIGUEZ NORMA L  
13168 CLERMONT CT  
THORNTON CO 80241-2290

SAN MARTIN CABALLERO LLC  
333 E 76TH AVE  
DENVER CO 80229-6209

RODRIGUEZ FLORES CARLOS AND  
CAMACHO ARMENDARIZ RAQUEL  
322 N 18TH CT  
BRIGHTON CO 80601-1954

SANCHEZ EDUARDO AND  
SANCHEZ DORA  
8701 E 163RD PL  
BRIGHTON CO 80602

RODRIGUEZ NEMESIO AND  
RODRIGUEZ DIANA  
583 OXBOW DR  
BRIGHTON CO 80601-5395

SCHMITT PAULA  
857 S 10TH AVE  
BRIGHTON CO 80601-3238

ROJO ERICK AND  
ROJO ISABEL  
1115 STRONG ST  
BRIGHTON CO 80601-1837

SCLM INVESTMENTS LLC  
PO BOX 805  
BRIGHTON CO 80601-0805

ROTHMAN SHARON ELAINE  
C/O CLARA HOSKINS  
6360 W 38TH AVE NO. 205B  
WHEAT RIDGE CO 80033

SHARP ROGER  
363 MILLER AVENUE  
BRIGHTON CO 80601

ROWLAND MARK E AND  
ROWLAND DONNA L  
695 BROMELY LN  
BRIGHTON CO 80601

SHELL LLC  
4277 N 109TH ST  
LAFAYETTE CO 80026-9661

ROWLAND RICK AND  
ROWLAND MARK  
104 W LONGSPEAK  
BRIGHTON CO 80601

SHELL LLC  
4277 N 109TH ST  
LAFAYETTE CO 80026

RRM INVESTMENTS 13 LLC  
1880 VERNON LN  
SUPERIOR CO 80027-8163

SILVERROCK LLC  
150 S MAIN STREET  
BRIGHTON CO 80601

RUTHERFORD PHYLLIS ANN TRUSTEE OF THE  
RUTHERFORD PHYLLIS LIVING TRUST THE  
8072 LAKEVIEW DR  
PARKER CO 80134-5908

SINGH HARVINDER AND  
KHAIRA SUKHVINGER  
2835 BRANCH RD  
PASO ROBLES CA 93446-7357



SNODGRASS INVESTMENTS LLC  
6692 DEVINNEY CT  
ARVADA CO 80004-2052

TIFTH TRUST  
7821 OLIVE ST  
COMMERCE CITY CO 80022-1135

SRP SUB LLC  
1717 MAIN ST STE 2000  
DALLAS TX 75201-4657

TMP VENTURES LLC  
5120 OSAGE ST STE 100  
DENVER CO 80221-7825

STEINMILLER SANDRA LEE  
15568 NAVAJO ST  
BROOMFIELD CO 80023-6331

TODD CREEK VILLAGE METROPOLITAN  
DISTRICT  
10450 E 159TH CT  
BRIGHTON CO 80602-7977

STEWART ROBERT C AND  
STEWART ROBIN R  
254 NORTH 4TH AVENUE  
BRIGHTON CO 80601

TODD CREEK VILLAGE PARK  
AND RECREATION DISTRICT  
2100 S LINCOLN ST STE 2000  
DENVER CO 80210-4409

STRONG BROTHERS ENTERPRISES LLC  
4764 CARMICHAEL CT  
BRIGHTON CO 80603-5711

TOHILL HENRY J AND  
TOHILL ELIZABETH M TRUSTEES  
548 WISTERIA ST  
CHULA VISTA CA 91911-5620

SULLEY MICHAEL AND  
SULLEY PAUL  
PO BOX 73  
BRIGHTON CO 80601-0073

TOM AND LISA LLC  
17395 SANTA LUCIA ST  
FOUNTAIN VALLEY CA 92708-3117

SULLEY MICHAEL AND  
SULLEY PAUL  
15323 EDNA DR  
BRIGHTON CO 80603-8948

TRACTOR SUPPLY COMPANY  
200 POWELL PL  
BRENTWOOD TN 37027-7514

SUNSOE ENTERPRISES LLC  
10821 E WARREN AVE  
AURORA CO 80014-1044

TREPANLER RUBY AND  
ROYBAL CODY  
293 N 5TH AVE  
BRIGHTON CO 80601-1712

T&T HOLDINGS LLC  
190 GREAT WESTERN RD  
BRIGHTON CO 80601-1655

TRUJILLO MARYBELL C  
9115 E 139TH CT  
BRIGHTON CO 80602-8207

THE CONTAINED ONE LLC  
1050 CHEROKEE ST #407  
DENVER CO 80204

TRUJILLO MARYBELL C AND  
TRUJILLO STEVEN M  
9115 E 139TH COURT  
BRIGHTON CO 80602

TRUJILLO RANDY AND  
DOMINGUEZ DAMIAN  
132 N 10TH AVE  
BRIGHTON CO 80601-1810

VIGIL MARY JANE  
351 N MAIN ST  
BRIGHTON CO 80601-1630

TRUNKENBOLZ LLC  
609 S 1ST AVE  
BRIGHTON CO 80601-3001

W 65TH PROPERTY MANAGEMENT LLC  
11084 LEROY DR  
NORTHGLENN CO 80233-3617

UNION PACIFIC RAILROAD COMPANY  
C/O PROPERTY TAX DEPARTMENT  
1400 DOUGLAS STOP 1640  
OMAHA NE 68179-1640

WALNUT STREET APARTMENTS LLC  
C/O BLUE SPRUCE EQUITY LLC  
PO BOX 101404  
DENVER CO 80250-1404

UNION PACIFIC RAILROAD COMPANY  
C/O PROPERTY TAX DEPARTMENT  
1400 DOUGLAS STOP 1690  
OMAHA NE 68179-1640

WALSH JERRY P REVOCABLE TRUST THE  
PO BOX 307  
BRIGHTON CO 80601-0307

UNITED BANK OF BRIGHTON  
C/O THOMSON PROPERTY TAX SERVICES  
PO BOX 2609  
CARLSBAD CA 92018-2609

WARD EVILIA  
325 BIRCH AVE  
BRIGHTON CO 80601-2915

UNITED POWER INC  
ATTN: PROPERTY TAX DEPT.  
BRIGHTON CO 80603-8728

WEBB PHYLLIS ELLEN TRUST THE  
12152 E 168TH AVE  
BRIGHTON CO 80602-6661

UNITED STATES POSTAL SERVICE  
1745 STOUT ST  
DENVER CO 80202

WELD COUNTY  
1150 O ST  
GREELEY CO 806319596

VAUGHN JOHNIE AND  
VAUGHN PATRICIA  
5472 LINCOLN ST FL 2  
DENVER CO 80216-1744

WENGER BRYAN DANIEL  
3533 W 150TH CT  
BROOMFIELD CO 800239417

VELASQUEZ PETE AND  
VELASQUEZ NORMA  
109 E BRIDGE ST  
BRIGHTON CO 80601-1606

WISE GERALD AND WISE BONNIE  
PO BOX 956  
BRIGHTON CO 80601-0956

VELASQUEZ PETE AND  
VELASQUEZ NORMA A  
16489 VENTURA CT  
BRIGHTON CO 80601-4253

WPD LLC  
11305 S GRANITE AVE  
TULSA OK 741377709

YOSHI AND SUZU LLLP  
PO BOX 508  
BRIGHTON CO 806010508

ALEXANDER JONATHAN  
ALEXANDER KIRA  
OR CURRENT RESIDENT  
11541 E 161ST AVE  
BRIGHTON CO 80602-7653

ZAPIEN JESUS JR AND  
ZAPIEN GUILLERMINA  
875 S 9TH AVE  
BRIGHTON CO 80601

ALMANZA MARGARITA MEZA DE AND  
ALMANZA SAUL  
OR CURRENT RESIDENT  
308 CEDAR AVE  
BRIGHTON CO 80601-2922

209 KUNER LLC  
OR CURRENT RESIDENT  
209 N KUNER RD  
BRIGHTON CO 80601-2822

ALMANZA SAUL AND MARGARITA  
OR CURRENT RESIDENT  
376 ELM AVE  
BRIGHTON CO 80601-6404

3885 FOREST LLC  
OR CURRENT RESIDENT  
29 N MAIN ST  
BRIGHTON CO 80601-1624

ALVARADO MIGUEL ANTONIO AND  
GRAMILLO YESENIA ALVARADO  
OR CURRENT RESIDENT  
226 MILLER AVE  
BRIGHTON CO 80601-2939

AAMOLD HOWARD W AND  
AAMOLD MARLENE L  
OR CURRENT RESIDENT  
457 CROWN CIR  
BRIGHTON CO 80601-2925

ALVAREZ JOSE LUIS  
OR CURRENT RESIDENT  
257 N MAIN ST  
BRIGHTON CO 80601-1628

ABEYTA ESTELLA AND  
ABEYTA FRANK  
OR CURRENT RESIDENT  
274 BIRCH AVE  
BRIGHTON CO 80601-2914

ANAYA MARIA DE JESUS  
OR CURRENT RESIDENT  
178 N 4TH AVE  
BRIGHTON CO 80601-1706

ADDISON JOHN AND ADDISON ANITA  
OR CURRENT RESIDENT  
12330 E 160TH AVE  
BRIGHTON CO 80602-8223

ANDERSON JESSICA AND  
ANDERSON BRAD  
OR CURRENT RESIDENT  
11303 E 163RD CT  
BRIGHTON CO 80602-7578

AGAN ELIZABETH  
COURON MICHAEL J  
OR CURRENT RESIDENT  
16234 PARIS WAY  
BRIGHTON CO 80602-8299

ANKELE FRANK ERNEST AND  
ANKELE SUSAN  
OR CURRENT RESIDENT  
229 BALSAM AVE  
BRIGHTON CO 80601-2909

ALBERT ALLEN L AND  
ALBERT KIMBERLY S  
OR CURRENT RESIDENT  
11521 E 161ST AVE  
BRIGHTON CO 80602-7653

ARAGON NICHOLAS A AND  
ARAGON SHIRLEY A  
OR CURRENT RESIDENT  
223 ASPEN DR  
BRIGHTON CO 80601-2906

ALBRIGHT PHILIP L  
OR CURRENT RESIDENT  
263 BALSAM AVE  
BRIGHTON CO 80601-2909

ARCHULETA DOROTHY A NKA  
MONTOKA DOROTHY A  
OR CURRENT RESIDENT  
283 N 5TH AVE  
BRIGHTON CO 80601-1712

ARCHULETA ESTRELLA  
OR CURRENT RESIDENT  
285 ASH AVE  
BRIGHTON CO 80601-2901

BARLOW ZANE POWELL  
OR CURRENT RESIDENT  
11640 E 163RD CT  
BRIGHTON CO 80602-7504

ARMIJO LOUIS J  
OR CURRENT RESIDENT  
11830 E 160TH AVE  
BRIGHTON CO 80602

BARRON ROSE E  
OR CURRENT RESIDENT  
51 MILLER AVE  
BRIGHTON CO 80601-2887

ARQUIRO HARRY JR  
OR CURRENT RESIDENT  
233 MILLER AVENUE  
BRIGHTON CO 80601

BAUER ERIN F AND  
BAUER ERIC F  
OR CURRENT RESIDENT  
16340 PARIS WAY  
BRIGHTON CO 80602-8298

ASHBURN JOHN F JR AND  
ASHBURN JEANNE M  
OR CURRENT RESIDENT  
11581 E 161ST AVE  
BRIGHTON CO 80602-7653

BEGGS CHRISTINE B AND  
BEGGS RAY A  
OR CURRENT RESIDENT  
268 N 5TH AVE  
BRIGHTON CO 80601

BABB DAVE H AND  
BABB ROSEMARY  
OR CURRENT RESIDENT  
356 MILLER AVE  
BRIGHTON CO 80601-2941

BEJARANO BENNIE J AND  
BEJARANO MICHELE M  
OR CURRENT RESIDENT  
11523 E 163RD CT  
BRIGHTON CO 80602-7599

BADER CARLY AND  
BADER JOSHUA  
OR CURRENT RESIDENT  
11370 E 161ST AVE  
BRIGHTON CO 80602-7638

BETTGER BARBARA  
OR CURRENT RESIDENT  
290 ASH AVE  
BRIGHTON CO 80601-2902

BAJOREK JACK D AND  
BAJOREK TERESA L  
OR CURRENT RESIDENT  
16320 PARIS WAY  
BRIGHTON CO 80602-8298

BETTGER LORETTA  
OR CURRENT RESIDENT  
265 ASH AVE  
BRIGHTON CO 80601

BAKER BRIENNA L  
OR CURRENT RESIDENT  
324 CEDAR AVE  
BRIGHTON CO 80601-2922

BLACK JOSEPH D AND  
BLACK JENNIFER  
OR CURRENT RESIDENT  
16050 OAKLAND CT  
BRIGHTON CO 80602-8296

BAKER DELORES R 1/3 INT AND  
BAKER BRET A/APRIL K 2/3 INT  
OR CURRENT RESIDENT  
12420 E 160TH AVE  
BRIGHTON CO 80602-8221

BLAKEY ADAM AND  
BLAKEY ANNE  
OR CURRENT RESIDENT  
16060 NEWARK LN  
BRIGHTON CO 80602-8295

BAMA LLC  
OR CURRENT RESIDENT  
139 N MAIN ST  
BRIGHTON CO 80601-1626

BLOOM KATHLEEN L  
OR CURRENT RESIDENT  
12500 E 160TH AVE  
BRIGHTON CO 80602-8221

BONNIFIELD WILLIAM M AND  
BONNIFIELD MARY  
OR CURRENT RESIDENT  
523 MIDLAND STREET  
BRIGHTON CO 80601

CARRANZA CHRISTIAN AND  
CARRANZA CORINNE MARY  
OR CURRENT RESIDENT  
331 MILLER AVE  
BRIGHTON CO 80601-2940

BRIGHTON ELKS HOME INC  
OR CURRENT RESIDENT  
101 N MAIN ST  
BRIGHTON CO 80601

CASAS MARIO  
OR CURRENT RESIDENT  
374 N 5TH AVE  
BRIGHTON CO 80601

BRIGHTON GRAIN CO  
OR CURRENT RESIDENT  
404 N MAIN ST  
BRIGHTON CO 80601

CASTELLANO THOMAS D  
OR CURRENT RESIDENT  
144 N 4TH AVE  
BRIGHTON CO 80601

BRISENO JOSE H AND  
BRISENO GUADALUPE V  
OR CURRENT RESIDENT  
493 N 5TH AVE  
BRIGHTON CO 80601-1505

CASTILLO MEREJILDO AND  
CASTILLO MARCELLA  
OR CURRENT RESIDENT  
246 N 4TH AVE  
BRIGHTON CO 80601-1708

BURKE CONNIE  
OR CURRENT RESIDENT  
240 ASH AVE  
BRIGHTON CO 80601-2902

CASTRO GUADALUPE AND  
CASTRO ANTONIA/JOSE  
OR CURRENT RESIDENT  
291 BIRCH AVE  
BRIGHTON CO 80601-2913

BURKE DENNIS  
OR CURRENT RESIDENT  
267 N MAIN ST  
BRIGHTON CO 80601-1628

CAULKINS KENNETH C TRUST THE AND  
CAULKINS CHERYL A TRUST THE  
OR CURRENT RESIDENT  
343 MILLER AVE  
BRIGHTON CO 80601-2940

BURKE PHILIP J AND  
BURKE JENNIFER K  
OR CURRENT RESIDENT  
15841 RIVERDALE RD  
BRIGHTON CO 80602-8216

CHAVEZ RODOLFO F ET AL  
OR CURRENT RESIDENT  
350 N 5TH AVE  
BRIGHTON CO 80601-1504

CALVARY CHAPEL BRIGHTON  
OR CURRENT RESIDENT  
103 E BRIDGE ST  
BRIGHTON CO 80601-1606

CHAVEZ RODOLFO K AND  
CHAVEZ ROXANNE M  
OR CURRENT RESIDENT  
362 N 5TH AVE  
BRIGHTON CO 80601-1504

CANVAS CREDIT UNION  
OR CURRENT RESIDENT  
195 S KUNER RD  
BRIGHTON CO 80601

CHINCHILLA AURA VICTORIA AND  
PRECIADO CHRISTIAN  
OR CURRENT RESIDENT  
384 MILLER AVE  
BRIGHTON CO 80601-2941

CARARA MONICA A AND  
CARARA LEE M  
OR CURRENT RESIDENT  
11540 E 162ND DR  
BRIGHTON CO 80602-7684

CHRISTENSEN CHAD A AND  
CHRISTENSEN RACHAEL S  
OR CURRENT RESIDENT  
11473 E 163RD CT  
BRIGHTON CO 80602-7579

CISNEROS VICENTE HERNANDEZ/CISNEROS  
NAZARIO GARCIA/CISNEROS FRANCISCO J  
OR CURRENT RESIDENT  
312 ELM AVE  
BRIGHTON CO 80601-2932

