



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Erik Hansen - District #3
Steve O'Doriso - District #4
Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
August 29, 2017
9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

- A. Proclamation Acknowledging August 31, 2017 as International Overdose Awareness Day

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

- A. List of Expenditures Under the Dates of August 14-18, 2017
- B. Minutes of the Commissioners' Proceedings from August 22, 2017
- C. Adams County Treasurer's Summary July 1-31, 2017

- D.** Resolution to Approve Agreement for Emergency Space Usage for Local Transfer Point
(File was approved by ELT)
- E.** Resolution Approving Amendment to Agreement between Adams County and Urban Drainage and Flood Control District Regarding Right-of-Way Acquisition for Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01D)
(File was approved by ELT)
- F.** Resolution Regarding Defense and Indemnification of Tyler Benjamin as a Defendant Pursuant to C.R.S. § 24-10-101, Et Seq.
(File was approved by ELT)
- G.** Resolution Appointing Aaron M. Herrera as a Member of the Planning Commission
(File was approved by ELT)
- H.** Resolution Appointing David Plakorus as an Alternate Member to the Planning Commission
(File was approved by ELT)
- I.** Resolution Appointing Farid Jalil as an Alternate Member to the Planning Commission
(File was approved by ELT)
- J.** Resolution Appointing Federico Montoya as a Member to the Planning Commission
(File was approved by ELT)
- K.** Resolution Appointing Stewart Nyholm as a Member to the Board of Adjustment
(File was approved by ELT)
- L.** Resolution Approving Subgrantee Contract Amendment #2 between Adams County and Center for People with Disabilities, for Employment-Related Case Management Services
(File was approved by ELT)
- M.** Resolution Approving Subgrantee Contract Amendment #2 between Adams County and Project Angel Heart for Home-Delivered Meals for Terminally Ill County Residents
(File was approved by ELT)
- N.** Resolution Approving Application in Case #PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat
(File was approved by ELT)
- O.** Resolution Approving Subdivision Improvements Agreement for Grasslands at Comanche, Filing 1
(File was approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1.** Resolution Approving Amendment One to the Agreement between Adams County and Wireless Advanced Communications for Emergency Vehicle Equipment Installation
(File was approved by ELT)

2. Resolution Approving Amendment Two to the Agreement between Adams County and Summit Food Service LLC for Food Service Management
(File was approved by ELT)
3. Resolution Approving Amendment Two to the Agreement between Adams County and Summit Food Service LLC for Laundry Management Services
(File was approved by ELT)
4. Resolution Approving a Purchase Order between Adams County and Lodox Systems North America LLC for Statscan Equipment and Maintenance
(File was approved by ELT)
5. Resolution Awarding an Agreement between Adams County and CESCO Linguistic Services for Translation and Interpretation Services
(File was approved by ELT)
6. Resolution Approving an Agreement between Adams County and the Denver Indian Center to Provide Client Services
(File was approved by ELT)

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

1. PRC2016-00007 Baker Apartments Development
(File was approved by ELT)
2. RCU2017-00021 City of Westminster Lift Station
(File was approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,791,683.25
4	Capital Facilities Fund	559,808.42
5	Golf Course Enterprise Fund	32,461.45
6	Equipment Service Fund	26,879.69
13	Road & Bridge Fund	72,366.19
19	Insurance Fund	56,282.64
24	Conservation Trust Fund	87.39
27	Open Space Projects Fund	17,540.08
28	Open Space Sales Tax Fund	300,000.00
31	Head Start Fund	11,117.08
34	Comm Services Blk Grant Fund	437.04
35	Workforce & Business Center	37,300.86
43	Front Range Airport	2,039.05
44	Water and Wastewater Fund	929.24
		<u>2,908,932.38</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00711455	610708	BACHMAN JACOB	07/24/17	400.00
00711456	499779	BAKER ABIGAIL N	07/24/17	200.00
00711457	107140	BARTH JUDITH ANN	07/24/17	150.00
00711458	215363	BARTON MELISSA	07/24/17	150.00
00711459	422618	BARTON MICHAEL	07/24/17	150.00
00711460	262988	BERGENFELD MAUREEN H	07/24/17	100.00
00711461	47314	BOGAN JOAN	07/24/17	150.00
00711462	424209	BRADLEY JONI	07/24/17	150.00
00711463	618311	BURKETT JEREMY	07/24/17	600.00
00711464	25359	CAGLE KAREN	07/24/17	150.00
00711465	112904	CHRISTIAN VICKI	07/24/17	150.00
00711466	218467	CRAMER STEPHEN S	07/24/17	150.00
00711467	422244	DEBELL MALINDA MARIE	07/24/17	100.00
00711468	55886	DENNISTON DAVID	07/24/17	600.00
00711469	301218	EASTWOOD JENNIFER NICHOLE	07/24/17	100.00
00711470	173919	GARDEA STEPHEN PAUL	07/24/17	100.00
00711471	301037	GILDEN KAREN L	07/24/17	100.00
00711472	4387	HETTINGER KATHLEEN S	07/24/17	150.00
00711473	20612	JACOBY KENDRA	07/24/17	150.00
00711474	116720	LONDE SUSAN	07/24/17	200.00
00711475	42663	MAXEY KEITH	07/24/17	250.00
00711476	620196	MEANS BRANDON	07/24/17	100.00
00711477	71065	PEREZ WALDEMAR P	07/24/17	100.00
00711478	620110	RUDIBAUGH JENS	07/24/17	350.00
00711479	617552	RUPPLE SANCIE	07/24/17	100.00
00711480	620576	SANDSTEAD CONNIE	07/24/17	150.00
00711481	612043	SHULTS CLINT	07/24/17	500.00
00711482	612049	ST JOHN CHERYL L	07/24/17	150.00
00711483	173471	WALZ PAMELA	07/24/17	150.00
00711484	862079	WITNESS TO LIFE PHOTOGRAPHY	07/24/17	150.00
00712148	13040	ADCO DISTRICT ATTORNEY	08/07/17	270.71
00712149	433987	ADCO DISTRICT ATTORNEY'S OFFIC	08/07/17	218.97
00712151	627573	ALBRIGHT ELIZABETH A	08/07/17	61.88
00712152	32273	ALL COPY PRODUCTS INC	08/07/17	150.00
00712156	38750	BUSSARD REX	08/07/17	300.00
00712161	6331	COLO ASSESSORS ASSN	08/07/17	10.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712162	40374	COSTAR REALTY INFORMATION INC	08/07/17	2,808.39
00712163	308324	DELGADO NICOLE	08/07/17	53.50
00712164	13895	EL PASO COUNTY SHERIFF	08/07/17	9.50
00712167	626700	GLADER JONATHAN D	08/07/17	84.00
00712169	627721	GRANADOS GILBERT	08/07/17	75.00
00712170	45302	JEFFERSON COUNTY	08/07/17	1,600.00
00712172	484266	LEDEZMA SARAI	08/07/17	75.00
00712174	581490	MAYER LISA	08/07/17	345.00
00712180	35614	MORITZKY TREVOR	08/07/17	19.43
00712185	566659	PROCEDURE INC	08/07/17	1,000.00
00712186	339078	RHOADS GARY	08/07/17	243.00
00712187	20607	ROBERTS LISA D	08/07/17	35.76
00712192	433983	SHEETZ ROBERT J	08/07/17	154.08
00712193	38961	SHREVE JEANNE	08/07/17	231.49
00712194	13262	TYLER TECHNOLOGIES INC	08/07/17	46,490.47
00712203	37266	CENTURY LINK	08/07/17	412.83
00712209	338962	COLORADO INTERACTIVE	08/07/17	17.63
00712213	248103	DS WATERS OF AMERICA INC	08/07/17	531.60
00712221	609538	PFEFFER CRISTINA	08/07/17	54.57
00712223	53265	SAMS CLUB	08/07/17	1,152.59
00712225	599714	SUMMIT FOOD SERVICE LLC	08/07/17	824.85
00712226	52553	SWEEPSTAKES UNLIMITED	08/07/17	30.00
00712227	52553	SWEEPSTAKES UNLIMITED	08/07/17	30.00
00712228	52553	SWEEPSTAKES UNLIMITED	08/07/17	40.00
00712233	93203	ADAMS COUNTY EDUCATION CONSORT	08/07/17	518,731.00
00712234	630412	ADVANCED LAUNDRY SYSTEMS	08/07/17	279.13
00712235	383698	ALLIED UNIVERSAL SECURITY SERV	08/07/17	15,777.27
00712237	626216	ATOM PHYSICS	08/07/17	235.00
00712238	2914	BOB BARKER COMPANY	08/07/17	4,173.50
00712240	40398	CINTAS CORPORATION #66	08/07/17	134.43
00712241	498352	ENTERCOM DENVER LLC	08/07/17	2,870.00
00712242	80500	IMPROVE GROUP	08/07/17	1,025.00
00712243	547834	LOPEZ MARCUS	08/07/17	306.00
00712244	247198	MGT OF AMERICA INC	08/07/17	10,400.00
00712245	13591	MWI VETERINARY SUPPLY CO	08/07/17	2,547.52
00712247	422902	ROADRUNNER PHARMACY INCORPORAT	08/07/17	47.95

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712248	3569	ROCKY MTN CONVEYOR & EQUIPT	08/07/17	239.25
00712249	255505	SHERMAN & HOWARD LLC	08/07/17	7,712.50
00712250	281167	SPECTRA CONTRACT FLOORING SERV	08/07/17	525.00
00712251	599714	SUMMIT FOOD SERVICE LLC	08/07/17	85,832.03
00712252	426037	SWIRE COCA-COLA USA	08/07/17	180.00
00712253	282091	TAC 1 SYSTEMS	08/07/17	2,605.59
00712254	621857	THEATRICAL MEDIA SERVICES INC	08/07/17	17,995.00
00712257	24560	WIRELESS ADVANCED COMMUNICATIO	08/07/17	560.00
00712258	338508	WRIGHTWAY INDUSTRIES INC	08/07/17	140.00
00712264	625975	VIP ENGRAVERS	08/07/17	3,036.04
00712269	228213	ARAMARK REFRESHMENT SERVICES	08/09/17	162.97
00712272	9902	CHEMATOX LABORATORY INC	08/09/17	470.00
00712273	80146	COLO DEPT OF PUBLIC HEALTH & E	08/09/17	155.00
00712274	300351	COLO STATE SHERIFFS POSSE ASSN	08/09/17	25.00
00712276	248103	DS WATERS OF AMERICA INC	08/09/17	614.54
00712277	28726	G & K SERVICES	08/09/17	199.42
00712281	617679	LIM CARLENA	08/09/17	34.78
00712282	13688	METRONORTH CHAMBER OF COMMERCE	08/09/17	1,000.00
00712283	6513	MORPHOTRAK LLC	08/09/17	4,497.92
00712284	36746	PEDRUCCI MARC R	08/09/17	101.22
00712285	163837	PTS OF AMERICA LLC	08/09/17	3,231.00
00712287	166074	SPECIAL OLYMPICS OF COLO IN AD	08/09/17	2,511.76
00712288	599714	SUMMIT FOOD SERVICE LLC	08/09/17	80,567.35
00712289	37005	TOSHIBA BUSINESS SOLUTIONS	08/09/17	1,838.96
00712290	1007	UNITED POWER (UNION REA)	08/09/17	896.47
00712291	1007	UNITED POWER (UNION REA)	08/09/17	38.62
00712292	1007	UNITED POWER (UNION REA)	08/09/17	30.09
00712293	1007	UNITED POWER (UNION REA)	08/09/17	2,124.68
00712294	1007	UNITED POWER (UNION REA)	08/09/17	42.10
00712300	28617	VERIZON WIRELESS	08/09/17	2,496.69
00712301	24560	WIRELESS ADVANCED COMMUNICATIO	08/09/17	553.00
00712304	433987	ADCO DISTRICT ATTORNEY'S OFFIC	08/09/17	204.66
00712305	334777	ALLEN DEBRA JEAN	08/09/17	321.60
00712306	491318	AMERICAN EAGLE DISTRIBUTING	08/09/17	25,406.00
00712307	2416	CLEAR CREEK COUNTY SHERIFF	08/09/17	28.46
00712308	250958	COHEN MILSTEIN SELLERS & TOLL	08/09/17	2,126.25

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712309	99357	COLO MEDICAL WASTE INC	08/09/17	375.00
00712311	627565	EAGLE VIEW ADULT CENTER	08/09/17	225.00
00712312	370160	EIDE BAILLY LLP	08/09/17	4,000.00
00712313	25579	ENTRAVISION COMMUNICATIONS	08/09/17	6,901.16
00712314	278010	HART JULIE	08/09/17	10.50
00712315	79260	IDEXX DISTRIBUTION INC	08/09/17	499.21
00712316	13565	INTERMOUNTAIN REA	08/09/17	30.47
00712318	289628	KUSA	08/09/17	14,506.72
00712320	13591	MWI VETERINARY SUPPLY CO	08/09/17	1,095.75
00712322	612204	PET AID ANIMAL HOSPITAL	08/09/17	279.14
00712323	48059	RADIO RESOURCE INC	08/09/17	765.00
00712324	308437	RANDSTAD US LP	08/09/17	1,311.26
00712325	592641	REED RICHARD	08/09/17	23.75
00712326	12845	ROMANO LINDA M	08/09/17	27.00
00712328	4755	THORNTON CITY OF WATER & SEWER	08/09/17	713.90
00712329	46796	WESTMINSTER CITY OF	08/09/17	3,923.73
00712330	46796	WESTMINSTER CITY OF	08/09/17	799.68
00712331	13822	XCEL ENERGY	08/09/17	12,727.40
00712332	13822	XCEL ENERGY	08/09/17	178.27
00712333	13822	XCEL ENERGY	08/09/17	8,463.60
00712334	13822	XCEL ENERGY	08/09/17	225.16
00712335	13822	XCEL ENERGY	08/09/17	26,060.35
00712336	13822	XCEL ENERGY	08/09/17	753.90
00712337	13822	XCEL ENERGY	08/09/17	50.30
00712338	13822	XCEL ENERGY	08/09/17	41.60
00712339	13822	XCEL ENERGY	08/09/17	93.17
00712340	13822	XCEL ENERGY	08/09/17	54.38
00712341	13822	XCEL ENERGY	08/09/17	110.36
00712342	13822	XCEL ENERGY	08/09/17	155.11
00712343	13822	XCEL ENERGY	08/09/17	109.52
00712344	13822	XCEL ENERGY	08/09/17	46.24
00712560	48724	ACCELA INC	08/15/17	109,459.59
00712561	311515	WOODS JAKE	08/15/17	97.20
00712562	13040	ADCO DISTRICT ATTORNEY	08/15/17	134.22
00712563	433987	ADCO DISTRICT ATTORNEY'S OFFIC	08/15/17	517.54
00712564	626643	ANDERSON RITA	08/15/17	130.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712565	620771	CHERNYAK DMITRIY	08/15/17	67.20
00712566	2774	COLO ASSN OF TAX APPRAISERS	08/15/17	75.00
00712567	56896	CORDOVA KATHERINE	08/15/17	130.00
00712568	628764	DEARTH BRIAN	08/15/17	151.00
00712569	613346	DELEON RYAN	08/15/17	130.00
00712570	263752	DELMENDO DONALD	08/15/17	130.00
00712571	628771	DWYER NICHOLAS	08/15/17	395.31
00712572	628020	EEO LEGAL SOLUTIONS LLC	08/15/17	1,200.00
00712573	354259	FERGUSON JULIA	08/15/17	104.70
00712574	628780	FIREPLACE AND GRILL EXPERTS	08/15/17	59.00
00712575	263751	FULLER JAMES	08/15/17	130.00
00712577	626645	HAYS VALERIE	08/15/17	130.00
00712578	506569	HEADLEY JACQUELYN	08/15/17	163.00
00712579	48243	HERMANN EDWARD	08/15/17	130.00
00712581	626646	KORTH, GREGORY L	08/15/17	81.00
00712582	174342	MALDONADO JEFFREY	08/15/17	130.00
00712583	43239	MALDONADO JEREMY	08/15/17	130.00
00712586	626647	MEDLAM BROOKE	08/15/17	81.00
00712587	626652	MYER DEBORAH	08/15/17	81.00
00712589	25759	PENTON VERNON L	08/15/17	130.00
00712590	628779	PIZANO ROSIE	08/15/17	640.80
00712591	488944	PLUMB MARKETING	08/15/17	2,347.82
00712592	70690	RANK BRANDI	08/15/17	49.94
00712593	506572	SANDOVAL THANE	08/15/17	130.00
00712594	92844	SCHILLING SUSAN	08/15/17	130.00
00712595	426148	SOUTH CYNTHIA	08/15/17	16.00
00712596	98825	SWINGLE THOMAS	08/15/17	130.00
00712597	13922	WELD COUNTY SHERIFF	08/15/17	20.68
00712598	628768	WOLF JOHN	08/15/17	15.00
00712601	12277	ACE KAUFFMAN	08/16/17	39.90
00712602	433987	ADCO DISTRICT ATTORNEY'S OFFIC	08/16/17	248.34
00712603	383698	ALLIED UNIVERSAL SECURITY SERV	08/16/17	1,612.80
00712605	490725	BREAK THRU BEVERAGE	08/16/17	541.06
00712606	525563	CATAPULT SYSTEMS LLC	08/16/17	375.00
00712607	52783	CENTER FOR EDUCATION & EMPLOYM	08/16/17	124.95
00712608	620771	CHERNYAK DMITRIY	08/16/17	1,845.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712609	4878	COLO BARRICADE CO INC	08/16/17	1,973.25
00712610	48089	COMCAST BUSINESS	08/16/17	1,700.00
00712611	105110	CULLIGAN	08/16/17	534.50
00712612	128693	DREXEL BARRELL & CO	08/16/17	1,484.00
00712614	438625	GOVERNOR'S OFFICE OF IT	08/16/17	820.70
00712615	535598	JACHIMIAK PETERSON LLC	08/16/17	35,462.50
00712616	289628	KUSA	08/16/17	22,888.90
00712617	93625	MESA COUNTY COUNTY ATTORNEY'S	08/16/17	600.00
00712618	13591	MWI VETERINARY SUPPLY CO	08/16/17	112.23
00712619	13774	NORTH PECOS WATER & SANITATION	08/16/17	173.36
00712620	20458	NORTHSIDE EMERGENCY PET CLINIC	08/16/17	50.00
00712621	629199	ORTIZ EMILIANO	08/16/17	6.82
00712622	365736	RACING UNDERGROUND LLC	08/16/17	500.00
00712624	609093	STANDARD FENCE COMPANY	08/16/17	6,324.00
00712625	66264	SYSTEMS GROUP	08/16/17	21,026.00
00712628	619822	VERTIV SERVICES INC	08/16/17	3,741.73
00712629	567301	VINCENT ROMEO & RODRIQUEZ LLC	08/16/17	120.00
00712630	1038	WAGNER RENTS INC	08/16/17	9,500.00
00712631	628776	WELHAM REBECCA	08/16/17	300.00
00712633	13822	XCEL ENERGY	08/16/17	14.88
00712634	628289	ADAME DIANA	08/18/17	400.00
00712635	91631	ADAMSON POLICE PRODUCTS	08/18/17	28,515.50
00712637	327129	AIRGAS USA LLC	08/18/17	132.87
00712641	4742	AMERICAN SCALE SERVICE & SUPPL	08/18/17	250.00
00712642	429633	ANDERSON CASSIE	08/18/17	330.10
00712643	628282	ANDRADE JOSE	08/18/17	75.00
00712644	40942	BI- BEHAVIORAL INTERVENTIONS	08/18/17	2,920.32
00712645	2914	BOB BARKER COMPANY	08/18/17	4,349.70
00712646	628287	BRIGADE ENERGY SERVICES	08/18/17	75.00
00712647	43659	CINTAS FIRST AID & SAFETY	08/18/17	222.65
00712648	8257	COLO FEDERATION OF GARDEN CLUB	08/18/17	96.00
00712649	30582	COLO STATE UNIVERSITY	08/18/17	500.00
00712650	64269	COLUMBIA SANITARY SERVICE INC	08/18/17	50.00
00712651	628945	CONTRACTORS EQUIPMENT CENTER	08/18/17	1,375.33
00712652	211773	COX RANCH ORIGINALS	08/18/17	752.00
00712653	13299	CSU UNIVERSITY RESOURCE CTR	08/18/17	68.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712654	627526	DARNELL KELSEY MORGAN	08/18/17	100.00
00712655	628288	DESANDOVAL CARLOTA	08/18/17	650.00
00712656	628253	EPPERLY JOE	08/18/17	650.00
00712657	628283	FAMILY DENTAL OF THORNTON	08/18/17	75.00
00712658	26333	GRAF TREVOR G	08/18/17	115.03
00712659	628281	GRUBER PATRICK	08/18/17	75.00
00712660	627525	HARRIS VICTORIA	08/18/17	100.00
00712663	628284	MEDINA ANGELICA	08/18/17	75.00
00712664	4551	NEVE'S UNIFORMS INC	08/18/17	2,660.30
00712665	603778	NORCHEM DRUG TESTING LABORATOR	08/18/17	35.30
00712666	118582	PRADO AL JR	08/18/17	200.00
00712667	163837	PTS OF AMERICA LLC	08/18/17	1,141.00
00712668	430098	REPUBLIC SERVICES #535	08/18/17	6,910.83
00712669	628280	SANCHEZ VANESSA	08/18/17	75.00
00712670	628290	SUPERIOR FARMS	08/18/17	150.00
00712671	13951	TDS TELECOM	08/18/17	836.27
00712672	23953	THIES JOAN	08/18/17	150.00
00712675	7436	VAHLING DELBERT A	08/18/17	100.00
00712676	28574	VERIZON WIRELESS	08/18/17	1,501.74
00712677	40398	CINTAS CORPORATION #66	08/18/17	134.43
00712679	124406	COMCAST SPOTLIGHT	08/18/17	800.36
00712681	42540	DELL MARKETING LP	08/18/17	65,755.96
00712683	128693	DREXEL BARRELL & CO	08/18/17	1,081.00
00712684	219483	ECONOMIC & PLANNING SYSTEMS IN	08/18/17	13,020.29
00712685	498352	ENTERCOM DENVER LLC	08/18/17	7,399.99
00712687	473351	GOLDMAN ROBBINS NICHOLSON & MA	08/18/17	2,725.50
00712688	87117	GRANICUS INC	08/18/17	300.00
00712689	294059	GROUNDS SERVICE COMPANY	08/18/17	3,152.50
00712690	486419	HIGH COUNTRY BEVERAGE	08/18/17	433.00
00712691	79260	IDEXX DISTRIBUTION INC	08/18/17	479.40
00712694	26418	JOHN DEERE COMPANY	08/18/17	13,135.94
00712695	485045	KORBY LANDSCAPE LLC	08/18/17	7,336.00
00712697	21364	MATO INC	08/18/17	89,251.55
00712699	13591	MWI VETERINARY SUPPLY CO	08/18/17	6,054.14
00712700	282112	ORACLE AMERICA INC	08/18/17	6,414.82
00712702	36258	SATELLITE SHELTERS INC	08/18/17	1,530.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712704	227044	SOUTHWESTERN PAINTING	08/18/17	13,706.00
00712705	281167	SPECTRA CONTRACT FLOORING SERV	08/18/17	375.00
00712706	42818	STATE OF COLORADO	08/18/17	319.77
00712707	42818	STATE OF COLORADO	08/18/17	492.06
00712708	42818	STATE OF COLORADO	08/18/17	317.11
00712709	42818	STATE OF COLORADO	08/18/17	634.73
00712710	66264	SYSTEMS GROUP	08/18/17	200.00
00712711	621857	THEATRICAL MEDIA SERVICES INC	08/18/17	6,119.65
00712712	41127	THYSSENKRUPP ELEVATOR CORP	08/18/17	6,514.24
00712713	1094	TRI COUNTY HEALTH DEPT	08/18/17	284,052.00
00712714	40340	WINDSTREAM COMMUNICATIONS	08/18/17	2,218.67
00712715	473336	ZAYO GROUP HOLDINGS INC	08/18/17	1,975.00
00712717	35974	ADAMS COUNTY TREASURER	08/18/17	41.58
00712718	35974	ADAMS COUNTY TREASURER	08/18/17	221.23
00712719	35974	ADAMS COUNTY TREASURER	08/18/17	17.59
00712720	35974	ADAMS COUNTY TREASURER	08/18/17	101.18
00712721	35974	ADAMS COUNTY TREASURER	08/18/17	20.14
00712722	35974	ADAMS COUNTY TREASURER	08/18/17	110.26
00712723	426680	ARISING HOPE INTERNATIONAL	08/18/17	250.00
00712725	8418	BAILEY BRENT	08/18/17	1,020.00
00712726	89505	BRONCUCIA-JORDAN MONICA	08/18/17	416.50
00712727	37266	CENTURY LINK	08/18/17	89.88
00712731	6331	COLO ASSESSORS ASSN	08/18/17	40.00
00712732	33202	COLO DEPT OF LOCAL AFFAIRS	08/18/17	25.00
00712733	57903	COLONELL RICHARD	08/18/17	233.75
00712734	211773	COX RANCH ORIGINALS	08/18/17	502.00
00712735	248103	DS WATERS OF AMERICA INC	08/18/17	22.10
00712739	12689	GALLS LLC	08/18/17	1,397.11
00712743	395656	LAKESWOOD POLICE DEPT	08/18/17	83.39
00712745	410402	MELONAKIS PATRICIA	08/18/17	36.63
00712746	32509	NCS PEARSON INC	08/18/17	609.00
00712747	16428	NICOLETTI-FLATER ASSOCIATES	08/18/17	3,895.00
00712749	308437	RANDSTAD US LP	08/18/17	702.46
00712750	85883	RAPP, ANNE	08/18/17	446.25
00712751	90872	REEVES COMPANY INC	08/18/17	161.75
00712755	429535	SALES TODD	08/18/17	412.84

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712756	13538	SHRED IT USA LLC	08/18/17	80.00
00712758	207981	SUNCONTROL FOR WINDOWS LLC	08/18/17	295.00
00712759	25765	TOLDNESS TERRANCE E	08/18/17	488.75
00712760	7189	TOSHIBA FINANCIAL SERVICES	08/18/17	5,387.26
00712764	24560	WIRELESS ADVANCED COMMUNICATIO	08/18/17	450.00
			Fund Total	1,791,683.25

Net Warrants by Fund Detail

4

Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712626	527100	TREANOR ARCHITECTS PA	08/16/17	8,600.00
00712736	33577	FCI CONSTRUCTORS INC	08/18/17	31,629.71
00712737	33577	FCI CONSTRUCTORS INC	08/18/17	519,578.71
Fund Total				559,808.42

Net Warrants by Fund Detail

5

Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712266	8579	AGFINITY INC	08/09/17	691.00
00712267	302764	AGFINITY INC	08/09/17	7,536.09
00712268	12012	ALSCO AMERICAN INDUSTRIAL	08/09/17	85.12
00712270	9822	BUCKEYE WELDING SUPPLY CO INC	08/09/17	26.00
00712271	13206	C P S DISTRIBUTORS INC	08/09/17	516.94
00712278	378252	GCR TIRES AND SERVICE	08/09/17	259.97
00712279	160270	GOLF & SPORT SOLUTIONS	08/09/17	1,030.99
00712280	11496	L L JOHNSON DIST	08/09/17	1,582.64
00712286	10684	R & R PRODUCTS COMPANY	08/09/17	155.40
00712295	1007	UNITED POWER (UNION REA)	08/09/17	339.97
00712296	1007	UNITED POWER (UNION REA)	08/09/17	1,097.02
00712297	1007	UNITED POWER (UNION REA)	08/09/17	3,985.98
00712298	1007	UNITED POWER (UNION REA)	08/09/17	36.05
00712302	13822	XCEL ENERGY	08/09/17	42.65
00712303	13822	XCEL ENERGY	08/09/17	370.51
00712636	8579	AGFINITY INC	08/18/17	1,801.75
00712639	544497	ALPINE ARBORISTS PRO TREE CARE	08/18/17	1,900.00
00712640	12012	ALSCO AMERICAN INDUSTRIAL	08/18/17	86.92
00712661	11496	L L JOHNSON DIST	08/18/17	504.33
00712662	525704	LABOR SOLUTIONS INC	08/18/17	2,000.00
00712673	47140	TORO NSN	08/18/17	229.00
00712674	1007	UNITED POWER (UNION REA)	08/18/17	8,183.12
Fund Total				32,461.45

Net Warrants by Fund Detail

6

Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712317	526990	JB AUTO CLEAN	08/09/17	160.00
00712327	16237	SAM HILL OIL INC	08/09/17	26,577.12
00712588	46545	PATRIDGE MICHAEL	08/15/17	142.57
Fund Total				26,879.69

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712196	11657	A & E TIRE INC	08/07/17	77.50
00712207	2305	COBITCO INC	08/07/17	107.80
00712210	338740	DAVEY TREE EXPERT CO	08/07/17	860.00
00712222	556555	PREMIER PORTABLES	08/07/17	460.00
00712224	8794	SPRINT	08/07/17	37.99
00712230	1038	WAGNER RENTS INC	08/07/17	5,538.86
00712231	78276	WAYNE A MITCHELL LLC	08/07/17	2,961.00
00712239	8909	BRANNAN SAND & GRAVEL COMPANY	08/07/17	1,588.75
00712246	525686	OUTTA CONTROL DESIGNS	08/07/17	4,607.99
00712255	158184	UTILITY NOTIFICATION CENTER OF	08/07/17	174.00
00712256	13082	W L CONTRACTORS INC	08/07/17	6,718.80
00712584	427603	MAXWELL JEFFERY	08/15/17	250.50
00712680	433714	DiExSys LLC	08/18/17	24,990.00
00712698	612241	METCALFE DEREK RICHARD	08/18/17	1,300.00
00712701	608840	ROTELLO ROCCO G	08/18/17	9,980.00
00712703	612237	SIMS FREDERIC M	08/18/17	11,345.00
00712716	628148	74TH AVE LIMITED PARTNERSHIP	08/18/17	1,368.00
			Fund Total	72,366.19

Net Warrants by Fund Detail

19**Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712197	492573	ADVANCED URGENT CARE AND OCC M	08/07/17	415.00
00712236	582063	AMERICAN RED CROSS	08/07/17	323.00
00712261	27429	ARTHUR J GALLAGHER	08/07/17	582.23
00712262	27429	ARTHUR J GALLAGHER	08/07/17	7,707.77
00712263	27429	ARTHUR J GALLAGHER	08/07/17	12,249.00
00712319	174580	MILE HIGH FITNESS	08/09/17	1,480.00
00712321	61886	NATHAN DUMM & MAYER PC	08/09/17	1,791.85
00712576	507008	HAYS LESTEL	08/15/17	1,000.00
00712580	628781	KELLY ROBERT	08/15/17	22.48
00712599	507008	HAYS LESTEL	08/15/17	1,000.00
00712600	11657	A & E TIRE INC	08/16/17	137.52
00712604	86298	BERG HILL GREENLEAF & RUSCITTI	08/16/17	3,107.36
00712678	17565	COLO FRAME & SUSPENSION	08/18/17	11,014.74
00712686	346750	FACTORY MOTOR PARTS	08/18/17	240.25
00712696	94481	LONGMONT FORD	08/18/17	565.95
00712740	629951	JOHNSON DANA	08/18/17	150.00
00712761	11552	VISION SERVICE PLAN-CONNECTICU	08/18/17	105.70
00712762	11552	VISION SERVICE PLAN-CONNECTICU	08/18/17	13,480.12
00712763	11552	VISION SERVICE PLAN-CONNECTICU	08/18/17	909.67
Fund Total				56,282.64

County of Adams
Net Warrants by Fund Detail

24

Conservation Trust Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712638	9507	ALLIED RECYCLED AGGREGATES	08/18/17	87.39
Fund Total				87.39

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712299	1007	UNITED POWER (UNION REA)	08/09/17	26.42
00712613	128693	DREXEL BARRELL & CO	08/16/17	407.04
00712632	47323	WESTERN STATES RECLAMATION INC	08/16/17	1,016.00
00712682	237568	DESIGN WORKSHOP	08/18/17	16,090.62
Fund Total				17,540.08

Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712275	16566	COMMERCE CITY CITY OF	08/09/17	300,000.00
			Fund Total	300,000.00

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712204	37266	CENTURY LINK	08/07/17	1,130.61
00712205	37266	CENTURY LINK	08/07/17	98.80
00712206	152461	CENTURYLINK	08/07/17	9.81
00712215	28726	G & K SERVICES	08/07/17	122.98
00712216	89589	INVEST IN KIDS	08/07/17	4,950.00
00712220	55021	NULINX INTERNATIONAL	08/07/17	870.00
00712232	51121	WHISENANT ELISA A	08/07/17	62.49
00712728	37266	CENTURY LINK	08/18/17	125.44
00712729	37266	CENTURY LINK	08/18/17	170.20
00712738	28726	G & K SERVICES	08/18/17	122.98
00712742	40323	L & N SUPPLY COMPANY INC	08/18/17	1,310.40
00712744	36711	MARTINEZ DRYWALL CO	08/18/17	1,895.00
00712748	1463	ORKIN PEST CONTROL	08/18/17	87.36
00712752	290050	RODRIGUEZ JAMIE	08/18/17	101.01
00712757	13538	SHRED IT USA LLC	08/18/17	60.00
Fund Total				11,117.08

Net Warrants by Fund Detail

34

Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712692	32276	INSIGHT PUBLIC SECTOR	08/18/17	437.04
			Fund Total	437.04

Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712150	36820	AGUINIGA CAROL	08/07/17	79.72
00712154	373693	ARNEACH ANGELA	08/07/17	38.52
00712155	369657	BERNAL JUAN FELIPE	08/07/17	41.73
00712157	35563	CASTILLO YVONNE	08/07/17	14.45
00712158	90879	CHAVEZ BELIA P	08/07/17	28.89
00712159	258669	CLARK RYNE	08/07/17	82.93
00712165	38689	ELLIS CHARLES	08/07/17	62.06
00712166	369792	FLORES MICHAEL	08/07/17	49.22
00712168	68923	GONZALEZ JEANETTE	08/07/17	20.33
00712171	38693	KERR CRISTINE	08/07/17	27.82
00712173	62480	MARTINEZ MARTHA	08/07/17	11.77
00712175	580067	MCBOAT GREG	08/07/17	62.06
00712176	90481	MCDANIEL JENNIFER	08/07/17	41.22
00712177	49485	MCGIRR RITA	08/07/17	16.05
00712178	78254	MEDINA KRISTINA	08/07/17	49.22
00712179	342309	MENDOZA MICHELLE	08/07/17	36.38
00712181	481825	PARRA ALDO	08/07/17	505.58
00712182	233841	PARRIOTT JOEL	08/07/17	109.14
00712183	514882	PEDREGON SYDNEY	08/07/17	55.64
00712184	40920	POST REBECCA	08/07/17	79.72
00712188	915166	RODRIGUEZ SONIA	08/07/17	116.63
00712189	470649	SANTINO HEATHER	08/07/17	23.01
00712191	357890	SCHAGER BRETT	08/07/17	330.10
00712198	8821380	CENTRAL COLORADO AHEC	08/07/17	1,500.00
00712199	8821380	CENTRAL COLORADO AHEC	08/07/17	1,500.00
00712200	8821380	CENTRAL COLORADO AHEC	08/07/17	1,500.00
00712201	8821380	CENTRAL COLORADO AHEC	08/07/17	1,500.00
00712202	8821380	CENTRAL COLORADO AHEC	08/07/17	1,500.00
00712211	133513	DEEP ROCK WATER	08/07/17	9.20
00712217	626448	LICON ELISHA	08/07/17	50.00
00712218	626449	MANDUJANO VICTOR	08/07/17	100.00
00712310	1483	COMPUTER SYSTEMS DESIGN	08/09/17	4,800.00
00712585	90481	MCDANIEL JENNIFER	08/15/17	191.53
00712623	628905	RED ROCKS COMMUNITY COLLEGE	08/16/17	2,812.30
00712627	153459	ULTIMUS	08/16/17	7,500.00
00712693	32276	INSIGHT PUBLIC SECTOR	08/18/17	12,455.64

County of Adams
Net Warrants by Fund Detail

35

Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
			Fund Total	37,300.86

Net Warrants by Fund Detail

43Front Range Airport

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712153	228213	ARAMARK REFRESHMENT SERVICES	08/07/17	139.66
00712190	37110	SB PORTA BOWL RESTROOMS INC	08/07/17	396.00
00712195	626767	WILLIAMS JEFFERY	08/07/17	160.00
00712212	80156	DISH NETWORK	08/07/17	138.02
00712214	13410	EASTERN SLOPE RURAL TELEPHONE	08/07/17	80.32
00712219	379597	NEOFUNDS BY NEOPOST	08/07/17	249.10
00712724	80118	AT&T CORP	08/18/17	97.45
00712741	207387	KEN'S REPRODUCTIONS	08/18/17	215.00
00712753	44131	ROGGEN FARMERS ELEVATOR ASSN	08/18/17	563.50
			Fund Total	2,039.05

Net Warrants by Fund Detail

44 Water and Wastewater Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00712160	2381	COLO ANALYTICAL LABORATORY	08/07/17	17.50
00712208	2381	COLO ANALYTICAL LABORATORY	08/07/17	35.00
00712229	9558	UNIVAR USA INC	08/07/17	452.74
00712730	2381	COLO ANALYTICAL LABORATORY	08/18/17	240.00
00712754	44131	ROGGEN FARMERS ELEVATOR ASSN	08/18/17	184.00
Fund Total				929.24

County of Adams
Vendor Payment Report

<u>4302</u>	<u>Airport Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	903730	284415	07/31/17	69.83
	ARAMARK REFRESHMENT SERVICES	00043	903731	284415	07/31/17	97.49
	ARAMARK REFRESHMENT SERVICES	00043	903732	284415	07/31/17	97.49-
					Account Total	69.83
	Postage & Freight					
	NEOFUNDS BY NEOPOST	00043	903390	284059	07/31/17	249.10
					Account Total	249.10
	Telephone					
	AT&T CORP	00043	904345	285064	08/11/17	84.75
					Account Total	84.75
	Water/Sewer/Sanitation					
	SB PORTA BOWL RESTROOMS INC	00043	903646	284310	07/31/17	396.00
					Account Total	396.00
					Department Total	799.68

County of Adams
Vendor Payment Report

<u>4308</u>	<u>Airport ATCT</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	AT&T CORP	00043	904345	285064	08/11/17	<u>6.35</u>
					Account Total	<u>6.35</u>
					Department Total	<u><u>6.35</u></u>

County of Adams
Vendor Payment Report

<u>4303</u>	<u>Airport FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	903730	284415	07/31/17	69.83
					Account Total	69.83
	Promotion Expense					
	KEN'S REPRODUCTIONS	00043	904474	285273	08/15/17	215.00
					Account Total	215.00
	Satellite Television					
	DISH NETWORK	00043	903388	284059	07/31/17	138.02
					Account Total	138.02
					Department Total	422.85

County of Adams
Vendor Payment Report

<u>4304</u>	<u>Airport Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	ROGGEN FARMERS ELEVATOR ASSN	00043	904476	285273	08/15/17	563.50
					Account Total	563.50
	Telephone					
	AT&T CORP	00043	904345	285064	08/11/17	6.35
	EASTERN SLOPE RURAL TELEPHONE	00043	903389	284059	08/01/17	80.32
					Account Total	86.67
					Department Total	650.17

County of Adams
Vendor Payment Report

<u>99809</u>	<u>All Ofc Shared no SS</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDANIEL JENNIFER	00035	903589	284300	07/31/17	26.22
	MCDANIEL JENNIFER	00035	904355	285138	08/14/17	11.77
					Account Total	<u>37.99</u>
	Travel & Transportation					
	MCDANIEL JENNIFER	00035	903589	284300	07/31/17	15.00
					Account Total	<u>15.00</u>
					Department Total	<u><u>52.99</u></u>

County of Adams
Vendor Payment Report

<u>99800</u>	<u>All Ofc Shared Direct</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ULTIMUS	00035	904533	285384	08/16/17	7,500.00
					Account Total	7,500.00
	Equipment Rental					
	DEEP ROCK WATER	00035	903526	284284	08/02/17	9.20
					Account Total	9.20
	Mileage Reimbursements					
	CASTILLO YVONNE	00035	903565	284300	07/31/17	14.45
					Account Total	14.45
					Department Total	7,523.65

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Temporary Labor					
	RANDSTAD US LP	00001	904008	284811	08/09/17	561.97
	RANDSTAD US LP	00001	904009	284811	08/09/17	749.29
					Account Total	<u>1,311.26</u>
					Department Total	<u><u>1,311.26</u></u>

County of Adams
Vendor Payment Report

<u>2056</u>	<u>ANS - Clinic Operations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	DWYER NICHOLAS	00001	904360	285138	08/14/17	395.31
	PET AID ANIMAL HOSPITAL	00001	904007	284811	08/09/17	279.14
					Account Total	<u>674.45</u>
					Department Total	<u><u>674.45</u></u>

County of Adams
Vendor Payment Report

<u>2054</u>	<u>ANS - Volunteer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contributions and Donations					
	WOLF JOHN	00001	904359	285138	08/14/17	<u>15.00</u>
					Account Total	<u>15.00</u>
					Department Total	<u><u>15.00</u></u>

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	JEFFERSON COUNTY	00001	903783	284601	08/07/17	600.00
	JEFFERSON COUNTY	00001	903783	284601	08/09/17	600.00-
					Account Total	<hr/>
					Department Total	<hr/> <hr/>

County of Adams
Vendor Payment Report

<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	JEFFERSON COUNTY	00001	903783	284601	08/07/17	800.00
	JEFFERSON COUNTY	00001	903783	284601	08/09/17	800.00-
					Account Total	_____
					Department Total	=====

County of Adams
Vendor Payment Report

<u>3064</u>	<u>Building Safety</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Permits					
	FIREPLACE AND GRILL EXPERTS	00001	904364	285138	08/14/17	59.00
	PIZANO ROSIE	00001	904363	285138	08/14/17	640.80
	WELHAM REBECCA	00001	904539	285384	08/16/17	300.00
					Account Total	999.80
	Contract Employment					
	PROCEDURE INC	00001	903787	284601	08/07/17	1,000.00
					Account Total	1,000.00
					Department Total	1,999.80

County of Adams
Vendor Payment Report

<u>1026</u>	<u>Business Solutions Group</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	RANK BRANDI	00001	904358	285138	08/14/17	<u>49.94</u>
					Account Total	<u>49.94</u>
					Department Total	<u><u>49.94</u></u>

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	FCI CONSTRUCTORS INC	00004	904746	285573	08/18/17	33,294.43
	FCI CONSTRUCTORS INC	00004	904747	285573	08/18/17	546,924.96
	TREANOR ARCHITECTS PA	00004	904468	285268	08/15/17	8,600.00
					Account Total	588,819.39
	Retainages Payable					
	FCI CONSTRUCTORS INC	00004	904746	285573	08/18/17	1,664.72-
	FCI CONSTRUCTORS INC	00004	904747	285573	08/18/17	27,346.25-
					Account Total	29,010.97-
					Department Total	559,808.42

County of Adams
Vendor Payment Report

<u>34</u>	<u>Comm Services Blk Grant Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg INSIGHT PUBLIC SECTOR	00034	904504	285367	08/16/17	437.04
					Account Total	437.04
					Department Total	437.04

County of Adams
Vendor Payment Report

<u>2055</u>	<u>Control/Enforcement</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	NORTHSIDE EMERGENCY PET CLINIC	00001	904536	285384	08/16/17	<u>50.00</u>
					Account Total	<u>50.00</u>
					Department Total	<u><u>50.00</u></u>

County of Adams
Vendor Payment Report

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	MELONAKIS PATRICIA	00001	904353	285134	08/14/17	36.63
					Account Total	36.63
	Education & Training					
	COLO ASSESSORS ASSN	00001	903609	284304	08/02/17	10.00
	COLO ASSESSORS ASSN	00001	904351	285134	08/14/17	40.00
					Account Total	50.00
	Maintenance Contracts					
	COSTAR REALTY INFORMATION INC	00001	903610	284304	08/02/17	2,808.39
					Account Total	2,808.39
	Membership Dues					
	COLO ASSN OF TAX APPRAISERS	00001	904325	285060	08/11/17	75.00
					Account Total	75.00
	Operating Supplies					
	ALL COPY PRODUCTS INC	00001	903607	284304	08/02/17	150.00
					Account Total	150.00
	Printing External					
	PLUMB MARKETING	00001	904326	285060	08/11/17	2,347.82
					Account Total	2,347.82
	Special Events					
	ROBERTS LISA D	00001	903611	284304	08/02/17	35.76
					Account Total	35.76
	Subscrip/Publications					
	COLO DEPT OF LOCAL AFFAIRS	00001	904350	285134	08/14/17	25.00
					Account Total	25.00
	Travel & Transportation					
	ANDERSON RITA	00001	904327	285060	08/11/17	130.00
	CORDOVA KATHERINE	00001	904328	285060	08/11/17	130.00
	DELEON RYAN	00001	904329	285060	08/11/17	130.00
	DELMENDO DONALD	00001	904330	285060	08/11/17	130.00
	FULLER JAMES	00001	904331	285060	08/11/17	130.00
	HAYS VALERIE	00001	904332	285060	08/11/17	130.00
	HEADLEY JACQUELYN	00001	904333	285060	08/11/17	163.00

County of Adams
Vendor Payment Report

<u>1041</u>	<u>County Assessor</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	HERMANN EDWARD	00001	904334	285060	08/11/17	130.00
	KORTH, GREGORY L	00001	904335	285060	08/11/17	81.00
	MALDONADO JEFFREY	00001	904336	285060	08/11/17	130.00
	MALDONADO JEREMY	00001	904337	285060	08/11/17	130.00
	MEDLAM BROOKE	00001	904338	285060	08/11/17	81.00
	MYER DEBORAH	00001	904339	285060	08/11/17	81.00
	PENTON VERNON L	00001	904340	285060	08/11/17	130.00
	SANDOVAL THANE	00001	904341	285060	08/11/17	130.00
	SCHILLING SUSAN	00001	904342	285060	08/11/17	130.00
	SOUTH CYNTHIA	00001	904343	285060	08/11/17	16.00
	SWINGLE THOMAS	00001	904344	285060	08/11/17	130.00
					Account Total	<u>2,112.00</u>
					Department Total	<u><u>7,640.60</u></u>

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Books					
	CENTER FOR EDUCATION & EMPLOYM	00001	904230	284955	08/10/17	124.95
					Account Total	124.95
	Operating Supplies					
	ACE KAUFFMAN	00001	904229	284955	08/10/17	39.90
					Account Total	39.90
	Other Professional Serv					
	COLORADO INTERACTIVE	00001	903531	284291	08/02/17	17.63
	SWEEPSTAKES UNLIMITED	00001	903532	284291	08/02/17	30.00
	SWEEPSTAKES UNLIMITED	00001	903533	284291	08/02/17	30.00
	SWEEPSTAKES UNLIMITED	00001	903534	284291	08/02/17	40.00
					Account Total	117.63
					Department Total	282.48

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	RHOADS GARY	00001	903780	284601	08/07/17	<u>243.00</u>
					Account Total	<u>243.00</u>
					Department Total	<u><u>243.00</u></u>

County of Adams
Vendor Payment Report

<u>1031</u>	<u>County Treasurer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	METRONORTH CHAMBER OF COMMERCE	00001	903881	284665	08/07/17	1,000.00
					Account Total	1,000.00
	Maintenance Contracts					
	TYLER TECHNOLOGIES INC	00001	903645	284309	08/02/17	46,490.47
					Account Total	46,490.47
	Treasurer-Redemptions					
	ADAMS COUNTY TREASURER	00001	904732	285504	08/17/17	41.58
	ADAMS COUNTY TREASURER	00001	904733	285504	08/17/17	221.23
	ADAMS COUNTY TREASURER	00001	904734	285504	08/17/17	17.59
	ADAMS COUNTY TREASURER	00001	904735	285504	08/17/17	101.18
	ADAMS COUNTY TREASURER	00001	904736	285504	08/17/17	20.14
	ADAMS COUNTY TREASURER	00001	904737	285504	08/17/17	110.26
					Account Total	511.98
					Department Total	<u>48,002.45</u>

County of Adams
Vendor Payment Report

<u>1052</u>	<u>Criminal Justice Coord Council</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	ALLEN DEBRA JEAN	00001	904014	284811	08/09/17	<u>321.60</u>
					Account Total	<u>321.60</u>
					Department Total	<u><u>321.60</u></u>

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	ADVANCED URGENT CARE AND OCC M	00019	903529	284291	08/02/17	275.00
	ADVANCED URGENT CARE AND OCC M	00019	903530	284291	08/02/17	140.00
					Account Total	<u>415.00</u>
					Department Total	<u><u>415.00</u></u>

County of Adams
Vendor Payment Report

<u>1043</u>	<u>CA- Social Services IV-D</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	ALBRIGHT ELIZABETH A	00001	903788	284601	08/07/17	<u>61.88</u>
					Account Total	<u>61.88</u>
					Department Total	<u><u>61.88</u></u>

County of Adams
Vendor Payment Report

<u>1044</u>	<u>CA- SS Dependency/Neglect</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	MESA COUNTY COUNTY ATTORNEY'S	00001	904231	284955	08/10/17	<u>600.00</u>
					Account Total	<u>600.00</u>
					Department Total	<u><u>600.00</u></u>

County of Adams
Vendor Payment Report

<u>1094</u>	<u>CED Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SHREVE JEANNE	00001	903779	284601	08/07/17	<u>231.49</u>
					Account Total	<u>231.49</u>
					Department Total	<u><u>231.49</u></u>

County of Adams
Vendor Payment Report

<u>6021</u>	<u>CT- Trails- Plan/Design Const</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	ALLIED RECYCLED AGGREGATES	00024	904388	285241	08/15/17	<u>87.39</u>
					Account Total	<u>87.39</u>
					Department Total	<u><u>87.39</u></u>

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	ADCO DISTRICT ATTORNEY	00001	904275	285041	08/11/17	25.00
	EEO LEGAL SOLUTIONS LLC	00001	904278	285041	08/11/17	1,200.00
					Account Total	1,225.00
	Mileage Reimbursements					
	DELGADO NICOLE	00001	903648	284312	08/02/17	53.50
	GLADER JONATHAN D	00001	903686	284312	08/02/17	16.80
	GLADER JONATHAN D	00001	903688	284312	08/02/17	67.20
	WOODS JAKE	00001	904386	285239	08/15/17	97.20
					Account Total	234.70
	Operating Supplies					
	MORITZKY TREVOR	00001	903651	284312	08/02/17	19.43
					Account Total	19.43
	Other Communications					
	GOVERNOR'S OFFICE OF IT	00001	904458	285264	08/15/17	820.70
					Account Total	820.70
	Other Professional Serv					
	EL PASO COUNTY SHERIFF	00001	903649	284312	08/02/17	9.50
	VINCENT ROMEO & RODRIQUEZ LLC	00001	904459	285264	08/15/17	120.00
	WELD COUNTY SHERIFF	00001	904277	285041	08/11/17	20.68
					Account Total	150.18
	Travel & Transportation					
	MAYER LISA	00001	903650	284312	08/02/17	345.00
					Account Total	345.00
	Witness Fees					
	ADCO DISTRICT ATTORNEY	00001	903647	284312	08/02/17	87.55
	ADCO DISTRICT ATTORNEY	00001	903647	284312	08/02/17	91.58
	ADCO DISTRICT ATTORNEY	00001	903647	284312	08/02/17	91.58
	ADCO DISTRICT ATTORNEY	00001	904275	285041	08/11/17	40.00
	ADCO DISTRICT ATTORNEY	00001	904275	285041	08/11/17	69.22
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	903685	284312	08/02/17	105.41
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	903685	284312	08/02/17	113.56
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904276	285041	08/11/17	114.34
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904276	285041	08/11/17	171.94

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904276	285041	08/11/17	18.33
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904276	285041	08/11/17	212.93
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904457	285264	08/15/17	84.76
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	904457	285264	08/15/17	163.58
					Account Total	1,364.78
					Department Total	4,159.79

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Messenger/Delivery Service					
	REED RICHARD	00001	904011	284811	08/09/17	<u>23.75</u>
					Account Total	<u>23.75</u>
					Department Total	<u><u>23.75</u></u>

County of Adams
Vendor Payment Report

<u>99500</u>	<u>Employment First</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ARNEACH ANGELA	00035	903559	284300	07/31/17	38.52
	FLORES MICHAEL	00035	903578	284300	07/31/17	49.22
	MEDINA KRISTINA	00035	903595	284300	07/31/17	49.22
	PEDREGON SYDNEY	00035	903608	284300	07/31/17	55.64
					Account Total	<u>192.60</u>
					Department Total	<u><u>192.60</u></u>

County of Adams
Vendor Payment Report

<u>97802</u>	<u>Employment Support Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	MCDANIEL JENNIFER	00035	904355	285138	08/14/17	<u>179.76</u>
					Account Total	<u>179.76</u>
					Department Total	<u><u>179.76</u></u>

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	SAM HILL OIL INC	00006	903989	284803	08/09/17	13,919.11
	SAM HILL OIL INC	00006	903990	284803	08/09/17	12,658.01
					Account Total	26,577.12
					Department Total	26,577.12

County of Adams
Vendor Payment Report

<u>9243</u>	<u>Extension - Family & Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	904121	284931	08/10/17	<u>241.15</u>
					Account Total	<u>241.15</u>
					Department Total	<u><u>241.15</u></u>

County of Adams
Vendor Payment Report

<u>9240</u>	<u>Extension - Horticulture</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	904121	284931	08/10/17	<u>241.15</u>
					Account Total	<u>241.15</u>
					Department Total	<u><u>241.15</u></u>

County of Adams
Vendor Payment Report

<u>9241</u>	<u>Extension- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	ANDERSON CASSIE	00001	904122	284931	08/10/17	330.10
					Account Total	330.10
	Other Communications					
	VERIZON WIRELESS	00001	904121	284931	08/10/17	295.99
					Account Total	295.99
					Department Total	626.09

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	CSU UNIVERSITY RESOURCE CTR	00001	904154	284931	08/10/17	68.00
					Account Total	68.00
	Other Communications					
	VERIZON WIRELESS	00001	904121	284931	08/10/17	241.15
	VERIZON WIRELESS	00001	904121	284931	08/10/17	241.15
	VERIZON WIRELESS	00001	904121	284931	08/10/17	241.15
					Account Total	723.45
					Department Total	791.45

County of Adams
Vendor Payment Report

<u>1014</u>	<u>Finance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	JEFFERSON COUNTY	00001	903783	284601	08/07/17	200.00
	JEFFERSON COUNTY	00001	903783	284601	08/09/17	200.00-
					Account Total	_____
					Department Total	=====

County of Adams
Vendor Payment Report

<u>1018</u>	<u>Finance General Accounting</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	CHERNYAK DMITRIY	00001	904470	285272	08/15/17	67.20
					Account Total	67.20
	Education & Training					
	CHERNYAK DMITRIY	00001	904537	285384	08/16/17	1,845.00
					Account Total	1,845.00
	Operating Supplies					
	ORTIZ EMILIANO	00001	904534	285384	08/16/17	6.82
					Account Total	6.82
					Department Total	1,919.02

County of Adams
Vendor Payment Report

<u>9114</u>	<u>Fleet- Commerce</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Tools Reimbursement					
	PATRIDGE MICHAEL	00006	904361	285138	08/14/17	142.57
					Account Total	142.57
	Vehicle Repair & Maint					
	JB AUTO CLEAN	00006	903878	284646	08/07/17	160.00
					Account Total	160.00
					Department Total	302.57

County of Adams
Vendor Payment Report

<u>43</u>	<u>Front Range Airport</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	T-Hanger Deposits					
	WILLIAMS JEFFERY	00043	903729	284310	07/31/17	<u>160.00</u>
					Account Total	<u>160.00</u>
					Department Total	<u><u>160.00</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	FERGUSON JULIA	00001	904362	285138	08/14/17	<u>104.70</u>
					Account Total	<u>104.70</u>
					Department Total	<u><u>104.70</u></u>

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Administration Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7559	00001	903952	284731	07/21/17	<u>30.47</u>
					Account Total	<u>30.47</u>
					Department Total	<u><u>30.47</u></u>

County of Adams
Vendor Payment Report

<u>1113</u>	<u>FO - Children & Family Service</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7556	00001	903960	284731	07/25/17	<u>713.90</u>
					Account Total	<u>713.90</u>
					Department Total	<u><u>713.90</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7562	00001	903961	284731	07/26/17	155.11
					Account Total	155.11
					Department Total	155.11

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7564	00050	903963	284731	07/26/17	<u>46.24</u>
					Account Total	<u>46.24</u>
					Department Total	<u><u>46.24</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7561	00001	903954	284731	07/26/17	<u>753.90</u>
					Account Total	<u>753.90</u>
					Department Total	<u><u>753.90</u></u>

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7567	00001	903947	284731	07/25/17	178.27
	Energy Cap Bill ID=7568	00001	903948	284731	07/25/17	8,463.60
	Energy Cap Bill ID=7570	00001	903949	284731	07/25/17	225.16
					Account Total	8,867.03
					Department Total	8,867.03

County of Adams
Vendor Payment Report

<u>1067</u>	<u>FO - Human Service Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7566	00001	903946	284731	07/25/17	<u>12,727.40</u>
					Account Total	<u>12,727.40</u>
					Department Total	<u><u>12,727.40</u></u>

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7560	00001	903962	284731	07/24/17	<u>109.52</u>
					Account Total	<u>109.52</u>
					Department Total	<u><u>109.52</u></u>

County of Adams
Vendor Payment Report

<u>1072</u>	<u>FO - West Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=7557	00001	903950	284731	07/24/17	3,923.73
	Energy Cap Bill ID=7558	00001	903951	284731	07/24/17	799.68
					Account Total	<u>4,723.41</u>
					Department Total	<u><u>4,723.41</u></u>

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO-Adams County Service Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7565	00001	903953	284731	07/25/17	<u>26,060.35</u>
					Account Total	<u>26,060.35</u>
					Department Total	<u><u>26,060.35</u></u>

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO-Sheriff HQ/Coroner Building</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7563	00001	903959	284731	07/26/17	<u>110.36</u>
					Account Total	<u>110.36</u>
					Department Total	<u><u>110.36</u></u>

County of Adams
Vendor Payment Report

1	General Fund	Fund	Voucher	Batch No	GL Date	Amount
	Received not Vouchered Clrg					
	ACCELA INC	00001	904394	285247	08/15/17	109,459.59
	ADAMS COUNTY EDUCATION CONSORT	00001	903792	284609	08/07/17	518,731.00
	ADAMSON POLICE PRODUCTS	00001	904244	284976	08/10/17	24,950.00
	ADAMSON POLICE PRODUCTS	00001	904245	284976	08/10/17	2,500.50
	ADAMSON POLICE PRODUCTS	00001	904246	284976	08/10/17	220.00
	ADAMSON POLICE PRODUCTS	00001	904247	284976	08/10/17	845.00
	ADVANCED LAUNDRY SYSTEMS	00001	903618	284298	08/02/17	279.13
	ALLIED UNIVERSAL SECURITY SERV	00001	903535	284298	08/02/17	15,777.27
	ALLIED UNIVERSAL SECURITY SERV	00001	904465	285268	08/15/17	1,612.80
	AMERICAN EAGLE DISTRIBUTING	00001	903994	284803	08/09/17	2,715.70
	AMERICAN EAGLE DISTRIBUTING	00001	903995	284803	08/09/17	162.50
	AMERICAN EAGLE DISTRIBUTING	00001	903996	284803	08/09/17	2,115.00
	AMERICAN EAGLE DISTRIBUTING	00001	904003	284803	08/09/17	193.80
	AMERICAN EAGLE DISTRIBUTING	00001	904003	284803	08/09/17	10,000.00
	AMERICAN EAGLE DISTRIBUTING	00001	904003	284803	08/09/17	10,219.00
	ARISING HOPE INTERNATIONAL	00001	904430	285253	08/15/17	250.00
	ATOM PHYSICS	00001	903536	284298	08/02/17	235.00
	BI- BEHAVIORAL INTERVENTIONS	00001	904248	284976	08/10/17	2,920.32
	BOB BARKER COMPANY	00001	903537	284298	08/02/17	3,294.00
	BOB BARKER COMPANY	00001	903538	284298	08/02/17	879.50
	BOB BARKER COMPANY	00001	904249	284976	08/10/17	2,229.04
	BOB BARKER COMPANY	00001	904250	284976	08/10/17	479.20
	BOB BARKER COMPANY	00001	904251	284976	08/10/17	1,641.46
	BREAK THRU BEVERAGE	00001	904467	285268	08/15/17	541.06
	CHEMATOX LABORATORY INC	00001	903749	284514	08/04/17	470.00
	CINTAS CORPORATION #66	00001	903816	284609	08/07/17	134.43
	CINTAS CORPORATION #66	00001	904507	285367	08/16/17	134.43
	COHEN MILSTEIN SELLERS & TOLL	00001	903979	284803	08/09/17	2,107.92
	COHEN MILSTEIN SELLERS & TOLL	00001	903979	284803	08/09/17	18.33
	COLO MEDICAL WASTE INC	00001	903981	284803	08/09/17	375.00
	COMCAST SPOTLIGHT	00001	904543	285386	08/16/17	800.36
	DELL MARKETING L P	00001	904498	285367	08/16/17	14,822.56
	DELL MARKETING L P	00001	904499	285367	08/16/17	50,933.40
	DREXEL BARRELL & CO	00001	904517	285367	08/16/17	1,081.00
	DREXEL BARRELL & CO	00001	904579	285389	08/16/17	1,088.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	DREXEL BARRELL & CO	00001	904580	285389	08/16/17	396.00
	ECONOMIC & PLANNING SYSTEMS IN	00001	904519	285367	08/16/17	1,590.00
	ECONOMIC & PLANNING SYSTEMS IN	00001	904520	285367	08/16/17	11,430.29
	EIDE BAILLY LLP	00001	903980	284803	08/09/17	4,000.00
	ENTERCOM DENVER LLC	00001	903791	284609	08/07/17	2,870.00
	ENTERCOM DENVER LLC	00001	904484	285367	08/16/17	7,399.99
	ENTRAVISION COMMUNICATIONS	00001	903998	284803	08/09/17	6,901.16
	GOLDMAN ROBBINS NICHOLSON & MA	00001	904544	285386	08/16/17	107.85
	GOLDMAN ROBBINS NICHOLSON & MA	00001	904544	285386	08/16/17	2,617.65
	GRANICUS INC	00001	904509	285367	08/16/17	300.00
	GROUNDS SERVICE COMPANY	00001	904545	285386	08/16/17	232.50
	GROUNDS SERVICE COMPANY	00001	904546	285386	08/16/17	300.00
	GROUNDS SERVICE COMPANY	00001	904547	285386	08/16/17	242.50
	GROUNDS SERVICE COMPANY	00001	904548	285386	08/16/17	1,810.00
	GROUNDS SERVICE COMPANY	00001	904549	285386	08/16/17	95.00
	GROUNDS SERVICE COMPANY	00001	904550	285386	08/16/17	287.50
	GROUNDS SERVICE COMPANY	00001	904551	285386	08/16/17	185.00
	HIGH COUNTRY BEVERAGE	00001	904557	285386	08/16/17	433.00
	IDEXX DISTRIBUTION INC	00001	903985	284803	08/09/17	194.21
	IDEXX DISTRIBUTION INC	00001	903987	284803	08/09/17	171.13
	IDEXX DISTRIBUTION INC	00001	903987	284803	08/09/17	133.87
	IDEXX DISTRIBUTION INC	00001	904541	285386	08/16/17	479.40
	IMPROVE GROUP	00001	903539	284298	08/02/17	1,025.00
	JACHIMIAK PETERSON LLC	00001	904564	285389	08/16/17	16,457.60
	JACHIMIAK PETERSON LLC	00001	904564	285389	08/16/17	19,004.90
	JOHN DEERE COMPANY	00001	904488	285367	08/16/17	6,567.97
	JOHN DEERE COMPANY	00001	904488	285367	08/16/17	6,567.97
	KORBY LANDSCAPE LLC	00001	904491	285367	08/16/17	752.73
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	965.60
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	1,129.09
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	1,310.00
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	298.03
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	426.25
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	419.86
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	689.06
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	418.94

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	KORBY LANDSCAPE LLC	00001	904492	285367	08/16/17	926.44
	KUSA	00001	903999	284803	08/09/17	1,400.00
	KUSA	00001	904000	284803	08/09/17	3,011.74
	KUSA	00001	904001	284803	08/09/17	119.98
	KUSA	00001	904002	284803	08/09/17	9,975.00
	KUSA	00001	904582	285390	08/16/17	8,975.00
	KUSA	00001	904584	285390	08/16/17	1,033.88
	KUSA	00001	904584	285390	08/16/17	4,300.00
	KUSA	00001	904585	285390	08/16/17	8,000.00
	KUSA	00001	904586	285390	08/16/17	580.02
	LOPEZ MARCUS	00001	903619	284298	08/02/17	306.00
	MATO INC	00001	904496	285367	08/16/17	85,451.55
	MATO INC	00001	904497	285367	08/16/17	3,800.00
	MGT OF AMERICA INC	00001	903822	284609	08/07/17	10,400.00
	MORPHOTRAK LLC	00001	903754	284514	08/04/17	4,497.92
	MWI VETERINARY SUPPLY CO	00001	903802	284609	08/07/17	648.94
	MWI VETERINARY SUPPLY CO	00001	903803	284609	08/07/17	249.00
	MWI VETERINARY SUPPLY CO	00001	903807	284609	08/07/17	1,141.56
	MWI VETERINARY SUPPLY CO	00001	903808	284609	08/07/17	43.59
	MWI VETERINARY SUPPLY CO	00001	903809	284609	08/07/17	55.29
	MWI VETERINARY SUPPLY CO	00001	903810	284609	08/07/17	46.41
	MWI VETERINARY SUPPLY CO	00001	903811	284609	08/07/17	74.30
	MWI VETERINARY SUPPLY CO	00001	903812	284609	08/07/17	43.59
	MWI VETERINARY SUPPLY CO	00001	903813	284609	08/07/17	141.11
	MWI VETERINARY SUPPLY CO	00001	903814	284609	08/07/17	97.13
	MWI VETERINARY SUPPLY CO	00001	903815	284609	08/07/17	6.60
	MWI VETERINARY SUPPLY CO	00001	903982	284803	08/09/17	624.75
	MWI VETERINARY SUPPLY CO	00001	903983	284803	08/09/17	55.29
	MWI VETERINARY SUPPLY CO	00001	903984	284803	08/09/17	223.09
	MWI VETERINARY SUPPLY CO	00001	903986	284803	08/09/17	192.62
	MWI VETERINARY SUPPLY CO	00001	904506	285367	08/16/17	5,632.64
	MWI VETERINARY SUPPLY CO	00001	904540	285386	08/16/17	421.50
	MWI VETERINARY SUPPLY CO	00001	904576	285389	08/16/17	112.23
	NCS PEARSON INC	00001	904435	285253	08/15/17	609.00
	NEVE'S UNIFORMS INC	00001	904252	284976	08/10/17	278.80
	NEVE'S UNIFORMS INC	00001	904253	284976	08/10/17	46.95

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	NEVE'S UNIFORMS INC	00001	904254	284976	08/10/17	46.95
	NEVE'S UNIFORMS INC	00001	904255	284976	08/10/17	97.90
	NEVE'S UNIFORMS INC	00001	904256	284976	08/10/17	46.95
	NEVE'S UNIFORMS INC	00001	904257	284976	08/10/17	93.90
	NEVE'S UNIFORMS INC	00001	904258	284976	08/10/17	4.57
	NEVE'S UNIFORMS INC	00001	904258	284976	08/10/17	153.38
	NEVE'S UNIFORMS INC	00001	904259	284976	08/10/17	65.95
	NEVE'S UNIFORMS INC	00001	904260	284976	08/10/17	79.85
	NEVE'S UNIFORMS INC	00001	904261	284976	08/10/17	79.85
	NEVE'S UNIFORMS INC	00001	904262	284976	08/10/17	78.95
	NEVE'S UNIFORMS INC	00001	904263	284976	08/10/17	203.80
	NEVE'S UNIFORMS INC	00001	904264	284976	08/10/17	172.80
	NEVE'S UNIFORMS INC	00001	904265	284976	08/10/17	283.65
	NEVE'S UNIFORMS INC	00001	904266	284976	08/10/17	203.80
	NEVE'S UNIFORMS INC	00001	904267	284976	08/10/17	110.85
	NEVE'S UNIFORMS INC	00001	904268	284976	08/10/17	203.80
	NEVE'S UNIFORMS INC	00001	904269	284976	08/10/17	92.95
	NEVE'S UNIFORMS INC	00001	904270	284976	08/10/17	203.80
	NEVE'S UNIFORMS INC	00001	904271	284976	08/10/17	110.85
	NICOLETTI-FLATER ASSOCIATES	00001	904433	285253	08/15/17	3,895.00
	NORCHEM DRUG TESTING LABORATOR	00001	904272	284976	08/10/17	35.30
	ORACLE AMERICA INC	00001	904501	285367	08/16/17	4,488.97
	ORACLE AMERICA INC	00001	904502	285367	08/16/17	1,925.85
	PTS OF AMERICA LLC	00001	903750	284514	08/04/17	539.50
	PTS OF AMERICA LLC	00001	903750	284514	08/04/17	110.50
	PTS OF AMERICA LLC	00001	903751	284514	08/04/17	960.00
	PTS OF AMERICA LLC	00001	903752	284514	08/04/17	991.00
	PTS OF AMERICA LLC	00001	903753	284514	08/04/17	630.00
	PTS OF AMERICA LLC	00001	904273	284976	08/10/17	421.00
	PTS OF AMERICA LLC	00001	904274	284976	08/10/17	720.00
	RADIO RESOURCE INC	00001	903997	284803	08/09/17	765.00
	ROADRUNNER PHARMACY INCORPORAT	00001	903806	284609	08/07/17	47.95
	ROCKY MTN CONVEYOR & EQUIPT	00001	903624	284298	08/02/17	239.25
	SATELLITE SHELTERS INC	00001	904483	285367	08/16/17	1,530.00
	SHERMAN & HOWARD LLC	00001	903819	284609	08/07/17	7,712.50
	SOUTHWESTERN PAINTING	00001	904494	285367	08/16/17	13,706.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SPECTRA CONTRACT FLOORING SERV	00001	903817	284609	08/07/17	250.00
	SPECTRA CONTRACT FLOORING SERV	00001	903818	284609	08/07/17	275.00
	SPECTRA CONTRACT FLOORING SERV	00001	904489	285367	08/16/17	375.00
	STANDARD FENCE COMPANY	00001	904581	285389	08/16/17	6,324.00
	STATE OF COLORADO	00001	904485	285367	08/16/17	319.77
	STATE OF COLORADO	00001	904485	285367	08/16/17	492.06
	STATE OF COLORADO	00001	904486	285367	08/16/17	317.11
	STATE OF COLORADO	00001	904486	285367	08/16/17	634.73
	SUMMIT FOOD SERVICE LLC	00001	903627	284298	08/02/17	5,201.88
	SUMMIT FOOD SERVICE LLC	00001	903629	284298	08/02/17	27,650.78
	SUMMIT FOOD SERVICE LLC	00001	903631	284298	08/02/17	27,163.22
	SUMMIT FOOD SERVICE LLC	00001	903634	284298	08/02/17	25,816.15
	SUMMIT FOOD SERVICE LLC	00001	903755	284514	08/04/17	8,741.49
	SUMMIT FOOD SERVICE LLC	00001	903755	284514	08/04/17	17,264.65
	SUMMIT FOOD SERVICE LLC	00001	903756	284514	08/04/17	27,037.67
	SUMMIT FOOD SERVICE LLC	00001	903757	284514	08/04/17	256.10
	SUMMIT FOOD SERVICE LLC	00001	903757	284514	08/04/17	4,658.02
	SUMMIT FOOD SERVICE LLC	00001	903758	284514	08/04/17	4,954.31
	SUMMIT FOOD SERVICE LLC	00001	903759	284514	08/04/17	5,845.57
	SUMMIT FOOD SERVICE LLC	00001	903760	284514	08/04/17	6,825.81
	SUMMIT FOOD SERVICE LLC	00001	903761	284514	08/04/17	4,983.73
	SWIRE COCA-COLA USA	00001	903793	284609	08/07/17	180.00
	SYSTEMS GROUP	00001	904464	285268	08/15/17	21,026.00
	SYSTEMS GROUP	00001	904487	285367	08/16/17	200.00
	TAC 1 SYSTEMS	00001	903637	284298	08/02/17	2,605.59
	THEATRICAL MEDIA SERVICES INC	00001	903823	284609	08/07/17	17,995.00
	THEATRICAL MEDIA SERVICES INC	00001	904542	285386	08/16/17	5,976.00
	THEATRICAL MEDIA SERVICES INC	00001	904542	285386	08/16/17	143.65
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	1,182.03
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	125.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	91.21
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	791.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	2,575.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	250.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	325.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	675.00
	THYSSENKRUPP ELEVATOR CORP	00001	904518	285367	08/16/17	250.00
	TOSHIBA FINANCIAL SERVICES	00001	904437	285253	08/15/17	2,871.02
	TOSHIBA FINANCIAL SERVICES	00001	904437	285253	08/15/17	1,278.28
	TOSHIBA FINANCIAL SERVICES	00001	904437	285253	08/15/17	187.44
	TOSHIBA FINANCIAL SERVICES	00001	904437	285253	08/15/17	1,050.52
	TRI COUNTY HEALTH DEPT	00001	904508	285367	08/16/17	284,052.00
	WAGNER RENTS INC	00001	904583	285390	08/16/17	9,500.00
	WIRELESS ADVANCED COMMUNICATIO	00001	903540	284298	08/02/17	170.00
	WIRELESS ADVANCED COMMUNICATIO	00001	903541	284298	08/02/17	390.00
	WIRELESS ADVANCED COMMUNICATIO	00001	903762	284514	08/04/17	450.00
	WIRELESS ADVANCED COMMUNICATIO	00001	903763	284514	08/04/17	103.00
	WIRELESS ADVANCED COMMUNICATIO	00001	904439	285253	08/15/17	450.00
	WRIGHTWAY INDUSTRIES INC	00001	903805	284609	08/07/17	140.00
	ZAYO GROUP HOLDINGS INC	00001	904505	285367	08/16/17	1,975.00
					Account Total	<u>1,609,645.43</u>
					Department Total	<u><u>1,609,645.43</u></u>

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fuel, Gas & Oil					
	AGFINITY INC	00005	903851	284641	08/07/17	1,528.60
	AGFINITY INC	00005	903852	284641	08/07/17	457.96
	AGFINITY INC	00005	903853	284641	08/07/17	3,184.48
	AGFINITY INC	00005	903854	284641	08/07/17	534.53
	AGFINITY INC	00005	903855	284641	08/07/17	1,830.52
					Account Total	7,536.09
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	903871	284641	08/07/17	339.97
	UNITED POWER (UNION REA)	00005	903872	284641	08/07/17	1,097.02
	UNITED POWER (UNION REA)	00005	903873	284641	08/07/17	3,985.98
	UNITED POWER (UNION REA)	00005	904575	285388	08/16/17	4,619.11
	UNITED POWER (UNION REA)	00005	904575	285388	08/16/17	30.65
	XCEL ENERGY	00005	903875	284641	08/07/17	42.65
	XCEL ENERGY	00005	903876	284641	08/07/17	45.21
					Account Total	10,160.59
	Grounds Maintenance					
	AGFINITY INC	00005	903856	284641	08/07/17	187.00
	AGFINITY INC	00005	903857	284641	08/07/17	504.00
	AGFINITY INC	00005	904565	285388	08/16/17	540.00
	AGFINITY INC	00005	904566	285388	08/16/17	858.00
	AGFINITY INC	00005	904567	285388	08/16/17	403.75
	C P S DISTRIBUTORS INC	00005	903861	284641	08/07/17	297.14
	C P S DISTRIBUTORS INC	00005	903862	284641	08/07/17	219.80
	GOLF & SPORT SOLUTIONS	00005	903864	284641	08/07/17	1,030.99
	L L JOHNSON DIST	00005	903865	284641	08/07/17	586.80
	TORO NSN	00005	904574	285388	08/16/17	229.00
					Account Total	4,856.48
	Other Repair & Maint					
	ALPINE ARBORISTS PRO TREE CARE	00005	904569	285388	08/16/17	1,900.00
	LABOR SOLUTIONS INC	00005	904568	285388	08/16/17	2,000.00
					Account Total	3,900.00
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	903858	284641	08/07/17	42.56

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ALSCO AMERICAN INDUSTRIAL	00005	903859	284641	08/07/17	42.56
	ALSCO AMERICAN INDUSTRIAL	00005	904570	285388	08/16/17	42.56
	ALSCO AMERICAN INDUSTRIAL	00005	904571	285388	08/16/17	44.36
					Account Total	<u>172.04</u>
	Vehicle Parts & Supplies					
	BUCKEYE WELDING SUPPLY CO INC	00005	903860	284641	08/07/17	26.00
	GCR TIRES AND SERVICE	00005	903863	284641	08/07/17	259.97
	L L JOHNSON DIST	00005	903866	284641	08/07/17	54.59-
	L L JOHNSON DIST	00005	903867	284641	08/07/17	62.00
	L L JOHNSON DIST	00005	903868	284641	08/07/17	759.45
	L L JOHNSON DIST	00005	903869	284641	08/07/17	228.98
	L L JOHNSON DIST	00005	904572	285388	08/16/17	436.02
	L L JOHNSON DIST	00005	904573	285388	08/16/17	68.31
	R & R PRODUCTS COMPANY	00005	903870	284641	08/07/17	155.40
					Account Total	<u>1,941.54</u>
					Department Total	<u><u>28,566.74</u></u>

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00005	903874	284641	08/07/17	36.05
	UNITED POWER (UNION REA)	00005	904575	285388	08/16/17	3,533.36
	XCEL ENERGY	00005	903876	284641	08/07/17	325.30
					Account Total	<u>3,894.71</u>
					Department Total	<u><u>3,894.71</u></u>

County of Adams
Vendor Payment Report

<u>98600</u>	<u>Governor's Summer Job Hunt</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SCHAGER BRETT	00035	903622	284300	07/31/17	<u>24.08</u>
					Account Total	<u>24.08</u>
					Department Total	<u><u>24.08</u></u>

County of Adams
Vendor Payment Report

<u>1015</u>	<u>Human Resources- Admin</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Insurance Premiums					
	BUSSARD REX	00001	903789	284601	08/07/17	<u>300.00</u>
					Account Total	<u>300.00</u>
					Department Total	<u><u>300.00</u></u>