CULLEN JAMES AND  
CULLEN CHRISTINA  
OR CURRENT RESIDENT  
11420 E 163RD CT  
BRIGHTON CO 80602-7579

CITO AMANDA AND  
CITO VINCENT  
OR CURRENT RESIDENT  
11480 E 161ST AVE  
BRIGHTON CO 80602-7652

D Z AND J LLC  
OR CURRENT RESIDENT  
401 N KUNER RD  
BRIGHTON CO 80601-2841

CKL HOLDINGS LLC  
OR CURRENT RESIDENT  
33 N MAIN ST  
BRIGHTON CO 80601-1624

DABROWSKI WOJCIECH  
OR CURRENT RESIDENT  
16287 MOLINE ST  
BRIGHTON CO 80602

CLARK THOMAS E AND  
CLARK MARCIA M  
OR CURRENT RESIDENT  
360 ELM AVE  
BRIGHTON CO 80601-2946

DAVIS JEFFERSON F  
OR CURRENT RESIDENT  
235 BALSAM AVE  
BRIGHTON CO 80601-2909

COON GARY EDWIN  
OR CURRENT RESIDENT  
548 MIDLAND ST  
BRIGHTON CO 80601-1543

DAWSON KENNETH R  
OR CURRENT RESIDENT  
343 N 6TH AVE  
BRIGHTON CO 80601-1507

COUBROUGH GRANT  
OR CURRENT RESIDENT  
353 N 6TH AVE  
BRIGHTON CO 80601-1507

DE LA CRUZ BRECEDA FERNANDO ARMANDO  
OR CURRENT RESIDENT  
16400 TUCSON ST  
BRIGHTON CO 80601-8302

COUNCIL JENNIFER B  
OR CURRENT RESIDENT  
324 N 5TH AVE  
BRIGHTON CO 80601-1504

DEAN JUSTIN AKA DEAN JUSTIN M AND  
DEAN KRISTA AKA DEAN KRISTA S  
OR CURRENT RESIDENT  
16130 NEWARK ST  
BRIGHTON CO 80602-8302

CRABTREE HAROLD L  
OR CURRENT RESIDENT  
232 MILLER AVE  
BRIGHTON CO 80601-2939

DEAN RONALD L  
DEAN CAROL A  
OR CURRENT RESIDENT  
271 N MAIN ST  
BRIGHTON CO 80601-1628

CRALL JOHN  
OR CURRENT RESIDENT  
322 MADISON ST  
BRIGHTON CO 80601

DELUZIO BRIAN J  
OR CURRENT RESIDENT  
16030 OAKLAND CT  
BRIGHTON CO 80602-8296

CROCKETT TIMOTHY L AND  
CROCKETT MARIA E  
OR CURRENT RESIDENT  
475 W EGBERT CIR  
BRIGHTON CO 80601-2930

DENNEY ERICA AND  
DENNEY AARON  
OR CURRENT RESIDENT  
11575 E 162ND DR  
BRIGHTON CO 80602-7684

DIAZ MANCILLAS ENRIQUE AND  
DEL CARMEN SALAS MARIA  
OR CURRENT RESIDENT  
174 LONGS PEAK ST  
BRIGHTON CO 80601-1673

ELLIS JOSEPH E  
OR CURRENT RESIDENT  
400 N 5TH AVE  
BRIGHTON CO 80601

DIMANNA TAMMY R AND  
DIMANNA TERRY S  
OR CURRENT RESIDENT  
16275 NOME ST  
BRIGHTON CO 80602-8301

ERDMANN RICHARD A AND  
ERDMANN CARLENE D  
OR CURRENT RESIDENT  
200 ASPEN DR  
BRIGHTON CO 80601-2905

DIORIO JASON  
OR CURRENT RESIDENT  
287 BALSAM AVE  
BRIGHTON CO 80601-2909

ESQUIVEL LEOBARDO  
OR CURRENT RESIDENT  
214 N 4TH AVE  
BRIGHTON CO 80601

DOBBINS CHRISTOPHER L AND  
DOBBINS JILLIAN S  
OR CURRENT RESIDENT  
15851 RIVERDALE RD  
BRIGHTON CO 80602-8216

ESTRADA BUSTILLOS CONNIE LYNN AND  
ESTRADA BUSTILLOS RENE F  
OR CURRENT RESIDENT  
340 CEDAR AVENUE  
BRIGHTON CO 80601

DOMINGUEZ-GUTIERREZ ENOCC AND  
DOMINGUEZ MARIA  
OR CURRENT RESIDENT  
295 ASPEN DR  
BRIGHTON CO 80601-2906

FERNANDEZ DAMIAN T AND  
FERNANDEZ MICHELE J  
OR CURRENT RESIDENT  
383 ELM AVE  
BRIGHTON CO 80601-2931

DOTSON JAMES C  
OR CURRENT RESIDENT  
454 W EGBERT CIR  
BRIGHTON CO 80601-2930

FINK ROGER AND  
FINK SHEREEN  
OR CURRENT RESIDENT  
116 STRONG ST  
BRIGHTON CO 80601

DRAWER JOAN  
OR CURRENT RESIDENT  
351 ELM AVE  
BRIGHTON CO 80601-2931

FLORES SOTO JAIME AND  
FLORES RAMOS SERGIO  
OR CURRENT RESIDENT  
255 ASPEN DR  
BRIGHTON CO 80601-2906

DUDLEY ADDISON K AND  
DUDLEY SHIRLEY J  
OR CURRENT RESIDENT  
324 MILLER AVE  
BRIGHTON CO 80601-2941

FLORES TARANGO MARIO ALBERTO  
OR CURRENT RESIDENT  
296 BALSAM AVE  
BRIGHTON CO 80601-2910

DUPREE SANDRA L  
OR CURRENT RESIDENT  
230 ASPEN DRIVE  
BRIGHTON CO 80601

FLUNKER SARA B  
OR CURRENT RESIDENT  
250 ASH AVE  
BRIGHTON CO 80601-2902

ELIZADE MARIA  
OR CURRENT RESIDENT  
494 N 5TH AVE  
BRIGHTON CO 80601

FULLER BRYAN AND FULLER BEVERLY J  
OR CURRENT RESIDENT  
373 N 6TH AVE  
BRIGHTON CO 80601-1507



G & B RENTALS LLC  
OR CURRENT RESIDENT  
65 S 1ST AVE  
BRIGHTON CO 80601-1603

GASPAROVICH DAMARIS AND  
ECKELMAN ROBERT D  
OR CURRENT RESIDENT  
210 ASPEN DR  
BRIGHTON CO 80601-2905

GAHNSTROM KEVIN R  
OR CURRENT RESIDENT  
359 ELM AVE  
BRIGHTON CO 80601-2931

GERMAN JOHN L AND  
GERMAN MARY E TRUSTEES OF THE GERMAN FAMILY  
TRUST  
OR CURRENT RESIDENT  
16220 NOME ST  
BRIGHTON CO 80602-8301

GALLEGOS SHELBY R  
OR CURRENT RESIDENT  
244 MILLER AVE  
BRIGHTON CO 80601-2939

GHARIBYAR HAYDEN AND  
GHARIBYAR NORIA  
OR CURRENT RESIDENT  
11520 E 162ND DR  
BRIGHTON CO 80602-7684

GALLEGOS THERESA R/ADAM GABRIEL  
CH LENG  
OR CURRENT RESIDENT  
307 MILLER AVE  
BRIGHTON CO 80601-2940

GIRON ROBERT L AND  
GIRON ORLINDA  
OR CURRENT RESIDENT  
231 ASPEN DR  
BRIGHTON CO 80601-2906

GARCIA ATRIAN ROBERTO AND  
HERNANDEZ JUAN  
OR CURRENT RESIDENT  
337 MILLER AVE  
BRIGHTON CO 80601-2940

GLIDEWELL BRADLEY G AND  
GLIDEWELL CRISTINA  
OR CURRENT RESIDENT  
11981 E 160TH AVENUE  
BRIGHTON CO 80602

GARCIA ESCOBAR EBELY ARCELY  
OR CURRENT RESIDENT  
16035 NEWARK LN  
BRIGHTON CO 80602-8295

GOMEZ ANDRES AND GOMEZ CRISTINA AND  
ALLEN KATIE  
OR CURRENT RESIDENT  
249 BALSAM AVE  
BRIGHTON CO 80601-2909

GARCIA PAULA S  
OR CURRENT RESIDENT  
305 ASPEN DR  
BRIGHTON CO 80601-2906

GOMEZ LUIS JR  
OR CURRENT RESIDENT  
271 BALSAM AVE  
BRIGHTON CO 80601-2909

GARCIA PETE  
OR CURRENT RESIDENT  
240 N 4TH AVE  
BRIGHTON CO 80601-1708

GONZALES CHARLES AND  
GONZALES LISA  
OR CURRENT RESIDENT  
16021 OAKLAND CT  
BRIGHTON CO 80602-8296

GARCIA ROBERT A  
OR CURRENT RESIDENT  
325 ELM AVE  
BRIGHTON CO 80601-2931

GONZALES JOSE HERNANDEZ  
OR CURRENT RESIDENT  
256 MILLER AVE  
BRIGHTON CO 80601

GASCON LUIS F  
OR CURRENT RESIDENT  
431 N 6TH AVE  
BRIGHTON CO 80601-1509

GONZALES ROQUE J AND  
GONZALES THERESA R  
OR CURRENT RESIDENT  
248 BALSAM AVE  
BRIGHTON CO 80601

GOSSERT GLENN A AND  
GOSSERT SHERRIE A  
OR CURRENT RESIDENT  
279 BIRCH AVE  
BRIGHTON CO 80601-2913

HANCOCK FORREST AND  
HANCOCK KOLLEEN  
OR CURRENT RESIDENT  
16254 PARIS WAY  
BRIGHTON CO 80602-8299

GRANT JAMES F AND  
GRANT KATHLEEN L  
OR CURRENT RESIDENT  
383 N 6TH AVE  
BRIGHTON CO 80601-1507

HANSEN CHRISTOPHER S AND  
DYBVIK DARCI M  
OR CURRENT RESIDENT  
245 ASH AVE  
BRIGHTON CO 80601-2901

GRAY THOMAS M AND  
HAMILTON COSETTE S  
OR CURRENT RESIDENT  
200 BALSAM AVE  
BRIGHTON CO 80601-2910

HARMS LUISA  
OR CURRENT RESIDENT  
16347 PARIS WAY  
BRIGHTON CO 80602-8298

GREAVES PAUL W  
OR CURRENT RESIDENT  
13200 E 160TH AVE  
BRIGHTON CO 80601

HARREN REBECCA LYNNE ADAUTO  
OR CURRENT RESIDENT  
11530 E 161ST AVE  
BRIGHTON CO 80602-7653

GREENWELL HALIE VERONICA BELLET  
OR CURRENT RESIDENT  
415 N 6TH AVE  
BRIGHTON CO 80601-1509

HARTMANN DALE  
OR CURRENT RESIDENT  
16387 PARIS WAY  
BRIGHTON CO 80602-8298

GRIFFIN ROBERT C AND  
GRIFFIN JUANITA  
OR CURRENT RESIDENT  
250 MILLER AVE  
BRIGHTON CO 80601-2939

HARVEST FELLOWSHIP CHURCH  
OR CURRENT RESIDENT  
11401 E 160TH AVE  
BRIGHTON CO 80602

GUZMAN GUADALUPE  
OR CURRENT RESIDENT  
403 N 5TH AVE  
BRIGHTON CO 80601-1505

HEADRICK CRAIG L AND  
HEADRICK JANELLE C  
OR CURRENT RESIDENT  
11433 E 163RD CT  
BRIGHTON CO 80602

GUZMAN INVESTMENTS LLC  
OR CURRENT RESIDENT  
161 N MAIN ST  
BRIGHTON CO 80601-1626

HEIDEMAN MICHAEL G AND  
HEIDEMAN MICHELE L  
OR CURRENT RESIDENT  
319 MILLER AVE  
BRIGHTON CO 80601-2940

HAERING LINSEY  
OR CURRENT RESIDENT  
241 N 5TH AVE  
BRIGHTON CO 80601-1712

HEIER IZAAC A  
OR CURRENT RESIDENT  
362 DOGWOOD AVE  
BRIGHTON CO 80601-2927

HAGAN GILBERT SCOTT  
OR CURRENT RESIDENT  
11287 E 162ND PL  
BRIGHTON CO 80602-8229

HEISER DAVID L AND  
HEISER CHRISTINE A  
OR CURRENT RESIDENT  
11545 E 162ND DR  
BRIGHTON CO 80602-7684

HERNANDEZ ELVIA  
OR CURRENT RESIDENT  
425 W EGBERT CIR  
BRIGHTON CO 80601-2930

HUMPHREY LINDA LEE  
OR CURRENT RESIDENT  
247 ASPEN DR  
BRIGHTON CO 80601-2906

HERRERA KATHRINE ELIZABETH SEARS AND  
CORDOVA LOGAN HENRY  
OR CURRENT RESIDENT  
372 MILLER AVE  
BRIGHTON CO 80601-2941

IBANEZ MARTINEZ EDILBERTO  
OR CURRENT RESIDENT  
143 LONGS PEAK ST  
BRIGHTON CO 80601-1674

HIGHBERG GAIL  
OR CURRENT RESIDENT  
364 MILLER AVE  
BRIGHTON CO 80601-2941

IMFELD DOUGLAS AND  
IMFELD AUDREY  
OR CURRENT RESIDENT  
16071 OAKLAND CT  
BRIGHTON CO 80602-8296

HINOJOS JUAN CARLOS AND  
HINOJOS IGNACIA O  
OR CURRENT RESIDENT  
295 BALSAM AVE  
BRIGHTON CO 80601

INDEPENDENT HOLDING LLC  
OR CURRENT RESIDENT  
189 N KUNER RD  
BRIGHTON CO 80601-2883

HODGSON CHRISTOPHER LEE  
HODGSON SABRINA RENEE  
OR CURRENT RESIDENT  
16137 PARIS WAY  
BRIGHTON CO 80602-8297

IRSIK STEVEN J AND  
IRSIK LAURA LYNN  
OR CURRENT RESIDENT  
224 BALSAM AVE  
BRIGHTON CO 80601-2910

HOKE BRENDA K  
OR CURRENT RESIDENT  
208 BALSAM AVE  
BRIGHTON CO 80601-2910

IVES CALEB EUGENE  
OR CURRENT RESIDENT  
209 N 5TH AVE  
BRIGHTON CO 80601-1712

HORNE JESSE O  
OR CURRENT RESIDENT  
407 CROWN CIR  
BRIGHTON CO 80601-2925

JACOBO GUILLERMINA  
OR CURRENT RESIDENT  
279 BALSAM AVE  
BRIGHTON CO 80601-2909

HUGGINS JOHN JAMES SR AND  
HUGGINS JOAN MARCELLE  
OR CURRENT RESIDENT  
255 ASH AVE  
BRIGHTON CO 80601-2901

JALIL AZHAR  
OR CURRENT RESIDENT  
301 STRONG ST  
BRIGHTON CO 80601-1701

HUGHES CALEB D AND HUGHES JOHN W AND  
HUGHES JULIE B  
OR CURRENT RESIDENT  
368 ELM AVE  
BRIGHTON CO 80601-2946

JENKINS DEANA  
OR CURRENT RESIDENT  
429 N 6TH AVE  
BRIGHTON CO 80601-1509

HULEJ ROSEMARIE AND  
HULEJ BRUCE M  
OR CURRENT RESIDENT  
435 N 6TH AVE  
BRIGHTON CO 80601-1509

JENSEN JEFFERY RYON AND  
JENSEN ANGELA  
OR CURRENT RESIDENT  
11421 E 161ST AVE  
BRIGHTON CO 80602-7652

JESSEN COLIN S AND  
JESSEN JESSICA R  
OR CURRENT RESIDENT  
11583 E 163RD CT  
BRIGHTON CO 80602

KELLEY RODNEY D  
OR CURRENT RESIDENT  
15891 RIVERDALE RD  
BRIGHTON CO 80602-8216

JOHNSON CALEB AND  
JOHNSON DANIELL A  
OR CURRENT RESIDENT  
16215 NOME ST  
BRIGHTON CO 80602-8301

KELLOGG ANNA J AND  
REED RICHARD C JR  
OR CURRENT RESIDENT  
440 N 5TH AVE  
BRIGHTON CO 80601-1506

JOHNSON JOSEPH P  
OR CURRENT RESIDENT  
419 N 6TH AVE  
BRIGHTON CO 80601

KETZ ASTRIDE AND  
TALBERG GLORIA  
OR CURRENT RESIDENT  
202 MILLER AVE  
BRIGHTON CO 80601-2939

JOKINEN MARY L  
OR CURRENT RESIDENT  
309 CEDAR AVE  
BRIGHTON CO 80601-2921

KING HUGH J AND  
KING PAULA J  
OR CURRENT RESIDENT  
251 MILLER AVE  
BRIGHTON CO 80601-2938

JURADO SAUL AND  
JURADO MARIA G  
OR CURRENT RESIDENT  
234 N 4TH AVE  
BRIGHTON CO 80601-1708

KITTELMAN DANIEL A  
OR CURRENT RESIDENT  
477 CROWN CIR  
BRIGHTON CO 80601-2925

K & CT FAMILY TRUST THE  
OR CURRENT RESIDENT  
190 GREAT WESTERN RD  
BRIGHTON CO 80601-1655

KNIGHT RYON E AND  
KNIGHT KARROL L  
OR CURRENT RESIDENT  
11510 E 161ST AVE  
BRIGHTON CO 80602-7653

KAMTZ MATTHEW AND  
KAMTZ HEATHER  
OR CURRENT RESIDENT  
16020 NEWARK LN  
BRIGHTON CO 80602-8295

KOWALENKO LEVI VICTOR  
OR CURRENT RESIDENT  
154 N 4TH AVE  
BRIGHTON CO 80601-1706

KARSTEN JONATHAN AND  
KARSTEN ROBYN  
OR CURRENT RESIDENT  
16330 NOME ST  
BRIGHTON CO 80602-8300

KRAMER DORENE LEOTA  
OR CURRENT RESIDENT  
387 N 6TH AVE  
BRIGHTON CO 80601-1507

KATES SHANE  
OR CURRENT RESIDENT  
201 BALSAM AVE  
BRIGHTON CO 80601-2909

KRAMERS LEILA M AND  
ZOPES MICHAEL L  
OR CURRENT RESIDENT  
16380 PARIS WAY  
BRIGHTON CO 80602-8298

KELLEY CURTIS AND  
KELLEY VANESSA  
OR CURRENT RESIDENT  
11343 E 163RD CT  
BRIGHTON CO 80602-7578

KREIE KENNETH R AND  
KREIE PATRICIA A  
OR CURRENT RESIDENT  
223 BALSAM AVE  
BRIGHTON CO 80601-2909

KREUTZER KENNETH AND  
KREUTZER JUDY M  
OR CURRENT RESIDENT  
378 MILLER AVE  
BRIGHTON CO 80601-2941

LLOYD BRUCE MICHL  
OR CURRENT RESIDENT  
12202 E 168TH AVE  
BRIGHTON CO 80602-6661

KUSEK JEWEL AND  
KUSEK EDWARD ALAN  
OR CURRENT RESIDENT  
16164 PARIS WAY  
BRIGHTON CO 80602-8297

LOCKETT KEVIN LEE  
OR CURRENT RESIDENT  
12302 E 168TH AVE  
BRIGHTON CO 80602

LABER HEATH  
OR CURRENT RESIDENT  
275 N 5TH AVE  
BRIGHTON CO 80601-1712

LONG HONG AND  
YE ELAINE  
OR CURRENT RESIDENT  
16041 OAKLAND CT  
BRIGHTON CO 80602-8296

LAMB CHRISTOPHER AND  
LAMB SHEILA L  
OR CURRENT RESIDENT  
11560 E 162ND DR  
BRIGHTON CO 80602-7684

LOYA DANIEL R AND  
LOYA EVA  
OR CURRENT RESIDENT  
275 ASH AVE  
BRIGHTON CO 80601-2901

LAMBERT JAMES DONALD 1/2 INT AND  
LAMBERT BARBARA JEAN 1/2 INT  
OR CURRENT RESIDENT  
11660 E 160TH AVE  
BRIGHTON CO 80602-7437

LOYA DANIEL R JR  
OR CURRENT RESIDENT  
260 ASPEN DR  
BRIGHTON CO 80601-2905

LAMPSHIRE RICHARD WILLIAM AND  
LAMPSHIRE HILLARY NAGEL  
OR CURRENT RESIDENT  
11663 E 163RD CT  
BRIGHTON CO 80602

LUCAS NATASHA AND  
LUCAS DAVID  
OR CURRENT RESIDENT  
16257 PARIS WAY  
BRIGHTON CO 80602-8299

LARSON RICHARD LEROY  
OR CURRENT RESIDENT  
276 N 5TH AVE  
BRIGHTON CO 80601-1713

LUCIO MUNOZ ANTONIO AND  
LUCIO MUNOZ BENITA  
OR CURRENT RESIDENT  
327 ELM AVE  
BRIGHTON CO 80601-2931

LEIPOLD LANA R GOUDY AND  
GOUDY JAMES A JR  
OR CURRENT RESIDENT  
317 BALSAM AVE  
BRIGHTON CO 80601-2911

MACIAS HELEN R AND  
MACIAS ROBERT A  
OR CURRENT RESIDENT  
16080 OAKLAND CT  
BRIGHTON CO 80602-8296

LEPANT JOHN C  
OR CURRENT RESIDENT  
186 DENVER ST  
BRIGHTON CO 80601-1620

MAEZ VIRGINIA J  
OR CURRENT RESIDENT  
255 BALSAM AVE  
BRIGHTON CO 80601-2909

LINK CORY M AND  
LINK NATASHA A  
OR CURRENT RESIDENT  
11680 E 163RD CT  
BRIGHTON CO 80602-7504

MALLOY PAUL A  
OR CURRENT RESIDENT  
129 N 4TH AVE  
BRIGHTON CO 80601-1705

MALPICA BLANCA AND  
VELAZQUEZ MIGUEL  
OR CURRENT RESIDENT  
301 CEDAR AVE  
BRIGHTON CO 80601-2921

MARTINEZ RUBEL AND  
MARTINEZ BOBBIE R  
OR CURRENT RESIDENT  
346 N 5TH AVE  
BRIGHTON CO 80601

MALPICA ULISES  
OR CURRENT RESIDENT  
225 ASH AVE  
BRIGHTON CO 80601-2901

MASCARENAS GILBERT A / JOANN M / STEVEN AND  
PRINCE CHARMAINE  
OR CURRENT RESIDENT  
312 MILLER AVE  
BRIGHTON CO 80601-2941

MANGUS GERALD H AND  
MANGUS RAMONA R  
OR CURRENT RESIDENT  
16144 PARIS WAY  
BRIGHTON CO 80602-8297

MAZITA MASALA ELIE DEMPYREE  
OR CURRENT RESIDENT  
208 N 4TH AVE  
BRIGHTON CO 80601-1708

MAPLE KEITH  
OR CURRENT RESIDENT  
215 N 5TH AVENUE  
BRIGHTON CO 80601

MC CRORY LAND AND CATTLE LLC  
OR CURRENT RESIDENT  
16080 MCCRORY CT  
BRIGHTON CO 80602-8330

MARQUEZ RUAL  
OR CURRENT RESIDENT  
332 N 5TH AVE  
BRIGHTON CO 80601

MC DEVITT GWENDOLYN J  
OR CURRENT RESIDENT  
214 MILLER AVE  
BRIGHTON CO 80601-2939

MARTINEZ ANDRES AND  
JACOBO CRESENCIANO  
OR CURRENT RESIDENT  
300 CEDAR AVE  
BRIGHTON CO 80601

MCCRORY J P  
OR CURRENT RESIDENT  
16152 MCCRORY CT  
BRIGHTON CO 80602-8330

MARTINEZ MARY AGNES AND  
MARTINEZ JOSEPH JAMES  
OR CURRENT RESIDENT  
171 N 4TH AVE  
BRIGHTON CO 80601

MCRAE-INGRAM JULIANE  
OR CURRENT RESIDENT  
16184 PARIS WAY  
BRIGHTON CO 80602-8297

MARTINEZ MICHAEL L  
OR CURRENT RESIDENT  
213 ASPEN DR  
BRIGHTON CO 80601-2986

MECHALKE DONALD J  
OR CURRENT RESIDENT  
141 LONGS PEAK ST  
BRIGHTON CO 80601-1674

MARTINEZ ROGELIO  
OR CURRENT RESIDENT  
166 N 4TH AVE  
BRIGHTON CO 80601-1706

MEDINA RUDY AND  
MEDINA RUDY JR  
OR CURRENT RESIDENT  
496 N 5TH AVE  
BRIGHTON CO 80601-5143

MARTINEZ ROY E TRUST THE  
OR CURRENT RESIDENT  
241 BALSAM AVE  
BRIGHTON CO 80601-2909

MEDLIN WAYNE E AND  
MEDLIN PATRICIA L  
OR CURRENT RESIDENT  
15655 RIVERDALE RD  
BRIGHTON CO 80602-8216

MEINECKE MICHAEL E AND  
WEAVER KARYN G  
OR CURRENT RESIDENT  
11415 E 162ND DR  
BRIGHTON CO 80602-7658

MONTOYA-BABIRAD MARISA LYNN AND  
BABIRAD MICHAEL JARED  
OR CURRENT RESIDENT  
16139 NEWARK ST  
BRIGHTON CO 80602-8302

MENDELSON JESSICA AND  
MENDELSON BRYAN  
OR CURRENT RESIDENT  
11270 E 163RD CT  
BRIGHTON CO 80602-7575

MORITZ PAUL  
OR CURRENT RESIDENT  
11500 E 162ND DR  
BRIGHTON CO 80602-7684

MENDOZA ADRIAN AND STELLA  
OR CURRENT RESIDENT  
371 CEDAR AVE  
BRIGHTON CO 80601-2945

MORRIS/ZADIKOFF PROPERTIES LLC  
OR CURRENT RESIDENT  
130 N MAIN ST  
BRIGHTON CO 80601

MESTAS SAM M AND  
MESTAS KEITH DWAYNE AND MESTAS SHANNON L  
OR CURRENT RESIDENT  
11561 E 161ST AVE  
BRIGHTON CO 80602-7653

MUHLER WAYNE C AND  
MUHLER KAREN A  
OR CURRENT RESIDENT  
12310 E 168TH AVE  
BRIGHTON CO 80602-6627

MEZA FRANCO NATALI AND  
MEZA GARCIA REYNALDO  
OR CURRENT RESIDENT  
256 BALSAM AVE  
BRIGHTON CO 80601-2910

MUNIZ EMERSON AND  
MUNIZ MARY ELEANOR  
OR CURRENT RESIDENT  
421 N 6TH AVE  
BRIGHTON CO 80601-1509

MHJA PROPERTIES LLC  
OR CURRENT RESIDENT  
45 STRONG STREET  
BRIGHTON CO 80601

MUNIZ JORDAN AND  
MUNIZ LAUREN  
OR CURRENT RESIDENT  
273 BIRCH AVE  
BRIGHTON CO 80601-2913

MOLLICONI SANDRA  
OR CURRENT RESIDENT  
16227 PARIS WAY  
BRIGHTON CO 80602-8299

NAVARRO ALFRED J AND  
NAVARRO GERALDINE Y  
OR CURRENT RESIDENT  
456 CROWN CIR  
BRIGHTON CO 80601-2925

MONTOUR TANIA RENEE  
OR CURRENT RESIDENT  
390 ASH AVE  
BRIGHTON CO 80601-2904

NDTCO AS CUSTODIAN FBO RAYMOND LAWSON IRA  
OR CURRENT RESIDENT  
370 N MAIN ST  
BRIGHTON CO 80601-1631

MONTOYA ANTHONY S/SHARON L AND  
SOLANO ANTHONY W/NICOLE R  
OR CURRENT RESIDENT  
11550 E 163RD CT  
BRIGHTON CO 80602-7599