County of Adams
Vendor Payment Report

<u>935117</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	MARTINEZ DRYWALL CO	00031	904372	285149	08/14/17	1,895.00
					Account Total	1,895.00
	Headstart Classroom Supply					
	INVEST IN KIDS	00031	903400	284065	07/31/17	4,950.00
					Account Total	4,950.00
	Mileage Reimbursements					
	RODRIGUEZ JAMIE	00031	904374	285149	08/14/17	90.20
	RODRIGUEZ JAMIE	00031	904375	285149	08/14/17	10.81
	WHISENANT ELISA A	00031	903402	284065	07/31/17	62.49
					Account Total	163.50
	Operating Supplies					
	G & K SERVICES	00031	903399	284065	07/31/17	122.98
	G & K SERVICES	00031	904370	285149	08/14/17	122.98
	L & N SUPPLY COMPANY INC	00031	904371	285149	08/14/17	1,310.40
	SHRED IT USA LLC	00031	904376	285149	08/14/17	60.00
					Account Total	1,616.36
	Other Professional Serv					
	ORKIN PEST CONTROL	00031	904373	285149	08/14/17	87.36
					Account Total	87.36
	Subscrip/Publications					
	NULINX INTERNATIONAL	00031	903401	284065	07/31/17	739.50
	NULINX INTERNATIONAL	00031	903401	284065	07/31/17	130.50
					Account Total	870.00
	Telephone					
	CENTURY LINK	00031	903396	284065	07/31/17	1,130.61
	CENTURY LINK	00031	903397	284065	07/31/17	98.80
	CENTURY LINK	00031	904368	285149	08/14/17	170.20
	CENTURY LINK	00031	904369	285149	08/14/17	125.44
	CENTURYLINK	00031	903398	284065	07/31/17	9.81
					Account Total	1,534.86
					Department Total	11,117.08

County of Adams
Vendor Payment Report

<u>9260</u>	<u>Innovation & Sustainability</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	VIP ENGRAVERS	00001	903885	284672	08/07/17	<u>3,036.04</u>
					Account Total	<u>3,036.04</u>
					Department Total	<u><u>3,036.04</u></u>

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	AMERICAN RED CROSS	00019	903794	284609	08/07/17	323.00
	ARTHUR J GALLAGHER	00019	903883	284671	08/07/17	582.23
	ARTHUR J GALLAGHER	00019	903883	284671	08/07/17	7,707.77
	ARTHUR J GALLAGHER	00019	903884	284671	08/07/17	12,249.00
	BERG HILL GREENLEAF & RUSCITTI	00019	904462	285268	08/15/17	3,107.36
	COLO FRAME & SUSPENSION	00019	904514	285367	08/16/17	11,014.74
	FACTORY MOTOR PARTS	00019	904511	285367	08/16/17	240.25
	LONGMONT FORD	00019	904513	285367	08/16/17	565.95
	MILE HIGH FITNESS	00019	903991	284803	08/09/17	1,480.00
	NATHAN DUMM & MAYER PC	00019	903992	284803	08/09/17	1,791.85
					Account Total	39,062.15
					Department Total	39,062.15

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	A & E TIRE INC	00019	904232	284955	08/10/17	137.52
					Account Total	137.52
	General Liab - Other than Prop					
	HAYS LESTEL	00019	904477	285277	08/15/17	1,000.00
	HAYS LESTEL	00019	904478	285279	08/15/17	1,000.00
	HAYS LESTEL	00019	904477	285277	08/15/17	1,000.00-
					Account Total	1,000.00
					Department Total	<u>1,137.52</u>

County of Adams
Vendor Payment Report

<u>8615</u>	<u>Insurance- UHC Retiree Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	UHC_MED					
	KELLY ROBERT	00019	904366	285138	08/14/17	<u>22.48</u>
					Account Total	<u>22.48</u>
					Department Total	<u><u>22.48</u></u>

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Office Equip Rep & Maint					
	VERTIV SERVICES INC	00001	904311	285052	08/11/17	<u>3,741.73</u>
					Account Total	<u>3,741.73</u>
					Department Total	<u><u>3,741.73</u></u>

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ISP Services					
	COMCAST BUSINESS	00001	904025	284822	08/09/17	1,700.00
					Account Total	1,700.00
	Telephone					
	TDS TELECOM	00001	904393	285244	08/15/17	836.27
	WINDSTREAM COMMUNICATIONS	00001	904495	285368	08/16/17	2,218.67
					Account Total	3,054.94
					Department Total	4,754.94

County of Adams
Vendor Payment Report

<u>1081</u>	<u>Long Range Strategic Planning</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	MONTOYA ABEL M	00001	903736	284419	08/03/17	<u>192.00</u>
					Account Total	<u>192.00</u>
					Department Total	<u><u>192.00</u></u>

County of Adams
Vendor Payment Report

<u>97813</u>	<u>MSFW Housing Inspection</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PARRA ALDO	00035	903602	284300	07/31/17	<u>135.89</u>
					Account Total	<u>135.89</u>
					Department Total	<u><u>135.89</u></u>

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00027	903769	284579	08/05/17	<u>26.42</u>
					Account Total	<u>26.42</u>
					Department Total	<u><u>26.42</u></u>

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DESIGN WORKSHOP	00027	904556	285386	08/16/17	16,090.62
	DREXEL BARRELL & CO	00027	904461	285268	08/15/17	407.04
	WESTERN STATES RECLAMATION INC	00027	904578	285389	08/16/17	1,016.00
					Account Total	17,513.66
					Department Total	17,513.66

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	COMMERCE CITY CITY OF	00028	903764	284579	08/05/17	<u>300,000.00</u>
					Account Total	<u>300,000.00</u>
					Department Total	<u><u>300,000.00</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=7569	00001	903955	284731	07/24/17	50.30
	Energy Cap Bill ID=7571	00001	903956	284731	07/24/17	41.60
	Energy Cap Bill ID=7572	00001	903957	284731	07/24/17	93.17
	Energy Cap Bill ID=7573	00001	903958	284731	07/24/17	54.38
					Account Total	<u>239.45</u>
					Department Total	<u><u>239.45</u></u>

County of Adams
Vendor Payment Report

<u>1010</u>	<u>Public Information Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	DEARTH BRIAN	00001	904357	285138	08/14/17	<u>151.00</u>
					Account Total	<u>151.00</u>
					Department Total	<u><u>151.00</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	COLO BARRICADE CO INC	00001	904314	285056	08/11/17	1,973.25
	CONTRACTORS EQUIPMENT CENTER	00001	904389	285241	08/15/17	1,375.33
					Account Total	3,348.58
	Event Services					
	AIRGAS USA LLC	00001	904387	285241	08/15/17	132.87
					Account Total	132.87
	Fair Expenses-General					
	AMERICAN SCALE SERVICE & SUPPL	00001	904155	284931	08/10/17	250.00
	COLO FEDERATION OF GARDEN CLUB	00001	904123	284931	08/10/17	96.00
	COLO STATE UNIVERSITY	00001	904124	284931	08/10/17	500.00
	COX RANCH ORIGINALS	00001	904156	284931	08/10/17	752.00
	DARNELL KELSEY MORGAN	00001	904152	284931	08/10/17	100.00
	EPPERLY JOE	00001	904131	284931	08/10/17	500.00
	EPPERLY JOE	00001	904132	284931	08/10/17	150.00
	HARRIS VICTORIA	00001	904151	284931	08/10/17	100.00
	PRADO AL JR	00001	904134	284931	08/10/17	200.00
	THIES JOAN	00001	904133	284931	08/10/17	150.00
	VAHLING DELBERT A	00001	904153	284931	08/10/17	100.00
					Account Total	2,898.00
	Mileage Reimbursements					
	LIM CARLENA	00001	903766	284579	08/05/17	34.78
					Account Total	34.78
	Regional Park Rentals					
	ADAME DIANA	00001	904233	284958	08/10/17	400.00
	ANDRADE JOSE	00001	904234	284958	08/10/17	75.00
	BRIGADE ENERGY SERVICES	00001	904235	284958	08/10/17	75.00
	DESANDOVAL CARLOTA	00001	904236	284958	08/10/17	650.00
	FAMILY DENTAL OF THORNTON	00001	904237	284958	08/10/17	75.00
	GRANADOS GILBERT	00001	903849	284640	08/07/17	75.00
	GRUBER PATRICK	00001	904238	284958	08/10/17	75.00
	LEDEZMA SARAI	00001	903848	284640	08/07/17	75.00
	MEDINA ANGELICA	00001	904239	284958	08/10/17	75.00
	SANCHEZ VANESSA	00001	904240	284958	08/10/17	75.00

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair & Special Events</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SUPERIOR FARMS	00001	904241	284958	08/10/17	150.00
					Account Total	1,800.00
	Special Events					
	RACING UNDERGROUND LLC	00001	904317	285056	08/11/17	500.00
					Account Total	500.00
	Water/Sewer/Sanitation					
	COLUMBIA SANITARY SERVICE INC	00001	904391	285241	08/15/17	50.00
	REPUBLIC SERVICES #535	00001	904385	285238	08/15/17	575.00
					Account Total	625.00
					Department Total	9,339.23

County of Adams
Vendor Payment Report

<u>5015</u>	<u>PKS- Grounds Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	903773	284579	08/05/17	2,124.68
	UNITED POWER (UNION REA)	00001	903774	284579	08/05/17	42.10
					Account Total	2,166.78
	Water/Sewer/Sanitation					
	COLO DEPT OF PUBLIC HEALTH & E	00001	903768	284579	08/05/17	155.00
	CULLIGAN	00001	904315	285056	08/11/17	534.50
					Account Total	689.50
					Department Total	2,856.28

County of Adams
Vendor Payment Report

<u>5018</u>	<u>PKS- Natural Resources Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PEDRUCCI MARC R	00001	903767	284579	08/05/17	<u>101.22</u>
					Account Total	<u>101.22</u>
					Department Total	<u><u>101.22</u></u>

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00001	903770	284579	08/05/17	896.47
	UNITED POWER (UNION REA)	00001	903771	284579	08/05/17	38.62
	UNITED POWER (UNION REA)	00001	903772	284579	08/05/17	30.09
					Account Total	965.18
	Mileage Reimbursements					
	GRAF TREVOR G	00001	904392	285241	08/15/17	115.03
					Account Total	115.03
	Operating Supplies					
	CINTAS FIRST AID & SAFETY	00001	904390	285241	08/15/17	222.65
	G & K SERVICES	00001	903765	284579	08/05/17	199.42
					Account Total	422.07
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00001	904385	285238	08/15/17	5,195.07
					Account Total	5,195.07
					Department Total	6,697.35

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	904318	285056	08/11/17	14.88
					Account Total	14.88
	Water/Sewer/Sanitation					
	NORTH PECOS WATER & SANITATION	00001	904316	285056	08/11/17	173.36
	REPUBLIC SERVICES #535	00001	904384	285238	08/15/17	1,010.76
	REPUBLIC SERVICES #535	00001	904385	285238	08/15/17	130.00
					Account Total	1,314.12
					Department Total	<u>1,329.00</u>

County of Adams
Vendor Payment Report

<u>1082</u>	<u>PLN- Development Review</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	EAGLE VIEW ADULT CENTER	00001	904012	284811	08/09/17	<u>225.00</u>
					Account Total	<u>225.00</u>
					Department Total	<u><u>225.00</u></u>

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BRANNAN SAND & GRAVEL COMPANY	00013	903795	284609	08/07/17	825.33
	BRANNAN SAND & GRAVEL COMPANY	00013	903796	284609	08/07/17	511.27
	BRANNAN SAND & GRAVEL COMPANY	00013	903797	284609	08/07/17	123.00
	BRANNAN SAND & GRAVEL COMPANY	00013	903798	284609	08/07/17	129.15
	DiExSys LLC	00013	904521	285367	08/16/17	24,990.00
	METCALFE DEREK RICHARD	00013	904554	285386	08/16/17	1,300.00
	OUTTA CONTROL DESIGNS	00013	903800	284609	08/07/17	4,607.99
	ROTELLO ROCCO G	00013	904552	285386	08/16/17	9,980.00
	SIMS FREDERIC M	00013	904555	285386	08/16/17	11,345.00
	UTILITY NOTIFICATION CENTER OF	00013	903799	284609	08/07/17	174.00
	W L CONTRACTORS INC	00013	903801	284609	08/07/17	6,718.80
	74TH AVE LIMITED PARTNERSHIP	00013	904553	285386	08/16/17	1,368.00
					Account Total	62,072.54
					Department Total	62,072.54

County of Adams
Vendor Payment Report

<u>94</u>	<u>Sheriff Payables</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Brain Trust					
	COLO DEPT OF HUMAN SERVICES	00094	903737	284419	08/03/17	4,035.00
					Account Total	4,035.00
	Family Friendly Fee					
	COLO JUDICIAL DEPT	00094	903738	284419	08/03/17	362.00
					Account Total	362.00
	State Surcharge					
	CLERK OF THE COUNTY COURT	00094	903739	284419	08/03/17	5,172.00
					Account Total	5,172.00
					Department Total	<u>9,569.00</u>

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	<u>45.79</u>
					Account Total	<u>45.79</u>
					Department Total	<u><u>45.79</u></u>

County of Adams
Vendor Payment Report

<u>2014</u>	<u>Sheriff-Professional Standards</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	<u>266.61</u>
					Account Total	<u>266.61</u>
					Department Total	<u><u>266.61</u></u>

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	1.37
					Account Total	1.37
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	903543	284299	08/02/17	404.20
					Account Total	404.20
	Special Events					
	SAMS CLUB	00001	903546	284299	08/02/17	141.62
					Account Total	141.62
					Department Total	<u>547.19</u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Education & Training					
	SPECIAL OLYMPICS OF COLO IN AD	00001	903746	284508	08/04/17	850.00
					Account Total	850.00
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	161.05
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	144.37
					Account Total	305.42
	Mileage Reimbursements					
	PFEFFER CRISTINA	00001	903545	284299	08/02/17	54.57
					Account Total	54.57
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	903741	284508	08/04/17	162.97
	DS WATERS OF AMERICA INC	00001	903544	284299	08/02/17	127.40
					Account Total	290.37
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	382.56
					Account Total	382.56
	Special Events					
	SAMS CLUB	00001	903546	284299	08/02/17	951.46
	SAMS CLUB	00001	903546	284299	08/02/17	59.51
					Account Total	1,010.97
	Travel & Transportation					
	SPECIAL OLYMPICS OF COLO IN AD	00001	903746	284508	08/04/17	1,661.76
					Account Total	1,661.76
					Department Total	4,555.65

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	<u>199.08</u>
					Account Total	<u>199.08</u>
					Department Total	<u><u>199.08</u></u>

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	113.96
					Account Total	113.96
	Other Communications					
	CENTURY LINK	00001	903542	284299	08/02/17	412.83
					Account Total	412.83
					Department Total	526.79

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	165.07
					Account Total	165.07
	Other Communications					
	CENTURY LINK	00001	904445	285258	08/15/17	89.88
					Account Total	89.88
	Other Professional Serv					
	SUNCONTROL FOR WINDOWS LLC	00001	904455	285258	08/15/17	295.00
					Account Total	295.00
	Other State Grants					
	LAKWOOD POLICE DEPT	00001	904451	285258	08/15/17	83.39
					Account Total	83.39
	Uniforms & Cleaning					
	COX RANCH ORIGINALS	00001	904447	285258	08/15/17	502.00
					Account Total	502.00
					Department Total	1,135.34

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	531.12
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	433.11
					Account Total	964.23
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	903743	284508	08/04/17	22.70
	DS WATERS OF AMERICA INC	00001	903744	284508	08/04/17	78.20
	DS WATERS OF AMERICA INC	00001	903745	284508	08/04/17	513.64
	SUMMIT FOOD SERVICE LLC	00001	903640	284299	08/02/17	138.20
	SUMMIT FOOD SERVICE LLC	00001	903641	284299	08/02/17	122.94
	SUMMIT FOOD SERVICE LLC	00001	903642	284299	08/02/17	382.63
	SUMMIT FOOD SERVICE LLC	00001	903643	284299	08/02/17	21.20
	SUMMIT FOOD SERVICE LLC	00001	903644	284299	08/02/17	159.88
					Account Total	1,439.39
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	292.99
					Account Total	292.99
	Uniforms & Cleaning					
	GALLS LLC	00001	904450	285258	08/15/17	1,397.11
	REEVES COMPANY INC	00001	904453	285258	08/15/17	161.75
					Account Total	1,558.86
					Department Total	4,255.47

County of Adams
Vendor Payment Report

<u>2072</u>	<u>SHF- Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	<u>29.27</u>
					Account Total	<u>29.27</u>
					Department Total	<u><u>29.27</u></u>

County of Adams
Vendor Payment Report

<u>2010</u>	<u>SHF- MIS Unit</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	CATAPULT SYSTEMS LLC	00001	904367	285144	08/14/17	375.00
					Account Total	375.00
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	62.44
					Account Total	62.44
					Department Total	437.44

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	77.64
					Account Total	77.64
	Minor Equipment					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	297.46
					Account Total	297.46
	Operating Supplies					
	DS WATERS OF AMERICA INC	00001	904449	285258	08/15/17	22.10
					Account Total	22.10
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	774.18
					Account Total	774.18
	Other Professional Serv					
	BAILEY BRENT	00001	904444	285258	08/15/17	1,020.00
	COLONELL RICHARD	00001	904446	285258	08/15/17	233.75
	RAPP, ANNE	00001	904452	285258	08/15/17	446.25
	SHRED IT USA LLC	00001	904454	285258	08/15/17	80.00
	TOLDNESS TERRANCE E	00001	904456	285258	08/15/17	488.75
					Account Total	2,268.75
					Department Total	3,440.13

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	126.60
					Account Total	126.60
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	40.01
					Account Total	40.01
					Department Total	166.61

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA BUSINESS SOLUTIONS	00001	903747	284508	08/04/17	38.88
					Account Total	38.88
	Other Communications					
	VERIZON WIRELESS	00001	903748	284508	08/04/17	152.09
					Account Total	152.09
					Department Total	190.97

County of Adams
Vendor Payment Report

<u>2024</u>	<u>SHF- Volunteer Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	COLO STATE SHERIFFS POSSE ASSN	00001	903742	284508	08/04/17	<u>25.00</u>
					Account Total	<u>25.00</u>
					Department Total	<u><u>25.00</u></u>

County of Adams
Vendor Payment Report

<u>3011</u>	<u>Transportation Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	MAXWELL JEFFERY	00013	904356	285138	08/14/17	<u>250.50</u>
					Account Total	<u>250.50</u>
					Department Total	<u><u>250.50</u></u>

County of Adams
Vendor Payment Report

<u>3031</u>	<u>Transportation Opers & Maint</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Debris Removal					
	A & E TIRE INC	00013	903692	284385	08/03/17	77.50
					Account Total	77.50
	Dust Abatement					
	WAYNE A MITCHELL LLC	00013	903690	284385	08/03/17	2,961.00
					Account Total	2,961.00
	Other Communications					
	SPRINT	00013	903695	284385	08/03/17	37.99
					Account Total	37.99
	Other Professional Serv					
	DAVEY TREE EXPERT CO	00013	903879	284385	08/07/17	860.00
					Account Total	860.00
	Road Oil					
	COBITCO INC	00013	903693	284385	08/03/17	107.80
					Account Total	107.80
	Vehicle Repair & Maint					
	WAGNER RENTS INC	00013	903691	284385	08/03/17	5,538.86
					Account Total	5,538.86
	Water/Sewer/Sanitation					
	PREMIER PORTABLES	00013	903689	284385	08/03/17	460.00
					Account Total	460.00
					Department Total	<u>10,043.15</u>

County of Adams
Vendor Payment Report

<u>9291</u>	<u>Veterans Service Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	SHEETZ ROBERT J	00001	903790	284601	08/07/17	<u>154.08</u>
					Account Total	<u>154.08</u>
					Department Total	<u><u>154.08</u></u>

County of Adams
Vendor Payment Report

<u>97800</u>	<u>Wagner-Peyser</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	BERNAL JUAN FELIPE	00035	903560	284300	07/31/17	41.73
	MARTINEZ MARTHA	00035	903583	284300	07/31/17	11.77
	MCBOAT GREG	00035	903587	284300	07/31/17	51.36
	PARRA ALDO	00035	903602	284300	07/31/17	369.69
	RODRIGUEZ SONIA	00035	903614	284300	07/31/17	116.63
	SANTINO HEATHER	00035	903615	284300	07/31/17	23.01
					Account Total	614.19
					Department Total	614.19

County of Adams
Vendor Payment Report

<u>4400</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Materials & Supplies					
	UNIVAR USA INC	00044	903391	284059	07/31/17	652.74
	UNIVAR USA INC	00044	903494	284059	07/31/17	200.00-
					Account Total	452.74
	Gas & Electricity					
	ROGGEN FARMERS ELEVATOR ASSN	00044	904475	285273	08/15/17	184.00
					Account Total	184.00
	Laboratory Analysis					
	COLO ANALYTICAL LABORATORY	00044	903435	284059	07/31/17	35.00
	COLO ANALYTICAL LABORATORY	00044	903734	284415	08/01/17	17.50
	COLO ANALYTICAL LABORATORY	00044	904471	285273	08/15/17	210.00
	COLO ANALYTICAL LABORATORY	00044	904472	285273	08/15/17	15.00
	COLO ANALYTICAL LABORATORY	00044	904473	285273	08/15/17	15.00
					Account Total	292.50
					Department Total	929.24

County of Adams
Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COMPUTER SYSTEMS DESIGN	00035	903988	284803	08/09/17	4,800.00
	INSIGHT PUBLIC SECTOR	00035	904522	285367	08/16/17	12,455.64
					Account Total	17,255.64
					Department Total	17,255.64

County of Adams
Vendor Payment Report

<u>99600</u>	<u>WBC Admin Pool</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	903558	284300	07/31/17	9.10
	MCBOAT GREG	00035	903587	284300	07/31/17	10.70
					Account Total	<u>19.80</u>
					Department Total	<u><u>19.80</u></u>

County of Adams
Vendor Payment Report

<u>99806</u>	<u>WIOA & Wag/Pey Shared Prog Cst</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	PARRIOTT JOEL	00035	903605	284300	07/31/17	109.14
	POST REBECCA	00035	903613	284300	07/31/17	79.72
					Account Total	<u>188.86</u>
					Department Total	<u><u>188.86</u></u>

County of Adams
Vendor Payment Report

<u>99802</u>	<u>WIOAAD & DLW Shared Pgm Costs</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	CHAVEZ BELIA P	00035	903568	284300	07/31/17	<u>28.89</u>
					Account Total	<u>28.89</u>
					Department Total	<u><u>28.89</u></u>

County of Adams
Vendor Payment Report

<u>97200</u>	<u>WIOA ADULT PROGRAM</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Tuition					
	RED ROCKS COMMUNITY COLLEGE	00035	904382	285230	08/15/17	<u>2,812.30</u>
					Account Total	<u>2,812.30</u>
					Department Total	<u><u>2,812.30</u></u>

County of Adams
Vendor Payment Report

<u>97500</u>	<u>WIOA YOUTH OLDER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Work Experience					
	CENTRAL COLO AREA HEALTH EDUCA	00035	903520	284284	08/02/17	1,500.00
	CENTRAL COLO AREA HEALTH EDUCA	00035	903521	284284	08/02/17	1,500.00
	CENTRAL COLORADO AHEC	00035	903522	284284	08/02/17	1,500.00
	CENTRAL COLORADO AHEC	00035	903523	284284	08/02/17	1,500.00
					Account Total	6,000.00
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	903558	284300	07/31/17	24.61
	CLARK RYNE	00035	903571	284300	07/31/17	47.08
	ELLIS CHARLES	00035	903574	284300	07/31/17	41.20
	KERR CRISTINE	00035	903581	284300	07/31/17	18.72
	MENDOZA MICHELLE	00035	903597	284300	07/31/17	19.79
	SCHAGER BRETT	00035	903622	284300	07/31/17	78.11
	SCHAGER BRETT	00035	903622	284300	07/31/17	167.99
					Account Total	397.50
	Supp Svcs-Incentives					
	LICON ELISHA	00035	903524	284284	08/02/17	50.00
	MANDUJANO VICTOR	00035	903638	284284	08/02/17	100.00
					Account Total	150.00
					Department Total	6,547.50

County of Adams
Vendor Payment Report

<u>97400</u>	<u>WIOA YOUTH YOUNGER</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Work Experience					
	CENTRAL COLO AREA HEALTH EDUCA	00035	903519	284284	08/02/17	1,500.00
					Account Total	1,500.00
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	903558	284300	07/31/17	25.14
	SCHAGER BRETT	00035	903622	284300	07/31/17	16.05
					Account Total	41.19
					Department Total	1,541.19

County of Adams
Vendor Payment Report

<u>98050</u>	<u>WIOA 25% ENHANCED DLW PROGRAM</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	GONZALEZ JEANETTE	00035	903577	284300	07/31/17	<u>20.33</u>
					Account Total	<u>20.33</u>
					Department Total	<u><u>20.33</u></u>

County of Adams
Vendor Payment Report

<u>99807</u>	<u>Youth Shared Prgrm Direct Cost</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	AGUINIGA CAROL	00035	903558	284300	07/31/17	20.87
	CLARK RYNE	00035	903571	284300	07/31/17	35.85
	ELLIS CHARLES	00035	903574	284300	07/31/17	20.86
	KERR CRISTINE	00035	903581	284300	07/31/17	9.10
	MCGIRR RITA	00035	903592	284300	07/31/17	16.05
	MENDOZA MICHELLE	00035	903597	284300	07/31/17	16.59
	SCHAGER BRETT	00035	903622	284300	07/31/17	43.87
					Account Total	163.19
					Department Total	163.19

County of Adams
Vendor Payment Report

Grand Total 2,893,645.47

County of Adams
Net Warrants by Fund Detail

Grand Total 2,908,932.38

**MINUTES OF COMMISSIONERS' PROCEEDINGS FOR
TUESDAY, AUGUST 22, 2017**

1. ROLL CALL

Present: Charles "Chaz" Tedesco, Eva J. Henry, Erik Hansen and Mary Hodge

Excused: Steve O'Dorisio

2. PLEDGE OF ALLEGIANCE (09:09 AM)

3. MOTION TO APPROVE AGENDA (09:09 AM)

Motion to Approve 3. MOTION TO APPROVE AGENDA Moved by Charles "Chaz" Tedesco, seconded by Mary Hodge, unanimously carried.

4. AWARDS AND PRESENTATIONS (09:09 AM)

A. 17-615 Adams County Fair Video Presentation

Present: All Commissioners present.

Excused:

5. PUBLIC COMMENT (09:21 AM)

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication (09:21 AM)

6. CONSENT CALENDAR (09:23 AM)

A. 17-609 List of Expenditures Under the Dates of August 4-10, 2017

B. 17-613 Minutes of the Commissioners' Proceedings from August 15, 2017

C. 17-556 Resolution Authorizing Cancellation of Property Taxes (File was approved by ELT)

D. 17-568 Resolution Approving an Agreement between Adams County and the Trust for Public Land for Purchase of Conservation Easement on the Littlefield Property (File was approved by ELT)

E. 17-569 Resolution Approving a Deed of Conservation Easement between Adams County and Amy and Jeff Dill for the Littlefield Property (File was approved by ELT)

F. 17-579 Resolution Approving Right-of-Way Agreement between Adams County and 74th Avenue Limited Partnership for Property Necessary for the York Street Improvements Project-York Street from East 78th Avenue to Highway 224 (File was approved by ELT)

G. 17-589 Resolution Accepting a Deed from Remembrance Management, LLC to Adams County Conveying a Permanent Drainage Easement for Storm Water Drainage Purposes (File was approved by ELT)

H. 17-601 Resolution Approving Quit Claim Deeds from Adams County to the Department of Transportation, State of Colorado, for Right-of-Way Purposes (File was approved by ELT)

Motion to Approve 6. CONSENT CALENDAR Moved by Charles "Chaz" Tedesco, seconded by Steve O'Dorisio, unanimously carried.

7. NEW BUSINESS (09:24 AM)

A. COUNTY MANAGER (09:24 AM)

1. 17-598 Resolution Authorizing Third Supplemental Appropriations to the 2017 Adams County Government Budget (File was approved by ELT) (09:24 AM)
Motion to Approve 1. 17-598 Resolution Authorizing Third Supplemental Appropriations to the 2017 Adams County Government Budget (File was approved by ELT) Moved by Mary Hodge, seconded by Steve O'Doriso, passed with a roll call vote 4:1.
2. 17-594 Resolution Approving Amendment Three to the Agreement between Adams County and Quantum Water Consulting for Additional Services (File was approved by ELT) (09:26 AM)
Motion to Approve 2. 17-594 Resolution Approving Amendment Three to the Agreement between Adams County and Quantum Water Consulting for Additional Services (File was approved by ELT) Moved by Steve O'Doriso, seconded by Mary Hodge, unanimously carried.
3. 17-604 Resolution Awarding an Agreement to Saunders Construction for Construction Management General Contractor Services for the Adams County Animal Shelter (File was approved by ELT) (09:29 AM)
Motion to Approve 3. 17-604 Resolution Awarding an Agreement to Saunders Construction for Construction Management General Contractor Services for the Adams County Animal Shelter (File was approved by ELT) Moved by Charles "Chaz" Tedesco, seconded by Steve O'Doriso, unanimously carried.
4. 17-606 Resolution Approving Amendment One to the Agreement between Adams County and Treanor H+L Architects for Additional Architect and Engineering Design Services (File was approved by ELT) (09:31 AM)
Motion to Approve 4. 17-606 Resolution Approving Amendment One to the Agreement between Adams County and Treanor H+L Architects for Additional Architect and Engineering Design Services (File was approved by ELT) Moved by Steve O'Doriso, seconded by Mary Hodge, unanimously carried.
5. 17-614 Resolution Approving Amendment Two to the Agreement between Adams County and Neon Rain Interactive, LLC for the Redesign of the Sheriff's Office Website (File was approved by ELT) (09:35 AM)
Motion to Approve 5. 17-614 Resolution Approving Amendment Two to the Agreement between Adams County and Neon Rain Interactive, LLC for the Redesign of the Sheriff's Office Website (File was approved by ELT) Moved by Steve O'Doriso, seconded by Charles "Chaz" Tedesco, unanimously carried.

B. COUNTY ATTORNEY (09:42 AM)

1. 17-603 Aerotropolis Regional Transportation Authority (File was approved by ELT) (09:43 AM)
Motion to Approve 1. 17-603 Aerotropolis Regional Transportation Authority, A Resolution of the Board of County Commissioners, County of Adams, State of Colorado, Submitting to a Vote of the Registered Electors Residing within the Boundaries of the Proposed Aerotropolis Regional Transportation Authority at the November 7, 2017 Election, Ballot Questions Regarding the Establishment of the Authority, the Levying of Property and Sales Taxes and the Issuance of Debt by the Authority, and a Revenue Change Under Article X, Section 20 of the Colorado Constitution (File was approved by ELT) Moved by Charles "Chaz" Tedesco, seconded by Mary Hodge, passed with a roll call vote 4:1.

8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Bargaining Policies (09:52 AM)
Motion to Approve 8. Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(b) for the Purpose of Receiving Legal Advice Regarding Bargaining Policies Moved by Steve O'Doriso, seconded by Charles "Chaz" Tedesco, unanimously carried.
9. ADJOURNMENT (09:53 AM)

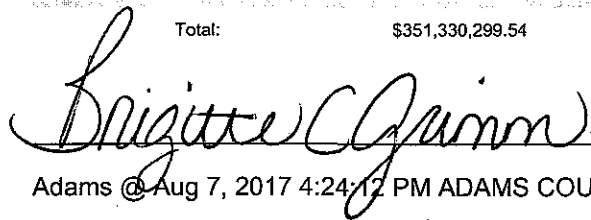
AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



Adams County Treasurer's Summary

Start Date	07/01/17
End Date	07/31/17

COUNTY FUNDS	Beginning Balance	Property Taxes	Specific Ownership	Other Revenue	Transfers	Treasurer's Fee	Disburse	Ending Balance	Difference
0001 COUNTY GENERAL	\$176,986,269.24	\$1,402,942.83	\$0.00	\$3,839,550.31	(\$880,517.69)	(\$21,052.49)	(\$11,117,617.34)	\$170,209,574.86	\$0.00
0004 CAPITAL FACILITIES	\$16,256,830.07	\$0.00	\$0.00	\$305,838.51	\$1,758,567.17	\$0.00	(\$8,961,098.41)	\$9,360,137.34	\$0.00
0005 GOLF OPNS (ENTERPRISE)	\$2,159,117.66	\$0.00	\$0.00	\$479,557.71	(\$1,387.12)	\$0.00	(\$232,829.70)	\$2,404,458.55	\$0.00
0006 INTERNAL SVC (EQUIP SVC)	\$13,325,535.83	\$0.00	\$0.00	\$3,359.71	\$414,416.84	\$0.00	(\$522,120.77)	\$13,221,191.61	\$0.00
0007 STORMWATER UTILITY FEE	\$6,180,433.65	\$2,382.96	\$0.00	\$200,059.07	\$47,011.73	(\$35.74)	(\$76,521.05)	\$6,353,330.62	\$0.00
0011 SHERIFF SUBSTATION	(\$6,000.00)	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	(\$6,000.00)	\$0.00
0013 ROAD & BRIDGE	\$61,066,293.89	\$78,161.78	\$1,244,481.01	\$1,305,340.97	(\$64,246.16)	(\$1,172.75)	(\$2,868,099.93)	\$60,760,758.81	\$0.00
0015 SOC SVCS (WELFARE)	\$16,030,299.30	\$141,477.29	\$0.00	\$2,493,610.11	(\$395,240.91)	\$0.00	(\$3,974,059.71)	\$14,296,086.08	\$0.00
0019 INSUR CLAIMS & RESERVES	\$5,557,946.92	\$0.00	\$0.00	\$24,264.89	\$1,476,491.94	\$0.00	(\$630,359.82)	\$6,428,343.93	\$0.00
0020 DEVELOPMENTALLY DISABLED	\$1,275,566.96	\$15,451.97	\$0.00	\$0.00	\$0.00	(\$231.75)	\$0.00	\$1,290,787.18	\$0.00
0024 CONSERVATION TRUST FUND	\$1,762,008.71	\$0.00	\$0.00	\$1,429.55	(\$17,837.96)	\$0.00	(\$22,073.58)	\$1,723,526.72	\$0.00
0025 WASTE MANAGEMENT FUND	\$4,383,757.48	\$0.00	\$0.00	\$14,771.00	\$0.00	\$0.00	(\$4,152.74)	\$4,394,375.74	\$0.00
0027 OPEN SPACE PROJECTS FUND	\$3,942,470.42	\$0.00	\$0.00	\$3,575.54	\$3,786,887.50	\$0.00	(\$6,163,838.80)	\$1,569,094.66	\$0.00
0028 OPEN SPACE SALES TAX FUND	\$33,002,596.79	\$0.00	\$0.00	\$27,901.80	(\$2,323,927.65)	\$0.00	(\$37,990.86)	\$30,668,580.08	\$0.00
0029 DIA NOISE MITIGATION FUND	\$2,026,514.46	\$0.00	\$0.00	\$1,556.22	\$0.00	\$0.00	\$0.00	\$2,028,070.68	\$0.00
0030 COMM DEV BLK GRANT AD CO	\$1,122,960.29	\$0.00	\$0.00	\$129,869.29	(\$3,824.40)	\$0.00	(\$122,822.60)	\$1,126,182.58	\$0.00
0031 HEAD START	\$359,684.55	\$0.00	\$0.00	\$271,397.99	(\$44,857.63)	\$0.00	(\$252,405.39)	\$333,819.52	\$0.00
0034 COMM SERV BLOCK GRANT	(\$149,921.98)	\$0.00	\$0.00	\$0.00	(\$1,490.11)	\$0.00	\$15,765.97	(\$135,646.12)	\$0.00
0035 EMPLOYMENT CENTER (JTPA)	\$297,018.98	\$0.00	\$0.00	\$537,783.12	(\$144,264.15)	\$0.00	(\$333,005.35)	\$357,532.60	\$0.00
0043 FRONT RANGE AIRPORT	\$2,070,219.93	\$0.00	\$0.00	\$239,923.23	(\$29,981.09)	\$0.00	(\$111,957.84)	\$2,168,204.23	\$0.00
0044 WASTE WATER TREATMENT PLANT	\$1,080.25	\$0.00	\$0.00	\$3,061.66	(\$132.90)	\$0.00	\$9,227.13	\$13,236.14	\$0.00
5410 SHERIFFS COMMISSARY	\$2,396,301.56	\$0.00	\$0.00	\$59,803.51	(\$61,991.68)	\$0.00	\$0.00	\$2,394,113.39	\$0.00
5420 SHERIFFS INTEL CONFIS	\$63,949.32	\$0.00	\$0.00	\$2.03	\$0.00	\$0.00	\$0.00	\$63,951.35	\$0.00
5430 SHERIFFS REC & FLOWER	\$8,486.41	\$0.00	\$0.00	\$0.27	(\$95.49)	\$0.00	\$0.00	\$8,391.19	\$0.00
5460 AIRPORT NOISE	\$1,004,785.22	\$0.00	\$0.00	\$31.94	\$0.00	\$0.00	\$0.00	\$1,004,817.16	\$0.00
5480 SALES TAX RECEIPT ACCT	\$206,093.63	\$0.00	\$0.00	\$4,410,330.14	(\$4,397,341.67)	\$0.00	\$0.00	\$219,082.10	\$0.00
Total:	\$351,330,299.54	\$1,640,416.83	\$1,244,481.01	\$14,353,018.57	(\$883,761.43)	(\$22,492.73)	(\$35,405,960.79)	\$332,256,001.00	\$0.00


Adams @ Aug 7, 2017 4:24:12 PM ADAMS COUNTY TREASURER



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Agreement for Emergency Space Usage Between TCHD and Adams County
FROM: Richard Atkins, Emergency Management Coordinator
AGENCY/DEPARTMENT: Office of Emergency Management - CEDD
HEARD AT STUDY SESSION ON N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the agreement for emergency space usage between the Tri-County Health Department and Adams County.

BACKGROUND:

Adams County is required to have plans and agreements in place for disaster prevention and preparedness. Pursuant to the County's EOP, TCHD is the lead agency for public health events. For public health events that affect the County, the County must be prepared to provide TCHD adequate facilities and support. The attached agreement support's the facility planning support for a public health event that requires a local transfer point for mass propholaxis distribution or for the establishment of an alternate care facility

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Community & Economic Development Department, Tri-County Health Department

ATTACHED DOCUMENTS:

Resolution for 2017 TCHD MOU
2017 Adams County LTP and ACF MOU - 07082017

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

RESOLUTION TO APPROVE AGREEMENT FOR EMERGENCY SPACE USAGE FOR LOCAL TRANSFER POINT

WHEREAS, pursuant to Article XIV, Section 18(2)(a) of the Constitution of Colorado and C.R.S. § 29-1-203, Adams County may enter into cooperative agreements with other entities for the provision of services; and,

WHEREAS, the Colorado Disaster Emergency Act, C.R.S. § 24-33.5-701, *et seq.*, authorizes and provides for coordination of activities relating to disaster prevention, preparedness, response and recovery by agencies and officers of the State of Colorado, including the Tri-County Health Department (“TCHD”) and the County, to ensure an expedient, effective, and coordinated response to any natural or man-made disaster (hereinafter “Event”); and,

WHEREAS, in the event of a declared Event that impacts public health in the State of Colorado, the local and regional health and medical infrastructure (hereinafter “Medical Infrastructure”) and the associated resources will quickly be committed to providing the necessary treatment and support to effectively respond to such an Event; and,

WHEREAS, should an Event occur, the existing local and regional Medical Infrastructure may also be compromised due to an overwhelming number of patients combined with a lack of adequate staff, and available equipment and pharmaceutical support due to the impacts and demands of the Event; and,

WHEREAS, resources from federal, state and private sector will quickly be mobilized to augment the Medical Infrastructure and support the effective management of hospital surge capacity needs and distribution of the Strategic National Stockpile (“SNS”); and,

WHEREAS, TCHD, under its authority through the Colorado Department of Public Health and Environment (“CDPHE”), is one of the entities charged with specific duties in carrying out the distribution of the SNS from the Local Transfer Points (“LTP”) to the area; and,

WHEREAS, TCHD, under its authority through the CDPHE, is one of the entities charged with developing plans to facilitate a response to a public health emergency, including an Alternate Care Facility Plan (“ACF Plan”) to address hospital surge that exceeds the response available under the National Medical Response System; and,

WHEREAS, the County, pursuant to the Colorado Disaster Emergency Act, C.R.S. § 24-33.5-701, *et seq.*, is required to be responsible for the planning and coordination of the local disaster services, and the preparation of a local disaster emergency plan for the County and its citizens; and,

WHEREAS, TCHD and the County desire to enter into an Agreement for Emergency Space Usage for Local Transfer Point (“Agreement”) and through the Agreement desire to designate a specific site as an ACF location and an LTP distribution location, and agree to the general terms and conditions of the designation.

THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement for Emergency Space Usage for Local Transfer Point between TCHD and Adams County, a copy of which is attached hereto and incorporated herein by this reference, be accepted and approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to sign the Agreement on behalf of Adams County.

AGREEMENT FOR EMERGENCY SPACE USAGE

Between

Tri-County Health Department

And

Adams County, Colorado

This Agreement for Emergency Space Usage (“Agreement”) is made this ___ day of _____, 2017, by and between the Tri-County Health Department, the District Public Health Agency for the Counties of Adams, Arapahoe and Douglas, Colorado (“TCHD”), and the County of Adams, Colorado (“County”).

RECITALS

WHEREAS, the Colorado Disaster Emergency Act, C.R.S. § 24-33.5-701, et seq., et seq., authorizes and provides for coordination of activities relating to disaster prevention, preparedness, response and recovery by agencies and officers of the State of Colorado, including TCHD and the County, to ensure an expedient, effective, and coordinated response to any natural or man-made disaster (hereinafter “Event”); and,

WHEREAS, in the event of a declared Event that impacts public health in the State of Colorado, the local and regional health and medical infrastructure (hereinafter “Medical Infrastructure”), and the associated resources, will quickly be committed to providing the necessary treatment and support to effectively respond to such an Event; and,

WHEREAS, the existing local and regional Medical Infrastructure will also be compromised due to an overwhelming number of patients combined with a lack of adequate staff, and available equipment and pharmaceutical support due to the impacts and demands of the Event; and

WHEREAS, resources from federal, state and private sector will quickly be mobilized to augment the Medical Infrastructure and support the effective management of hospital surge capacity needs and distribution of the Strategic National Stockpile (“SNS”); and,

WHEREAS, TCHD, under its authority through the Colorado Department of Public Health and Environment (“CDPHE”), is one of the entities charged with specific duties in carrying out the distribution of the SNS from the Local Transfer Points (“LTP”) to the area; and,

WHEREAS, TCHD , under its authority through the CDPHE, is one of the entities charged with developing plans to facilitate a response to a public health emergency, including an Alternate Care Facility Plan (“ACF Plan”) to address hospital surge that exceeds the response available under the National Medical Response System; and,

WHEREAS, the County, pursuant to the Colorado Disaster Emergency Act, C.R.S. § 24-33.5-701 , et seq., is required to be responsible for the planning and coordination of the local disaster services, and the preparation of a local disaster emergency plan for the County and its citizens; and,

WHEREAS, TCHD and the County, through this Agreement, desire to designate a specific site as an ACF location and an LTP distribution location, and agree to the general terms and conditions of the designation.

THEREFORE, the parties agree as follows:

I. Definitions & Acronyms

- a. “ACF” means Alternate Care Facility as defined in the TCHD Medical Surge and Alternate Care Facility Annex, as amended.
- b. “Event” means a disaster or emergency epidemic, as defined by C.R.S. § 24-33.5-703 of the Colorado Disaster Emergency Act.
- c. “LTP” refers to a Local Transfer Point where assets from the SNS are received for local distribution to designated locations.
- d. “SNS” refers to the Center for Disease Control’s Strategic National Stockpile, which has large quantities of medicine and medical supplies to protect the public if there is an Event severe enough to cause local medical supplies to run out. Once federal and local authorities agree that SNS is needed, medicine and medical supplies will be delivered to any state within the U.S. within 12 hours. Each state has plans to receive and distribute SNS medicine and medical supplies to local communities as possible.

II. Activation & Utilization

- a. This agreement shall be considered activated under the following conditions:
 - i. The Governor of the State of Colorado requests that the SNS be mobilized and delivered to designated LTP’s within the State of Colorado; OR
 - ii. A Stafford Act Declaration of Disaster and a Public Health Emergency Declaration has been requested and the TCHD ACF Annex is activated;
 - iii. AND, the County accepts designation of the LTP and/or ACF site.
- b. Use of either site will be a function of circumstances, needs, and requirements presented by an Event, as well as the status of the facility immediately prior to the Event. Factors in determining if a particular facility will be activated include, but are not limited to:

- i. If modification or adaptation of the facility is anticipated.
 - ii. The time required to prepare the facility, which will depend on a variety of factors such as current use, available staffing, and other resources available which may influence the selection process.
 - iii. Consequently, other facilities may be considered before the facility that is the subject of this Agreement is utilized.
 - c. In the event that TCHD anticipates utilization of either of the facilities, TCHD will notify the Office of Emergency Management for the County as soon as possible.
 - i. The Office of Emergency Management is responsible for notifying the Board of County Commissioners and the Director of the facility under consideration.
 - ii. TCHD is responsible for notifying other necessary agencies as identified in the TCHD Public Health Emergency Operations Plan and relative Annexes.
 - d. At the discretion of the County, facility staff, equipment, services, computers, and internet services may be authorized for use by TCHD to the extent reasonably necessary to activate the facility, or facilities.

III. Facility Designation

- a. Primary & secondary facilities identified are as follows:
 - i. Alternate Care Facility
 - 1. Primary – Adams County Government Center - Conference Center; 4430 S. Adams County Parkway, Brighton, CO (see Attachment A)
 - 2. Secondary – Adams County Fairgrounds; 9755 Henderson Rd., Brighton, CO
 - ii. Local Transfer Point
 - 1. Primary – Adams County Government Center – Loading Dock and Warehouse; 4430 S. Adams County Parkway, Brighton, CO (see Attachment A)
 - 2. Secondary – Adams County Fairgrounds; 9755 Henderson Rd., Brighton, CO
- b. Notwithstanding the foregoing, the County can deny access to specific space within the facility, or use of any facility resources or systems, by outside agencies or organizations, if the County feels that allowing such use may compromise operational integrity, safety and/or security of the facility and associated resources and systems.

IV. Building Operations & Modification of Business Activities

- a. The County recognizes that depending on the scope and associated demands of the Event, normal business operations at the facility may have to be modified or suspended entirely to accommodate the establishment and operation of the LTP. Whether or not normal business operations need to be modified or suspended may also depend on the immediate use and characteristics of the facility. As such, County agrees to modify or suspend normal business operations, to the extent practicable, in support of an Event.
- b. All parties agree to make every attempt to minimize the impact on normal business activities at the facility while operations associated with an Event are in progress.
- c. In the event that SNS supplies are stored in excess of 72 hours at the LTP facility, the County may choose to relocate such supplies as long as TCHD approves such change in location.

V. Party Commitments

- a. County agrees to provide the following:
 - i. County shall provide TCHD with a contact for the facility that can be reached 24-hours per day, 7 days per week, and shall update this information as needed.
 - ii. County agrees to provide reasonable asset and supporting staff/services, at its discretion, during an Event in which either facility is utilized.
 - iii. County, pursuant to its Emergency Operations Plan, and other relative Annexes, and to the degree practicable, agrees to provide law enforcement and transportation resources for the transportation of SNS supplies from the LTP facility to designated Medical Infrastructure locations.
- b. TCHD agrees to provide the following:
 - i. Support to County, through updates and education, regarding the SNS and LTP plan.
 - ii. Adequate notices to County regarding Events that are relevant to this Agreement.
 - iii. Support to the County, to the degree practicable, as outlined in the TCHD Public Health Emergency Operations Plan and relative Annexes.
- c. TCHD and County staff, and their respective Offices of Emergency Management, agree to participate in relative workshops, trainings and exercises, when feasible.

VI. Cost Obligations

- a. When activated by TCHD, all reasonable and eligible costs associated with the operation of either facility will be borne by TCHD.
- b. Reasonable and eligible costs shall include any modifications or damages to the facility, equipment and associated systems directly related to the operations of the facility as an LTP or ACF.
- c. Costs will be submitted by County to TCHD, which in turn will submit said costs to established disaster assistance programs for consideration and reimbursement.

VII. Confidentiality & Non-disclosure

- a. The parties understand and agree that the information in this Agreement, and any attachments hereto, is confidential and not subject to disclosure to the extent permitted under the Colorado Open Records Act. C.R.S. § 24-72-204 (2)(a)(VIII)).
- b. Any news release, public announcement or advertisement to be released in connection with this Agreement, or with regard to the subject matter hereof, shall require the written agreement of the parties prior to release.

VIII. Liability

- a. Unless otherwise provided for in this Agreement, no term or condition of this Agreement shall be construed or interpreted as a waiver, express or implied, of any of the immunities, rights, benefits, protections or other provisions of the Colorado Governmental immunity Act, C.R.S. §24-10-101, et. seq., as amended.
- b. Liability for claims for injuries to persons or property arising out of the alleged negligence of TCHD, the County, or the State of Colorado, and their respective agencies, boards, officials, and employees, shall be controlled and limited by the provisions of C.R.S. §24-10-101, et seq.

IX. Implementation & Term

- a. Term. The initial term of this Agreement is five (5) years, commencing _____, 2017, and ending _____, 2022; subject, however, to the renewal and termination provisions contained herein.
- b. Renewal. This Agreement shall be automatically renewed for successive one (1) year terms, unless either party shall, prior to expiration of the applicable term of this Agreement, give sixty (60) days prior written notice of termination to the other party. In the event any of the terms or condition are changed prior to a renewal, a new agreement, or a fully executed amendment to this Agreement, shall be required.

- c. Termination. In order to allow TCHD enough time to find a replacement facility, either party may only terminate this Agreement, with or without cause, upon sixty (60) days advance written notice to the other party. County shall use reasonable efforts to notify TCHD as early as possible, but in no event less than sixty (60) days, prior to a pending termination this Agreement, including as a result of the sale or transfer of ownership of the facility.
- d. The parties intend that the operational aspects of this Agreement be carried out by designated individuals that will serve as the primary contacts between the parties (“Primary Contacts”). To that regard, all significant operational communications between the parties shall be made through the Primary Contacts, or their designees. The designated Primary Contacts for the parties are as follows:
 - i. TCHD: Director of Emergency Preparedness and Response
Office of Emergency Preparedness and Response
6162 S. Willow Drive, Suite 100
Greenwood Village, CO 80111
Telephone: 720-200-1444
Mobile: 303-921-7058
 - ii. COUNTY: Adams County Emergency Manager
Office of Emergency Management
4430 S. Adams County Parkway
Brighton, CO 80601
24 Hr Telephone: 720-521-2182
- e. Notice. Any notice to be given hereunder by either party to the other may be effected in writing by personal delivery, or by mail, certified with postage prepaid, or by overnight delivery service. Notices sent by mail or by an overnight delivery service shall be addressed to the parties at the addresses appearing following their signatures below, but either party may change its address by written notice in accordance with this paragraph.
- f. Third Parties. This Agreement does not and shall not be deemed to confer upon any third party any right to claim damages, to bring suit or other proceeding against either TCHD or County because of any term contained in this Agreement.
- g. Assignment. This Agreement shall not be assignable without the consent of both parties.
- h. Entire Agreement. This Agreement constitutes the entire agreement and understanding between the parties and supersedes any prior agreement or understanding relating to the subject matter of this Agreement.

- i. Modification. This Agreement may be modified or amended only by a duly authorized written instrument executed by the Parties hereto.
- j. Binding Agreement. This Agreement shall be effective as of the date hereof and shall be binding upon and inure to the benefit of the successor or assign of either Party hereto.
- k. Survival. The rights and obligations of the Parties shall survive the term of this Agreement to the extent that any performance is required under this Agreement after the expiration or termination of this Agreement.
- l. Counterparts. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original but all of which shall together constitute one and the same document.
- m. Governing Law. This agreement shall be governed by the laws of the state of Colorado.

IN WITNESS WHEREOF, the Parties have caused this Agreement for Emergency Space Usage to be executed by it's duly authorized representatives.

<p>TCHD:</p> <p style="text-align: center;">Tri-County Health Department</p> <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/> <p style="display: flex; justify-content: space-between;">SignatureDate</p> <p>Name: _____</p> <p>Title: _____</p>	<p>COUNTY:</p> <p style="text-align: center;">County of Adams, Colorado</p> <hr style="border: 0; border-top: 1px solid black; margin: 5px 0;"/> <p style="display: flex; justify-content: space-between;">SignatureDate</p> <p>Name: _____</p> <p>Title: _____</p>
---	--

Attachment A – Map of Primary Locations



A – Conference Center location (Primary Alternate Care Facility)

H – Loading Dock & Warehouse location (Local Transfer Point)



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Amendment to Agreement Regarding Right-of-Way Acquisition For Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01D)
FROM: Jeffery A. Maxwell, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: May 31, 2016
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve Amendment to Agreement Regarding Right-of-Way Acquisition For Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01D)

BACKGROUND:

Adams County and the Urban Drainage and Flood Control District (UDFCD) executed an Intergovernmental Agreement (IGA) dated December 31, 1997, titled: “Agreement Regarding Right-of-Way Acquisition for Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County, UDFCD Agreement No. 97-09.01”. The Parties wish to amend said agreement, continue collaboration, dedicate resources and combine funds toward the goal of completing the Hoffman Drainageway improvements for the benefit of all Adams County citizens. The project will design and construct Hoffman Drainageway with capacity improvements as needed to accommodate a 100-year design storm. Improvements will begin just south of the intersection of East 88th Avenue and Hoffman Way, with new culverts or structures along the channel for the following crossings: Rainbow Avenue, Devonshire Boulevard, Welby Road, the Regional Transportation District’s North Metro Line (coordinated with, but not constructed by, this project), a private culvert for EnCon, the Colorado Agricultural Canal, Steele Street, and the Lower Clear Creek Canal. The Project will connect to the improved section of Hoffman Drainageway, being approximately 500 feet east of Steele Street, where capacity is available.

At the October 11, 2016 Public Hearing, funding was authorized for this project in the amount of \$4,588,000 along with an acknowledgement of a future amendment in the amount of \$1,315,935 to fully fund the project estimate of \$5.9 million. The future amendment of \$1,315,935 was approved in the

Transportation Department's 2017 budget. Therefore, approval of the subject agreement will fulfill the requested funding for this project.

This agreement will provide the funding necessary to complete Hoffman Drainageway from East 88th Avenue and Hoffman Way to east of Steele Street. It will also address impacts to East 86th Avenue from Welby Road to Steele Street caused by the implementation of the Hoffman Drainageway improvements.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works; Urban Drainage and Flood Control District; Office of County Attorney

ATTACHED DOCUMENTS:

Amendment to Agreement Regarding Right-of-Way Acquisition For Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01D)

Draft Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 7 – Stormwater Utility Fund

Cost Center: 3704

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u><u> </u></u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9105	37041701	\$1,315,935
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u>\$1,315,935</u></u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

**RESOLUTION APPROVING AMENDMENT TO AGREEMENT BETWEEN
ADAMS COUNTY AND URBAN DRAINAGE AND FLOOD CONTROL DISTRICT
REGARDING RIGHT-OF-WAY ACQUISITION FOR DRAINAGE AND FLOOD
CONTROL IMPROVEMENTS ON HOFFMAN DRAINAGEWAY, ADAMS
COUNTY (AGREEMENT NO. 97-09.01D)**

Resolution 2017

WHEREAS, Adams County (hereinafter called "COUNTY") and Urban Drainage and Flood Control District (hereinafter called "District"), collectively known as "PARTIES," have entered into Agreement Regarding Right-of-Way Acquisition for Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01) dated December 31, 1997, as amended; and,

WHEREAS, by means of the attached Amendment to the Agreement, the PARTIES wish to increase the level of funding by \$1,315,935 in order to fully fund the right-of-way acquisition, design and construction of the Hoffman Drainageway Improvements Project from just south of the East 88th Avenue and Hoffman Way intersection to approximately 500 feet east of Steele Street.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Amendment to Agreement Regarding Right-of-Way Acquisition For Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County (Agreement No. 97-09.01D), a copy of which is attached hereto and incorporated by this reference, be approved.

BE IT FURTHER RESOLVED that the Chair is authorized to execute said Amendment on behalf of Adams County.

AMENDMENT TO
 AGREEMENT REGARDING RIGHT-OF-WAY ACQUISITION
 FOR DRAINAGE AND FLOOD CONTROL IMPROVEMENTS ON
 HOFFMAN DRAINAGEWAY, ADAMS COUNTY

Agreement No. 97-09.01D

THIS AGREEMENT, dated _____, by and between
 URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (hereinafter called "DISTRICT") and
 ADAMS COUNTY (hereinafter called "COUNTY") and collectively known as "PARTIES";

WITNESSETH:

WHEREAS, PARTIES have entered into "Agreement Regarding Right-of-Way Acquisition for
 Drainage and Flood Control Improvements on Hoffman Drainageway, Adams County" (Agreement No.
 97-09.01) dated December 31, 1997, as amended; and

WHEREAS, PARTIES desire to increase the level of funding by \$1,315,935 in order to proceed
 with construction; and

WHEREAS, the County Commissioners of COUNTY and the Board of Directors of DISTRICT
 have authorized, by appropriation or resolution, all of PROJECT costs of the respective PARTIES.

NOW, THEREFORE, in consideration of the mutual promises contained herein, PARTIES hereto
 agree as follows:

1. Paragraph 5. PROJECT COSTS AND ALLOCATION OF COSTS is deleted and replaced as
 follows:

5. PROJECT COSTS AND ALLOCATION OF COSTS

A. PARTIES agree that for the purposes of this Agreement PROJECT costs shall consist
 of and be limited to the following:

1. Final design services;
2. Delineation, description and acquisition of required rights-of-way/ easements;
3. Construction of improvements;
4. Contingencies mutually agreeable to PARTIES.

B. It is understood that PROJECT costs as defined above are not to exceed \$7,056,435
 without amendment to this Agreement.

PROJECT costs for the various elements of the effort are estimated as follows:

<u>ITEM</u>	<u>AS AMENDED</u>	<u>PREVIOUSLY AMENDED</u>
1. Final Design	\$ 450,000	\$ 450,000
2. Right-of-way	50,000	50,000
3. Construction	6,515,335	5,199,400
4. Contingency	41,100	41,100
Grand Total	\$7,056,435	\$5,740,500

This breakdown of costs is for estimating purposes only. Costs may vary between the various elements of the effort without amendment to this Agreement provided the total expenditures do not exceed the maximum contribution by all PARTIES plus accrued interest.

- C. Based on total PROJECT costs, the maximum percent and dollar contribution by each party shall be:

	<u>Percentage Share</u>	<u>Previously Contributed</u>	<u>Additional Contribution</u>	<u>Maximum Contribution</u>
DISTRICT	4.9%	\$ 350,000	\$ -0-	\$ 350,000
COUNTY	95.1%	\$5,390,500	\$1,315,935	\$6,706,435
TOTAL	100.0%	\$5,740,500	\$1,315,935	\$7,056,435

2. Paragraph 6. MANAGEMENT OF FINANCES is deleted and replaced as follows:

6. MANAGEMENT OF FINANCES

As set forth in DISTRICT policy (Resolution No. 11, Series of 1973, Resolution No. 49, Series of 1977, and Resolution No. 37, Series of 2009), the funding of a local body's one-half share may come from its own revenue sources or from funds received from state, federal or other sources of funding without limitation and without prior Board approval.

Payment of each party's full share (COUNTY - \$6,706,435; DISTRICT - \$350,000) shall be made to DISTRICT subsequent to execution of this Agreement and within 30 days of request for payment by DISTRICT. The payments by PARTIES shall be held by DISTRICT in a special fund to pay for increments of PROJECT as authorized by PARTIES, and as defined herein. DISTRICT shall provide a periodic accounting of PROJECT funds as well as a periodic notification to COUNTY of any unpaid obligations. Any interest earned by the monies contributed by PARTIES shall be accrued to the special fund established by DISTRICT for PROJECT and such interest shall be used only for PROJECT upon approval by the contracting officers (Paragraph 13).

Within one year of completion of PROJECT if there are monies including interest earned remaining which are not committed, obligated, or disbursed, each party shall receive a share of such monies, which shares shall be computed as were the original shares; or at COUNTY request, COUNTY share of remaining monies shall be transferred to another special fund held by DISTRICT.

3. All other terms and conditions of Agreement No. 97-09.01 shall remain in full force and effect.

WHEREFORE, PARTIES hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

URBAN DRAINAGE AND
FLOOD CONTROL DISTRICT

By _____

Name Ken A. MacKenzie

Title Executive Director

Checked By

ADAMS COUNTY

By _____

Name _____

Title _____

:



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Indemnification of employee subject to lawsuit – Gabino Villa-Garcia and Cecilia Maldonado v. Tyler Benjamin and the Adams County Sheriff’s Department, Case Number 17-cv-031170
FROM: Heidi Miller, County Attorney
AGENCY/DEPARTMENT: County Attorney’s Office
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners adopt the Resolution regarding Defense and Indemnification of Tyler Benjamin as a Defendant pursuant to C.R.S.§ 24-10-101, <i>et seq.</i>

BACKGROUND:

The Board of County Commissioners formally indemnifies employees and elected officials who are named in civil lawsuits.

The County Attorney’s Office has reviewed the facts of this lawsuit and it has been determined that the employees/elected officials named in the lawsuit were acting within the course and scope of their employment at all relevant times.

The County Attorney’s Office is recommending that the following employees/elected officials be indemnified for any potential damages that might arise out of this litigation: Tyler Benjamin

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Sheriff’s Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u><u> </u></u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u> </u></u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

Potential fiscal impact is unknown. If litigation results in settlement or judgment against the County or its employees/elected officials, there would be a fiscal impact. The potential amount of that impact is impossible to estimate at this time

RESOLUTION REGARDING DEFENSE AND INDEMNIFICATION OF TYLER BENJAMIN AS A DEFENDANT PURSUANT TO C.R.S. § 24-10-101, ET SEQ.

WHEREAS, Adams County is a public entity pursuant to the Colorado Governmental Immunity Act; and,

WHEREAS, Adams County is obligated to bear the cost of the defense of its elected officials and employees and pay all judgments entered against its elected officials and employees pursuant to the Colorado Governmental Immunity Act so long as they acted within the course and scope of their employment and their acts were not willful and wanton; and,

WHEREAS, Tyler Benjamin has been sued in the matter of *Gabino Villa-Garcia and Cecilia Maldonado v. Tyler Benjamin and the Adams County Sheriff's Department* in the Adams County District Court, Case Number 17-cv-031170; said Defendant, being an employee of Adams County at the time of the incident described in the Complaint; and,

WHEREAS, initial investigation has revealed to the satisfaction of the Board of County Commissioners and the determination has been made that the Defendant appears to have acted within the course and scope of his employment and his actions do not appear to be willful and wanton; and,

WHEREAS, pursuant to C.R.S. §§ 24-10-110, 24-10-113 and 24-10-118(5) Adams County hereby determines that it is in the public interest to bear the cost of defense for the Defendant against all asserted claims for compensatory and punitive damages which may be pled and to pay or settle any such compensatory and punitive damage claims against said Defendant; and,

WHEREAS, in exchange for such defense, the Defendant is required to cooperate fully in the defense of this matter, including but not limited to, assisting in the discovery process, participating in mediation, facilitation, or other measures deemed appropriate by the Board of County Commissioners, and Defendant acknowledges that Adams County may settle on behalf of the Defendant any or all asserted claims, including those for personal liability and punitive damages.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that Adams County shall bear the cost of defense for Tyler Benjamin against all asserted claims for compensatory and punitive damages which may be pled and to pay or settle any such compensatory and punitive damage

claims against said Defendant in the matter of *Gabino Villa-Garcia and Cecilia Maldonado v. Tyler Benjamin and the Adams County Sheriff's Department*.

IT IS FURTHER RESOLVED that the Adams County Attorney is directed to enter her appearance as counsel for Defendant and to defend this matter.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Board and Commissions Appointments
FROM: Katie Burczek, Deputy Clerk to the Board
AGENCY/DEPARTMENT: Board of County Commissioners
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for boards and commissions appointments.

BACKGROUND:

The Commissioners have discussed the following appointments to the Boards and Commissions.

Aaron Herrera
Planning Commission
Regular Member
Term Expires January 30, 2020

Federico Montoya
Planning Commission
Regular Member
Term Expires January 30, 2018

Farid Jalil
Planning Commission
Alternate Member
Term Expires January 30, 2018

David Plakorus
Planning Commission
Alternate Member
Term Expires January 30, 2018

Stewart Nyholm
Board of Adjustment
Regular Member
Term Expires January 30, 2019

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING AARON M. HERRERA AS A MEMBER OF THE PLANNING
COMMISSION

WHEREAS, a vacancy currently exists for a member for the Planning Commission; and,

WHEREAS, Aaron M. Herrera has expressed an interest in serving on the Planning Commission; and,

WHEREAS, the Board of County Commissioners selected Aaron M. Herrera to fill this vacancy as a regular member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Aaron M. Herrera shall be appointed as a member of the Planning Commission for the term as listed below:

Aaron M. Herrera

Term Expires
January 30, 2020



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Board and Commissions Appointments
FROM: Katie Burczek, Deputy Clerk to the Board
AGENCY/DEPARTMENT: Board of County Commissioners
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for boards and commissions appointments.

BACKGROUND:

The Commissioners have discussed the following appointments to the Boards and Commissions.

Aaron Herrera
Planning Commission
Regular Member
Term Expires January 30, 2020

Federico Montoya
Planning Commission
Regular Member
Term Expires January 30, 2018

Farid Jalil
Planning Commission
Alternate Member
Term Expires January 30, 2018

David Plakorus
Planning Commission
Alternate Member
Term Expires January 30, 2018

Stewart Nyholm
Board of Adjustment
Regular Member
Term Expires January 30, 2019

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING DAVID PLAKORUS AS AN ALTERNATE MEMBER TO
THE PLANNING COMMISSION

WHEREAS, a vacancy currently exists for a member for the Planning Commission; and,

WHEREAS, David Plakorus has expressed an interest in serving on the Planning Commission;
and,

WHEREAS, the Board of County Commissioners selected David Plakorus to fill this vacancy as
an alternate.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of
Adams, State of Colorado, that David Plakorus shall be appointed as an alternate member of the
Planning Commission for the term as listed below:

David Plakorus

Term Expires
January 30, 2018



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Board and Commissions Appointments
FROM: Katie Burczek, Deputy Clerk to the Board
AGENCY/DEPARTMENT: Board of County Commissioners
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for boards and commissions appointments.

BACKGROUND:

The Commissioners have discussed the following appointments to the Boards and Commissions.

Aaron Herrera
Planning Commission
Regular Member
Term Expires January 30, 2020

Federico Montoya
Planning Commission
Regular Member
Term Expires January 30, 2018

Farid Jalil
Planning Commission
Alternate Member
Term Expires January 30, 2018

David Plakorus
Planning Commission
Alternate Member
Term Expires January 30, 2018

Stewart Nyholm
Board of Adjustment
Regular Member
Term Expires January 30, 2019

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING FARID JALIL AS AN ALTERNATE MEMBER TO THE
PLANNING COMMISSION

WHEREAS, a vacancy currently exists for a member for the Planning Commission; and,

WHEREAS, Farid Jalil has expressed an interest in serving on the Planning Commission; and,

WHEREAS, the Board of County Commissioners selected Farid Jalil to fill this vacancy as an alternate.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Farid Jalil shall be appointed as an alternate member of the Planning Commission for the term as listed below:

Farid Jalil

Term Expires
January 30, 2018



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Board and Commissions Appointments
FROM: Katie Burczek, Deputy Clerk to the Board
AGENCY/DEPARTMENT: Board of County Commissioners
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for boards and commissions appointments.

BACKGROUND:

The Commissioners have discussed the following appointments to the Boards and Commissions.

Aaron Herrera
Planning Commission
Regular Member
Term Expires January 30, 2020

Federico Montoya
Planning Commission
Regular Member
Term Expires January 30, 2018

Farid Jalil
Planning Commission
Alternate Member
Term Expires January 30, 2018

David Plakorus
Planning Commission
Alternate Member
Term Expires January 30, 2018

Stewart Nyholm
Board of Adjustment
Regular Member
Term Expires January 30, 2019

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING FEDERICO MONTOYA AS A MEMBER TO THE
PLANNING COMMISSION

WHEREAS, a vacancy currently exists for a member for the Planning Commission; and,

WHEREAS, Federico Montoya has expressed an interest in serving on the Planning Commission; and,

WHEREAS, the Board of County Commissioners selected Federico Montoya to fill this vacancy as a regular member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Federico Montoya shall be appointed as a member of the Planning Commission for the term as listed below:

Federico Montoya

Term Expires
January 31, 2018



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Board and Commissions Appointments
FROM: Katie Burczek, Deputy Clerk to the Board
AGENCY/DEPARTMENT: Board of County Commissioners
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for boards and commissions appointments.

BACKGROUND:

The Commissioners have discussed the following appointments to the Boards and Commissions.

Aaron Herrera
Planning Commission
Regular Member
Term Expires January 30, 2020

Federico Montoya
Planning Commission
Regular Member
Term Expires January 30, 2018

Farid Jalil
Planning Commission
Alternate Member
Term Expires January 30, 2018

David Plakorus
Planning Commission
Alternate Member
Term Expires January 30, 2018

Stewart Nyholm
Board of Adjustment
Regular Member
Term Expires January 30, 2019

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING STEWART NYHOLM AS A MEMBER TO THE BOARD OF
ADJUSTMENT

WHEREAS, a vacancy currently exists for a member for the Board of Adjustment; and,

WHEREAS, Stewart Nyholm has expressed an interest in serving on the Board of Adjustment;
and,

WHEREAS, the Board of County Commissioners selected Stewart Nyholm to fill this vacancy
as a regular member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of
Adams, State of Colorado, that Stewart Nyholm shall be appointed as a member of the Board of
Adjustment for the term as listed below:

Stewart Nyholm

Term Expires
January 30, 2019



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Amending Contract Between Adams County and Center for People with Disabilities
FROM: Chris Kline, Director
AGENCY/DEPARTMENT: Human Services
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves this Contract Amendment between Adams County and Center for People with Disabilities for employment related case management services.

BACKGROUND:

Adams County has received Community Service Block Grant (“CSBG”) funds annually from the Colorado Department of Local Affairs (“DOLA”) since 1974. The State receives CSBG funds from the U.S. Department of Health and Human Services to ameliorate the effects of poverty in local communities. The Board of County Commissioners (“BOCC”) approves the County’s CSBG Community Action Plan every three years. Some of the CSBG funds are distributed to local non-profits. The CSBG funds can also be used for County staff and special “Linkages” projects that enhance community partnerships to ameliorate poverty. The Adams County CSBG Tri-Partite Board makes the annual funding recommendations to the BOCC.

For the current 3-year cycle of 2015-2017, one of the agencies funded by CSBG was the Center for People with Disabilities (“CPWD”). The contract with CPWD was approved by the BOCC on March 1, 2015, and amended on October 27, 2016. This sub-grantee was unable to meet its contractual obligations and requested a contract termination via a letter dated March 23, 2017.

This requested contract amendment will achieve the following regarding the Center for People with Disabilities:

- Reduce CSBG program year (“PY”) 2016 funds from \$33,950 to \$22,962.
- Decrease CSBG PY 2017 funds from \$33,950 to \$0; terminating the contract early

The \$44,938 in CSBG funds unexpended by CPWD will be awarded to another sub-grantee via a separate BOCC resolution.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Center for People with Disabilities

ATTACHED DOCUMENTS:

Resolution

Contract between Adams County and Center for People with Disabilities – Original, Contract Amendment #1 PY2016 – PY2017, and Contract Amendment #2 PY2017

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 34

Cost Center: 9418

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5335		\$44,938
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$44,938</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$44,938
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$44,938</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING SUBGRANTEE CONTRACT AMENDMENT #2 BETWEEN
ADAMS COUNTY AND CENTER FOR PEOPLE WITH DISABILITIES, FOR
EMPLOYMENT-RELATED CASE MANAGEMENT SERVICES

WHEREAS, the Federal government has established the Community Services Block Grant (“CSBG”) Program to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and,

WHEREAS, the U.S. Department of Health and Human Services (“HHS”) allocates CSBG funds to the State of Colorado, Department of Local Affairs (“DOLA”) through an annual funding formula; and,

WHEREAS, Adams County is eligible to receive annual CSBG funds of approximately \$480,000 from DOLA; and,

WHEREAS, Adams County originally entered into a contract with Center for People with Disabilities (“CPWD”) on March 1, 2015 awarding them \$33,950 of CSBG funds for program year 2016 to provide employment-related case management services; and,

WHEREAS, Adams County amended the contract with CPWD on October 27, 2016 awarding them \$33,950 of CSBG funds for program year 2017 to continue providing employment-related case management services; and,

WHEREAS, during the regular course of monitoring this subgrantee it became apparent CPWD was not providing the contracted services; and,

WHEREAS, Adams County CSBG staff requested a plan for how the subgrantee would improve its performance; and,

WHEREAS, in response, CPWD sent Adams CSBG staff a letter dated March 23, 2017 stating they would not be able to provide the contracted services thereby requesting an early termination of their contract with Adams County; and,

WHEREAS, the Adams County CSBG Tri-Partite Board reviewed the status of the CPWD contract on July 21, 2017 and recommends to the Adams County Board of County Commissioners (“BOCC”) that this contract be terminated early; and,

WHEREAS, the Adams County CSBG Tri-Partite Board also recommends that the funds made available by this early termination be re-allocated to another CSBG subgrantee.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, and State of Colorado, that the Subgrantee Contract Amendment #2 between Adams County and Center for People with Disabilities be approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said amendment on behalf of Adams County.



Community Services Block Grant (CSBG)
 Subgrantee Contract Amendment #2
 PY2016 – PY2017

Section I. Provisions

PARTIES TO THIS Contract Amendment: This Contract Amendment, dated this TBD day of August, 2017, by and between Adams County, known hereafter as “COUNTY”, and Center for People with Disabilities located at 10317 Washington St. Thornton, Colorado 80229, known hereafter as the “GRANTEE” is made for the purpose of terminating the agreement set forth in the Community Services Block Grant (“CSBG”) Agreement dated March 1, 2015.

Section I. General Information

Project Name			
Case Management for Employment Services			
Agency Name			
Center for People with Disabilities			
Contact Person	Phone	Email	Fax
Margaret Catterall	303-442-8662	Margaret@cpwd.org	
Project Manager	Phone	Email	Fax

Section III. Affected Areas

Check all that apply.			
<input type="checkbox"/> Project Start Date	<input checked="" type="checkbox"/> Project End Date	<input checked="" type="checkbox"/> Contract Amount	<input type="checkbox"/> Project Costs
<input type="checkbox"/> Project Scope	<input type="checkbox"/> Technology	<input checked="" type="checkbox"/> Major Deliverables/ Outcomes	<input type="checkbox"/> Roles/Responsibilities

Section IV. Change Summary

Currently Recorded Dates/Costs				Requested Revisions to Dates/Costs:			
Start Date	End Date	Contract Amount	Project Cost	Start Date	End Date	Contract Amount	Project Cost
03/01/2016	12/31/2016	\$33,950		03/01/2016	12/31/2016	\$22,961.98	
01/01/2017	12/31/2017	\$33,950		01/01/2017	08//2017	\$0	

Section V. Project Budget

Pgm Yr	Line-Item Name	Increase	Decrease	Expended	Balance
2016	Case management for Employment Services (this represents case management for approximately 108 clients)		\$10,988.02	\$22,961.98	\$0
2017	Case management for Employment Services (this represents case management for approximately 333 clients)		\$33,950.00	\$0	\$0
	Total		\$44,938.02	\$22,961.98	\$0

Section VI. Justification Summary

Article III. Section 4 of the PY 2015 Subgrantee Agreement dated March 1, 2015 allows for the agreement to be terminated stating “if, through any cause, either party shall fail to honor or otherwise fulfill any of the promises, covenants, obligations, agreements or stipulations of this Agreement, the other party shall have the right to terminate this Agreement...”

We accepted this party’s request to terminate contract which reduces the contract amount. The party has been fully paid for services rendered, and neither party has any outstanding obligations as of the amended termination dates.

SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County
Commissioners
Adams County, Colorado

By: _____
Board Chair

SubGrantee

By (Signature)

Title

Address

City, State, Zip Code



**Community Services Block Grant (CSBG)
Subgrantee Contract Amendment
PY2016 – PY2017**

Section I. Provisions

PARTIES TO THIS Contract Amendment: This Contract Amendment, dated this 27th day of October, 2016, by and between Adams County, a body politic and corporate, known hereafter as "COUNTY", and Center for People with Disabilities located at 1675 Range Street Boulder, Colorado 80301, known hereafter as the "GRANTEE" is made for the purpose of extending the services set forth in the Community Services Block Grant ("CSBG") Agreement dated March 1, 2015.

The COUNTY requires the provision of certain services and products in connection with the program funded by grants from the CSBG and which must conform to the following:

(A) Scope of Service:

PY2016 and PY2017 award amounts are additional funding not to exceed an amount equal to the original amount of PY 2015 award to allow for continuation of GRANTEE services described in **PY 2015 Subgrantee Agreement Exhibit 1**.

(B) Payment Requests:

Payment Requests for reimbursement must be submitted **monthly** no later than the **10th** of the month for expenses incurred during the previous month. The submission of payment requests in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement. Reduction of award amount will be in the amount remaining unspent by expenditure deadline.

(C) Reporting:

The GRANTEE shall provide to the COUNTY a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY a Final Report containing the **Section G** and **NPI Report** (report form to be provided) summarizing the Services which include activities, progress, outcomes, and number of clients served. The submission of reports in a timely manner shall be the

responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement.

Section II. General Information

Project Name			
Case Management for Employment Services			
Agency Name			
Center for People with Disabilities			
Contact Person	Phone	Email	Fax
Margaret Catterall	303-442-8662	Margaret@cpwd.org	
Project Manager	Phone	Email	Fax

Section III. Affected Areas

Check all that apply.			
<input checked="" type="checkbox"/> Project Start Date	<input type="checkbox"/> Project End Date	<input type="checkbox"/> Contract Amount	<input type="checkbox"/> Project Costs
<input type="checkbox"/> Project Scope	<input type="checkbox"/> Technology	<input type="checkbox"/> Major Deliverables/ Outcomes	<input type="checkbox"/> Roles/Responsibilities

Section IV. Change Summary

Currently Recorded Dates/Costs				Requested Revisions to Dates/Costs: N/A			
Start Date	End Date	Contract Amount	Project Cost	Start Date	End Date	Contract Amount	Project Cost
03/01/2016	12/31/2016	\$33,950					
01/01/2017	12/31/2017	\$33,950					

Section V. Project Budget

Pgm Yr	Line-Item Name	Increase	Decrease	Expended	Balance
2016	Case management for Employment Services			\$8,899.94	\$25,050.06
2017	Case management for Employment Services			\$0	\$33,950
	Total				

Section VI. Justification Summary

Article III. Section 2 of the PY 2015 Subgrantee Agreement dated March 1, 2015 allows for an additional funding award. The agency has met the requirements of PY 2015 and recommendation has been made to provide an additional award amount of **\$33,950 for PY2016 and \$33,950 for PY2017** which will allow for continuation of GRANTEE services described in Exhibit 1 of the executed contract. In addition to the terms listed herein, this option letter shall extend all terms and conditions of the original agreement.

SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County
Commissioners
Adams County, Colorado

By: Steven J. O'Donoghue
Board Chairman

SubGrantee

[Signature]

By (Signature)

Executive Director

Title

1675 Range St

Address

Boulder, CO 80301

City, State, Zip Code

APPROVED AS TO FORM
COUNTY ATTORNEY

[Signature]

**2015 AGREEMENT
PY 2015-2016 Funds**

For Performance of a Community Services Block Grant Activity
Catalog of Federal Domestic Assistance (CFDA) Number: 93.569

ARTICLE I: GENERAL PROVISIONS

PARTIES TO THIS AGREEMENT: This Agreement, dated for reference purposes only this 1st day of March, 2015, by and between Adams County, a body politic and corporate, known hereafter as "COUNTY", and Center for People with Disabilities, located at 10351 Grant Street Thornton, CO 80229, known hereafter as the "GRANTEE".

WHEREAS, the COUNTY requires the provision of certain services and products in connection with the program funded by grants from the Community Services Block Grant (CSBG) and which must conform to one or more of the following objectives ("Program"):

- A. To provide a range of services and activities having a measurable and potentially major impact on causes of poverty in the community or those areas of the community where poverty is a particularly acute problem.
- B. To provide activities designed to assist low-income participants;
 - (i) to secure and retain meaningful employment;
 - (ii) to attain an adequate education;
 - (iii) to make better use of available income;
 - (iv) to obtain and maintain adequate housing and a suitable living environment;
 - (v) to obtain emergency assistance through loans or grants to meet immediate and urgent individual and family needs, including the need for health services, nutritious food, housing, and employment-related assistance;
 - (vi) to remove obstacles and solve problems which block the achievement of self-sufficiency;
 - (vii) to achieve greater participation in the affairs of the community; and
 - (viii) to make effective use of other related programs.
- C. To provide on an emergency basis for the provision of such supplies and services, nutritious food and related services, as may be necessary to counteract conditions of starvation and malnutrition among the poor;
- D. To coordinate and establish linkages between governmental and other social services programs to assure the effective delivery of such services to low-income individuals;
- E. To encourage the use of entities in the private sector of the community in efforts to ameliorate poverty in the community.

WHEREAS, the Community & Neighborhood Resources Advisory Council (CNRAC) has recommended that the services and products provided for herein be included in the COUNTY's Application and Work Plan to the State for CSBG funds ("Project Plan"); and

WHEREAS, the GRANTEE is qualified to provide the services and products as identified in this Agreement.

NOW, THEREFORE, in consideration of the mutual promises, payments and other provisions hereof, the parties agree as follows:

ARTICLE II: SCOPE OF SERVICES

Section 1. The COUNTY hereby agrees to engage the GRANTEE, and the GRANTEE agrees to provide the following services and products as described in the attached Exhibit I (the "Services"). The Services shall be provided to individuals and families at or below 125% of "poverty income" as defined annually by the United States Department of Health & Human Services only to Adams County residents that provide proof that they are in the country legally and sign the Affidavit of Legal Residency. Income eligibility and legal residency information must be collected and kept in each CSBG customer file.

Section 2. The GRANTEE covenants that it has, or will obtain at its own expense, all personnel, goods, services and equipment required to perform the Services and shall use no funds provided hereunder for any expense other than those expenses required to perform the Services and that are outlined in this agreement.

Section 3. All Services provided hereunder shall be performed by the GRANTEE. No personnel engaged in the performance of those Services shall be employees of the COUNTY, nor shall any personnel providing those Services have any contractual relationship with the COUNTY.

Section 4. The COUNTY reserves the right to enter into other contracts related to the Services, and the GRANTEE agrees to cooperate with the COUNTY and its other contractors with respect to the coordination of those Services.

ARTICLE III: DURATION OF CONTRACT

Section 1. Services provided hereunder shall commence on: March 1, 2015 and shall continue through February 28, 2016, (the "Period of Performance") unless this Agreement is terminated as provided hereunder.

Section 2. The COUNTY, at its sole option, may offer to extend this Agreement as necessary for up to two years providing satisfactory service is given and all terms and conditions of this Agreement have been fulfilled. Such extensions must be mutually agreed upon and is contingent upon federal funding from the United States Department of Health & Human Services through the Colorado Department of Local Affairs, known hereafter as "DOLA". Any single extension by the COUNTY shall include additional funding not to exceed an amount equal to the original amount of award to allow for continuation of GRANTEE services described in Exhibit 1 and this contract, any and all extensions, shall conclude February 28, 2018. Extension of the contract will follow the process for substantial project modification outlined in Exhibit 3.

Section 3. If the GRANTEE fails to comply with any contractual provision, the COUNTY, may, after notice to the GRANTEE, suspend the Agreement and withhold further payment or prohibit the GRANTEE from incurring additional obligation of contractual funds, pending corrective action by the GRANTEE or a decision by the COUNTY to terminate in accordance with this Agreement. The COUNTY may determine to allow such necessary and proper costs which the GRANTEE could not reasonably avoid during the period of suspension.

Section 4. If, through any cause, either party shall fail to honor or otherwise fulfill any of the promises, covenants, obligations, agreements or stipulations of this Agreement, the other party shall have the right to terminate this Agreement by giving ten (10) days written notice to the other party of such termination, specifying the reasons for such termination and the effective date thereof. In the event the GRANTEE is terminated under this section, the GRANTEE shall not be relieved of liability to the COUNTY or the State for any damages sustained by the COUNTY or the State by virtue of any breach of this Agreement by the GRANTEE, and the COUNTY or the State may withhold any payment to the GRANTEE for the purpose of settlement until such time as the exact damage due the COUNTY from the GRANTEE is determined.

Section 5. In addition to other specified remedial actions, the State or COUNTY may exercise the following remedial actions should it find that the GRANTEE substantially failed to satisfy or perform the duties and obligations in this Agreement. Substantial failure to satisfy the duties and obligations shall be defined to mean

insufficient, incorrect, improper activities or inaction by the GRANTEE. These remedial actions are as follows:

- 1) Withhold payment to the GRANTEE until the necessary services or corrections in performance are satisfactorily completed;
- 2) Request the removal from work on the Agreement of employees of the GRANTEE whom the COUNTY or the State justifies as being incompetent, careless, insubordinate, unsuitable, or otherwise unacceptable, or whose continued employment on the Agreement it deems to be contrary to the public interest or not in the best interest of the COUNTY or the State;
- 3) Deny payment for those services or obligations which have not been performed and which due to circumstances caused by the GRANTEE cannot be performed or if performed would be of no value to the COUNTY or the State. Denial of the amount of payment must be reasonably related to the amount of work or performance lost to the COUNTY or the State;

or

- 4) Terminate the Agreement for cause.

Section 6. The parties hereto may terminate this Agreement by mutual consent by setting forth in writing the terms, conditions and effective date of such termination, in which case the GRANTEE shall be reimbursed an amount equal to actual eligible expenses incurred as of the date of termination.

Section 7. If the State terminates the COUNTY's Contract with the State as identified in Article V, Section 8, whether for the convenience of the State or for cause, this Agreement shall immediately terminate. If such termination is for cause due to GRANTEE's failure of performance, the provisions of Article III, Section 2, 3, 6 and 7 shall apply and the GRANTEE shall not be relieved of liability to the COUNTY for any damages sustained by the COUNTY by virtue of any breach of the Contract by the GRANTEE, and the COUNTY may withhold any payment to the GRANTEE for the purpose of settlement until such time as the exact damage due the COUNTY from the GRANTEE is determined. If such termination is for the convenience of the State, the GRANTEE shall be reimbursed in an amount equal to actual expenses incurred as of the date of termination.

Section 8. The COUNTY without cause may terminate this Agreement at any time if written notice to terminate is provided to the GRANTEE more than ten (10) days prior to the effective date of the termination. In such event, the GRANTEE shall be paid for all eligible work satisfactorily completed commensurate with the amount of work done on the Scope of Services up to the date of termination less all amounts previously paid, and in addition thereto, any other amount as mutually agreed upon by the parties for the documented direct and incidental termination expenses due to the termination.

Section 9. Should the COUNTY terminate this Agreement for cause, as provided in Section 3 above, no further payments shall be due to the GRANTEE, including payment for Services provided prior to the effective date of termination.

Section 10. Nothing herein shall preclude either party from pursuing such remedies at law or at equity as may be appropriate.

Section 11. If, this Agreement is terminated for cause, all finished or unfinished documents, data, studies, surveys, drawings, maps, models, photographs, and reports or other material prepared by the Contractor under this Contract shall, at the option of the State or COUNTY, become the State or the COUNTY's property, and the Contractor shall be entitled to receive just and equitable compensation for any satisfactory work completed on such documents and other materials.

ARTICLE IV: COMPENSATION AND PROJECT BUDGET

Section 1. The COUNTY shall reimburse the GRANTEE for the actual cost of Services provided hereunder, however, such reimbursement shall not exceed Thirty-Three Thousand Nine Hundred and Fifty Dollars and 00/100 (\$33,950) over the Period of Performance.

- A. Funds under this Agreement shall be spent as set forth in the "Project Budget" attached hereto as Exhibit 2 and incorporated herein by reference.
- B. The GRANTEE shall adhere to the Project Budget as set forth more specifically in subparagraph (A) above to the fullest practicable extent, but the GRANTEE is not precluded from making minor changes within the Scope of Services and Project Budget as necessary, when preapproved by the COUNTY in the manner set forth in the Community Development Amendment Policy attached hereto as Exhibit 3 and incorporated herein by reference. Such minor changes, however, may only be approved by the COUNTY if the total amount to be paid does not change and does not exceed the total amount budgeted and provided the expenditure is eligible for reimbursement.

Section 2. The COUNTY shall invoice DOLA for payments due and may make payment to the GRANTEE before the receipt of such DOLA CSBG funds for the purpose of the continuation of Services provided in accordance with the State CSBG Plan, the State of Colorado Local Government Financial Management Manual and this Agreement.

Section 3. The parties hereto recognize that compensation paid to the GRANTEE hereunder is funded from CSBG. If funding is not secured under CSBG, or if compensation to the GRANTEE is disapproved thereunder, then this Agreement shall be null and void and no payment will be due the GRANTEE from the COUNTY. Furthermore, if, for any reason, reimbursements from CSBG to the COUNTY are delayed, payments to the GRANTEE by the COUNTY may be delayed for the same length of time.

Section 4. GRANTEE acknowledges and is hereby given notice that the financial obligations of the COUNTY under this Agreement, payable after the current fiscal year, are contingent upon funds for this Agreement being appropriated, budgeted and otherwise made available for each fiscal year thereafter. In the event it is determined that funds will not be budgeted and appropriated, the COUNTY may terminate this Agreement by giving GRANTEE notice of such non-appropriation. The COUNTY's fiscal year commences January 1 and ends December 31.

Section 5. If the COUNTY makes any payments for all or any portion of the Services done by the GRANTEE prior to the COUNTY receiving payment from the State and the COUNTY is notified by the State that the State will not reimburse the COUNTY for the services provided by the GRANTEE, the GRANTEE agrees to repay the COUNTY within thirty (30) days of receipt of notice from the COUNTY that the funds must be repaid to the COUNTY.

ARTICLE V: ASSURANCES

Section 1. The GRANTEE will not discriminate against any employee or applicant for employment, or against any applicant for services or benefits because of race, color, religion, sex or national origin except to the extent that the religious organization exemption provided under 702 of the Civil Rights Act of 1964 (42 U.S.C. 2000e-1) applies. The GRANTEE shall adhere to acceptable affirmative action guidelines in selecting employees, and shall ensure that employees are treated equally during employment without regard to race, religion, sex or national origin. Such action shall include, but is not limited to the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay and other compensation and selection for training, including apprenticeship. Furthermore, the GRANTEE will not discriminate on the grounds of race, color, sex or national origin in the selection and retention of GRANTEES, including suppliers of materials and lessor of equipment. Any prohibition against discrimination on the basis of age under the Age

Discrimination Act of 1975 or with regard to otherwise qualified disabled individuals as provided in Section 504 of the Rehabilitation Act of 1973 or the Americans with Disabilities Act shall also apply to the Services provided herein. The GRANTEE agrees to take positive steps to comply and advance in employment qualified disabled persons and to comply with applicable U.S. Department of Health and Human Services Regulations (45 CFR Part 84). GRANTEE agrees to indemnify and hold harmless the COUNTY and the State of Colorado from any claims or demands which may arise under this provision.

Section 2. The GRANTEE shall not compel any employee or volunteer in performing the work of this Agreement to work in surroundings or under working conditions which are unsanitary or dangerous or hazardous to his or her health or safety.

Section 3. The GRANTEE shall comply with Executive Order No. 11426 entitled "Equal Employment Opportunity" as supplemented in the Department of Labor Regulations (41 CFR Section 84) and to execute such provisions as may be required.

Section 4. Independent Contractor/GRANTEE and Indemnification.

- A. In performing the Work, the GRANTEE acts as an independent contractor responsible for calculating, withholding, and paying all Federal and State taxes and for obtaining necessary and adequate Workers Compensation Insurance, general liability insurance and any other insurance required under this Agreement. GRANTEE employees are not and shall not become employees, agents or servants of the COUNTY hereunder. The GRANTEE and GRANTEE employees are not entitled to unemployment insurance benefits unless unemployment compensation coverage is provided by the GRANTEE or some other entity and the GRANTEE is obligated to pay Federal and State income tax on any monies paid pursuant to this Agreement.
- B. The GRANTEE shall indemnify, save and hold harmless the State and the COUNTY, and their employees, officials, board members, officers and agents, against any and all claims, losses, injuries, damages, expenses, liability and court awards including costs, expenses, and attorney fees incurred as a result of any act or omission by the GRANTEE, or its employees, agents, subcontractors, or assignees pursuant to the terms of this Agreement. This indemnification provision shall survive completion of the services and termination of this Agreement. Nothing herein shall be construed as a waiver of defenses available to the COUNTY under the Governmental Immunity Act.

Section 5. The GRANTEE shall comply with all applicable State and Federal laws, rules, regulations and Executive Orders of the Governor of Colorado, involving non-discrimination on the basis of race, color, religion, national origin, age, handicap, or sex. GRANTEE may utilize the expertise of the State Minority Business Office within the Office of the Governor, for assistance in complying with the non-discrimination and affirmative action requirements of this Agreement and applicable statutes.

Section 6. The GRANTEE shall not utilize any funds provided through this Program for political activities.

Section 7. The GRANTEE shall not utilize any funds provided through this Program to provide voters and prospective voters with transportation to the polls or provide similar assistance in connection with an election or any voter registration activity.

Section 8. The GRANTEE shall comply with all applicable State and Federal laws, rules, circulars, guidelines, regulations and requirements and all obligations imposed on the COUNTY or its subcontractors in the COUNTY's Contract with the State of Colorado, Department of Local Affairs for the CSBG 2013 program; the Special Provisions attached and incorporated therein; the Federal Terms and Conditions and Assurance in Appendices thereto; and any special conditions incorporated into or attached to a grant award letter which covers funds paid to the GRANTEE. The terms and conditions of that Contract and the Special Provisions are applicable to this Agreement and are made a part hereof and incorporated herein by reference, whether or not

attached hereto. The GRANTEE agrees that it shall cooperate with the COUNTY in the compliance by the COUNTY of all the requirements set forth in the Certifications attached hereto as Exhibit 4 and incorporated herein by reference. The GRANTEE by execution of this Agreement hereby makes the applicable assurances and certifications set forth in the Certifications attached hereto as Exhibit 4.

Section 9. The GRANTEE covenants that it presently has no interest and shall not acquire any interest, direct or indirect, which would conflict in any manner or degree with the performance of Services required to be performed under this Agreement. The GRANTEE further covenants that in the performance of this Agreement no person having any such interest will be employed.

Section 10. The GRANTEE assures that it shall comply with Public Law 101-121, Section 319, 29 CFR Part 93, restrictions on lobbying.

Section 11. The GRANTEE shall ensure compliance with the Drug-Free Workplace Requirements for Federal Grant Recipients under Sections 5153-5158 of the Anti-Drug Abuse Act of 1988 (41 U.S.C. 702-707).

Section 12. The GRANTEE will ensure compliance with Public Law 103.227, Part C-Environmental Tobacco Smoke, also known as the Pro-Children Act of 1994 (Act). This Act requires that smoking may not be permitted in any portion of any indoor facility owned or leased or contracted by an entity and used routinely or regularly for the provision of health, day care, education or library services to children under the age of 18, if the services are funded by Federal programs either directly or through State or local governments. The above requirement will be included in any subawards which contain provisions for children's services and that all subcontractors shall certify compliance accordingly.

Section 13. The GRANTEE shall indemnify, save and hold harmless the State and the COUNTY, and their employees and agents, against any and all claims, damages, liability and court awards including costs, expenses, and attorney fees incurred as a result of any act or omission by the GRANTEE, or its employees, agents, subcontractors, or assignees pursuant to the terms of this Agreement. This indemnification provision shall survive completion of the services termination of this Agreement. Nothing herein shall be construed as a waiver of defenses available to the COUNTY or the CITY under the Governmental Immunity Act.

ARTICLE VI: CONTINGENT FUNDING

The parties hereto agree that should the State of Colorado or the Federal government disapprove this Agreement or refuse or fail to make the grant to the GRANTEE or the COUNTY as contemplated by this Agreement, then this Agreement shall be void and shall not be binding on any party to it. Unearned payments hereunder may be suspended or terminated in the event the GRANTEE refuses to accept additional terms or conditions to this Agreement that may be imposed by the Federal government, the COUNTY, or the State of Colorado after the effective date hereof.

ARTICLE VII: RECORDS, REPORTS, AUDITS AND INSPECTIONS

Section 1. The GRANTEE shall permit the COUNTY, and State and Federal representatives, to inspect, examine, copy or mechanically reproduce, on or off premises, as deemed necessary for grant purposes, all records pertaining to this Agreement for its term and for a period of five (5) years after its final payment hereunder or for such further period as may be necessary to resolve any matters which may be pending.

Section 2. The GRANTEE is subject to all procurement, fiscal and Program requirements to which the COUNTY is subject under the CSBG grant, including pertinent Federal and State guidelines including OMB Circulars A-110 "Grants and Agreements with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations - Uniform Administrative Requirements", A-122 "Cost Principles for Non-Profit Organizations", and A-133 "Audits of Institutions of Higher Education and Other Non-Profits".

Section 3. The GRANTEE will follow the COUNTY's rules and procedures for reporting expenditures, travel, per diem expenses, purchases and bid procedures.

Section 4. During the Agreement term, the retention period set forth in Section 1 above, and as long thereafter as records are maintained, at any time during normal business hours, the authorized representatives of the COUNTY, the State of Colorado, and Comptroller General of the United States shall have the right of access to any books, documents, papers or other records of the GRANTEE with respect to all matters covered by this Agreement in order to make audits, investigations, inspections, examinations, excerpts, and transcripts.

Section 5. For work performed under this Agreement the GRANTEE shall cause an audit to be conducted and submitted to the COUNTY in accordance with the applicable requirements of OMB Circular A-133 entitled, "Audits of Institutions of Higher Education and Other Nonprofit Institutions". If an audit is not required in accordance with OMB Circular 133, the GRANTEE shall provide a year-end financial statement for each fiscal year in which the GRANTEE has received funding for this project.

The audits or financial statement shall be furnished to the COUNTY within six (6) months after the end of the GRANTEE's fiscal year.

Section 6. The GRANTEE shall provide to the COUNTY quarterly on: *Execution of Agreement, September 10, 2015, December 10, 2015 and March 10, 2016* a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY by *March 15, 2016* a Final Report (including Section G and NPI Report; report form to be provided) summarizing the Services which includes activities, progress, outcomes, and number of clients served. GRANTEE shall meet all other reporting requirements in accordance with the State CSBG Plan and the Local Government Financial Management Manual and any other reporting requirements required by the COUNTY, Federal government or the Colorado Department of Local Affairs. The submission of reports in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a delay of payment of funds or termination of this Agreement.

Section 7. The GRANTEE shall follow all State of Colorado Local Government Financial Management Manual financial rules and procedures including, but not limited to, procedures for accounting, reporting, expenditures and budgeting. Minimum standards to be adhered to are those contained in the Local Government Financial Management Manual.

Section 8. In the event the GRANTEE shall obtain access to any records or files of the State or COUNTY in connection with, or during the performance of, this contract, the GRANTEE shall keep such records and information confidential and shall comply with all laws and regulations concerning the confidentiality of such records to the same extent as such laws and regulations apply to the State or the COUNTY. The GRANTEE agrees to notify and advise in writing all employees, agents, consultants, licensees, or sub-contractors of the said requirements of confidentiality and of possible penalties and fines imposed for violation thereof, and secure from each an acknowledgment of such advisement and agreement to be bound by the terms of this agreement as an employee, agent, consultant, licensee, or sub-contractor of the GRANTEE, as the case may be. Any breach of confidentiality by the GRANTEE or third party agents of the GRANTEE shall constitute good cause for the COUNTY or the State to cancel this contract without liability; any and all information delivered to the GRANTEE shall be returned to the COUNTY. Any COUNTY or State waiver of an alleged breach of confidentiality by the GRANTEE or third party agent of the GRANTEE is not to imply a waiver of any subsequent breach.

Section 9. All costs charged to the contract must be documented. For example, the GRANTEE must maintain signed time and attendance records for each and every individual employee and payroll documents approved by an official of the organization. Individual time distribution records must be maintained for allocating an employee's salary between this contract and other funding sources. Source documentation must be maintained for other costs such as receipts, travel vouchers, invoices, bills, or affidavits. Volunteer costs must be documented. All in-kind and other matching contributions, including grant award documents and receipts from other funding sources must be documented.

ARTICLE VIII: AMENDMENTS

Section 1. This Agreement contains the entire understanding between the parties. Either party to this Agreement may request Amendments to this Agreement at any time, but no change shall be binding unless it is mutually agreed upon by the parties to this Agreement. All Amendments shall be in writing, authorized and executed prior to any work being done thereon, as described in the attached Exhibit 3 (“ACCD Amendment Policy”).

Section 2. Any change in or new Federal, State or local law, rule, Executive Order, Office of Management & Budget Circular, or other regulation under which the Services are to be performed which may constitutionally be applied to the Services and which, by its terms, is intended to be applied to the Services, shall be deemed to be incorporated into this Agreement.

ARTICLE IX: APPLICABLE LAWS

Section 1. The parties hereto agree that this Agreement shall be governed by and construed according to the laws of the State of Colorado.

Section 2. The courts of the State of Colorado shall have sole and exclusive jurisdiction of any disputes or litigation arising hereunder. Venue for any and all legal actions arising hereunder shall lie in the District Court in and for Adams County, State of Colorado.

Section 3. The GRANTEE specifically agrees to comply in the performance hereof with all local, State and Federal ordinances, codes, laws, rules, regulations, orders, and guidelines that are referenced herein and applicable to the Services or that may be or become applicable to the Services even though not stated herein, as described in the attached Exhibit 4 (“Certifications”).

ARTICLE X: NON-ASSIGNMENT

The GRANTEE represents, covenants and warrants that it will not assign its rights nor delegate its obligations hereunder and breach of this provision shall void the obligations of the COUNTY hereunder as of the date of breach and this Agreement shall be void as of said date.

ARTICLE XI: SUCCESSORS

The GRANTEE covenants that the provisions of this Agreement shall be binding upon its successors and agents.

ARTICLE XII: REPRESENTATIVES

All applicable invoices, statements, notices, inquiries, and replies shall be addressed and served upon the respective representatives at the addresses below. The following individuals are designated for the purposes of this Agreement as representatives of the COUNTY and the GRANTEE (or their successors or assigns), respectively:

Adams County Attorney’s Office 4430 S. Adams County Parkway Brighton, Colorado 80601 Phone: 720-523-6116 Fax: 720-523-6114
Adams County Community Development Contact: Joelle Greenland Address: 4430 S. Adams County Parkway Brighton, CO 80601 Phone: 720-523-6851 E-mail: jgreenland@adcogov.org

GRANTEE NAME: CENTER FOR PEOPLE WITH DISABILITIES
Contact: JOAN LABENÉ, DIRECTOR OF PROGRAMS
Address: 1675 RANGE ST. BOULDER, CO 80301
Phone: (303) 442-8662 x103
Fax: (303) 442-0502
E-mail: JOAN@CPWA.ORG

The parties may change their representatives at any time by written notice to the other party.

ARTICLE XIII: ILLEGAL ALIENS

Section 1. COMPLIANCE WITH C.R.S. § 8-17.5-101, ET. SEQ. AS AMENDED 5/13/08: Pursuant to Colorado Revised Statute (C.R.S.), § 8-17.5-101, *et. seq.*, as amended 5/13/08, the Contractor shall meet the following requirements prior to signing this Agreement (public contract for service) and for the duration thereof:

- 1.1. The Contractor shall certify participation in the E-Verify Program (the electronic employment verification program that is authorized in 8 U.S.C. § 1324a and jointly administered by the United States Department of Homeland Security and the Social Security Administration, or its successor program) or the Department Program (the employment verification program established by the Colorado Department of Labor and Employment pursuant to C.R.S. § 8-17.5-102(5)) on the attached certification.
- 1.2. The Contractor shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- 1.3. The Contractor shall not enter into a contract with a subcontractor that fails to certify to the Contractor that the subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- 1.4. At the time of signing this public contract for services, the Contractor has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this public contract for services through participation in either the E-Verify Program or the Department Program.
- 1.5. The Contractor shall not use either the E-Verify Program or the Department Program procedures to undertake pre-employment screening of job applicants while this public contract for services is being performed.
- 1.6. If Contractor obtains actual knowledge that a subcontractor performing work under this public contract for services knowingly employs or contracts with an illegal alien, the Contractor shall: notify the subcontractor and the County within three days that the Contractor has actual knowledge that the subcontractor is employing or contracting with an illegal alien; and terminate the subcontract with the subcontractor if within three days of receiving the notice required pursuant to the previous paragraph, the subcontractor does not stop employing or contracting with the illegal alien; except that the contractor shall not terminate the contract with the subcontractor if during such three days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien.

- 1.7. Contractor shall comply with any reasonable requests by the Department of Labor and Employment (the Department) made in the course of an investigation that the Department is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5).
- 1.8. If Contractor violates this Section of this Agreement, the County may terminate this Agreement for breach of contract. If the Agreement is so terminated, the Contractor shall be liable for actual and consequential damages to the County.

Section 2. GRANTEE must confirm that any individual natural person eighteen years of age or older is lawfully present in the United States pursuant to CRS §24-76.5-101 et seq. when such individual applies for public benefits provided under this Agreement by requiring the following:

A. Identification:

The applicant shall produce one of the following personal identifications:

- (1) A valid Colorado driver's license or a Colorado identification card, issued pursuant to article 2 of title 42, C.R.S.; or
- (2) A United States military card or a military dependent's identification card; or
- (3) A United States Coast Guard Merchant Mariner card; or
- (4) A Native American tribal document.

B. Affidavit:

The applicant shall execute an affidavit herein attached as Form 1, Affidavit of Legal Residency, stating:

- (1) That they are United States citizen or legal permanent resident; or
- (2) That they are otherwise lawfully present in the United States pursuant to federal law.

ARTICLE XIV: OFFICIALS NOT TO BENEFIT

Section 1. No member of the COUNTY government, Commissioners or individual officers elected therein, shall be admitted to any share or part of this Agreement or any benefit that may arise there from.

Section 2. Nothing in this Agreement is intended to create rights in any third party beneficiary.

ARTICLE XV: SEVERABILITY

The declaration by any court or other binding legal authority that any provision of this Agreement is illegal and void shall not affect the legality and enforceability of any other provision of this Agreement unless said provisions are mutually dependent.

ARTICLE XVI: ADVERTISEMENT AND PUBLIC NOTICES

GRANTEE shall ensure that any radio or television announcements, newspaper advertisements, press releases, pamphlets, mail campaigns, or any other method advising the public of their program that is funded with CSBG funds includes the following statement when feasible: "The funding source for this activity is Community Service Block Grant Funds made available through the Community Development Office of Adams County, Colorado."

CONTRACTOR'S CERTIFICATION OF COMPLIANCE

Pursuant to Colorado Revised Statute, § 8-17.5-101, *et. seq.*, as amended 5/13/08, as a prerequisite to entering into a contract for services with Adams County, Colorado, the undersigned Contractor hereby certifies that at the time of this certification, Contractor does not knowingly employ or contract with an illegal alien who will perform work under the attached contract for services and that the Contractor will participate in the E-Verify Program or Department program, as those terms are defined in C.R.S. § 8-17.5-101, *et. seq.* in order to confirm the employment eligibility of all employees who are newly hired for employment to perform work under the attached contract for services.

CONTRACTOR:

Center for People with Disabilities
Company Name

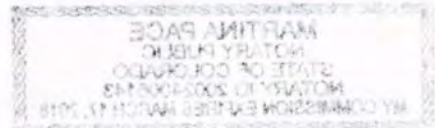
6/25/15
Date

DAVID C. ROBINSON
Name (Print or Type)

[Signature]
Signature

Executive Director
Title

Note: Registration for the E-Verify Program can be completed at: <https://www.vis-dhs.com/employerregistration>. It is recommended that employers review the sample "memorandum of understanding" available at the website prior to registering



IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed on the day, month and year above written.

GRANTEE:

By: [Signature]
Title: Executive Director
Date: 6/15/15

WITNESS my hand and official seal.
My commission expires: 02-12-18

[Signature]
Notary Public

**MARGARET CATTERALL
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID #20144007089
My Commission Expires February 12, 2018**

STATE OF COLORADO)
) ss.
ADAMS COUNTY)

The foregoing Agreement was executed before me this 30 day of June, 2015, by Charles "Chaz" Tedesco, as the Chairman of Bocc, the agency named herein, the GRANTEE herein named.

WITNESS my hand and official seal.
My commission expires: 3-17-18

[Signature]
Notary Public

**MARTINA PACE
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20024008143
MY COMMISSION EXPIRES MARCH 17, 2018**

ADAMS COUNTY
STATE OF COLORADO

By _____
Charles "Chaz" Tedesco, Chairman, Board of Commissioners

Date _____

APPROVED AS TO FORM:

[Signature]
Adams County Attorney's Office

EXHIBIT 1

**SCOPE OF SERVICES
COMMUNITY SERVICES BLOCK GRANT**

Services: Description of Project

Case Management shall include a job assessment analysis, job readiness, pre-employment skills training, post-employment assistance, and other case management to remove barriers to employment. In addition, technical assistance to employers will be provided. This includes a variety of services such as low/no cost job accommodations, disability awareness and tax incentives.

Reduction of Poverty: Brief Description of Efforts to Reduce Poverty,

This program will provide the training, support and assistance needed by people with disabilities to gain successful employment. As a Center for Independent Living, we have a breath of programs and services that provide additional assistance needed by people with disabilities for them to fully engage in job-preparedness and job-seeking. Participants will benefit from a comprehensive program, improved quality of life, and disability-appropriate training.

Population Served: Brief Description of Population to be Served.

Youth, Adult, and Seniors with disabilities

Category:

- Health Nutrition Housing Employment Education
 Emergency Services Self-Sufficiency

Number of Residents to be Served by CSBG Specific Project (at or below 125% of poverty):200

EXHIBIT 2

PROJECT BUDGET

CSBG Grant Detailed Budget - Exhibit 2		Adams County Community Development		
Name of Project/Activity: Case Mgmt		Column 1	Column 2	Column 3
CPWD		ADCO Share	Applicant Share	Total
a. Personnel & Fringe Benefits (Direct Labor)		\$33,950.00	N/A	\$33,950.00
b. Travel				\$0.00
c. Equipment				\$0.00
d. Supplies				\$0.00
e. Contractual				\$0.00
f. Construction				\$0.00
g. Other (Direct Costs)				\$0.00
h. Subtotal of Direct Costs				\$0.00
i. Indirect Costs				\$0.00
Grand Total:		\$33,950.00	\$0.00	\$33,950.00

The following Back-up & Source Documentation is required to be submitted with Draw-Down Requests for each eligible expense:

Eligible Expense	Required Back-up & Source Documentation
Direct Labor (Case Management)	Copies of Signed Time Allocation Sheet(s) & Payroll Report(s) including fringe information

EXHIBIT 2
EXHIBIT 3

**ADAMS COUNTY COMMUNITY DEVELOPMENT
AMENDMENT POLICY**
for Community Development Block Grant (CDBG)
Community Services Block Grant (CSBG)
HOME Investment Partnerships Program (HOME)

I. MINOR BUDGET ADJUSTMENTS

Adjustments in budget line items are allowable as necessary provided the change does not exceed the total amount awarded and provided the expenditure is eligible for reimbursement. The Administrator of Community Development is authorized to approve minor budget adjustments that do not affect the total amount awarded. Recipients of grant awards should request approval of these adjustments in writing. The Administrator of Community Development will notify the recipients in writing of the County's approval.

For modifications in a project affecting the project award amount, approval by the Board of County Commissioners is required.

II. MINOR PROJECT MODIFICATION

A minor project modification is a change in the project which does not result in an increase to the previously determined award amount nor a change to the national objective or activity category as designated for the original project.

To request a minor project modification the recipient must submit a letter describing the changes, including a revised budget, to Adams County Community Development. The Administrator of Community Development will review the requested modification.

The Administrator of Community Development will notify the recipient in writing that the modification has been approved and that the recipient may proceed with project implementation, or that the requested modification has not been approved.

III. SUBSTANTIAL PROJECT MODIFICATION

A substantial project modification is any change that is not a minor budget adjustment or minor project modification as described above.

Prior to formal submission, the Administrator of Community Development must review the proposed modification for grant eligibility and consistency with the Consolidated Plan. Upon formal written request from the recipient, Community Development will:

- review the project for complete information, for compliance as an eligible grant activity, and for consistency with the Consolidated Plan;
- complete an environmental review, if required;
- consult with the County Attorney if standard contract provisions may be at issue; and

- ensure that the public is informed of the proposed change if required by the Citizen Participation Plan.

Substantial project modifications require approval of the Board of County Commissioners and an amendment to the Contract.

EXHIBIT 3

EXHIBIT 4

CSBG CERTIFICATIONS

The grantee assures that activities implemented with CSBG funds will be:

- used to accomplish the State CSBG Goal and Objective stated in the State Plan; and
- within the requirements set forth in the Community Services Block Grant Act, Title IV of the Civil Rights Act, the Age Discrimination Act of 1975, the Rehabilitation Act of 1973, Public Law 103-227, Part C, Environmental Tobacco Smoke, also known as the Pro-Children Act of 1994 (Act), Certification Regarding Drug-Free Workplace Requirements, Certification Regarding Lobbying, Certification Regarding Debarment, Suspension, and Other Responsibility Matters - Primary Covered Transactions, Office of Management and Budget (OMB Circular A110 and A122), and the current State of Colorado CSBG Plan.

The Grantee also assures that it will:

- specifically consider, in a public meeting the designation of any local public or private entity to carry out the county community service activities under contract with the county, any local community action agency (CAA) which received federal fiscal 1981-82 funding; and
- consider, on the same basis as other non-governmental organizations, religious organizations to provide the CSBG services, so long as the program is implemented in a manner consistent with the Establishment Clause of the first amendment to the Constitution. Grantees shall not discriminate against an organization that provides assistance under, or applies to provide assistance, on the basis that the organization has a religious character. (Please review Sec.679 Operational Rule in the CSBG Act); and
- provide for coordination between community anti-poverty programs and ensure, where appropriate, that emergency energy crisis intervention programs under Title XXVI (relating to low-income home energy assistance) are conducted in such community; and
- provide, on an emergency basis, for the provision of such supplies and services, nutritious foods, and related services, as may be necessary to counteract conditions of starvation and malnutrition among low-income individuals; and
- coordinate, to the extent possible, programs with and form partnerships with other organizations serving low-income residents of the community and members of groups served, including religious organizations, charitable groups, and community organizations; and
- establish procedures under which a low-income individual, community organization, or religious organization, or representative of low-income individuals that considers its organization, or low-income individuals, to be inadequately represented on the CSBG board (or other mechanism) to petition for adequate representation; and
- ensure that in order for a public organization to be considered an eligible entity, the entity shall administer the CSBG program through a tri-partite board, which shall have members selected by the organization, and shall be composed so as to assure that no fewer than 1/3 of the members are persons chosen in accordance with democratic selection procedures adequate to assure that these members are:
 1. Representative of low-income individuals and families in the community served; and
 2. Reside in the community served; and
 3. Able to participate actively in the development, planning, implementation and evaluation of the program
- ensure that In order for a private, non-profit agency to be considered an eligible entity, the entity shall administer the CSBG program through a tri-partite board that fully participates in the development, planning, implementation, and evaluation of the program. The members of the board shall be selected by the entity and the board shall be composed so as to assure that:
 1. 1/3 of the members of the board are elected public officials holding office or their representatives; and
 2. Not fewer than 1/3 of the members are persons chosen in accordance with democratic selection procedures adequate to assure that these members are representative of low-income individuals and families in the neighborhood served and resides in the neighborhood represented; and
 3. The remainder of the members are officials or members of business, industry, labor, religious, law enforcement, education or other major groups and interests in the community served.
- prohibit the purchase or improvement of land, or the purchase, construction, or permanent improvement (other than low-cost residential weatherization or other energy-related home repairs) of

- any building or facility with CSBG funds; and
- prohibit, including subcontractors, (a) any partisan or nonpartisan political activity or any political activity associated with a candidate, or contending faction or group, in an election for public or party office, (b) any activity to provide voters or prospective voters with transportation to the polls or similar assistance in connection with any such election, or (c) any voter registration activity; and
- prohibit that persons shall, on the basis of race, color, national origin or sex, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under, any program or activity funded in whole or in part with CSBG. Any prohibition against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C 6101 et seq.) or with respect to an otherwise qualified individual with a disability as provided in Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 12131 et seq.) shall also apply to any such program or activity; and
- participate in the Results-Oriented Management and Accountability (ROMA) System, and describe outcome measure to be used to measure performance in promoting self-sufficiency, family stability, and/or community revitalization; and
- make available for public inspection each plan prepared as part of the program planning process. The Grantee may, at its initiative, revise any plan prepared for CSBG funding and shall furnish the revised plan to the Director of the Community Services Block Grant under the Department of Local Affairs. Each plan prepared for submission shall be made available for public inspection within the county and/or service area in such a manner as will facilitate review of, and comments on, the plan; and
- cooperate with the State, to determine whether grantee performance goals, administrative standards, financial management requirements, and other requirements of the State, in conducting monitoring reviews including (1) a full on-site review for each grantee at least once during each 3-year period, (2) on-site review for each newly designated grantee immediately after the completion of the first year in which funds were received, (3) follow-up reviews with grantees that fail to meet the goals, standards, and requirement established by the State, and (4) other reviews as appropriate, including reviews of grantees with other programs that have had other federal, State, or local grants terminated for cause; and
- make available appropriate books, documents, papers, and records for inspection, examination, copying, or mechanical reproduction on or off the premises upon reasonable request by the U.S. Controller General, the State, or their authorized representatives should an investigation of the uses of CSBG funds be undertaken; and
- in the case of county governments or Subgrantees which receive a CSBG award in excess of \$100,000, comply with the following three certifications related to the "Limitation on use of appropriated funds to influence certain Federal Contracting and financial transactions (P.L. 101-121, Section 319 and USC Title 31 Section 1352)":
 1. No Federal appropriated funds have been paid or will be paid by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.
 2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or any employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form LLL, "Disclosure Form to Report Lobbying," in accordance with its instruction.
 3. The undersigned shall require that the language of this certification be included in the award document for subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

The Grantee certifies to the best of its knowledge and belief, that it and its principals:

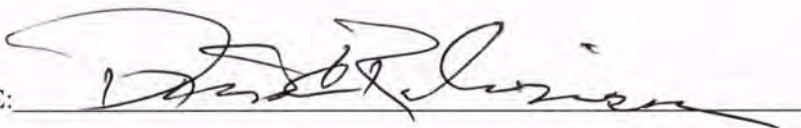
- a) are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
- b) have not within a three-year period preceding this proposal been convicted or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public transaction; violation of Federal or State antitrust statutes

- or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
- c) are not presently indicted for otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (b) of this certification; and
 - d) have not within a three-year period preceding this application had one or more public transactions (Federal, State or local) terminated for cause or default.

The Grantee further certifies that it:

- a) requires that smoking not be permitted in any portion of any indoor routinely owned or leased or contracted for by an entity and used routinely or regularly for provisions of health, day care, education, or library services to children under the age of 18, if the services are funded by Federal programs either directly or through State or local governments, by Federal grant, contract, loan, or loan guarantee.
- b) that it will require the language of this certification be included in any sub awards which contain provisions for the children's services and that all Subgrantees shall certify accordingly.

If you are unable to certify to any of the statements in this certification, please attach an explanation to this application.

SIGNATURE: 

PRINT NAME: DAVID C. ROBINSON

POSITION TITLE: EXECUTIVE DIRECTOR

DATE: 6/15/15

EXHIBIT 5

INSURANCE

General Liability Insurance: Commercial General Liability Insurance written on ISO occurrence form CG 00 01 10/93 or equivalent, covering premises operations, fire damage, independent contractors, products and completed operations, blanket liability, personal injury, and advertising liability with minimum limits as follows:

General Aggregate	\$1,000,000
Each Occurrence	\$1,000,000
Products & Completed Operations Aggregate	\$1,000,000
Any One Fire	\$50,000

If any aggregate limit is reduced below \$1,000,000 because of claims made or paid, GRANTEE shall immediately obtain additional insurance to restore the full aggregate limit and furnish to Adams County a certificate or other document satisfactory to Adams County showing compliance with this provision.

Automobile Liability Insurance: To include all motor vehicles owned, hired, leased, or borrowed:

Bodily Injury/Property Damage	\$1,000,000 (each accident combined single limit)
Personal Injury Protection	per Colorado Statutes

Worker's Compensation: Worker's Compensation Insurance as required by State statute, and Employer's Liability insurance covering all of GRANTEE employees acting within the course and scope of their employment.



Neighborhood Services Department
Community Development
4430 South Adams County Parkway
1st Floor, Suite W6202
Brighton, CO 80601
PHONE 720.523.6200
FAX 720.523.6996
www.adcogov.org

February 2, 2015

David Robinson
Center for People with Disabilities
10351 Grant Street
Thornton, CO 80229

RE: 2015 CSBG Estimated Funding – Employment Program
Catalog of Federal Domestic Assistance (CFDA) # 93.569

Dear Mr. Robinson,

We truly appreciate the time and effort your organization invested in preparing its 2015 Community Service Block Grant (CSBG) application. Congratulations, your application for the program listed above has been funded for the estimated amount of **\$33,950**. Your application was approved to include the following:

- Salary Employment Specialist
- Fringe Employment Specialist

Please provide written confirmation that your agency will be accepting this award as listed above no later than **February 18, 2015**.

This award is contingent upon receipt of funds and does not obligate Adams County if these funds are not received or if final federal funding levels are below amounts currently estimated for the 2015 program year.

Requests received this year exceeded the funds available for distribution. CSBG applicants were screened by Adams County Community Development (ACCD) for program eligibility and funding recommendations were made by the Community & Neighborhood Resources Advisory Council. The Adams County Board of County Commissioners made final funding decisions for all grant awards.

The timeline for this award is March 1, 2015 through February 28, 2016. You will be contacted by ACCD to work out the details of the Subgrantee Agreement. Please do not enter into any agreements that would commit these funds before that time. No activities can begin for the proposed project until the Subgrantee Agreement is fully executed. Beginning activities before funds are officially released will result in program ineligibility and non reimbursement.

Please feel free to contact me at 720.523.6210 or lespinoza@adcogov.org if you have any questions. Thank you again for the important work you do and for your interest in ACCD funding opportunities.

Sincerely,

Liz Espinoza
Grants Coordinator
Adams County Community Development

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE ADAMS COUNTY COMMUNITY SERVICES BLOCK
GRANT PROJECT FUNDING AWARDS

Resolution 2015-026

WHEREAS, the Federal government has established the Community Services Block Grant Program (CSBG) to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and

WHEREAS, U.S Department of Health and Human Services (HHS) allocates Community Services Block Grant funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and

WHEREAS, Adams County is eligible to receive an estimated \$409,846 for the 2015/2016 program year from the State of Colorado, Department of Local Affairs; and

WHEREAS, the Adams County Community & Neighborhood Resources Advisory Council held a meeting on December 9, 2014 to review and recommend proposed Community Services Block Grant projects for 2015/2016 to the Board of County Commissioners; and

WHEREAS, a Study Session was held on January 13, 2015 to present recommendations for Commissioner funding consideration; and

WHEREAS, the project awards will be included as part of the 2015-2018 Adams County Community Action Plan to the State of Colorado, Department of Local Affairs; and

WHEREAS, much of this information is regular and routine, and the Board of County Commissioners wishes to designate the Director of the Neighborhood Services Department and the Community Development Manager to sign necessary documents to carry out the ongoing activities of the program.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, and State of Colorado, that the following Adams County CSBG project awards be approved for PY2015/16:

Agency	PY2015/16
Almost Home, Inc.	\$30,000
Center for People with Disabilities	\$33,950
Growing Home, Inc.	\$79,050
Lutheran Social Services of Colorado	\$20,000
Project Angel Heart	\$55,000
Admin & Linkages	\$191,846
TOTAL PY2015/16	\$409,846

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Tedesco _____ Aye
O'Dorisio _____ Aye
Henry _____ Aye
Hansen _____ Aye
Pawlowski _____ Aye
Commissioners

STATE OF COLORADO)
County of Adams)

I, Stan Martin, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 20th day of January, A.D. 2015.

County Clerk and ex-officio Clerk of the Board of County Commissioners

Stan Martin:



By:

E-Signed by Erica Hannah ?
VERIFY authenticity with e-Sign

Deputy

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

A RESOLUTION CONCERNING THE ADAMS COUNTY
COMMUNITY SERVICES BLOCK GRANT APPLICATION AND WORK PLAN
FOR 2015-2018

Resolution 2015-032

WHEREAS, the Federal government has established the Community Services Block Grant Program (CSBG) to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and

WHEREAS, the U.S Department of Health and Human Services (HHS) allocates Community Services Block Grant funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and

WHEREAS, Adams County has received Community Services Block Grant funds since 1974; and

WHEREAS, Adams County is eligible to receive an estimated \$409,846 for the 2015/16 program year from the State of Colorado, Department of Local Affairs; and

WHEREAS, the Adams County Community & Neighborhood Resources Advisory Council has provided direction for the proposed Community Services Block grants for 2015-2018 and has made their funding recommendations to the Board of County Commissioners; and

WHEREAS, public notice was provided regarding the Public Hearing for the 2015-2018 CSBG Application and Work Plan; and

WHEREAS, a Public Hearing was held on January 20, 2015, for the approval and adoption for the 2015/16 sub-grantee grant awards; and

WHEREAS, much of this information is regular and routine, and the Board of County Commissioners wishes to designate authorized representatives as signatories for any non-contractual documents as required by the various funding sources; and

WHEREAS, the Director of the Neighborhood Services Department and the Community Development Manager have been authorized to sign necessary documents to carry out the on-going activities of the program; and

NOW, THEREFORE, BE IT RESOLVED by the Adams County Board of County Commissioners, County of Adams, and State of Colorado, that the Adams County Community Services Block Grant 2015-2018 Application and Work Plan be approved.

BE IT FURTHER RESOLVED, that the Chairman of the Adams County Board of County Commissioners be authorized to sign the 2015-2018 CSBG Application and Work Plan, the 2015 CSBG Sub-Grantee Award Agreements, subgrantee option letters and any related Adams County 2015-2018 CSBG program modifications and amendments.

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Tedesco _____ Aye
O'Dorisio _____ Aye
Henry _____ Aye
Hansen _____ Aye
Pawlowski _____ Aye
Commissioners

STATE OF COLORADO)
County of Adams)

I, Stan Martin, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

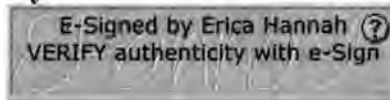
IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 27th day of January, A.D. 2015.

County Clerk and ex-officio Clerk of the Board of County Commissioners

Stan Martin:



By:



Deputy



ADAMS COUNTY
COLORADO

PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017

SUBJECT: Amending Contract Between Adams County and Project Angel Heart

FROM: Chris Kline, Director

AGENCY/DEPARTMENT: Human Services Department

HEARD AT STUDY SESSION ON: N/A

AUTHORIZATION TO MOVE FORWARD:

RECOMMENDED ACTION: That the Board of County Commissioners Approves this Contract Amendment between Adams County and Project Angel Heart

BACKGROUND:

Adams County has received Community Services Block Grant (“CSBG”) funds annually from the Colorado Department of Local Affairs (“DOLA”) since 1974. The State receives CSBG funds from the U.S. Department of Health and Human Services to ameliorate the effects of poverty in local communities. The Board of County Commissioners (“BOCC”) approves the County’s CSBG Community Action Plan every three years. Some of the CSBG funds are distributed to local non-profits. The CSBG funds can also be used for County staff and special “Linkages” projects that enhance community partnerships to address poverty. The Adams County CSBG Tri-Partite Board makes the annual funding recommendations to the BOCC.

For the current 3-year cycle of 2015-2018, one of the agencies funded by CSBG was Project Angel Heart (“PAH”). The contract with PAH was approved by the BOCC on March 1, 2015, and amended on October 20, 2016.

This requested contract amendment will achieve the following regarding Project Angel Heart:

- Increase CSBG program year (“PY”) 2017 funds by \$44,938.02 from \$55,000 to \$99,938.02
- Extend contract end date from December 31, 2017 to March 31, 2018

- Provide an additional 5,350 meals to terminally ill Adams County residents

The additional \$44,938.02 in CSBG funds was unexpended by another sub-grantee.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Department, Project Angel Heart

ATTACHED DOCUMENTS:

Resolution

Original Contract between Adams County and Project Angel Heart

Contract Amendment #1 PY2016 – PY2017

Contract Amendment #2 PY2017-PY2018

FISCAL IMPACT:

Please check if there is no fiscal impact. If there is fiscal impact, please fully complete the section below.

Fund: 34

Cost Center: 9418

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5335		\$99,938.02
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$99,938.02</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$99,938.02
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$99,938.02</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING SUBGRANTEE CONTRACT AMENDMENT #2 BETWEEN
ADAMS COUNTY AND PROJECT ANGEL HEART FOR HOME-DELIVERED MEALS
FOR TERMINALLY ILL COUNTY RESIDENTS

WHEREAS, the Federal government has established the Community Services Block Grant (“CSBG”) Program to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and,

WHEREAS, the U.S. Department of Health and Human Services (“HHS”) allocates CSBG funds to the State of Colorado, Department of Local Affairs (“DOLA”) through an annual funding formula; and,

WHEREAS, Adams County is eligible to receive annual CSBG funds of approximately \$480,000 from DOLA; and,

WHEREAS, Adams County originally entered into a contract with Project Angel Heart (“PAH”) on March 1, 2015 awarding them \$55,000 of CSBG funds for program year 2015 to provide home-delivered meals for the terminally ill; and,

WHEREAS, Adams County amended the contract with PAH on October 20, 2016 awarding them an additional \$55,000 of CSBG funds for program years 2016 and 2017 to continue providing home-delivered meals for the terminally ill; and,

WHEREAS, \$44,938.02 in CSBG funds unexpended by another subgrantee is available for reallocation; and,

WHEREAS, the Adams County CSBG Advisory Council reviewed the status of the PAH contract on July 21, 2017 and thus recommends to the Adams County Board of County Commissioners (“BOCC”) that due to its excellent performance as a subgrantee, it be awarded these additional funds and be given three additional months to spend the funds; and,

WHEREAS, much of this information is regular and routine, and the BOCC wishes to designate any of the Director(s) of the Human Services Department and the Specialty Programs Manager to sign necessary non-contractual documents to carry out the ongoing activities of the program.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, and State of Colorado, that the Subgrantee Contract Amendment #2 between Adams County and Project Angel Heart be approved.

BE IT FURTHER RESOLVED, that the Chair is authorized to execute said amendment on behalf of Adams County.

BE IT FURTHER RESOLVED, that the Director(s) of the Human Services Department and the Specialty Programs Manager are authorized to sign necessary non-contractual documents to carry out the ongoing activities of the program.



Community Services Block Grant (CSBG)
Subgrantee Contract Amendment #2
Program Year 2017

Section I. Provisions

PARTIES TO THIS Contract Amendment: This Contract Amendment, dated this 1st day of August, 2017, by and between Adams County, known hereafter as "COUNTY", and Project Angel Heart located at 4950 Washington St. Denver, Colorado 80216, known hereafter as the "GRANTEE" is made for the purpose of increasing the funds available, extending the end date, and adding services to be provided as set forth in the Community Services Block Grant ("CSBG") Agreement originally dated March 1, 2015 and amended October 20, 2016.

The COUNTY requires the provision of certain services and products in connection with the program funded by grants from the CSBG and which must conform to the following:

(A) Payment Requests:

Payment Requests for reimbursement must be submitted monthly no later than the 10th of the month for expenses incurred during the previous month. The submission of payment requests in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement. Reduction of award amount will be in the amount remaining unspent by expenditure deadline.

(B) Reporting:

The GRANTEE shall provide to the COUNTY a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY a Final Report containing the Section G and NPI Report (report form to be provided) summarizing the Services which include activities, progress, outcomes, and number of clients served. The submission of reports in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement.

Section II. General Information

Project Name			
Home Delivered Meals			
Agency Name			
Project Angel Heart			
Contact Person	Phone	Email	Fax
Amy Fleming	303-830-0202	afleming@projectangelheart.org	
Project Manager	Phone	Email	Fax

Section III. Affected Areas

Check all that apply.			
<input type="checkbox"/> Project Start Date	<input checked="" type="checkbox"/> Project End Date	<input checked="" type="checkbox"/> Contract Amount	<input type="checkbox"/> Project Costs
<input type="checkbox"/> Project Scope	<input type="checkbox"/> Technology	<input checked="" type="checkbox"/> Major Deliverables/ Outcomes	<input type="checkbox"/> Roles/Responsibilities

Section IV. Change Summary

Currently Recorded Dates/Costs				Requested Revisions to Dates/Costs:			
Original Start Date	Original End Date	Original Contract Amount	Project Cost	Start Date	Revised End Date	New Contract Amount	Project Cost
01/01/2017	12/31/2017	\$55,000		01/01/2017	03/31/2018	\$99,938.02	

Section V. Project Budget

Pgm Yr	Line-Item Name	Increase	Decrease	Expended	Balance
2017	Home Delivered Meals (increase of approximately 5,350 meals in 2017)	\$44,938.02		\$50,250.40	\$49,687.62*
	Total	\$44,938.02		\$50,250.40	\$95,188.42
	*Note: Amount includes 2017's original balance of \$4,749.60 as of July 31, 2017 + the additional funds added in the amount of \$44,938.02.				

Section VI. Justification Summary

Article III. Section 2 of the PY 2015 Subgrantee Agreement dated March 1, 2015 and amended October 20, 2016, allows for an additional funding award. The agency has met the requirements of PY2015- PY2016 and recommendation by the Adams County CSBG Tri-Partite Board has been made to provide an additional award amount of \$44,938.02 for PY2017, increasing the total PY2017 amount to \$99,938.02 which will allow for continuation of GRANTEE services described in Exhibit 1 of the executed contract. These additional funds are made available by the early mutually agreed-upon termination of the Agreement with another sub grantee agency. In addition to the terms listed herein, this option letter shall extend all terms and conditions of the original agreement.

SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County
Commissioners
Adams County, Colorado

By: _____
Board Chairman

Subgrantee

By (Signature)

Title

Address

City, State, Zip Code



**Community Services Block Grant (CSBG)
Subgrantee Contract Amendment
PY2016 – PY2017**

Section I. Provisions

PARTIES TO THIS Contract Amendment: This Contract Amendment, dated this 20th day of October, 2016, by and between Adams County, a body politic and corporate, known hereafter as "COUNTY", and Project Angel Heart located at 4950 Washington St. Denver, Colorado 80216, known hereafter as the "GRANTEE" is made for the purpose of extending the services set forth in the Community Services Block Grant ("CSBG") Agreement dated March 1, 2015.

The COUNTY requires the provision of certain services and products in connection with the program funded by grants from the CSBG and which must conform to the following:

(A) Scope of Service:

PY2016 and PY2017 award amounts are additional funding not to exceed an amount equal to the original amount of PY 2015 award to allow for continuation of GRANTEE services described in **PY 2015 Subgrantee Agreement Exhibit 1**.

(B) Payment Requests:

Payment Requests for reimbursement must be submitted **monthly** no later than the **10th** of the month for expenses incurred during the previous month. The submission of payment requests in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement. Reduction of award amount will be in the amount remaining unspent by expenditure deadline.

(C) Reporting:

The GRANTEE shall provide to the COUNTY a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY a Final Report containing the **Section G** and **NPI Report** (report form to be provided) summarizing the Services which include activities, progress, outcomes, and number of clients served. The submission of reports in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a reduction of payment of funds or termination of this Agreement.

Section II. General Information

Project Name			
Home Delivered Meals			
Agency Name			
Project Angel Heart			
Contact Person	Phone	Email	Fax
Amy Fleming	303-830-0202	afleming@projectangelheart.org	
Project Manager	Phone	Email	Fax

Section III. Affected Areas

Check all that apply.			
<input checked="" type="checkbox"/> Project Start Date	<input type="checkbox"/> Project End Date	<input type="checkbox"/> Contract Amount	<input type="checkbox"/> Project Costs
<input type="checkbox"/> Project Scope	<input type="checkbox"/> Technology	<input type="checkbox"/> Major Deliverables/ Outcomes	<input type="checkbox"/> Roles/Responsibilities

Section IV. Change Summary

Currently Recorded Dates/Costs				Requested Revisions to Dates/Costs: N/A			
Start Date	End Date	Contract Amount	Project Cost	Start Date	End Date	Contract Amount	Project Cost
03/01/2016	12/31/2016	\$55,000					
01/01/2017	12/31/2017	\$55,000					

Section V. Project Budget

Pgm Yr	Line-Item Name	Increase	Decrease	Expended	Balance
2016	Home Delivered Meals			\$55,000	\$0
2017	Home Delivered Meals			\$0	\$55,000
	Total				

Section VI. Justification Summary

Article III. Section 2 of the PY 2015 Subgrantee Agreement dated March 1, 2015 allows for an additional funding award. The agency has met the requirements of PY 2015 and recommendation has been made to provide an additional award amount of **\$55,000 for PY2016 and \$55,000 for PY2017** which will allow for continuation of GRANTEE services described in Exhibit 1 of the executed contract. In addition to the terms listed herein, this option letter shall extend all terms and conditions of the original agreement.

SIGNATURE PAGE

In Witness Whereof, the parties have caused this contract amendment to be duly executed as of the date first above written.

Adams County Board of County
Commissioners
Adams County, Colorado

By: Steven J. Donais
Board Chair

SubGrantee

[Signature]
By (Signature)
CEO

Title
4950 Washington St.
Address

Denver, CO 80216
City, State, Zip Code

APPROVED AS TO FORM
COUNTY ATTORNEY
[Signature]

**2015 AGREEMENT
PY 2015-2016 Funds**

For Performance of a Community Services Block Grant Activity
Catalog of Federal Domestic Assistance (CFDA) Number: 93.569

ARTICLE I: GENERAL PROVISIONS

PARTIES TO THIS AGREEMENT: This Agreement, dated for reference purposes only this 1st day of March, 2015, by and between Adams County, a body politic and corporate, known hereafter as "COUNTY", and Project Angel Heart, located at 4950 Washington St. Denver, CO 80216, known hereafter as the "GRANTEE".

WHEREAS, the COUNTY requires the provision of certain services and products in connection with the program funded by grants from the Community Services Block Grant (CSBG) and which must conform to one or more of the following objectives ("Program"):

- A. To provide a range of services and activities having a measurable and potentially major impact on causes of poverty in the community or those areas of the community where poverty is a particularly acute problem.
- B. To provide activities designed to assist low-income participants;
 - (i) to secure and retain meaningful employment;
 - (ii) to attain an adequate education;
 - (iii) to make better use of available income;
 - (iv) to obtain and maintain adequate housing and a suitable living environment;
 - (v) to obtain emergency assistance through loans or grants to meet immediate and urgent individual and family needs, including the need for health services, nutritious food, housing, and employment-related assistance;
 - (vi) to remove obstacles and solve problems which block the achievement of self-sufficiency;
 - (vii) to achieve greater participation in the affairs of the community; and
 - (viii) to make effective use of other related programs.
- C. To provide on an emergency basis for the provision of such supplies and services, nutritious food and related services, as may be necessary to counteract conditions of starvation and malnutrition among the poor;
- D. To coordinate and establish linkages between governmental and other social services programs to assure the effective delivery of such services to low-income individuals;
- E. To encourage the use of entities in the private sector of the community in efforts to ameliorate poverty in the community.

WHEREAS, the Community & Neighborhood Resources Advisory Council (CNRAC) has recommended that the services and products provided for herein be included in the COUNTY's Application and Work Plan to the State for CSBG funds ("Project Plan"); and

WHEREAS, the GRANTEE is qualified to provide the services and products as identified in this Agreement.

NOW, THEREFORE, in consideration of the mutual promises, payments and other provisions hereof, the parties agree as follows:

ARTICLE II: SCOPE OF SERVICES

Section 1. The COUNTY hereby agrees to engage the GRANTEE, and the GRANTEE agrees to provide the following services and products as described in the attached Exhibit 1 (the "Services"). The Services shall be provided to individuals and families at or below 125% of "poverty income" as defined annually by the United States Department of Health & Human Services only to Adams County residents that provide proof that they are in the country legally and sign the Affidavit of Legal Residency. Income eligibility and legal residency information must be collected and kept in each CSBG customer file.

Section 2. The GRANTEE covenants that it has, or will obtain at its own expense, all personnel, goods, services and equipment required to perform the Services and shall use no funds provided hereunder for any expense other than those expenses required to perform the Services and that are outlined in this agreement.

Section 3. All Services provided hereunder shall be performed by the GRANTEE. No personnel engaged in the performance of those Services shall be employees of the COUNTY, nor shall any personnel providing those Services have any contractual relationship with the COUNTY.

Section 4. The COUNTY reserves the right to enter into other contracts related to the Services, and the GRANTEE agrees to cooperate with the COUNTY and its other contractors with respect to the coordination of those Services.

ARTICLE III: DURATION OF CONTRACT

Section 1. Services provided hereunder shall commence on: March 1, 2015 and shall continue through February 28, 2016, (the "Period of Performance") unless this Agreement is terminated as provided hereunder.

Section 2. The COUNTY, at its sole option, may offer to extend this Agreement as necessary for up to two years providing satisfactory service is given and all terms and conditions of this Agreement have been fulfilled. Such extensions must be mutually agreed upon and is contingent upon federal funding from the United States Department of Health & Human Services through the Colorado Department of Local Affairs, known hereafter as "DOLA". Any single extension by the COUNTY shall include additional funding not to exceed an amount equal to the original amount of award to allow for continuation of GRANTEE services described in Exhibit 1 and this contract, any and all extensions, shall conclude February 28, 2018. Extension of the contract will follow the process for substantial project modification outlined in Exhibit 3.

Section 3. If the GRANTEE fails to comply with any contractual provision, the COUNTY, may, after notice to the GRANTEE, suspend the Agreement and withhold further payment or prohibit the GRANTEE from incurring additional obligation of contractual funds, pending corrective action by the GRANTEE or a decision by the COUNTY to terminate in accordance with this Agreement. The COUNTY may determine to allow such necessary and proper costs which the GRANTEE could not reasonably avoid during the period of suspension.

Section 4. If, through any cause, either party shall fail to honor or otherwise fulfill any of the promises, covenants, obligations, agreements or stipulations of this Agreement, the other party shall have the right to terminate this Agreement by giving ten (10) days written notice to the other party of such termination, specifying the reasons for such termination and the effective date thereof. In the event the GRANTEE is terminated under this section, the GRANTEE shall not be relieved of liability to the COUNTY or the State for any damages sustained by the COUNTY or the State by virtue of any breach of this Agreement by the GRANTEE, and the COUNTY or the State may withhold any payment to the GRANTEE for the purpose of settlement until such time as the exact damage due the COUNTY from the GRANTEE is determined.

Section 5. In addition to other specified remedial actions, the State or COUNTY may exercise the following remedial actions should it find that the GRANTEE substantially failed to satisfy or perform the duties and obligations in this Agreement. Substantial failure to satisfy the duties and obligations shall be defined to mean

insufficient, incorrect, improper activities or inaction by the GRANTEE. These remedial actions are as follows:

- 1) Withhold payment to the GRANTEE until the necessary services or corrections in performance are satisfactorily completed;
- 2) Request the removal from work on the Agreement of employees of the GRANTEE whom the COUNTY or the State justifies as being incompetent, careless, insubordinate, unsuitable, or otherwise unacceptable, or whose continued employment on the Agreement it deems to be contrary to the public interest or not in the best interest of the COUNTY or the State;
- 3) Deny payment for those services or obligations which have not been performed and which due to circumstances caused by the GRANTEE cannot be performed or if performed would be of no value to the COUNTY or the State. Denial of the amount of payment must be reasonably related to the amount of work or performance lost to the COUNTY or the State;

or

- 4) Terminate the Agreement for cause.

Section 6. The parties hereto may terminate this Agreement by mutual consent by setting forth in writing the terms, conditions and effective date of such termination, in which case the GRANTEE shall be reimbursed an amount equal to actual eligible expenses incurred as of the date of termination.

Section 7. If the State terminates the COUNTY's Contract with the State as identified in Article V, Section 8, whether for the convenience of the State or for cause, this Agreement shall immediately terminate. If such termination is for cause due to GRANTEE's failure of performance, the provisions of Article III, Section 2, 3, 6 and 7 shall apply and the GRANTEE shall not be relieved of liability to the COUNTY for any damages sustained by the COUNTY by virtue of any breach of the Contract by the GRANTEE, and the COUNTY may withhold any payment to the GRANTEE for the purpose of settlement until such time as the exact damage due the COUNTY from the GRANTEE is determined. If such termination is for the convenience of the State, the GRANTEE shall be reimbursed in an amount equal to actual expenses incurred as of the date of termination.

Section 8. The COUNTY without cause may terminate this Agreement at any time if written notice to terminate is provided to the GRANTEE more than ten (10) days prior to the effective date of the termination. In such event, the GRANTEE shall be paid for all eligible work satisfactorily completed commensurate with the amount of work done on the Scope of Services up to the date of termination less all amounts previously paid, and in addition thereto, any other amount as mutually agreed upon by the parties for the documented direct and incidental termination expenses due to the termination.

Section 9. Should the COUNTY terminate this Agreement for cause, as provided in Section 3 above, no further payments shall be due to the GRANTEE, including payment for Services provided prior to the effective date of termination.

Section 10. Nothing herein shall preclude either party from pursuing such remedies at law or at equity as may be appropriate.

Section 11. If, this Agreement is terminated for cause, all finished or unfinished documents, data, studies, surveys, drawings, maps, models, photographs, and reports or other material prepared by the Contractor under this Contract shall, at the option of the State or COUNTY, become the State or the COUNTY's property, and the Contractor shall be entitled to receive just and equitable compensation for any satisfactory work completed on such documents and other materials.

ARTICLE IV: COMPENSATION AND PROJECT BUDGET

Section 1. The COUNTY shall reimburse the GRANTEE for the actual cost of Services provided hereunder, however, such reimbursement shall not exceed Fifty-Five Thousand Dollars and 00/100 (\$55,000) over the Period of Performance.

- A. Funds under this Agreement shall be spent as set forth in the "Project Budget" attached hereto as Exhibit 2 and incorporated herein by reference.
- B. The GRANTEE shall adhere to the Project Budget as set forth more specifically in subparagraph (A) above to the fullest practicable extent, but the GRANTEE is not precluded from making minor changes within the Scope of Services and Project Budget as necessary, when preapproved by the COUNTY in the manner set forth in the Community Development Amendment Policy attached hereto as Exhibit 3 and incorporated herein by reference. Such minor changes, however, may only be approved by the COUNTY if the total amount to be paid does not change and does not exceed the total amount budgeted and provided the expenditure is eligible for reimbursement.

Section 2. The COUNTY shall invoice DOLA for payments due and may make payment to the GRANTEE before the receipt of such DOLA CSBG funds for the purpose of the continuation of Services provided in accordance with the State CSBG Plan, the State of Colorado Local Government Financial Management Manual and this Agreement.

Section 3. The parties hereto recognize that compensation paid to the GRANTEE hereunder is funded from CSBG. If funding is not secured under CSBG, or if compensation to the GRANTEE is disapproved thereunder, then this Agreement shall be null and void and no payment will be due the GRANTEE from the COUNTY. Furthermore, if, for any reason, reimbursements from CSBG to the COUNTY are delayed, payments to the GRANTEE by the COUNTY may be delayed for the same length of time.

Section 4. GRANTEE acknowledges and is hereby given notice that the financial obligations of the COUNTY under this Agreement, payable after the current fiscal year, are contingent upon funds for this Agreement being appropriated, budgeted and otherwise made available for each fiscal year thereafter. In the event it is determined that funds will not be budgeted and appropriated, the COUNTY may terminate this Agreement by giving GRANTEE notice of such non-appropriation. The COUNTY's fiscal year commences January 1 and ends December 31.

Section 5. If the COUNTY makes any payments for all or any portion of the Services done by the GRANTEE prior to the COUNTY receiving payment from the State and the COUNTY is notified by the State that the State will not reimburse the COUNTY for the services provided by the GRANTEE, the GRANTEE agrees to repay the COUNTY within thirty (30) days of receipt of notice from the COUNTY that the funds must be repaid to the COUNTY.

ARTICLE V: ASSURANCES

Section 1. The GRANTEE will not discriminate against any employee or applicant for employment, or against any applicant for services or benefits because of race, color, religion, sex or national origin except to the extent that the religious organization exemption provided under 702 of the Civil Rights Act of 1964 (42 U.S.C. 2000e-1) applies. The GRANTEE shall adhere to acceptable affirmative action guidelines in selecting employees, and shall ensure that employees are treated equally during employment without regard to race, religion, sex or national origin. Such action shall include, but is not limited to the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay and other compensation and selection for training, including apprenticeship. Furthermore, the GRANTEE will not discriminate on the grounds of race, color, sex or national origin in the selection and retention of GRANTEEs, including suppliers of materials and lessor of equipment. Any prohibition against discrimination on the basis of age under the Age

Discrimination Act of 1975 or with regard to otherwise qualified disabled individuals as provided in Section 504 of the Rehabilitation Act of 1973 or the Americans with Disabilities Act shall also apply to the Services provided herein. The GRANTEE agrees to take positive steps to comply and advance in employment qualified disabled persons and to comply with applicable U.S. Department of Health and Human Services Regulations (45 CFR Part 84). GRANTEE agrees to indemnify and hold harmless the COUNTY and the State of Colorado from any claims or demands which may arise under this provision.

Section 2. The GRANTEE shall not compel any employee or volunteer in performing the work of this Agreement to work in surroundings or under working conditions which are unsanitary or dangerous or hazardous to his or her health or safety.

Section 3. The GRANTEE shall comply with Executive Order No. 11426 entitled "Equal Employment Opportunity" as supplemented in the Department of Labor Regulations (41 CFR Section 84) and to execute such provisions as may be required.

Section 4. Independent Contractor/GRANTEE and Indemnification.

- A. In performing the Work, the GRANTEE acts as an independent contractor responsible for calculating, withholding, and paying all Federal and State taxes and for obtaining necessary and adequate Workers Compensation Insurance, general liability insurance and any other insurance required under this Agreement. GRANTEE employees are not and shall not become employees, agents or servants of the COUNTY hereunder. The GRANTEE and GRANTEE employees are not entitled to unemployment insurance benefits unless unemployment compensation coverage is provided by the GRANTEE or some other entity and the GRANTEE is obligated to pay Federal and State income tax on any monies paid pursuant to this Agreement.
- B. The GRANTEE shall indemnify, save and hold harmless the State and the COUNTY, and their employees, officials, board members, officers and agents, against any and all claims, losses, injuries, damages, expenses, liability and court awards including costs, expenses, and attorney fees incurred as a result of any act or omission by the GRANTEE, or its employees, agents, subcontractors, or assignees pursuant to the terms of this Agreement. This indemnification provision shall survive completion of the services and termination of this Agreement. Nothing herein shall be construed as a waiver of defenses available to the COUNTY under the Governmental Immunity Act.

Section 5. The GRANTEE shall comply with all applicable State and Federal laws, rules, regulations and Executive Orders of the Governor of Colorado, involving non-discrimination on the basis of race, color, religion, national origin, age, handicap, or sex. GRANTEE may utilize the expertise of the State Minority Business Office within the Office of the Governor, for assistance in complying with the non-discrimination and affirmative action requirements of this Agreement and applicable statutes.

Section 6. The GRANTEE shall not utilize any funds provided through this Program for political activities.

Section 7. The GRANTEE shall not utilize any funds provided through this Program to provide voters and prospective voters with transportation to the polls or provide similar assistance in connection with an election or any voter registration activity.

Section 8. The GRANTEE shall comply with all applicable State and Federal laws, rules, circulars, guidelines, regulations and requirements and all obligations imposed on the COUNTY or its subcontractors in the COUNTY's Contract with the State of Colorado, Department of Local Affairs for the CSBG 2013 program; the Special Provisions attached and incorporated therein; the Federal Terms and Conditions and Assurance in Appendices thereto; and any special conditions incorporated into or attached to a grant award letter which covers funds paid to the GRANTEE. The terms and conditions of that Contract and the Special Provisions are applicable to this Agreement and are made a part hereof and incorporated herein by reference, whether or not

attached hereto. The GRANTEE agrees that it shall cooperate with the COUNTY in the compliance by the COUNTY of all the requirements set forth in the Certifications attached hereto as Exhibit 4 and incorporated herein by reference. The GRANTEE by execution of this Agreement hereby makes the applicable assurances and certifications set forth in the Certifications attached hereto as Exhibit 4.

Section 9. The GRANTEE covenants that it presently has no interest and shall not acquire any interest, direct or indirect, which would conflict in any manner or degree with the performance of Services required to be performed under this Agreement. The GRANTEE further covenants that in the performance of this Agreement no person having any such interest will be employed.

Section 10. The GRANTEE assures that it shall comply with Public Law 101-121, Section 319, 29 CFR Part 93, restrictions on lobbying.

Section 11. The GRANTEE shall ensure compliance with the Drug-Free Workplace Requirements for Federal Grant Recipients under Sections 5153-5158 of the Anti-Drug Abuse Act of 1988 (41 U.S.C. 702-707).

Section 12. The GRANTEE will ensure compliance with Public Law 103.227, Part C-Environmental Tobacco Smoke, also known as the Pro-Children Act of 1994 (Act). This Act requires that smoking may not be permitted in any portion of any indoor facility owned or leased or contracted by an entity and used routinely or regularly for the provision of health, day care, education or library services to children under the age of 18, if the services are funded by Federal programs either directly or through State or local governments. The above requirement will be included in any subawards which contain provisions for children's services and that all subcontractors shall certify compliance accordingly.

Section 13. The GRANTEE shall indemnify, save and hold harmless the State and the COUNTY, and their employees and agents, against any and all claims, damages, liability and court awards including costs, expenses, and attorney fees incurred as a result of any act or omission by the GRANTEE, or its employees, agents, subcontractors, or assignees pursuant to the terms of this Agreement. This indemnification provision shall survive completion of the services termination of this Agreement. Nothing herein shall be construed as a waiver of defenses available to the COUNTY or the CITY under the Governmental Immunity Act.

ARTICLE VI: CONTINGENT FUNDING

The parties hereto agree that should the State of Colorado or the Federal government disapprove this Agreement or refuse or fail to make the grant to the GRANTEE or the COUNTY as contemplated by this Agreement, then this Agreement shall be void and shall not be binding on any party to it. Unearned payments hereunder may be suspended or terminated in the event the GRANTEE refuses to accept additional terms or conditions to this Agreement that may be imposed by the Federal government, the COUNTY, or the State of Colorado after the effective date hereof.

ARTICLE VII: RECORDS, REPORTS, AUDITS AND INSPECTIONS

Section 1. The GRANTEE shall permit the COUNTY, and State and Federal representatives, to inspect, examine, copy or mechanically reproduce, on or off premises, as deemed necessary for grant purposes, all records pertaining to this Agreement for its term and for a period of five (5) years after its final payment hereunder or for such further period as may be necessary to resolve any matters which may be pending.

Section 2. The GRANTEE is subject to all procurement, fiscal and Program requirements to which the COUNTY is subject under the CSBG grant, including pertinent Federal and State guidelines including OMB Circulars A-110 "Grants and Agreements with Institutions of Higher Education, Hospitals, and Other Non-Profit Organizations - Uniform Administrative Requirements", A-122 "Cost Principles for Non-Profit Organizations", and A-133 "Audits of Institutions of Higher Education and Other Non-Profits".

Section 3. The GRANTEE will follow the COUNTY's rules and procedures for reporting expenditures, travel, per diem expenses, purchases and bid procedures.

Section 4. During the Agreement term, the retention period set forth in Section 1 above, and as long thereafter as records are maintained, at any time during normal business hours, the authorized representatives of the COUNTY, the State of Colorado, and Comptroller General of the United States shall have the right of access to any books, documents, papers or other records of the GRANTEE with respect to all matters covered by this Agreement in order to make audits, investigations, inspections, examinations, excerpts, and transcripts.

Section 5. For work performed under this Agreement the GRANTEE shall cause an audit to be conducted and submitted to the COUNTY in accordance with the applicable requirements of OMB Circular A-133 entitled, "Audits of Institutions of Higher Education and Other Nonprofit Institutions". If an audit is not required in accordance with OMB Circular 133, the GRANTEE shall provide a year-end financial statement for each fiscal year in which the GRANTEE has received funding for this project.