NESS CHRISTOPHER  
OR CURRENT RESIDENT  
15861 RIVERDALE RD  
BRIGHTON CO 80602-8216

MONTOYA ROBERT JAMES II AND  
MONTOYA CHRISTY  
OR CURRENT RESIDENT  
11633 E 163RD CT  
BRIGHTON CO 80602

NOFFSINGER ERIC S  
OR CURRENT RESIDENT  
367 ELM AVE  
BRIGHTON CO 80601-2931



OCHSNER JOHN R  
OR CURRENT RESIDENT  
405 W EGBERT CIR  
BRIGHTON CO 80601-2930

PENA GERARDO AND  
CISNEROS MIRIAM  
OR CURRENT RESIDENT  
375 ELM AVE  
BRIGHTON CO 80601-2931

OCKER JEFFREY D AND  
OCKER JENNIFER M  
OR CURRENT RESIDENT  
182 DENVER STREET  
BRIGHTON CO 80601

PILARSKI MITCHELL WILLIAM  
OR CURRENT RESIDENT  
425 N 6TH AVE  
BRIGHTON CO 80601-1509

OEHMKE MARK J JR  
OR CURRENT RESIDENT  
287 ASPEN DR  
BRIGHTON CO 80601-2906

PORTILLO ALDO NOEL CORRAL  
OR CURRENT RESIDENT  
265 N 5TH AVE  
BRIGHTON CO 80601

OLBERA JOHN F AND  
MILLS LINDA  
OR CURRENT RESIDENT  
338 MILLER AVE  
BRIGHTON CO 80601

PRICE JUSTINA AND  
PRICE CLAY  
OR CURRENT RESIDENT  
280 BALSAM AVE  
BRIGHTON CO 80601-2910

OLEKSY PAUL RAYMOND  
OR CURRENT RESIDENT  
120 DENVER ST  
BRIGHTON CO 80601-1620

PULLIAM SABER C  
OR CURRENT RESIDENT  
203 N 5TH AVE  
BRIGHTON CO 80601-1712

OLSAVSKY ALAN J AND  
OLSAVSKY MARY J  
OR CURRENT RESIDENT  
16297 PARIS WAY  
BRIGHTON CO 80602-8299

QUEZADA NORMA LYDIA LOYA  
OR CURRENT RESIDENT  
201 N 4TH AVE  
BRIGHTON CO 80601-1707

ORTEGA VINCENT JR  
OR CURRENT RESIDENT  
11381 E 161ST AVE  
BRIGHTON CO 80602-7638

QUEZADA ROGELIO AND  
QUEZADA CLAUDIA  
OR CURRENT RESIDENT  
266 N 4TH AVE  
BRIGHTON CO 80601-1708

OSTROM MICHAEL J AND  
OSTROM STEPHANIE  
OR CURRENT RESIDENT  
11393 E 163RD CT  
BRIGHTON CO 80602-7578

QUEZADA VICTOR A  
OR CURRENT RESIDENT  
206 DENVER STREET  
BRIGHTON CO 80601

PADILLA EULALIA  
OR CURRENT RESIDENT  
270 ASH AVE  
BRIGHTON CO 80601-2902

RAMIREZ MARIA GRICELDA MACARENO  
OR CURRENT RESIDENT  
356 CEDAR AVE  
BRIGHTON CO 80601

PAIZ CHRISTOPHER  
OR CURRENT RESIDENT  
404 N 5TH AVE  
BRIGHTON CO 80601-1506

RANDALL ELIZABETH M  
OR CURRENT RESIDENT  
16001 RIVERDALE RD  
BRIGHTON CO 80602-8304

RECKNOR STEVEN AND  
RECKNOR LINDSEY D  
OR CURRENT RESIDENT  
313 MILLER AVE  
BRIGHTON CO 80601-2940

RODRIGUEZ GUADALUPE AND  
RODRIGUEZ JOSEPHINE  
OR CURRENT RESIDENT  
261 BIRCH AVE  
BRIGHTON CO 80601-2913

RENTFROW JULIA MEJIA  
OR CURRENT RESIDENT  
314 N 5TH AVE  
BRIGHTON CO 80601-1504

RODRIGUEZ MARIANNEL ANDRADE AND  
CANALES JONAH GIOVANNI  
OR CURRENT RESIDENT  
215 ASH AVE  
BRIGHTON CO 80601-2901

REYES LOUIS G AND REYES DEBRA A  
OR CURRENT RESIDENT  
350 MADISON ST  
BRIGHTON CO 80601

RODRIGUEZ PEDRO AND  
RODRIGUEZ MARIA ACOSTA DE  
OR CURRENT RESIDENT  
491 N 5TH AVE  
BRIGHTON CO 80601

RIEGEL JEFFREY W  
OR CURRENT RESIDENT  
11330 E 161ST AVE  
BRIGHTON CO 80602-7638

ROJO ERNEST AND  
TRUJILLO JOSEPHINE R  
OR CURRENT RESIDENT  
270 ASPEN DRIVE  
BRIGHTON CO 80601

RIOJAS GIOVANNI  
OR CURRENT RESIDENT  
474 W EGBERT CIR  
BRIGHTON CO 80601-2930

ROLAND ANTHONY AND  
ROLAND DAVID  
OR CURRENT RESIDENT  
316 CEDAR AVE  
BRIGHTON CO 80601-2922

RIOS RIOS J LUIS AND  
RIOS CASAS OCTAVIO  
OR CURRENT RESIDENT  
330 MILLER AVE  
BRIGHTON CO 80601-2941

ROSALES JOSE AND  
HARTMAN NAOMI  
OR CURRENT RESIDENT  
364 CEDAR AVE  
BRIGHTON CO 80601

RIVERA MARIE ELENA  
OR CURRENT RESIDENT  
279 ASPEN DR  
BRIGHTON CO 80601-2906

ROSAS KIABET NELLY HERNANDEZ AND  
OROZCO JOSEFINA  
OR CURRENT RESIDENT  
369 DOGWOOD AVE  
BRIGHTON CO 80601-2926

ROBBINS DAVID C AND DENISE M  
OR CURRENT RESIDENT  
455 W EGBERT CIR  
BRIGHTON CO 80601

ROWE MARTIN RAY AND  
ROWE ELAINE V  
OR CURRENT RESIDENT  
292 BIRCH AVE  
BRIGHTON CO 80601-2914

RODRIGUEZ GRANT HAROLD AND  
RODRIGUEZ TEAL ANN BUNDY  
OR CURRENT RESIDENT  
215 BALSAM AVE  
BRIGHTON CO 80601-2909

ROYBAL BETTY A AND  
TORRES MICHAEL S  
OR CURRENT RESIDENT  
351 CEDAR AVE  
BRIGHTON CO 80601-2945

RODRIGUEZ GRANT NEIL AND  
RODRIGUEZ JENNIFER  
OR CURRENT RESIDENT  
301 BIRCH AVE  
BRIGHTON CO 80601-2915

ROYBAL MATTHEW LAWRENCE AND  
ROYBAL HELEN MARIE  
OR CURRENT RESIDENT  
11440 E 162ND DR  
BRIGHTON CO 80602-7658

RUCHTI JAY JAMES  
OR CURRENT RESIDENT  
343 ELM AVE  
BRIGHTON CO 80601-2931

SANDER JORDON ASHLEY  
OR CURRENT RESIDENT  
150 N 4TH AVE  
BRIGHTON CO 80601-1706

RYDSTROM THOMAS H AND  
RYDSTROM ROZENA H  
OR CURRENT RESIDENT  
404 W EGBERT CIR  
BRIGHTON CO 80601-2930

SANDOVAL JOSE L  
OR CURRENT RESIDENT  
272 N 4TH AVE  
BRIGHTON CO 80601-1708

SAAVEDRA RUBEN CASTRO  
OR CURRENT RESIDENT  
260 ASH AVE  
BRIGHTON CO 80601-2902

SANDOVAL YOLANDA  
OR CURRENT RESIDENT  
250 ASPEN DR  
BRIGHTON CO 80601-2905

SAENZ SOCORRO J AND  
CHAVEZ MARIA ELENA  
OR CURRENT RESIDENT  
393 ASH AVE  
BRIGHTON CO 80601-2903

SARDINA ANTONIO/JOSE AND  
RODRIGUEZ YOLANDA PADRON  
OR CURRENT RESIDENT  
205 ASPEN DRIVE  
BRIGHTON CO 80601

SALAMANCA JOSEPH A AND  
SALAMANCA YVONNE M  
OR CURRENT RESIDENT  
441 N 6TH AVE  
BRIGHTON CO 80601-1509

SCHMIDT PHILIP MARK AND  
SCHMIDT KATHRINE YVONNE  
OR CURRENT RESIDENT  
11491 E 161ST AVE  
BRIGHTON CO 80602-7652

SALAZAR ALICIA  
OR CURRENT RESIDENT  
348 CEDAR AVE  
BRIGHTON CO 80601

SEADER CLINTON C AND  
SEADER JANICE S  
OR CURRENT RESIDENT  
204 N 4TH AVE  
BRIGHTON CO 80601-1708

SALE RORY L AND  
SALE JANE L  
OR CURRENT RESIDENT  
16247 MOLINE ST  
BRIGHTON CO 80602

SEGOVIA LUPE  
OR CURRENT RESIDENT  
232 BALSAM AVE  
BRIGHTON CO 80601

SANCHEZ BLANCA I  
OR CURRENT RESIDENT  
188 DENVER ST  
BRIGHTON CO 80601-1620

SEN ERIC  
WU JIAO  
OR CURRENT RESIDENT  
16170 NEWARK ST  
BRIGHTON CO 80602-8302

SANCHEZ CELESTE MAE AND  
SANCHEZ ANDREW ROMAN  
OR CURRENT RESIDENT  
12101 E 160TH AVE  
BRIGHTON CO 80602

SHARP ROGER  
OR CURRENT RESIDENT  
363 MILLER AVENUE  
BRIGHTON CO 80601

SANCHEZ JOHN S AND JUANITA M  
OR CURRENT RESIDENT  
11700 E 160TH AVE  
BRIGHTON CO 80602

SHEA ASHLEY J  
OR CURRENT RESIDENT  
347 N 6TH AVE  
BRIGHTON CO 80601-1507

SHORTRIDGE ALLIE  
OR CURRENT RESIDENT  
406 CROWN CIR  
BRIGHTON CO 80601-2925

STINSON CHRISTOPHER LYN AND  
STINSON ASHLEY ANNE  
OR CURRENT RESIDENT  
16300 PARIS WAY  
BRIGHTON CO 80602-8298

SHROCK DAISY L  
OR CURRENT RESIDENT  
313 ASPEN DR  
BRIGHTON CO 80601-2906

STUBBS BRYAN  
OR CURRENT RESIDENT  
325 MILLER AVE  
BRIGHTON CO 80601-2940

SIEGMAN MICHAEL AND  
SIEGMAN KATRINA  
OR CURRENT RESIDENT  
377 DOGWOOD AVE  
BRIGHTON CO 80601-2926

SWENSON BLAIR LEE PROPERTIES LLC  
OR CURRENT RESIDENT  
165 LONGS PEAK ST  
BRIGHTON CO 80601-1674

SNYDER DALE R AND  
SNYDER RUTHANN  
OR CURRENT RESIDENT  
268 BIRCH AVE  
BRIGHTON CO 80601-2914

TAFOYA JOEL T AND  
TAFOYA MARY LENA  
OR CURRENT RESIDENT  
286 BIRCH AVE  
BRIGHTON CO 80601-2914

SOLIS ABIGAIL  
OR CURRENT RESIDENT  
322 ELM AVE  
BRIGHTON CO 80601-2932

TALBERG GLORIA AND  
KETZ ASTRIDE  
OR CURRENT RESIDENT  
225 N 5TH AVE  
BRIGHTON CO 80601-1712

SOLIS MARTIN  
OR CURRENT RESIDENT  
446 N 5TH AVE  
BRIGHTON CO 80601-1506

TARIN JUAN  
OR CURRENT RESIDENT  
318 MILLER AVE  
BRIGHTON CO 80601-2941

SOUTHALL RICHARD E AND  
SOUTHALL TERI L  
OR CURRENT RESIDENT  
16180 NEWARK ST  
BRIGHTON CO 80602-8302

THE MARIO GORDILLO LIVING TRUST  
OR CURRENT RESIDENT  
216 BALSAM AVE  
BRIGHTON CO 80601-2910

SPAM ONE LLC  
OR CURRENT RESIDENT  
55 W BRIDGE ST  
BRIGHTON CO 80601-1605

THOMPSON JANNAFAYE  
OR CURRENT RESIDENT  
261 N 5TH AVE  
BRIGHTON CO 80601

STEED TRAVIS  
OR CURRENT RESIDENT  
16075 NEWARK LN  
BRIGHTON CO 80602-8295

THYFAULT SCOTT C  
OR CURRENT RESIDENT  
285 BIRCH AVE  
BRIGHTON CO 80601-2913

STEVENS KATELIN AND  
THILL NICHOLAS  
OR CURRENT RESIDENT  
235 ASH AVE  
BRIGHTON CO 80601-2901

TOBIN JEFFREY J  
OR CURRENT RESIDENT  
142 N 4TH AVE  
BRIGHTON CO 80601-1706

TORRES BASIL JR ND  
TORRES LOIS A  
OR CURRENT RESIDENT  
280 BIRCH AVE  
BRIGHTON CO 80601-2914

VALENTIN MARTIN AND  
VALENTIN KAISHA  
OR CURRENT RESIDENT  
207 BALSAM AVE  
BRIGHTON CO 80601-2909

TORRES JOSE L  
OR CURRENT RESIDENT  
220 MILLER AVE  
BRIGHTON CO 80601-2939

VARDAMAN CURTIS A  
VARDAMAN DENISE R  
OR CURRENT RESIDENT  
11501 E 161ST AVE  
BRIGHTON CO 80602-7653

TREPANLER RUBY AND  
ROYBAL CODY  
OR CURRENT RESIDENT  
293 N 5TH AVE  
BRIGHTON CO 80601-1712

VASQUEZ FELICITAS AND  
VASQUEZ MARCELINO JR  
OR CURRENT RESIDENT  
339 WALNUT ST  
BRIGHTON CO 80601-1738

TRUJILLO JOE LEROY AND  
TRUJILLO JOSEPHINE I  
OR CURRENT RESIDENT  
363 CEDAR AVE  
BRIGHTON CO 80601

VEGA JUSTINO AND  
VEGA HERMILA M  
OR CURRENT RESIDENT  
292 N 4TH AVE  
BRIGHTON CO 80601-1708

TRZCINSKI SHEILA R  
OR CURRENT RESIDENT  
239 ASPEN DR  
BRIGHTON CO 80601-2906

VIGIL MARY JANE  
OR CURRENT RESIDENT  
351 N MAIN ST  
BRIGHTON CO 80601-1630

TURPEN MARIAN M  
OR CURRENT RESIDENT  
271 ASPEN DR  
BRIGHTON CO 80601-2906

VILLAGOMEZ EDWARD AND  
VILLAGOMEZ MELISSA  
OR CURRENT RESIDENT  
210 ASH AVENUE  
BRIGHTON CO 80601

TUSTIN BRIAN AND  
AZUA TOSHA  
OR CURRENT RESIDENT  
361 DOGWOOD AVENUE  
BRIGHTON CO 80601

VILLALOBOS MODESTO C AND  
VILLALOBOS LYDIA V  
OR CURRENT RESIDENT  
129 LONGS PEAK ST  
BRIGHTON CO 80601

UNREIN EUGENE L AND  
UNREIN KATHLEEN J  
OR CURRENT RESIDENT  
114 N MAIN ST  
BRIGHTON CO 80601

VIRGIL RICHARD DANIEL  
OR CURRENT RESIDENT  
11505 E 162ND DR  
BRIGHTON CO 80602-7684

UNREIN JOLEAN R  
OR CURRENT RESIDENT  
280 ASH AVENUE  
BRIGHTON CO 80601

VO THANH AND  
VO JUDY  
OR CURRENT RESIDENT  
11360 E 163RD CT  
BRIGHTON CO 80602-7578

UTTICH WILLIAM J AND  
RIVERA-UTTICH LETICIA  
OR CURRENT RESIDENT  
11400 E 161ST AVE  
BRIGHTON CO 80602-7652

VOHL MATTHEW  
OR CURRENT RESIDENT  
16274 PARIS WAY  
BRIGHTON CO 80602-8299

WAGNER PAUL S AND  
WAGNER KANDY LEE  
OR CURRENT RESIDENT  
11351 E 161ST AVE  
BRIGHTON CO 80602-7638

WILLIAMS BOB A AND  
WILLIAMS SARA A  
OR CURRENT RESIDENT  
11350 E 162ND DR  
BRIGHTON CO 80602-7654

WALKER RYAN M AND  
WALKER CAYLYN E  
OR CURRENT RESIDENT  
16119 NEWARK ST  
BRIGHTON CO 80602-8302

WISER ERIC STEVEN AND  
WISER HEIDI M  
OR CURRENT RESIDENT  
267 BIRCH AVE  
BRIGHTON CO 80601-2913

WALVOORD R WAYNE  
OR CURRENT RESIDENT  
346 MILLER AVE  
BRIGHTON CO 80601-2941

WOLF PHYLLEEN A  
OR CURRENT RESIDENT  
300 ASH AVE  
BRIGHTON CO 80601-2904

WARD KEVIN L AND  
WARD EVILIA P  
OR CURRENT RESIDENT  
325 BIRCH AVE  
BRIGHTON CO 80601-2915

WOOD JERRY D  
OR CURRENT RESIDENT  
11880 E 160TH AVE  
BRIGHTON CO 80602-7437

WELCH MITCHELL A AND  
VIGIL SHANTEL  
OR CURRENT RESIDENT  
304 BALSAM AVE  
BRIGHTON CO 80601-2912

XU WEN YING AND PHU ANITA AND  
PHU COONG VAY  
OR CURRENT RESIDENT  
16360 PARIS WAY  
BRIGHTON CO 80602-8298

WERTH DEBORAH J AND  
WERTH STEPHEN A  
OR CURRENT RESIDENT  
16159 NEWARK ST  
BRIGHTON CO 80602-8302

YEPEZ JORGE  
OR CURRENT RESIDENT  
258 N 4TH AVENUE  
BRIGHTON CO 80601

WHITT ERIC AND  
WHITT DIANE  
OR CURRENT RESIDENT  
16260 NOME ST  
BRIGHTON CO 80602-8301

ZAMORA-AVALOS ANA G AND  
ARANDA JOSE D  
OR CURRENT RESIDENT  
205 ASH AVE  
BRIGHTON CO 80601-2901

WIELAND DAVID M AND  
WIELAND CRYSTAL L  
OR CURRENT RESIDENT  
11325 E 162ND DR  
BRIGHTON CO 80602-7654

ZAVALA EDGAR ARTURO  
OR CURRENT RESIDENT  
436 N 5TH AVE  
BRIGHTON CO 80601-1506

WIERZBOWSKI CHRISTINA  
OR CURRENT RESIDENT  
239 MILLER AVE  
BRIGHTON CO 80601-2938

CURRENT RESIDENT  
301 N 5TH AVE  
BRIGHTON CO 80601-1503

WILLERT TUCKER T AND  
TELLINGER ANNA A  
OR CURRENT RESIDENT  
11490 E 162ND DR  
BRIGHTON CO 80602-7658

CURRENT RESIDENT  
303 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
305 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
316 N 5TH AVE  
BRIGHTON CO 80601-1504

CURRENT RESIDENT  
313 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
348 N 5TH AVE  
BRIGHTON CO 80601-1504

CURRENT RESIDENT  
315 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
388 N 5TH AVE  
BRIGHTON CO 80601-1504

CURRENT RESIDENT  
317 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
415 N 5TH AVE  
BRIGHTON CO 80601-1505

CURRENT RESIDENT  
319 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
419 N 5TH AVE  
BRIGHTON CO 80601-1505

CURRENT RESIDENT  
325 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
455 N 5TH AVE  
BRIGHTON CO 80601-1505

CURRENT RESIDENT  
327 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
489 N 5TH AVE  
BRIGHTON CO 80601-1505

CURRENT RESIDENT  
329 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
458 N 5TH AVE  
BRIGHTON CO 80601-1506

CURRENT RESIDENT  
331 N 5TH AVE  
BRIGHTON CO 80601-1503

CURRENT RESIDENT  
490 N 5TH AVE  
BRIGHTON CO 80601-1506

CURRENT RESIDENT  
302 N 5TH AVE  
BRIGHTON CO 80601-1504

CURRENT RESIDENT  
492 N 5TH AVE  
BRIGHTON CO 80601-1506



CURRENT RESIDENT  
417 N 6TH AVE  
BRIGHTON CO 80601-1509

CURRENT RESIDENT  
113 E BRIDGE ST UNIT D  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
404 N MAIN ST  
BRIGHTON CO 80601-1521

CURRENT RESIDENT  
115 E BRIDGE ST  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
490 N MAIN ST  
BRIGHTON CO 80601-1521

CURRENT RESIDENT  
117 E BRIDGE ST UNIT E  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
701 N MAIN ST  
BRIGHTON CO 80601-1555

CURRENT RESIDENT  
168 E BRIDGE ST  
BRIGHTON CO 80601-1607

CURRENT RESIDENT  
21 S 1ST AVE  
BRIGHTON CO 80601-1603

CURRENT RESIDENT  
5 S MAIN ST  
BRIGHTON CO 80601-1609

CURRENT RESIDENT  
5 S 1ST AVE  
BRIGHTON CO 80601-1603

CURRENT RESIDENT  
50 N MAIN ST STE A  
BRIGHTON CO 80601-1616

CURRENT RESIDENT  
51 S 1ST AVE  
BRIGHTON CO 80601-1603

CURRENT RESIDENT  
50 N MAIN ST STE B  
BRIGHTON CO 80601-1616

CURRENT RESIDENT  
107 E BRIDGE ST UNIT A  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
50 N MAIN ST STE C  
BRIGHTON CO 80601-1616

CURRENT RESIDENT  
109 E BRIDGE ST UNIT B  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
290 N MAIN ST UNIT A  
BRIGHTON CO 80601-1618

CURRENT RESIDENT  
111 E BRIDGE ST UNIT C  
BRIGHTON CO 80601-1606

CURRENT RESIDENT  
290 N MAIN ST UNIT B  
BRIGHTON CO 80601-1618

CURRENT RESIDENT  
290 N MAIN ST UNIT C  
BRIGHTON CO 80601-1618

CURRENT RESIDENT  
25 N MAIN ST  
BRIGHTON CO 80601-1624

CURRENT RESIDENT  
147 DENVER ST  
BRIGHTON CO 80601-1620

CURRENT RESIDENT  
39 N MAIN ST  
BRIGHTON CO 80601-1624

CURRENT RESIDENT  
176 DENVER ST  
BRIGHTON CO 80601-1620

CURRENT RESIDENT  
43 N MAIN ST  
BRIGHTON CO 80601-1624

CURRENT RESIDENT  
210 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
5 N MAIN ST  
BRIGHTON CO 80601-1624

CURRENT RESIDENT  
214 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
12 N MAIN ST  
BRIGHTON CO 80601-1625

CURRENT RESIDENT  
216 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
14 N MAIN ST  
BRIGHTON CO 80601-1625

CURRENT RESIDENT  
254 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
8 N MAIN ST  
BRIGHTON CO 80601-1625

CURRENT RESIDENT  
258 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
119 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
264 DENVER ST  
BRIGHTON CO 80601-1621

CURRENT RESIDENT  
121 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
15 N MAIN ST  
BRIGHTON CO 80601-1624

CURRENT RESIDENT  
123 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
147 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
299 N MAIN ST  
BRIGHTON CO 80601-1628

CURRENT RESIDENT  
149 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
218 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
155 N MAIN ST  
BRIGHTON CO 80601-1626

CURRENT RESIDENT  
238 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
112 N MAIN ST  
BRIGHTON CO 80601-1627

CURRENT RESIDENT  
248 MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
122 N MAIN ST  
BRIGHTON CO 80601-1627

CURRENT RESIDENT  
250 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
148 N MAIN ST  
BRIGHTON CO 80601-1627

CURRENT RESIDENT  
270 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
227 N MAIN ST  
BRIGHTON CO 80601-1628

CURRENT RESIDENT  
278 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
233 N MAIN ST  
BRIGHTON CO 80601-1628

CURRENT RESIDENT  
284 N MAIN ST  
BRIGHTON CO 80601-1629

CURRENT RESIDENT  
263 N MAIN ST  
BRIGHTON CO 80601-1628

CURRENT RESIDENT  
305 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
265 N MAIN ST  
BRIGHTON CO 80601-1628

CURRENT RESIDENT  
311 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
315 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
390 N MAIN ST  
BRIGHTON CO 80601-1631

CURRENT RESIDENT  
325 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
15 STRONG ST  
BRIGHTON CO 80601-1633

CURRENT RESIDENT  
331 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
35 STRONG ST  
BRIGHTON CO 80601-1633

CURRENT RESIDENT  
335 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
37 STRONG ST  
BRIGHTON CO 80601-1633

CURRENT RESIDENT  
337 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
115 STRONG ST  
BRIGHTON CO 80601-1635

CURRENT RESIDENT  
351 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
114 STRONG ST  
BRIGHTON CO 80601-1636

CURRENT RESIDENT  
361 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
118 STRONG ST  
BRIGHTON CO 80601-1636

CURRENT RESIDENT  
363 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
21 N 1ST AVE STE 100  
BRIGHTON CO 80601-1638