The audits or financial statement shall be furnished to the COUNTY within six (6) months after the end of the GRANTEE's fiscal year.

Section 6. The GRANTEE shall provide to the COUNTY quarterly on: ***Execution of Agreement, September 10, 2015, December 10, 2015 and March 10, 2016*** a CSBG Quarterly Performance Report summarizing the Services which includes activities, progress, outcomes, and number of clients served (report format will be provided). The GRANTEE shall provide the COUNTY by ***March 15, 2016*** a Final Report (including Section G and NPI Report; report form to be provided) summarizing the Services which includes activities, progress, outcomes, and number of clients served. GRANTEE shall meet all other reporting requirements in accordance with the State CSBG Plan and the Local Government Financial Management Manual and any other reporting requirements required by the COUNTY, Federal government or the Colorado Department of Local Affairs. The submission of reports in a timely manner shall be the responsibility of the GRANTEE and failure to comply may result in a delay of payment of funds or termination of this Agreement.

Section 7. The GRANTEE shall follow all State of Colorado Local Government Financial Management Manual financial rules and procedures including, but not limited to, procedures for accounting, reporting, expenditures and budgeting. Minimum standards to be adhered to are those contained in the Local Government Financial Management Manual.

Section 8. In the event the GRANTEE shall obtain access to any records or files of the State or COUNTY in connection with, or during the performance of, this contract, the GRANTEE shall keep such records and information confidential and shall comply with all laws and regulations concerning the confidentiality of such records to the same extent as such laws and regulations apply to the State or the COUNTY. The GRANTEE agrees to notify and advise in writing all employees, agents, consultants, licensees, or sub-contractors of the said requirements of confidentiality and of possible penalties and fines imposed for violation thereof, and secure from each an acknowledgment of such advisement and agreement to be bound by the terms of this agreement as an employee, agent, consultant, licensee, or sub-contractor of the GRANTEE, as the case may be. Any breach of confidentiality by the GRANTEE or third party agents of the GRANTEE shall constitute good cause for the COUNTY or the State to cancel this contract without liability; any and all information delivered to the GRANTEE shall be returned to the COUNTY. Any COUNTY or State waiver of an alleged breach of confidentiality by the GRANTEE or third party agent of the GRANTEE is not to imply a waiver of any subsequent breach.

Section 9. All costs charged to the contract must be documented. For example, the GRANTEE must maintain signed time and attendance records for each and every individual employee and payroll documents approved by an official of the organization. Individual time distribution records must be maintained for allocating an employee's salary between this contract and other funding sources. Source documentation must be maintained for other costs such as receipts, travel vouchers, invoices, bills, or affidavits. Volunteer costs must be documented. All in-kind and other matching contributions, including grant award documents and receipts from other funding sources must be documented.

ARTICLE VIII: AMENDMENTS

Section 1. This Agreement contains the entire understanding between the parties. Either party to this Agreement may request Amendments to this Agreement at any time, but no change shall be binding unless it is mutually agreed upon by the parties to this Agreement. All Amendments shall be in writing, authorized and executed prior to any work being done thereon, as described in the attached Exhibit 3 (“ACCD Amendment Policy”).

Section 2. Any change in or new Federal, State or local law, rule, Executive Order, Office of Management & Budget Circular, or other regulation under which the Services are to be performed which may constitutionally be applied to the Services and which, by its terms, is intended to be applied to the Services, shall be deemed to be incorporated into this Agreement.

ARTICLE IX: APPLICABLE LAWS

Section 1. The parties hereto agree that this Agreement shall be governed by and construed according to the laws of the State of Colorado.

Section 2. The courts of the State of Colorado shall have sole and exclusive jurisdiction of any disputes or litigation arising hereunder. Venue for any and all legal actions arising hereunder shall lie in the District Court in and for Adams County, State of Colorado.

Section 3. The GRANTEE specifically agrees to comply in the performance hereof with all local, State and Federal ordinances, codes, laws, rules, regulations, orders, and guidelines that are referenced herein and applicable to the Services or that may be or become applicable to the Services even though not stated herein, as described in the attached Exhibit 4 (“Certifications”).

ARTICLE X: NON-ASSIGNMENT

The GRANTEE represents, covenants and warrants that it will not assign its rights nor delegate its obligations hereunder and breach of this provision shall void the obligations of the COUNTY hereunder as of the date of breach and this Agreement shall be void as of said date.

ARTICLE XI: SUCCESSORS

The GRANTEE covenants that the provisions of this Agreement shall be binding upon its successors and agents.

ARTICLE XII: REPRESENTATIVES

All applicable invoices, statements, notices, inquiries, and replies shall be addressed and served upon the respective representatives at the addresses below. The following individuals are designated for the purposes of this Agreement as representatives of the COUNTY and the GRANTEE (or their successors or assigns), respectively:

Adams County Attorney’s Office 4430 S. Adams County Parkway Brighton, Colorado 80601 Phone: 720-523-6116 Fax: 720-523-6114
Adams County Community Development Contact: Joelle Greenland Address: 4430 S. Adams County Parkway Brighton, CO 80601 Phone: 720-523-6851 E-mail: jgreenland@adcogov.org

GRANTEE NAME: PROJECT ANGEL HEART
Contact: ERIN PULLING
Address: 4950 WASHINGTON ST DENVER CO 80210
Phone: 303-830-0202
Fax: 303-830-1840
E-mail: GRANTS@PROJECTANGELHEART.ORG

The parties may change their representatives at any time by written notice to the other party.

ARTICLE XIII: ILLEGAL ALIENS

Section 1. COMPLIANCE WITH C.R.S. § 8-17.5-101, ET. SEQ. AS AMENDED 5/13/08: Pursuant to Colorado Revised Statute (C.R.S.), § 8-17.5-101, *et. seq.*, as amended 5/13/08, the Contractor shall meet the following requirements prior to signing this Agreement (public contract for service) and for the duration thereof:

- 1.1. The Contractor shall certify participation in the E-Verify Program (the electronic employment verification program that is authorized in 8 U.S.C. § 1324a and jointly administered by the United States Department of Homeland Security and the Social Security Administration, or its successor program) or the Department Program (the employment verification program established by the Colorado Department of Labor and Employment pursuant to C.R.S. § 8-17.5-102(5)) on the attached certification.
- 1.2. The Contractor shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- 1.3. The Contractor shall not enter into a contract with a subcontractor that fails to certify to the Contractor that the subcontractor shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- 1.4. At the time of signing this public contract for services, the Contractor has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this public contract for services through participation in either the E-Verify Program or the Department Program.
- 1.5. The Contractor shall not use either the E-Verify Program or the Department Program procedures to undertake pre-employment screening of job applicants while this public contract for services is being performed.
- 1.6. If Contractor obtains actual knowledge that a subcontractor performing work under this public contract for services knowingly employs or contracts with an illegal alien, the Contractor shall: notify the subcontractor and the County within three days that the Contractor has actual knowledge that the subcontractor is employing or contracting with an illegal alien; and terminate the subcontract with the subcontractor if within three days of receiving the notice required pursuant to the previous paragraph, the subcontractor does not stop employing or contracting with the illegal alien; except that the contractor shall not terminate the contract with the subcontractor if during such three days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien.

- 1.7. Contractor shall comply with any reasonable requests by the Department of Labor and Employment (the Department) made in the course of an investigation that the Department is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5).
- 1.8. If Contractor violates this Section of this Agreement, the County may terminate this Agreement for breach of contract. If the Agreement is so terminated, the Contractor shall be liable for actual and consequential damages to the County.

Section 2. GRANTEE must confirm that any individual natural person eighteen years of age or older is lawfully present in the United States pursuant to CRS §24-76.5-101 et seq. when such individual applies for public benefits provided under this Agreement by requiring the following:

A. Identification:

The applicant shall produce one of the following personal identifications:

- (1) A valid Colorado driver's license or a Colorado identification card, issued pursuant to article 2 of title 42, C.R.S.; or
- (2) A United States military card or a military dependent's identification card; or
- (3) A United States Coast Guard Merchant Mariner card; or
- (4) A Native American tribal document.

B. Affidavit:

The applicant shall execute an affidavit herein attached as Form 1, Affidavit of Legal Residency, stating:

- (1) That they are United States citizen or legal permanent resident; or
- (2) That they are otherwise lawfully present in the United States pursuant to federal law.

ARTICLE XIV: OFFICIALS NOT TO BENEFIT

Section 1. No member of the COUNTY government, Commissioners or individual officers elected therein, shall be admitted to any share or part of this Agreement or any benefit that may arise there from.

Section 2. Nothing in this Agreement is intended to create rights in any third party beneficiary.

ARTICLE XV: SEVERABILITY

The declaration by any court or other binding legal authority that any provision of this Agreement is illegal and void shall not affect the legality and enforceability of any other provision of this Agreement unless said provisions are mutually dependent.

ARTICLE XVI: ADVERTISEMENT AND PUBLIC NOTICES

GRANTEE shall ensure that any radio or television announcements, newspaper advertisements, press releases, pamphlets, mail campaigns, or any other method advising the public of their program that is funded with CSBG funds includes the following statement when feasible: "The funding source for this activity is Community Service Block Grant Funds made available through the Community Development Office of Adams County, Colorado."

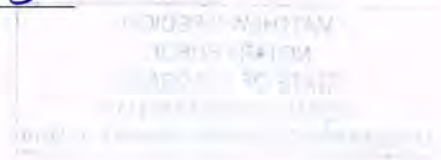
CONTRACTOR'S CERTIFICATION OF COMPLIANCE

Pursuant to Colorado Revised Statute, § 8-17.5-101, *et. seq.*, as amended 5/13/08, as a prerequisite to entering into a contract for services with Adams County, Colorado, the undersigned Contractor hereby certifies that at the time of this certification, Contractor does not knowingly employ or contract with an illegal alien who will perform work under the attached contract for services and that the Contractor will participate in the E-Verify Program or Department program, as those terms are defined in C.R.S. § 8-17.5-101, *et. seq.* in order to confirm the employment eligibility of all employees who are newly hired for employment to perform work under the attached contract for services.

CONTRACTOR:

Project Angel Heart
Company Name

6/8/15
Date

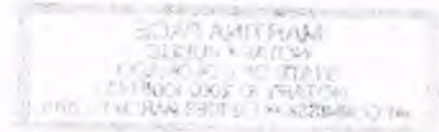


Erin Pulling
Name (Print or Type)

[Signature]
Signature

President & CEO
Title

Note: Registration for the E-Verify Program can be completed at: <https://www.vis-dhs.com/employerregistration>. It is recommended that employers review the sample "memorandum of understanding" available at the website prior to registering

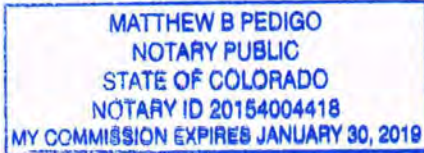


IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed on the day, month and year above written.

GRANTEE:

By: [Signature]
Title: President & CEO
Date: 6/9/15

WITNESS my hand and official seal.
My commission expires: Jan. 30, 2019



[Signature]
Notary Public

STATE OF COLORADO)
) ss.
ADAMS COUNTY)

The foregoing Agreement was executed before me this 30 day of June, 2015, by Charles "Chaz" Tedesco as the Chairman of BOCC, the agency named herein, the GRANTEE herein named.

WITNESS my hand and official seal.
My commission expires: 3-17-18



[Signature]
Notary Public

ADAMS COUNTY
STATE OF COLORADO

By [Signature]
Charles "Chaz" Tedesco, Chairman, Board of Commissioners

Date JUNE 30, 2015

APPROVED AS TO FORM:

[Signature]
Adams County Attorney's Office

EXHIBIT 1

**SCOPE OF SERVICES
COMMUNITY SERVICES BLOCK GRANT**

Services: Description of Project

Home-delivered nutritious meals, free of charge, living with life-threatening illnesses. Client meals will be based on individual medical diet restrictions. Our ability to make such individualized meal modifications makes Project Angel Heart unique among Adams County meal programs; this allows us to reach a population that would likely go hungry or eat inappropriately for their conditions were it not for our program.

Reduction of Poverty: Brief Description of Efforts to Reduce Poverty,

Project Angel Heart meals allow ill clients to continue to live independently through the provision of nutritious, individually appropriate, home-delivered meals. Meals are provided at no charge to our clients so they do not have to decide between purchasing food or purchasing medicine. Clients' dependents may also receive meals so clients do not have to choose between feeding themselves or feeding their loved ones. These meals allow clients in poverty to redirect their meager income to other areas of crucial need in their lives, making it less likely they will slide farther in to the vicious cycle of poverty that may have been caused by—or is certainly exacerbated by—illness. By providing meals to dependents of ill members of the community, the hope is to stabilize the entire family unit. In providing meals to often-neglected populations, Project Angel Heart attempts to thwart the effects of poverty within the community.

Population Served: Brief Description of Population to be Served.

Adams County residents living at or below 125% of the federal poverty level living with life-threatening illnesses.

Category:

- Health Nutrition Housing Employment Education
 Emergency Services Self-Sufficiency

Number of Residents to be Served by CSBG Specific Project (at or below 125% of poverty): 45

EXHIBIT 2

PROJECT BUDGET

CSBG Grant Detailed Budget - Exhibit 2		Adams County Community Development		
Name of Project/Activity: Meals on Wheels		Column 1	Column 2	Column 3
Project Angel Heart		ADCO Share	Applicant Share	Total
a. Personnel & Fringe Benefits (Direct Labor)				\$0.00
b. Travel				\$0.00
c. Equipment				\$0.00
d. Supplies				\$0.00
e. Contractual				\$0.00
f. Construction				\$0.00
g. Other (Direct Costs)	Meals	\$55,000.00	N/A	\$55,000.00
h. Subtotal of Direct Costs				\$0.00
i. Indirect Costs				\$0.00
Grand Total:		\$55,000.00	\$0.00	\$55,000.00

* Total client meal number is based on total projected Adams County clients/meals served during grant term.

The following Back-up & Source Documentation is required to be submitted with Draw-Down Requests for each eligible expense:

Eligible Expense	Required Back-up & Source Documentation
Client Meals	Copy of "Cost of Meal" Methodology & report of number of meals provided to Adams County Low-Income individuals

EXHIBIT 2

EXHIBIT 3

**ADAMS COUNTY COMMUNITY DEVELOPMENT
AMENDMENT POLICY**

for Community Development Block Grant (CDBG)

Community Services Block Grant (CSBG)

HOME Investment Partnerships Program (HOME)

I. MINOR BUDGET ADJUSTMENTS

Adjustments in budget line items are allowable as necessary provided the change does not exceed the total amount awarded and provided the expenditure is eligible for reimbursement. The Administrator of Community Development is authorized to approve minor budget adjustments that do not affect the total amount awarded. Recipients of grant awards should request approval of these adjustments in writing. The Administrator of Community Development will notify the recipients in writing of the County's approval.

For modifications in a project affecting the project award amount, approval by the Board of County Commissioners is required.

II. MINOR PROJECT MODIFICATION

A minor project modification is a change in the project which does not result in an increase to the previously determined award amount nor a change to the national objective or activity category as designated for the original project.

To request a minor project modification the recipient must submit a letter describing the changes, including a revised budget, to Adams County Community Development. The Administrator of Community Development will review the requested modification.

The Administrator of Community Development will notify the recipient in writing that the modification has been approved and that the recipient may proceed with project implementation, or that the requested modification has not been approved.

III. SUBSTANTIAL PROJECT MODIFICATION

A substantial project modification is any change that is not a minor budget adjustment or minor project modification as described above.

Prior to formal submission, the Administrator of Community Development must review the proposed modification for grant eligibility and consistency with the Consolidated Plan. Upon formal written request from the recipient, Community Development will:

- review the project for complete information, for compliance as an eligible grant activity, and for consistency with the Consolidated Plan;

- complete an environmental review, if required;
- consult with the County Attorney if standard contract provisions may be at issue; and
- ensure that the public is informed of the proposed change if required by the Citizen Participation Plan.

Substantial project modifications require approval of the Board of County Commissioners and an amendment to the Contract.

EXHIBIT 3

EXHIBIT 4

CSBG CERTIFICATIONS

The grantee assures that activities implemented with CSBG funds will be:

- used to accomplish the State CSBG Goal and Objective stated in the State Plan; and
- within the requirements set forth in the Community Services Block Grant Act, Title IV of the Civil Rights Act, the Age Discrimination Act of 1975, the Rehabilitation Act of 1973, Public Law 103-227, Part C, Environmental Tobacco Smoke, also known as the Pro-Children Act of 1994 (Act), Certification Regarding Drug-Free Workplace Requirements, Certification Regarding Lobbying, Certification Regarding Debarment, Suspension, and Other Responsibility Matters - Primary Covered Transactions, Office of Management and Budget (OMB Circular A110 and A122), and the current State of Colorado CSBG Plan.

The Grantee also assures that it will:

- specifically consider, in a public meeting the designation of any local public or private entity to carry out the county community service activities under contract with the county, any local community action agency (CAA) which received federal fiscal 1981-82 funding; and
- consider, on the same basis as other non-governmental organizations, religious organizations to provide the CSBG services, so long as the program is implemented in a manner consistent with the Establishment Clause of the first amendment to the Constitution. Grantees shall not discriminate against an organization that provides assistance under, or applies to provide assistance, on the basis that the organization has a religious character. (Please review Sec.679 Operational Rule in the CSBG Act); and
- provide for coordination between community anti-poverty programs and ensure, where appropriate, that emergency energy crisis intervention programs under Title XXVI (relating to low-income home energy assistance) are conducted in such community; and
- provide, on an emergency basis, for the provision of such supplies and services, nutritious foods, and related services, as may be necessary to counteract conditions of starvation and malnutrition among low-income individuals; and
- coordinate, to the extent possible, programs with and form partnerships with other organizations serving low-income residents of the community and members of groups served, including religious organizations, charitable groups, and community organizations; and
- establish procedures under which a low-income individual, community organization, or religious organization, or representative of low-income individuals that considers its organization, or low-income individuals, to be inadequately represented on the CSBG board (or other mechanism) to petition for adequate representation; and
- ensure that in order for a public organization to be considered an eligible entity, the entity shall administer the CSBG program through a tri-partite board, which shall have members selected by the organization, and shall be composed so as to assure that no fewer than 1/3 of the members are persons chosen in accordance with democratic selection procedures adequate to assure that these members are:
 1. Representative of low-income individuals and families in the community served; and
 2. Reside in the community served; and
 3. Able to participate actively in the development, planning, implementation and evaluation of the program
- ensure that In order for a private, non-profit agency to be considered an eligible entity, the entity shall administer the CSBG program through a tri-partite board that fully participates in the development, planning, implementation, and evaluation of the program. The members of the board shall be selected by the entity and the board shall be composed so as to assure that:
 1. 1/3 of the members of the board are elected public officials holding office or their representatives; and
 2. Not fewer than 1/3 of the members are persons chosen in accordance with democratic selection procedures adequate to assure that these members are representative of low-income individuals and families in the neighborhood served and resides in the neighborhood represented; and
 3. The remainder of the members are officials or members of business, industry, labor, religious, law enforcement, education or other major groups and interests in the community served.
- prohibit the purchase or improvement of land, or the purchase, construction, or permanent improvement (other than low-cost residential weatherization or other energy-related home repairs) of

- any building or facility with CSBG funds; and
- prohibit, including subcontractors, (a) any partisan or nonpartisan political activity or any political activity associated with a candidate, or contending faction or group, in an election for public or party office, (b) any activity to provide voters or prospective voters with transportation to the polls or similar assistance in connection with any such election, or (c) any voter registration activity; and
- prohibit that persons shall, on the basis of race, color, national origin or sex, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under, any program or activity funded in whole or in part with CSBG. Any prohibition against discrimination on the basis of age under the Age Discrimination Act of 1975 (42 U.S.C 6101 et seq.) or with respect to an otherwise qualified individual with a disability as provided in Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 12131 et seq.) shall also apply to any such program or activity; and
- participate in the Results-Oriented Management and Accountability (ROMA) System, and describe outcome measure to be used to measure performance in promoting self-sufficiency, family stability, and/or community revitalization; and
- make available for public inspection each plan prepared as part of the program planning process. The Grantee may, at its initiative, revise any plan prepared for CSBG funding and shall furnish the revised plan to the Director of the Community Services Block Grant under the Department of Local Affairs. Each plan prepared for submission shall be made available for public inspection within the county and/or service area in such a manner as will facilitate review of, and comments on, the plan; and
- cooperate with the State, to determine whether grantee performance goals, administrative standards, financial management requirements, and other requirements of the State, in conducting monitoring reviews including (1) a full on-site review for each grantee at least once during each 3-year period, (2) on-site review for each newly designated grantee immediately after the completion of the first year in which funds were received, (3) follow-up reviews with grantees that fail to meet the goals, standards, and requirement established by the State, and (4) other reviews as appropriate, including reviews of grantees with other programs that have had other federal, State, or local grants terminated for cause; and
- make available appropriate books, documents, papers, and records for inspection, examination, copying, or mechanical reproduction on or off the premises upon reasonable request by the U.S. Controller General, the State, or their authorized representatives should an investigation of the uses of CSBG funds be undertaken; and
- in the case of county governments or Subgrantees which receive a CSBG award in excess of \$100,000, comply with the following three certifications related to the "Limitation on use of appropriated funds to influence certain Federal Contracting and financial transactions (P.L. 101-121, Section 319 and USC Title 31 Section 1352)":
 1. No Federal appropriated funds have been paid or will be paid by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement.
 2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or any employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form LLL, "Disclosure Form to Report Lobbying," in accordance with its instruction.
 3. The undersigned shall require that the language of this certification be included in the award document for subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

The Grantee certifies to the best of its knowledge and belief, that it and its principals:

- a) are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
- b) have not within a three-year period preceding this proposal been convicted or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public transaction; violation of Federal or State antitrust statutes

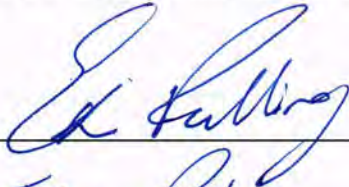
- or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
- c) are not presently indicted for otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (b) of this certification; and
 - d) have not within a three-year period preceding this application had one or more public transactions (Federal, State or local) terminated for cause or default.

The Grantee further certifies that it:

- a) requires that smoking not be permitted in any portion of any indoor routinely owned or leased or contracted for by an entity and used routinely or regularly for provisions of health, day care, education, or library services to children under the age of 18, if the services are funded by Federal programs either directly or through State or local governments, by Federal grant, contract, loan, or loan guarantee.
- b) that it will require the language of this certification be included in any sub awards which contain provisions for the children's services and that all Subgrantees shall certify accordingly.

If you are unable to certify to any of the statements in this certification, please attach an explanation to this application.

SIGNATURE: _____



PRINT NAME: _____

Erin Pulling

POSITION TITLE: _____

President & CEO

DATE: _____

6/8/15

EXHIBIT 5

INSURANCE

General Liability Insurance: Commercial General Liability Insurance written on ISO occurrence form CG 00 01 10/93 or equivalent, covering premises operations, fire damage, independent contractors, products and completed operations, blanket liability, personal injury, and advertising liability with minimum limits as follows:

General Aggregate	\$1,000,000
Each Occurrence	\$1,000,000
Products & Completed Operations Aggregate	\$1,000,000
Any One Fire	\$50,000

If any aggregate limit is reduced below \$1,000,000 because of claims made or paid, GRANTEE shall immediately obtain additional insurance to restore the full aggregate limit and furnish to Adams County a certificate or other document satisfactory to Adams County showing compliance with this provision.

Automobile Liability Insurance: To include all motor vehicles owned, hired, leased, or borrowed:

Bodily Injury/Property Damage	\$1,000,000 (each accident combined single limit)
Personal Injury Protection	per Colorado Statutes

Worker's Compensation: Worker's Compensation Insurance as required by State statute, and Employer's Liability insurance covering all of GRANTEE employees acting within the course and scope of their employment.



Neighborhood Services Department
Community Development
4430 South Adams County Parkway
1st Floor, Suite W6202
Brighton, CO 80601
PHONE 720.523.6200
FAX 720.523.6996
www.adcogov.org

February 2, 2015

Erin Pulling, Executive Director
Project Angel Heart
4950 Washington Street
Denver, CO 80216

RE: 2015 CSBG Estimated Funding – Meals on Wheels Program
Catalog of Federal Domestic Assistance (CFDA) # 93.569

Dear Ms. Pulling,

We truly appreciate the time and effort your organization invested in preparing its 2015 Community Service Block Grant (CSBG) application. Congratulations, your application for the program listed above has been funded for the estimated amount of **\$55,000**. Your application was approved to include the following:

- Meals

Please provide written confirmation that your agency will be accepting this award as listed above no later than **February 18, 2015**.

This award is contingent upon receipt of funds and does not obligate Adams County if these funds are not received or if final federal funding levels are below amounts currently estimated for the 2015 program year.

Requests received this year exceeded the funds available for distribution. CSBG applicants were screened by Adams County Community Development (ACCD) for program eligibility and funding recommendations were made by the Community & Neighborhood Resources Advisory Council. The Adams County Board of County Commissioners made final funding decisions for all grant awards.

The timeline for this award is March 1, 2015 through February 28, 2016. You will be contacted by ACCD to work out the details of the Subgrantee Agreement. Please do not enter into any agreements that would commit these funds before that time. No activities can begin for the proposed project until the Subgrantee Agreement is fully executed. Beginning activities before funds are officially released will result in program ineligibility and non reimbursement.

Please feel free to contact me at 720.523.6210 or lespinoza@adcogov.org if you have any questions. Thank you again for the important work you do and for your interest in ACCD funding opportunities.

Sincerely,

Liz Espinoza
Grants Coordinator
Adams County Community Development

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE ADAMS COUNTY COMMUNITY SERVICES BLOCK
GRANT PROJECT FUNDING AWARDS

Resolution 2015-026

WHEREAS, the Federal government has established the Community Services Block Grant Program (CSBG) to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and

WHEREAS, U.S Department of Health and Human Services (HHS) allocates Community Services Block Grant funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and

WHEREAS, Adams County is eligible to receive an estimated \$409,846 for the 2015/2016 program year from the State of Colorado, Department of Local Affairs; and

WHEREAS, the Adams County Community & Neighborhood Resources Advisory Council held a meeting on December 9, 2014 to review and recommend proposed Community Services Block Grant projects for 2015/2016 to the Board of County Commissioners; and

WHEREAS, a Study Session was held on January 13, 2015 to present recommendations for Commissioner funding consideration; and

WHEREAS, the project awards will be included as part of the 2015-2018 Adams County Community Action Plan to the State of Colorado, Department of Local Affairs; and

WHEREAS, much of this information is regular and routine, and the Board of County Commissioners wishes to designate the Director of the Neighborhood Services Department and the Community Development Manager to sign necessary documents to carry out the ongoing activities of the program.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, and State of Colorado, that the following Adams County CSBG project awards be approved for PY2015/16:

Agency	PY2015/16
Almost Home, Inc.	\$30,000
Center for People with Disabilities	\$33,950
Growing Home, Inc.	\$79,050
Lutheran Social Services of Colorado	\$20,000
Project Angel Heart	\$55,000
Admin & Linkages	\$191,846
TOTAL PY2015/16	\$409,846

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Tedesco _____ Aye
O'Dorisio _____ Aye
Henry _____ Aye
Hansen _____ Aye
Pawlowski _____ Aye
Commissioners

STATE OF COLORADO)
County of Adams)

I, Stan Martin, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 20th day of January, A.D. 2015.

County Clerk and ex-officio Clerk of the Board of County Commissioners

Stan Martin:



By:

E-Signed by Erica Hannah ?
VERIFY authenticity with e-Sign

Deputy

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

A RESOLUTION CONCERNING THE ADAMS COUNTY
COMMUNITY SERVICES BLOCK GRANT APPLICATION AND WORK PLAN
FOR 2015-2018

Resolution 2015-032

WHEREAS, the Federal government has established the Community Services Block Grant Program (CSBG) to provide a range of services and activities designed to have an impact on the causes of poverty in local communities; and

WHEREAS, the U.S Department of Health and Human Services (HHS) allocates Community Services Block Grant funds to the State of Colorado, Department of Local Affairs through an annual formula allocation; and

WHEREAS, Adams County has received Community Services Block Grant funds since 1974; and

WHEREAS, Adams County is eligible to receive an estimated \$409,846 for the 2015/16 program year from the State of Colorado, Department of Local Affairs; and

WHEREAS, the Adams County Community & Neighborhood Resources Advisory Council has provided direction for the proposed Community Services Block grants for 2015-2018 and has made their funding recommendations to the Board of County Commissioners; and

WHEREAS, public notice was provided regarding the Public Hearing for the 2015-2018 CSBG Application and Work Plan; and

WHEREAS, a Public Hearing was held on January 20, 2015, for the approval and adoption for the 2015/16 sub-grantee grant awards; and

WHEREAS, much of this information is regular and routine, and the Board of County Commissioners wishes to designate authorized representatives as signatories for any non-contractual documents as required by the various funding sources; and

WHEREAS, the Director of the Neighborhood Services Department and the Community Development Manager have been authorized to sign necessary documents to carry out the on-going activities of the program; and

NOW, THEREFORE, BE IT RESOLVED by the Adams County Board of County Commissioners, County of Adams, and State of Colorado, that the Adams County Community Services Block Grant 2015-2018 Application and Work Plan be approved.

BE IT FURTHER RESOLVED, that the Chairman of the Adams County Board of County Commissioners be authorized to sign the 2015-2018 CSBG Application and Work Plan, the 2015 CSBG Sub-Grantee Award Agreements, subgrantee option letters and any related Adams County 2015-2018 CSBG program modifications and amendments.

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Tedesco _____ Aye
O'Dorisio _____ Aye
Henry _____ Aye
Hansen _____ Aye
Pawlowski _____ Aye
Commissioners

STATE OF COLORADO)
County of Adams)

I, Stan Martin, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 27th day of January, A.D. 2015.

County Clerk and ex-officio Clerk of the Board of County Commissioners

Stan Martin:



By:

E-Signed by Erica Hannah ?
VERIFY authenticity with e-Sign

Deputy



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Major Subdivision, Final Plat for Grasslands at Comanche, Filing 1
FROM: Norman Wright, Director of Community & Economic Development
AGENCY/DEPARTMENT: Community & Economic Development Department
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the Grasslands at Comanche, Filing 1 Final Plat with 7 findings-of-fact and 1 note.

BACKGROUND:

Holly Investment Company, the applicant, is requesting a major subdivision final plat to create 18 lots, and associated public roads on approximately 57 acres. The subject request is located in the Grasslands at Comanche Planned Unit Development. The property abuts Strasburg Road to the east and Woodchest Street to the north. The proposed lots in the subdivision will have access on public rights-of-way, specifically on Woodchest Street, East 74th Avenue, and Van Sickle Street. A majority of the surrounding properties to the south, west, and east of the property are all undeveloped or used for agriculture. The properties to the north are developed as single-family residential. Section 2-02-17-04 of the County's Development Standards and Regulations outline the criteria for approval of a final plat. The proposed request conforms to all requirements outlined in the Development Standards and Regulations (see attached staff report).

Per Section 5-02-05 of the County's Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required with approval of a final plat. The SIA is for public improvements including drainage improvements and construction of three local streets to serve the proposed subdivision. The SIA is required to address the manner and timing of the completion of all improvements, including responsibility for payment of the costs of improvements associated with the development. Staff has reviewed the SIA for the proposed subdivision and determined the proposed agreement complies with the County's Development Standards and Regulations (See Exhibit 3.3). No construction, building or change-in-use permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to Adams County.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Community & Economic Development Department

ATTACHED DOCUMENTS:

- BOCC staff report and packet
- Resolution approving application in case PLT2016-00032

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING APPLICATION IN CASE #PLT2016-00032
GRASSLANDS AT COMANCHE, FILING 1 FINAL PLAT**

WHEREAS, this case involved a Request for Final Plat to create 18 single-family residential lots and a Subdivision Improvements Agreement.

APPROXIMATE LOCATION: Approximately 1,000 feet northwest of the intersection of East 72nd Avenue and Strasburg Road, Strasburg, CO (Parcel # 0173133400008).

LEGAL DESCRIPTION: DEDICATION FILING 1:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNER OF

THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING;

THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT,

THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD

OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 2008000005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) N45°02'41"E, A DISTANCE OF 817.24 FEET; THENCE 6) S64°51'03"E, A DISTANCE OF 109.94 FEET; THENCE 7) S89°54'09"E, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE S00°05'51"W PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

WHEREAS, the Board of County Commissioners held a public hearing on the application on the 29th day of August, 2017; and

WHEREAS, substantial testimony was presented by members of the public and the applicant.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that based upon the evidence presented at the hearing, the application in this case is hereby APPROVED based upon the following findings-of-fact and subject to the fulfillment of the following conditions by the applicant:

FINDINGS-OF-FACT FOR APPROVAL:

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision, have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

NOTE:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.



COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: PLT2016-00032

CASE NAME: GRASSLANDS AT COMANCHE, FILING 1

TABLE OF CONTENTS

EXHIBIT 1 – BoCC Staff Report

EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Future Land Use Map
- 2.4 Simple Map

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Site Plan
- 3.3 Subdivision Improvements Agreement

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Adams County)
- 4.2 Referral Comments (Colorado Geologic Survey)
- 4.3 Referral Comments (IREA)
- 4.4 Referral Comments (TCHD)
- 4.5 Referral Comments (Xcel)

EXHIBIT 5- Citizen Comments

None

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Referral Agency Labels
- 6.3 Property Owner Labels

CASE No.: PLT2016-00032	CASE NAME: Grasslands at Comanche, Filing 1
--------------------------------	--

Owner's Name:	Holly Investment Co.
Applicant's Name:	Loren L. Losh
Applicant's Address:	P.O. Box 557, Strasburg, CO 80136
Location of Request:	Approximately 1,000 feet northwest of the intersection of East 72 nd Avenue and Strasburg Road
Parcel #:	0173133400008
Nature of Request:	Major subdivision (final plat) to create 18 lots on approximately 57 acres with an associated Subdivision Improvements Agreement (SIA).
Zone District:	Planned Unit Development (PUD)
Site Size:	57 acres
Proposed Uses:	Single-Family Residential
Existing Use:	Vacant
Hearing Date:	August 29, 2017/ 9:30 am
Report Date:	August 10, 2017
Case Manager:	Greg Barnes
Staff Recommendation:	APPROVAL with 7 Findings-of-Fact and 1 Note

SUMMARY OF PREVIOUS APPLICATIONS

On January 21, 2007, the Board of County Commissioners (BOCC) approved (Case # PRJ2007-00004): 1) a rezoning of approximately 18 acres from Agricultural-3 (A-3) to Agricultural-2 (A-2), and 402 acres from A-3 to Agricultural-1 (A-1); 2) a preliminary development plan for 120 residential lots on 402 acres, an 18 acre school site, and approximately 210 acres reserved in conservation easement; and 3) a preliminary plat for 120 residential lots.

On January 14, 2008, the Board of County Commissioners approved (Case # PRJ2007-00036): 1) a final development plan (FDP) for 118 residential lots, a 17 acre school site, and 210 acres reserved as a conservation easement; 2) a final plat for 10 residential lots, referenced as Grasslands at Comanche, Filing 2. The remaining portions of the approved preliminary plat was not included in the final plat approval and expired. Per Section 2-02-17-03-07 of the County's Development Standards and Regulations, a preliminary plat approval shall lapse two (2) years from the date of approval if a final plat is not submitted.

On September 13, 2016, the Board of County Commissioners approved (Case # PLT2016-00012) a preliminary plat for 18 residential lots on 57 acres, known as Grasslands at Comanche, Filing 1.

SUMMARY OF APPLICATION

Background:

Holly Investment Company, the applicant, is requesting a major subdivision final plat to create 18 lots, and associated public roads on approximately 57 acres. The subject request is located within the approved final development plan boundary for the Grasslands at Comanche PUD. This portion of the development is known as Filing 1. The BOCC previously approved Filing 2 of the PUD in 2008.

The Grasslands at Comanche Final Development Plan (FDP) was approved for 118 rural-residential lots and 210 acres of land on the northwestern portion of the development as a conservation easement. Residential development within the PUD is expected to be similar in density and design to that of development in the Agricultural-1 zone district.

Development Standards and Regulations Requirements:

Per Section 5-03-03 of the County's Development Standards and Regulations, subdivision plats and lot dimensions are required to conform to all dimensional requirements of the zone district in which the property is located. In addition, all lots created by a subdivision shall have access to a County maintained right-of-way. The minimum lot size approved with the final development plan is 2.5 acres. All proposed lots in the subject plat conform to the minimum dimensional requirements approved in the FDP, including the minimum lot width. The minimum proposed lot width is 75 feet. Additionally, all proposed lots will have access on a public right-of-way, specifically on Woodchest Street, East 74th Avenue, and Van Sickle Street.

A proof of adequate water and sewer services is required for the approval of a final plat. The applicant obtained a letter from the Colorado Division of Water Resources stating that adequate water supply is available to support the proposed development. For sewer services, individual septic systems will be provided for each lot. Tri-County Health reviewed the request and did not have concerns with the use of septic systems on the lots. In addition, the minimum lot size allowed in the Grasslands at Comanche PUD is 2.5 acres, which is similar to the Agricultural-1 (A-1) zone district. Individual septic systems are allowed in the A-1 district with restrictions on allowed lot coverage. Per Section 3-08-07-06-01 of the County's Development Standards, lots in the A-1 district served by well and individual sewage disposal systems shall not exceed 6% structure coverage.

In addition to the required subdivision design standards, all new developments are required to dedicate land to support new or expanded parks and schools to serve future residents and employees of the proposed subdivision. As an alternative to land dedication, applicants may pay fees-in-lieu of the required land dedication. All Public Land Dedication (PLD) requirements have been fulfilled. Previously, 17 acres of land was dedicated with the approval of the FDP for a

school site. This dedication exceeded seven acres that was required for development of 118 new dwelling units. For the neighborhood parks requirements, the dedication of 210 acres of land as a conservation easement in the FDP fulfilled the land dedication requirements for neighborhood parks. The applicant has paid cash-in-lieu of dedication for all required land dedication for regional parks. Based on the requirements outlined in Section 5-05-05-02-01 and 05-05-04-02-01 of the County's Development Standards and Regulations, a total of \$3,196.91 was required.

Subdivision Improvements Agreement:

In accordance with Section 5-04 of the County's Development Standards and Regulations, public improvements will be constructed in the proposed subdivision prior to the issuance of building permits. The subdivision improvements agreement includes construction of three roadways, specifically Van Sickle Street, Woodchest Street, and East 74th Avenue. The agreement also includes public facilities for drainage. Per Section 5-02-05 of the County's Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) with applicable collateral is required with any applications for a final plat. Staff has reviewed the associated SIA and collateral submitted with the application and confirmed the agreement complies with the County's Development Standards and Regulations.

Future Land Use Designation/Comprehensive Plan:

The Adams County Comprehensive Plan future land use map designates the subject area as Agriculture. Per Chapter 5 of the County's Comprehensive Plan, the purpose of the Agriculture future land use designation is to preserve areas for long term farming, and separate and define urban areas. Agriculture areas are also expected to develop with very low density residential uses and at densities of one dwelling unit per 35 acres. Further, the Agriculture future land use areas should be preserved for long-term farming, conservation of environmentally-sensitive area, and limit the extension of services where they are costly and difficult to provide.

The proposed subdivision is a portion of the Grasslands at Comanche PUD. The approved final development plan for this area includes 210 acres within conservation easements to preserve the rural character of the area and environmentally-sensitive lands. The proposed final plat complies with the approved final development plan for the area.

Site Characteristics:

The site is approximately four miles north of Strasburg; more specifically, 1,000 feet northwest of the intersection of East 72nd Avenue and Strasburg Road. The property is currently vacant; however, it is adjacent to single-family residential dwellings, approved as part of the Grasslands at Comanche PUD, Filing 2 plat.

Surrounding Zoning Designations and Existing Use Activity:

Northwest PUD Vacant	North PUD Single-Family Residential	Northeast PUD Single-Family Residential
West PUD Vacant	Subject Property R-1-C Single-Family Residential	East A-3 Vacant
Southwest PUD Vacant	South PUD Vacant	Southeast A-3 Vacant

Compatibility with the Surrounding Area:

A majority of properties to the north and northeast of the proposed subdivision are developed as single-family residential uses. The developments are all within the Grasslands at Comanche PUD. All other areas surrounding the proposed final plat are currently vacant and likely be developed as single-family, consistent with the approved PUD.

Staff Recommendation:

Based upon the application, the criteria for a Major Subdivision Final Plat, and a recent site visit, staff recommends approval of this request with 7 findings-of-fact and 1 note:

RECOMMENDED FINDINGS OF FACT

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.

6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Notes to the Applicant:

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

CITIZEN COMMENTS

Notifications Sent	Comments Received
15	0

Notices were sent to property owners within 750 feet radius of the site. As of writing this staff report, staff has received no comments from those notified.

COUNTY STAFF COMMENTS:

Adams County Development Review Engineering reviewed the subject request and stated all construction and drainage plans have been approved. There are no outstanding unresolved comments associated with the subject request. The proposed final plat conforms to the approved preliminary plat.

REFERRAL AGENCY COMMENTS:

The Colorado Geologic Survey reviewed the request and identified presence of collapsible soils on the property. They stated it is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed, and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of building foundations.

Responding with Concerns:

Colorado Geological Survey

Responding without Concerns:

Colorado Division of Water Resources
 Intermountain Rural Electric Association (IREA)
 Tri-County Health Department

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Century Link

Colorado Division of Wildlife

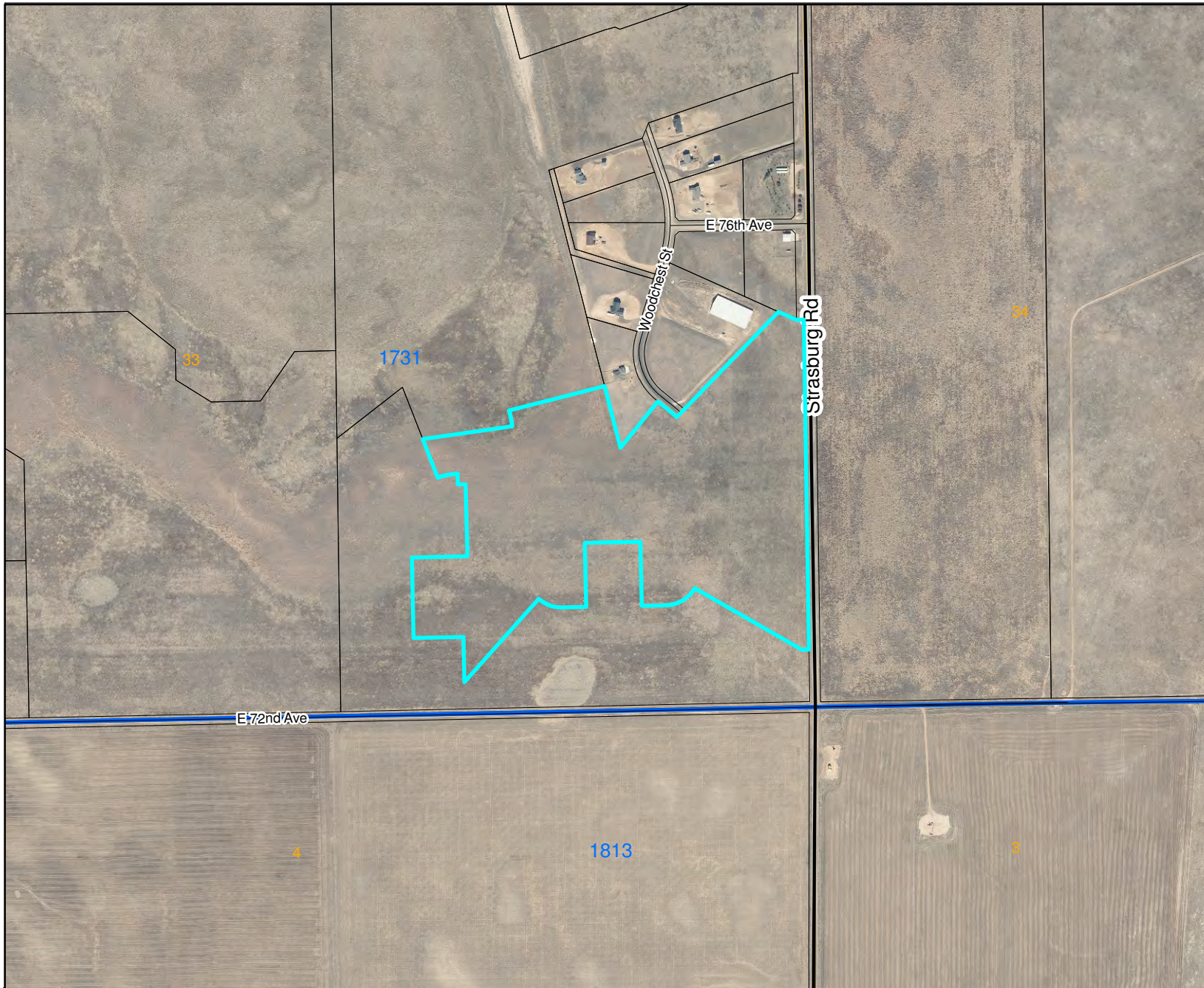
Comcast

Strasburg Fire District #8

































Strasburg Parks & Recreation District

School District 31J

U.S. Post Office



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Grasslands at Comanche, Filing 1

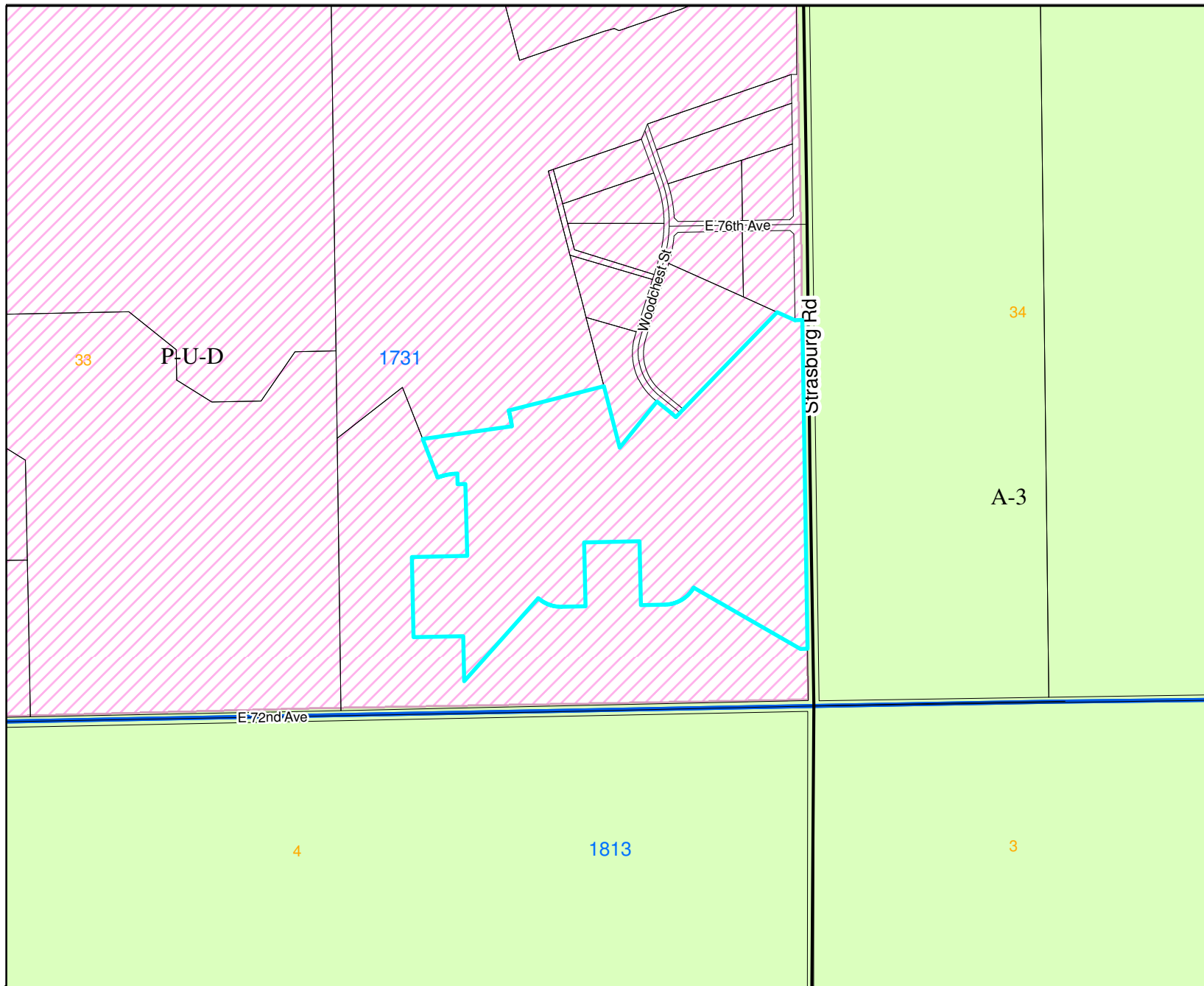
PLT2016-00032



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Grasslands at Comanche, Filing 1

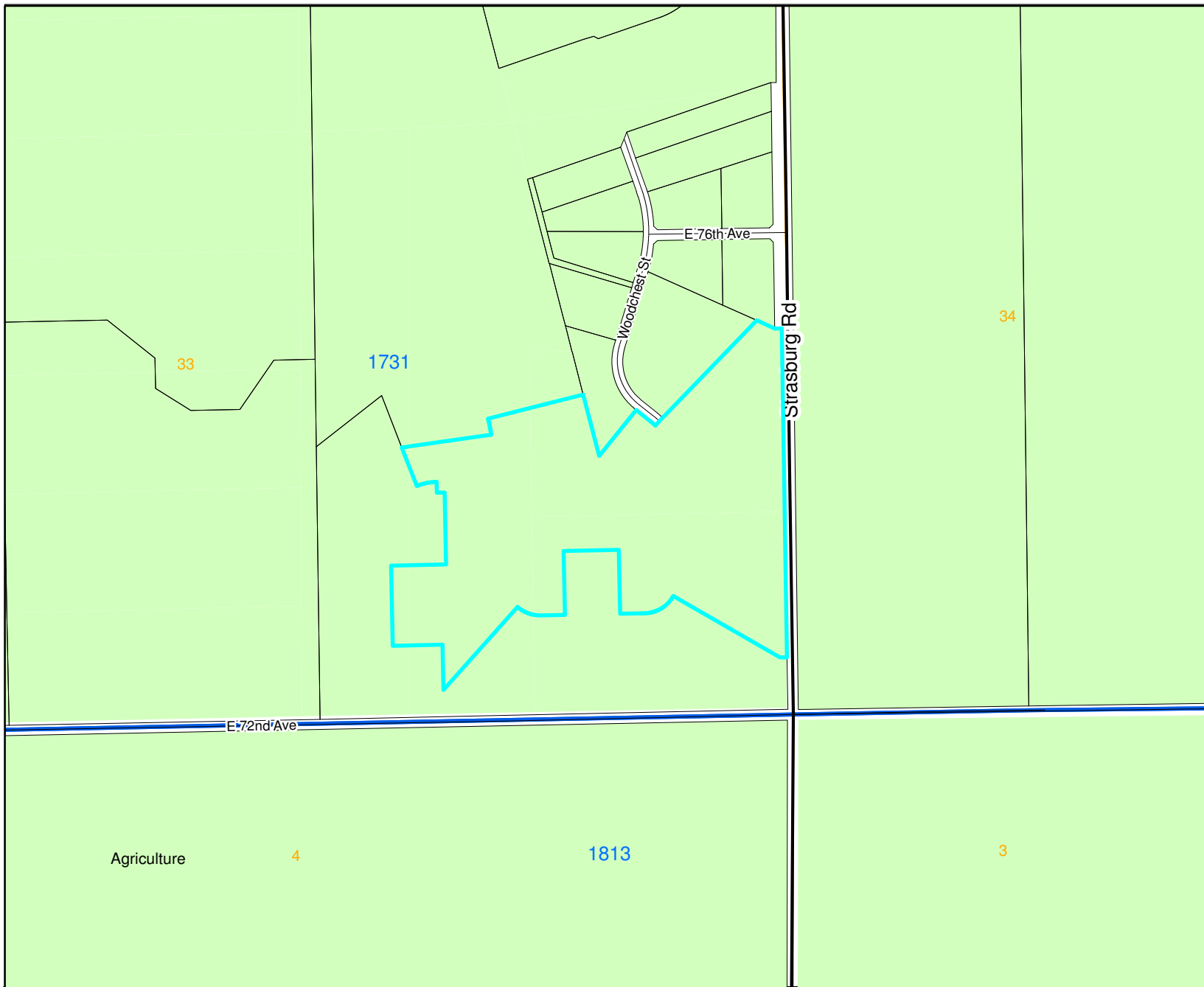
PLT2016-00032



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Grasslands at Comanche, Filing 1

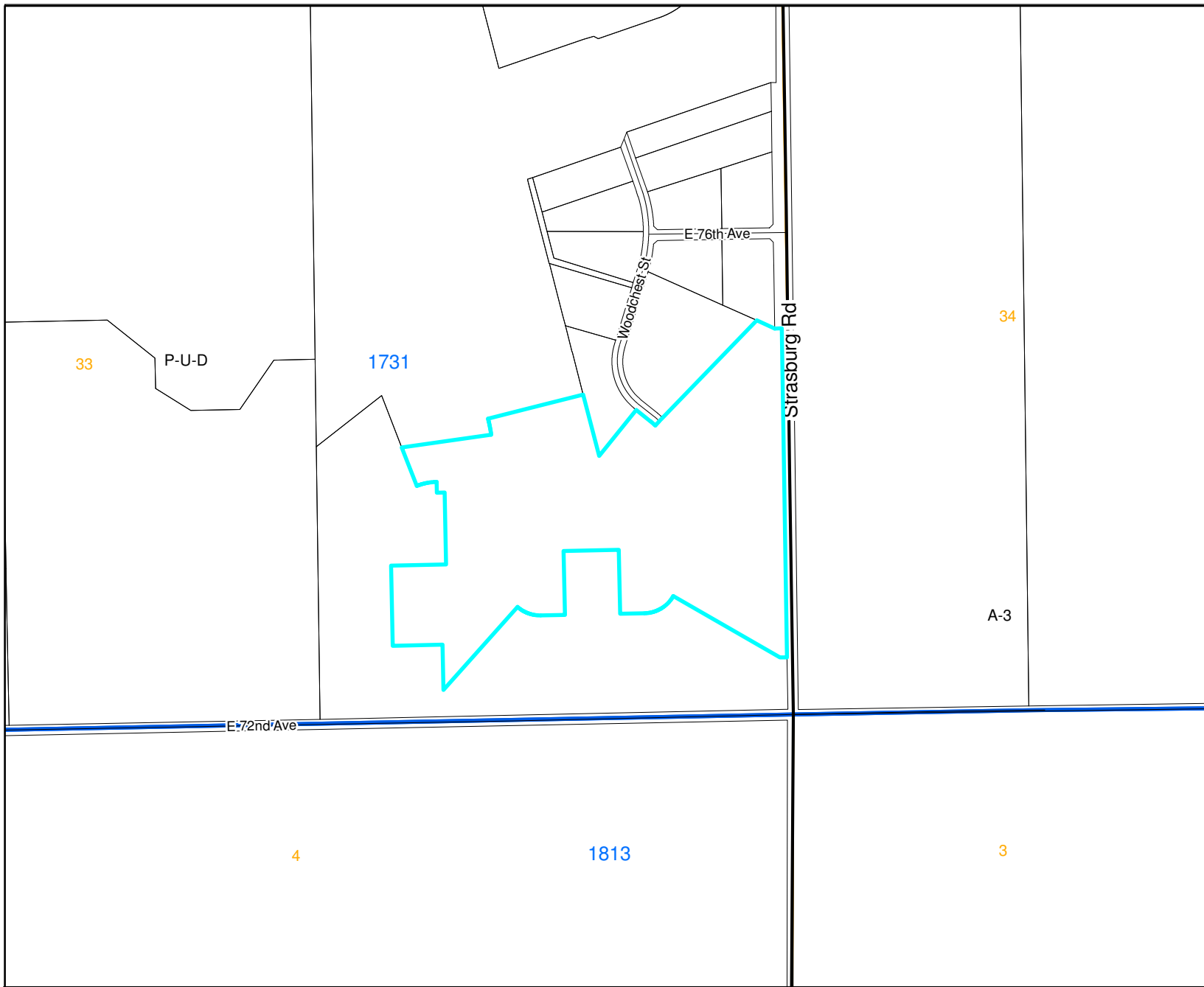
PLT2016-00032



































For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

Grasslands at Comanche, Filing 1

PLT2016-00032



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

Explanation of Project

Holly Investment Co. is requesting approval of Subdivision-Major/Final for Parcel A of the plat recorded in Adams County Land Survey Plats on Page 4588 with Reception #2016-019 of Section 33, T2South, Range 62W, PUD Case #PRJ2007-00004 and #PRJ2007-00036. This request would allow the construction and sale of homes on eighteen (18) 2.5 and larger acre lots.

The property is located along the West side of paved Strasburg Road and South of the previously opened Filing 2 for said PUD. Access for the additional 18 homes will be via East 76th Avenue from Strasburg Road and South on Woodchest Street. Road construction will continue South on Woodchest Street culminating in a temporary cul-de-sac at the South property line of 7330 Woodchest Street (Filing 1, Block 1, Lot 5). East 74th Avenue will be constructed beginning at Woodchest Street and extending to the West and culminating in a temporary cul-de-sac on the West side of the intersection of East 74th Avenue and Van Sickle Street. Van Sickle Street will be constructed North from that intersection to the North boundary of Filing 1 and will have a temporary cul-de-sac at that point. Van Sickle Street will continue to the South culminating in a temporary cul-de-sac at the South property line of 7337 Van Sickle Street (Filing 1, Block 2, Lot 5). The Strasburg Fire Protection District has been contacted regarding access to these lots and a letter stating their approval of this plan is attached.

Water and sewer will be provided to each lot through individual wells and individual Onsite Wastewater Treatment Systems.

GRASSLANDS AT COMANCHE - FIRST FILING

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. CASE NO: PLT2016-00032
 SHEET 1 OF 5
 VICINITY MAP

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNER OF THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING; THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 200800005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) N45°02'41"E, A DISTANCE OF 817.24 FEET; THENCE 6) S64°51'03"E, A DISTANCE OF 109.94 FEET; THENCE 7) S89°54'09"E, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE S00°05'51"W PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, STREETS AND EASEMENTS, AS SHOWN ON THIS PLAT, UNDER THE NAME AND STYLE OF GRASSLANDS AT COMANCHE - FIRST FILING AND DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, STATE OF COLORADO, FOR THE USE OF THE PUBLIC, ALL STREETS, AND OTHER PUBLIC WAYS AND LANDS AS SHOWN ON THIS PLAT, FOREVER, AND ALSO GRANT THE EASEMENTS AS SHOWN, LABELED AS UTILITY EASEMENTS ON THIS PLAT, FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC LINES, GAS LINES, TELEPHONE LINES, SEWER LINES, WATER LINES; TOGETHER WITH A RIGHT TO TRIM INTERFERING TREES AND BRUSH, TOGETHER WITH A PERPETUAL RIGHT INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES; SAID EASEMENTS AND RIGHTS TO BE UTILIZED IN A RESPONSIBLE AND PRUDENT MANNER. EXECUTED THIS _____ DAY OF _____, 20____.

LOREN L. LOSH FOR HOLLY INVESTMENT CO., A COLORADO CORPORATION

ACKNOWLEDGEMENT:

COUNTY OF ADAMS)
)SS
 STATE OF COLORADO)

THE FOREGOING WAS ACKNOWLEDGED BY ME THIS _____ DAY OF _____, 20____, BY LOREN L. LOSH FOR HOLLY INVESTMENT CO., A COLORADO CORPORATION.

NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

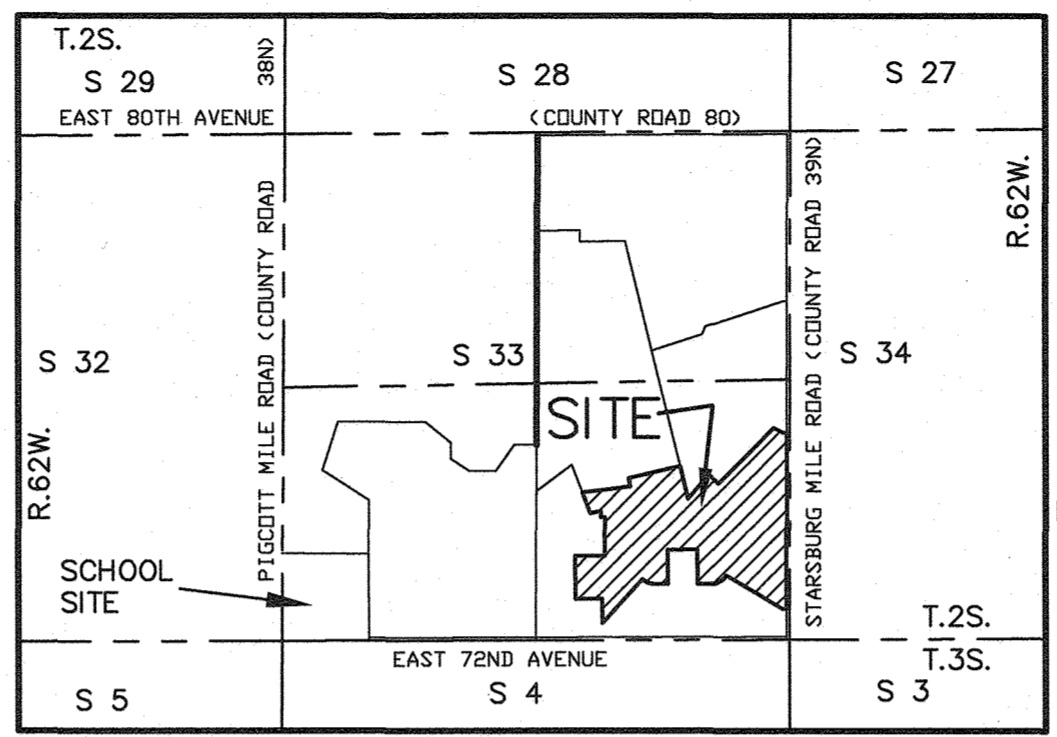
BASIS FOR BEARINGS:

THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER (THE SOUTH 1/4 CORNER IS A 2" ALUMINUM CAP, P.L.S. 18475 AND THE SOUTHEAST CORNER IS A 3-1/4" ALUMINUM CAP, L.S. 23519, IN RANGE BOX) OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, IS ASSUMED TO BEAR SOUTH 89°46'56" WEST. ALL BEARINGS DESCRIBED HEREIN ARE RELATIVE THERETO.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATED OF THE CERTIFICATION SHOWN HEREON.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R.W. BAYER & ASSOCIATES, INC. OF THE PROPERTY SHOWN AND DESCRIBED HEREIN TO DETERMINE OWNERSHIP OF THE TRACT OF LAND, COMPATIBILITY OF THIS DESCRIPTION WITH THOSE OF ADJACENT TRACTS OF LAND OR RIGHTS-OF-WAY, EASEMENTS OR ENCUMBRANCES OF RECORD AFFECTING THIS TRACT OF LAND. R.W. BAYER & ASSOCIATES, INC. HAS RELIED UPON FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 597-F0566298-141-KKM, AMENDMENT NO. 4, DATED OCTOBER 19, 2016 AT 7:00 A.M., FOR OWNERSHIP AND FOR THE PURPOSE OF SHOWING RECORDED EASEMENTS AND RIGHT-OF-WAY ACROSS THESE PREMISES.



PLAT NOTES:

AS SHOWN ON THIS PLAT: TEN-FOOT (10') WIDE UTILITY (FIVE FOOT ON EACH SIDE) EASEMENTS ARE HEREBY GRANTED ON PRIVATE PROPERTY ALONG COMMON SIDE AND REAR LOT LINES. THESE EASEMENTS ARE DEDICATED FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ELECTRIC, GAS, TELEVISION CABLE, AND TELECOMMUNICATIONS FACILITIES. UTILITIES SHALL ALSO BE PERMITTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES AND WATER METERS SHALL NOT BE PERMITTED WITHIN SAID EASEMENTS.

AS SHOWN ON THIS PLAT: FIFTEEN FOOT WIDE (15') WIDE DRY UTILITY AND DRAINAGE EASEMENTS ADJOINING ALL EXTERIOR AND INTERIOR STREETS ARE DEDICATED FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ELECTRIC, TELEVISION CABLE, AND TELECOMMUNICATIONS AND DRAINAGE FACILITIES, ADDITIONALLY, THE DRY UTILITY AND DRAINAGE EASEMENTS ARE DEDICATED ALONG ALL SIDE AND READ LOT LINES UNLESS SAID LOT LINE IS COMMON TO MORE THAN ONE LOT.

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY SUBDIVISION DEVELOPMENT AGREEMENT. REFER TO THE APPROVED DRAINAGE FACILITIES MAINTENANCE PLAN, RECEPTION NO. 2017000017306, ADAMS COUNTY RECORDS. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.

THIS PLAN HAS BEEN APPROVED BY ADAMS COUNTY AND CREATES A VESTED PROPERTY RIGHT PURSUANT TO C.R.S. 24-68-101, ET SEQ., AS AMENDED, AND THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.

ADAMS COUNTY SHALL BE GRANTED ACCESS EASEMENTS FOR TEMPORARY CUL-DE-SACS AS SHOWN ON THIS PLAT, WITHIN PORTIONS OF LOTS DEPICTED HEREIN. TERM OF THE ACCESS EASEMENTS SHALL BE UNTIL ROADWAY INFRASTRUCTURE IS CONSTRUCTED BEYOND THE TEMPORARY TERMINUS OF THE ACCESS EASEMENT/TEMPORARY CUL-DE-SAC AND HAS RECEIVED FINAL ACCEPTANCE FROM ADAMS COUNTY.

NO STRUCTURES, INCLUDING RESIDENCES AND ACCESSORY STRUCTURES, MAY BE CONSTRUCTED WITHIN THE DESIGNATED 250 FOOT BUFFER AROUND AN EXISTING OIL/GAS WELL OR TANK BATTERY (SECTION 4-10-02-04-05.A, ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS). THIS PROVISION DOES NOT APPLY TO FENCES, AND DOES NOT APPLY IF THE WELL HAS BEEN PLUGGED AND ABANDONED, OR THE TANK BATTERY HAS BEEN REMOVED.

PLAT NOTES CONTINUED:

WHERE A NEW HOME, OR A PORTION OF A NEW HOME OR ANY BUILDING WITH PLUMBING, IS CONSTRUCTED WITHIN 250 TO 300 FEET OF AN EXISTING OIL/GAS WELL OR TANK BATTERY, THE PROPERTY OWNER SHALL SUBMIT A SIGNED WAIVER ACKNOWLEDGING THE EXISTENCE OF THE FACILITY (SECTION 4-10-02-04-05.F, ADAMS COUNTY STANDARDS AND DEVELOPMENT REGULATIONS). THE WAIVER FORM (OIL AND GAS WELL WAIVER) IS AVAILABLE FROM THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT. THE COMPLETED WAIVER SHALL BE EXECUTED, NOTARIZED, AND RECORDED AT THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER. A COPY OF THE RECORDED WAIVER SHALL BE REVIEWED FOR ACCURACY AND COMPLETENESS BY THE ADAMS COUNTY COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT. THIS PROVISION DOES NOT APPLY TO ACCESSORY STRUCTURES, AND DOES NOT APPLY IF THE WELL HAS BEEN PLUGGED AND ABANDONED, OR THE TANK BATTERY HAS BEEN REMOVED.

THE AMOUNT OF WATER IN THE DENVER BASIN AQUIFER, AND IDENTIFIED IN THE REFERENCED LETTER, ARE CALCULATED BASED ON ESTIMATED CURRENT AQUIFER CONDITIONS. FOR PLANNING PURPOSES PROPERTY OWNERS SHOULD BE AWARE THAT THE ECONOMIC LIFE OF A WATER SUPPLY BASED ON WELLS IN A GIVEN DENVER BASIN AQUIFER MAY BE LESS THAN THE 300 YEAR USED FOR ALLOCATION DUE TO ANTICIPATED WATER LEVEL DECLINES.

IT SHOULD BE KNOWN THE CITY OF WESTMINSTER OWNS THE AGRICULTURAL LAND EAST (ACTUALLY NORTHEAST) OF THE COMANCHE PUD. THE CITY USES THIS PROPERTY FOR CATTLE GRAZING, CROP PRODUCTION, AND THE APPLICATION OF BIOSOLIDS. BIOSOLIDS ARE HIGHLY TREATED, NUTRIENT RICH, SOLIDS RECOVERED FROM THE MUNICIPAL WASTEWATER TREATMENT PROCESS.

THIS PROPERTY SUBJECT TO:

PATENT FROM THE UNITED STATES TO THE UNION PACIFIC LAND COMPANY RECORDED JUNE 2, 1902 IN BOOK 1407 AT PAGE 204.

RESERVATION SHOWN ON DEED FROM THE SUPREME CAMP OF AMERICAN WOODMAN TO CHARLES D. SWEENEY AND EDWARD J. GROSS RECORDED DECEMBER 2, 1947 IN BOOK 348 AT PAGE 513.

OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANAY AND AMOCO PRODUCTION COMPANY RECORDED APRIL 28, 1972 IN BOOK 1793 AT PAGE 445.

TERMS, CONDITIONS, PROVISIONS AND OBLIGATIONS SET FORTH IN SURFACE OWNER'S AGREEMENT RECORDED JUNE 8, 1972 IN BOOK 1800 AT PAGE 630.

TERMS, CONDITIONS, PROVISIONS AND OBLIGATIONS SET FORTH IN SURFACE OWNER'S AGREEMENT RECORDED DECEMBER 13, 1988 IN BOOK 3518 AT PAGE 51.

TERMS, CONDITIONS, PROVISIONS AND OBLIGATIONS SET FORTH IN PERMANENT PIPELINE RIGHT-OF-WAY GRANT SYNDER OPERATING PARTNERSHIP, L.P., RECORDED NOVEMBER 7, 1988 IN BOOK 3633 AT PAGE 850.

TERMS, CONDITIONS, PROVISIONS AND OBLIGATIONS SET FORTH IN SURFACE OWNER'S AGREEMENT RECORDED JULY 25, 1994 AT RECEPTION NO. C0002054.

SURVEYOR'S CERTIFICATE:

I, RAYMOND W. BAYER, A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO, DO HERBY CERTIFY THAT THERE ARE NO ROADS, PIPELINES, IRRIGATION DITCHES OR OTHER EASEMENTS IN EVIDENCE OR KNOW BY ME TO EXIST ON OR ACROSS THE HEREINBEFORE DESCRIBED PROPERTY, EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT THIS SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING, AND THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON.

RAYMOND W. BAYER,
 REG P.L.S. NO. 6973

DATE: _____

PLANNING COMMISSION APPROVAL:

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRPERSON _____

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____, 20____.

CHAIR _____

CERTIFICATE OF CLERK AND RECORDER

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____:_____. M. ON THE _____ DAY OF _____, A.D., 20____.

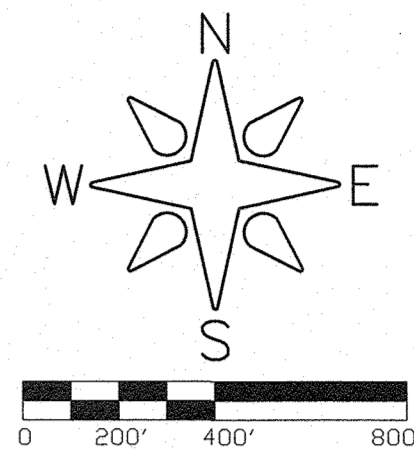
By: _____ DEPUTY COUNTY CLERK AND RECORDER

Prepared By:
 R. W. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rwbbsurveying@hotmail.com
 CAD FILE: C151881STF/C151881ST-1.DWG
 Date Prepared: NOVEMBER 10, 2015
 REVISED 02-21-2017 PER COUNTY COMMENTS

RECEPTION NO: _____

GRASSLANDS AT COMANCHE - FIRST FILING

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. CASE NO: PLT2016-00032
SHEET 2 OF 5

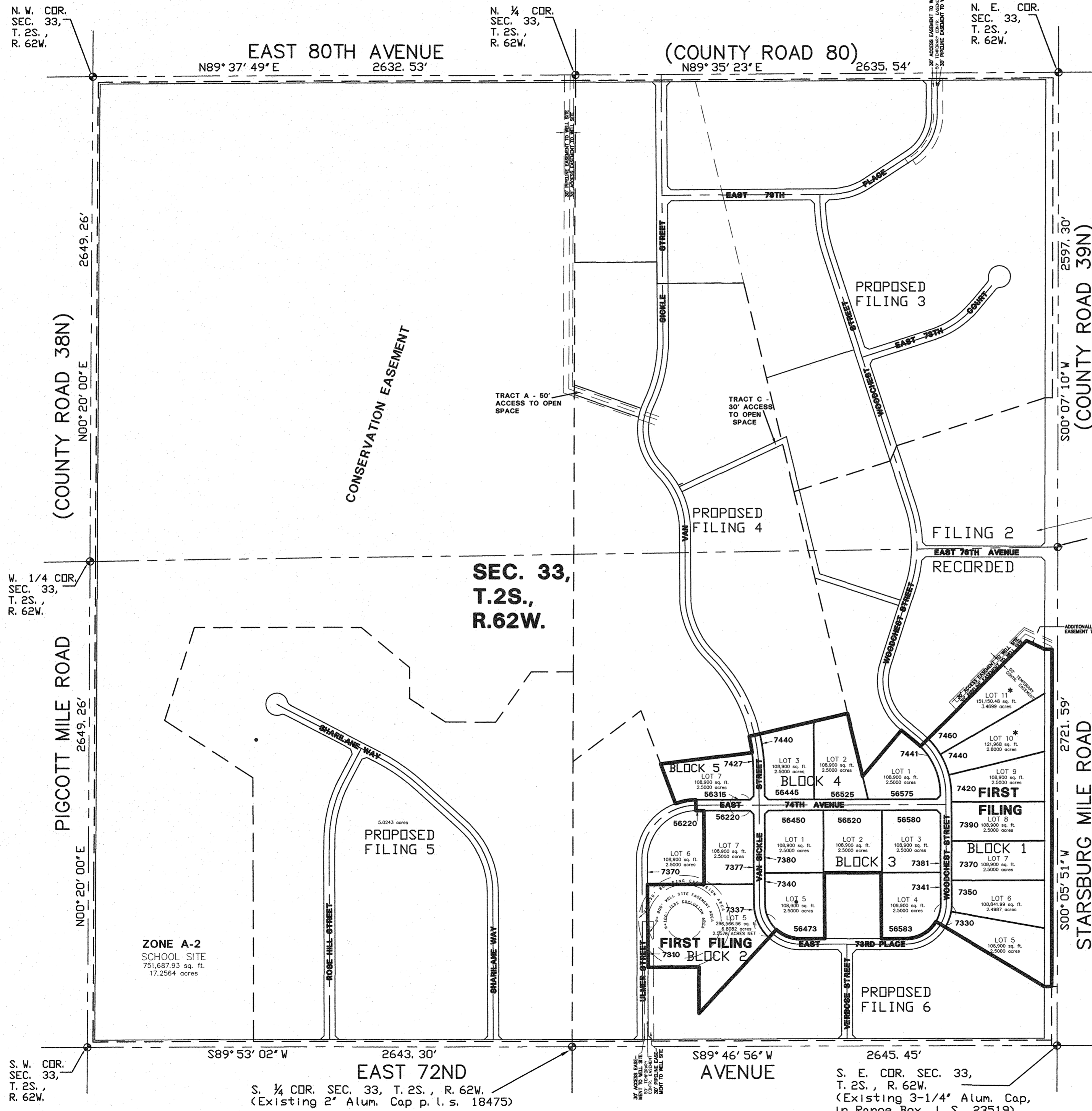


SCALE: 1"=400'

FILING NO. 1	-	18 LOTS
FILING NO. 2 (RECORDED)	-	12 LOTS
FILING NO. 2 (AMENDED)	-	1 LOT
FILING NO. 3 (PROPOSED)	-	32 LOTS
FILING NO. 4 (PROPOSED)	-	30 LOTS
FILING NO. 5 (PROPOSED)	-	18 LOTS
FILING NO. 6 (PROPOSED)	-	9 LOTS
TOTAL	-	120 LOTS

* LOTS WHERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 150' LOT WIDTH AT BUILDING LINE.