CURRENT RESIDENT  
371 N MAIN ST  
BRIGHTON CO 80601-1630

CURRENT RESIDENT  
21 N 1ST AVE STE 140  
BRIGHTON CO 80601-1638

CURRENT RESIDENT  
380 N MAIN ST  
BRIGHTON CO 80601-1631

CURRENT RESIDENT  
21 N 1ST AVE STE 200  
BRIGHTON CO 80601-1638

CURRENT RESIDENT  
21 N 1ST AVE STE 290  
BRIGHTON CO 80601-1638

CURRENT RESIDENT  
45 N MAIN ST STE 2  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
105 E BRIDGE ST STE A  
BRIGHTON CO 80601-1639

CURRENT RESIDENT  
45 N MAIN ST STE 4  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
131 N 1ST AVE  
BRIGHTON CO 80601-1640

CURRENT RESIDENT  
45 N MAIN ST STE 5  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
21 N 1ST AVE STE 190  
BRIGHTON CO 80601-1641

CURRENT RESIDENT  
45 N MAIN ST STE 6  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
21 N 1ST AVE STE 240  
BRIGHTON CO 80601-1642

CURRENT RESIDENT  
45 N MAIN ST STE 9  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
8 GREAT WESTERN RD  
BRIGHTON CO 80601-1646

CURRENT RESIDENT  
24 N MAIN ST STE A  
BRIGHTON CO 80601-1659

CURRENT RESIDENT  
200 GREAT WESTERN RD  
BRIGHTON CO 80601-1647

CURRENT RESIDENT  
24 N MAIN ST STE B  
BRIGHTON CO 80601-1659

CURRENT RESIDENT  
210 GREAT WESTERN RD  
BRIGHTON CO 80601-1647

CURRENT RESIDENT  
24 N MAIN ST STE C  
BRIGHTON CO 80601-1659

CURRENT RESIDENT  
59 BUSH ST  
BRIGHTON CO 80601-1649

CURRENT RESIDENT  
124 N MAIN ST UNIT A  
BRIGHTON CO 80601-1664

CURRENT RESIDENT  
45 N MAIN ST STE 1  
BRIGHTON CO 80601-1656

CURRENT RESIDENT  
124 N MAIN ST UNIT B  
BRIGHTON CO 80601-1664

CURRENT RESIDENT  
260 N MAIN ST STE A  
BRIGHTON CO 80601-1666

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 18  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
260 N MAIN ST STE B  
BRIGHTON CO 80601-1666

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 19  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 1  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 2  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 10  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 3  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 11  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 4  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 12  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 5  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 14  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 6  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 15  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 7  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 16  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 8  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 17  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
105 LONGS PEAK ST LOT 9  
BRIGHTON CO 80601-1671

CURRENT RESIDENT  
104 LONGS PEAK ST  
BRIGHTON CO 80601-1673

CURRENT RESIDENT  
18 N MAIN ST UNIT B  
BRIGHTON CO 80601-1681

CURRENT RESIDENT  
137 LONGS PEAK ST  
BRIGHTON CO 80601-1674

CURRENT RESIDENT  
18 N MAIN ST UNIT C  
BRIGHTON CO 80601-1681

CURRENT RESIDENT  
175 LONGS PEAK ST  
BRIGHTON CO 80601-1674

CURRENT RESIDENT  
18 N MAIN ST UNIT D  
BRIGHTON CO 80601-1681

CURRENT RESIDENT  
300 MADISON ST  
BRIGHTON CO 80601-1676

CURRENT RESIDENT  
21 N 1ST AVE STE 120  
BRIGHTON CO 80601-1686

CURRENT RESIDENT  
316 MADISON ST  
BRIGHTON CO 80601-1676

CURRENT RESIDENT  
145 N 4TH AVE  
BRIGHTON CO 80601-1705

CURRENT RESIDENT  
344 MADISON ST  
BRIGHTON CO 80601-1676

CURRENT RESIDENT  
147 N 4TH AVE  
BRIGHTON CO 80601-1705

CURRENT RESIDENT  
315 MADISON ST  
BRIGHTON CO 80601-1677

CURRENT RESIDENT  
155 N 4TH AVE  
BRIGHTON CO 80601-1705

CURRENT RESIDENT  
319 MADISON ST  
BRIGHTON CO 80601-1677

CURRENT RESIDENT  
157 N 4TH AVE  
BRIGHTON CO 80601-1705

CURRENT RESIDENT  
345 MADISON ST  
BRIGHTON CO 80601-1677

CURRENT RESIDENT  
162 N 4TH AVE  
BRIGHTON CO 80601-1706

CURRENT RESIDENT  
18 N MAIN ST UNIT A  
BRIGHTON CO 80601-1681

CURRENT RESIDENT  
190 N 4TH AVE  
BRIGHTON CO 80601-1706



CURRENT RESIDENT  
222 N 4TH AVE  
BRIGHTON CO 80601-1708

CURRENT RESIDENT  
504 LONGS PEAK ST  
BRIGHTON CO 80601-1732

CURRENT RESIDENT  
228 N 4TH AVE  
BRIGHTON CO 80601-1708

CURRENT RESIDENT  
506 LONGS PEAK ST  
BRIGHTON CO 80601-1732

CURRENT RESIDENT  
254 N 4TH AVE  
BRIGHTON CO 80601-1708

CURRENT RESIDENT  
301 WALNUT ST  
BRIGHTON CO 80601-1738

CURRENT RESIDENT  
280 N 4TH AVE  
BRIGHTON CO 80601-1708

CURRENT RESIDENT  
317 WALNUT ST  
BRIGHTON CO 80601-1738

CURRENT RESIDENT  
284 N 4TH AVE  
BRIGHTON CO 80601-1708

CURRENT RESIDENT  
308 WALNUT ST  
BRIGHTON CO 80601-1751

CURRENT RESIDENT  
187 N 5TH AVE  
BRIGHTON CO 80601-1710

CURRENT RESIDENT  
322 WALNUT ST  
BRIGHTON CO 80601-1751

CURRENT RESIDENT  
237 N 5TH AVE  
BRIGHTON CO 80601-1712

CURRENT RESIDENT  
330 WALNUT ST  
BRIGHTON CO 80601-1751

CURRENT RESIDENT  
249 N 5TH AVE  
BRIGHTON CO 80601-1712

CURRENT RESIDENT  
117 N MAIN ST UNIT A  
BRIGHTON CO 80601-1778

CURRENT RESIDENT  
293 1/2 N 5TH AVE  
BRIGHTON CO 80601-1712

CURRENT RESIDENT  
117 N MAIN ST UNIT B  
BRIGHTON CO 80601-1778

CURRENT RESIDENT  
299 N 5TH AVE  
BRIGHTON CO 80601-1712

CURRENT RESIDENT  
700 N MAIN ST  
BRIGHTON CO 80601-1779

CURRENT RESIDENT  
250 N 5TH AVE UNIT MAIN  
BRIGHTON CO 80601-1790

CURRENT RESIDENT  
109 W WALNUT ST UNIT D  
BRIGHTON CO 80601-2803

CURRENT RESIDENT  
250 N 5TH AVE UNIT A  
BRIGHTON CO 80601-1791

CURRENT RESIDENT  
75 W BRIDGE ST  
BRIGHTON CO 80601-2804

CURRENT RESIDENT  
105 LONGS PEAK ST APT A  
BRIGHTON CO 80601-1794

CURRENT RESIDENT  
70 W BRIDGE ST  
BRIGHTON CO 80601-2805

CURRENT RESIDENT  
105 LONGS PEAK ST APT B  
BRIGHTON CO 80601-1794

CURRENT RESIDENT  
99 N KUNER RD  
BRIGHTON CO 80601-2818

CURRENT RESIDENT  
105 LONGS PEAK ST APT C  
BRIGHTON CO 80601-1794

CURRENT RESIDENT  
219 N KUNER RD  
BRIGHTON CO 80601-2822

CURRENT RESIDENT  
105 LONGS PEAK ST APT D  
BRIGHTON CO 80601-1794

CURRENT RESIDENT  
221 N KUNER RD  
BRIGHTON CO 80601-2822

CURRENT RESIDENT  
301 N KUNER RD  
BRIGHTON CO 80601-2801

CURRENT RESIDENT  
108 W WALNUT ST  
BRIGHTON CO 80601-2827

CURRENT RESIDENT  
109 W WALNUT ST UNIT A  
BRIGHTON CO 80601-2803

CURRENT RESIDENT  
355 W EGBERT ST  
BRIGHTON CO 80601-2832

CURRENT RESIDENT  
109 W WALNUT ST UNIT B  
BRIGHTON CO 80601-2803

CURRENT RESIDENT  
101 W EGBERT ST APT 101  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
109 W WALNUT ST UNIT C  
BRIGHTON CO 80601-2803

CURRENT RESIDENT  
101 W EGBERT ST APT 102  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
101 W EGBERT ST APT 103  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
131 W EGBERT ST APT 101  
BRIGHTON CO 80601-2837

CURRENT RESIDENT  
101 W EGBERT ST APT 104  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
131 W EGBERT ST APT 102  
BRIGHTON CO 80601-2837

CURRENT RESIDENT  
101 W EGBERT ST APT 201  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
131 W EGBERT ST APT 103  
BRIGHTON CO 80601-2837

CURRENT RESIDENT  
101 W EGBERT ST APT 202  
BRIGHTON CO 80601-2835

CURRENT RESIDENT  
131 W EGBERT ST APT 104  
BRIGHTON CO 80601-2837

CURRENT RESIDENT  
151 W EGBERT ST APT 101  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
131 W EGBERT ST APT 201  
BRIGHTON CO 80601-2837

CURRENT RESIDENT  
151 W EGBERT ST APT 102  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
65 N KUNER RD APT 101  
BRIGHTON CO 80601-2839

CURRENT RESIDENT  
151 W EGBERT ST APT 103  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
65 N KUNER RD APT 103  
BRIGHTON CO 80601-2839

CURRENT RESIDENT  
151 W EGBERT ST APT 104  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
65 N KUNER RD APT 105  
BRIGHTON CO 80601-2839

CURRENT RESIDENT  
151 W EGBERT ST APT 201  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
65 N KUNER RD APT 107  
BRIGHTON CO 80601-2839

CURRENT RESIDENT  
151 W EGBERT ST APT 202  
BRIGHTON CO 80601-2836

CURRENT RESIDENT  
65 N KUNER RD APT 109  
BRIGHTON CO 80601-2839

CURRENT RESIDENT  
78 W WALNUT ST APT 101  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 204  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 103  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 205  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 104  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 206  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 105  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 207  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
78 W WALNUT ST APT 107  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
101 W EGBERT ST APT 303  
BRIGHTON CO 80601-2842

CURRENT RESIDENT  
78 W WALNUT ST APT 108  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
101 W EGBERT ST APT 304  
BRIGHTON CO 80601-2842

CURRENT RESIDENT  
78 W WALNUT ST APT 109  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
131 W EGBERT ST APT 203  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
78 W WALNUT ST APT 201  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
131 W EGBERT ST APT 204  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
78 W WALNUT ST APT 202  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
131 W EGBERT ST APT 301  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
78 W WALNUT ST APT 203  
BRIGHTON CO 80601-2840

CURRENT RESIDENT  
131 W EGBERT ST APT 302  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
131 W EGBERT ST APT 303  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
65 N KUNER RD APT 115  
BRIGHTON CO 80601-2846

CURRENT RESIDENT  
131 W EGBERT ST APT 304  
BRIGHTON CO 80601-2843

CURRENT RESIDENT  
65 N KUNER RD APT 117  
BRIGHTON CO 80601-2846

CURRENT RESIDENT  
151 W EGBERT ST APT 203  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
65 N KUNER RD APT 119  
BRIGHTON CO 80601-2846

CURRENT RESIDENT  
151 W EGBERT ST APT 204  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
78 W WALNUT ST APT 208  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
151 W EGBERT ST APT 301  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
78 W WALNUT ST APT 209  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
151 W EGBERT ST APT 302  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
78 W WALNUT ST APT 301  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
151 W EGBERT ST APT 303  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
78 W WALNUT ST APT 302  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
151 W EGBERT ST APT 304  
BRIGHTON CO 80601-2844

CURRENT RESIDENT  
78 W WALNUT ST APT 303  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
65 N KUNER RD APT 111  
BRIGHTON CO 80601-2846

CURRENT RESIDENT  
78 W WALNUT ST APT 304  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
65 N KUNER RD APT 113  
BRIGHTON CO 80601-2846

CURRENT RESIDENT  
78 W WALNUT ST APT 305  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
78 W WALNUT ST APT 306  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
101 W EGBERT ST APT 301  
BRIGHTON CO 80601-2862

CURRENT RESIDENT  
78 W WALNUT ST APT 307  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
101 W EGBERT ST APT 302  
BRIGHTON CO 80601-2862

CURRENT RESIDENT  
78 W WALNUT ST APT 308  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
55 W BRIGHTON ST UNIT A  
BRIGHTON CO 80601-2882

CURRENT RESIDENT  
78 W WALNUT ST APT 309  
BRIGHTON CO 80601-2851

CURRENT RESIDENT  
55 W BRIGHTON ST UNIT B  
BRIGHTON CO 80601-2882

CURRENT RESIDENT  
125 W BRIDGE ST STE A1  
BRIGHTON CO 80601-2855

CURRENT RESIDENT  
189 N KUNER RD UNIT A  
BRIGHTON CO 80601-2884

CURRENT RESIDENT  
125 W BRIDGE ST STE B  
BRIGHTON CO 80601-2855

CURRENT RESIDENT  
189 N KUNER RD UNIT B  
BRIGHTON CO 80601-2884

CURRENT RESIDENT  
125 W BRIDGE ST STE C  
BRIGHTON CO 80601-2855

CURRENT RESIDENT  
90 MILLER AVE  
BRIGHTON CO 80601-2886

CURRENT RESIDENT  
125 W BRIDGE ST STE D  
BRIGHTON CO 80601-2855

CURRENT RESIDENT  
97 MILLER AVE  
BRIGHTON CO 80601-2887

CURRENT RESIDENT  
101 W EGBERT ST APT 203  
BRIGHTON CO 80601-2862

CURRENT RESIDENT  
65 N KUNER RD APT 201  
BRIGHTON CO 80601-2890

CURRENT RESIDENT  
101 W EGBERT ST APT 204  
BRIGHTON CO 80601-2862

CURRENT RESIDENT  
65 N KUNER RD APT 203  
BRIGHTON CO 80601-2890

CURRENT RESIDENT  
65 N KUNER RD APT 205  
BRIGHTON CO 80601-2890

CURRENT RESIDENT  
220 ASH AVE  
BRIGHTON CO 80601-2902

CURRENT RESIDENT  
65 N KUNER RD APT 207  
BRIGHTON CO 80601-2890

CURRENT RESIDENT  
220 ASPEN DR  
BRIGHTON CO 80601-2905

CURRENT RESIDENT  
65 N KUNER RD APT 209  
BRIGHTON CO 80601-2890

CURRENT RESIDENT  
240 ASPEN DR  
BRIGHTON CO 80601-2905

CURRENT RESIDENT  
65 N KUNER RD APT 211  
BRIGHTON CO 80601-2891

CURRENT RESIDENT  
263 ASPEN DR  
BRIGHTON CO 80601-2906

CURRENT RESIDENT  
65 N KUNER RD APT 213  
BRIGHTON CO 80601-2891

CURRENT RESIDENT  
240 BALSAM AVE  
BRIGHTON CO 80601-2910

CURRENT RESIDENT  
65 N KUNER RD APT 215  
BRIGHTON CO 80601-2891

CURRENT RESIDENT  
264 BALSAM AVE  
BRIGHTON CO 80601-2910

CURRENT RESIDENT  
65 N KUNER RD APT 217  
BRIGHTON CO 80601-2891

CURRENT RESIDENT  
272 BALSAM AVE  
BRIGHTON CO 80601-2910

CURRENT RESIDENT  
65 N KUNER RD APT 219  
BRIGHTON CO 80601-2891

CURRENT RESIDENT  
288 BALSAM AVE  
BRIGHTON CO 80601-2910

CURRENT RESIDENT  
124 W BRIDGE ST  
BRIGHTON CO 80601-2898

CURRENT RESIDENT  
307 BALSAM AVE  
BRIGHTON CO 80601-2911

CURRENT RESIDENT  
200 ASH AVE  
BRIGHTON CO 80601-2902

CURRENT RESIDENT  
297 BIRCH AVE  
BRIGHTON CO 80601-2913



CURRENT RESIDENT  
262 BIRCH AVE  
BRIGHTON CO 80601-2914

CURRENT RESIDENT  
238 MILLER AVE  
BRIGHTON CO 80601-2939

CURRENT RESIDENT  
314 BIRCH AVE  
BRIGHTON CO 80601-2916

CURRENT RESIDENT  
337 CEDAR AVE  
BRIGHTON CO 80601-2945

CURRENT RESIDENT  
332 CEDAR AVE  
BRIGHTON CO 80601-2922

CURRENT RESIDENT  
108 MILLER AVE APT 101  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
353 DOGWOOD AVE  
BRIGHTON CO 80601-2926

CURRENT RESIDENT  
108 MILLER AVE APT 102  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
354 DOGWOOD AVE  
BRIGHTON CO 80601-2927

CURRENT RESIDENT  
108 MILLER AVE APT 103  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
370 DOGWOOD AVE  
BRIGHTON CO 80601-2927

CURRENT RESIDENT  
108 MILLER AVE APT 104  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
424 W EGBERT CIR  
BRIGHTON CO 80601-2930

CURRENT RESIDENT  
108 MILLER AVE APT 105  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
319 ELM AVE  
BRIGHTON CO 80601-2931

CURRENT RESIDENT  
108 MILLER AVE APT 106  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
245 MILLER AVE  
BRIGHTON CO 80601-2938

CURRENT RESIDENT  
108 MILLER AVE APT 107  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
208 MILLER AVE  
BRIGHTON CO 80601-2939

CURRENT RESIDENT  
108 MILLER AVE APT 108  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 201  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 303  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 202  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 304  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 203  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 305  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 204  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 306  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 205  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 307  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 206  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 308  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
108 MILLER AVE APT 207  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
106 MILLER AVE APT 101  
BRIGHTON CO 80601-3902

CURRENT RESIDENT  
108 MILLER AVE APT 208  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
106 MILLER AVE APT 102  
BRIGHTON CO 80601-3902

CURRENT RESIDENT  
108 MILLER AVE APT 301  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
106 MILLER AVE APT 103  
BRIGHTON CO 80601-3902

CURRENT RESIDENT  
108 MILLER AVE APT 302  
BRIGHTON CO 80601-3901

CURRENT RESIDENT  
106 MILLER AVE APT 104  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 105  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 207  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 106  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 208  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 107  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 301  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 108  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 302  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 201  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 303  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 202  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 304  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 203  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 305  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 204  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 306  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 205  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 307  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 206  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
106 MILLER AVE APT 308  
BRIGHTON CO 80601-3903

CURRENT RESIDENT  
104 MILLER AVE APT 101  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 203  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 102  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 204  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 103  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 205  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 104  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 206  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 105  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 207  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 106  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 208  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 107  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 301  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 108  
BRIGHTON CO 80601-3904

CURRENT RESIDENT  
104 MILLER AVE APT 302  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 201  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 303  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 202  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 304  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
104 MILLER AVE APT 305  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
102 MILLER AVE APT 107  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
104 MILLER AVE APT 306  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
102 MILLER AVE APT 108  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
104 MILLER AVE APT 307  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
102 MILLER AVE APT 201  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
104 MILLER AVE APT 308  
BRIGHTON CO 80601-3905

CURRENT RESIDENT  
102 MILLER AVE APT 202  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 101  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 203  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 102  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 204  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 103  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 205  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 104  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 206  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
102 MILLER AVE APT 105  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 207  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
102 MILLER AVE APT 106  
BRIGHTON CO 80601-3906

CURRENT RESIDENT  
102 MILLER AVE APT 208  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
102 MILLER AVE APT 301  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 103  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 302  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 104  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 303  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 105  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 304  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 106  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 305  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 107  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 306  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 108  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 307  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 201  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
102 MILLER AVE APT 308  
BRIGHTON CO 80601-3907

CURRENT RESIDENT  
100 MILLER AVE APT 202  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 101  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 203  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 102  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 204  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 205  
BRIGHTON CO 80601-3908

CURRENT RESIDENT  
100 MILLER AVE APT 307  
BRIGHTON CO 80601-3909

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CURRENT RESIDENT  
500 N MAIN ST STE C  
BRIGHTON CO 80601-5140

CURRENT RESIDENT  
92 MILLER AVE APT 302  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
500 N MAIN ST STE D  
BRIGHTON CO 80601-5140

CURRENT RESIDENT  
92 MILLER AVE APT 303  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
496 N 5TH AVE APT A1  
BRIGHTON CO 80601-5144

CURRENT RESIDENT  
92 MILLER AVE APT 304  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
496 N 5TH AVE APT A2  
BRIGHTON CO 80601-5144

CURRENT RESIDENT  
92 MILLER AVE APT 305  
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CURRENT RESIDENT  
496 N 5TH AVE APT B  
BRIGHTON CO 80601-5144

CURRENT RESIDENT  
92 MILLER AVE APT 306  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
496 N 5TH AVE APT C  
BRIGHTON CO 80601-5144

CURRENT RESIDENT  
92 MILLER AVE APT 307  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
12700 E 168TH AVE  
BRIGHTON CO 80601-6600

CURRENT RESIDENT  
92 MILLER AVE APT 308  
BRIGHTON CO 80601-3926

CURRENT RESIDENT  
13110 E 160TH AVE  
BRIGHTON CO 80601-8209

CURRENT RESIDENT  
500 N MAIN ST STE A  
BRIGHTON CO 80601-5140

CURRENT RESIDENT  
13115 E 160TH AVE  
BRIGHTON CO 80601-8210

CURRENT RESIDENT  
500 N MAIN ST STE B  
BRIGHTON CO 80601-5140

CURRENT RESIDENT  
16202 TUCSON ST  
BRIGHTON CO 80601-8329

CURRENT RESIDENT  
16312 TUCSON ST  
BRIGHTON CO 80601-8329

CURRENT RESIDENT  
15840 RIVERDALE RD  
BRIGHTON CO 80602-8217

CURRENT RESIDENT  
16332 TUCSON ST  
BRIGHTON CO 80601-8329

CURRENT RESIDENT  
15864 RIVERDALE RD  
BRIGHTON CO 80602-8217

CURRENT RESIDENT  
16315 TUCSON ST  
BRIGHTON CO 80601-8330

CURRENT RESIDENT  
12340 E 160TH AVE  
BRIGHTON CO 80602-8223

CURRENT RESIDENT  
12502 E 168TH AVE  
BRIGHTON CO 80602-6660

CURRENT RESIDENT  
16175 MCCRORY CT  
BRIGHTON CO 80602-8330

CURRENT RESIDENT  
12522 E 168TH AVE  
BRIGHTON CO 80602-6660

CURRENT RESIDENT  
10775 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
11350 E 160TH AVE  
BRIGHTON CO 80602-7400

CURRENT RESIDENT  
11265 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
11790 E 160TH AVE  
BRIGHTON CO 80602-7437

CURRENT RESIDENT  
11355 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
11365 E 162ND DR  
BRIGHTON CO 80602-7654

CURRENT RESIDENT  
11585 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
11580 E 162ND DR  
BRIGHTON CO 80602-7684

CURRENT RESIDENT  
11723 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
15700 RIVERDALE RD  
BRIGHTON CO 80602-8204

CURRENT RESIDENT  
11835 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
11915 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2 UNIT 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12055 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2 UNIT 3  
BRIGHTON CO 80603

CURRENT RESIDENT  
12445 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2 UNIT 4  
BRIGHTON CO 80603

CURRENT RESIDENT  
12465 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2 UNIT 5  
BRIGHTON CO 80603

CURRENT RESIDENT  
12466 WCR 2 1/4  
BRIGHTON CO 80603

CURRENT RESIDENT  
156 WCR 23 1/2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12505 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
51 BASELINE ROAD  
BRIGHTON CO 80603

CURRENT RESIDENT  
12535 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12565 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2  
BRIGHTON CO 80603

CURRENT RESIDENT  
12615 WCR 2 UNIT 1  
BRIGHTON CO 80603



# CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on December 30, 2020 in accordance with the requirements of the Adams County Development Standards and Regulations.

---

J. Gregory Barnes

# Tucson South

EXG2020-00001

East and West Sides of Tucson Street  
North of Highway 7, South of East 168<sup>th</sup> Avenue

March 9, 2021

Board of County Commissioners Public Hearing  
Community and Economic Development Department  
Case Manager: Greg Barnes

# Request

Conditional Use Permit to allow:

- Extraction use in Agricultural-1 (A-1)
- Approximately 285 acres



# AERIAL MAP

Weld County

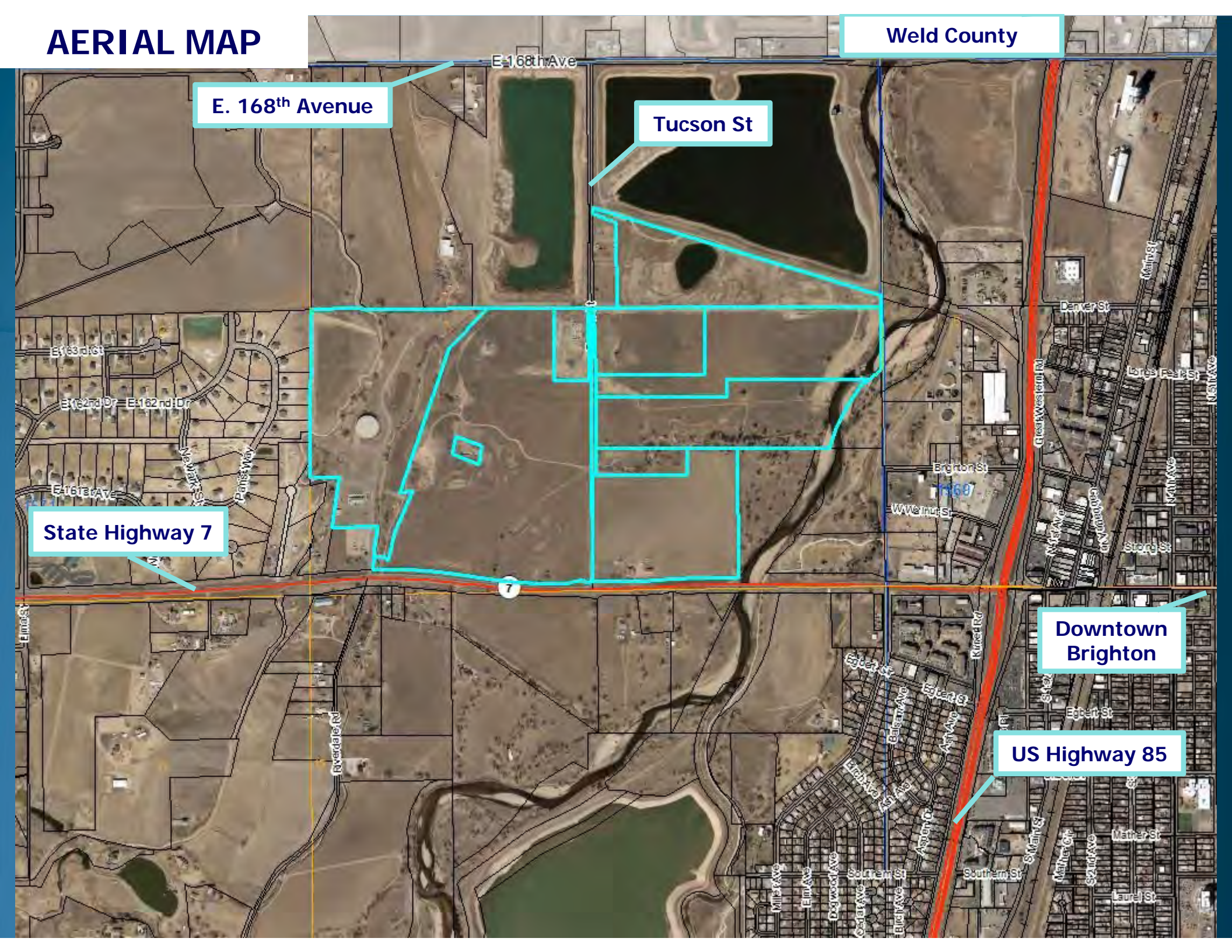
E. 168th Avenue

Tucson St

State Highway 7

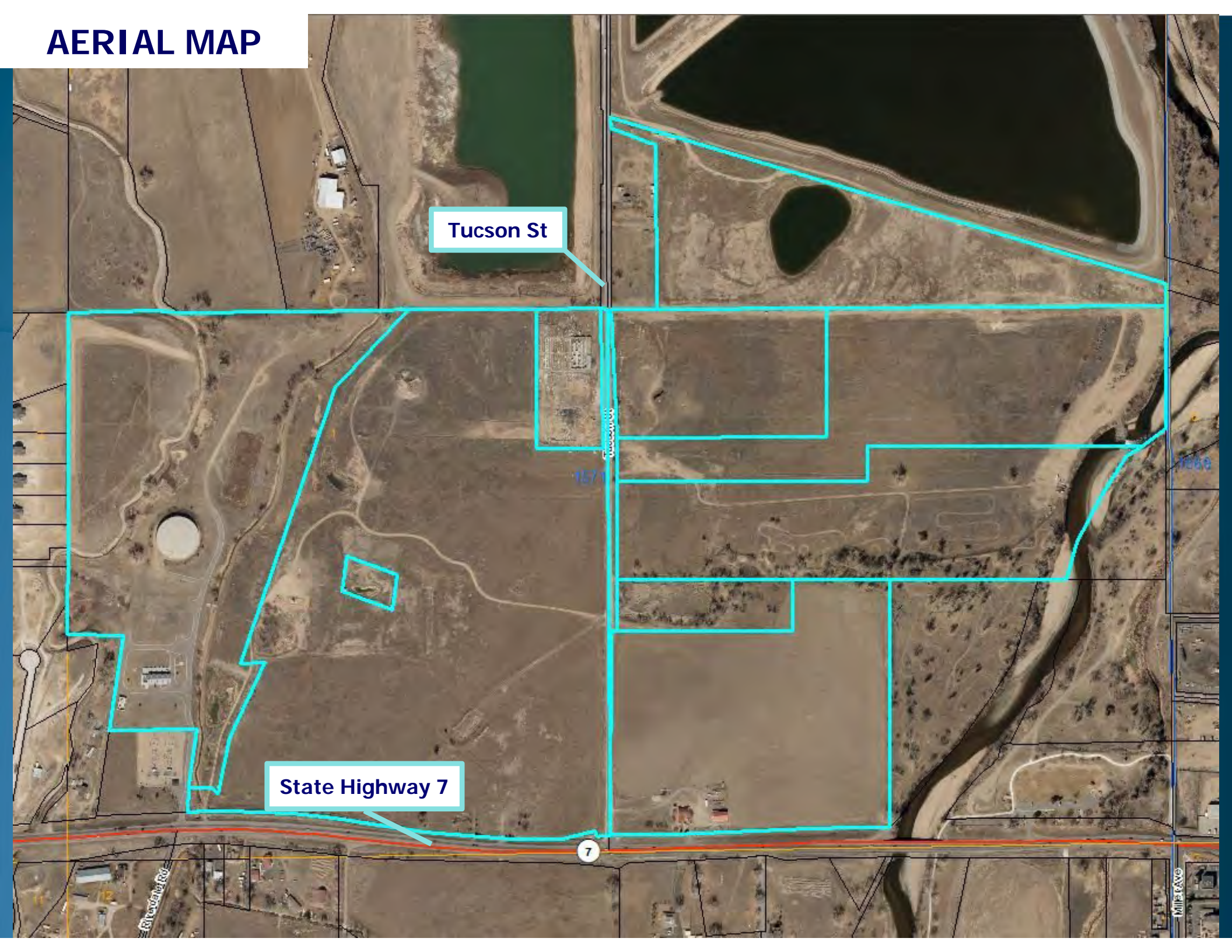
Downtown Brighton

US Highway 85





# AERIAL MAP



Tucson St

State Highway 7

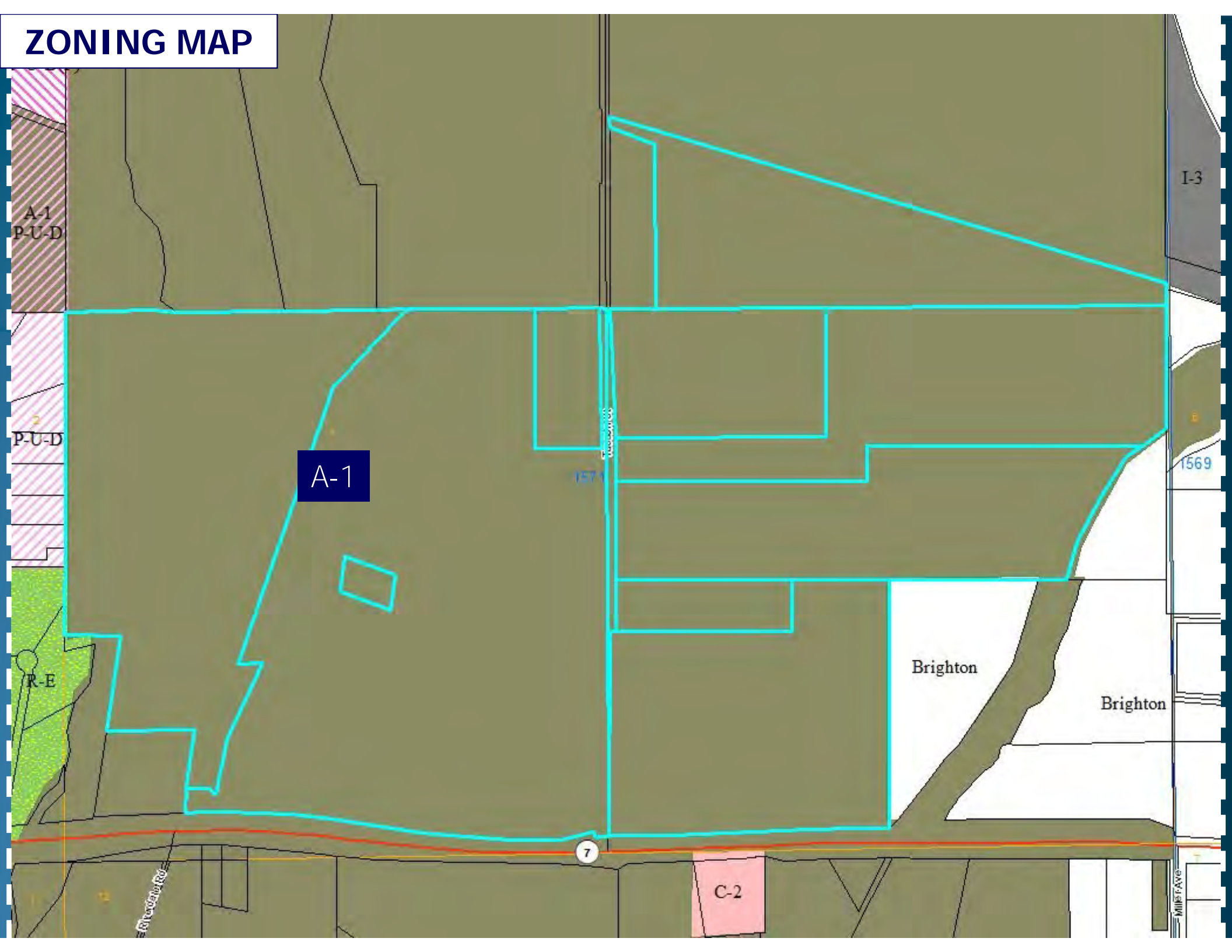
7

6th Avenue Rd

MILPANO



# ZONING MAP



# FUTURE LAND USE MAP

Estate Residential

Mixed Use Employment

1571

1569

Agriculture

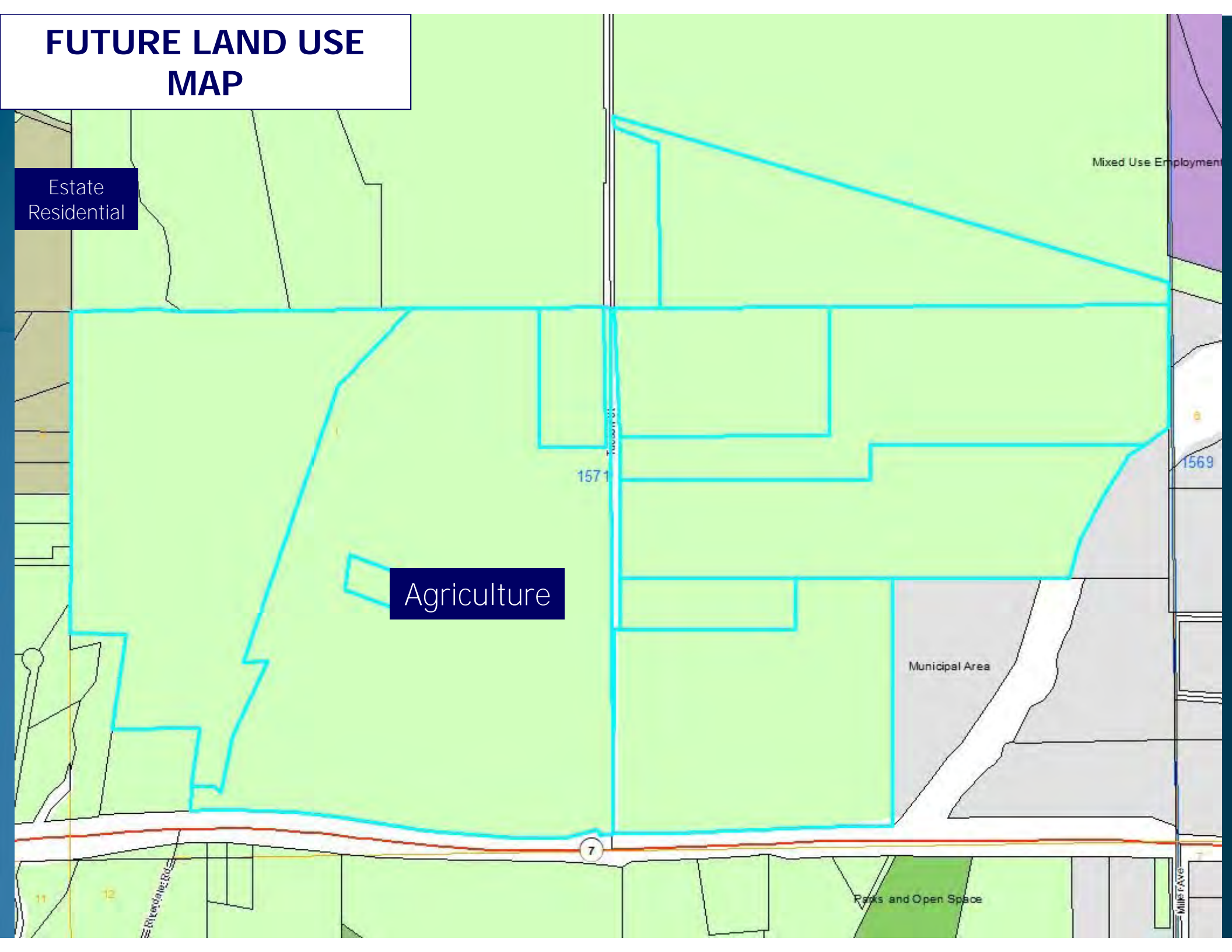
Municipal Area

7

Parks and Open Space

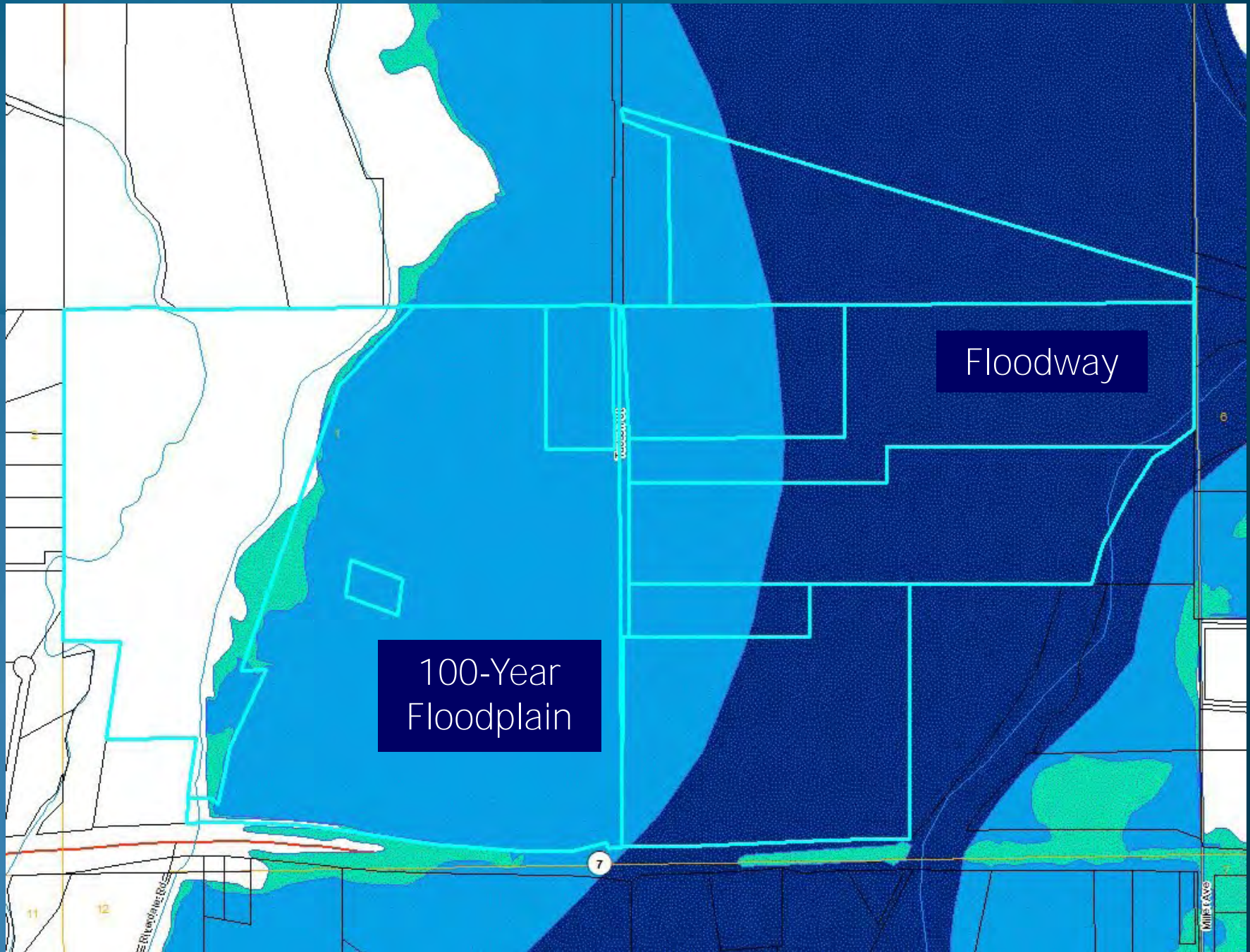
11  
12  
Riverview Road

Mills Road





# FLOODPLAIN MAP



# Criteria for Conditional Use Permits

Section 2-02-09-06

1. Permitted in zone district
2. Consistent with regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services



# Additional Information

Conditional Use Permit to allow:

- Timeframe: 8 Years
- Proposed dry mining with slurry wall
- Hours of Operation: 7 am – 7 pm, Mon.-Sat.

# Impact Mitigation

- Wildlife Survey Reporting
- Fugitive Dust Control
- Reclamation Planning
- Mosquito Control
- Hours of Operation
- Stockpile Height
- Landscaping Plan
- 10-12' Berms





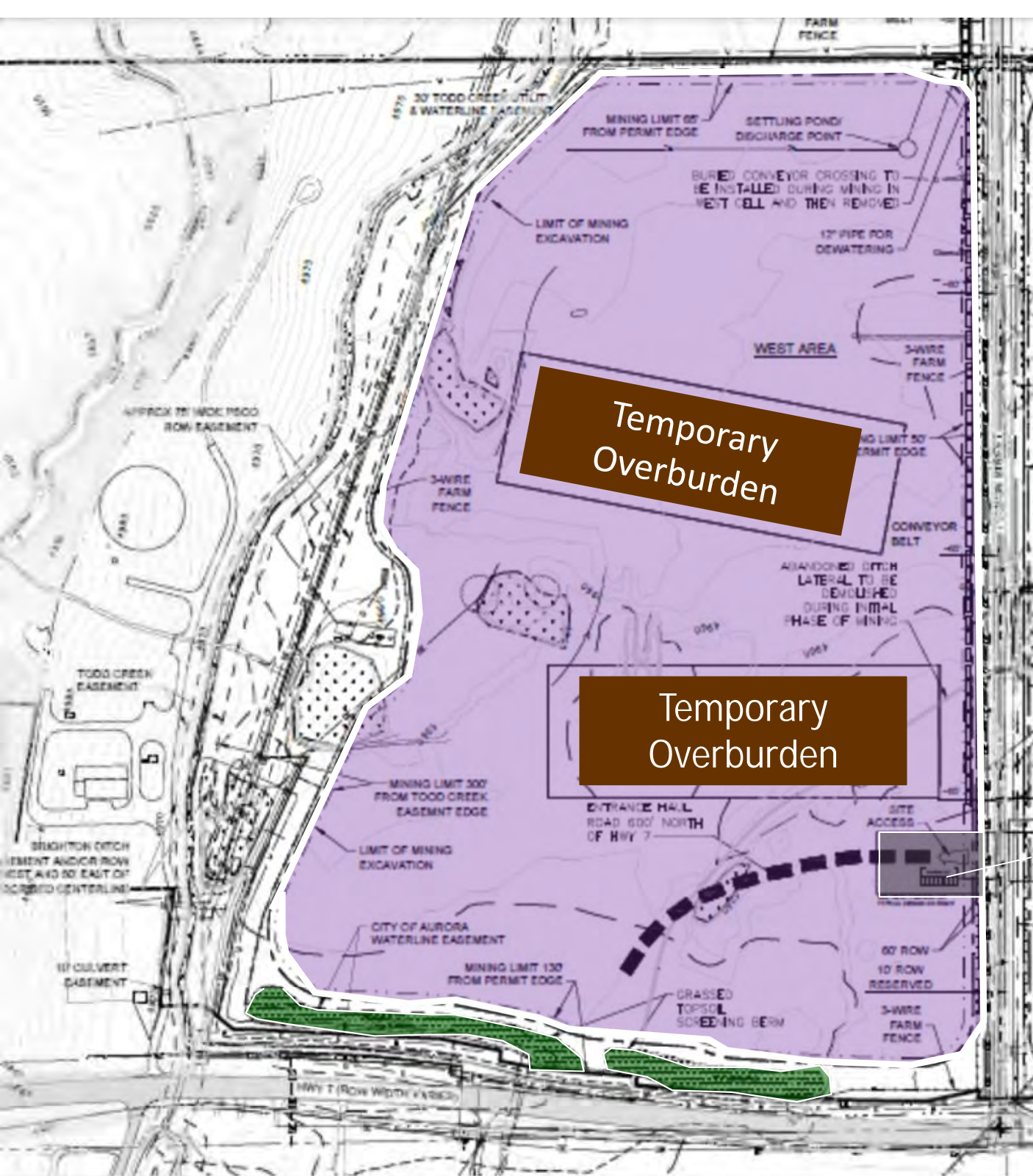


# Overall Site Plan





# Western Site Plan



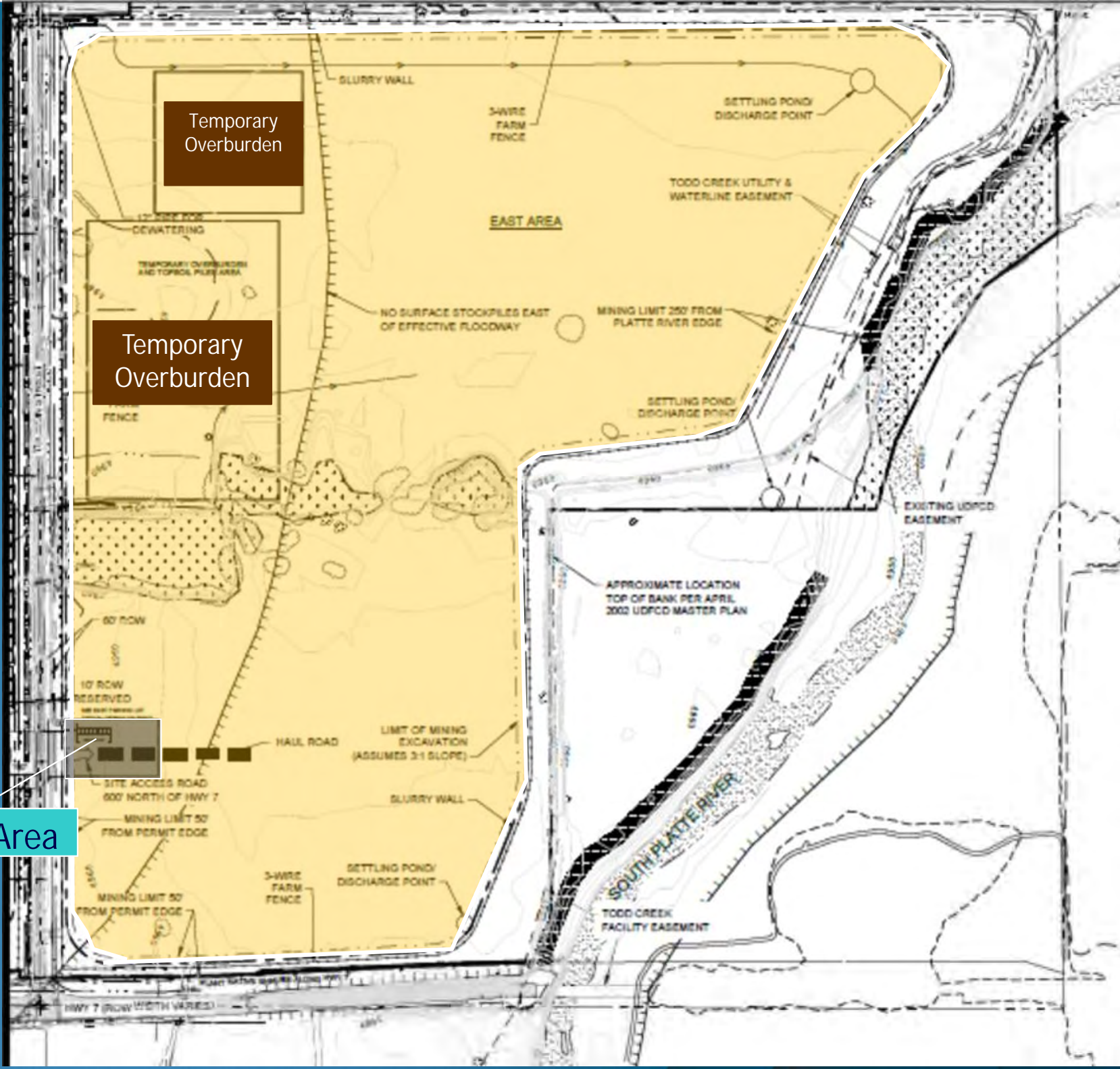
Temporary Overburden

Temporary Overburden

Employee Parking Area



# Eastern Site Plan

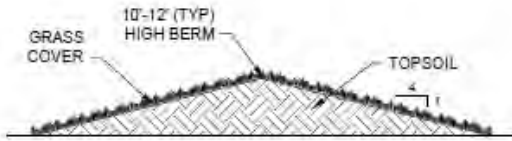


Temporary Overburden

Temporary Overburden

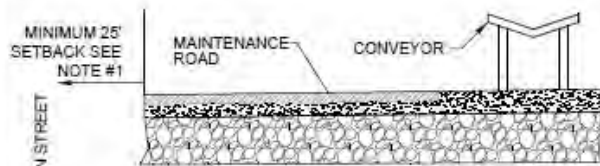
Employee Parking Area

# Proposed Material Conveyance



**1** **TEMPORARY GRASS SCREENING BERM**

NTS

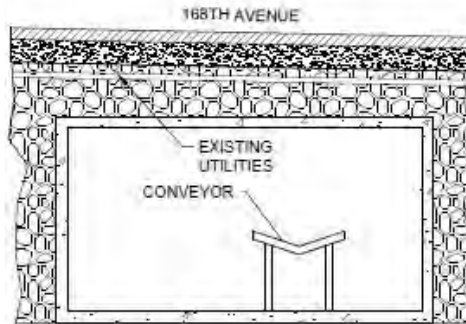


**NOTE:**

- CONVEYOR ACCESS AND MAINTENANCE ROAD SHALL BE SETBACK A MINIMUM OF 25' FROM TUCSON STREET.