GRASSLANDS AT COMANCHE - SECOND FILING IN RECEPTION NO. 2008000005063
AFFIDAVIT OF CORRECTION (SECOND FILING) IN RECEPTION NO. 201300048277
GRASSLANDS AT COMANCHE - SECOND FILING - AMENDED PLAT IN RECEPTION NO. 2008000071020



EXISTING RESIDENCES (FUTURE FIRE STATION SITE)
E. 1/4 COR. SEC. 33, T.2S., R.62W.
(Existing 3-1/4' Alum Cap. in Range Box, P.L.S. 23519)

Prepared By:
R. W. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80233
303-452-4433 rwbysurveying@hotmail.com
CAD FILE: C151881STF/C151881ST-2.DWG
Date Prepared: NOVEMBER 10, 2015
REVISED 02-21-2017 PER COUNTY COMMENTS

GRASSLANDS AT COMANCHE - FIRST FILING

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.
SHEET 3 OF 5

CASE NO: PLT2016-00032

Prepared By:
R. W. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80233
303-452-4433 rwbosurveying@hotmail.com
CAD FILE: C151881STF/C151881ST-3.DWG

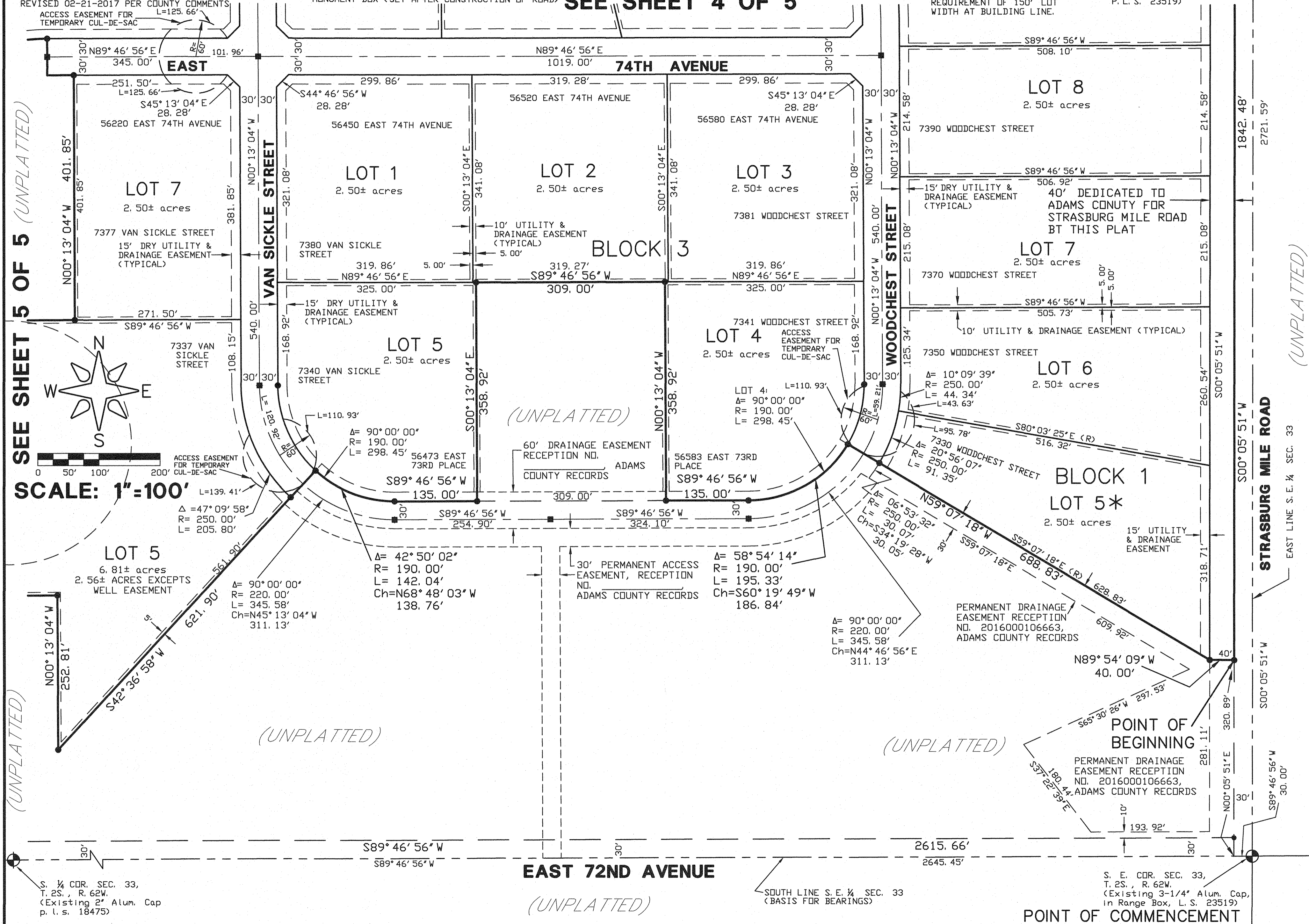
Date Prepared: NOVEMBER 10, 2015
REVISED 02-21-2017 PER COUNTY COMMENTS
ACCESS EASEMENT FOR TEMPORARY CUL-DE-SAC L=125.66'

● DENOTES: FOUND #5 REBAR & CAP, BAYER - P. L. S. 6973, FLUSH WITH GROUND
■ DENOTES: SET #5 REBAR & CAP, BAYER - P. L. S. 6973, IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)

SEE SHEET 4 OF 5

* LOTS WHERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 150' LOT WIDTH AT BUILDING LINE.

E. 1/4 COR. SEC. 33, T. 2S., R. 62W. (Existing 3-1/4" Alum Cap, in Range Box, P. L. S. 23519)



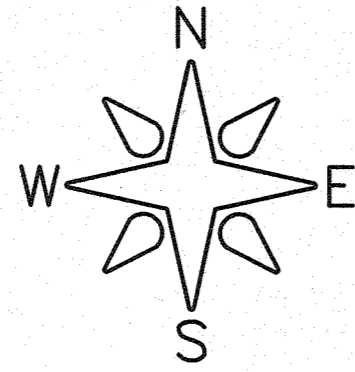
GRASSLANDS AT COMANCHE - FIRST FILING

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

E. 1/4 COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4' Alum
Cap. in Range Box,
P. L. S. 23519)

CASE NO:
PLT2016-00032

SHEET 4 OF 5



SCALE: 1"=100'
LEGEND

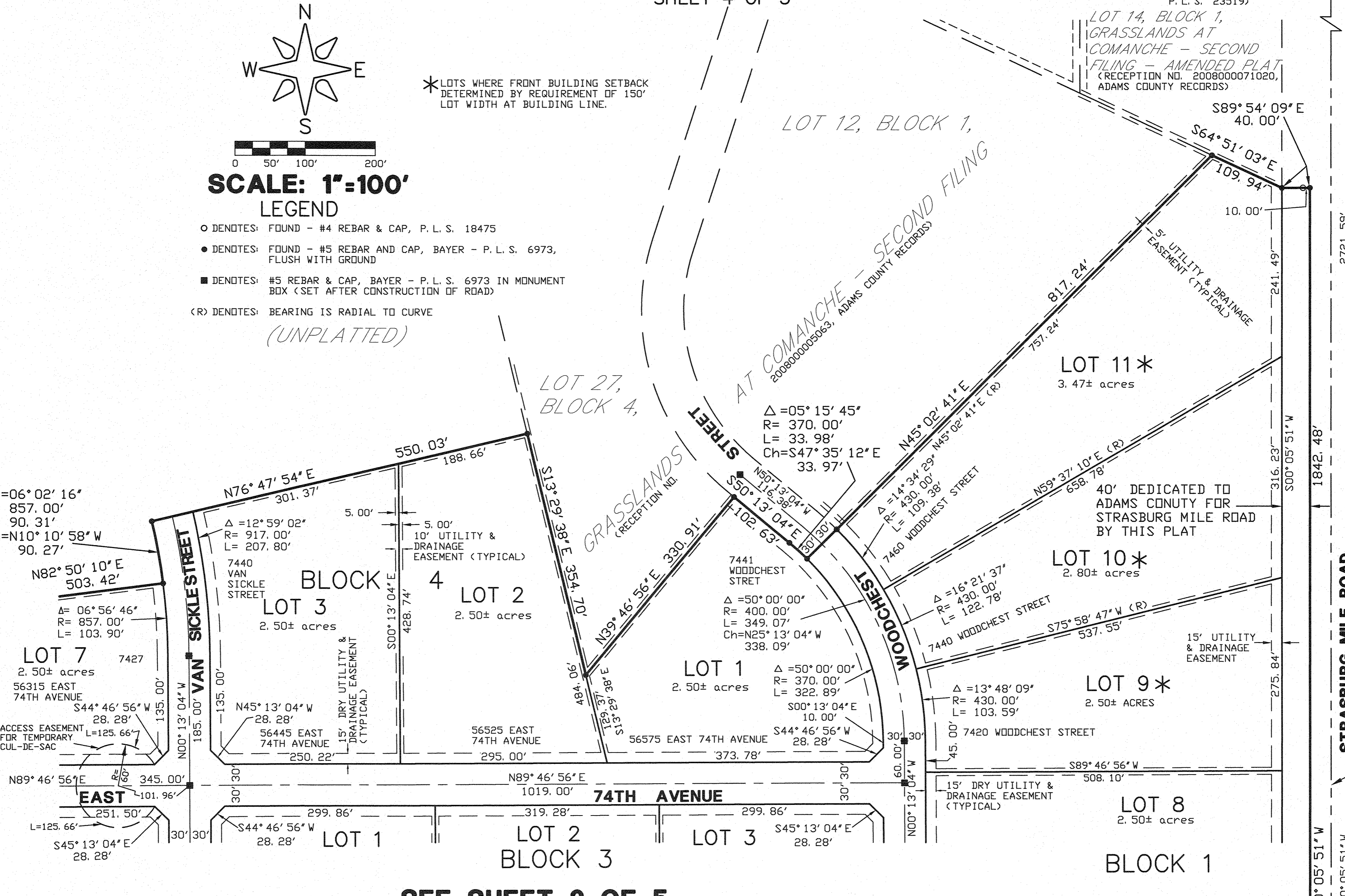
- DENOTES: FOUND - #4 REBAR & CAP, P. L. S. 18475
 - DENOTES: FOUND - #5 REBAR AND CAP, BAYER - P. L. S. 6973, FLUSH WITH GROUND
 - DENOTES: #5 REBAR & CAP, BAYER - P. L. S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
 - (R) DENOTES: BEARING IS RADIAL TO CURVE
- (UNPLATTED)

* LOTS WHERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 150' LOT WIDTH AT BUILDING LINE.

5 OF 5

SEE SHEET

SEE SHEET



SEE SHEET 3 OF 5

Prepared By:
R. W. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80233
303-452-4433 rwbssurveying@hotmail.com
CAD FILE: C151881STF/C151881ST-4.DWG
Date Prepared: NOVEMBER 06, 2015
REVISED 02-21-2017 PER COUNTY COMMENTS

S. E. COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4' Alum. Cap.
in Range Box, L. S. 23519)

GRASSLANDS AT COMANCHE - FIRST FILING

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. CASE NO: PLT2016-00032 SHEET 5 OF 5

(UNPLATTED)

LEGEND

- DENOTES: FOUND - #5 REBAR AND CAP, BAYER - P. L. S. 6973, FLUSH WITH GROUND
- DENOTES: #5 REBAR & CAP, BAYER - P. L. S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
- (R) DENOTES: BEARING IS RADIAL TO CURVE

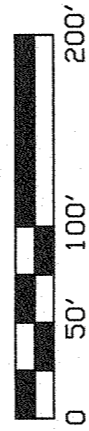
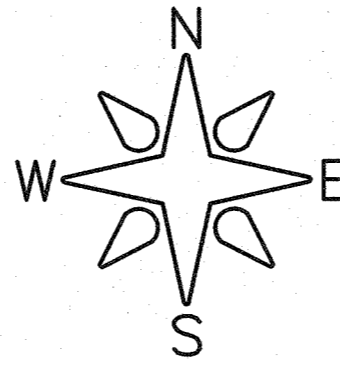
S00°12'57"W 5310.10'

30'

S. 1/4 COR. SEC. 33, T. 2S., R. 62W. (Existing 2" Alum. Cap P. L. S. 18475)

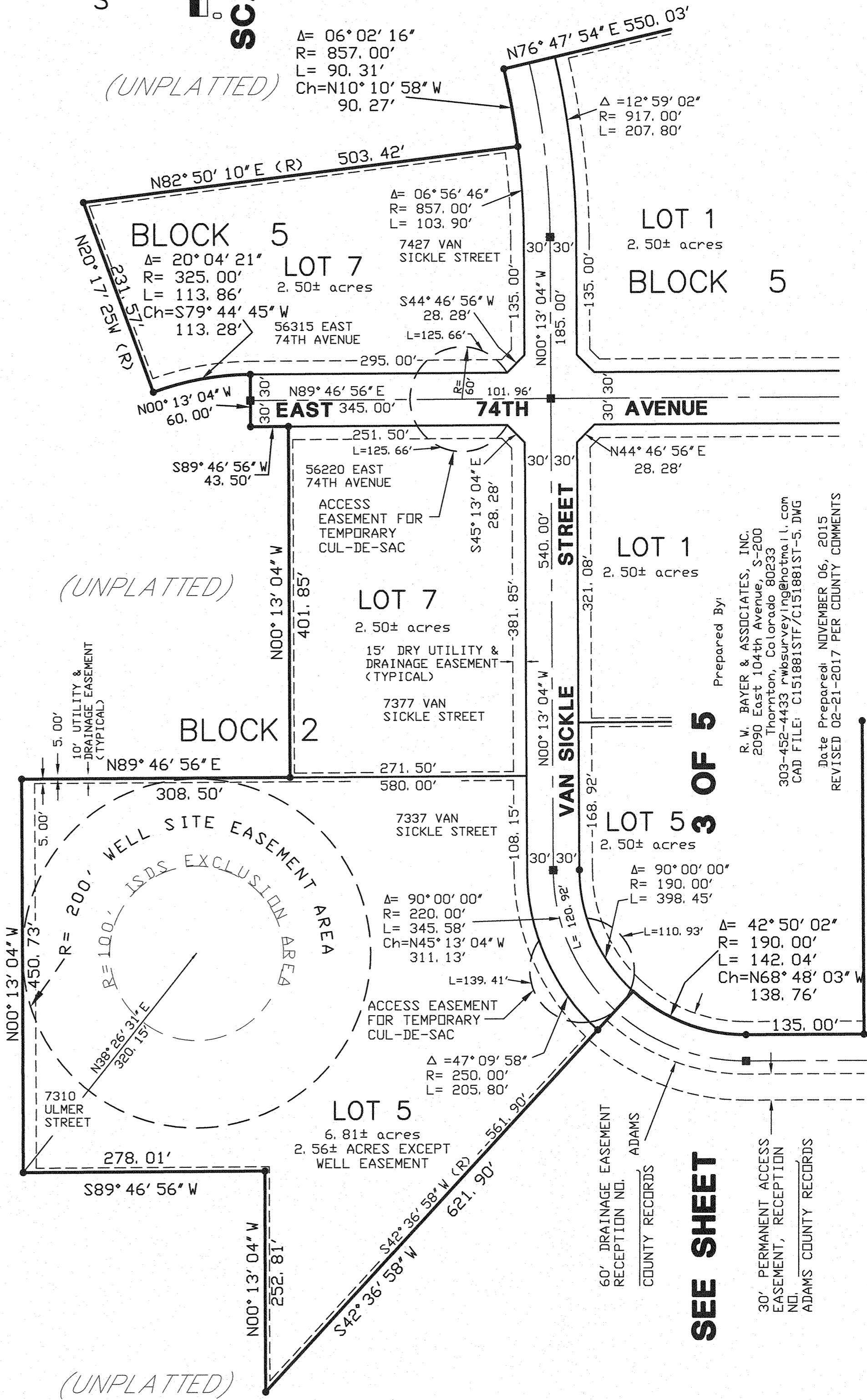
EAST 72ND AVENUE

S. E. COR. SEC. 33, T. 2S., R. 62W. (Existing 3-1/4" Alum. Cap, in Range Box, L. S. 23519)
POINT OF COMMENCEMENT



SCALE: 1"=100'

SEE SHEET 4 OF 5



SEE SHEET

Prepared By:
 R. W. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rwbayer@bayerinc.com
 CAD FILE: C151881STF/C151881ST-5.DWG
 Date Prepared: NOVEMBER 06, 2015
 REVISED 02-21-2017 PER COUNTY COMMENTS

30' PERMANENT ACCESS EASEMENT, RECEPTION NO. ADAMS COUNTY RECORDS

60' DRAINAGE EASEMENT RECEPTION NO. ADAMS COUNTY RECORDS

(UNPLATTED)

(UNPLATTED)

(UNPLATTED)

(UNPLATTED)

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Holly Investment Company, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within "construction completion date" appearing in Exhibit "B". The County may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B". Any extension of time shall be in written form only.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$588,879 including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by Adams County in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up

to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No construction, building or change-in-use permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to Adams County.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated “public” on Exhibit “B” shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer’s expense. In the case of an emergency such written notice may be waived.
7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit “A”.
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements:

Private Improvements: Private improvements shall consist of a stormwater detention pond and conveyance swale located in the southeast corner of the subdivision that will be operated and maintained by the subdivision homeowner’s association. (See Exhibit B).

Public Improvements: Public improvements shall consist of continuation of Woodchest Street along with construction of a portion of Van Sickle Street and East 74th Avenue between Woodchest St. and Van Sickle St. (See Exhibit B)

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit “B”.

- B. Public dedication of land for right-of-way purposes or other public purpose. Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by plat to the County of Adams, portions of Woodchest Street, East 74th Avenue, Van Sickle Street and property along the west side of Strasburg Mile Road for right-of-way or other public purposes as contained within the exterior boundary herein described and conveyed by the recorded plat for Filing 1.

DEDICATION FILING 1:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNER OF

THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING;

THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT,

THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 200800005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) N45°02'41"E, A DISTANCE OF 817.24 FEET; THENCE 6) S64°51'03"E, A DISTANCE OF 109.94 FEET; THENCE 7) S89°54'09"E, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE S00°05'51"W PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

By: _____
Holly Investment Company, Developer

The foregoing instrument was acknowledged before me this ____ day of _____,
2017, by _____.

My commission expires: _____

Address: _____

Notary Public

APPROVED BY resolution at the meeting of _____, 2017.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chairman

EXHIBIT A

Legal Description Filing 1:

THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING;

THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT,

THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 2008000005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) N45°02'41"E, A DISTANCE OF 817.24 FEET; THENCE 6) S64°51'03"E, A DISTANCE OF 109.94 FEET; THENCE 7) S89°54'09"E, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE S00°05'51"W

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

EXHIBIT B

Public Improvements:

Exhibit “B” includes the following attached documents

- i. Woodchest Street Construction Cost Estimate
- ii. Van Sickle Street Construction Cost Estimate
- iii. East 74th Avenue. Construction Cost Estimate
- iv. Drainage Facilities Construction Cost Estimate
- v. Total Project Construction Cost Estimate

Construction Completion Date: The public improvements shall be completed within 120 days after recording of Final Plat.

Initials or signature of Developer: _____

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING 1 - WOODCHEST STREET CONSTRUCTION COST ESTIMATE						
Grasslands at Comanche						
Strasburg, Colorado					4/28/2017	
ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (3410 cut)*	3,410	CY	\$6.16	\$21,006	203-00010
2.	12" Erosion Log	6	LF	\$5.03	\$30	203-00002
3.	Silt Fence	1,079	LF	\$2.32	\$2,503	208-00020
4.	Vehicle Tracking Pad	1	EA	\$2,164.92	\$2,165	208-00070
5.	Seeding	0.6	ACRE	\$774.10	\$464	212-00006
6.	Mulching	0.6	ACRE	\$757.99	\$455	213-00002
7.	Aggregate Base Course (Road Shoulder)	365	TON	\$28.34	\$10,344	304-00600
8.	Recycled Asphalt Pavement (Temporary Turnaround)	121	TON	\$25.59	\$3,096	304-09100
9.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	721	TON	\$74.52	\$53,729	403-34741
10.	Construction Surveying	16	HR	\$166.66	\$2,667	625-00001
11.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
12.	8' Wide Type 3 Barricade with R11-2 "Road Closed" Sign	4	EACH	\$275.18	\$1,101	630-80338
SUB TOTAL					\$101,310	
* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.						

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING 1 - EAST 74TH AVENUE CONSTRUCTION COST ESTIMATE						
Grasslands at Comanche						
Strasburg, Colorado					4/28/2017	
ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (3110 cut/320 fill)*	3,430	CY	\$6.16	\$21,129	203-00010
2.	12" Erosion Log	192	LF	\$5.03	\$966	208-00002
3.	Silt Fence	940	LF	\$2.32	\$2,181	208-00020
4.	Seeding	0.7	ACRE	\$774.10	\$503	212-00006
5.	Mulching	0.7	ACRE	\$757.99	\$493	213-00002
6.	Aggregate Base Course (Road Shoulder)	461	TON	\$28.34	\$13,065	304-00600
7.	Recycled Asphalt Pavement (Temporary Turnaround)	121	TON	\$25.59	\$3,096	304-09100
8.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	914	TON	\$74.52	\$68,111	403-34741
9.	30" x 19" Elliptical Reinforced Concrete Pipe, Class III	80	LF	\$122.13	\$9,770	603-02240
10.	30" X 19" Reinforced Concrete End Section	2	EA	\$1,621.21	\$3,242	603-05124
11.	Type L Riprap	2	CY	\$124.71	\$249	506-00209
12.	Construction Surveying	16	HR	\$166.66	\$2,667	625-00001
13.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
14.	8' Wide Type 3 Barricade with R11-2 "Road Closed" Sign	4	EACH	\$275.18	\$1,101	630-80338
SUB TOTAL					\$130,323	
* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.						

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING 1 - VAN SICKLE STREET CONSTRUCTION COST ESTIMATE						
Grasslands at Comanche						
Strasburg, Colorado					4/28/2017	
ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (1,787 cut/717 fill)*	2,504	CY	\$6.16	\$15,425	203-00010
2.	12" Erosion Log	288	LF	\$5.03	\$1,449	208-00002
3.	Silt Fence	1,000	LF	\$2.32	\$2,320	208-00020
4.	Seeding	0.5	ACRE	\$774.10	\$387	212-00006
5.	Mulching	0.5	ACRE	\$757.99	\$379	213-00002
7.	Aggregate Base Course (Road Shoulder)	424	TON	\$28.34	\$12,016	304-00600
8.	Recycled Asphalt Pavement (Temporary Turnaround)	245	TON	\$25.59	\$6,270	304-09100
9.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	842	TON	\$74.52	\$62,746	403-34741
10.	Construction Surveying	16	HR	\$166.66	\$2,667	625-00001
11.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
12.	8' Wide Type 3 Barricade with R11-2 "Road Closed" Sign	8	EACH	\$275.18	\$2,201	630-80338
	SUB TOTAL				\$109,609	
	* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.					

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING 1 - DRAINAGE FACILITIES CONSTRUCTION COST ESTIMATE						
Grasslands at Comanche						
Strasburg, Colorado						
						4/28/2017
ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (18,442 cut)*	18,442	CY	\$6.16	\$113,603	203-00010
2.	Total Seeding	2.9	ACRE	\$774.10	\$2,245	212-00006
3.	Total Mulching	2.9	ACRE	\$757.99	\$2,198	213-00002
4.	Type L Riprap	24	CY	\$124.71	\$2,993	506-00209
5.	Construction Surveying	8	HR	\$166.66	\$1,333	625-00001
6.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
SUB TOTAL					\$126,122	
* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.						

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING NO. 1 - TOTAL PROJECT CONSTRUCTION COST ESTIMATE						
Grasslands at Comanche, Filing 1						
Strasburg, Colorado						
						4/28/2017
ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Woodchest Street	1	EA	\$101,309.92	\$101,310	N/A
2.	E. 74th Avenue	1	EA	\$130,323.15	\$130,323	N/A
3.	Van Sickle Street	1	EA	\$109,608.88	\$109,609	N/A
4.	Drainage Facilities	1	EA	\$126,122.10	\$126,122	N/A
TOTAL PROJECT COST ESTIMATE					\$467,364	



Development Review Team Comments

Date: 1/6/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for a Final Plat Application. Please resubmit information to address the comments made. I will be happy to set up a meeting to help you address these concerns. Please contact the case manager if you have any questions:

Commenting Division: Building SIA Review

Name of Reviewer: Justin Blair

Date: 12/21/2016

Email: jblair@adcogov.org

Complete

Commenting Division: Building Final Plat Review

Name of Reviewer: Justin Blair

Date: 12/05/2016

Email: jblair@adcogov.org

No Comment

Commenting Division: Engineering SIA Review

Name of Reviewer: Greg Labrie

Date: 12/30/2016

Email: glabrie@adcogov.org

Complete

ENG1: Replace paragraph 5 of the SIA with the following wording:

Guarantee of Compliance. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of (The total amount from Exhibit B is required to be added here), including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by Adams County in accordance with section 5-02-06-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No construction, building or change-in-use permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to Adams County.

ENG2: Remove the last sentence in paragraph 6 which states "Upon preliminary acceptance of improvements described in Exhibit "B" Adams County may begin accepting building permit applications for parcels."

ENG3: Replace the narrative portion of paragraph 8 with the following narrative:

"Improvements and Dedication. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements. Designate separately each public and private improvement.

Public Improvements: (See Exhibit B.)

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

B. Public dedication of land for right-of-way purposes or other public purpose. Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by warranty deed to the County of Adams the following described land for right-of-way or other public purposes:"

ENG4: The individual cost estimates for Woodchest, 74th Avenue, and Van Sickle does not add up to the total construction cost estimate. The format of the estimate should show the unit price cost for each bid item to construct the individual streets and the total cost for each street should be added together to obtain the total construction cost for the project.

Commenting Division: Engineering Final Plat Review

Name of Reviewer: Greg Labrie

Date: 12/30/2016

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: The following comments that were given to the applicant in May of 2016 for the engineering plans have not been addressed; The final design of the roadway and drainage facilities will have an impact on the final plat.

b) Sheet 1 – The drainage plans and the erosion and sediment control plans must be submitted with the construction plans.

c) Sheet 1 – Submit the Geotechnical report that supports the pavement design.

f) Sheet 4 – A detail is required to show how 74th Avenue will tie into Woodchest Street. The plan and profile of 74th Avenue should extend into the intersection of Woodchest Street.

g) Sheet 5 – The plan and profile of Van Sickle Street shall extend beyond the Cul de Sac and a detail should be provided to show the transitional requirements and the erosion and sediment control requirements.

h) Engineering plans shall be signed and stamped by a Professional Engineer registered with the state of Colorado.

a) The drainage report was revised on April 4, 2005. This is an outdated report and it does not include many of the current drainage standards. The standards that are required to be address are as follows:

1. The use of retention ponds will require verification and description of the type of water rights owned by the developer.
2. The state of Colorado will also require the review and approval of an augmentation plan from the developer before retention ponds are allowed to be constructed.
3. The report does not provide the analysis for the WQCV requirements.
4. There were no drainage plans submitted with the report.
5. No details were given for the retention ponds.

b) Indicate any proposed phasing of construction. If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.

c) All drainage easements and maintenance access points shall be identified on plans. The submittal shall include a copy of the final plat to verify easements.

d) A drainage maintenance plan for the drainage facilities is required to be submitted to Adams County. This plan should be recorded with the Clerk and Recorder Office and the recorded document number shall be identified on the plat.

e) The plans are required to clearly identify invert flowline elevations and direction of flow. At a minimum the plans shall show a cross section of the retention pond/open channel indicating the major components of each drainage facility, such as the exact location of structure, invert elevations in/out structures, outlet configuration, and top elevation of structures.

The amount of freeboard above the 100 year water surface elevation within the pond is to be shown on the

plans. One foot of freeboard is required for retention pond design, as indicated in the Adams County Development Review Manual, Chapter 9, Section 9-01-12-01-01, Page 23, which states that “An additional one-foot of depth must be added to the overall volume to accommodate for freeboard.”

Commenting Division: Environmental Analyst Final Plat Review

Name of Reviewer: Jen Rutter

Date: 12/13/2016

Email: jrutter@adcogov.org

No Comment

Commenting Division: Parks SIA Review

Name of Reviewer: Aaron Clark

Date: 12/27/2016

Email: aclark@adcogov.org

No Comment

Commenting Division: Parks Final Plat Review

Name of Reviewer: Aaron Clark

Date: 12/07/2016

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Final Plat Review

Name of Reviewer: Greg Barnes

Date: 01/06/2017

Email: gbarnes@adcogov.org

Resubmittal Required

PLN01: This case will not be scheduled for public hearing until engineering plans, subdivision improvements agreement, and collateral for public improvements have been finalized for approval.

PLN02; Please provide a word document with the legal description of this site with your resubmittal.

Commenting Division: ROW Final Plat Review

Name of Reviewer: NA

Date: 01/06/2017

Email: NA

No Comment

Commenting Division: ROW SIA Review

Name of Reviewer: NA

Date: 01/06/2017

Email: NA

Complete

ROW comments incorporated into Engineering Review

Greg Barnes

From: Gordon Stevens
Sent: Friday, December 09, 2016 10:43 AM
To: Greg Barnes
Cc: Rene Valdez; Greg Labrie
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Good Morning Greg,

Per our discussion this morning and the map that I gave to you, the Transportation Dept. does not agree with the street configuration as submitted. Over the last several months, I have had several conversations with Mr. Labrie about these street configurations. As proposed, it is the opinion of the Transportation Dept., that it is unacceptable that all of these 18 proposed lots of filing no. 1 and the existing lots of filing no. 2 will continue to be accessed by one access point, 76th Ave., from Strasburg Rd. At a minimum, an emergency access point from the south should be considered.

Sincerely,



Gordon Stevens

Construction Inspection Supervisor,
Department of Transportation
Infrastructure Management Division
ADAMS COUNTY, COLORADO

4430 So, Adams County Parkway,
1st Floor, Suite W2000B
Brighton, CO 80601-8218

o: 720-523-6965 | gstevens@adcogov.org, www.adcogov.org
c: 303-947-9633

From: Greg Barnes
Sent: Friday, December 09, 2016 8:58 AM
To: Gordon Stevens
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

If you'd like, you can draft me an e-mail with your comments. I'll include it in the BoCC packet for them to consider. Totally up to you.

From: Gordon Stevens
Sent: Friday, December 09, 2016 7:07 AM
To: Greg Barnes
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Good Morning Greg,

I would like to speak to you about this first thing this morning.

Thanks!

Gordon

From: Greg Barnes
Sent: Thursday, December 08, 2016 2:15 PM
To: Greg Barnes
Subject: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

The Adams County Planning Commission is requesting comments on the following request: **Request for major subdivision final plat to create 18 single-family residential lots.**

This request is located approximately 1,000 feet south of East 76th Avenue & Woodchest Street. The Assessor's Parcel Numbers are 0173113340002, 0173113340005, 0173113340007, and 0173133400001.

Applicant Information: Holly Investment Company
 PO Box 557
 STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, (720) 523-6800 by 12/30/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Adams County Transportation Department – Right-of-Way Section

Referral Case Comments

Date: December 29, 2016

Referral Case: Grasslands at Comanche – First Filing
Case Number: PLT2016-00012

Plat revisions

1. Per the application submitted, remove the words “Preliminary Plat” at the top of every sheet.
2. Revise the case number to PLT2016-00032 and move to the upper right-hand corner to all sheets.
3. Per the Colorado Bylaws and Rules of the State Board of Licensure for Architects, Professional Engineers and Professional Land Surveyors, provide the method used to establish the basis of bearings and add the bearing used in the basis of bearings note on Sheet 1.
4. In the first line of the dedication statement after the legal description, add the following words after the word SUBDIVIDED: “*INTO LOTS, STREETS AND EASEMENTS,*”
5. In the fourth line of the dedication statement, remove the words “ALSO RESERVE THOSE PORTIONS OF REAL PROPERTY WHICH ARE” and replace with “*THE EASEMENTS AS SHOWN,*’.
6. Add the word “OF” in the owner’s notary acknowledgement.
7. For clarity purposes, remove the lot lines, right-of-ways, easements and dimensions of the future or proposed filings on Sheets 3-5.
8. Provide dimensions of the Access Easements for the Temporary Cul-De-Sacs.
9. Use a lighter color or screening for the proposed filings as shown on Sheet 2.
10. Provide descriptions of section corner monuments found or set as shown on Sheet 2.
11. Show the recently recorded drainage easement recorded at Reception No. 201600106663 as it applies to this development.
12. Add the bearing of the southerly lot lines of Lots 4 & 6 Block 3.
13. Revise the lot number of Lot 6 Block 3 to Lot 5.

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

SHEET 2 OF 5

PLT2016-00012

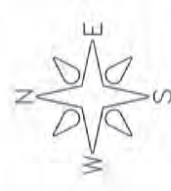
N. V. COR.
SEC. 33,
T. 2S.,
R. 62W.

EAST 80TH AVENUE
2632.53'

N. M. COR.
SEC. 33,
T. 2S.,
R. 62W.

(COUNTY ROAD 80)
2635.54'

N. E. COR.
SEC. 33,
T. 2S.,
R. 62W.



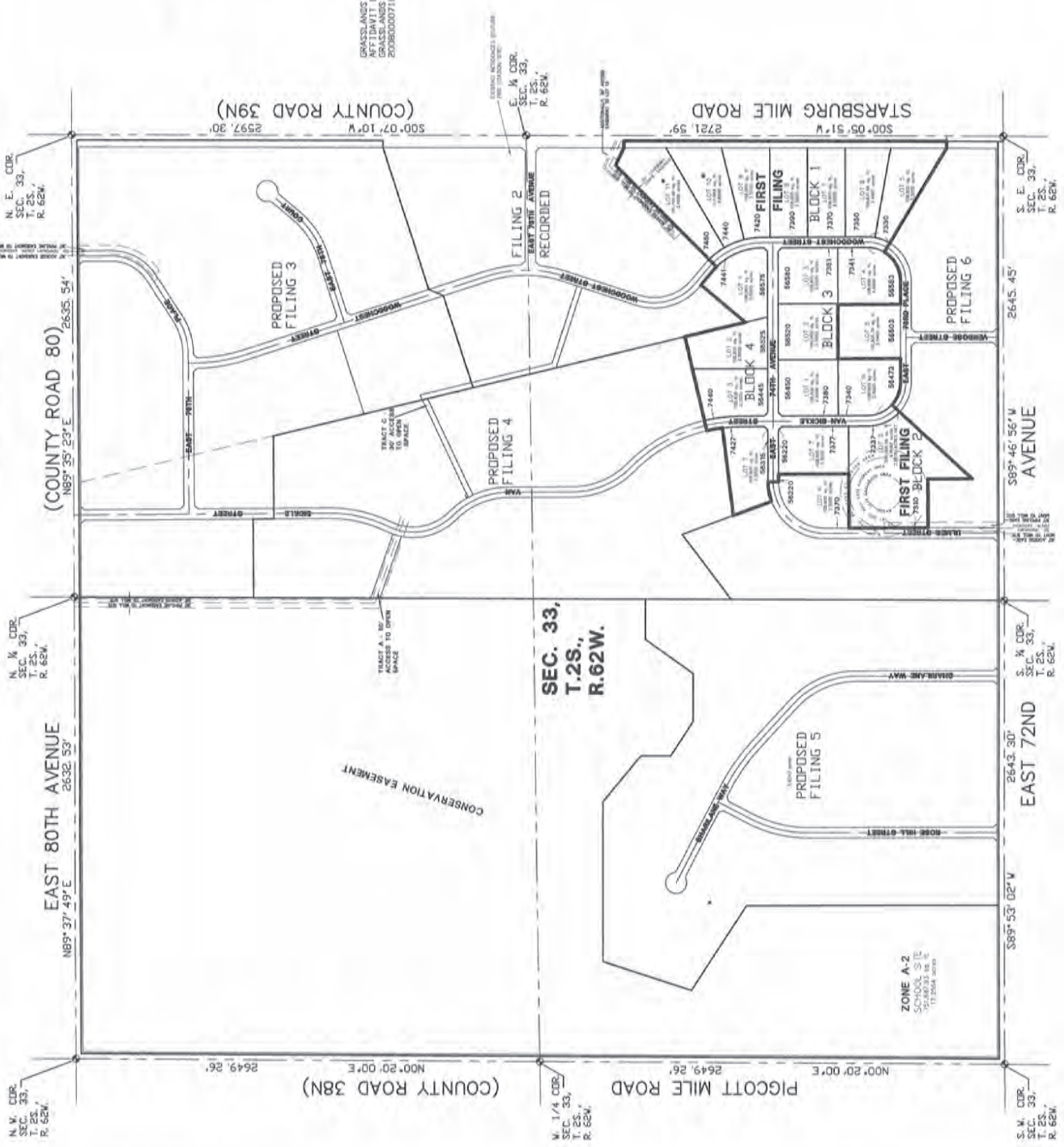
SCALE: 1"=400'

- FILING NO. 1 - 18 LOTS
- FILING NO. 2 (RECORDED) - 18 LOTS
- FILING NO. 2 (AMENDED) - 1 LOT
- FILING NO. 3 (PROPOSED) - 33 LOTS
- FILING NO. 4 (PROPOSED) - 30 LOTS
- FILING NO. 5 (PROPOSED) - 18 LOTS
- FILING NO. 6 (PROPOSED) - 9 LOTS
- TOTAL - 120 LOTS

* LOTS WERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 100' LOT WIDTH AT BUILDING LINE.

GRASSLANDS AT COMANCHE - SECOND FILING IN RECEPTION NO. 2008000000649
AFFIDAVIT OF CORRECTION (SECOND FILING) IN RECEPTION NO. 201300048277
GRASSLANDS AT COMANCHE - SECOND FILING - AMENDED PLAT IN RECEPTION NO. 2008000071028

* Use a lighter color or screen for proposed filings for clarity purposes.
* Provide description of section corner monument found or set.



Prepared By:
R. V. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80233
303-452-4433 rsurvey@rvgphoto.com
CAD FILE: C15188137/C15188137E.DWG
Date Prepared: NOVEMBER 10, 2015
REVISED 06-27-2016 PER CLIENT
REVISED 08-16-2016 PER COUNTY COMMENT

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

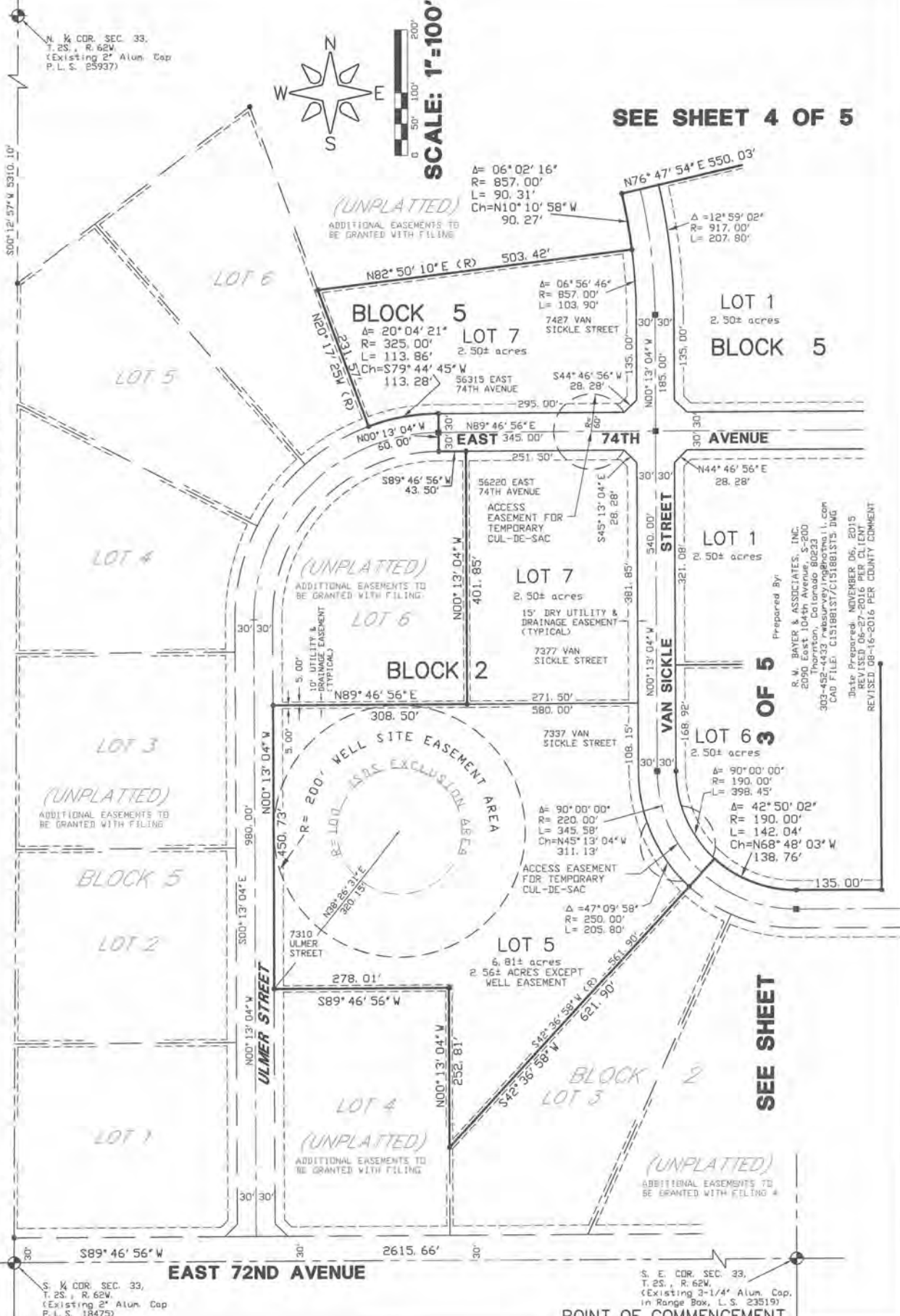
PLT2016-00012

SHEET 5 OF 5

LEGEND

- DENOTES SET - #5 REBAR AND CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES #5 REBAR & CAP, BAYER - P.L.S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
- (CR) DENOTES BEARING IS RADIAL TO CURVE

(UNPLATTED)
ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING



SCALE: 1"=100'

SEE SHEET 4 OF 5

SEE SHEET

N ¼ COR. SEC. 33,
T. 2S., R. 62W.
(Existing 2" Alum. Cap
P.L.S. 25937)

S ¼ COR. SEC. 33,
T. 2S., R. 62W.
(Existing 2" Alum. Cap
P.L.S. 18475)

S. E. COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4" Alum. Cap
in Range Box, L.S. 23519)
POINT OF COMMENCEMENT

Prepared By
R.W. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80223
303-452-4432 rwesurvey@ingphoto.com
CAD FILE: C15186157/C15186157.DWG
Date Prepared: NOVEMBER 06, 2015
REVISED 06-27-2016 PER CLIENT
REVISED 08-16-2016 PER COUNTY COMMENT

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

PLT2016-00012

SHEET 4 OF 5

E. 1/4 COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4" Alum
Cap. in Range Box,
P.L.S. 23519)



SCALE: 1"=100'
LEGEND

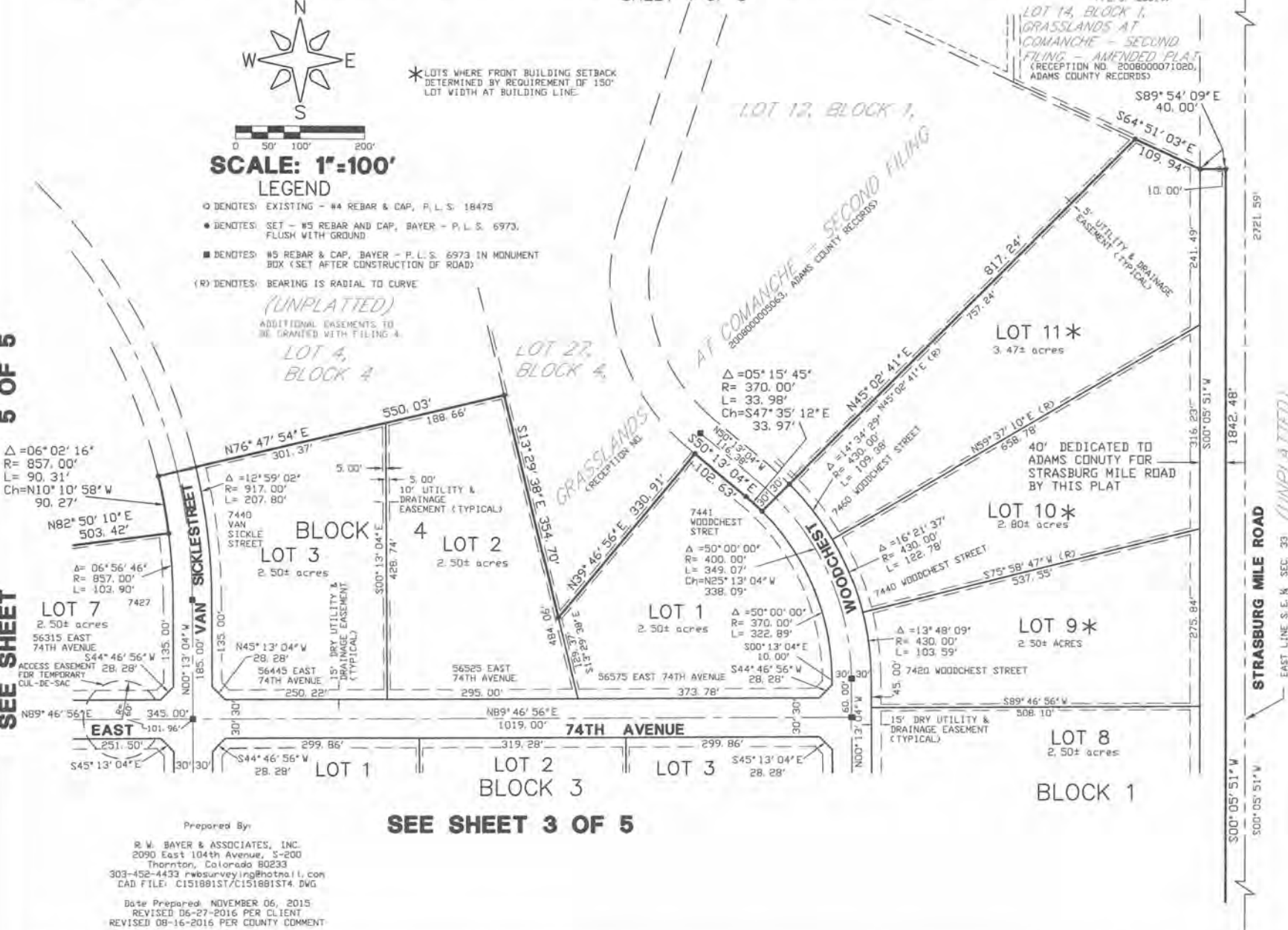
- DENOTES: EXISTING - #4 REBAR & CAP, P.L.S. 18475
- DENOTES: SET - #5 REBAR AND CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES: #5 REBAR & CAP, BAYER - P.L.S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
- (R) DENOTES: BEARING IS RADIAL TO CURVE

(UNPLATTED)

ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING 4.
LOT 4, BLOCK 4

SEE SHEET 5 OF 5

SEE SHEET 3 OF 5



Prepared By:
R. W. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rwbosurveying@hotmail.com
 CAD FILE: C151881ST/C151881ST4.DWG
 Date Prepared: NOVEMBER 06, 2015
 REVISED 06-27-2016 PER CLIENT
 REVISED 08-16-2016 PER COUNTY COMMENT

S. E. COR. SEC. 33,
 T. 2S., R. 62W.
 (Existing 3-1/4" Alum Cap.
 in Range Box, L.S. 23519)

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 126 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. PLT2016-00012

SHEET 3 OF 5

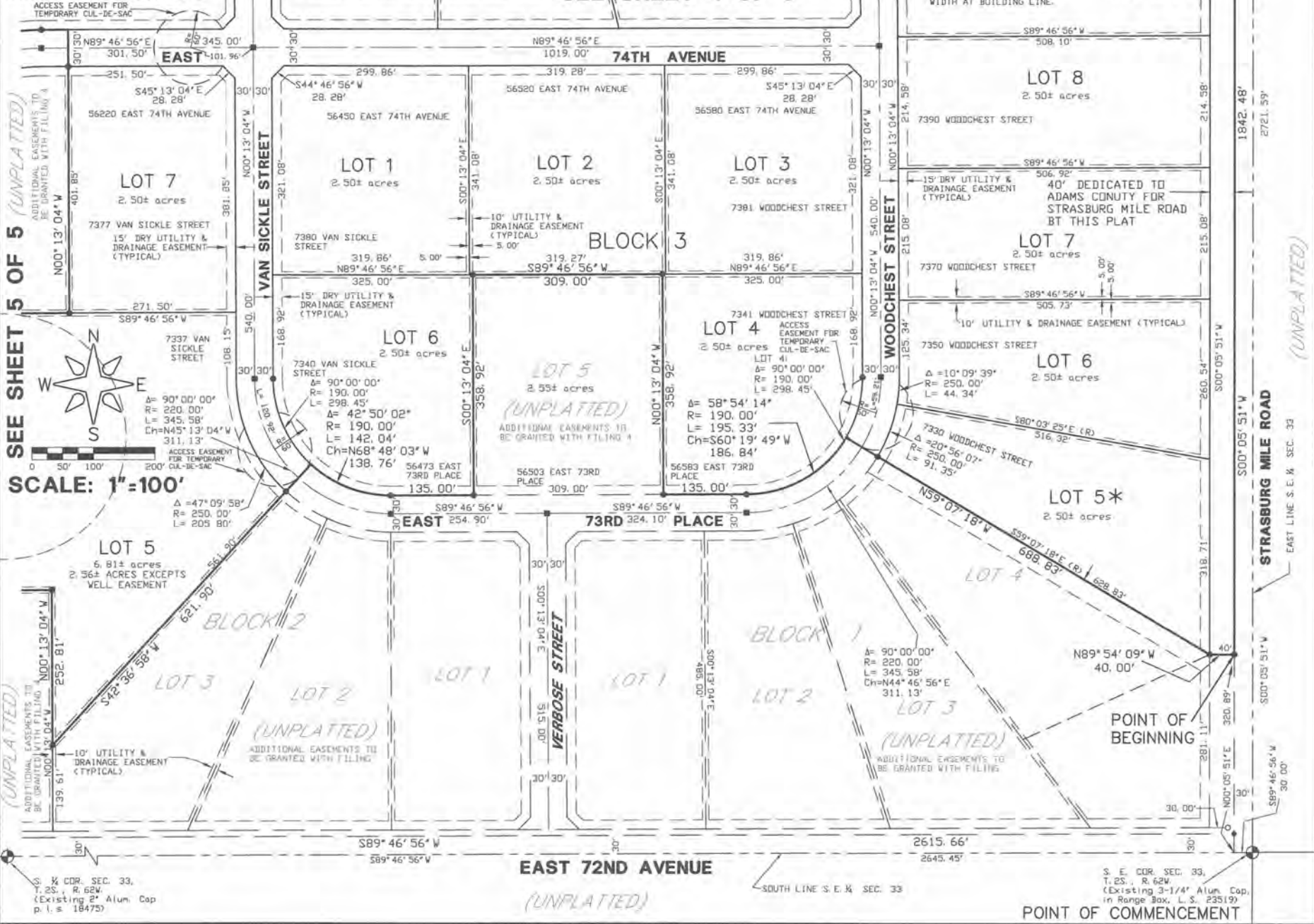
Prepared By:
 R. V. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rvb@surveying.net
 CAD FILE: C151881ST/C151881ST3.DWG

- DENOTES: SET #5 REBAR & CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES: SET #5 REBAR & CAP, BAYER - P.L.S. 6973, IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)

SEE SHEET 4 OF 5

* LOTS WHERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 150' LOT WIDTH AT BUILDING LINE.

E & COR. SEC. 33, T. 2S., R. 62W. (Existing 3-1/4" Alum Cap, in Range Box, P.L.S. 23519)



SEE SHEET 5 OF 5 (UNPLATTED)

SCALE: 1"=100'



S. E. COR. SEC. 33, T. 2S., R. 62W. (Existing 2" Alum Cap p.l.s. 18475)

S. E. COR. SEC. 33, T. 2S., R. 62W. (Existing 3-1/4" Alum Cap, in Range Box, L. S. 23519)

SEE SHEET 5 OF 5 (UNPLATTED)

STRASBURG MILE ROAD EAST LINE S. E. & SEC. 33

POINT OF COMMENCEMENT

Greg Barnes

From: Jennifer Lothrop
Sent: Tuesday, December 20, 2016 9:46 AM
To: Greg Barnes
Cc: Brigitte Grimm
Subject: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat
Attachments: PHN.pdf; Simple Packet.pdf

Case Name: Grasslands at Comanche, Filing 1 Final Plat
Case Number: PLT2016-00032
Parcel #'s 0173113340002, 0173113340005, 0173113340007, and 0173133400001

The above mentioned parcels are paid in full, therefore, the Treasurer's Office has no negative input regarding this revised request.

Jennifer Lothrop
Treasurer Technician

Adams County Treasurer's Office
4430 S. Adams County Pkwy., Ste. C2436
Brighton, CO 80601
720.523.6761 | www.adcotax.com
Mon. - Fri. 7am - 5pm



Adams County Mission
To responsibly serve the Adams County Community with integrity and innovation.



The Adams County Planning Commission is requesting comments on the following request: **Request for major subdivision final plat to create 18 single-family residential lots.**

This request is located approximately 1,000 feet south of East 76th Avenue & Woodchest Street. The Assessor's Parcel Numbers are 0173113340002, 0173113340005, 0173113340007, and 0173133400001.

Applicant Information: Holly Investment Company
PO Box 557
STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, (720) 523-6800 by 12/30/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: Karl Smalley [KSmalley@adcogov.org]
Sent: Monday, December 12, 2016 4:39 PM
To: Greg Barnes
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Hi Greg,

The Adams County Sheriff's Office has no objections to this project.

Karl Smalley, Commander
Adams County Sheriff's Office Plains Section
Strasburg, Co 80136
303-622-9797

Adams County Finance Department SIA Review
Laura Garcia

- The collateral should be \$914,709 if construction is completed in 2017. if construction is completed in 2018 or later the 5% will need to be added for each additional year.
Year 1
Cost Estimate from Exhibit "B" 725,959
Additional 20% for Administration 145,192
Total Cost with 20% Admin 871,151
Additional 5% per year of
Total Cost with 20% Admin 43,558
Total 914,709
- Also in statement number 5 the following needs to be changed to say preliminary acceptance by the Transportation Department (not by the BoCC)
- Preliminary acceptance by the BoCC in accordance with section 5-02-06-01 of the County's Development Standards and Regulations, the collateral shall be released

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 1/6/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for a Final Plat Application. Please resubmit information to address the comments made. I will be happy to set up a meeting to help you address these concerns. Please contact the case manager if you have any questions:

Commenting Division: Building SIA Review

Name of Reviewer: Justin Blair

Date: 12/21/2016

Email: jblair@adcogov.org

Complete

Commenting Division: Building Final Plat Review

Name of Reviewer: Justin Blair

Date: 12/05/2016

Email: jblair@adcogov.org

No Comment

Commenting Division: Engineering SIA Review

Name of Reviewer: Greg Labrie

Date: 12/30/2016

Email: glabrie@adcogov.org

Complete

ENG1: Replace paragraph 5 of the SIA with the following wording:

Guarantee of Compliance. Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of (The total amount from Exhibit B is required to be added here), including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by Adams County in accordance with section 5-02-06-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No construction, building or change-in-use permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to Adams County.

ENG2: Remove the last sentence in paragraph 6 which states "Upon preliminary acceptance of improvements described in Exhibit "B" Adams County may begin accepting building permit applications for parcels."

ENG3: Replace the narrative portion of paragraph 8 with the following narrative:

"Improvements and Dedication. The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements. Designate separately each public and private improvement.

Public Improvements: (See Exhibit B.)

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

B. Public dedication of land for right-of-way purposes or other public purpose. Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by warranty deed to the County of Adams the following described land for right-of-way or other public purposes:"

ENG4: The individual cost estimates for Woodchest, 74th Avenue, and Van Sickle does not add up to the total construction cost estimate. The format of the estimate should show the unit price cost for each bid item to construct the individual streets and the total cost for each street should be added together to obtain the total construction cost for the project.

Commenting Division: Engineering Final Plat Review

Name of Reviewer: Greg Labrie

Date: 12/30/2016

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: The following comments that were given to the applicant in May of 2016 for the engineering plans have not been addressed; The final design of the roadway and drainage facilities will have an impact on the final plat.

- b) Sheet 1 – The drainage plans and the erosion and sediment control plans must be submitted with the construction plans.
- c) Sheet 1 – Submit the Geotechnical report that supports the pavement design.
- f) Sheet 4 – A detail is required to show how 74th Avenue will tie into Woodchest Street. The plan and profile of 74th Avenue should extend into the intersection of Woodchest Street.
- g) Sheet 5 – The plan and profile of Van Sickle Street shall extend beyond the Cul de Sac and a detail should be provided to show the transitional requirements and the erosion and sediment control requirements.
- h) Engineering plans shall be signed and stamped by a Professional Engineer registered with the state of Colorado.
 - a) The drainage report was revised on April 4, 2005. This is an outdated report and it does not include many of the current drainage standards. The standards that are required to be address are as follows:
 1. The use of retention ponds will require verification and description of the type of water rights owned by the developer.
 2. The state of Colorado will also require the review and approval of an augmentation plan from the developer before retention ponds are allowed to be constructed.
 3. The report does not provide the analysis for the WQCV requirements.
 4. There were no drainage plans submitted with the report.
 5. No details were given for the retention ponds.
 - b) Indicate any proposed phasing of construction. If off- site fill material is required to support the grading plan, the fill source and quantity are required to be indicated on the drawings and it shall include the source and quantity of selected off-site material.
 - c) All drainage easements and maintenance access points shall be identified on plans. The submittal shall include a copy of the final plat to verify easements.
 - d) A drainage maintenance plan for the drainage facilities is required to be submitted to Adams County. This plan should be recorded with the Clerk and Recorder Office and the recorded document number shall be identified on the plat.
 - e) The plans are required to clearly identify invert flowline elevations and direction of flow. At a minimum the plans shall show a cross section of the retention pond/open channel indicating the major components of each drainage facility, such as the exact location of structure, invert elevations in/out structures, outlet configuration, and top elevation of structures.

The amount of freeboard above the 100 year water surface elevation within the pond is to be shown on the

plans. One foot of freeboard is required for retention pond design, as indicated in the Adams County Development Review Manual, Chapter 9, Section 9-01-12-01-01, Page 23, which states that “An additional one-foot of depth must be added to the overall volume to accommodate for freeboard.”

Commenting Division: Environmental Analyst Final Plat Review

Name of Reviewer: Jen Rutter

Date: 12/13/2016

Email: jrutter@adcogov.org

No Comment

Commenting Division: Parks SIA Review

Name of Reviewer: Aaron Clark

Date: 12/27/2016

Email: aclark@adcogov.org

No Comment

Commenting Division: Parks Final Plat Review

Name of Reviewer: Aaron Clark

Date: 12/07/2016

Email: aclark@adcogov.org

No Comment

Commenting Division: Planner Final Plat Review

Name of Reviewer: Greg Barnes

Date: 01/06/2017

Email: gbarnes@adcogov.org

Resubmittal Required

PLN01: This case will not be scheduled for public hearing until engineering plans, subdivision improvements agreement, and collateral for public improvements have been finalized for approval.

PLN02; Please provide a word document with the legal description of this site with your resubmittal.

Commenting Division: ROW Final Plat Review

Name of Reviewer: NA

Date: 01/06/2017

Email: NA

No Comment

Commenting Division: ROW SIA Review

Name of Reviewer: NA

Date: 01/06/2017

Email: NA

Complete

ROW comments incorporated into Engineering Review

Greg Barnes

From: Gordon Stevens
Sent: Friday, December 09, 2016 10:43 AM
To: Greg Barnes
Cc: Rene Valdez; Greg Labrie
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Good Morning Greg,

Per our discussion this morning and the map that I gave to you, the Transportation Dept. does not agree with the street configuration as submitted. Over the last several months, I have had several conversations with Mr. Labrie about these street configurations. As proposed, it is the opinion of the Transportation Dept., that it is unacceptable that all of these 18 proposed lots of filing no. 1 and the existing lots of filing no. 2 will continue to be accessed by one access point, 76th Ave., from Strasburg Rd. At a minimum, an emergency access point from the south should be considered.

Sincerely,



Gordon Stevens

Construction Inspection Supervisor,
Department of Transportation
Infrastructure Management Division
ADAMS COUNTY, COLORADO

4430 So, Adams County Parkway,
1st Floor, Suite W2000B
Brighton, CO 80601-8218

o: 720-523-6965 | gstevens@adcogov.org, www.adcogov.org
c: 303-947-9633

From: Greg Barnes
Sent: Friday, December 09, 2016 8:58 AM
To: Gordon Stevens
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

If you'd like, you can draft me an e-mail with your comments. I'll include it in the BoCC packet for them to consider. Totally up to you.

From: Gordon Stevens
Sent: Friday, December 09, 2016 7:07 AM
To: Greg Barnes
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Good Morning Greg,

I would like to speak to you about this first thing this morning.

Thanks!

Gordon

From: Greg Barnes
Sent: Thursday, December 08, 2016 2:15 PM
To: Greg Barnes
Subject: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

The Adams County Planning Commission is requesting comments on the following request: **Request for major subdivision final plat to create 18 single-family residential lots.**

This request is located approximately 1,000 feet south of East 76th Avenue & Woodchest Street. The Assessor's Parcel Numbers are 0173113340002, 0173113340005, 0173113340007, and 0173133400001.

Applicant Information: Holly Investment Company
 PO Box 557
 STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, (720) 523-6800 by 12/30/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Adams County Transportation Department – Right-of-Way Section

Referral Case Comments

Date: December 29, 2016

Referral Case: Grasslands at Comanche – First Filing
Case Number: PLT2016-00012

Plat revisions

1. Per the application submitted, remove the words “Preliminary Plat” at the top of every sheet.
2. Revise the case number to PLT2016-00032 and move to the upper right-hand corner to all sheets.
3. Per the Colorado Bylaws and Rules of the State Board of Licensure for Architects, Professional Engineers and Professional Land Surveyors, provide the method used to establish the basis of bearings and add the bearing used in the basis of bearings note on Sheet 1.
4. In the first line of the dedication statement after the legal description, add the following words after the word SUBDIVIDED: “*INTO LOTS, STREETS AND EASEMENTS,*”
5. In the fourth line of the dedication statement, remove the words “ALSO RESERVE THOSE PORTIONS OF REAL PROPERTY WHICH ARE” and replace with “*THE EASEMENTS AS SHOWN,*’.
6. Add the word “OF” in the owner’s notary acknowledgement.
7. For clarity purposes, remove the lot lines, right-of-ways, easements and dimensions of the future or proposed filings on Sheets 3-5.
8. Provide dimensions of the Access Easements for the Temporary Cul-De-Sacs.
9. Use a lighter color or screening for the proposed filings as shown on Sheet 2.
10. Provide descriptions of section corner monuments found or set as shown on Sheet 2.
11. Show the recently recorded drainage easement recorded at Reception No. 201600106663 as it applies to this development.
12. Add the bearing of the southerly lot lines of Lots 4 & 6 Block 3.
13. Revise the lot number of Lot 6 Block 3 to Lot 5.

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.
SHEET 2 OF 5

PLT2016-00012

N. V. COR.
SEC. 33,
T. 2S.,
R. 62W.

N. M. COR.
SEC. 33,
T. 2S.,
R. 62W.

N. E. COR.
SEC. 33,
T. 2S.,
R. 62W.

N. W. COR.
SEC. 33,
T. 2S.,
R. 62W.

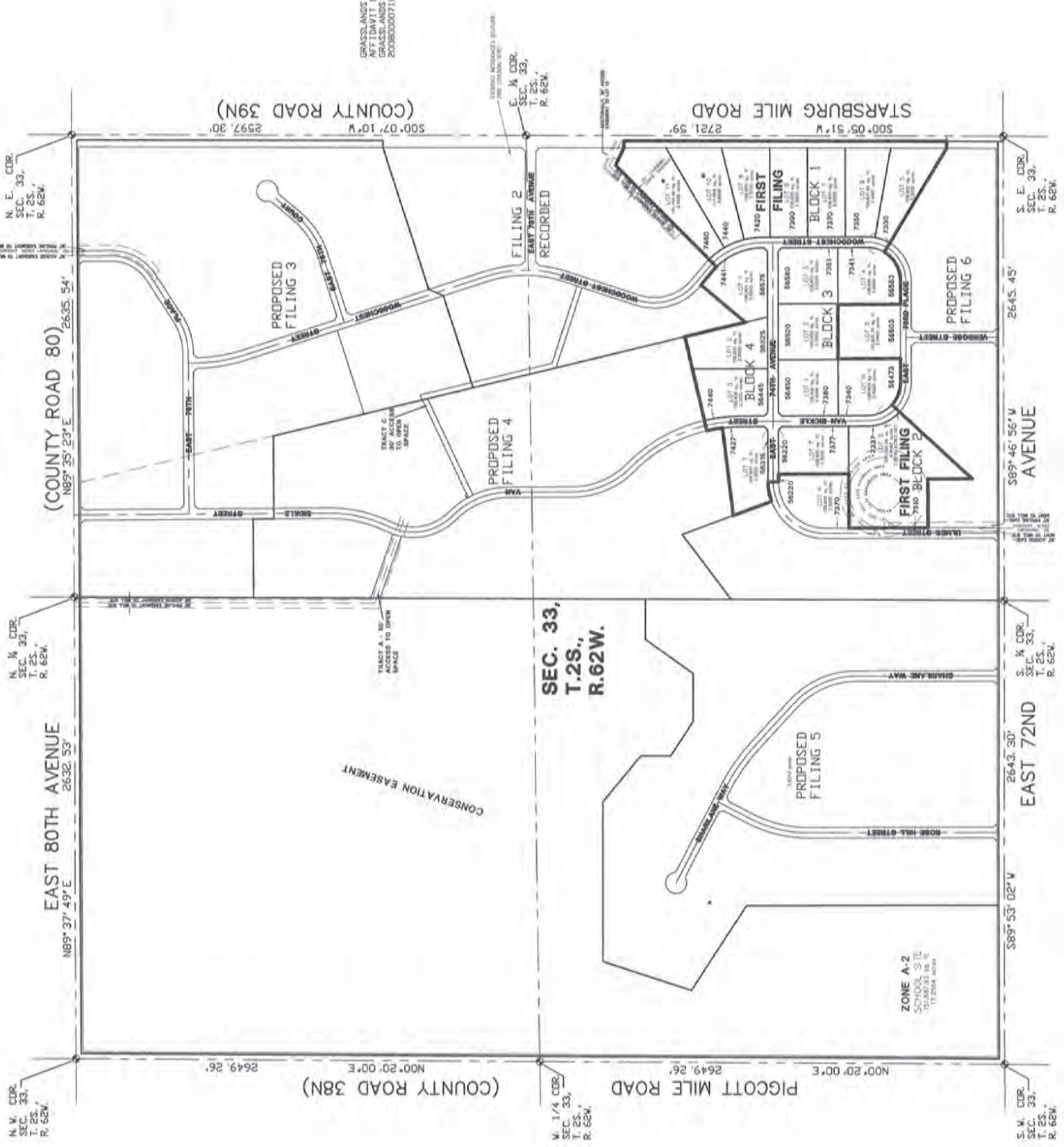


SCALE: 1"=400'

- FILING NO. 1 - 18 LOTS
- FILING NO. 2 (RECORDED) - 12 LOTS
- FILING NO. 2 (AMENDED) - 1 LOT
- FILING NO. 3 (PROPOSED) - 33 LOTS
- FILING NO. 4 (PROPOSED) - 30 LOTS
- FILING NO. 5 (PROPOSED) - 18 LOTS
- FILING NO. 6 (PROPOSED) - 9 LOTS
- TOTAL - 120 LOTS

* LOTS WERE FRONT BUILDING SETBACK DETERMINED BY REQUIRING OF 100' LOT WIDTH AT BUILDING LINE.
GRASSLANDS AT COMANCHE - SECOND FILING IN RECEPTION NO. 2008000000649
AFFIDAVIT OF CORRECTION (SECOND FILING) IN RECEPTION NO. 201300048277
GRASSLANDS AT COMANCHE - SECOND FILING - AMENDED PLAT IN RECEPTION NO. 2008000071069

* Use a lighter color or screen for proposed filings for clarity purposes.
* Provide description of section corner monument found or set.



Prepared By:
R. V. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80233
303-452-4433 rsurvey@rvgphoto.com
CAD FILE: C15188137/C15188137E.DWG
Date Prepared: NOVEMBER 10, 2015
REVISED 06-27-2016 PER CLIENT
REVISED 08-16-2016 PER COUNTY COMMENT

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

PLT2016-00012

SHEET 5 OF 5

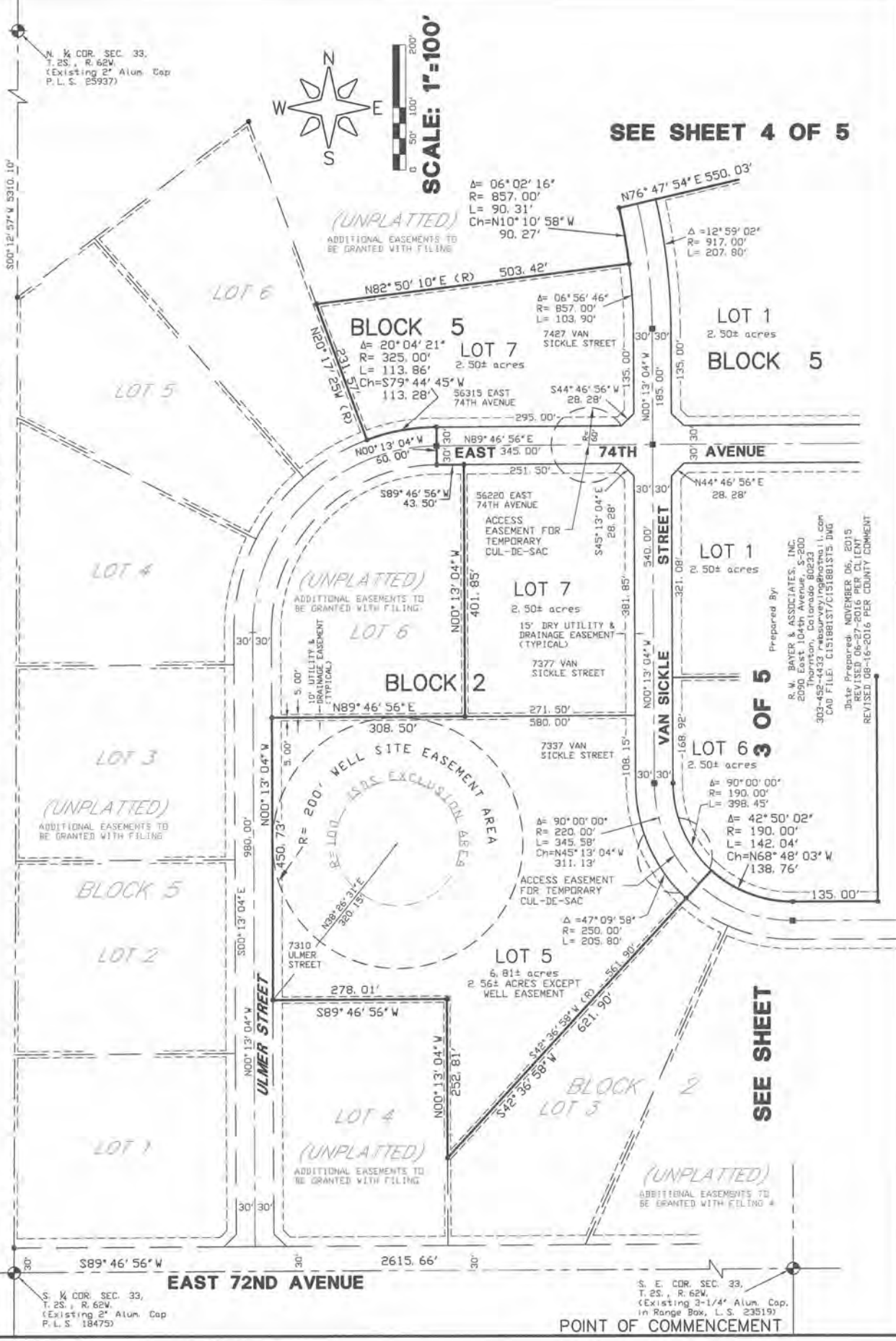
LEGEND

- DENOTES SET - #5 REBAR AND CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES #5 REBAR & CAP, BAYER - P.L.S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
- (R) DENOTES BEARING IS RADIAL TO CURVE

(UNPLATTED)
ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING

(UNPLATTED)
ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING

(UNPLATTED)
ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING



SEE SHEET 4 OF 5

SEE SHEET

Prepared By
R.W. BAYER & ASSOCIATES, INC.
2090 East 104th Avenue, S-200
Thornton, Colorado 80223
303-452-4432 rwesurvey@ingphoto.com
CAD FILE: C15186157/C15186157.DWG
Date Prepared: NOVEMBER 06, 2015
REVISED 06-27-2016 PER CLIENT
REVISED 08-16-2016 PER COUNTY COMMENT

N ¼ COR. SEC. 33,
T. 2S., R. 62W.
(Existing 2" Alum. Cap
P.L.S. 25937)

S ¼ COR. SEC. 33,
T. 2S., R. 62W.
(Existing 2" Alum. Cap
P.L.S. 18475)

S.E. COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4" Alum. Cap
in Range Box, L.S. 23519)
POINT OF COMMENCEMENT

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

PLT2016-00012

SHEET 4 OF 5

E. 1/4 COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4" Alum
Cap. in Range Box,
P.L.S. 23519)



SCALE: 1"=100'
LEGEND

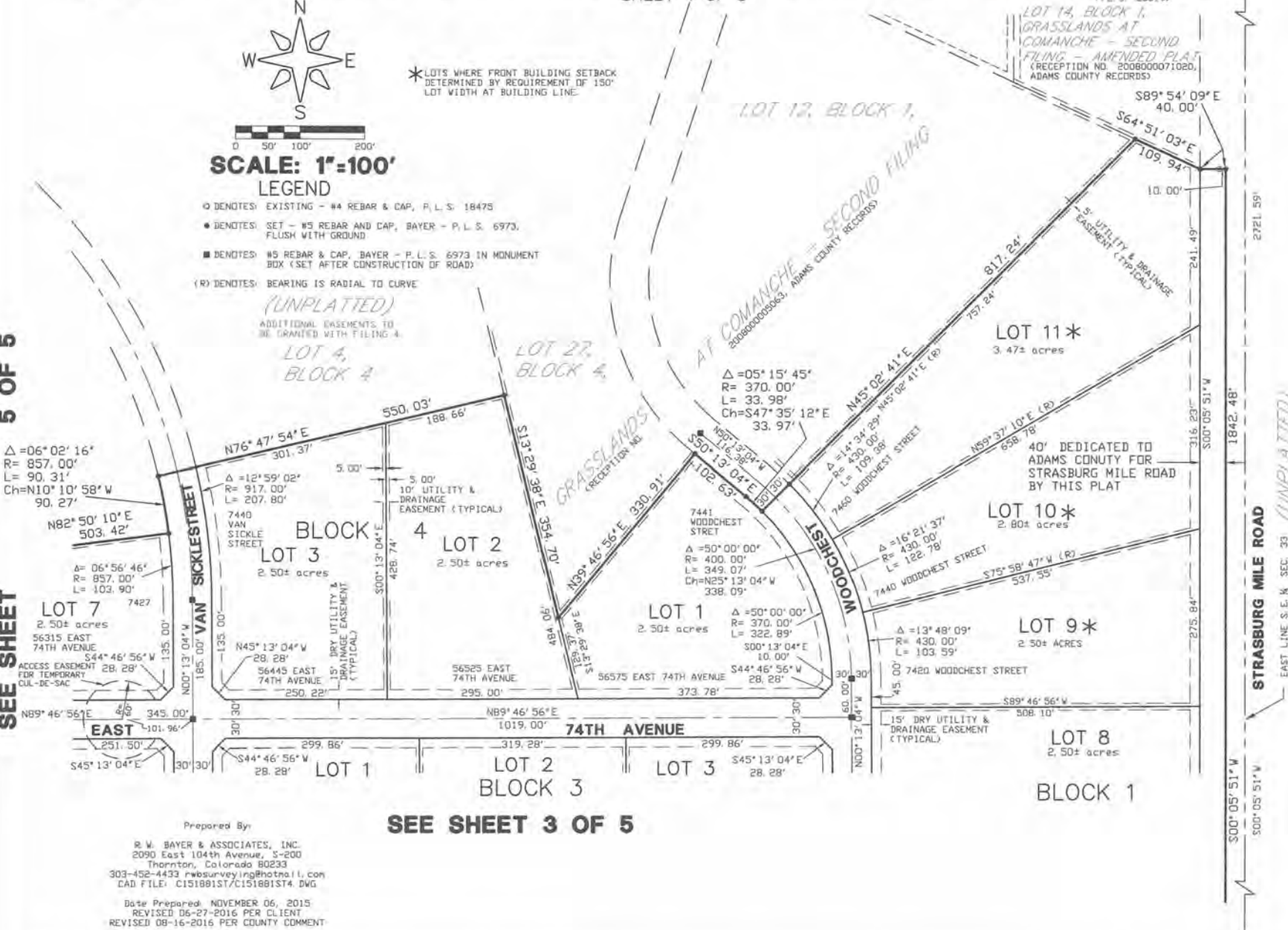
- DENOTES: EXISTING - #4 REBAR & CAP, P.L.S. 18475
- DENOTES: SET - #5 REBAR AND CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES: #5 REBAR & CAP, BAYER - P.L.S. 6973 IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)
- (R) DENOTES: BEARING IS RADIAL TO CURVE

(UNPLATTED)

ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING 4.
LOT 4, BLOCK 4

SEE SHEET 5 OF 5

SEE SHEET 3 OF 5



Prepared By:
R. W. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rwbosurveying@hotmail.com
 CAD FILE: C151881ST/C151881ST4.DWG
 Date Prepared: NOVEMBER 06, 2015
 REVISED 06-27-2016 PER CLIENT
 REVISED 08-16-2016 PER COUNTY COMMENT

S. E. COR. SEC. 33,
T. 2S., R. 62W.
(Existing 3-1/4" Alum Cap.
in Range Box, L.S. 23519)

GRASSLANDS AT COMANCHE - FIRST FILING - Preliminary Plat

A PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 126 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO. PLT2016-00012

SHEET 3 OF 5

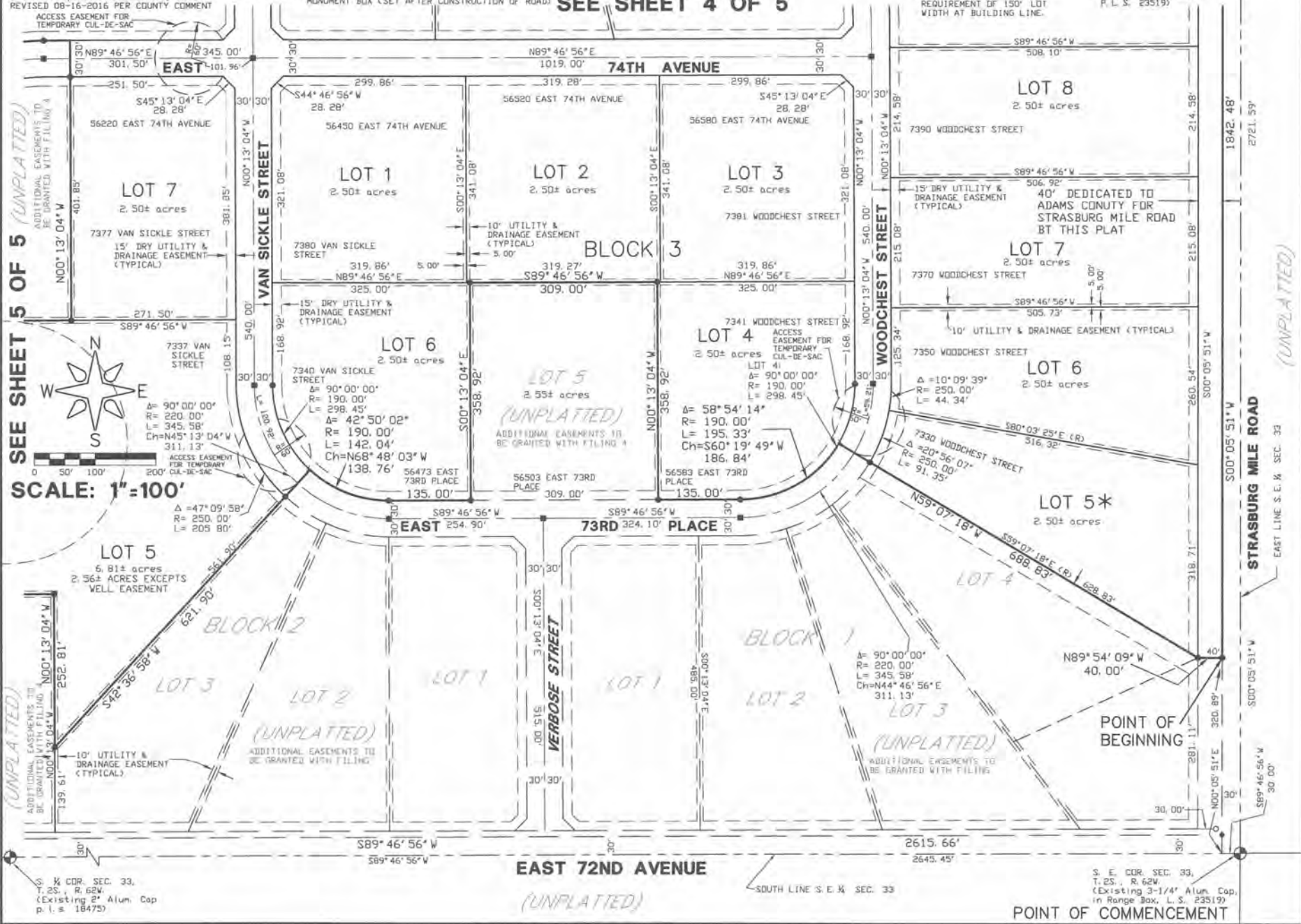
SEE SHEET 4 OF 5

Prepared By:
 R. V. BAYER & ASSOCIATES, INC.
 2090 East 104th Avenue, S-200
 Thornton, Colorado 80233
 303-452-4433 rvbbsurveying@hotmail.com
 CAD FILE: C151881ST/C151881ST3.DWG
 Date Prepared: NOVEMBER 10, 2015
 REVISED 08-16-2016 PER COUNTY COMMENT
 ACCESS EASEMENT FOR TEMPORARY CUL-DE-SAC

- DENOTES: SET #5 REBAR & CAP, BAYER - P.L.S. 6973, FLUSH WITH GROUND
- DENOTES: SET #5 REBAR & CAP, BAYER - P.L.S. 6973, IN MONUMENT BOX (SET AFTER CONSTRUCTION OF ROAD)

* LOTS WHERE FRONT BUILDING SETBACK DETERMINED BY REQUIREMENT OF 150' LOT WIDTH AT BUILDING LINE.

E. & COR. SEC. 33,
 T. 2S., R. 62W.
 (Existing 3-3/4" Alum
 Cap, in Range Box,
 P.L.S. 23519)



SCALE: 1"=100'

SEE SHEET 5 OF 5 (UNPLATTED)
 ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING

(UNPLATTED)
 ADDITIONAL EASEMENTS TO BE GRANTED WITH FILING

S. & COR. SEC. 33,
 T. 2S., R. 62W.
 (Existing 2" Alum Cap
 p.l.s. 18475)

(UNPLATTED)

STRASBURG MILE ROAD
 EAST LINE S. E. & SEC. 33

S. E. COR. SEC. 33,
 T. 2S., R. 62W.
 (Existing 3-1/4" Alum Cap,
 in Range Box, L. S. 23519)

POINT OF COMMENCEMENT

EAST 72ND AVENUE
 (UNPLATTED)

SOUTH LINE S. E. & SEC. 33

Greg Barnes

From: Jennifer Lothrop
Sent: Tuesday, December 20, 2016 9:46 AM
To: Greg Barnes
Cc: Brigitte Grimm
Subject: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat
Attachments: PHN.pdf; Simple Packet.pdf

Case Name: Grasslands at Comanche, Filing 1 Final Plat
Case Number: PLT2016-00032
Parcel #'s 0173113340002, 0173113340005, 0173113340007, and 0173133400001

The above mentioned parcels are paid in full, therefore, the Treasurer's Office has no negative input regarding this revised request.

Jennifer Lothrop
Treasurer Technician

Adams County Treasurer's Office
4430 S. Adams County Pkwy., Ste. C2436
Brighton, CO 80601
720.523.6761 | www.adcotax.com
Mon. - Fri. 7am - 5pm



Adams County Mission
To responsibly serve the Adams County Community with integrity and innovation.



The Adams County Planning Commission is requesting comments on the following request: **Request for major subdivision final plat to create 18 single-family residential lots.**

This request is located approximately 1,000 feet south of East 76th Avenue & Woodchest Street. The Assessor's Parcel Numbers are 0173113340002, 0173113340005, 0173113340007, and 0173133400001.

Applicant Information: Holly Investment Company
PO Box 557
STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, (720) 523-6800 by 12/30/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.



Greg Barnes
Planner II, *Community and Economic Development*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
1st Floor, Suite W2000A
Brighton, CO 80601-8216
o: 720-523-6853 | gjbarnes@adcogov.org
www.adcogov.org

Greg Barnes

From: Karl Smalley [KSmalley@adcogov.org]
Sent: Monday, December 12, 2016 4:39 PM
To: Greg Barnes
Subject: RE: For Review: PLT2016-00032 Grasslands at Comanche, Filing 1 Final Plat

Hi Greg,

The Adams County Sheriff's Office has no objections to this project.

Karl Smalley, Commander
Adams County Sheriff's Office Plains Section
Strasburg, Co 80136
303-622-9797

Adams County Finance Department SIA Review
Laura Garcia

- The collateral should be \$914,709 if construction is completed in 2017. if construction is completed in 2018 or later the 5% will need to be added for each additional year.
Year 1
Cost Estimate from Exhibit "B" 725,959
Additional 20% for Administration 145,192
Total Cost with 20% Admin 871,151
Additional 5% per year of
Total Cost with 20% Admin 43,558
Total 914,709
- Also in statement number 5 the following needs to be changed to say preliminary acceptance by the Transportation Department (not by the BoCC)
- Preliminary acceptance by the BoCC in accordance with section 5-02-06-01 of the County's Development Standards and Regulations, the collateral shall be released



Development Review Team Comments

Date: 2/16/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 02/06/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Building Review

Name of Reviewer: Greg Barnes

Date: 02/16/2017

Email: gbarnes@adcogov.org

Complete: Please address outstanding comments. All PLD fees and SIA collateral must be provided prior to hearing.

12/05/2016

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 02/16/2017

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: Sheet 1, note #24 is required to be changed to reflect the wording in the SIA in regards to the issuance of the Certificate of Occupancy.

ENG2: A copy of the pavement design documents is required to verify that the street cross section pavement design shown on sheet 1 is in compliance with Adams County standards.

ENG3: Legal descriptions, exhibits, and easement documentation for the drainage swales, drainage ponds, and drainage access are required to be completed, reviewed, approved, and recorded. The easements are also required to be shown on the construction drawings identified by the book and page or record numbers from the Clerk and Records Office.

ENG4: Permanent traffic barriers are required to be installed at the end of each interim cul de sac.

ENG5: The design of the roadways need to go at least a 100' beyond the end of roadway to insure proper transitions for drainage features associated with the new proposed roadway.

ENG6: The drainage pipe under Strasburg Road shown on Sheet 12 should be denoted as existing and not new.

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 02/15/2017

Email: glabrie@adcogov.org

Complete

ENG1: Although the improvements may be completed in 120 days, there is a preliminary acceptance period of one year in accordance to the Adams County Development Standards and Regulations. Therefore, the applicant is required to add at least a 5% inflation cost to the construction and administration cost of \$542,198.40.

Commenting Division: ROW Review

Name of Reviewer: Ian Cortez

Date: /10/2017

Email:

Complete

Plat comments for 2-7-2017 resubmittal:

1. Due to recent BoCC election, revise the title of the BoCC signature block from CHAIRPERSON to CHAIR.
2. Remove the lot label of proposed Lot 5 Block 3 on Sheet 2.
3. The Construction Documents show a 16 feet of easements along the right-of-way lines. Yet the plat shows 15 feet. Please confirm which is right.
4. The Construction Documents show a drainage swale running East-West along the southerly end of Lots 4 & 5 Block 3. Adams County will require a permanent drainage easement, by separate deed, to be recorded and shown on this plat. Please coordinate with the Transportation Department.
5. Move the case number on Sheet 4 to the top right corner, similar to the other sheets.

* Please include mark-up filed at Document #5545464.

Greg Barnes

From: Greg Labrie
Sent: Thursday, February 16, 2017 4:59 PM
To: Greg Barnes
Subject: PIT2016-00032- Grasslands at Comanche

Greg,

I forgot to add the following comment to Acella.

ENG7: Adams County Transportation Staff is requesting the applicant to show on the construction drawings an emergency access consisting of road base material from East 72nd Avenue to East 73rd Place. This will be an interim emergency access installed at the time of Filing 1 and removed when Verbose Street is constructed in a later filing.

T. Greg Labrie, PE, CFM
Senior Engineer
Adams County
Development Engineering Services
4430 S. Adams County Parkway
Brighton, CO 80601
Ph # 720-523-6824



Comments Regarding the SIA

- **Finance Department, Laura Garcia**

Items number 5, Guarantee of Compliance should be \$569,404. This includes the 1 year 5% inflation. see the below breakdown. This is assuming that preliminary acceptance will be granted in 2017. if this project will go beyond 2017 then another 5% inflation cost needs to be added.

Cost Estimate from Exhibit "B" 451,908

Additional 20% for Administration 90,382

Total Cost with 20% Admin 542,290

Additional 5% per year of Total Cost with 20% Admin 27,114

Total 569,404

- **Engineering Comments, Greg Labrie**

ENG1: Although the improvements may be completed in 120 days, there is a preliminary acceptance period of one year in accordance to the Adams County Development Standards and Regulations. Therefore, the applicant is required to add at least a 5% inflation cost to the construction and administration cost of \$542,198.40.



Development Review Team Comments

Date: 3/28/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 03/13/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Building SIA Review

Name of Reviewer: Justin Blair

Date: 03/13/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 03/24/2017

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: Sheet 2 of 12, - The Emergency Access Roadway Section, The note should read as follows: "Remove existing top soil and place 6" thick compacted aggregate base course over undisturbed native material."

ENG2: A legal description and exhibit are required for the emergency access easement and the temporary drainage swale easement. These easements are required to be shown on sheets 2, 5, 6, 9, and 11 of the engineering construction plans.

ENG3: The 8 feet wide traffic barricade notes shown on sheets 1, 3, 4, and 5 shall be changed to "36 feet wide traffic barricades are required to be installed from shoulder to shoulder of the roadway."

ENG4: The culvert shown at the intersection of E. 74th Avenue and Woodchest Street on sheets 3, 4, 8 and 9 should be changed to a 24" diameter RCP. The notes on the site plans of each sheet and the plan and profile should reflect this change. This change should also be made for Design Point 12 on the Proposed Culvert Chart on sheet 8.

ENG5: The culvert shown underneath E. 73rd Place on sheet 6, 8 and 9 going to the swale of the detention pond should be changed to a 24" diameter RCP. The notes on each site plan and the plan and

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 03/22/2017

Email: aclark@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 03/21/2017

Email: gbarnes@adcogov.org

Complete

PLN01: The following comment clarifies the Public Land Dedication (PLD) fees requirements for Grasslands at Comanche PUD:

SCHOOL PLD FEES: The entire PUD dedicated a 17 acre property to meet this requirement. This dedicated was described in detail during the final PUD approval (PRJ2007-00036).

NEIGHBORHOOD PARKS PLD FEES: Pursuant to Section 5-05-05-01-02 of the Development Standards and Regulations, titled "Private Parks Counting As Fulfilling The Requirement", the Neighborhood Parks requirement for PLD fees was satisfied by the dedication of conservation easements exceeding the neighborhood parks land requirements for PLD fees. This was approved as part of the Final PUD approval (PRJ2007-00036)

REGIONAL PARKS PLD FEES: This payment is required per filing. The present application for Filing 1 includes 18 single-family residential lots. Based on the calculation requirements in Sections 5-05-05-02-01 and 05-05-04-052-01 of the DSR, a total of \$3,196.91 is required to satisfy the Regional parks requirement.

PLN02: Prior to scheduling this case for public hearing: three signed copies of the SIA, the SIA collateral, PLD Fee payment, and a signed copy of the mylar is required to be provided. Upon receipt of these items, I will provide a date for this item to appear before the Board of County Commissioners on the consent agenda.

Commenting Division: ROW Review

Name of Reviewer: Ian Cortez

Date: 03/27/2017

Email:

Resubmittal Required

1. Label the portions of the 60-foot drainage easement (to be recorded by separate instrument) encumbering Lots 4 & 5 Block 3.
 2. Since the offsite drainage easement south of Lot 5 Block 1 is being re-recorded, please leave a blank space for the reception number.
- Please resubmit

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 5/22/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the major subdivision final plat. The Development Review Team review requests a resubmittal from you to reflect the comments below. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 05/08/2017

Email: iblair@adcogov.org

Complete

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 05/16/2017

Email: glabrie@adcogov.org

Complete

ENG1; The applicant has submitted engineering plans and documentation that meet or exceeds the Adams County Development Standards and Regulations.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 05/16/2017

Email: aclark@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/16/2017

Email: gibarnes@adcogov.org

Complete

The following comment clarifies the Public Land Dedication (PLD) fees requirements for Grasslands at Comanche PUD:

SCHOOL PLD FEES: The entire PUD dedicated a 17 acre property to meet this requirement. This dedicated was described in detail during the final PUD approval (PRJ2007-00036).

NEIGHBORHOOD PARKS PLD FEES: Pursuant to Section 5-05-05-01-02 of the Development Standards and Regulations, titled "Private Parks Counting As Fulfilling The Requirement", the Neighborhood Parks requirement for PLD fees was satisfied by the dedication of conservation easements exceeding the neighborhood parks land requirements for PLD fees. This was approved as part of the Final PUD approval (PRJ2007-00036)

REGIONAL PARKS PLD FEES: This payment is required per filing. The present application for Filing 1 includes 18 single-family residential lots. Based on the calculation requirements in Sections 5-05-05-02-01 and 05-05-04-052-01 of the DSR, a total of \$3,196.91 is required to satisfy the Regional parks requirement.

PLN02: Prior to scheduling this case for public hearing: three signed copies of the SIA, the SIA collateral, PLD Fee payment, and a signed copy of the mylar is required to be provided. Upon receipt of these items, I will provide a date for this item to appear before the Board of County Commissioners on the consent agenda.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 05/22/2017

Email: mhillje@adcogov.org

Resubmittal Required

see attachment



Development Review Team Comments

Date: 3/28/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the Conceptual Review meeting and applicable to the submitted documents only. The Development Review Team review comments may change if you provide different information during the scheduled Conceptual Review meeting date. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 03/13/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Building SIA Review

Name of Reviewer: Justin Blair

Date: 03/13/2017

Email: jblair@adcogov.org

Complete

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 03/24/2017

Email: glabrie@adcogov.org

Resubmittal Required

ENG1: Sheet 2 of 12, - The Emergency Access Roadway Section, The note should read as follows: "Remove existing top soil and place 6" thick compacted aggregate base course over undisturbed native material."

ENG2: A legal description and exhibit are required for the emergency access easement and the temporary drainage swale easement. These easements are required to be shown on sheets 2, 5, 6, 9, and 11 of the engineering construction plans.

ENG3: The 8 feet wide traffic barricade notes shown on sheets 1, 3, 4, and 5 shall be changed to "36 feet wide traffic barricades are required to be installed from shoulder to shoulder of the roadway."

ENG4: The culvert shown at the intersection of E. 74th Avenue and Woodchest Street on sheets 3, 4, 8 and 9 should be changed to a 24" diameter RCP. The notes on the site plans of each sheet and the plan and profile should reflect this change. This change should also be made for Design Point 12 on the Proposed Culvert Chart on sheet 8.

ENG5: The culvert shown underneath E. 73rd Place on sheet 6, 8 and 9 going to the swale of the detention pond should be changed to a 24" diameter RCP. The notes on each site plan and the plan and

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 03/22/2017

Email: aclark@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 03/21/2017

Email: gbarnes@adcogov.org

Complete

PLN01: The following comment clarifies the Public Land Dedication (PLD) fees requirements for Grasslands at Comanche PUD:

SCHOOL PLD FEES: The entire PUD dedicated a 17 acre property to meet this requirement. This dedicated was described in detail during the final PUD approval (PRJ2007-00036).

NEIGHBORHOOD PARKS PLD FEES: Pursuant to Section 5-05-05-01-02 of the Development Standards and Regulations, titled "Private Parks Counting As Fulfilling The Requirement", the Neighborhood Parks requirement for PLD fees was satisfied by the dedication of conservation easements exceeding the neighborhood parks land requirements for PLD fees. This was approved as part of the Final PUD approval (PRJ2007-00036)

REGIONAL PARKS PLD FEES: This payment is required per filing. The present application for Filing 1 includes 18 single-family residential lots. Based on the calculation requirements in Sections 5-05-05-02-01 and 05-05-04-052-01 of the DSR, a total of \$3,196.91 is required to satisfy the Regional parks requirement.

PLN02: Prior to scheduling this case for public hearing: three signed copies of the SIA, the SIA collateral, PLD Fee payment, and a signed copy of the mylar is required to be provided. Upon receipt of these items, I will provide a date for this item to appear before the Board of County Commissioners on the consent agenda.

Commenting Division: ROW Review

Name of Reviewer: Ian Cortez

Date: 03/27/2017

Email:

Resubmittal Required

1. Label the portions of the 60-foot drainage easement (to be recorded by separate instrument) encumbering Lots 4 & 5 Block 3.
 2. Since the offsite drainage easement south of Lot 5 Block 1 is being re-recorded, please leave a blank space for the reception number.
- Please resubmit

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 5/22/2017

Project Number: PLT2016-00032

Project Name: Grasslands at Comanche.

Note to Applicant:

The following review comments and information from the Development Review Team is based on the information you submitted for the major subdivision final plat. The Development Review Team review requests a resubmittal from you to reflect the comments below. Please contact the case manager if you have any questions:

Commenting Division: Building Review

Name of Reviewer: Justin Blair

Date: 05/08/2017

Email: iblair@adcogov.org

Complete

Commenting Division: Engineering Review

Name of Reviewer: Greg Labrie

Date: 05/16/2017

Email: glabrie@adcogov.org

Complete

ENG1; The applicant has submitted engineering plans and documentation that meet or exceeds the Adams County Development Standards and Regulations.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 05/16/2017

Email: aclark@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/16/2017

Email: gibarnes@adcogov.org

Complete

The following comment clarifies the Public Land Dedication (PLD) fees requirements for Grasslands at Comanche PUD:

SCHOOL PLD FEES: The entire PUD dedicated a 17 acre property to meet this requirement. This dedicated was described in detail during the final PUD approval (PRJ2007-00036).

NEIGHBORHOOD PARKS PLD FEES: Pursuant to Section 5-05-05-01-02 of the Development Standards and Regulations, titled "Private Parks Counting As Fulfilling The Requirement", the Neighborhood Parks requirement for PLD fees was satisfied by the dedication of conservation easements exceeding the neighborhood parks land requirements for PLD fees. This was approved as part of the Final PUD approval (PRJ2007-00036)

REGIONAL PARKS PLD FEES: This payment is required per filing. The present application for Filing 1 includes 18 single-family residential lots. Based on the calculation requirements in Sections 5-05-05-02-01 and 05-05-04-052-01 of the DSR, a total of \$3,196.91 is required to satisfy the Regional parks requirement.

PLN02: Prior to scheduling this case for public hearing: three signed copies of the SIA, the SIA collateral, PLD Fee payment, and a signed copy of the mylar is required to be provided. Upon receipt of these items, I will provide a date for this item to appear before the Board of County Commissioners on the consent agenda.

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 05/22/2017

Email: mhillje@adcogov.org

Resubmittal Required

see attachment

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Karen Berry
State Geologist

December 19, 2016

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000
Brighton, CO 80601

Location:
SE¼ Section 33,
T2S, R62W of the 6th P.M.
39.829, -104.325

Subject: Grasslands at Comanche, 1st Filing – Final Plat
Project Number PLT2016-00032; Adams County, CO; CGS Unique No. AD-16-0019_2

Dear Greg:

Colorado Geological Survey has reviewed the Grasslands at Comanche, 1st Filing final plat referral. I understand the applicant proposes 18 single-family residential lots of approximately 2.5 acres each (one lot is 6.8 acres) on 57 acres located northwest of E. 72nd Avenue and Strasburg Mile Road, north of Strasburg. Each lot is proposed to have an individual well and onsite wastewater system (OWS). With this referral, I received a Request for Comments (December 8, 2016), an Explanation of Request (undated), and a set of five preliminary plat sheets (RW Bayer & Associates, revised August 16, 2016).

CGS reviewed the overall Grasslands at Comanche development, including a soils report (Judith Hamilton, May 5, 2005), at the PUD/PDP phase of the planning process, and we reviewed this filing at preliminary plat on April 21, 2016. The lot layout is unchanged from preliminary plat, and no new geologic or geotechnical information was included with the final plat referral documents, so our previous comments remain valid. Potential development constraints that will need to be addressed on an individual lot basis, prior to building permit application, include:

Collapsible soils. The site is underlain by relatively low density, low strength, eolian (wind-deposited) silts, clays and sands. Some of the soils are calcareous. Eolian soils, especially those containing soluble calcareous minerals, tend to be loose, fine-grained, and hydrocompactive, meaning they can lose strength, settle, compress, or collapse when water infiltrates the soils. Thick columns of compressible or collapsible soils can result in very significant settlement and structural damage. Alternatively, clay minerals and clayey pockets within the surficial soils may exhibit structurally damaging volume changes (shrink-swell) in response to changes in water content. Potentially highly expansive Denver Formation claystones and shales are present at unknown depths beneath the surficial soils. If claystone layers capable of producing high swell pressures are present within a few feet of foundation bearing depths, they can cause severe structural damage if not properly characterized and mitigated.

Lot-specific geotechnical investigations consisting of drilling, sampling, lab testing and analysis will be needed, once building locations have been finalized and prior to issuance of building permits, to: determine the thickness and extent to which the soils beneath each proposed home are subject to collapse under loading and/or wetting; characterize soil and bedrock engineering properties such as density, strength, water content, swell/consolidation potential and bearing capacity; determine depths to groundwater, bedrock, and any impermeable layers that might lead to development of a perched water condition; verify the feasibility of full-

Greg Barnes
December 19, 2016
Page 2 of 2

depth basements, if planned; and provide earthwork, foundation, floor system, subsurface drainage, and pavement recommendations for design purposes. It is imperative that grading, surface drainage, and subsurface drainage are correctly designed, constructed and maintained to prevent wetting of potentially collapsible soils in the immediate vicinity of foundation elements.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and "C".

Jill Carlson, C.E.G.
Engineering Geologist



Brooks Kaufman
Lands and Rights of Way Director

December 20, 2016

Greg Barnes
Adams County
Department of Planning and Development
4430 South Adams County Parkway
Suite W2000A
Brighton, Colorado 80601-8216

Re: GRASSLANDS AT COMANCHE, 1ST FILING FINAL PLAT
Case No.: PLT2016-00032

Dear Mr. Barnes:

The Association has reviewed the contents in the above-referenced referral response packet. We reviewed the project for maintaining our existing facilities, utility easements, electric loading, and service requirements. We are advising you of the following concerns and comments:

The Association has existing overhead electric facilities on the subject properties along Strasburg Mile Road. The Association will maintain these existing utility easements and facilities unless otherwise requested by the applicant to modify them under the Association's current extension policies.

The applicant has addressed the Association's previous referral comments and the Association approves the Final Plat for Grasslands at Comanche, First Filing.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brooks Kaufman', is written over a long horizontal line.

Brooks Kaufman
Lands and Rights-of-Way Director



December 29, 2016

Greg Barnes
Adams County Planning
4430 S Adams County Parkway
Brighton, CO 80601

RE: Grasslands at Comanche First Filing Final Plat, PLT2016-00032
TCHD Case No. 4187

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on Grasslands at Comanche First Filing Final Plat for 18 single-family residential lots located at East 76th and Woodchest Street. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

On-Site Wastewater Treatment Systems

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. As stated in the Project Summary, the proposed lots will be serviced by On-Site Wastewater Treatment Systems (OWTS). Each OWTS will need to be permitted, inspected, and approved by TCHD.

The Groundwater Monitoring Program Plan dated March 27, 2006, included an ISDS Management Program specified in the covenants of the Grasslands at Comanche. TCHD requests that the applicant provide a copy of the covenants to TCHD in order to review the Management Program. Upon receipt of the covenants, TCHD will review the language pertaining to the management plan and discuss an implementation plan with the applicant.

Groundwater Monitoring Program

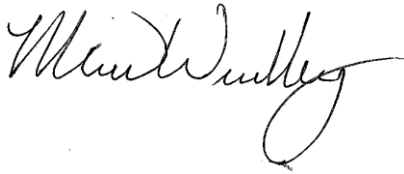
The GMP proposes the installation of two upgradient monitoring wells by the applicant, and to utilize an existing monitoring well owned by the City of Westminster as a downgradient well, provided permission can be obtained from Westminster. If permission cannot be obtained, the applicant will need to install or establish another dedicated downgradient monitoring well.

TCHD has discussed the implementation of the Groundwater Monitoring Program (GMP) with the applicant. The applicant has agreed to contact Westminster to obtain authorization to use their well. TCHD requests that the applicant notify TCHD regarding the status of authorization from the City of Westminster, no later than 45 days after receiving approval from Adams County for the subject final plat.

TCHD is willing to defer the full implementation of the GMP from the original schedule in the GMP. However, we are not willing to allow implementation of the GMP to be postponed indefinitely. Consequently, TCHD plans to continue discussions with the applicant, with the goal of establishing a firm GMP implementation schedule within the next two years.

Please feel free to contact me at 720-200-1593 or mweakley@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Weakley". The signature is fluid and cursive, with a large loop at the end of the last name.

Michael Weakley
Water Program Supervisor

cc: Sheila Lynch, Monte Deatrich, Jeff McCarron, TCHD



February 16, 2017

Greg Barnes
Adams County Planning
4430 S Adams County Parkway
Brighton, CO 80601

RE: Grasslands at Comanche First Filing Final Plat, PLT2016-00032
TCHD Case No. 4263

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on Grasslands at Comanche First Filing Final Plat for 18 single-family residential lots located at East 76th and Woodchest Street. Tri-County Health Department (TCHD) staff previously reviewed the application for Grasslands at Comanche First Filing Final Plat in a letter dated December 29, 2017 with the following comments. TCHD has no additional comments. The applicant to date has not provided the covenants of the development to TCHD for review as requested in the comments below. The applicant to date has not notified TCHD whether they have received authorization to use the existing City of Westminster's monitoring well in their Groundwater Monitoring Program.

On-Site Wastewater Treatment Systems

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. As stated in the Project Summary, the proposed lots will be serviced by On-Site Wastewater Treatment Systems (OWTS). Each OWTS will need to be permitted, inspected, and approved by TCHD.

The Groundwater Monitoring Program Plan dated March 27, 2006, included an ISDS Management Program specified in the covenants of the Grasslands at Comanche. TCHD requests that the applicant provide a copy of the covenants to TCHD in order to review the Management Program. Upon receipt of the covenants, TCHD will review the language pertaining to the management plan and discuss an implementation plan with the applicant.

Groundwater Monitoring Program

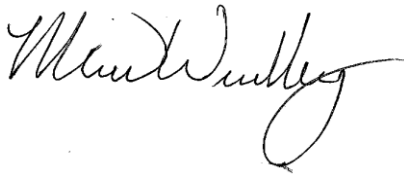
The GMP proposes the installation of two upgradient monitoring wells by the applicant, and to utilize an existing monitoring well owned by the City of Westminster as a downgradient well, provided permission can be obtained from Westminster. If permission cannot be obtained, the applicant will need to install or establish another dedicated downgradient monitoring well.

TCHD has discussed the implementation of the Groundwater Monitoring Program (GMP) with the applicant. The applicant has agreed to contact Westminster to obtain

authorization to use their well. TCHD requests that the applicant notify TCHD regarding the status of authorization from the City of Westminster, no later than 45 days after receiving approval from Adams County for the subject final plat. TCHD is willing to defer the full implementation of the GMP from the original schedule in the GMP. However, we are not willing to allow implementation of the GMP to be postponed indefinitely. Consequently, TCHD plans to continue discussions with the applicant, with the goal of establishing a firm GMP implementation schedule within the next two years.

Please feel free to contact me at 720-200-1593 or mweakley@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Weakley". The signature is fluid and cursive, with a large loop at the end of the last name.

Michael Weakley
Water Program Supervisor

cc: Sheila Lynch, Monte Deatrich, Jeff McCarron, TCHD



February 16, 2017

Greg Barnes
Adams County Planning
4430 S Adams County Parkway
Brighton, CO 80601

RE: Grasslands at Comanche First Filing Final Plat, PLT2016-00032
TCHD Case No. 4263

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on Grasslands at Comanche First Filing Final Plat for 18 single-family residential lots located at East 76th and Woodchest Street. Tri-County Health Department (TCHD) staff previously reviewed the application for Grasslands at Comanche First Filing Final Plat in a letter dated December 29, 2017 with the following comments. TCHD has no additional comments. The applicant to date has not provided the covenants of the development to TCHD for review as requested in the comments below. The applicant to date has not notified TCHD whether they have received authorization to use the existing City of Westminster's monitoring well in their Groundwater Monitoring Program.

On-Site Wastewater Treatment Systems

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. As stated in the Project Summary, the proposed lots will be serviced by On-Site Wastewater Treatment Systems (OWTS). Each OWTS will need to be permitted, inspected, and approved by TCHD.

The Groundwater Monitoring Program Plan dated March 27, 2006, included an ISDS Management Program specified in the covenants of the Grasslands at Comanche. TCHD requests that the applicant provide a copy of the covenants to TCHD in order to review the Management Program. Upon receipt of the covenants, TCHD will review the language pertaining to the management plan and discuss an implementation plan with the applicant.

Groundwater Monitoring Program

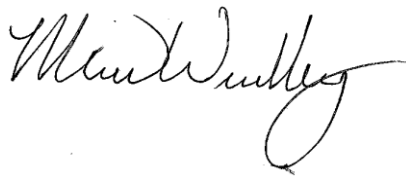
The GMP proposes the installation of two upgradient monitoring wells by the applicant, and to utilize an existing monitoring well owned by the City of Westminster as a downgradient well, provided permission can be obtained from Westminster. If permission cannot be obtained, the applicant will need to install or establish another dedicated downgradient monitoring well.

TCHD has discussed the implementation of the Groundwater Monitoring Program (GMP) with the applicant. The applicant has agreed to contact Westminster to obtain

authorization to use their well. TCHD requests that the applicant notify TCHD regarding the status of authorization from the City of Westminster, no later than 45 days after receiving approval from Adams County for the subject final plat. TCHD is willing to defer the full implementation of the GMP from the original schedule in the GMP. However, we are not willing to allow implementation of the GMP to be postponed indefinitely. Consequently, TCHD plans to continue discussions with the applicant, with the goal of establishing a firm GMP implementation schedule within the next two years.

Please feel free to contact me at 720-200-1593 or mweakley@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Weakley". The signature is written in a cursive style with a large, looping "M" and "W".

Michael Weakley
Water Program Supervisor

cc: Sheila Lynch, Monte Deatrich, Jeff McCarron, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

December 22, 2016

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Grasslands at Comanche, Case # PLT2016-00032

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plat for **Grasslands at Comanche** and has **no apparent conflict**.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Request for Comments

Case Name: Grasslands at Comanche, 1st Filing Final Plat
Case Number: PLT2016-00032

December 8, 2016

Adams County Planning Commission is requesting comments on the following request: **Request for major subdivision final plat to create 18 single-family residential lots.**

This request is located approximately 1,000 feet south of East 76th Avenue & Woodchest Street. The Assessor's Parcel Numbers are 0173113340002, 0173113340005, 0173113340007, and 0173113340001.

Applicant Information: Holly Investment Company
PO Box 557
STRASBURG, CO 80136

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, (720) 523-6800 by 12/30/2016 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information.

The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Jan Pawlowski
DISTRICT 5



Referral Listing
Case Number PLT2016-00032
Grasslands at Comanche, 1st Filing Final Plat

Agency	Contact Information
Adams County	Planning Addressing PLN 720.523.6800
Adams County Construction Inspection	PWCI . PWCI 720-523-6878
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Treasurer: Send email	Adams County Treasurer bgrimm@adcogov.org 720.523.6376
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029 brandyn.wiedrich@centurylink.com
Code Compliance Supervisor	Eric Guenther eguenther@adcogov.org 720-523-6856 eguenther@adcogov.org
COLO DIV OF WATER RESOURCES	Joanna Williams OFFICE OF STATE ENGINEER 1313 SHERMAN ST., ROOM 818 DENVER CO 80203 303-866-3581 joanna.williams@state.co.us
COLORADO DIVISION OF WILDLIFE	Eliza Hunholz Northeast Regional Engineer 6060 BROADWAY DENVER CO 80216-1000 303-291-7454 eliza.hunholz@state.co.us
COLORADO DIVISION OF WILDLIFE	JOSEPH PADIA 6060 BROADWAY DENVER CO 80216 303-291-7132 joe.padia@state.co.us

Agency

Contact Information

COLORADO GEOLOGICAL SURVEY

Jill Carlson
1500 Illinois Street
Golden CO 80401
303-384-2643 303-384-2655
CGS_LUR@mines.edu

Colorado Geological Survey: CGS_LUR@mines.edu

Jill Carlson
Mail CHECK to Jill Carlson
303-384-2643 303-384-2655
CGS_LUR@mines.edu

COMCAST

JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260
303-603-5039
thomas_lowe@cable.comcast.com

COUNTY ATTORNEY- Email

Christine Francescani
CFrancescani@adcogov.org
6884

Engineering Department - ROW

Transportation Department
PWE - ROW
303.453.8787

Engineering Division

Transportation Department
PWE
6875

Intermountain Rural Electric Asso - IREA

Brooks Kaufman
PO Box Drawer A
5496 North US Hwy 85
Sedalia CO 80135
303-688-3100 x105
bkaufman@intermountain-rea.com

NS - Code Compliance

Gail Moon
gmoon@adcogov.org
720.523.6833
gmoon@adcogov.org

Parks and Open Space Department

Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org
(303) 637-8000
nmosley@adcogov.org

SHERIFF'S OFFICE: SO-HQ

MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcogov.org
snielson@adcogov.org
(303) 654-1850
aoverton@adcogov.org; mkaiser@adcogov.org; snielson@adcogov.org

Sheriff's Office: SO-SUB

SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org
720-322-1115
smiller@adcogov.org

Agency

Contact Information

STRASBURG FIRE PROTECTION DIST #8

GERRI VENTURA
PO BOX 911
STRASBURG CO 80136
303-622-4814
gventura@svfd8.org

STRASBURG PARKS AND REC DIST.

Angie Graf
P.O. BOX 118
STRASBURG CO 80136
(303) 622-4260
angie@strasburgparks.org

STRASBURG SCHOOL DISTRICT 31J

Monica Johnson
56729 E Colorado Ave
STRASBURG CO 80136
303-622-9211
mjohnson@strasburg31j.org

TRI-COUNTY HEALTH DEPARTMENT

MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022
(303) 288-6816
mdeatrich@tchd.org

TRI-COUNTY HEALTH DEPARTMENT

Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111
720-200-1571
landuse@tchd.org

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org
.

UNITED STATES POST OFFICE

MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115
303-622-9867
mary.c.dobyns@usps.gov

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

Exhibit 5.3 Property Owner Notification List

BARBER TRENT AND
BARBER ANGELA
600 N CR 157
STRASBURG CO 80136

LEWIS MICHAEL A AND
LEWIS DEBRA L
7660 WOODCHEST ST
STRASBURG CO 80136

BOWEN DANIEL J AND
BOWEN CHERYL A
56085 E 56TH AVE
STRASBURG CO 80136-8520

LIBERTY PROPANE OPERATIONS LLC
PO BOX 206
WHIPPANY NJ 07981-0206

BROWN BRIAN K AND
COPPEDGE STEFANIE A
7640 WOODCHEST ST
STRASBURG CO 80136

STRASBURG FIRE PROTECTION DISTRICT NO 8
PO BOX 241
STRASBURG CO 80136

BURKEMPER SAMUEL
7471 WOODCHEST ST
STRASBURG CO 80136

THOMPSON CAROL ANN AND
THOMPSON RAYMOND JAMES
7651 WOODCHEST ST
STRASBURG CO 80136-8182

COMANCHE FARMS INC
3600 HEADLIGHT RD
STRASBURG CO 80136-8110

WAYMAN TRAVIS A AND
WAYMAN JAYLYNN C
7531 WOODCHEST ST
STRASBURG CO 80136-8183

DICKENS NICKOLAS AND
SCHULZ-DICKENS VICTORIA L
7590 WOODCHEST ST
STRASBURG CO 80136-8183

GRASSLANDS AT COMANCHE THE AND
BIJOU PRESERVE ASSOCIATION
8705 STRASBURG RD
STRASBURG CO 80136-8514

HOLLY INVESTMENT CO
PO BOX 557
STRASBURG CO 80136-0557

KRUSE KEITH D AND
KRUSE MARY COLLEEN
7591 WOODCHEST ST
STRASBURG CO 80136-8183

LAZY REVERSE S LLC
3600 HEADLIGHT RD
STRASBURG CO 80136-8110

Grasslands at Comanche, Filing No. 1

Final Plat

PLT2016-00032

Southwest of
E. 76th Avenue & Strasburg Road

August 29, 2017

Board of County Commissioners Public Hearing

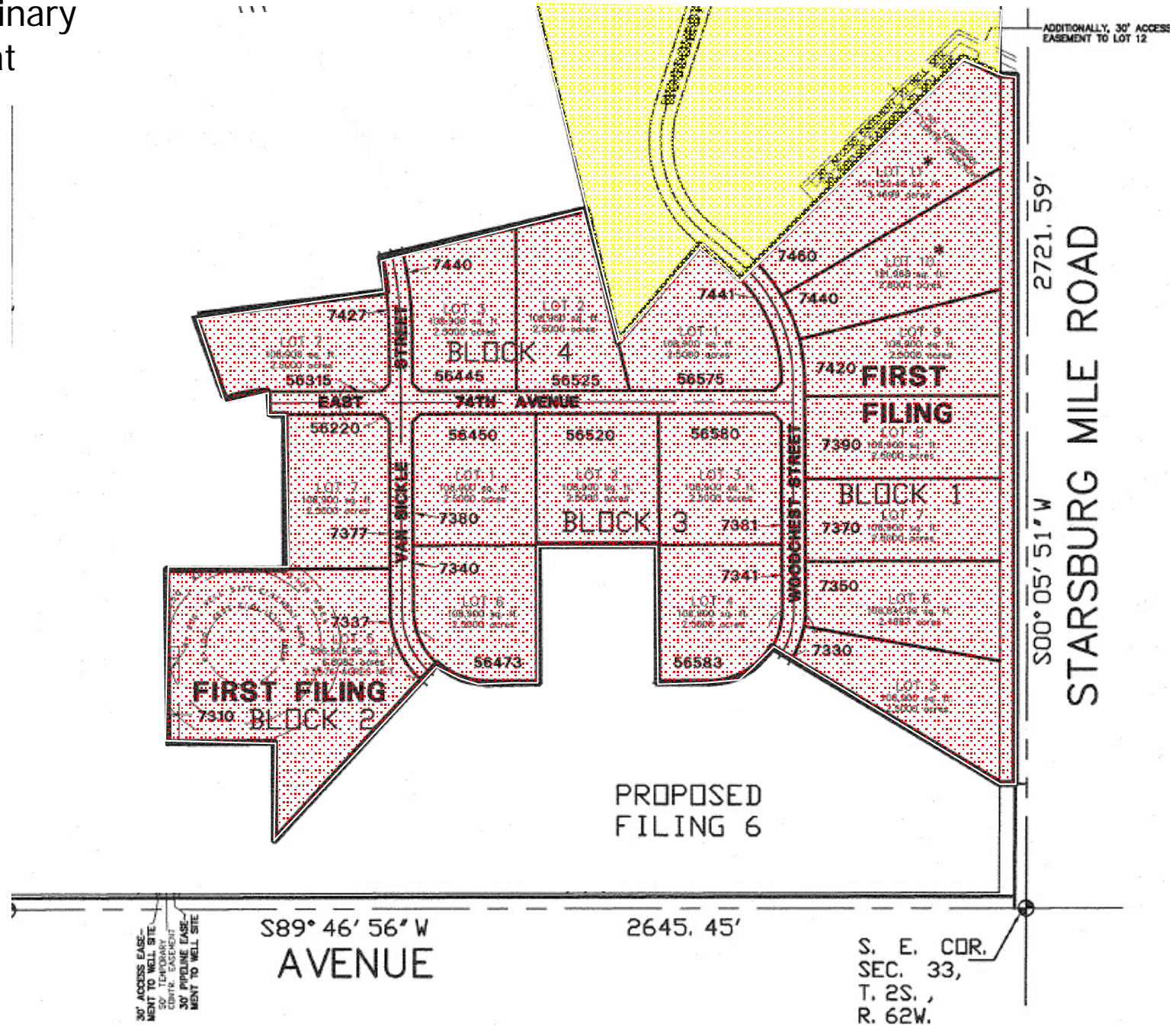
Case Manager: Greg Barnes

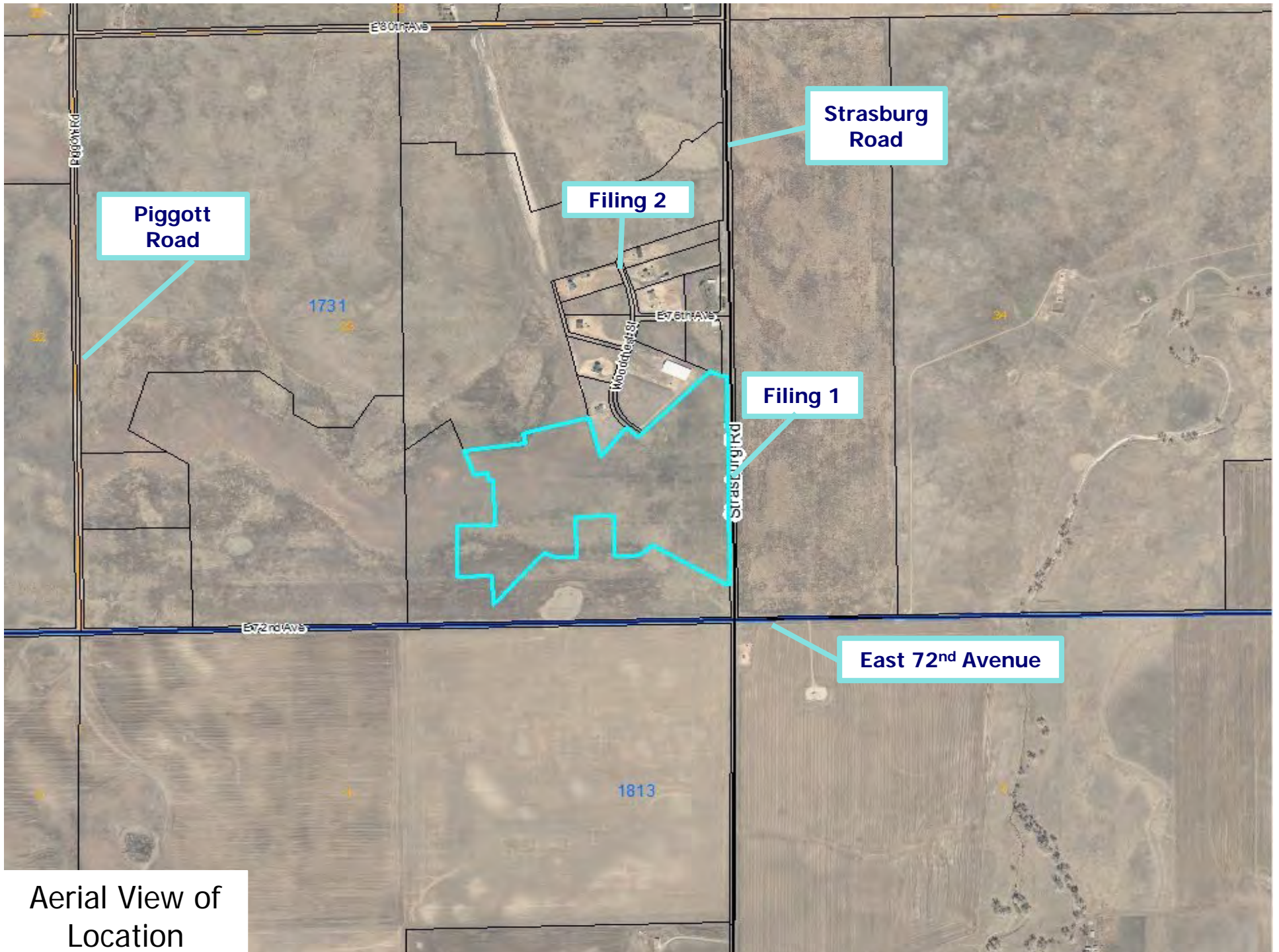


Final Plat Request

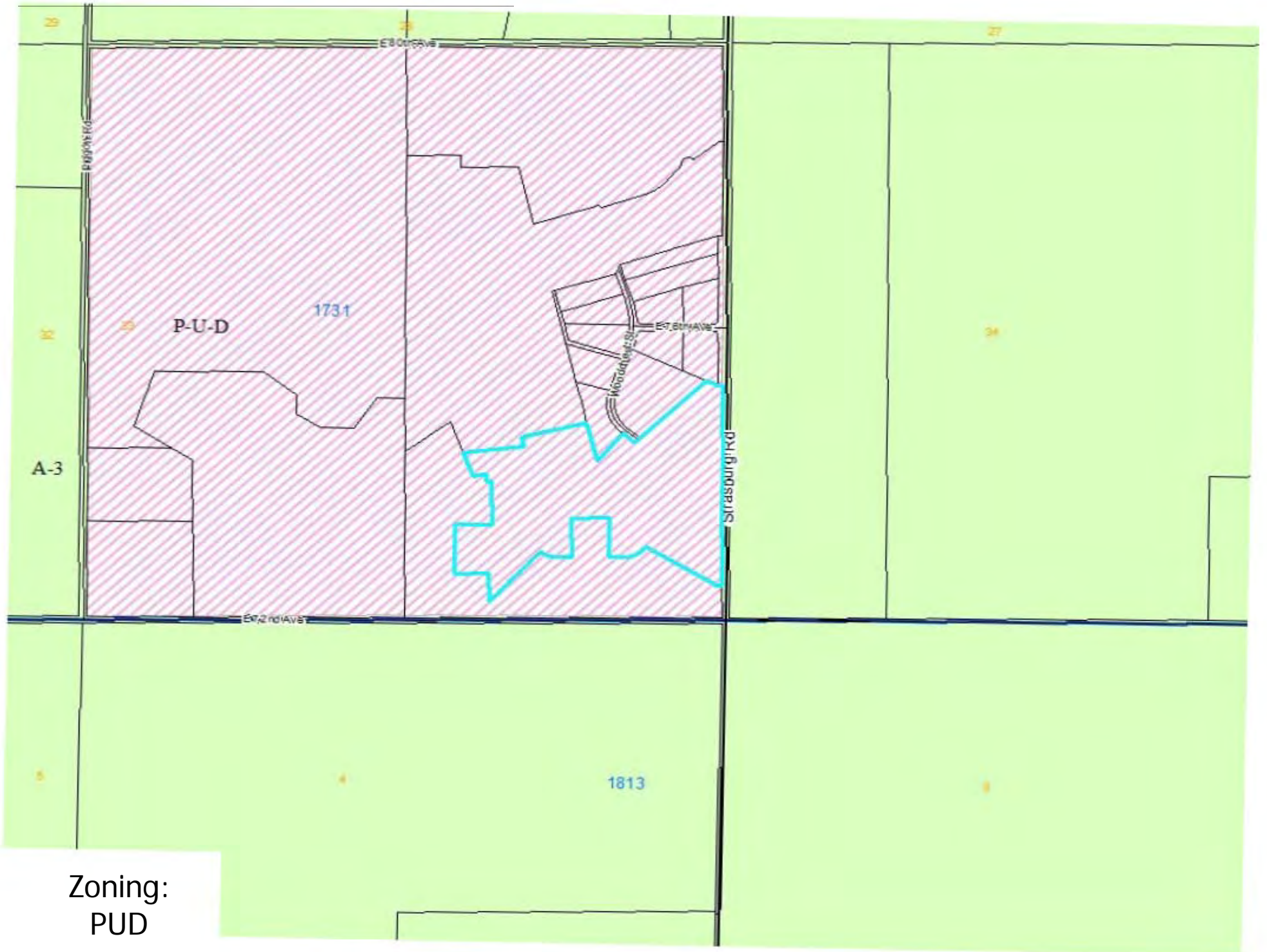
- To create of 18 single-family residential lots.

Preliminary
Plat





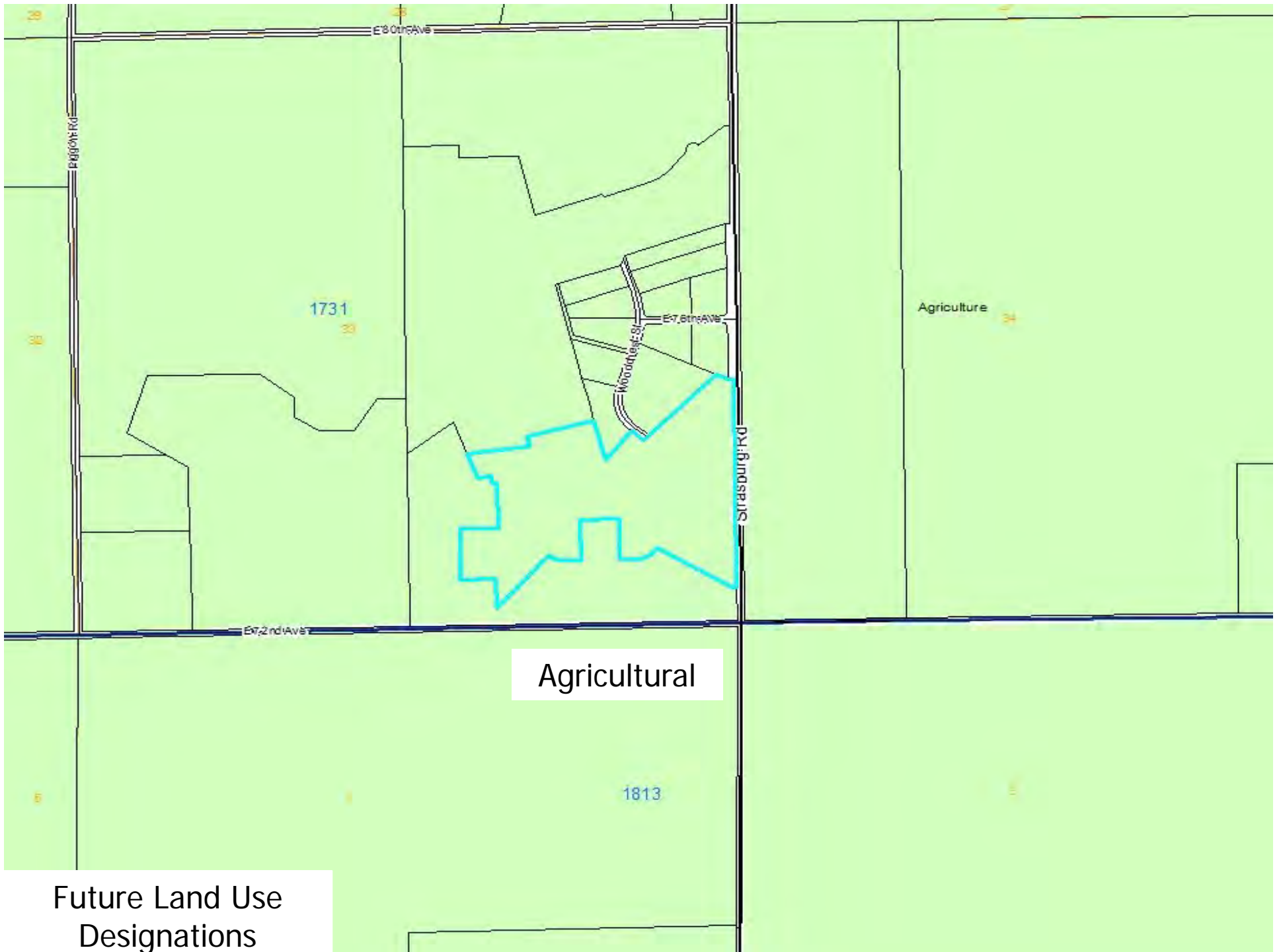
Aerial View of Location



Zoning:
PUD

Grasslands at Comanche PUD

- Approved: January 14, 2008
- 210 acres reserved by conservation easement
- Allows for as many as 118 single-family residential lots.
- Currently, only 10 of the 118 single-family residential lots have been platted.



Future Land Use Designations

Criteria for Final Plat Approval

Section 2-02-17-04-05

1. Consistent with Preliminary Plat
2. Conforms to Subdivision Design Standards
3. Sufficient Water Supply
4. Established Sewage Disposal
5. Identification of Topographic Concerns
6. Adequate Drainage Improvements
7. Accommodated for Public Improvements

Development Standards

- **Minimum Lot Size:** 2.5 acres
- **Minimum Lot Width:** 75 feet
- All lots would have access to public streets.

From
Woodchest Street



Existing Filing 2



Referral Period

# of Notices Sent to nearby property owners	# of Comments Received
15	0

CDWR

Confirmed availability of water

CGS

Collapsible Soils can be addressed when permitting structures

Staff Analysis Conclusion

- Proposal is consistent with approved PUD
- Adequate Water, Sewage, Drainage, Topographic Mitigation Addressed
- Compatible with Comprehensive Plan, Subdivision Standards, and Surrounding Area

Staff Recommendation

- Staff recommends **Approval** of the Final Plat Application with 7 Findings-of-Fact and 1 Note.

Findings of Fact for Approval

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.

Findings of Fact for Approval

5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Subdivision Improvements Agreement with Holly Investment Company
FROM: Norman Wright, Director, Community and Economic Development Department
AGENCY/DEPARTMENT: Community and Economic Development and Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the Subdivision Improvement Agreement with Holly Investment Company for the development of the Grasslands at Comanche Subdivision, Filing 1.

BACKGROUND:

The applicant, Holly Investment Company, is requesting to enter into a Subdivision Improvement Agreement (SIA) for the Grasslands at Comanche, Filing 1. Exhibit B of the Subdivision Improvements Agreement describes required improvements for development of the Subdivision. The Final Plat for the Subdivision is also on the consent agenda for the Board of County Commissioners (BoCC) hearing on August 29, 2017.

The subject request is consistent with the requirement for approval for SIAs. In addition, staff reviewed the SIA and determined the documents conform to the requirement outlined in Section 5-02-05 of the County's Development Standard and Regulations. The Community and Economic Development Department has also reviewed construction documents associated with the Subdivision. Final approval of the construction documents is contingent upon approval of the SIA.

As a requirement of the Subdivision Improvements Agreement, the Developer has provided to the County a letter of credit, releasable only by the County, to guarantee compliance with this Agreement. Said collateral is in the amount of five-hundred eighty-eight thousand eight-hundred seventy-nine dollars (\$588,879.00).

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

- Community and Economic Development Department
- Public Works Department
- County Attorney's Office

ATTACHED DOCUMENTS:

- Subdivision Improvements Agreement
- Resolution approving the Subdivision Improvements Agreement for the Grasslands at Comanche Subdivision, Filing 1, with Holly Investment Company.

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING SUBDIVISION IMPROVEMENTS AGREEMENT FOR
GRASSLANDS AT COMANCHE, FILING 1**

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way or submit cash-in-lieu; and,

WHEREAS, on August 29, 2017, the Board of County Commissioners, in Case No. PLT2016-00032, Grasslands at Comanche, Filing 1, approved a Final Plat to allow 18 lots on approximately 57 acres in the Grasslands at Comanche Planned Unit Development zone district; and,

WHEREAS, the Developer has provided collateral to meet the terms of the agreement; and,

WHEREAS, the Adams County Community and Economic Development Department recommends approval of the attached Subdivision Improvements Agreement for Grasslands at Comanche, Filing 1, Case No. PLT2016-00032.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Subdivision Improvements Agreement for Grasslands at Comanche, Filing 1, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners be authorized to execute this AGREEMENT on behalf of the County of Adams, State of Colorado.

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and Holly Investment Company, hereinafter called "Developer."

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within "construction completion date" appearing in Exhibit "B". The County may for good cause grant extension of time for completion of any part or all of improvements appearing on said Exhibit "B". Any extension of time shall be in written form only.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of \$588,879 including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation. Upon completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by Adams County in accordance with section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral, up

to 20%, may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion.

No construction, building or change-in-use permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to Adams County.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, becomes necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
7. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A".
8. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. Improvements:

Private Improvements: Private improvements shall consist of a stormwater detention pond and conveyance swale located in the southeast corner of the subdivision that will be operated and maintained by the subdivision homeowner's association. (See Exhibit "B").

Public Improvements: Public improvements shall consist of continuation of Woodchest Street along with construction of a portion of Van Sickle Street and East 74th Avenue between Woodchest St. and Van Sickle St. (See Exhibit "B")

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

- B. Public dedication of land for right-of-way purposes or other public purpose. Upon approval of this agreement by the Board of County Commissioners, the Developer hereby agrees to convey by plat to the County of Adams, portions of Woodchest Street, East 74th Avenue, Van Sickle Street and property along the west side of Strasburg Mile Road for right-of-way or other public purposes as contained within the exterior boundary herein described and conveyed by the recorded plat for Filing 1.

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

DEDICATION FILING 1:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING THE OWNER OF

THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING;

THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT,

THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 2008000005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) N45°02'41"E, A DISTANCE OF 817.24 FEET; THENCE 6) S64°51'03"E, A DISTANCE OF 109.94 FEET; THENCE 7) S89°54'09"E, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE S00°05'51"W PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

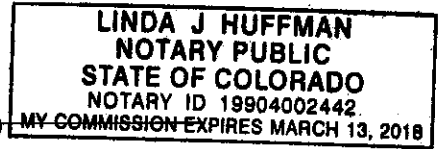
By: L Loh Pres.
Holly Investment Company, Developer

The foregoing instrument was acknowledged before me this 13TH day of JUNE,
2017, by LOREN L LOSE

My commission expires: 3/13/2018

Address: 8705 STRASBURG RD
STRASBURG, CO 80136

Linda J Huffman
Notary Public



APPROVED BY resolution at the meeting of _____, 2017.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of _____. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chairman

EXHIBIT A

Legal Description Filing 1:

THAT PART OF THE SOUTHEAST ONE-QUARTER OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SECTION 33, THENCE S89°46'56"W ALONG THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 30.00 FEET; THENCE N00°05'51"E PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33, A DISTANCE OF 320.89 FEET TO THE POINT OF BEGINNING;

THENCE N89°54'09"W PERPENDICULAR TO THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER, A DISTANCE OF 40.00 FEET; THENCE N59°07'18"W A DISTANCE OF 688.83 FEET TO A POINT ON A CURVE TO THE RIGHT,

THE DELTA OF SAID CURVE IS 58°54'14", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS S60°19'49"W, 186.84 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 195.33 FEET TO THE END OF SAID CURVE, THENCE S89°46'56"W A DISTANCE OF 135.00 FEET; THENCE N00°13'04"W A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 309.00 FEET; THENCE S00°13'04"E A DISTANCE OF 358.92 FEET; THENCE S89°46'56"W A DISTANCE OF 135.00 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 42°50'02", THE RADIUS OF SAID CURVE IS 190.00 FEET; THE CHORD OF SAID CURVE BEARS N68°48'03"E, 138.76 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 142.04 FEET; THENCE S 42°36'58"W A DISTANCE OF 621.90 FEET; THENCE N00°13'04"W A DISTANCE OF 252.81 FEET; THENCE S89°46'56"W A DISTANCE OF 278.01 FEET; THENCE N00°13'04"W A DISTANCE OF 450.73 FEET THENCE N89°46'56"E A DISTANCE OF 308.50 FEET; THENCE N00°13'04"W A DISTANCE OF 401.85; THENCE S89°46'56"W A DISTANCE OF 43.50 FEET; THENCE N00°13'04"W A DISTANCE OF 60.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT; THE DELTA OF SAID CURVE IS 20°04'21", THE RADIUS OF SAID CURVE IS 325.00 FEET; THE CHORD OF SAID CURVE BEARS S79°44'45"W, 113.28 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 113.86 FEET; THENCE N20°17'25"W A DISTANCE OF 231.57 FEET; THENCE N82°50'10"E A DISTANCE OF 503.42 FEET TO A POINT ON A CURVE TO THE LEFT, THE DELTA OF SAID CURVE IS 06°02'16", THE RADIUS OF SAID CURVE IS 857.00 FEET; THE CHORD OF SAID CURVE BEARS N10°10'58"W, 90.27 FEET; THENCE ALONG THE ARC OF SAID CURVE, A DISTANCE OF 90.31 FEET; THENCE N76°47'54"E A DISTANCE OF 550.03 FEET TO A POINT ON THE SOUTHERLY LINE OF GRASSLANDS AT COMANCHE - SECOND FILING RECORDED IN RECEPTION NO. 2008000005063, ADAMS COUNTY RECORDS; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING SEVEN (7) COURSES AND DISTANCES: THENCE 1) S13°29'38"E, A DISTANCE OF 354.70 FEET; THENCE 2) N39°46'56"E, A DISTANCE OF 330.91 FEET; THENCE 3) S50°13'04"E, A DISTANCE OF 102.63 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT, THE DELTA OF SAID CURVE IS 05°15'45", THE RADIUS OF SAID CURVE IS 370.00 FEET; THE CHORD OF SAID CURVE BEARS S47°35'12"E, 33.97 FEET; THENCE 4) ALONG THE ARC OF SAID

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

CURVE, A DISTANCE OF 33.98 FEET; THENCE 5) $N45^{\circ}02'41''E$, A DISTANCE OF 817.24 FEET; THENCE 6) $S64^{\circ}51'03''E$, A DISTANCE OF 109.94 FEET; THENCE 7) $S89^{\circ}54'09''E$, A DISTANCE OF 40.00 FEET TO A POINT 30.00 FEET WEST OF THE EAST LINE OF SAID SOUTHEAST ONE-QUARTER; THENCE $S00^{\circ}05'51''W$ PARALLEL WITH SAID EAST LINE, A DISTANCE OF 1842.48 FEET TO THE POINT OF BEGINNING; CONTAINS 56.997 ACRES MORE OR LESS.

EXHIBIT B

Public Improvements:

Exhibit "B" includes the following attached documents

- i. Woodchest Street Construction Cost Estimate
- ii. Van Sickle Street Construction Cost Estimate
- iii. East 74th Avenue. Construction Cost Estimate
- iv. Drainage Facilities Construction Cost Estimate
- v. Total Project Construction Cost Estimate

Construction Completion Date: The public improvements shall be completed within 120 days after recording of Final Plat.

Initials or signature of Developer: _____

J. J. Johnson PRES.

HOLLY INVEST. CO.

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING 1 - WOODCHEST STREET CONSTRUCTION COST ESTIMATE

Grasslands at Comanche
Strasburg, Colorado

4/28/2017

ITEM	DESCRIPTION	QUANTITY UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (3410 cut)*	3,410 CY	\$6.16	\$21,006	203-00010
2.	12" Erosion Log	6 LF	\$5.03	\$30	203-00002
3.	Silt Fence	1,079 LF	\$2.32	\$2,503	208-00020
4.	Vehicle Tracking Pad	1 EA	\$2,164.92	\$2,165	208-00070
5.	Seeding	0.6 ACRE	\$774.10	\$464	212-00006
6.	Mulching	0.6 ACRE	\$757.99	\$455	213-00002
7.	Aggregate Base Course (Road Shoulder)	365 TON	\$28.34	\$10,344	304-00600
8.	Recycled Asphalt Pavement (Temporary Turnaround)	121 TON	\$25.59	\$3,096	304-09100
9.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	721 TON	\$74.52	\$53,729	403-34741
10.	Construction Surveying	16 HR	\$166.66	\$2,667	625-00001
11.	Mobilization (apportioned)	1 LS	\$3,750.00	\$3,750	626-00000
12.	8' Wide Type 3 Barricade with R11-2 "Road Closed" Sign	4 EACH	\$275.18	\$1,101	630-80338
SUB TOTAL				\$101,310	

* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.

GRASSLANDS AT COMANCHE, FILING 1 - EAST 74TH AVENUE CONSTRUCTION COST ESTIMATE

Grasslands at Comanche
Strasburg, Colorado

4/28/2017

ITEM	DESCRIPTION	QUANTITY UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (3110 cut/320 fill)*	3,430 CY	\$6.16	\$21,129	203-00010
2.	12" Erosion Log	192 LF	\$5.03	\$966	208-00002
3.	Silt Fence	940 LF	\$2.32	\$2,181	208-00020
4.	Seeding	0.7 ACRE	\$774.10	\$503	212-00006
5.	Mulching	0.7 ACRE	\$757.99	\$493	213-00002
6.	Aggregate Base Course (Road Shoulder)	461 TON	\$28.34	\$13,065	304-00600
7.	Recycled Asphalt Pavement (Temporary Turnaround)	121 TON	\$25.59	\$3,096	304-09100
8.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	914 TON	\$74.52	\$68,111	403-34741
9.	30" x 19" Elliptical Reinforced Concrete Pipe, Class III	80 LF	\$122.13	\$9,770	603-02240
10.	30" X 19" Reinforced Concrete End Section	2 EA	\$1,621.21	\$3,242	603-05124
11.	Type L Riprap	2 CY	\$124.71	\$249	506-00209
12.	Construction Surveying	16 HR	\$166.66	\$2,667	625-00001
13.	Mobilization (apportioned)	1 LS	\$3,750.00	\$3,750	626-00000
14.	8' Wide Type 3 Barricade with RI 1-2				
	"Road Closed" Sign	4 EACH	\$275.18	\$1,101	630-80338
SUB TOTAL				\$130,323	

* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.

GRASSLANDS AT COMANCHE, FILING 1 - VAN SICKLE STREET CONSTRUCTION COST ESTIMATE

Grasslands at Comanche
Strasburg, Colorado

4/28/2017

ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (1,787 cut/717 fill)*	2,504	CY	\$6.16	\$15,425	203-00010
2.	12" Erosion Log	288	LF	\$5.03	\$1,449	208-00002
3.	Silt Fence	1,000	LF	\$2.32	\$2,320	208-00020
4.	Seeding	0.5	ACRE	\$774.10	\$387	212-00006
5.	Mulching	0.5	ACRE	\$757.99	\$379	213-00002
7.	Aggregate Base Course (Road Shoulder)	424	TON	\$28.34	\$12,016	304-00600
8.	Recycled Asphalt Pavement (Temporary Turnaround)	245	TON	\$25.59	\$6,270	304-09100
9.	Hot Bituminous Pavement (Grading S)(75)(PG 64-22)	842	TON	\$74.52	\$62,746	403-34741
10.	Construction Surveying	16	HR	\$166.66	\$2,667	625-00001
11.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
12.	8' Wide Type 3 Barricade with R11-2 "Road Closed" Sign	8	EACH	\$275.18	\$2,201	630-80338
SUB TOTAL					\$109,609	

* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.

GRASSLANDS AT COMANCHE, FILING 1 - DRAINAGE FACILITIES CONSTRUCTION COST ESTIMATE

Grasslands at Comanche
Strasburg, Colorado

4/28/2017

ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Grading (18,442 cut)*	18,442	CY	\$6.16	\$113,603	203-00010
2.	Total Seeding	2.9	ACRE	\$774.10	\$2,245	212-00006
3.	Total Mulching	2.9	ACRE	\$757.99	\$2,198	213-00002
4.	Type L Riprap	24	CY	\$124.71	\$2,993	506-00209
5.	Construction Surveying	8	HR	\$166.66	\$1,333	625-00001
6.	Mobilization (apportioned)	1	LS	\$3,750.00	\$3,750	626-00000
SUB TOTAL					\$126,122	

* This unit cost was derived from an average of contractor bids that have been previously received for the Filing 1 phase of the project.

GRASSLANDS AT COMANCHE
Case No. PLT2016-00032

GRASSLANDS AT COMANCHE, FILING NO. 1 - TOTAL PROJECT CONSTRUCTION COST ESTIMATE

Grasslands at Comanche, Filing 1

Strasburg, Colorado

4/28/2017

ITEM	DESCRIPTION	QUANTITY	UNITS	UNIT PRICE	AMOUNT	CDOT CODE
1.	Woodchest Street	1	EA	\$101,309.92	\$101,310	N/A
2.	E. 74th Avenue	1	EA	\$130,323.15	\$130,323	N/A
3.	Van Sickle Street	1	EA	\$109,608.88	\$109,609	N/A
4.	Drainage Facilities	1	EA	\$126,122.10	\$126,122	N/A
TOTAL PROJECT COST ESTIMATE					\$467,364	



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Emergency Vehicle Equipment Installations
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment One to the agreement with Wireless Advanced Communications for the installation of emergency vehicle equipment

BACKGROUND:

In 2015, the County issued a formal Request for Proposal (RFP) seeking a qualified contractor to install required equipment into the County's emergency vehicles. After a thorough evaluation of the proposals, which included site visits, a contract award was made to Wireless Advanced Communications of Greeley, Colorado, who provided the best value and was the lowest cost of the respondents.

The Sheriff's Office and Facilities and Fleet Management Department are pleased with the services performed by Wireless Advanced Communications and recommend the contract be renewed for an additional year. Advanced Wireless Communications has agreed to maintain the current rate structure. Adams County Fleet and Wireless Advanced Communications will continue to transfer equipment that is in good working condition from existing units to new units. Reusing equipment when feasible will result in cost savings to the County.

It is recommended that the Board of County Commissioners approve Amendment One to the agreement with Wireless Advanced Communications to install required equipment into the County's emergency vehicles for an additional one year, in the not to exceed amount of \$500,000.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Sheriff's Office
Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

Revised 07/2017

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00006
Cost Center: 9111

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u><u> </u></u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9175		\$3,032,763
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u>\$3,032,763</u></u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND WIRELESS ADVANCED COMMUNICATIONS FOR
EMERGENCY VEHICLE EQUIPMENT INSTALLATION

WHEREAS, Wireless Advanced Communications (Contractor) entered into an agreement on September 30, 2015 to install required equipment into the County's emergency vehicles; and,

WHEREAS, the County and Contractor mutually desire to renew the terms of the agreement for an additional one year period effective through September 30, 2018; and,

WHEREAS, the Contractor agrees to install required equipment into County emergency vehicles in an amount not to exceed \$500,000.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Wireless Advanced Communications for emergency vehicle equipment installation be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment One with Wireless Advanced Communications after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Food Service Management Agreement for the Adams County Sheriff's Office, Jail Division
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the agreement with Summit Food Service LLC for Food Service Management at the Adams County Detention Facility.

BACKGROUND:

On May 13, 2015, Adams County entered into an agreement for Food Service Management to ABL Management Incorporated (now Summit Food Service LLC). On June 7, 2016, the County issued Amendment Number One which renewed the agreement for one additional year. The Sheriff's Office is pleased with the service provided by Summit Food Services LLC and would like to renew the agreement for the final year option.

Summit Food Service LLC requested an increase of 2.4% for the agreement renewal period. The County feels the increase is fair and reasonable, as it correlates with the Denver/Boulder/Greeley CPI, which is up 3.1% from the first half of 2016 to the first half of 2017. This would increase the agreement amount from \$1.1581 to \$1.1859 per regular inmate meal and \$10.014 to \$10.254 per Kosher meal for an approximate agreement total of \$1,489,443.70 (an increase of \$34,908.84 from the previous year) based on the average daily population of 1100 inmates.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Sheriff's Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 2071

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u><u> </u></u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8325		\$1,447,163
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u>\$1,447,163</u></u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

This contract is subject to the anticipated 2018 budget appropriation.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND SUMMIT FOOD SERVICE LLC FOR FOOD SERVICE
MANAGEMENT

WHEREAS, in 2015, Adams County entered into an agreement with ABL Management Incorporated (now Summit Food Services LLC) for Food Service Management for the Adams County Sheriff's Office, Jail Division, after conducting a formal solicitation process; and,

WHEREAS, in 2016, Adams County amended the agreement to renew the agreement for one additional year; and,

WHEREAS, the Contractor has requested an increase of 2.4% to the original agreement amount, for an approximate total amount of \$1,489,443.70 for 2017/2018; and,

WHEREAS, the agreement allows for two additional one-year renewals, and, by means of the attached Amendment Two, the parties wish to exercise the second of those renewals at the new agreement amount but otherwise under the same terms and conditions of the agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the agreement between Adams County and Summit Food Services LLC for Food Service Management be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign said Amendment Two after approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Laundry Management Services Agreement for the Adams County Sheriff, Jail Division
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the agreement with Summit Food Service LLC for Laundry Management Services at the Adams County Detention Facility.

BACKGROUND:

On May 13, 2015, Adams County entered into an agreement for Laundry Management Services with ABL Management Incorporated (now Summit Food Service LLC). On June 7, 2016, the County issued Amendment Number One which renewed the agreement for one additional year. The Sheriff's Office is pleased with the service provided by Summit Food Services LLC and would like to renew the agreement for the final year option.

Summit Food Service LLC requested an increase of 2.4% for the agreement renewal period. The County feels the increase is fair and reasonable, as it correlates with the Denver/Boulder/Greeley CPI, which is up 3.1% from the first half of 2016 to the first half of 2017. This would increase the agreement amount from \$0.7176 to \$.7348 per inmate per day, for an approximate total of \$295,022.20 (an increase of \$6,905.80 from the previous year) based on the average daily population of 1100 inmates.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Sheriff's Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 2071

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u><u> </u></u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8425		\$285,547.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u>\$285,547.00</u></u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

This contract is subject to the anticipated 2018 budget appropriation.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND SUMMIT FOOD SERVICE LLC FOR LAUNDRY
MANAGEMENT SERVICES

WHEREAS, in 2015, Adams County entered into an agreement with ABL Management Incorporated (now Summit Food Services LLC) for Laundry Management Services for the Adams County Sheriff's Office, Jail Division, after conducting a formal solicitation process; and,

WHEREAS, in 2016, Adams County amended the agreement to renew the agreement for one additional year; and,

WHEREAS, the Contractor has requested an increase of 2.4% to the original agreement, for a new estimated amount of \$295,022.20 for 2017/2018; and,

WHEREAS, the agreement allows for two additional one-year renewals, and, by means of the attached Amendment Two, the parties wish to exercise the second of those renewals at the new agreement amount but otherwise under the same terms and conditions of the agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the agreement between Adams County and Summit Food Services LLC for Laundry Management Services be approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign said Amendment Two after approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Lodox Statscan X-ray Equipment and Maintenance
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
HEARD AT STUDY SESSION ON: August 15, 2017
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a Purchase Order with Lodox Systems North American LLC for the Lodox Statscan X-ray equipment and annual maintenance for the Coroner's Office.

BACKGROUND:

The Coroner's Office has a need for new postmortem radiography equipment. Its current equipment is obsolete and more than ten (10) years old. The image quality is poor and the technology is outdated and has become increasingly harder to maintain and support.

Postmortem radiographs are imperative to the work the Coroner performs as it quickly accomplishes the following:

- Assists with pathology location(s);
- Documents injuries;
- Creates records for civil and criminal proceedings;
- Efficiently finds projectiles such as bullets so they can be easily removed for investigation; and,
- Locates and documents radiation implants that may be harmful to staff.

The Lodox Statscan equipment is recommended as a sole source procurement as it is the only machine on the market that provides a single, non-stitched, digital high-resolution radiographic image of the entire body within seconds, allowing the Coroner to work faster, easier, and more efficiently. The total cost of this system including delivery, installation, and one year of maintenance is \$457,200.00. The cost breakdown is as follows:

Lodox Statscan Equipment	\$434,900.00
One Year Maintenance	\$ 22,300.00
Total Price:	\$457,200.00

It is recommended that a purchase order to Lodox Systems North America LLC for the Lodox Statscan equipment and one (1) year of maintenance be approved in the not to exceed amount of \$457,200.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Coroner's Office

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001
Cost Center: 2031

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7825	20311701	\$22,300
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9170/9180	20311701	\$442,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$464,300</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

- \$430,000 capital approved in 2017 Budget
- Additional \$12,000 capital for building construction and \$22,300 operating for maintenance based on approval of 3rd Supplemental to the 2017 Budget scheduled 8/15/2017.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING A PURCHASE ORDER BETWEEN ADAMS COUNTY AND
LODOX SYSTEMS NORTH AMERICA LLC FOR STATSCAN EQUIPMENT AND
MAINTENANCE

WHEREAS, Lodox Systems North America LLC, submitted a proposal on July 3, 2017, to provide Statscan equipment and maintenance for the Coroner's Office; and,

WHEREAS, it is in the best interest of the County that Lodox Systems North America LLC, be awarded a sole source Purchase Order for this equipment; and,

WHEREAS, Lodox Systems North America LLC, agrees to provide the equipment and one (1) year of maintenance for an amount not to exceed \$457,200.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that a Purchase Order to Lodox Systems North America LLC, for the Statscan equipment and one year of maintenance be approved.

BE IT FURTHER RESOLVED, that the Chair hereby authorizes the Purchasing Division to sign the Purchase Order with Lodox Systems North America LLC, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Countywide Translation and Interpretation Services
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: All
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a proposal award with CESCO Linguistic Services to provide Translation and Interpretation Services.

BACKGROUND:

Adams County Government (“County”) solicited the services of qualified agencies to provide translation and interpretation services, on an “*as needed*” basis. Multiple County Offices and Departments work with individuals where language barriers exist, are unable to read, write, or speak English, or are deaf/hearing impaired. To better assist this population, face-to-face and over the phone interpretation and translation services are required to support the diverse culture of the Adams County’s community who speak various languages at specified locations, and often on short notice.