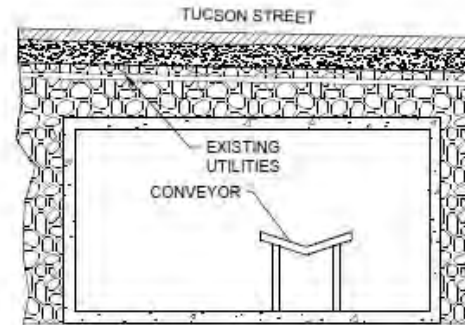
**2** **ON-SITE ABOVE GROUND CONVEYOR SYSTEM DETAIL**

NTS



**4** **168TH AVENUE CONVEYOR CROSSING DETAIL**

NTS

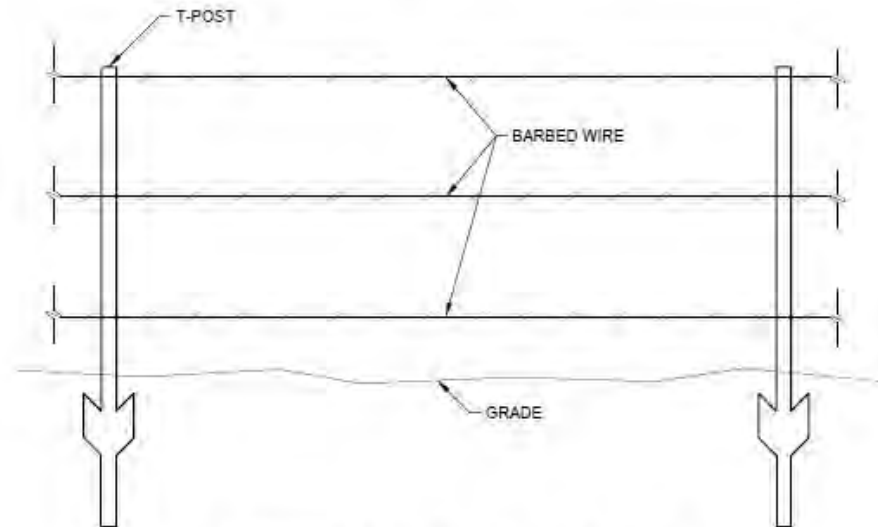


**3** **TUCSON STREET CONVEYOR CROSSING DETAIL**

NTS

**NOTE:**

- THIS DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER TUCSON STREET IS SUBJECT TO APPROVAL OF ADAMS COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.



**5** **3-WIRE FARM FENCE DETAIL**

NTS

DETAIL IS INTENDED TO BE CONCEPTUAL DESIGN. INSTALLATION OF THE CONVEYOR CROSSING BOX UNDER 168TH AVENUE IS SUBJECT TO APPROVAL OF ADAMS COUNTY AND WELD COUNTY PUBLIC WORKS DEPT. AND COORDINATION WITH EXISTING UTILITIES.

CONVEYOR UNDER 168TH STREET WILL BE PERMITTED THROUGH AN AMENDMENT TO WATTENBERG LAKES (051) 112 PERMIT.



# AERIAL MAP

Weld County

E. 168th Avenue

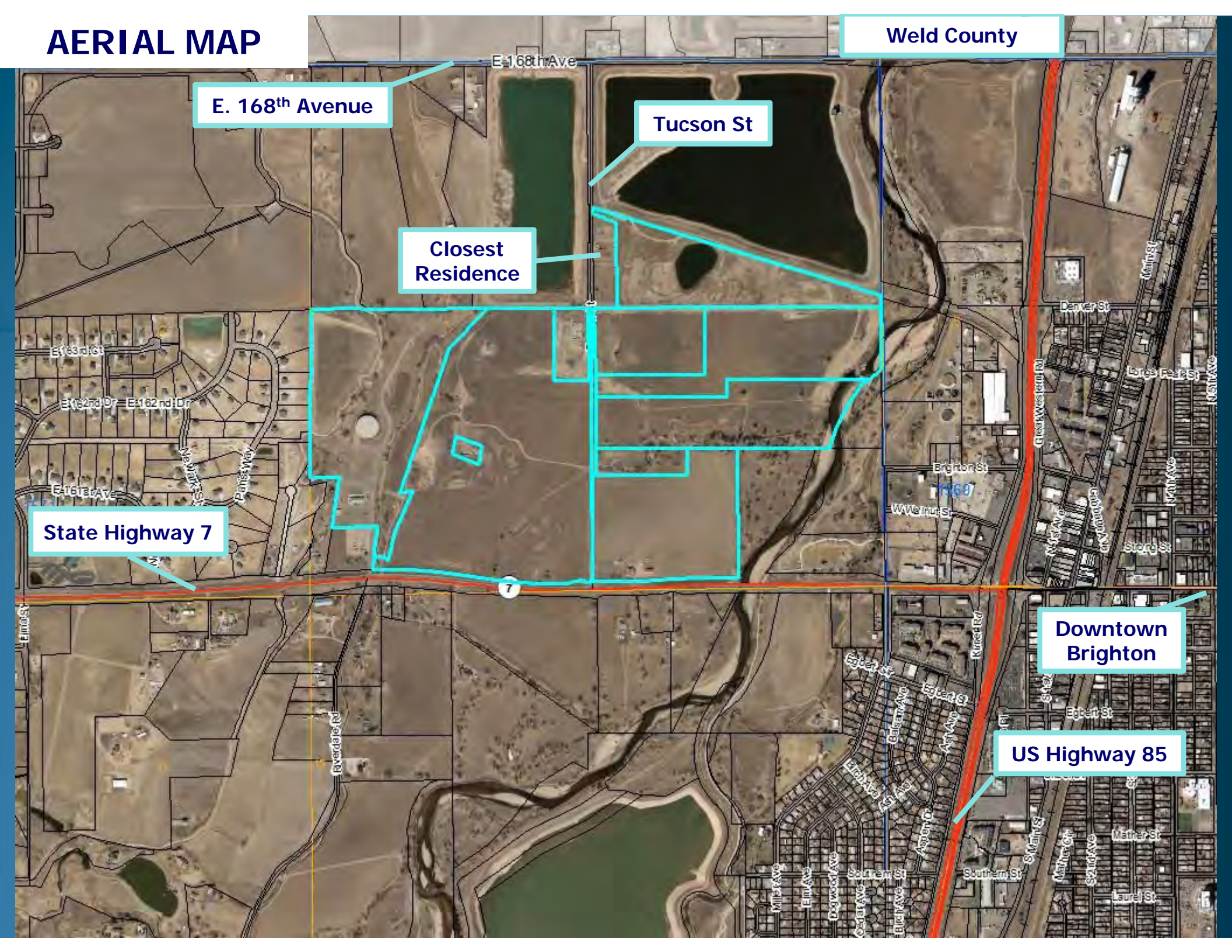
Tucson St

Closest Residence

State Highway 7

Downtown Brighton

US Highway 85









# Overall Reclamation Plan





# Western Reclamation Plan





# Eastern Reclamation Plan





































# Referral Period

## Public Notice

| Notices sent* | # of Comments Received |
|---------------|------------------------|
| 1,176         | 124                    |

- Property owners and residents within ½ mile were notified

## Public Comments

- Support (63)
  - Economic Factors
  - Application Demonstrates Fairness to Community Concerns
- Concerns/Opposition (61)
  - Environmental Impacts
  - Land Use/Compatibility
  - Economic Factors
  - Loss of Wildlife Habitat
  - Traffic

# Referral Period

- City of Brighton issued a letter of support for the project.
- City of Aurora and Aurora Water issued a letter of support for the project.
- Brighton Urban Renewal Authority issued a letter opposing the project.
- Tri-County Health Department, Colorado geological Survey, and Colorado Division of Parks & Wildlife provided comments that were used to draft conditions of approval.

# Planning Commission Update

Hearing Dates: January 14, 2021 and February 11, 2021

- Staff/Applicant Presentations
- 20 Members of the Public Spoke at Hearing (included a mixture of support and opposition)
- Important Topics of Discussion
  - Timeframe
  - Impact to Brighton Entry
  - Quality of Design for Impact Mitigation
- Recommended Approval
  - 4-3 vote

# PC Recommendation

## EXG2020-00001 – Tucson South

Approval of the Tucson South Conditional Use Permit (EXG2020-00001) with:

- 8 Findings-of-Fact
- 7 Conditions Precedent
- 35 Conditions
- 1 Note



# Recommended Conditions Precedent

1. Evidence shall be provided to the Adams County Environmental Programs Manager that the State of Colorado has approved the groundwater monitoring and mitigation plan for the site that specifically addresses impacts to owners of affected, adjacent, and permitted groundwater wells.
2. Evidence shall be provided to the Adams County Environmental Programs Manager that a Colorado Discharge Permitting System here permit, has been obtained from the Colorado Department of Health & Environment (CDPHE) prior to any site preparation activities.
3. A raptor and bald eagle surveys shall be conducted by a qualified biologist prior to site disturbance, if any grading or construction activity is planned to occur between October 15th and July 31<sup>st</sup>. The survey reports shall be provided to both Colorado Parks and Wildlife (CPW) and the Adams County Community & Economic Development Department. In the event that a raptor survey identifies additional nests or documents changes in nest activity status, a site plan detailing raptor nest buffer zones and seasonal restrictions (as provided in the most recent CPW guidance document) shall be provided to the Adams County Community & Economic Development Department.

# Recommended Conditions Precedent

4. A neighborhood meeting shall be held intended to introduce and distribute contact information for those responsible for mining activities on the site. Notification of the neighborhood meeting will be required for all property owners and residents within 1,000 feet of the subject parcels. Documentation of the meeting (including a meeting summary and a copy of the notification letter) shall be provided to the Adams County Community & Economic Development Department.
5. A conveyor system shall be approved by the County and constructed by the applicant/operator for the transport of materials.
6. A site landscape plan shall be approved by the Adams County Community & Economic Development Department to address the visual impact of the site along public roadways and adjacent residential uses, as well as the site conditions after reclamation has occurred. Adams County will coordinate with the City of Brighton's Community Development Department during the review of these landscape plans to ensure that conformance is met with both jurisdictions are satisfied with the result.



# Recommended Conditions Precedent

7. All pre-mining construction tasks and conditions precedent shall be completed by **March 9, 2022**, unless extended by the Director of Community and Economic Development. Only one extension may be granted for no more than 180 days based upon a hardship statement that will be provided by the applicant or operator. The conditional use permit will expire on **September 8, 2022** if a Notice to Proceed has not been issued.

# Recommended Conditions

1. The extraction use being granted by this conditional use permit shall not commence until a "Notice to Proceed" is issued by the Adams County Community and Economic Development Department. A Notice to Proceed will only be issued after all conditions precedent of approval are complete.
2. Any operations on the site shall occur from 7:00 a.m. to 7:00 p.m., on Mondays to Saturdays. No operations are permitted on Sundays or within 7:00 p.m. and 7:00 a.m.
3. The operator shall fence gravel pit operations with a fence composed of wood and wire. Where the operation is adjacent to subdivided or developed commercial, residential, or industrial property (except those zoned I-3), a solid screen fence constructed of wood will be erected to prevent the visibility of the mining operation. The operator may fence the entire area immediately, or fence only areas of excavation; however, no fence shall be removed until reclamation has been completed.

# Recommended Conditions

4. Landscape installation will occur between March 1<sup>st</sup> and May 15<sup>th</sup> or September 1<sup>st</sup> through October 15<sup>th</sup> after the Notice to proceed is issued. Prior to installing the landscaping, the operator shall work with Adams County staff and City of Brighton staff to determine the location of a future trail along the State Highway 7 corridor. The operator shall install landscaping in a location that will ensure that a trail can be installed in the future, without disturbing the trees and shrubs and other landscaping. The operator shall install an irrigation system to ensure that the plantings are established and maintain the plantings during the mining and reclamation process.
5. All landscape berms and mining operations shall be setback at least fifty (50) feet from the right-of-way along Tucson Street and State Highway 7.
6. Wind gauges with data-logging capabilities shall be installed and located adjacent to the particulate matter monitors.
7. Two (2) continuous, real-time Particulate Matter (PM) monitors must be installed along the southwest and northeast boundary areas of this conditional use permit to provide real-time emissions data for PM-2.5, PM-10 and Total-PM to monitor fugitive dust during all project phases including site preparation and active mining.
8. Radar-activated white noise backup alarms shall be installed for equipment.



# Recommended Conditions

9. Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment.
10. The mosquito control plan submitted with this application shall be implemented to ensure full compliance.
11. The applicant shall comply with all the requirements specified by the Colorado Department of Natural Resources' Division of Parks & Wildlife provided in their letter dated September 3, 2020.
12. The applicant shall comply with all the requirements specified by the Tri-County Health Department provided in their letter dated October 9, 2020.
13. The applicant shall comply with all the requirements specified by the Colorado Division of Water Resources provided in their letter dated August 25, 2020.

# Recommended Conditions

14. All complaints received by the applicant or operator from a well owner within 600 feet from the site boundary shall be provided to the Adams County Environmental Programs Manager. In addition, it shall be provided what the necessary actions taken to address these impacts. The information shall be provided to the County within 30 days of filing such reports with the Division of Mining & Reclamation Safety (DRMS). For subject wells put to beneficial use prior to commencement of mining activities, the applicant or operator will begin to implement one or more mitigation measures if mining and reclamation activity is determined to be a significant contributing factor to groundwater changes requiring mitigation.
15. All complaints pertaining to off-site impacts shall be provided to the Adams County Environmental Program Manager including a summary of the complaints and resolution methods of such complaints. These documents shall be provided as part of the monthly air monitoring report, as applicable.
16. Fugitive dust control measures must always be functioning to ensure onsite visible emissions do not exceed limits specified within the Air Pollution Control District Construction Permit issued to Aggregate Industries for the Tucson South Pit.

# Recommended Conditions

17. Copies of Clean Waters Act 404 Permit (CWA 404) and 401 Water Quality Certification (as required for operations affecting the South Platte River and adjacent riparian wetlands) shall be provided to the Adams County Environmental Programs Manager.
18. Records of high wind speed shutdowns and a summary of shutdown periods shall be provided within each monthly air monitoring report that is submitted to the Adams County Environmental Programs Manager, as applicable.
19. Any documented exceedance of the 24-hour ambient air quality standard for particulate matter shall be provided to the Adams County Environmental Program Manager within 24-hours of such occurrence. Concurrent Air Pollution Control Division notification may be required.
20. Monthly reports detailing particulate matter monitoring shall be provided to the Adams County Environmental Program Manager. Corresponding wind gauge data shall be included within these reports.
21. A copy of each Annual Reclamation Report, as submitted to the DRMS, shall be provided the Adams County Environmental Program Manager.
22. Stockpiles of material shall not exceed a maximum of twenty (20) feet in height. Stockpiles shall not be stored in the floodway.



# Recommended Conditions

23. Operations shall cease during periods of high winds as measured by anemometer or other type of wind gauge permanently stationed on-site. High winds shall be defined as when wind gusts exceed 30 mph, or a sustained wind of 20 mph is detected.
24. Mining and reclamation shall comply with the Mineral Conservation Overlay (MCO) and the section titled Extraction and Disposal Uses found within the Industrial Use Performance Standards, as adopted by Adams County found within the Adams County Development Standards and Regulations.
25. All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.
26. The storage or processing of materials that are buoyant, flammable, hazardous, explosive, or considered solid waste shall not be allowed within the areas designated as floodplain or floodway.
27. Any new sources of fill material, other than the ones listed within the application, shall require a "Notice to Proceed" to be issued by the Department of Community and Economic Development, after the applicant has certified the cleanliness of the new source material; any proposed haul routes must be approved through an amendment to the conditional use permit.



# Recommended Conditions

28. The subsequent reclamation of areas that have been mined must be initiated immediately to keep the total disturbed areas at any one time to a minimum.
29. The mining operations will conform to the phasing plan provided with the application.
30. Materials that are unnecessary for extraction or reclamation shall not be imported into the site without the permission of the Adams County Director of Community and Economic Development.
31. Since the lined water storage reservoirs are components of the post-reclamation project plans, and Tucson Street is proposed to remain a public road. A stability analysis for at least one cross-section under a saturated slope (high pore water pressure)/rapid reservoir drawdown condition across the Tucson Street embankment, shall be performed to verify that the proposed slopes below Tucson Street will be stable under all conditions, or to determine a stable slope configuration.
32. All mining operations, reclamation of sloping, grading, and initial seeding shall be completed within eight (8) years of the Notice to Proceed, but no later than March 9, 2030.

# Recommended Conditions

33. Landscaping installation at the time of reclamation shall include a minimum of 100 trees and 200 shrubs. Trees shall be a minimum of five feet in height at the time installation. All landscaping that does not establish after one year will be replaced and expected to establish after one year. Replacement of landscaping that does not establish will be given another year to establish.
34. The trail easement north of the Highway 7 right-of-way shall be recorded prior to March 9, 2030.
35. The proposed trail north of Highway 7 will be designed to include pedestrian and bicycle traffic and measure a minimum of ten feet wide. Any proposed modification to reduce the width will require approval by the Adams County Director of Community & Economic Development.

# Recommended Notes

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.



# Recommended Findings-of-Fact

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.
3. The conditional use will comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.



Community & Economic Development Department

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MEMORANDUM

To: Board of County Commissioners  
From: J. Gregory Barnes, Planner III <sup>JGB</sup>  
Subject: Tucson South / Case # EXG2020-00001  
Date: March 3, 2021

If the Board of County Commissioners does not concur with the Staff recommendation of Approval, the following findings may be adopted as part of a decision of Denial:

**ALTERNATIVE RECOMMENDED FINDINGS FOR DENIAL**

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including inadequate usable space, inadequate access, and presence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are not available and adequate to serve the needs of the conditional use as designed and proposed.