A Request for Proposal was solicited through the Rocky Mountain Bid System and responses were opened on April 6, 2017. Sixteen (16) proposals were submitted from; CESCO Linguistic Services, Transperfect Translation, Language Nexus Inc., Human Touch Translation, LionBridge Technology, A&A Languages, LLC, Accredited Languages Services, Mile High Multilanguage Services, Translation Excellence, One World Translation, Languages Translation Services, LanguageLine Solutions, Globelink Foreign Language Center, Professional Sign Language Interpreting Inc., and Purple Communications.

Proposals were evaluated on the following criteria:

- Experience and qualifications of the agency and staff
- Experience translating written documents, including government and legal documents
- Demonstrated knowledge of translation and interpretation of public documents
- Diversity of language services
- Fee Schedule

- Programs and availability of in-person services and response time
- Overall capability to provide oversight of service and timely reports and billing

After a thorough review, the Evaluation Committee recommends three agencies that would best meet the County’s translation and interpretation needs:

- **CESCO Linguistic Services** – offers all services as requested in the RFP; experience with Government agencies, Human Services, trauma victims and children; provides service outside of business hours; offers 90 languages on-site and 200 languages telephonic; strong background in legal, medical and other documents; immediate response time and 24/7 availability.
- **A&A Languages, LLC** - offers some of the services requested in the RFP; experience with Social Services, schools, medical services, trauma victims and children; 80 spoken languages, provides simultaneous equipment and sign languages, immediate response time and 24/7 availability.
- **LanguageLine Solutions** – provides telephonic services; experience with Government agencies including law enforcement, Courts, and low income clients; strong background in legal documents; immediate response time and 24/7 availability.

Staff is recommending an award to each of the three agencies to provide the best coverage for all said services, for an initial one (1) year with two (2) additional one-year renewal options. These agencies have agreed to provide translation and interpretation services according to their proposed fee schedule.

	<u>Initial Year Estimated Utilization</u>
CESCO Linguistic Services	\$400,000.00
A&A Languages, LLC	\$100,000.00
LanguageLine Solutions	\$ 50,000.00

The initial agreement with CESCO Linguistic Services will be in the not to exceed amount of four hundred thousand dollars and no cents (\$400,000.00), based on estimated usage.

A&A Languages, LLC and LanguageLine Solutions do not require a Resolution at this time, as they are both within the approval authorization limit of Purchasing Policy 1010.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

All County Offices and Departments

ATTACHED DOCUMENTS:

Resolution
Compiled Evaluation Score Sheet

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: Multiple

Cost Center: Multiple

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7665		\$223,038
Add'l Operating Expenditure not included in Current Budget:	7665		\$225,300*
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$448,338</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

*Pending approval and adoption of 2018 Budget.

NOTE: Some Departments and Elected Offices may not budget specifically for translation and interpretation services, but instead budget for these services in their professional services line item at a higher level.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AWARDING AN AGREEMENT BETWEEN ADAMS COUNTY AND
CESCO LINGUISTIC SERVICES FOR TRANSLATION AND INTERPRETATION SERVICES

WHEREAS, CESCO Linguistic Services submitted a proposal on April 6, 2017 to provide translation and interpretation services; and,

WHEREAS, CESCO Linguistic Services has agreed to provide translation and interpretation services according to their submitted fee schedule in the estimated amount of \$400,000.00; and,

WHEREAS, the County believes the fees are fair and reasonable and wishes to enter into a new agreement with CESCO Linguistic Services.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the award be made to CESCO Linguistic Services to provide translation and interpretation services.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Agreement with CESCO Linguistic Services after negotiation and approval as to form is completed by the County Attorney's Office.

RFP 2017.322 TRANSLATION AND INTERPRETATION SERVICES

CONTRACTOR: CESCO Linguistic Services **Denver, Colorado**

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	30	35	30	30	27	152	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	20	20	16	20	17	93	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	10	8	7	8	43	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	7	7	7	41	
FEE SCHEDULE	10	10	10	10	10	10	50	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	10	10	6	8	7	41	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	3	5	5	2	4	19	
TOTALS:	100	93	100	82	84	80	439	

TOTAL SCORE: 439

AVERAGE **87.8**

CONTRACTOR: A&A Languages, LLC **Denver, Colorado**

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	30	35	32	30	30	157	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	18	20	13	18	17	86	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	10	8	7	8	43	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	7	8	6	41	
FEE SCHEDULE	10	10	10	10	10	10	50	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	5	10	8	8	7	38	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	4	5	4	2	4	19	
TOTALS:	100	87	100	82	83	82	434	

TOTAL SCORE: 434

AVERAGE **86.8**

CONTRACTOR: LanguageLine Solutions **Dallas, Texas**

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	30	35	24	34	30	153	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	10	10	12	20	17	69	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	5	5	6	10	7	33	
DIVERSITY OF LANGUAGES SERVICES	10	5	10	9	10	8	42	
FEE SCHEDULE	10	10	10	10	10	10	50	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	3	3	5	7	5	23	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	5	5	4	5	5	24	
TOTALS:	100	68	78	70	96	82	394	

TOTAL SCORE:	394	AVERAGE	78.8
---------------------	-----	----------------	-------------

CONTRACTOR: Human Touch Translation Ltd. New York, NY

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	20	35	25	26	27	133	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	20	20	17	18	17	92	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	10	7	8	7	42	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	8	8	7	43	
FEE SCHEDULE	10	4	4	4	4	4	20	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	10	8	8	9	8	43	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	5	5	4	2	3	19	
TOTALS:	100	79	92	73	75	73	392	

TOTAL SCORE:	392	AVERAGE	78.4
---------------------	-----	----------------	-------------

CONTRACTOR: LionBridge Waltham, MA

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	20	35	32	25	32	144	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	10	10	20	20	18	78	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	5	9	9	8	41	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	8	7	9	44	
FEE SCHEDULE	10	4	4	4	4	4	20	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	10	10	8	5	9	42	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	5	5	5	3	4	22	
TOTALS:	100	69	79	86	73	84	391	

TOTAL SCORE:	391	AVERAGE	78.2
---------------------	-----	----------------	-------------

CONTRACTOR: Transperfect **Denver, Colorado**

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	20	35	25	26	27	133	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	20	17	17	18	17	89	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	8	7	8	7	40	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	8	8	7	43	
FEE SCHEDULE	10	4	4	4	4	4	20	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	10	7	8	9	8	42	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	5	5	4	2	3	19	
TOTALS:	100	79	86	73	75	73	386	

TOTAL SCORE:	386	AVERAGE	77.2
---------------------	-----	----------------	-------------

CONTRACTOR: Accredited Language Services **New York, NY**

CATEGORY: (project specific)	Total Avail. Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	25	27	32	25	32	141	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	10	18	20	17	18	83	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	5	8	8	6	8	35	
DIVERSITY OF LANGUAGES SERVICES	10	10	9	7	8	8	42	
FEE SCHEDULE	10	8	8	8	8	8	40	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	5	5	6	8	3	27	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	2	4	2	2	4	14	
TOTALS:	100	65	79	83	74	81	382	

TOTAL SCORE: 382

AVERAGE 76.4

CONTRACTOR: Language Nexus, Inc. Golden, Colorado

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	30	25	29	24	30	138	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	15	10	16	14	17	72	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	10	5	8	6	7	36	
DIVERSITY OF LANGUAGES SERVICES	10	10	5	8	6	6	35	
FEE SCHEDULE	10	8	8	8	8	8	40	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	5	5	7	5	7	29	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	3	2	3	2	4	14	
TOTALS:	100	81	60	79	65	79	364	

TOTAL SCORE: 364

AVERAGE 72.8

CONTRACTOR: Translation Excellence Aurora, Colorado

--	--	--	--	--	--	--	--	--

CATEGORY: (project specific)	Total Available Points	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	CATEGORY TOTALS	COSTS/FEES
EXPERIENCE AND QUALIFICATIONS OF AGENCY AND STAFF	35	30	35	28	28	27	148	Costs vary depending on service*
EXPERIENCE TRANSLATING WRITTEN DOCUMENTS, INCLUDING GOVERNMENT AND LEGAL	20	15	20	16	20	17	88	
DEMONSTRATE KNOWLEDGE OF INTERPRETATION AND TRANSLATION OF PUBLIC DOCUMENTS	10	5	10	7	10	7	39	
DIVERSITY OF LANGUAGES SERVICES	10	10	10	5	8	7	40	
FEE SCHEDULE	10	5	5	5	5	5	25	
PROGRAMS AND AVAILABILITY OF IN PERSON SERVICES, TURNAROUND AND RESPONSE TIME	10	5	10	3	8	7	33	
OVERALL CAPABILITY TO PROVIDE OVERSIGHT OF SERVICE AND TIMELY REPORTS AND BILLING	5	2	5	5	2	3	17	
TOTALS:	100	72	95	69	81	73	390	

TOTAL SCORE:	390
---------------------	-----

AVERAGE	78.0
----------------	-------------

* NOTE: The following cost analysis was done by comparing the highest used translation service (Spanish) during normal hours:

CONTRACTOR	ONSITE RATE/HOUR	TELEPHONIC RATE/MINUTE
CESCO Linguistic Services	\$50.00	\$1.00
A&A Languages, LLC	\$40.00	\$1.50
LanguageLine Solutions	N/A	\$0.82
Human Touch Translation Ltd.	\$65.00	\$0.50
LionBridge	\$90.00	\$0.79
Transperfect	\$52.50	\$1.00
Accredited Language Services	\$49.50	\$1.00
Language Nexus, Inc.	\$55.00	\$1.50
Translation Excellence	N/A	\$1.00



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: August 29, 2017
SUBJECT: Community Partner - Human Services Program
FROM: Raymond H. Gonzales, Interim County Manager Patti Duncan, Interim Deputy County Manager Benjamin Dahlman, Finance Director Kim Roland, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Human Services Department
HEARD AT STUDY SESSION ON
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a lease with the Denver Indian Center to provide direct client services.

BACKGROUND:

The Pete Mirelez Human Services Center is opening this fall and it is anticipated that there will be limited office and client service delivery space available to non-profit, government, or community-based agencies with missions and objectives consistent with those of the County's Human Services Department (HSD). The intent of providing the space within the new center will allow selected agencies to deliver direct client facing services to individuals and families with human service needs, whether or not the individuals and families are referred by HSD. These services should enhance or supplement, but do not replace or duplicate, services being provided by the HSD such as:

- Community enrichment or poverty reduction
- Providing employment training or job acquisition
- Addressing homelessness
- Offering services that benefit senior citizens or children
- Addressing economic security or self sufficiency
- Eliminating food insecurity
- Providing culturally relevant services that meet the special needs of diverse populations
- Providing health and wellness services
- Addressing mental health
- Offering other direct services compatible with the needs of the clients of the HSD

The Request for Application was solicited through the Rocky Mountain Bid System and responses were opened on April 25, 2017. One application was submitted from the Denver Indian Center, Denver, Colorado. After reviewing and evaluating the application, HSD confirmed that the Denver Indian Center's submittal was responsive, responsible, and in the best interest of the County. HSD would like to recommend awarding an initial one (1) year lease with two (2) additional one-year renewal periods after review of satisfactory services.

There is a \$10.00 dollar amount associated with the award recommendation.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 15
Cost Center: 100005007000

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5755		\$10.00
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$10.00</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7645		\$10.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$10.00</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY
AND THE DENVER INDIAN CENTER TO PROVIDE CLIENT SERVICES

WHEREAS, the Denver Indian Center submitted an application to provide client services through the Human Services Department; and,

WHEREAS, the Denver Indian Center has agreed to provide these client services with the understanding that there is no funding expected from Adams County for the services.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and the Denver Indian Center be approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign said Agreement with the Denver Indian Center after approval as to form is completed by the County Attorney's Office.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: PRC2016-00007

CASE NAME: Baker Apartments Development

TABLE OF CONTENTS

EXHIBIT 1 – BOCC Staff Report

EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Simple Map
- 2.4 Comprehensive Plan

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Final Plat
- 3.3 Final Development Plan

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Development Services)
- 4.2 Referral Comments (Geological Survey)
- 4.3 Referral Comments (CDOT)
- 4.4 Referral Comments (Division of Water)

EXHIBIT 5- Citizen Comments

- 5.1 Holzapfel
- 5.2 Gail
- 5.3 Sultannova
- 5.4 Keiser
- 5.5 Armstrong

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Certificate of Posting
- 6.5 Referral Agency Labels
- 6.6 Property Owner Labels



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

August 29, 2017

Exhibit 1-Staff Report

CASE No.: PRC2016-00007	CASE NAME: Baker Apartments Development
Owner's Name:	Baker School Apartment LLC
Applicant's Name:	Derrell Schreiner, Delwest, LLC
Applicant's Address:	155 S. Madison Street, Suite 326, Denver, CO 80209
Location of Request:	3555 W. 64 th Ave.
Nature of Request:	1) Preliminary Development Plan Amendment 2) Final Development Plan (FDP) for a multi-family residential development of 142 units; 3) Preliminary Plat Amendment, and Major Subdivision Final Plat; and 4) Subdivision Improvements Agreement
Zone District:	Planned Unit Development (PUD)
Site Size:	Approximately 4.636 acres
Proposed Uses:	Residential
Existing Use:	Vacant
Hearing Date(s):	PC: August 10, 2017/ 6:00 pm
	BOCC: August 29, 2017/ 9:30 am
	Report Date: August 16, 2017
Case Manager:	Emily Collins
Staff Recommendation:	APPROVAL with 27 findings-of-fact, 1 condition and 1 note

SUMMARY OF PREVIOUS APPLICATIONS

On December 8, 2015, the Board of County Commissioners approved: (1) to rezone the property from Residential-2 (R-2) to Planned Unit Development (PUD); (2) a preliminary development plan for multi-family residential and; (3) a preliminary plat to create one lot from five lots.

SUMMARY OF APPLICATION

Background:

Baker Apartments LLC, the applicant, is requesting an amendment to the approved preliminary development plan, approval of a final development plan for 142 multi-family residential (apartment) units, amendment to the approved preliminary plat, and a major subdivision final plat to create one lot on approximately four acres. The request also includes a subdivision improvements agreement. The subject property was previously developed as the Baker Elementary School. The Westminster School District-50 closed Baker Elementary in 2009, and demolished all buildings on the property in 2015. Currently, the subject site is vacant.

Development Standards and Regulations Requirements:

Preliminary Development Plan Amendment:

Per Section 2-02-10 of the Adams County Development Standards and Regulations, creation of a PUD zone district requires approval of a Preliminary Development Plan (PDP) followed by approval of a Final Development Plan (FDP). Per Section 2-01-10 of the County's Regulations, the applicant is requesting an amendment to the approved Preliminary Development Plan for a multi-family residential development. This amendment is a result of an acquisition and addition of a 0.3 acre parcel that was not included in the approved PDP.

The Board of County Commissioners (BOCC) approved the PDP for the proposed residential development on December 8, 2015. However, after approval of the development plan, the applicant acquired additional land area at the corner of W. 64th Avenue and Lowell Blvd. This land area is approximately 0.3 of an acre. The applicant is requesting to amend the approved PDP to include the additional 0.3 acre parcel. Inclusion of the 0.3 acre parcel increases the overall PDP area from 4.3 to approximately 4.6 acres. This addition of land area allows for modification to locations of required on-site drainage, as well as expansion of other amenities such as play areas and a community center.

Per Section 2-01-10-02, the review of major amendments to a development plans shall be processed in the same manner as the original development plan. The proposed changes to the PDP boundaries and modifications to the site plan require a review by the Planning Commission and Board of County Commissioners in a public hearing. Per Section 2-02-10-03-01, a PDP establishes vested rights to develop a property in accordance with the submitted plans that includes land uses, layout of landscaping, circulation, architectural elevations, and a preliminary plat; approval of the PDP does not allow for construction.

Final Development Plan:

A Final Development Plan (FDP) is the second approval required to establish a PUD zone district. The FDP is a site-specific development plan which describes and establishes the type and intensity of uses for a specific parcel of land. Per Section 2-02-10-04 of the Adams County Development Standards and Regulations, a final plat and a development agreement is required to

be submitted with the FDP. The final plat and development agreement outlines public improvements required with the development.

The subject FDP consists of 142 apartment units in four buildings of three stories in height with earth tone (browns, tans, grays, and whites) color schemes. The intent for selecting the color scheme is to blend with the surrounding neighborhood. A majority of the surrounding neighborhood is composed of single-family dwellings built in the early 1950's, and multi-family (duplex) development constructed in the 1980's. The proposed color scheme will be compatible with the surrounding area. All structure setbacks and height restrictions proposed with the FDP conform to the approved preliminary development plan (PDP) standards. The proposed height of the three story structures is approximately 41 feet, which is consistent with the maximum height approved with the PDP. The maximum height approved with the PDP is 48 feet. The proposed site plan shows a minimum of one hundred foot setback for all structures from both W. 64th Avenue and Lowell Boulevard. This is to comply with required section line setbacks. Per Chapter 3 of the County's Development Standards and Regulations, a minimum setback of 100 feet is required from section lines for all residential developments. The site plan also shows a minimum setback of fifteen feet from the eastern property line and twenty feet from the northern property line. These setback standards are consistent with the approved PDP. In addition to the setbacks, the site plan also shows a proposed eight-foot solid privacy fence along the northern property line and a six-foot privacy fence along the eastern property line. The construction of these proposed fences are as a result of the recommendation of adjacent property owners.

Overall, the proposed development includes 249 parking spaces for a ratio of 1.75 spaces per unit. This ratio was previously approved in the preliminary development plan. The site is also centrally located between three transit stations. Location of the site near transit stations offers opportunity for multi-modal transit choices which could potentially reduce the need for automobile ownership and demand for fewer parking spaces. The site plan provided with the request shows provision of on-site bicycle parking facilities to encourage residents to utilize alternate transportation modes, such as biking, walking, and mass transit systems. The FDP also includes amenities such as active recreational open space areas and community facilities, including a dog park, play ground, and community fitness center.

Per Section 3-29-03-05-06 of the County's Development Standards and Regulations, a minimum of 30% open space is required in all PUDs, or as determined by the BOCC. The FDP shows approximately 24% building coverage and 75% open space. Approximately 35% of the open space area is designed for active recreation and includes amenities such as a community dog park, landscaped corridors between buildings with picnic tables, grill stations, bicycle racks, and a community playground. The dog park will be constructed along the northern property line, and the community playground will be located adjacent to the proposed leasing center on the western portion of the site. In addition to the open space areas, the development plan also show interior parking lot landscape and landscaping along W. 64th Avenue and Lowell Boulevard frontages.

Major Subdivision Amended Preliminary Plat/Final Plat:

Per Section 2-02-17-04 of the County's Development Standards and Regulations, the applicant is requesting approval of a major subdivision plat for development of the proposed 142 multi-family units and associated amenities. This request also includes amendments to the preliminary

plat. The preliminary plat was approved for 4.3 acres. However, the applicant has acquired additional 0.3 acres after approval of the preliminary plat and is requesting to include this additional land in the PUD, hence amendment to the preliminary plat. The proposed final plat and request to amend the preliminary plat conforms to the requirements for approval of a preliminary plat and final plat outlined in Sections 2-02-17-03-05 and 2-02-17-04-05 of the County's Development Standards. These standards include conformance to the approved preliminary plat and the subdivision design standards, evidence of adequate water and sewer supply, adequate drainage improvements, and adequate public infrastructure to support the development.

Per Section 5-03-03 of the County's Development Standards and Regulations, a subdivision plat and lot dimensions are required to conform to requirements of the zone district in which the property is located. In addition, all lots created by a subdivision shall have access on a County maintained right-of-way. The subject property is zoned Planned Unit Development (PUD). Per Section 3-29-02 of the Adams County Development Standards and Regulations, a PUD is a form of a customized zone district and may therefore modify the development standards and regulations such as site area, density, setbacks, and height restrictions.

The proposed development will have access on both Lowell Boulevard and W. 64th Avenue, which are all County maintained road right-of-ways. Internal road system within the development will be privately maintained and constructed 24 feet in width. Per Section 5-02 of the County's Development Standards and Regulations, the development shall be required to install curb, gutter, sidewalk, and ADA compliant ramps along W. 64th Avenue and Lowell Boulevard. In addition, installation of a right turn lane onto northbound Lowell Blvd shall be required, as well. As part of installation of these improvements, a relocation of an existing traffic signal pole at the northeast corner of the intersection of W. 64th Ave. and Lowell Blvd. shall be required. The applicant and staff have no concerns with relocation of the pole, as this is critical for installation of a right-turn lane onto northbound Lowell Boulevard.

As part of the request, the applicant provided a will serve letter from Crestview Water and Sanitation District demonstrating the District's ability to provide services to the development. The Colorado Division of Water Resources reviewed the development and determined there is adequate water supply to service the development. All proposed drainage facilities in the development have been reviewed and approved by the County's Development Services Engineering.

Subdivision Improvements Agreement:

Per Section 5-02-05 of the County's Development Standards and Regulations, a Subdivision Improvements Agreement (SIA) is required with approval of a final plat. The SIA is for public improvements including curb, gutter, and sidewalk that will be constructed in the proposed subdivision. The SIA is required to address the manner and timing of the completion of all improvements, including responsibility for payment of the costs of improvements associated with the development. Staff reviewed an SIA submitted with the development and has determined the proposed agreement complies with the County's Development Standards and Regulations. The proposed SIA includes on-site drainage facilities, curb, gutter, sidewalk, and ADA ramps, as well as cost for the proposed turn-lane and traffic signal relocation. In

accordance with the SIA, no construction or building permits shall be issued until all required collateral are provided and approved by the County.

Future Land Use Designation/Comprehensive Plan:

The subject property is designated as Urban Residential in the County’s Future Land Use Map. Per Chapter 5 of the Adams County Comprehensive Plan, Urban Residential areas are intended to provide a variety of housing types, and create and maintain healthy residential neighborhoods. The primary uses in the Urban Residential future land use designation are single and multiple-family housing developed at densities of one dwelling unit per acre or greater. Additionally, all of the surrounding properties to the north, south, east, and west of the subject property are also designated as Urban Residential future land use in the Comprehensive Plan.

The property is also located in the Southwest Adams County Framework plan. This plan was adopted as an amendment to the County’s Comprehensive Plan, and outlines existing conditions and direction for future planning efforts in certain sections of the County. Specifically, the Framework Plan identifies the southwest portion of the County as containing most of the older, more urbanized areas of the County as well as a wide range and mix of land uses. The Framework Plan identifies policies and strategies outlined in the County’s Comprehensive Plan, such as maintaining and enhancing the quality of existing residential neighborhoods and enhancing the Southwest area’s role as an important gateway to the County.

The subject request conforms to goals of the Comprehensive Plan and the Southwest Framework Plan. The request is for development of a multiple-family residential development that is compatible with surrounding residential developments. In addition, the development will utilize existing infrastructure as well as construct new public improvements that include curb, gutter, sidewalk, and ADA ramps. As part of the development, a right turn lane to accommodate traffic generated by the development will also be installed. Further, the proposed development includes landscape and streetscape improvements. These improvements will further enhance the health, safety, and image of the area.

Site Characteristic:

Currently, the site is undeveloped and all infrastructure previously located on the site, including Baker Elementary School and a single-family dwelling, has been demolished.

Surrounding Zoning Designations and Existing Use Activity:

Northwest R-2 Single Family	North R-2 Single Family	Northeast R-2 Single Family
West R-1-A and C-4 Vacant	Subject Property PUD Multiple Family	East R-2 Single Family
Southwest C-4 Vacant	South R-2 Single Family and Duplex	Southeast R-2 Single Family and Duplex

Compatibility with the Surrounding Land Uses:

The property abuts two streets to the east and west; specifically, Lowell Boulevard to the west and W. 64th Avenue to the south. A majority of the surrounding properties to the north, south, and east are developed as single-family and multi-family (duplex) residential. The property to the west is currently vacant. While the density of the proposed development is higher than a majority of the surrounding properties, the proposed development including building color schemes, landscaping, screened fencing, and amenities will be compatible with the surrounding area. Overall, the development will enhance the neighborhood through the proposed improvements.

Planning Commission Update:

The Planning Commission (PC) considered this case on August 10, 2017 and unanimously recommended approval of the request. The PC commended the applicant for acquiring additional land area to provide adequate amenities to support the development. The PC also discussed cleaning and maintenance of the proposed dog park, and the applicant assured the PC that there will be adequate maintenance staff on the property to clean the dog park on regular basis. The PC asked the applicant about his proposed lighting plan and measures to prevent the lights from spilling over to the adjacent property. The applicant informed the PC that all lighting on the eastern portion of the property will be building-mounted, downcast, and designed to prevent a spill over to the adjacent property.

One person spoke at the public hearing and requested clarification on how the development will improve existing drainage issues in the area, especially accumulation of water along W. 64th Avenue. The applicant informed the PC that the development is required to construct an on-site detention facility, which will also enhance the drainage in the area including the accumulation of water on W. 64th Avenue.

Staff Recommendations:

Based upon the application, the criteria for approval for a Preliminary Development Plan, Final Development Plan, Major Subdivision Preliminary Plat, and Major Subdivision Final Plat, and a recent site visit, staff recommends Approval of this request with 27 findings-of-fact, 1 condition and 1 note:

RECOMMENDED FINDINGS OF FACT

Preliminary Development Plan:

1. The PDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The PDP is consistent with the purposes of these standards and regulations.
3. The PDP is compatible or designed to mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.
4. The PDP conforms to the Adams County Transportation Plan and will not negatively impact utilities or traffic in the area or otherwise have a detrimental impact on property in sufficient proximity to the proposed development to be affected by it.
5. The PDP is consistent with any applicable drainage plans.
6. The PDP allows for the regulation of use and development of land and buildings where specific issues or concerns must be mitigated due to unusual and unique circumstances; or where alternative design concepts are desired; or are necessary to mitigate specific conditions.
7. The PDP is consistent with any applicable drainage plans.
8. The PDP is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed development has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the development to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design;
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed development so the proposed development will not negatively impact the levels of service of the County services and facilities; and
 - f. Incorporating an overall plan for the design of the streetscape within the project, including landscaping, auto parking, bicycle and pedestrian circulation, architecture, placement of buildings, and street furniture.

Final Development Plan:

9. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
10. The FDP conforms to the P.U.D. standards.
11. The FDP is consistent with any approved PDP for the property.

12. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Major Subdivision (Preliminary Plat):

13. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
14. The preliminary plat is consistent with the purposes of these standards and regulations.
15. The applicant has provided evidence that a sufficient water supply plan has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
16. The applicant has provided evidence that adequate a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
17. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
18. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
19. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
20. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.

Major Subdivision (Final Plat):

21. The final plat is consistent and conforms to the approved preliminary plat.
22. The final plat is in conformance with the subdivision design standards.

23. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
24. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
25. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
26. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
27. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

Conditions of Approval:

1. No construction or building permits shall be issued until all required collateral associated with the SIA is provided and approved by County staff.

Notes to the Applicant:

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

CITIZEN COMMENTS

Notifications Sent	Comments Received
239	5

Notices were sent to all property owners within 1,000 foot radius of the subject site. Five people responded to the notification. One of those that responded requested that the subject property should be maintained to control existing weeds. Two people who responded expressed support for the development, but had reservations about the architectural character of the buildings and recommended incorporating mixed uses as part of the development. The fourth person who responded to the notification expressed concerns with existing trash on the property, effect of lighting, proposed height of the development, and fence design along the eastern property line. The fifth person who responded expressed objection to the overall development and stated their preference for single-family development instead of multi-family housing.

Staff informed the County’s Neighborhood Services-Code Compliance division of the concerns expressed with presence of trash and weeds on the property. During a recent site visit, staff did not identify accumulation of trash or presence of tall weeds on the property. Regarding the overall architectural character, including concerns with the building height and density of units, the design was reviewed and approved with the preliminary development plan. This request conforms to the

approved PDP. In addition, the applicant is coordinating with the adjacent property owner to the east regarding the fence design. The FDP includes required fencing along the northern and eastern property lines as a result of the recommendation of adjacent property owners.

Referral Comments:

Adams County Development Review Engineering has reviewed approved construction and drainage plans for the development. Colorado Geological Survey and CDOT reviewed the request and had no concerns. The Colorado Division of Water Resources reviewed the request and stated the proposed subdivision has adequate water supply.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

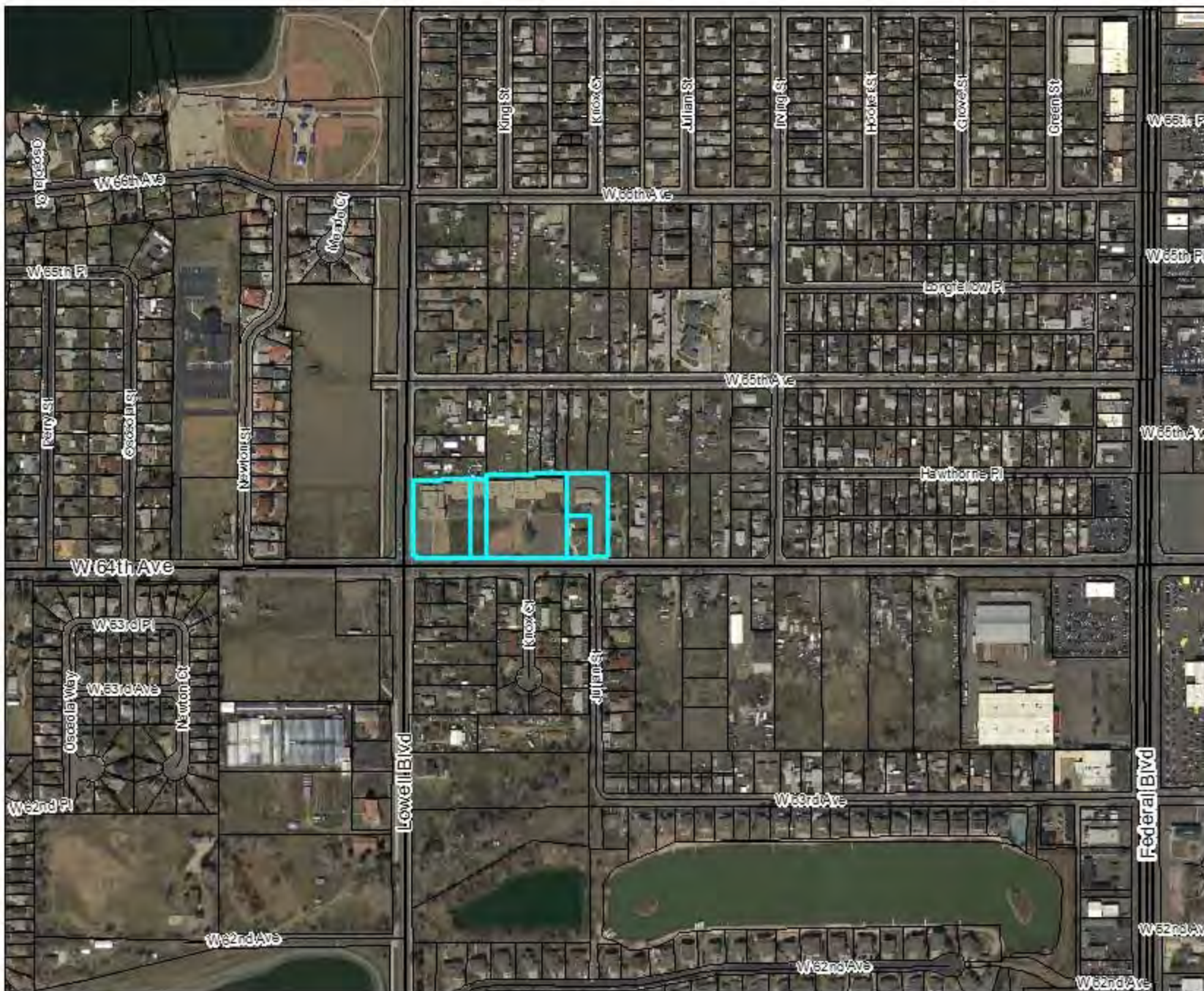
None

Responding without Concerns:

Colorado Division of Water Resources
Colorado Geological Survey
CDOT

Notified but not Responding / Considered a Favorable Response:

Adams County Fire Protection District
Century Link
Colorado Division of Mining
Colorado Division of Wildlife
Comcast
Crestview Water and Sanitation District
Goat Hill Neighborhood Organization
Hyland Hills Park and Rec District
Metro Wastewater
Regional Transportation District
Westminster School District #50
Xcel Energy



LEGEND

- ★ Special Zoning Conditions
 - Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Airport Noise Overlay

Baker Apartments
PRC2016-00007

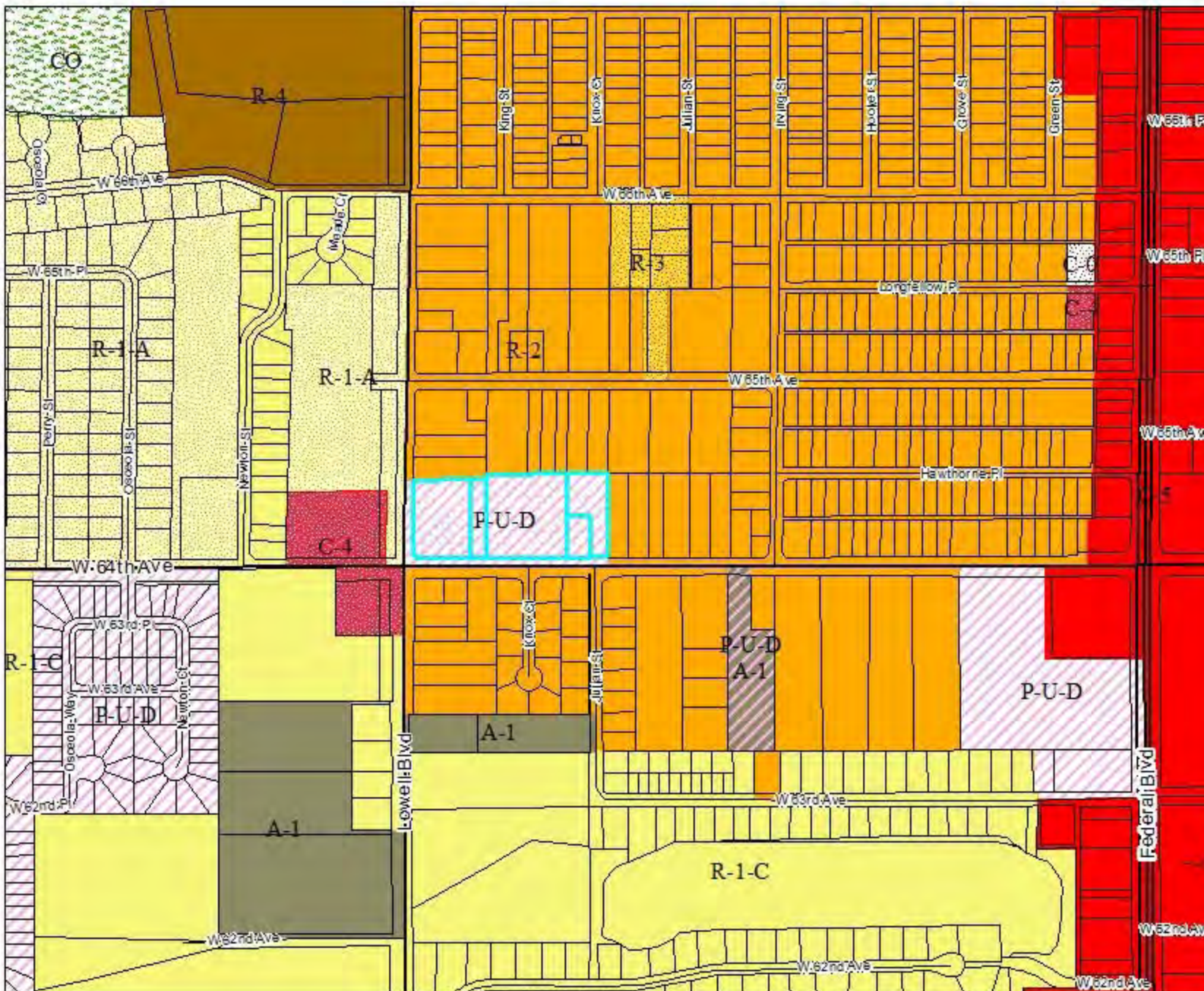
Exhibit 2.1



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



LEGEND

- ★ Special Zoning Conditions
 - 3 Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - ⊞ Airport Noise Overlay

Baker Apartments
PRC2016-00007

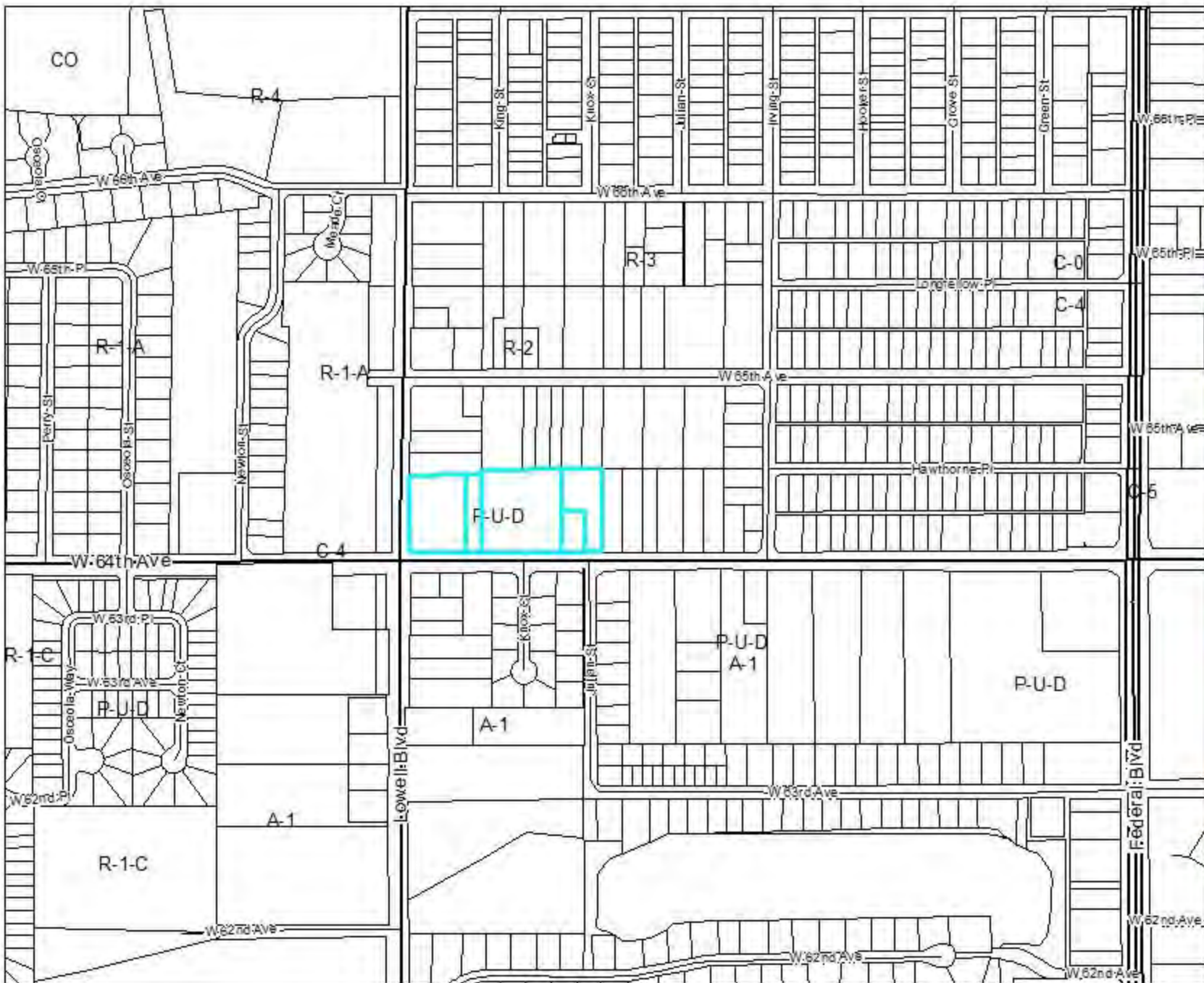
Exhibit 2.2



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



LEGEND

- ★ Special Zoning Conditions
 - || Section Numbers
 - +— Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - ⊞ Airport Noise Overlay

Baker Apartments
PRC2016-00007

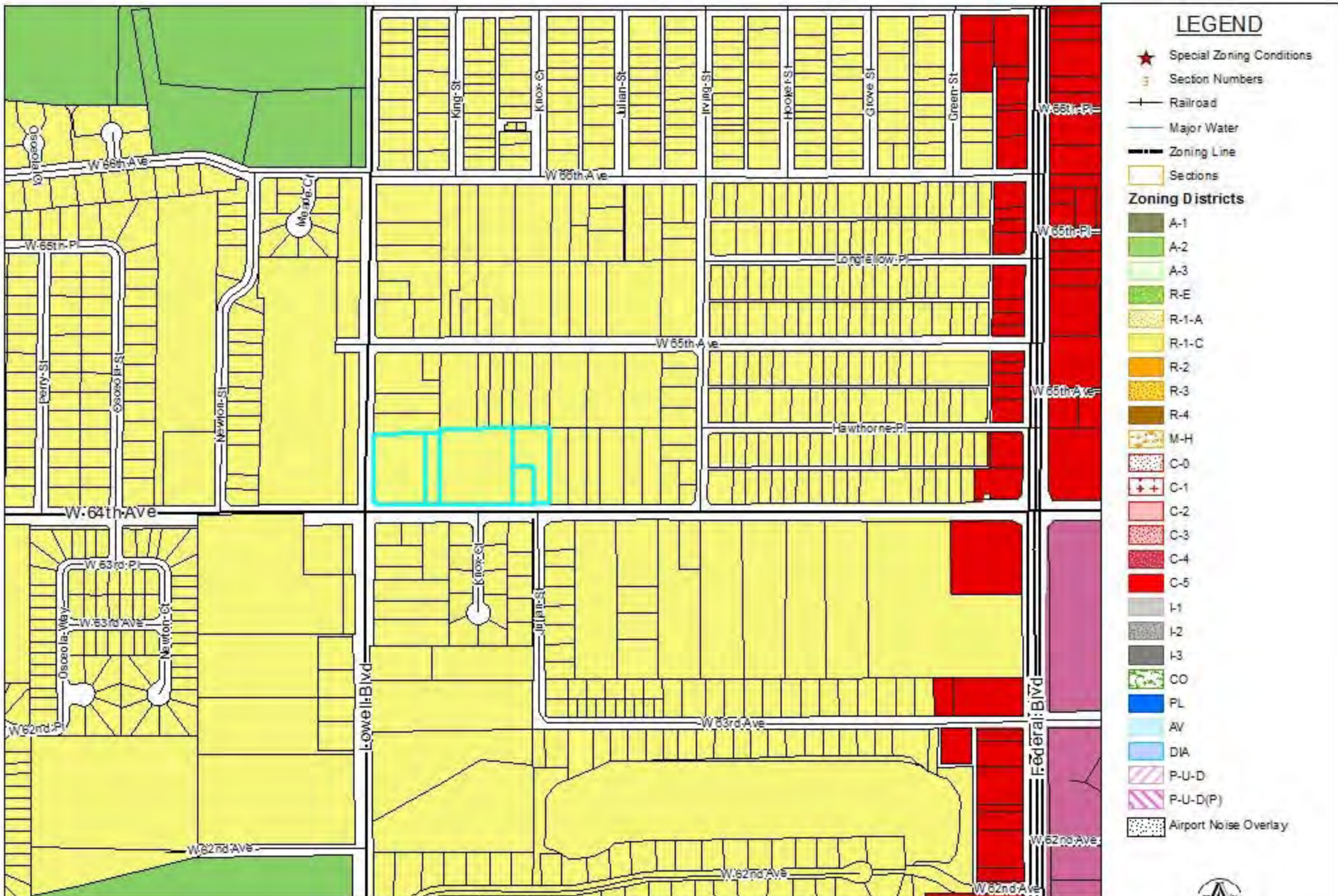
Exhibit 2.3



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



Baker Apartments
PRC2016-00007

Exhibit 2.4



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.

04/20/16

Re: 64TH & Lowell Final Development Plan

EXPLANATION OF PROJECT-64th and LOWELL APARTMENTS

DelWest has entered into a contract with SD#50 to purchase and develop the 4.3±-acres former Baker School site for multi-family units, subject to County approvals. Older single family homes abut the property on the east and south across W. 64th Avenue in R-2 zoning, to the west across Lowell Blvd. is an open drainage channel after which is vacant C-5 and R-1-A zoned property, and to the southwest across Lowell Blvd. and 64th Avenue is vacant C-4 zoned and A-1 zoned properties with some older greenhouses.

DelWest is proposing to construct 4 3-story buildings with 142 apartments (72±-1 bedroom and 70±-2 bedroom units), a community room, fitness center, management/rental office, and 244± uncovered parking spaces (minimum of 1.7 parking spaces/unit). Development would include extensive landscaping, an on-site detention pond, and landscaping of a small parcel at the corner of 64th & Lowell that can't be included as part of the site's development plan until ownership issues are resolved. Exterior of the buildings would be earth-tone exterior, and the buildings have been placed so that properties to the north are not shadowed as they formerly were when the school's wall was virtually on the north property line. The FDP will provide details on exterior appearance, landscaping, fencing, etc. to ensure this development will be compatible and beneficial to the residents of the area.

Other information in regard to the proposed development are:

1. Water and Sewer Services – Crestview Water and Sanitation District.
2. Gas and Electric Utility Services – Xcel Energy.
3. Fire Protection – Adams County Fire Protection District. The Fire District will approve all fire hydrant locations, and all home construction will follow the Fire and Building Code.
4. Drainage/Floodplains – The property is not within any 100-year floodplain. Previously the school site didn't detain storm any water runoff, but with this development, excess run-off will be detained and released at historic rates to lessen downstream impacts by the creation of small detention pond in the southeast corner of the site.
5. Soils-Geologic Conditions – A preliminary geo-technical study indicates suitability for development, subject to proper engineering controls to mitigate certain concerns, mainly the presence of some expansive soils. Prior to construction, extensive soil/geologic testing will be undertaken to determine road construction standards and home foundation designs.
6. Access and Public Transportation -The property fronts on Lowell Blvd. and W. 64th Avenue, providing good access to major roads and highways in the area. The site is also located within 1 mile of 3 commuter rail stations providing an incentive for less use of the automobile.
7. Park/Recreation Facilities – The Site is also within 1 mile of 3 major open space amenities – Baker Reservoir, Clear Creek Trail, and the future Hyland Hills Park south on Lowell Blvd.

In summary, the proposed multi-family development at this location is compatible and not detrimental with the surrounding properties, the Comprehensive Plan, or to the health, safety, or welfare of the inhabitants of the area, and is consistent with the purposes and requirements of the County's Standards and Regulations. DeWest requests a favorable recommendation from the County Staff and Planning Commission, and approval by the Board of County Commissioners to develop this property as proposed in these applications for Final Development Plan and Preliminary Plat that can help revitalize and redevelopment of the area.

Please call me should you require any further information. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Harsh Parikh". The signature is stylized with a large, sweeping initial "H" and a long horizontal stroke extending to the right.

Harsh Parikh
President
Parikh Stevens Architects

BAKER SCHOOL APARTMENTS AMENDED PRELIMINARY/FINAL PLAT

Exhibit 3.2

PRC2016-00007

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACTS 28, 29 AND A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, A SUBDIVISION PLAT RECORDED IN PLAT BOOK 3, AT PAGE 58 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M. BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A #6 REBAR WITH A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5;
THENCE N 89°50'20" E, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 40.00 FEET TO A POINT ON THE EAST LINE OF THAT DEED RECORDED AT BOOK 3505 AT PAGE 412, SAID ADAMS COUNTY RECORDS;
THENCE N 00°51'37" E, PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, AND ALONG SAID EAST LINE, A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH LINE OF THE WEST 64TH AVENUE RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT AND THE POINT OF BEGINNING;

THENCE ALONG THE EAST AND NORTH LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:

- N 00°51'37" E, A DISTANCE OF 10.00 FEET;
- S 89°50'20" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT

THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 271.00 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE ALONG THE SOUTH AND EAST LINES OF SAID TRACT 27, THE FOLLOWING TWO (2) COURSES:

- N 89°50'20" E, A DISTANCE OF 258.60 FEET;
- N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE SOUTHWEST CORNER OF TRACT 25, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 89°50'20" E, ALONG THE NORTH LINES OF SAID TRACTS 28, 29 AND 30, A DISTANCE OF 435.62 FEET TO THE NORTHEAST CORNER OF SAID TRACT 30;
THENCE S 00°51'37" W, ALONG THE EAST LINE OF SAID TRACT 30, A DISTANCE OF 290.00 FEET TO THE NORTHEAST CORNER OF THAT DEED RECORDED IN BOOK 1852, AT PAGE 82, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE NORTH AND WEST LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:

- S 89°50'20" W, A DISTANCE OF 63.21 FEET;
- S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 621.01 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 202,588 SQUARE FEET, OR 4.651 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO A LOT, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BAKER SCHOOL APARTMENTS AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE EASEMENTS AND RIGHTS-OF-WAY AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

OWNER:

WEST 64TH INVESTMENTS LLC, A COLORADO LIMITED LIABILITY COMPANY
BY: _____

ITS: _____

NOTES:

- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

VICINITY MAP

NO SCALE



NOTES - CONTINUED:

- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES, CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 16000310287 - AMENDMENT NO. 3, WITH AN EFFECTIVE DATE OF FEBRUARY 10, 2017 AT 5:30 PM, PREPARED BY STEWART TITLE INSURANCE COMPANY.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- BEARINGS FOR THIS FINAL PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A #6 REBAR WITH A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
- THE LINEAL UNIT USED IN THIS SURVEY IS THE U.S. SURVEY FOOT.
- DATE OF FIELD SURVEY: JANUARY 30, 2015
- THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 202,588 SQUARE FEET, OR 4.651 ACRES, MORE OR LESS.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, FIRE LANES, EMERGENCY ACCESS AND UTILITY EASEMENTS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
- LOT 1 IS FOR RESIDENTIAL, MULTI-FAMILY DEVELOPMENT.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS MUST BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, PUMPS AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.
- MAINTENANCE OF ALL PROPOSED PRIVATE DRAINAGE IMPROVEMENTS IS A CONTINUING OBLIGATION OF THE LAND OWNER, ITS SUCCESSORS, AND ASSIGNS, TO ENSURE THE STORM SEWER FUNCTIONS AS DESIGNED AND CONTINUES SERVING THE INTENDED FUNCTION IN PERPETUITY.
- THE APPROVED STORMWATER OPERATIONS AND MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE AT RECEPTION NO _____.

LAND AREA SUMMARY

TYPE	AREA (SF)	AREA (AC)
LOT 1	201,953	4.636
DEDICATED R.O.W.	635	0.015
TOTAL	202,588	4.651

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME

THIS ___ DAY OF _____, A.D. 20___

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ___ DAY OF _____, 20___ AD AT ___ O'CLOCK ___M.

CHAIRPERSON: _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ___ DAY OF _____, 20___ AD AT ___ O'CLOCK ___M.

CHAIR: _____

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON JANUARY 30, 2015

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC

ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ___ M. ON THE ___ DAY OF _____, 20___.

COUNTY CLERK AND RECORDER _____

BY DEPUTY: _____

RECEPTION NO. _____

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
3681 783rd Ave.
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



BAKER SCHOOL APARTMENTS
AMENDED PRELIMINARY/FINAL PLAT
SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM
ADAMS COUNTY, COLORADO

PROJ. MGR. DF

PROJ. ENG. _____

DRAWN BY: JCA

DATE: 5.1.17

SCALE: _____

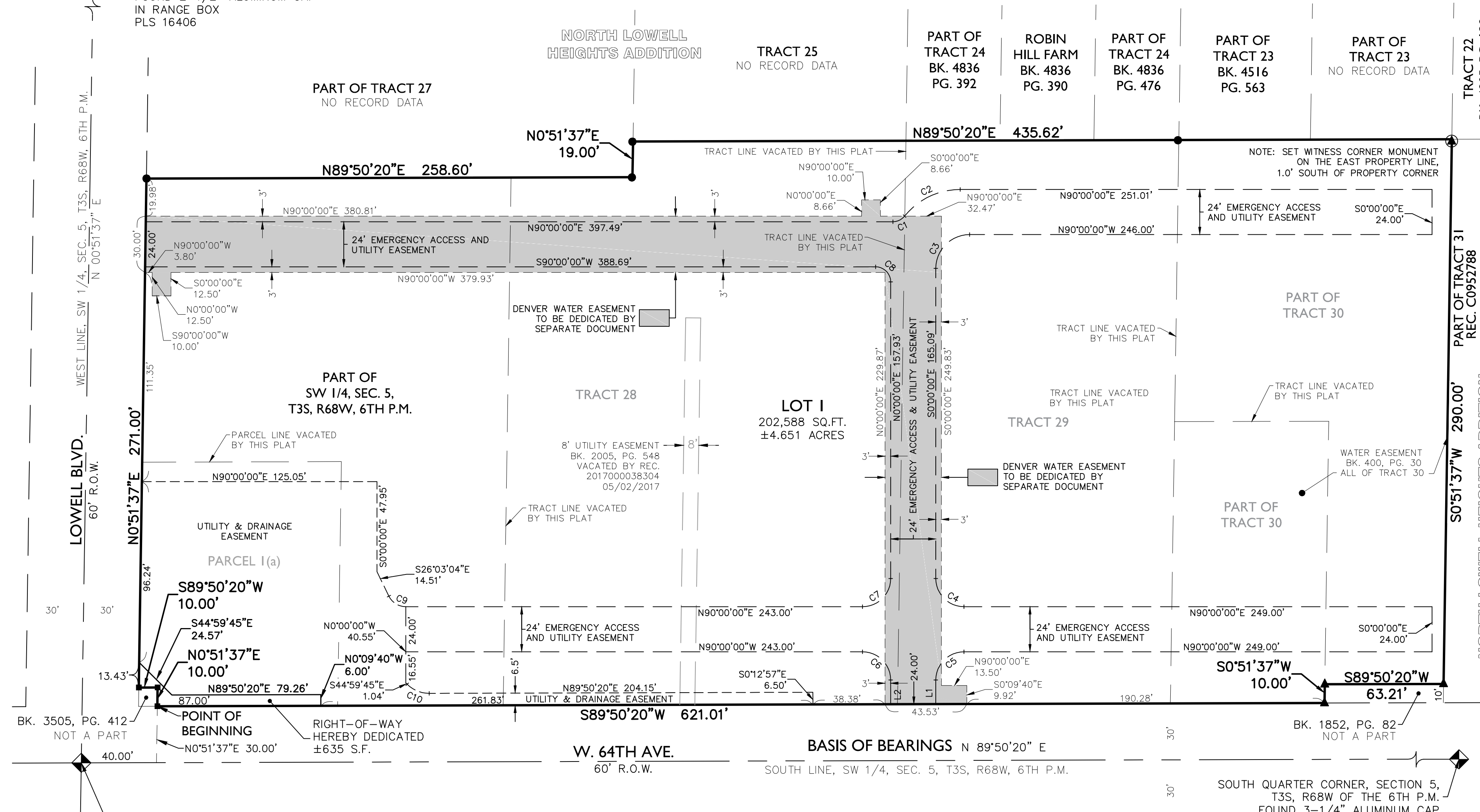
SHEET
1 OF 2

BAKER SCHOOL APARTMENTS AMENDED PRELIMINARY/FINAL PLAT

PRC2016-00007

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

WEST QUARTER CORNER, SECTION 5
T3S, R68W OF THE 6TH P.M.
FOUND 2-1/2" ALUMINUM CAP
IN RANGE BOX
PLS 16406



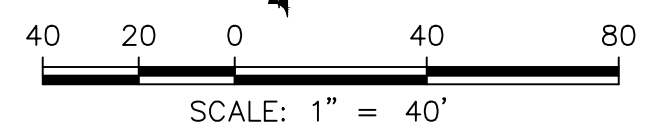
POINT OF COMMENCEMENT
SOUTHWEST CORNER, SECTION 5
T3S, R68W OF THE 6TH P.M.
FOUND 1" AXLE IN RANGE BOX

LINE #	LENGTH	DIRECTION
L1	12.86	S0° 00' 00"E
L2	12.93	N0° 00' 00"E

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	7.14	8.00	51°10'10"	6.91	N64°24'55"E
C2	33.94	38.00	51°10'10"	32.82	N64°24'55"E
C3	28.27	18.00	90°00'00"	25.46	S45°00'00"W
C4	23.56	15.00	90°00'00"	21.21	S45°00'00"E
C5	23.56	15.00	90°00'00"	21.21	S45°00'00"W

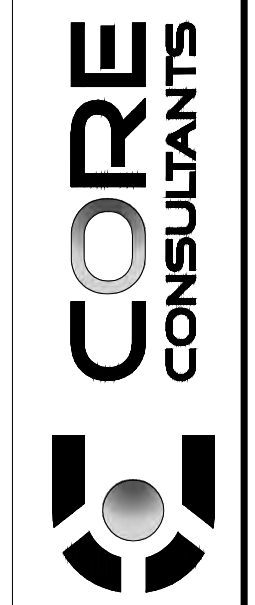
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C6	23.56	15.00	90°00'00"	21.21	N45°00'00"W
C7	23.56	15.00	90°00'00"	21.21	N45°00'00"E
C8	12.57	8.00	90°00'00"	11.31	N45°00'00"W
C9	11.16	10.00	63°56'56"	10.59	S58°01'32"E
C10	13.01	16.50	45°09'55"	12.67	S67°34'43"E

- LEGEND**
- ▲ SET #5 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 38151"
 - ⊙ SET #5 REBAR WITH 2" ALUMINUM CAP STAMPED "1" W.C. SOUTH PLS 38151"
 - FOUND REBAR WITH 1.5" ALUMINUM CAP STAMPED "PLS 16406"
 - FOUND NAIL AND 1" BRASS TAG STAMPED "PLS 7276"
 - ◆ FOUND SECTION CORNER, AS NOTED



DATE	REVISIONS	COUNTY COMMENTS
09/28/16	JCA	TMC

CIVIL ENGINEERING
CONSULTING
NATURAL RESOURCES
LAND SURVEYING
303.703.4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



BAKER SCHOOL APARTMENTS
AMENDED PRELIMINARY/FINAL PLAT
SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM
ADAMS COUNTY, COLORADO

PROJ. MGR.	DF
PROJ. ENG.	JCA
DRAWN BY:	JCA
DATE:	5.1.17
SCALE:	1" = 40'

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

LEGAL DESCRIPTION

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACTS 28, 29 AND A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, A SUBDIVISION PLAT RECORDED IN PLAT BOOK 3, AT PAGE 58 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5; THENCE N 29°55'50" E, A DISTANCE OF 61.74 FEET TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT AND THE POINT OF BEGINNING; THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 257.58 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE ALONG THE SOUTH AND EAST LINES OF SAID TRACT 27, THE FOLLOWING TWO (2) COURSES:
1. N 89°50'20" E, A DISTANCE OF 258.60 FEET; N 89°50'20" E, A DISTANCE OF 258.60 FEET;
2. N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE SOUTHWEST CORNER OF TRACT N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE SOUTHWEST CORNER OF TRACT 25, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 89°50'20" E, ALONG THE NORTH LINES OF SAID TRACTS 28, 29 AND 30, A DISTANCE OF 435.62 FEET TO THE NORTHEAST CORNER OF SAID TRACT 30;
THENCE S 00°51'37" W, ALONG THE EAST LINE OF SAID TRACT 30, A DISTANCE OF 290.00 FEET TO THE NORTHEAST CORNER OF THAT DEED RECORDED IN BOOK 1852, AT PAGE 82, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE NORTH AND WEST LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:
1. S 89°50'20" W, A DISTANCE OF 63.21 FEET; S 89°50'20" W, A DISTANCE OF 63.21 FEET;
2. S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 534.01 FEET TO A POINT ON A LINE BEING 30.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5;
THENCE N 00°09'40" W, ALONG SAID LINE, A DISTANCE OF 6.00 FEET TO A POINT ON A LINE BEING 36.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5;
THENCE S 89°50'20" W, ALONG SAID LINE, A DISTANCE OF 79.26 FEET;
THENCE N 44°59'45" W, A DISTANCE OF 24.57 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 201,953 SQUARE FEET, OR 4.636 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO A LOT AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BAKER SCHOOL APARTMENTS AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

APPROVALS

Board of County Commissioners Approval:
Approved by the Adams County Board of Commissioners this _____ day of _____, 20__

Chair _____

Planning Commission Approval:
Approved by the Adams County Planning Commission this _____ day of _____, 20__

Chair _____

CLERK & RECORDER'S CERTIFICATION

This Final Development Plan was filed for record in the Office of the Adams County Clerk and Recorder in the State of Colorado at _____ m. on the ____ day of _____, 20__.

County Clerk and Recorder _____

By Deputy: _____

ADDITIONS & DELETIONS

The following Additions and Deletions in the PUD were made by the Board of County Commissioners at the time of approval.

STAFF REVIEW

Approved as to form by: _____

Director of Community and Economic Development _____

County Attorney _____

OWNER'S SIGNATURE

WE, THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN THE ADAMS COUNTY CODE. THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS AND HOLDERS OF DEEDS OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN.

OWNER: _____

BY: _____ DATE: _____

STATE OF _____

CITY OF _____

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY

OF _____ ON THIS _____ DAY OF _____, 2016

WITNESS MY HAND AND OFFICIAL SEAL _____

MY COMMISSION EXPIRES: _____

SURVEYOR'S SIGNATURE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS PREPARED BY ME OR UNDER DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF IS TRUE AND ACCURATE.

FOR AND ON BEHALF OF _____

PROJECT TEAM

APPLICANT

Baker School Holdings, L.L.P.
155 South Madison St. Suite 326
Denver, Colorado 80209
Contact: Derrell Schreiner
(303)-570-0910

ARCHITECT

Parikh Stevens Architects
3457 Ringsby Court, Suite 209
Denver, Colorado 80216
Contact: Harsh Parikh
(303) 825-2595

CIVIL ENGINEER

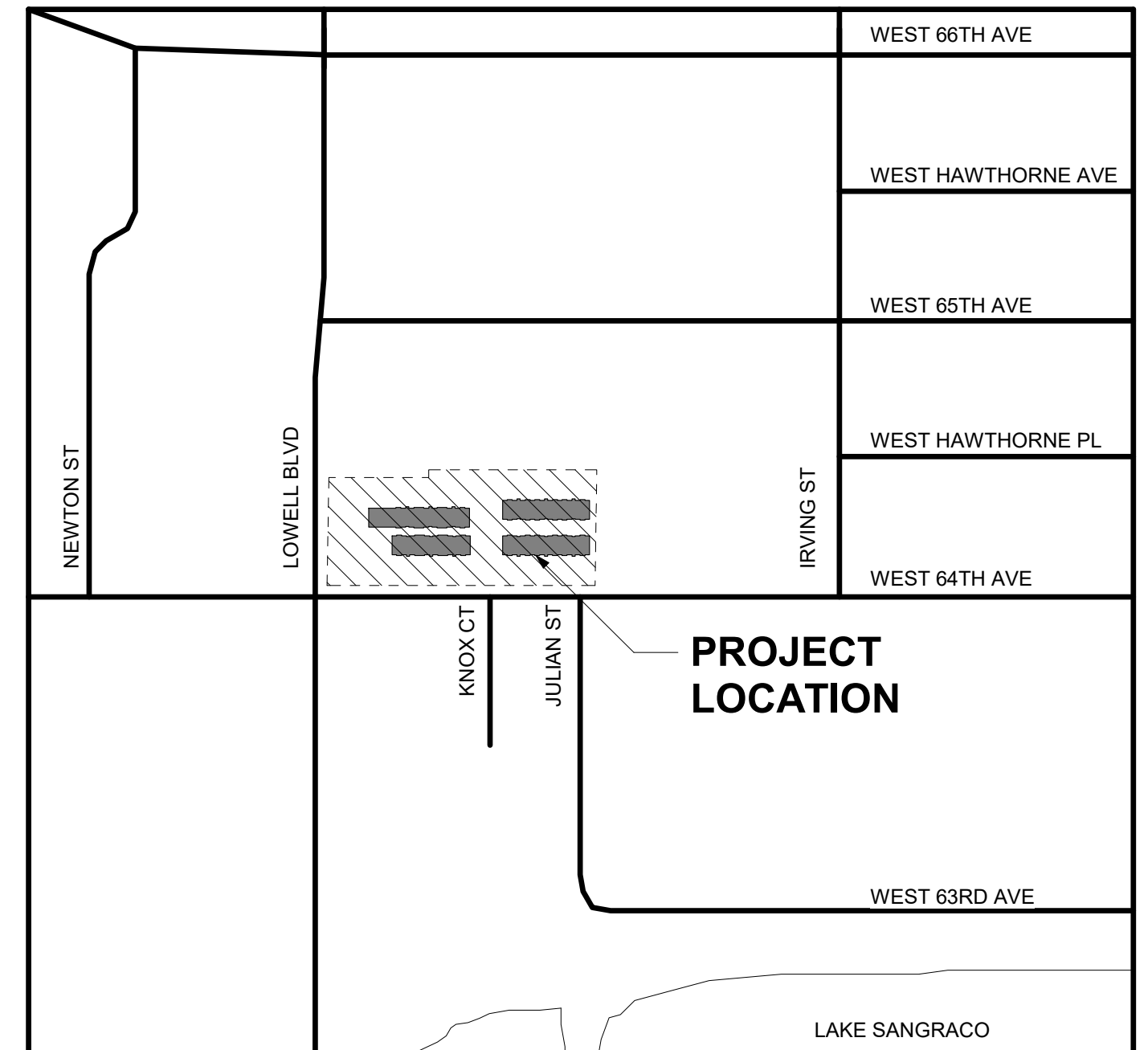
Core Consultants
1950 W Littleton Blvd. Suite 109
Littleton, Colorado 80120
Contact: David Forbes
(303) 703-4444

LANDSCAPE ARCHITECT

PCS Group, Inc.
#3 Independence Plaza B-180
1001 16th Street, Denver CO 80265
Contact: Jim Ivy
(303) 531-4905

ELECTRICAL ENGINEER

Front Range Electrical Engineering
3333 S. Wadsworth Blvd. Suite D210
Lakewood, CO 80227
Contact: Jacob Bennefield
(303) 242-1572



SHEET INDEX

NO.	SHEET NAME
1 OF 12	COVER SHEET
2 OF 12	DEVELOPMENT STANDARDS
3 OF 12	SITE PLAN
4 OF 12	OVERALL LANDSCAPE PLAN & TABULATIONS
5 OF 12	LANDSCAPE PLAN
6 OF 12	LANDSCAPE PLAN & PLANT SCHEDULE
7 OF 12	SITE AND LANDSCAPE DETAILS
8 OF 12	SITE AND LANDSCAPE DETAILS
9 OF 12	SITE AND LANDSCAPE DETAILS
10 OF 12	BUILDINGS 1 & 2 ELEVATIONS
11 OF 12	BUILDING 3 ELEVATIONS
12 OF 12	BUILDING 4 ELEVATIONS

COVER SHEET

SHEET 1 OF 12

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

EXPLANATION OF REQUESTS:

Baker School Holdings LLLP is proposing to construct 4 3-story buildings with 142 apartments (48+-1 bedroom 72+-2 bedroom units, and 22+-3 bedroom units), a community room, fitness center, management/rental office, and 249+ uncovered parking spaces (minimum of 1.7 parking spaces/unit). Development would include extensive landscaping, and an on-site detention pond. Exterior of the buildings would be earth-tone exterior, and the buildings have been placed so that properties to the north are not shadowed as they formerly were when the school's wall was virtually on the north property line. The FDP will provide details on exterior appearance, landscaping, fencing, etc. to ensure this development will be compatible and beneficial to the residents of the area.

Other information in regard to the proposed development are:

- Water and Sewer Services** – Crestview Water and Sanitation District.
- Gas and Electric Utility Services** – Xcel Energy.
- Fire Protection** – Adams County Fire Protection District. The Fire District will approve all fire hydrant locations, and all home construction will follow the Fire and Building Code.
- Drainage/Floodplains** – The property is not within any 100-year floodplain. Previously the school site didn't detain storm any water runoff, but with this development, excess run-off will be detained and released at historic rates to lessen downstream impacts by the creation of small detention pond in the southeast corner of the site.
- Soils-Geologic Conditions** – A preliminary geo-technical study indicates suitability for development, subject to proper engineering controls to mitigate certain concerns, mainly the presence of some expansive soils. Prior to construction, extensive soil/geologic testing will be undertaken to determine road construction standards and home foundation designs.
- Access and Public Transportation** -The property fronts on Lowell Blvd. and W. 64th Avenue, providing good access to major roads and highways in the area. The site is also located within 1 mile of 3 commuter rail stations providing an incentive for less use of the automobile.
- Park/Recreation Facilities** – The Site is also within 1 mile of 3 major open space amenities – Baker Reservoir, Clear Creek Trail, and the future Hyland Hills Park south on Lowell Blvd.
- Ownership and Maintenance of Common Areas** - Responsibility for maintaining and enforcing landscape maintenance requirements including but not limited to snow removal, etc. will be by a management company hired by and under the supervision of ownership, Baker School Holdings LLLP. Management company is subject to change at the discretion of ownership.

In summary, the proposed multi-family development at this location is compatible with and not detrimental to the surrounding properties, the Comprehensive Plan, or to the health, safety, or welfare of the inhabitants of the area, and is consistent with the purposes and requirements of the County's Standards and Regulations. DelWest requests a favorable recommendation from the County Staff and Planning Commission, and approval by the Board of County Commissioners to develop this property as proposed in these applications for Final Development Plan and Preliminary Plat that can help revitalize and redevelop of the area.

GENERAL NOTES

- SITE IS TO BE ZONED PUD.
- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE ADAMS COUNTY FIRE DEPARTMENT
- THIS PLAN IS SUBJECT TO A LANDSCAPE PLAN AS PART OF AND APPROVED IN THIS DOCUMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- THE SITE SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, ALL OTHER TIME THE SITE SHALL BE LANDSCAPED WITHIN FORTY-FIVE DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL, AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS. TREES AND SHRUBS WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/ GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY ADAMS COUNTY.

DEVELOPMENT STANDARDS:

PURPOSE: THESE GUIDELINES PROVIDE A FRAMEWORK FOR THE DEVELOPMENT OF NEW MULTI-FAMILY RESIDENTIAL BUILDINGS LOCATED WITHIN THIS DEVELOPMENT. THESE GUIDELINES ADDRESS ARCHITECTURAL SCALE AND OVERALL CONTEXT OF THE PROPOSED DEVELOPMENT.

USE STANDARDS

- PERMITTED PRINCIPAL RESIDENTIAL USES:
 - MULTI-FAMILY DWELLING
- PERMITTED ACCESSORY USES:
 - PERMITTED WHEN THEY COMPLY WITH THE FOLLOWING CONDITIONS:
 - PERMITTED WHEN IN ASSOCIATION WITH THE PRINCIPAL USE.
 - SUBJECT TO BUILDING PERMIT REVIEW AND APPROVAL.
 - PERMITTED ACCESSORY USES INCLUDE BUT ARE NOT LIMITED TO:
 - RESIDENTIAL USES, ACCESSORY, SUCH AS LEASING OFFICE, COMMUNITY ROOM, COMMUNITY HEALTH CENTER, FITNESS, ETC.

MINIMUM PROPERTY LINE SETBACK AND DIMENSIONAL REQUIREMENTS FOR A PRINCIPAL STRUCTURE:		
	REQUIRED	PROVIDED
FRONT:	50 FT	106' - 10" FT
SIDE (EAST):	15 FT	16' - 5" FT
REAR:	20 FT	76' - 2" FT

MINIMUM SECTION LINE SETBACK AND DIMENSIONAL REQUIREMENTS FOR A PRINCIPAL STRUCTURE:		
	REQUIRED	PROVIDED
FRONT (W. 64th AVE):	100 FT	106' - 10" FT
SIDE (WEST) (LOWELL BLVD):	100 FT	100' - 10" FT

MINIMUM SETBACK AND DIMENSIONAL REQUIREMENTS FOR ACCESSORY STRUCTURE:	
FRONT:	0 FT
SIDE:	0 FT
REAR:	0 FT

NOTE: ACCESSORY STRUCTURES INCLUDE BUT ARE NOT LIMITED TO: SHADE STRUCTURES, SHEDS, CARPORTS, GARAGES, ETC.

MAXIMUM BUILDING HEIGHTS:		
	ALLOWED	PROVIDED
PRINCIPAL STRUCTURE:	48 FT 3 STORIES	41 FT 3 STORIES
ACCESSORY STRUCTURE:	20 FT 1 STORY	VARIES 1 STORY

MINIMUM FLOOR AREA OF DWELLINGS:	
EFFICIENCY UNIT:	450 SF
ONE BEDROOM UNIT:	600 SF
TWO BEDROOM UNIT:	750 SF
THREE BEDROOM UNIT:	900 SF
FOUR BEDROOM UNIT:	1000 SF

LANDSCAPE GUIDELINES

- THE LANDSCAPING SHALL CONFORM TO ADAMS COUNTY STANDARDS IN PLACE AT THE TIME OF DEVELOPMENT APPROVAL, EXCEPT AS NOTED BELOW. NO ARTIFICIAL TREES, SHRUBS OR PLANTS SHALL BE USED. ARTIFICIAL GRASS OR TURF SHALL NOT BE USED.
- PUBLIC RIGHT-OF-WAYS:
 - LANDSCAPING SHALL EXTEND TO THE BACK OF THE PUBLIC SIDEWALK.
 - STREET TREES: STREET TREES SHALL BE LOCATED WITHIN THE PROJECT AREA WHERE SPACE AND CONDITIONS PERMIT BUT SHALL NOT ENCROACH UPON EXISTING AND PLANNED UTILITY LINES OR EASEMENTS.
 - TREES PLANTED ALONG THE R.O.W. SHALL BE SPACED AT A MAXIMUM OF 40 FEET EXCEPT IN CASES WHERE THIS WOULD CONFLICT WITH VIEW CORRIDORS, ENTRY WALKS OR EASEMENTS.
- IRRIGATION: UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS ARE REQUIRED FOR LANDSCAPING WHICH CANNOT SURVIVE ON NATURAL PRECIPITATION, EXCEPT FOR TEMPORARILY SEEDED AREAS AS STATED BELOW. THE USE OF DRIP, TRICKLE, SUBTERRANEAN AND OTHER WATER CONSERVING IRRIGATION METHODS IS ENCOURAGED, AS IS THE USE OF ORGANIC MULCHES AND OTHER WATER CONSERVING DESIGN FEATURES. THE OVERALL IRRIGATION SYSTEM DESIGN SHOULD EMPHASIZE EFFICIENT WATER USE AND CONSERVATION. NATURALIZED SEED OR UNDISTRIBUTED AREAS ARE NOT REQUIRED TO BE IRRIGATED.
- MINIMUM LANDSCAPE SIZES:
 - DECIDUOUS TREES: 2" CALIPER MEASURED 6" ABOVE SOIL LINE.
 - ORNAMENTAL DECIDUOUS TREES: 1.5" CALIPER MEASURED 6" ABOVE SOIL LINE.
 - EVERGREEN TREES: 6 FEET.
 - DECIDUOUS/EVERGREEN SHRUBS: #5 CONTAINER.
 - ORNAMENTAL GRASSES: #1 CONTAINER.
 - PERENNIAL: #1 CONTAINER.
- SUBSTITUTIONS: PLANT SPECIES MAY BE SUBSTITUTED WITH APPROVAL OF THE OWNER OR LANDSCAPE ARCHITECT. HOWEVER CHANGES TO PLANT MATERIAL SIZES AND QUANTITIES REQUIRE COUNTY APPROVAL AND SUBSTITUTED SPECIES SHALL CONFORM TO COUNTY LANDSCAPE REGULATIONS
- OPEN SPACE STANDARDS
 - MINIMUM 25% OF UNOBSTRUCTED OPEN SPACE REQUIRED.
 - UNOBSTRUCTED OPEN SPACE IS DEFINED AS AN AREA UPON WHICH NO STRUCTURE (EXCEPT GAZEBOS, TRELIS, PERGOLAS AND THE LIKE) MAY BE ERECTED OR SURFACE AREA UTILIZED FOR STORAGE OR FOR VEHICULAR MOVEMENT (EXCEPT FOR EMERGENCY ACCESS ON TURNAROUND) OR PARKING. UNOBSTRUCTED OPEN SPACE INCLUDES BUT IS NOT LIMITED TO, LANDSCAPING, HARDSCAPING, PATIOS, BALCONIES, SWIMMING POOLS, SIDEWALKS, DECKING, PLAYGROUNDS, OUTDOOR FIREPLACES, BARBECUES, SPORTS COURTS, FENCES, RETAINING WALLS AND OTHER SUCH ELEMENTS. SUCH STRUCTURES AND FEATURES SHALL NOT BE DEEMED TO VIOLATE PROHIBITION AGAINST STRUCTURES IN UNOBSTRUCTED OPEN SPACE AN THE AREA BY SUCH ITEMS SHALL BE COUNTED TOWARD THE UNOBSTRUCTED OPEN SPACE REQUIREMENT.
- SLOPE DESIGN STANDARDS:
 - SLOPES SHALL NOT EXCEED 3:1 UNLESS APPROVED BY ADAMS COUNTY.
- FENCING STANDARDS:
 - MAXIMUM HEIGHT: EIGHT (8) FEET.
 - MAY BY CONSTRUCTED OF SOLID, WOOD PICKET PRIVACY FENCE, PAINTED METAL, OR OTHER HIGH QUALITY SOLID FENCING MATERIAL.
- RETAINING WALLS:
 - ANY RETAINING WALLS MAY BE CONSTRUCTED OF NATURAL STONE, CONCRETE MASONRY BLOCK, INTERLOCKING MODULAR BLOCKS, OR Poured CONCRETE (WHICH SHALL BE TEXTURED) WITH THE COLOR COMPLIMENTARY TO THE BUILDING ARCHITECTURE.
 - RETAINING WALLS MAY BE FREESTANDING OR INCORPORATED INTO ANY BUILDINGS. WALLS MAY BE TERRACED.
 - RETAINING WALLS SHALL HAVE A MAXIMUM HEIGHT OF TWO (2) FEET, UNLESS ENGINEERED AND APPROVED BY ADAMS COUNTY.
- LIGHTING STANDARDS:
 - ALL EXTERIOR LIGHTING SHALL BE IN COMPLIANCE WITH ADAMS COUNTY STANDARDS.

SITE STATISTICS

ZONE DISTRICT:	PUD	
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL	
DWELLING UNITS:	TOTAL PROVIDED 142 (32 / ACRE)	
GROSS PROJECT AREA:	4.636 ACRES (201,953 SF)	
BUILDING COVERAGE:	MAXIMUM 40%	49,346 SF (11,445 SF FOR BLDGS 1 & 2) (14,973 SF FOR BLDGS 3) (11,483 SF FOR BLDGS 3) (24.4%)
OPEN SPACE:	MINIMUM 30%	70,496 SF (35%)
PARKING LOT:	82,111 SF (40%)	
ACTIVE OPEN SPACE:	MINIMUM 25% OF TOTAL OPEN SPACE	24,655 SF (35% OF TOTAL OPEN SPACE)
LAND AREA PER UNIT:	1,426.7 SF	
OPEN SPACE PER UNIT:	1,079 SF	
PARKING:	REQUIRED	PROVIDED
PARKING SPACE:	234 (1.669 SPACES/UNIT)	249
HANDICAP PARKING:	7	10
	TOTAL PARKING PROVIDED:	249

NOTE: THE SITE STATISTICS TABLE AND THE DEVELOPMENT STANDARDS TABLES ARE ILLUSTRATIVE OF THE DEPICTED DESIGN AND IS NOT AN ENUMERATION OF ABSOLUTE REQUIREMENTS. THE DISPLAYED STATISTICS MAY BE MODIFIED AS PART OF THE FDP AS LONG AS THE MODIFIED DESIGN COMPLIES WITH THE DEVELOPMENT STANDARDS DESCRIBED IN THIS PUD AND RELEVANT COUNTY REQUIREMENTS, INCLUDING AN AMENDMENT.

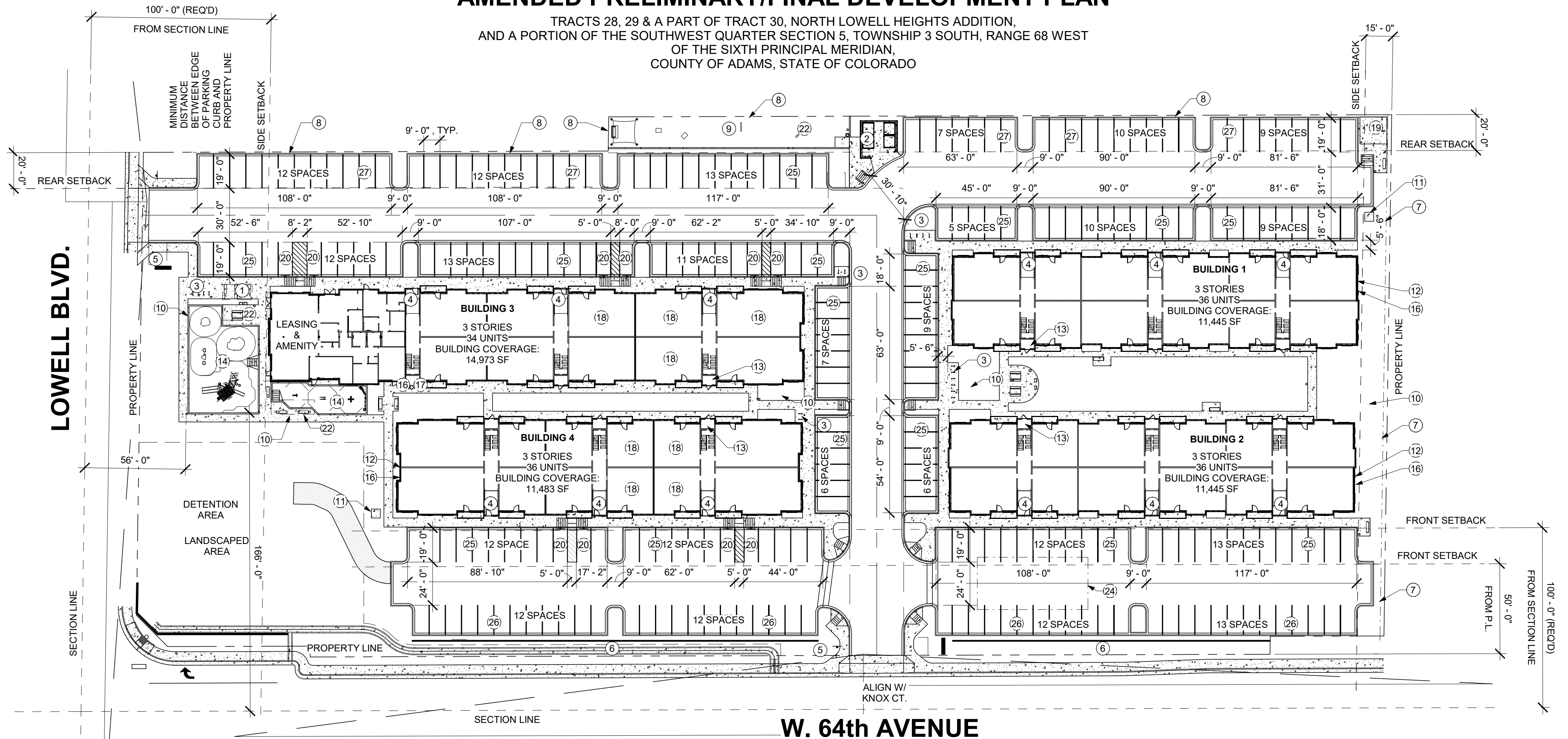
DEVELOPMENT
STANDARDS

SHEET 2 OF 12

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



SITE PLAN
SCALE: 1" = 40'-0"

PARKING STALL DIMENSIONS

9'-0" x 19'-0"
9'-0" x 19'-0" W/ 5' ACCESS AISLE
9'-0" x 19'-0" W/ 8' ACCESS AISLE

TYPICAL
ACCESSIBLE
VAN ACCESSIBLE

PARKING	
TYPE	QTY.
ACCESSIBLE	8
ACCESSIBLE - VAN	2
STANDARD	239
TOTAL: 249	

BICYCLE PARKING SPACES
PROVIDED: MINIMUM OF 34

LEGEND

- PROPERTY LINE
- BUILDING FOOTPRINT
- PROPOSED PAVED SIDEWALK

GENERAL NOTES

- ALL PUBLIC AMENITIES ARE ON AN ACCESSIBLE PATH.
- OF THE 10 HANDICAP PARKING SPACES, 2 ARE VAN ACCESSIBLE.
- SITE LIGHTING IS SHOWN ON PHOTOMETRIC PLAN.
- ALL SIDEWALK GRADES TO MEET ADA REQUIREMENTS. SEE GRADING PLAN.

REFERENCE NOTES

- | | | |
|--|---|--|
| (1) MAILBOX LOCATION WITH POTENTIAL SHADE STRUCTURE | (11) TRANSFORMER LOCATION | (21) PICNIC TABLES WITH POTENTIAL SHADE STRUCTURE |
| (2) DUMPSTER ENCLOSURE, 4 POTENTIAL DUMPSTERS | (12) ELECTRIC METER | (22) SHADE STRUCTURE, POTENTIAL |
| (3) POTENTIAL BICYCLE RACKS | (13) WATER & FIRE ENTRY ROOM | (23) POTENTIAL FREE STANDING PRE MANUFACTURED SHED |
| (4) BUILDING ENTRY | (14) PLAY AREA. SEE LANDSCAPE PLANS FOR ADDITIONAL DETAIL - MATERIALS AND EQUIPMENT PLACEMENT SUBJECT TO CHANGE | (24) POTENTIAL CONSTRUCTION TRAILER LOCATION |
| (5) MONUMENT SIGNAGE - TEXT AND MATERIALS SUBJECT TO CHANGE | (15) NOT USED | (25) WHEEL STOP PARKING CONDITION- SEE DETAIL, SHEET 9 |
| (6) LOW SCREEN WALL | (16) GAS METER | (26) OVERHANG PARKING CONDITION- SEE DETAIL, SHEET 9 |
| (7) 6" CEDAR PRIVACY FENCE | (17) ELECTRIC METER IN CLOSET | (27) FENCE PARKING CONDITION, SHEET 9 |
| (8) 8" CEDAR PRIVACY FENCE | (18) 'TYPE A' ACCESSIBLE UNIT | (28) IMAGINARY PROPERTY LINE FOR CODE PURPOSES. |
| (9) DOG WALKING AREA - MATERIALS AND EQUIPMENT PLACEMENT SUBJECT TO CHANGE | (19) POTENTIAL FREE STANDING STORAGE SHED | |
| (10) 42" FENCE | (20) H.C. PARKING SPACE | |

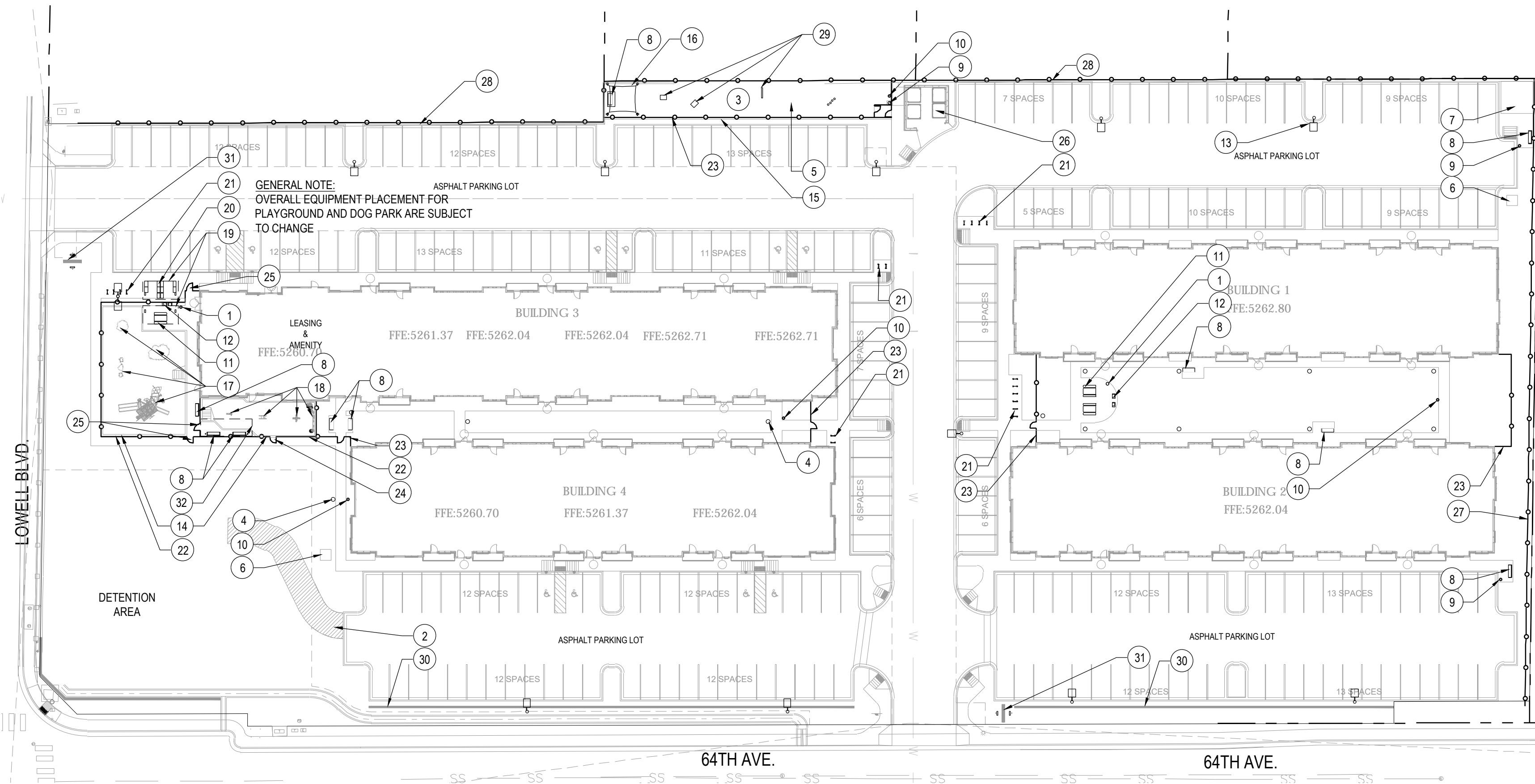
SITE PLAN

SHEET 3 OF 12

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



AMENITY KEY

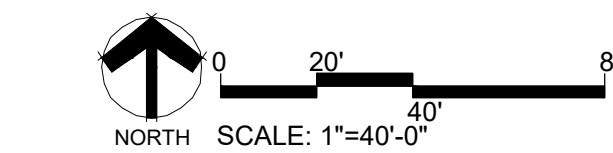
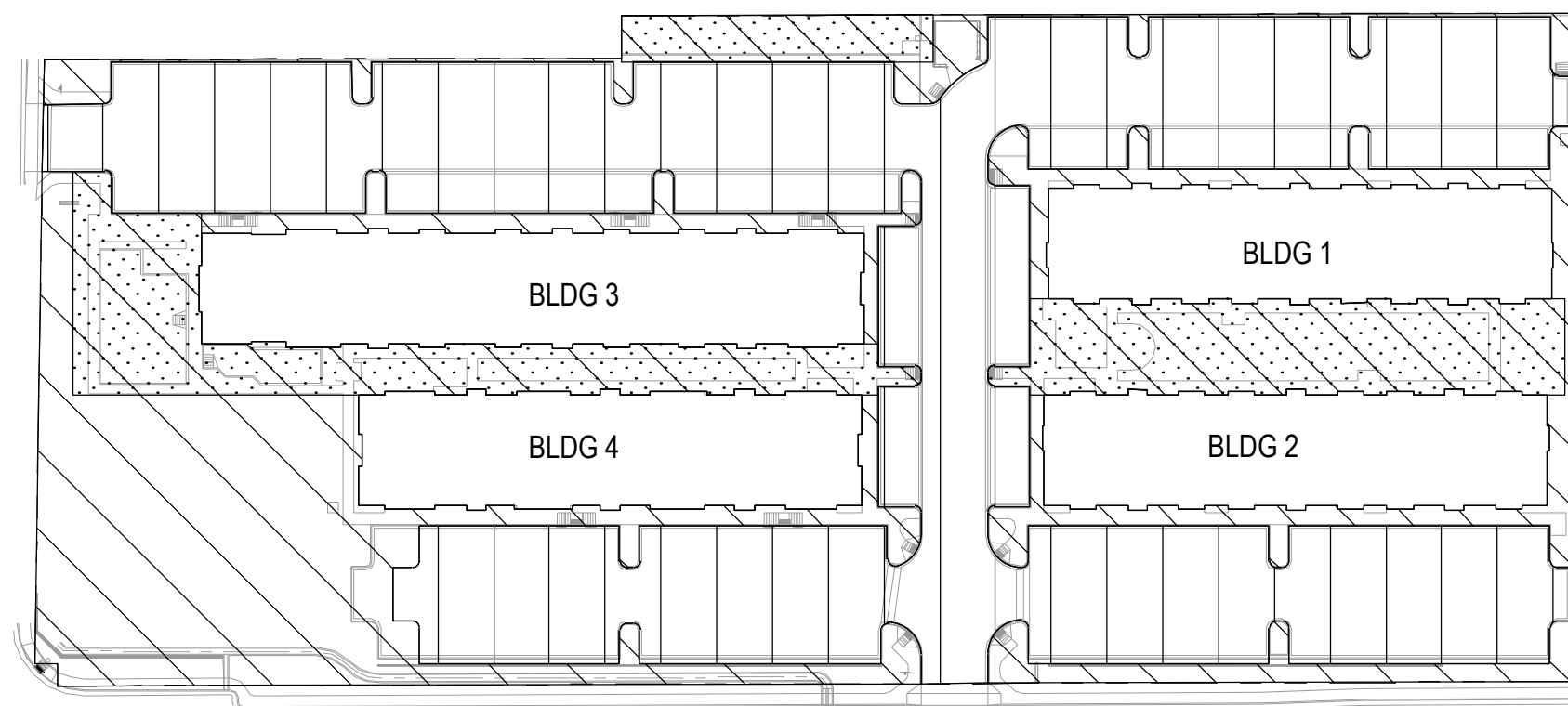
- 1 TRASH RECEPTACLE
- 2 GRAVEL MAINT. PATH
- 3 PET ENCLOSURE
- 4 BOLLARD LIGHT, TYP.
- 5 GRAVEL SURFACING
- 6 ELEC. PAD
- 7 MAINTENANCE SHED
- 8 BENCH
- 9 SMOKERS POLE
- 10 PET STATION
- 11 PICNIC TABLE(S)
- 12 GRILL STATION
- 13 POLE LIGHT, TYP.
- 14 CONCRETE PLAYGROUND CURB
- 15 CONCRETE CURB
- 16 SAIL SHADE STRUCTURE
- 17 PLAYGROUND EQPT. 5-12YRS
- 18 PLAYGROUND EQPT. 3-5YRS
- 19 SHADE STRUCTURE (DOWN LIT LIGHTING) DETAIL 1, SHEET 7
- 20 MAIL KIOSKS-DETAIL 4, SHEET 8
- 21 BIKE RACKS-DETAIL 6, SHEET 7
- 22 5' HT., METAL SLAT FENCE-DETAIL 4, SHEET 7, PLAYGROUND AREAS ONLY
- 23 4' HT., METAL SLAT FENCE-DETAIL 4, SHEET 7
- 24 METAL SLAT FENCE GATE-DETAIL 4, SHEET 7 EMERGENCY EGRESS ONLY
- 25 METAL SLAT FENCE GATE-DETAIL 4, SHEET 7
- 26 TRASH ENCLOSURE-DETAIL 5, SHEET 7
- 27 6' PRIVACY FENCE-DETAIL 2, SHEET 7
- 28 8' PRIVACY FENCE-DETAIL 2, SHEET 7
- 29 DOG PARK KIT-DETAIL 3, SHEET 8
- 30 SCREEN WALL-DETAIL 3, SHEET 7
- 31 ENTRY SIGN- (UP LIT LIGHTING) DETAIL 3, SHEET 7
- 32 LATTICE SHADE STRUCTURE-DETAIL 2, SHEET 8

SITE COVERAGE & OPEN SPACE TABULATIONS

DESCRIPTION	REQUIRED	
	AREA (AC.)	SQ. FT.
TOTAL PROJECT AREA	4.636	201,953
OPEN SPACE REQUIRED (30%)	1.391	60,586
ACTIVE OPEN SPACE REQUIRED (25% OF TOTAL PROJECT OPEN SPACE)	0.348	15,159

DESCRIPTION	PROVIDED			
	AREA (AC.)	SQ. FT.	% OF PROJECT AREA	
BUILDING	1.133	49,346	24%	100%
PARKING LOT	1.865	82,111	41%	
OPEN SPACE	1.618	70,496	35% (30% MIN.)	
ACTIVE OPEN SPACE	0.566	24,655	% OF OPEN SPACE 35% (25% MIN.)	

SITE COVERAGE & OPEN SPACE DIAGRAM



LEGEND

- BUILDING, 1.149 AC.
- PARKING LOT, 1.885 AC.
- OPEN SPACE, 1.617 AC.
- ACTIVE OPEN SPACE, 0.566 AC.

OVERALL LANDSCAPE PLAN & TABULATIONS

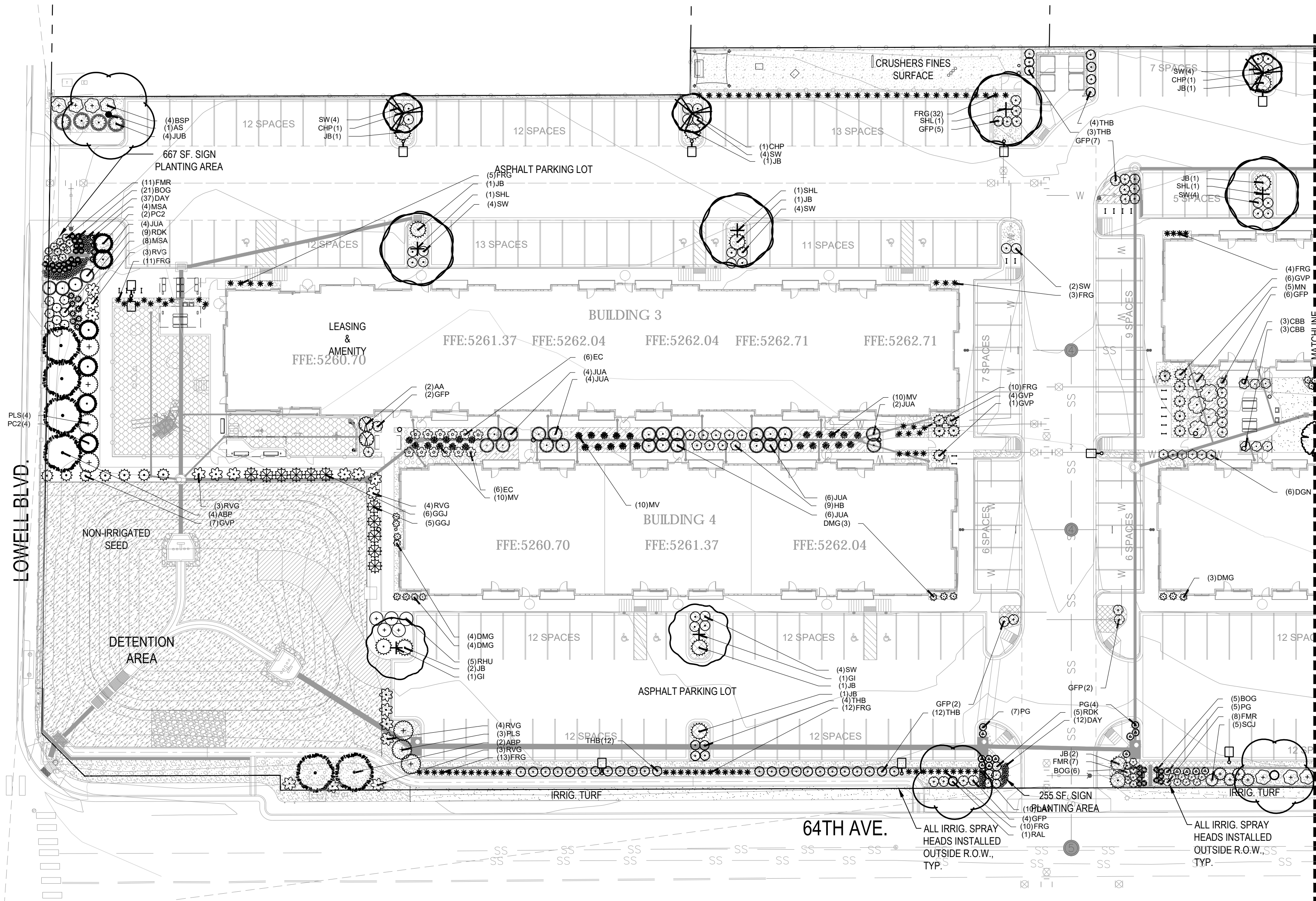
BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

PLANT & GROUND COVER LIST

COMMON NAME	COMMON NAME
DECIDUOUS TREES	COMMON NAME
GI	IMPERIAL HONEYLOCUST
AS	MIYABEI MAPLE
RAL	REDMOND AMERICAN LINDEN
SHL	SKYLINE HONEY LOCUST
EVERGREEN TREES	COMMON NAME
ABP	AUSTRIAN BLACK PINE
BPE	BOSNIAN PINE
PC2	COMPACT UPRIGHT BOSNIAN PINE
PF	VANDERWOLF'S PYRAMID PINE
ORNAMENTAL TREES	COMMON NAME
CCP	CAPITAL GALLERY PEAR
CHP	CHANTICLEER PEAR
ACS	CRIMSON SENTRY MAPLE
DECIDUOUS SHRUBS	COMMON NAME
HB	BELLA ANNA HYDRANGEA
EC	CANADALE GOLD EUONYMUS
BSP	COMMON BLUEBEARD SPIREA
CBB	COMPACT BURNING BUSH
MN	DIABLO NINEBARK
FMR	FIRE MEIDLAND ROSE
GVP	GOLDEN PRIVET
GFP	GOLDFINGER POTENTILLA
RHU	GRO-LOW FRAGRANT SUMAC
NFS	NEON FLASH SPIREA
PLS	PURPLE LEAF SAND CHERRY
RB	RABBITBRUSH
AA	ROSE OF SHARON
RDK	ROSE, DOUBLE KNOCKOUT
THB	TALL HEDGE BUCKTHORN
DGN	YELLOW NINEBARK
SW	'ANTHONY WATERER' SPIREA
AG	'AUTUMN BRILLIANCE' SERVICEBERRY
EVERGREEN SHRUBS	COMMON NAME
JUA	ARCADIA JUNIPER
JUB	BLUE CHIP JUNIPER
JB	BUFFALO JUNIPER
GGJ	GRAY GLEAM JUNIPER
SCJ	SCANDIA JUNIPER
ORNAMENTAL GRASSES	COMMON NAME
MSA	ADAGIO EULALIA GRASS
BOG	BLUE OAT GRASS
DMG	DWARF MAIDEN GRASS
FRG	FEATHER REED GRASS
PG	FOUNTAIN GRASS
PQG	PORCUPINE GRASS
RVG	RAVENNA GRASS
MV	VARIEGATED MAIDEN GRASS
PERENNIALS	COMMON NAME
AC	ANISE HYSSOP
DAY	STELLA DE ORO DAYLILY
VINE/ESPALIER	COMMON NAME
PE	ENGELMAN IVY
MULCH	COMMON NAME
	BLACK GRANITE, 3/4" DIA.
	FIBAR PLAYGROUND MULCH
	PEA GRAVEL
	RIVER COBBLE MULCH, 4"-6" DIA.
	TAN ROCK MULCH, .75"-1.5" DIA.
	WOOD MULCH
SOD/SEED	COMMON NAME
	SEED, NON-IRRIG NATIVE
	SOD 'ENVIROTURF' BY TURF MASTERS

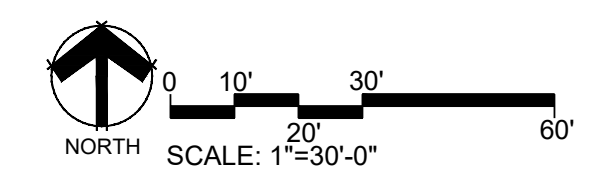
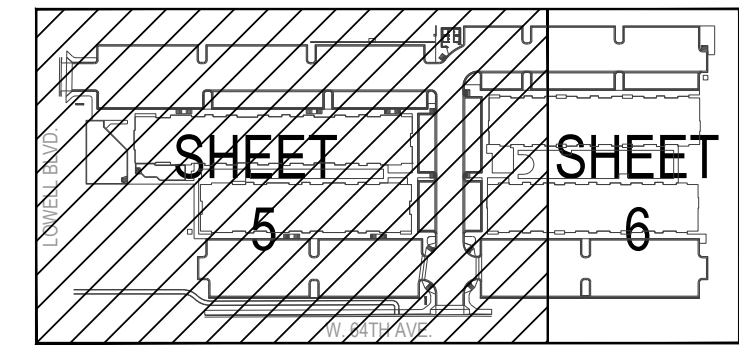


LOWELL BLVD.

64TH AVE.

SHEET 6

LANDSCAPE SHEET KEY



ENLARGED LANDSCAPE PLAN

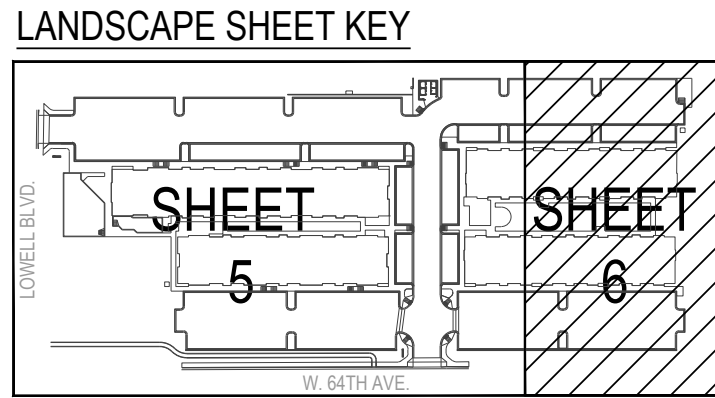
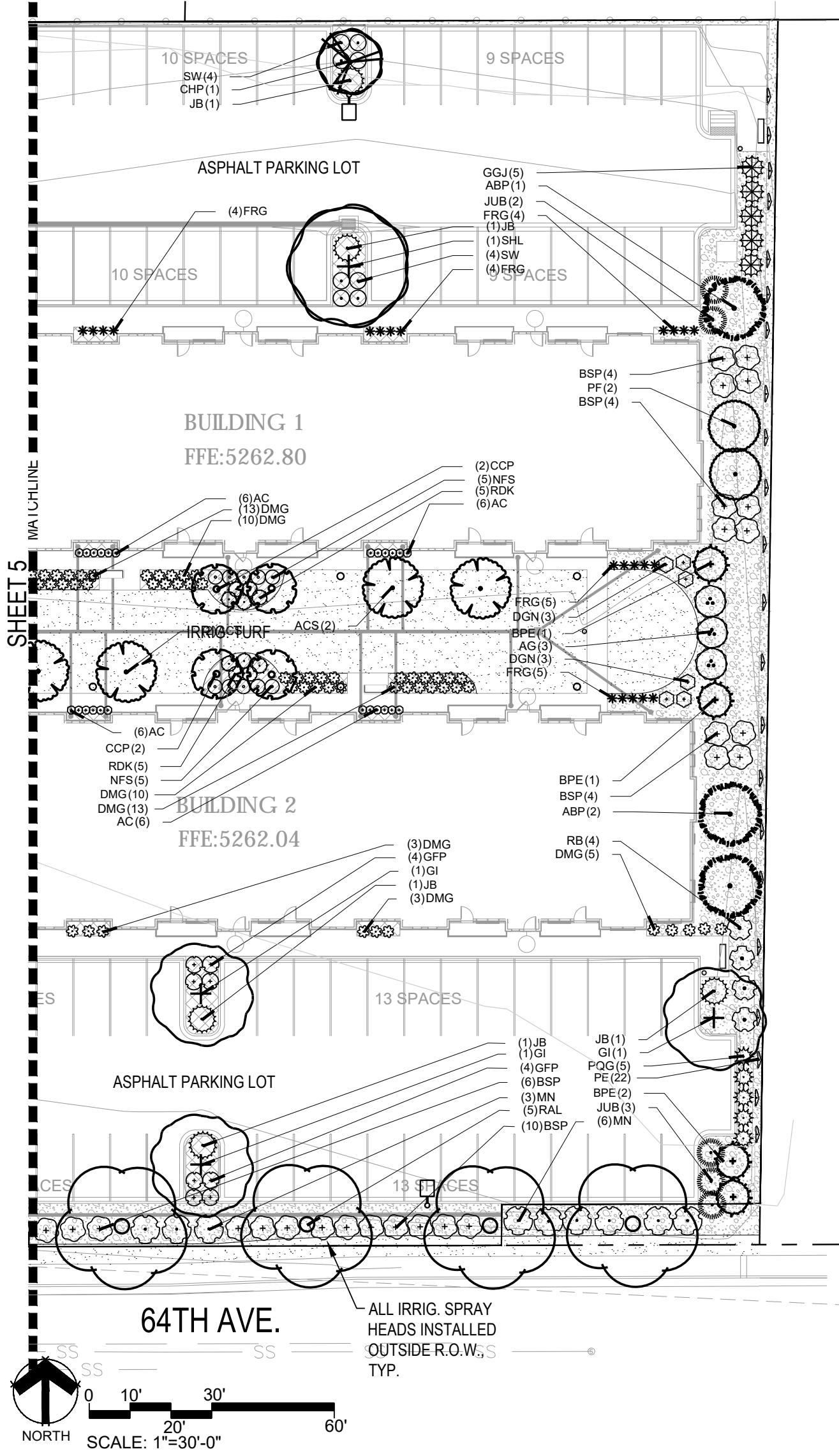
SHEET 5 OF 12

BAKER SCHOOL APARTMENTS AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

PLANT & GROUNDCOVER SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD
GI	5	IMPERIAL HONEYLOCUST / GLEDITSIA TRIACANTHOS 'IMPERIAL'	B & B	2" CAL	35' X 25'
AS	1	MIYABEI MAPLE / ACER MIYABEI 'STATE STREET'	B & B	2" CAL	40' X 40'
RAL	6	REDMOND AMERICAN LINDEN / TILIA AMERICANA 'REDMOND'	B & B	2" CAL	50' X 30'
SHL	5	SKYLINE HONEY LOCUST / GLEDITSIA TRIACANTHOS 'SKYLINE'	B & B	2" CAL	40' X 35'
EVERGREEN TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD
ABP	9	AUSTRIAN BLACK PINE / PINUS NIGRA	B & B	6" HT	50' X 20'
BPE	4	BOSNIAN PINE / PINUS HELDREICHII	B & B	6" HT	40' X 10'
PC2	6	COMPACT UPRIGHT BOSNIAN PINE / PINUS LEUCODERMIS 'COMPACT GEM'	B & B	6" HT	15' X 8'
PF	2	VANDERWOLF'S PYRAMID PINE / PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	B & B	6" HT	25' X 15'
ORNAMENTAL TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL / SIZE	HT X SPD
CCP	4	CAPITAL CALLERY PEAR / PYRUS CALLERYANA 'CAPITAL'	B & B	1.5" CAL	30' X 10'
CHP	4	CHANTICLEER PEAR / PYRUS CALLERYANA 'CHANTICLEER'	B & B	1.5" CAL	35' X 16'
ACS	4	CRIMSON SENTRY MAPLE / ACER PLATANOIDES 'CRIMSON SENTRY'	B & B	1.5" CAL	25' X 15'
DECIDUOUS SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE
HB	9	BELLA ANNA HYDRANGEA / HYDRANGEA ARBORESCENS 'BELLA ANNA'	5 GAL	3' X 4'	MODERATE
EC	12	CANADALE GOLD EUONYMUS / EUONYMUS FORTUNEI 'CANADALE GOLD'	5 GAL	3' X 4'	MODERATE
BSP	32	COMMON BLUEBEARD SPIREA / CARYOPTERIS INCANA	5 GAL	4' X 5'	LOW
CBB	6	COMPACT BURNING BUSH / EUONYMUS ALATUS 'COMPACTUS'	5 GAL	4' X 4'	MODERATE
MN	14	DIABLO NINEBARK / PHYSOCARPUS OPULIFOLIUS 'DIABLO'	5 GAL	7' X 7'	LOW
FMR	26	FIRE MEIDLAND ROSE / ROSA MEIDLAND SERIES 'FIRE'	5 GAL	2' X 4'	LOW
GVP	18	GOLDEN PRIVET / LIGUSTRUM VICARYI	5 GAL	5' X 4'	MODERATE
GFP	36	GOLDFINGER POTENTILLA / POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL	3' X 4'	LOW
RHU	5	GRO-LOW FRAGRANT SUMAC / RHUS AROMATICA 'GRO-LOW'	5 GAL	2' X 8'	LOW-MOD
NFS	10	NEON FLASH SPIREA / SPIRAEA X BUMALDA 'NEON FLASH'	5 GAL	3' X 4'	LOW
PLS	7	PURPLE LEAF SAND CHERRY / PRUNUS X CISTENA	5 GAL	8' X 8'	LOW
RB	4	RABBITBRUSH / CHRYSOTHAMNUS NAUSEOSUS	5 GAL	4' X 4'	LOW
AA	2	ROSE OF SHARON / ALTHAEA SYRIACUS 'APHRODITE'	5 GAL	10' X 6'	LOW
RDK	24	ROSE, DOUBLE KNOCKOUT / ROSA X 'DOUBLE KNOCKOUT'	5 GAL	3' X 4'	LOW
THB	35	TALL HEDGE BUCKTHORN / RHAMNUS FRANGULA 'COLUMNARIS'	5 GAL	4' X 12'	LOW
DGN	12	YELLOW NINEBARK / PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'	5 GAL	4' X 4'	LOW-MOD
SW	38	'ANTHONY WATERER' SPIREA / SPIRAEA JAPONICA 'ANTHONY WATERER'	5 GAL	3' X 4'	LOW-MOD
AG	3	'AUTUMN BRILLIANCE' SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	5 GAL	20' X 12'	LOW
EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE
JUA	26	ARCADIA JUNIPER / JUNIPERUS SABINA 'ARCADIA'	5 GAL	2' X 6'	LOW
JUB	9	BLUE CHIP JUNIPER / JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	8' X 7'	LOW
JB	17	BUFFALO JUNIPER / JUNIPERUS SABINA 'BUFFALO'	5 GAL	1' X 8'	LOW
GGJ	16	GRAY GLEAM JUNIPER / JUNIPERUS SCOPULORUM 'GRAY GLEAM'	15 GAL	6'-8' HT	LOW
SCJ	5	SCANDIA JUNIPER / JUNIPERUS SABINA 'SCANDIA'	5 GAL	2' X 6'	LOW
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE
MSA	12	ADAGIO EULALIA GRASS / MISCANTHUS SINENSIS 'ADAGIO'	1 GAL	5' X 3'	MODERATE
BOG	32	BLUE OAT GRASS / HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	1 GAL	2' X 2.5'	LOW
DMG	71	DWARF MAIDEN GRASS / MISCANTHUS SINENSIS 'YAKUSHIMA'	1 GAL	4' X 3'	MODERATE
FRG	122	FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL	5' X 30"	LOW-MOD
PG	16	FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES	1 GAL	2.5' X 3'	LOW
PQG	5	PORCUPINE GRASS / MISCANTHUS SINENSIS 'STRICTUS'	1 GAL	6' X 5'	LOW-MOD
RVG	18	RAVENNA GRASS / SACCHARUM RAVENNAE	1 GAL	10' X 5'	MODERATE
MV	30	VARIEGATED MAIDEN GRASS / MISCANTHUS SINENSIS 'VARIEGATUS'	1 GAL	4' X 3'	MODERATE
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE
AC	24	ANISE HYSSOP / AGASTACHE X 'CORANADO RED'	1 GAL	2.5' X 3'	LOW
DAY	59	STELLA DE ORO DAYLILY / HEMEROCALLIS X 'STELLA DE ORO'	1 GAL	1.5' X 1'	MODERATE
VINE/ESPALEIR	QTY	COMMON NAME / BOTANICAL NAME	CONT	HT X SPD	IRR. ZONE
PE	22	ENGELMAN IVY / PARTHENOISSUS QUINQUEFOLIA 'ENGELMANNII'	1 GAL	VINE	MODERATE
MULCH	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	1,971 SF	BLACK GRANITE, 3/4" DIA. / BLACK GRANITE, 3/4" DIA.	MULCH		
	2,781 SF	FIBAR PLAYGROUND MULCH / FIBAR PLAYGROUND MULCH	MULCH		
	2,273 SF	PEA GRAVEL / 5/8" PEA GRAVEL	MULCH		
	1,887 SF	RIVER COBBLE MULCH, 4"-6" DIA. / RIVER COBBLE MULCH, 4"-6" DIA.	MULCH		
	13,286 SF	TAN ROCK MULCH, .75"-1.5" DIA. / TAN ROCK MULCH, .75"-1.5" DIA.	MULCH		
	2,836 SF	WOOD MULCH / WOOD MULCH	MULCH		
SOD/SEED	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	12,273 SF	SEED, NON-IRRIG NATIVE / SEED, NON-IRRIG NATIVE	SEED		
	6,975 SF	SOD 'ENVIROTURF' BY TURF MASTERS / SOD	SOD		



LANDSCAPE PLAN &
PLANT SCHEDULE

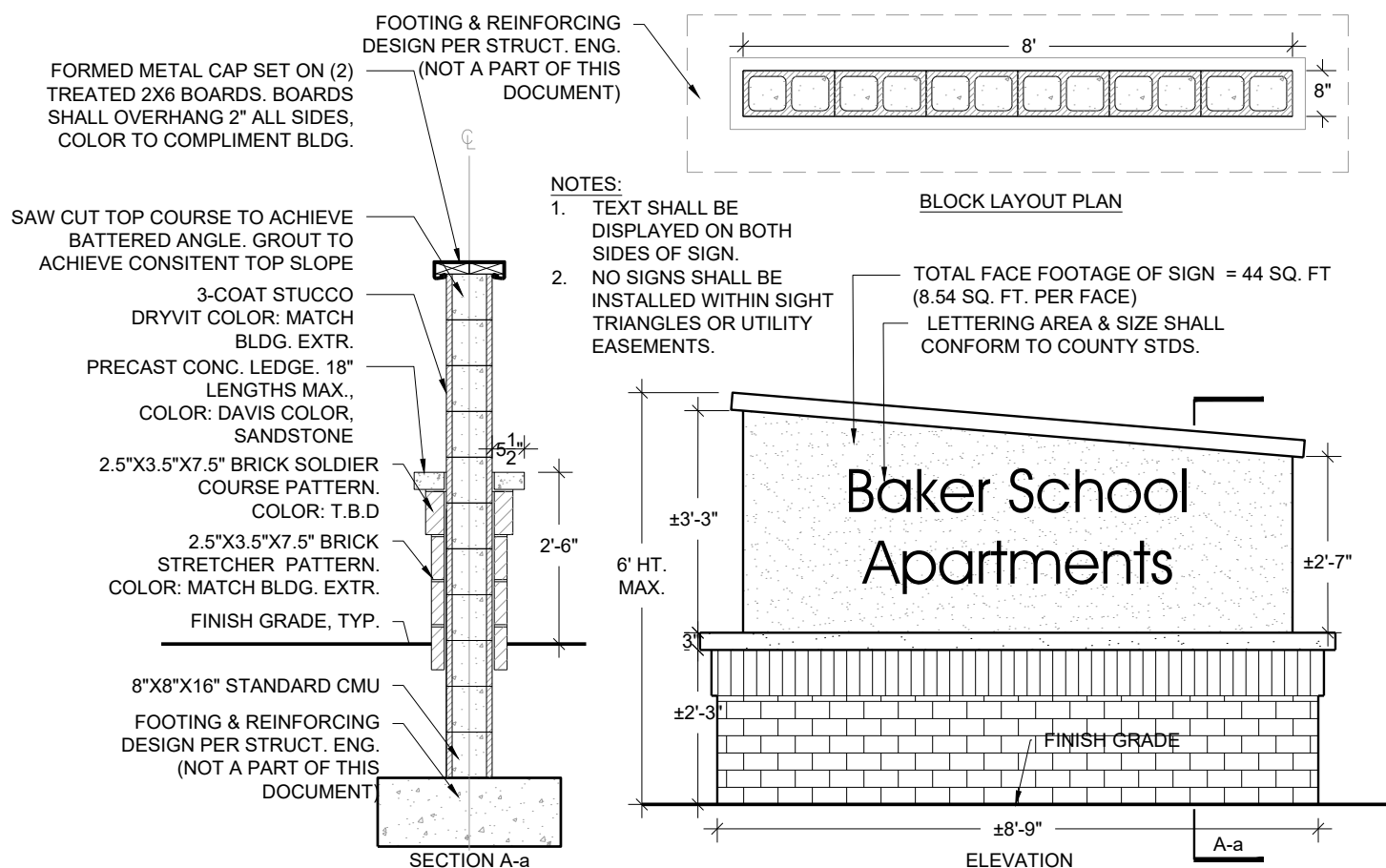
SHEET 6 OF 12

BAKER SCHOOL APARTMENTS

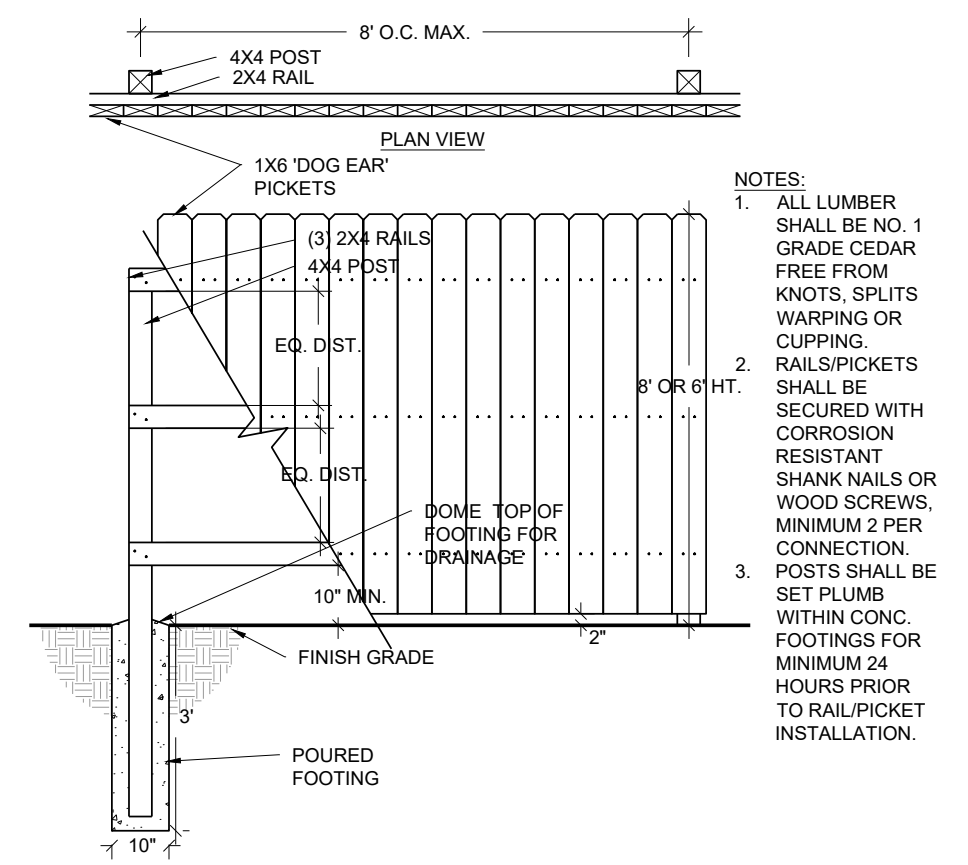
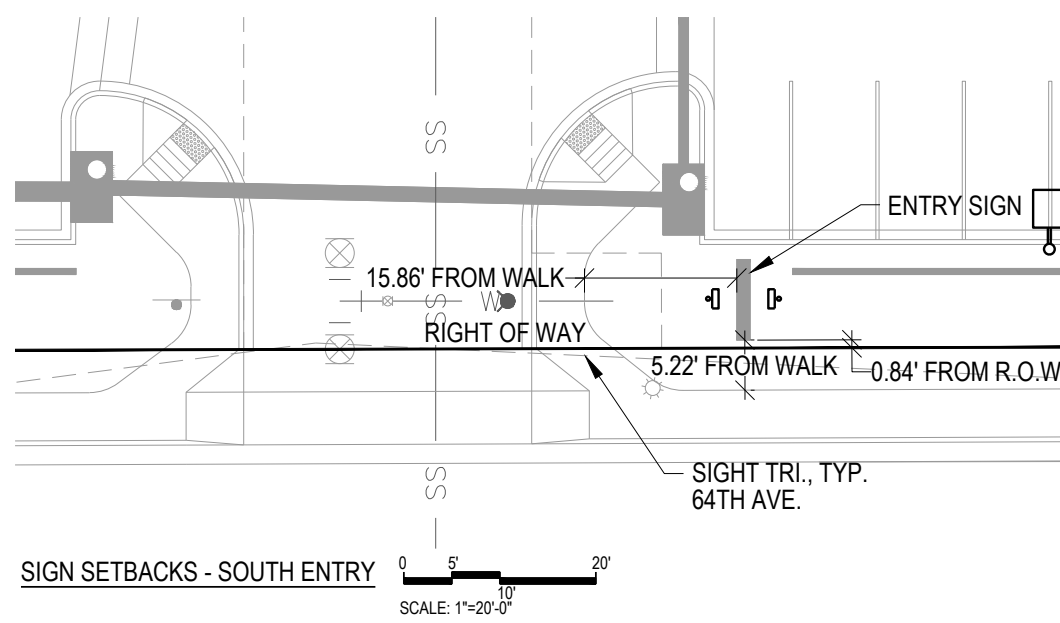
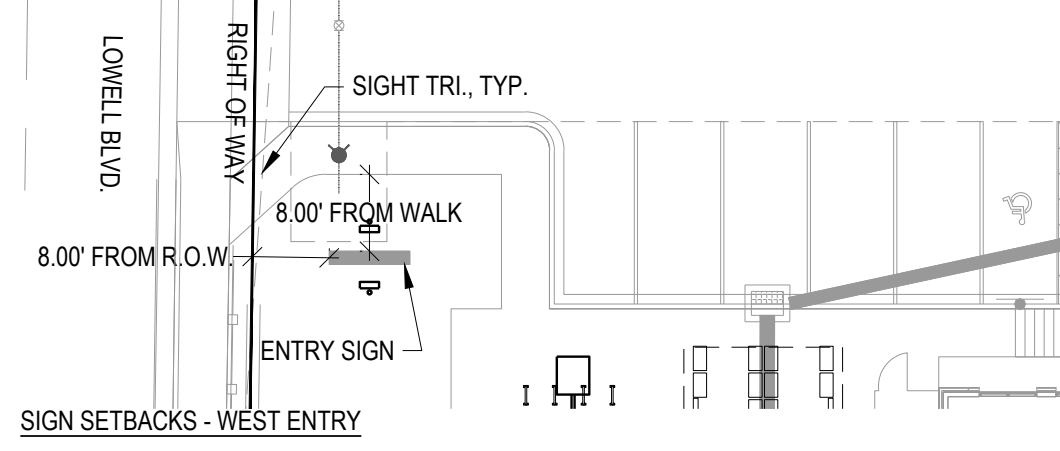
AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

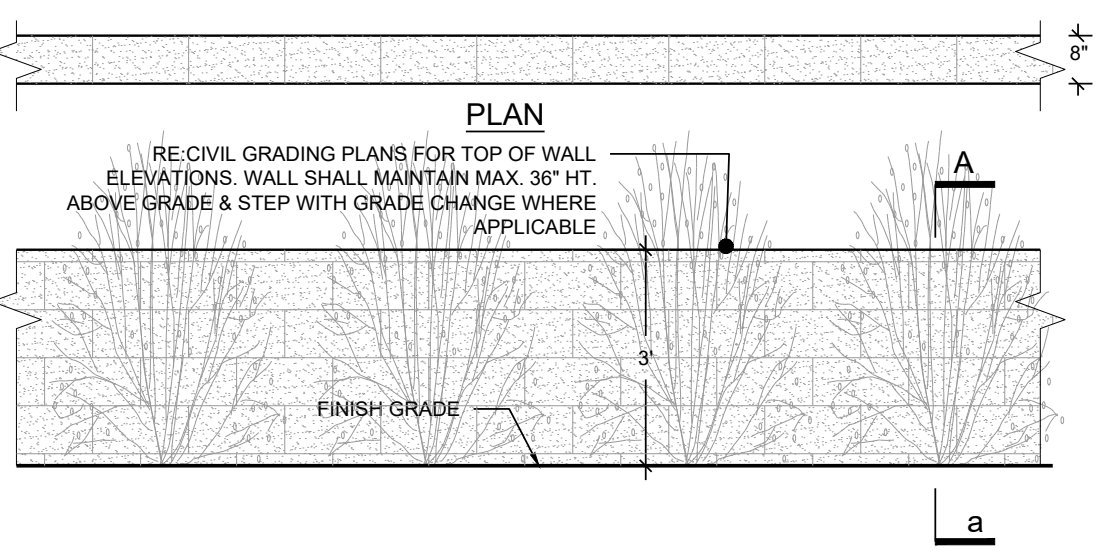
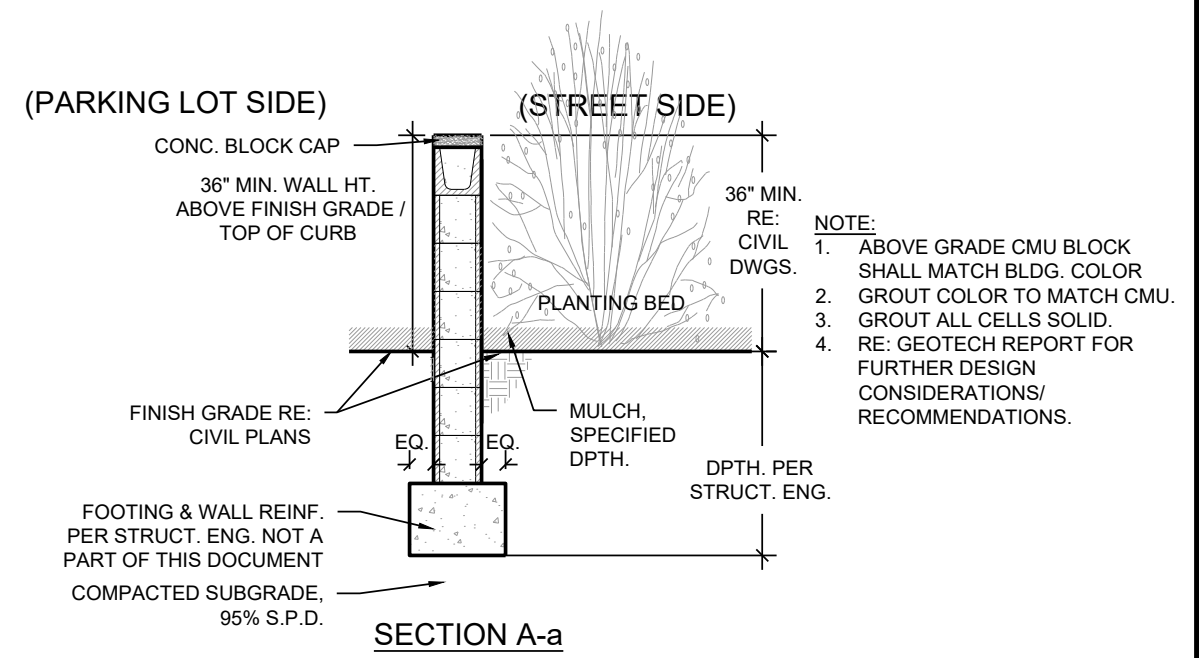
GENERAL NOTE:
MONUMENT SIGN LANGUAGE, TEXT & MATERIALS ARE
SUBJECT TO CHANGE.



1 ENTRY SIGN
NOT TO SCALE



2 PRIVACY FENCE
FRONT ELEVATION
NOT TO SCALE

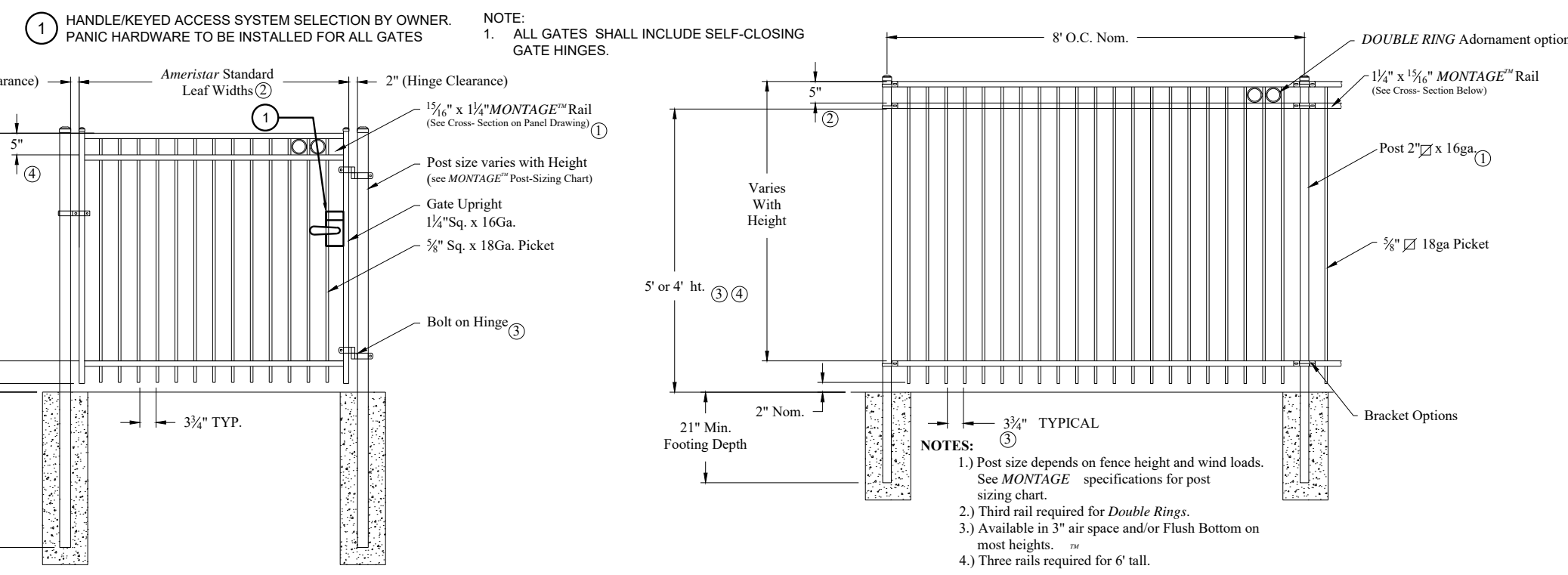


3 SCREEN WALL
FRONT ELEVATION
NOT TO SCALE

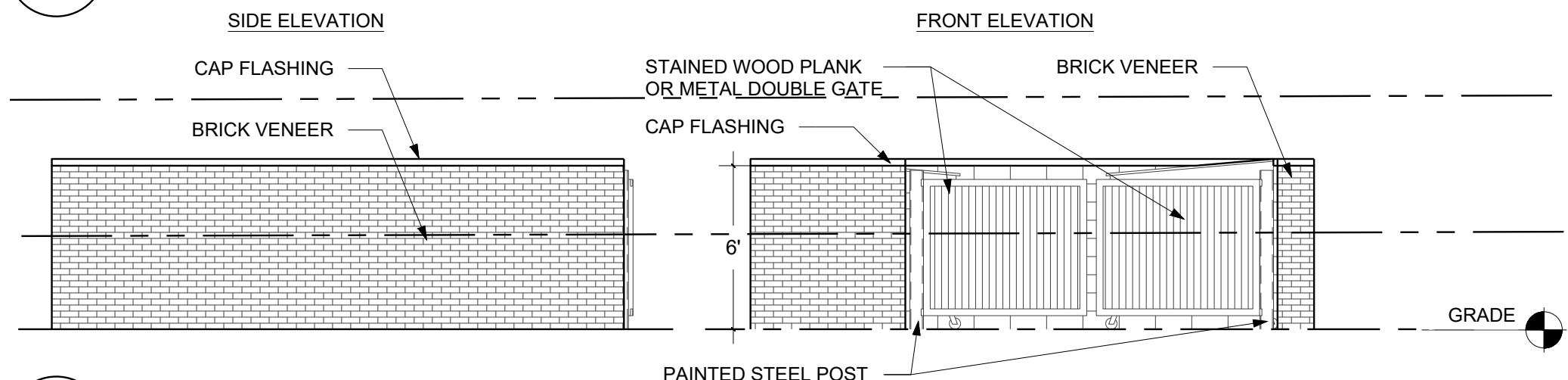
DESIGN IS TYPICAL.
SPECIFIED EQUIPMENT AND MATERIALS MAY BE SUBJECT TO CHANGE.

SITE & LANDSCAPE DETAILS

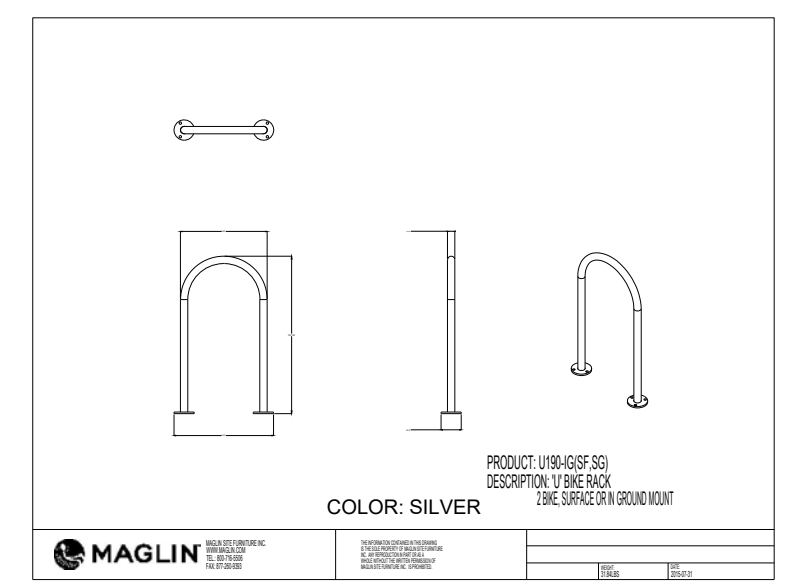
SHEET 7 OF 12



4 METAL SLAT FENCE
NOT TO SCALE



5 TRASH ENCLOSURE
NOT TO SCALE

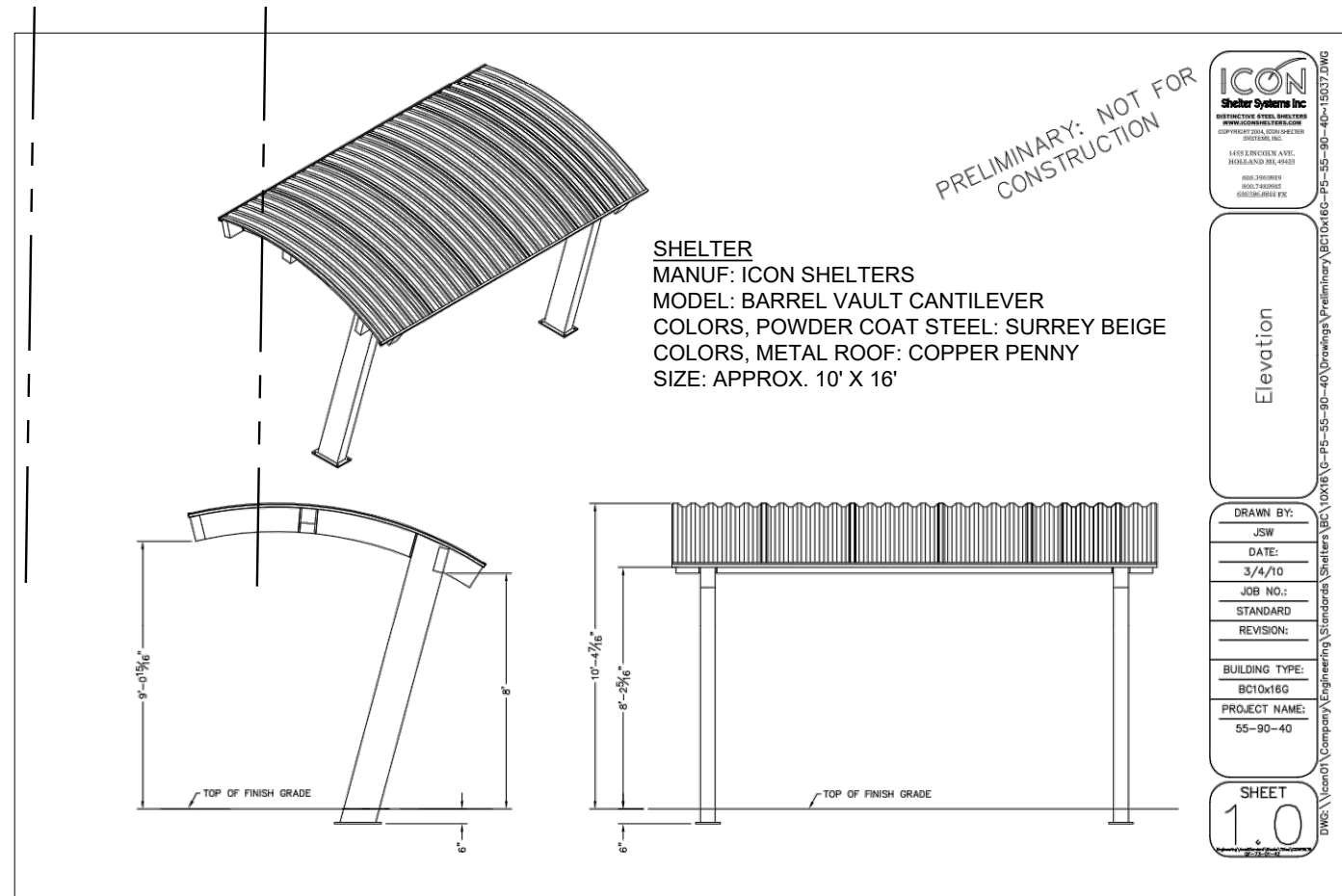


6 BIKE RACK
FRONT ELEVATION
NOT TO SCALE

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



1 SHADE STRUCTURE

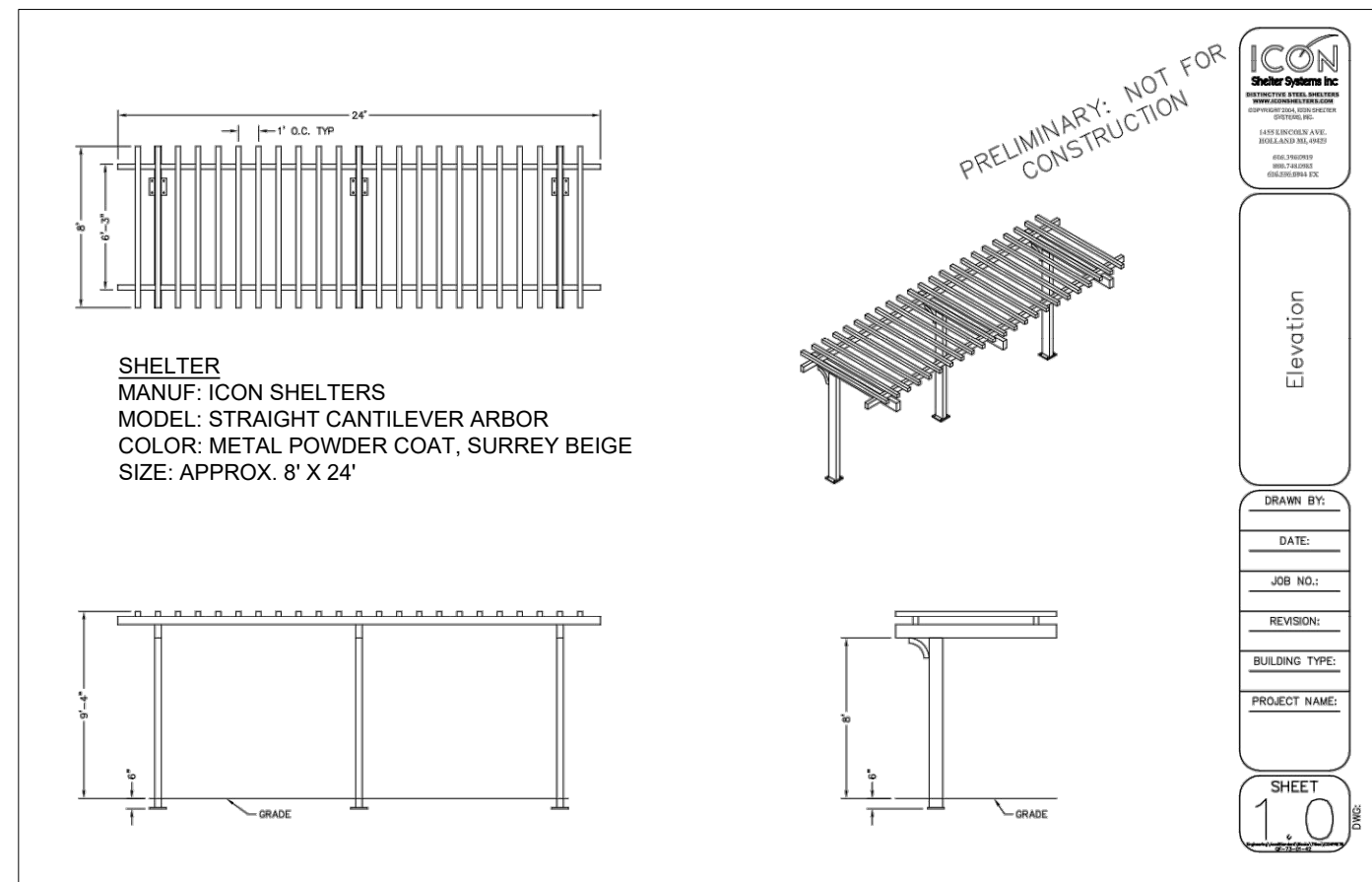
LOCATIONS: PLAYGROUND, MAIL KIOSKS NOT TO SCALE

3 DOG PARK KIT

NOT TO SCALE

- INTERMEDIATE DOG PARK KIT
COMPONENTS:
- ROVER JUMP OVER
 - STEPPING PAWS
 - KING OF THE HILL
 - PAWS TABLE
 - DOGGIE CRAWL
 - HOOP JUMP
- SUPPLIER:
THEPARKCATALOG.COM

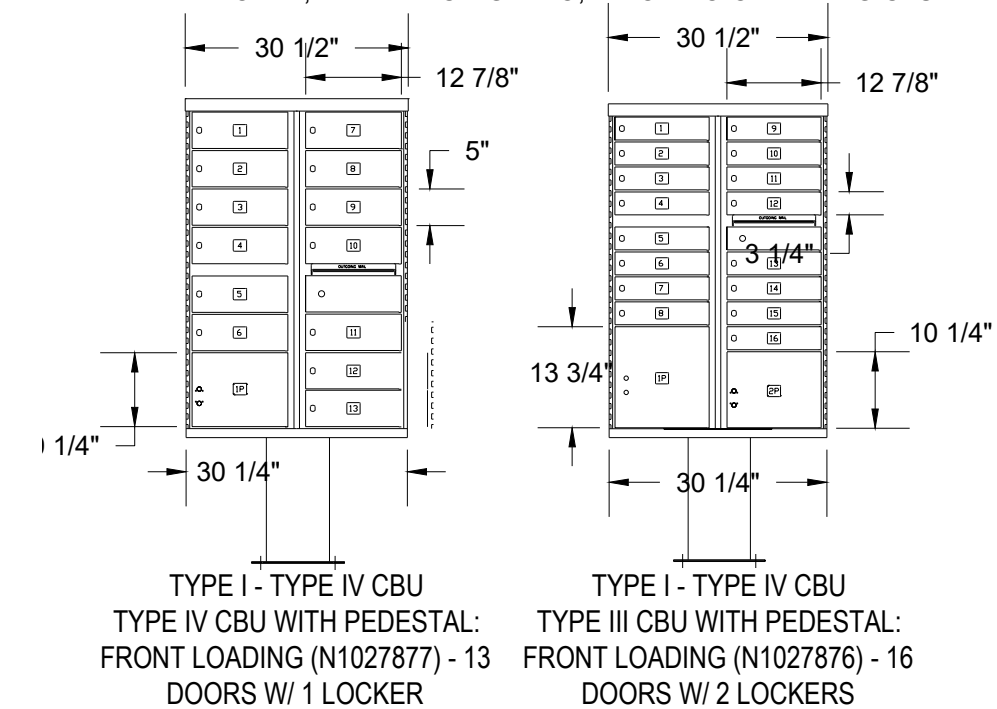
GENERAL NOTE:
OVERALL EQUIPMENT
PLACEMENT FOR PLAYGROUND
AND DOG PARK ARE SUBJECT
TO CHANGE



2 LATTICE SHADE STRUCTURE

LOCATION: TOT LOT NOT TO SCALE

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH SPECIFICATIONS BY FACTORY AUTHORIZED INSTALLERS.
 2. CONTRACTOR TO VERIFY CONCRETE PAD DIMENSION & CONSTRUCTION SPECIFICATIONS WITH USPS BEFORE CONSTRUCTING
 3. CONTRACTOR TO MAKE SUBMITTALS FOR MAILBOX CLUSTER UNITS FOR REVIEW & APPROVAL, WITH PRICING INFO, PRIOR TO ORDERING CLUSTERBOXES.



DESIGN IS TYPICAL.
SPECIFIED EQUIPMENT AND
MATERIALS MAY BE SUBJECT
TO CHANGE.

4 MAIL KIOSK

TYPICAL UNITS SHOWN NOT TO SCALE

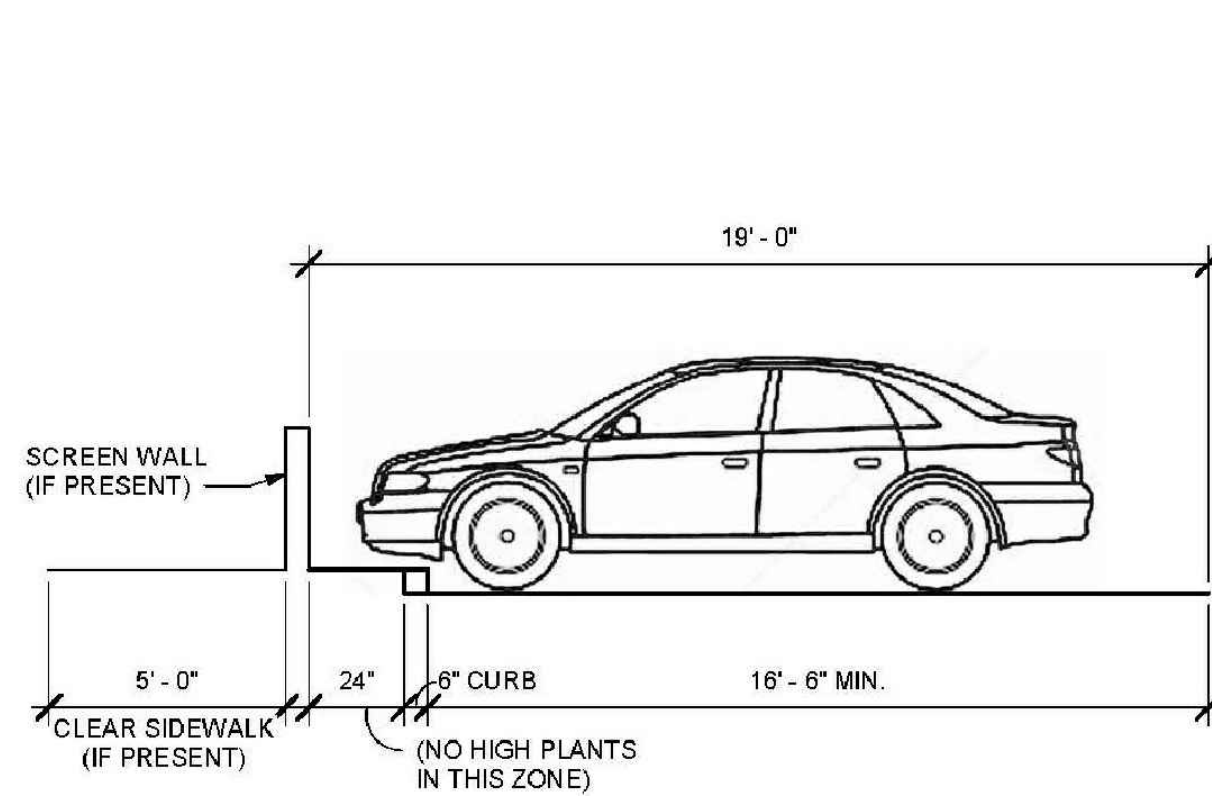
SITE & LANDSCAPE
DETAILS

SHEET 8 OF 12

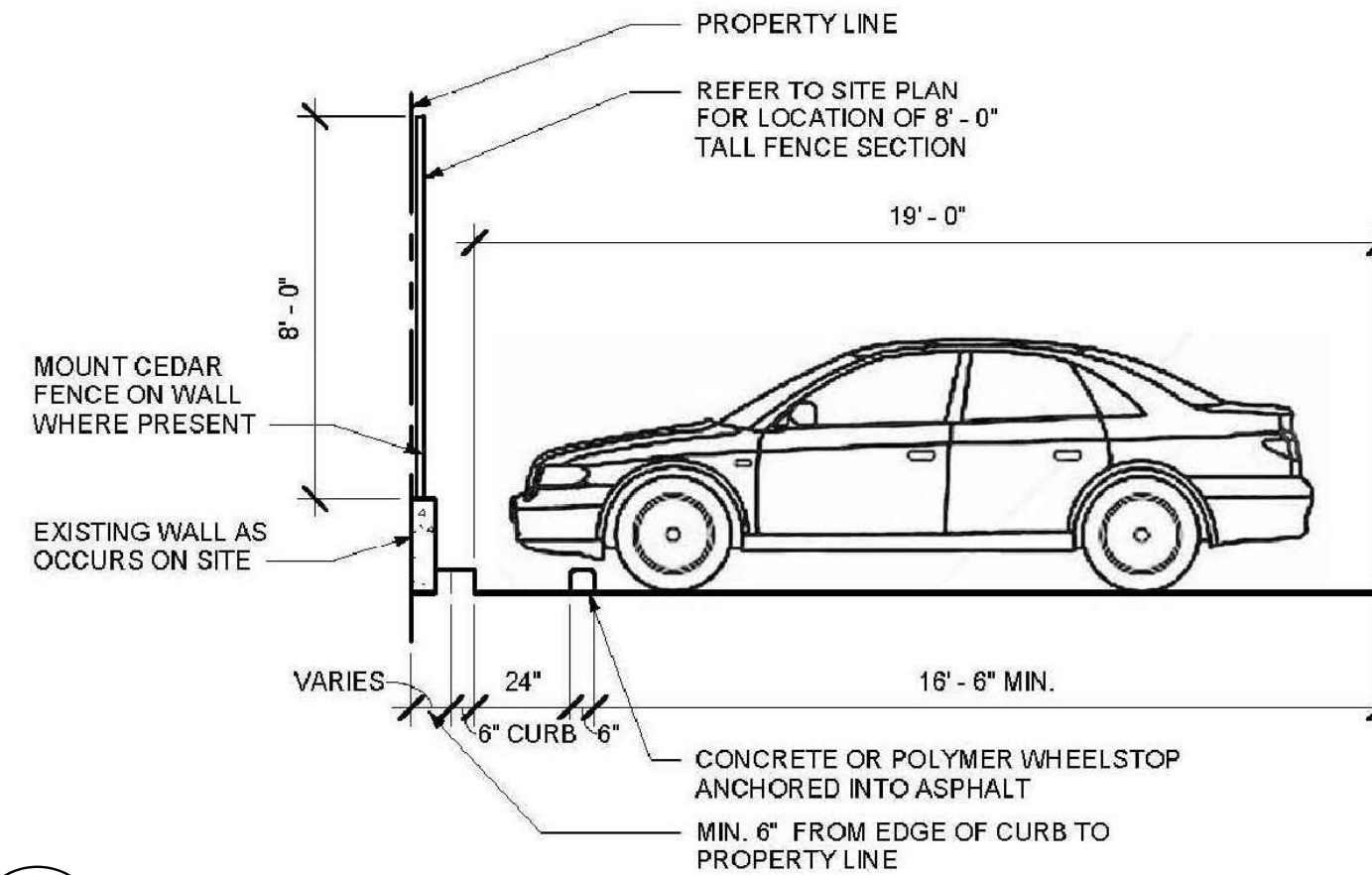
BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

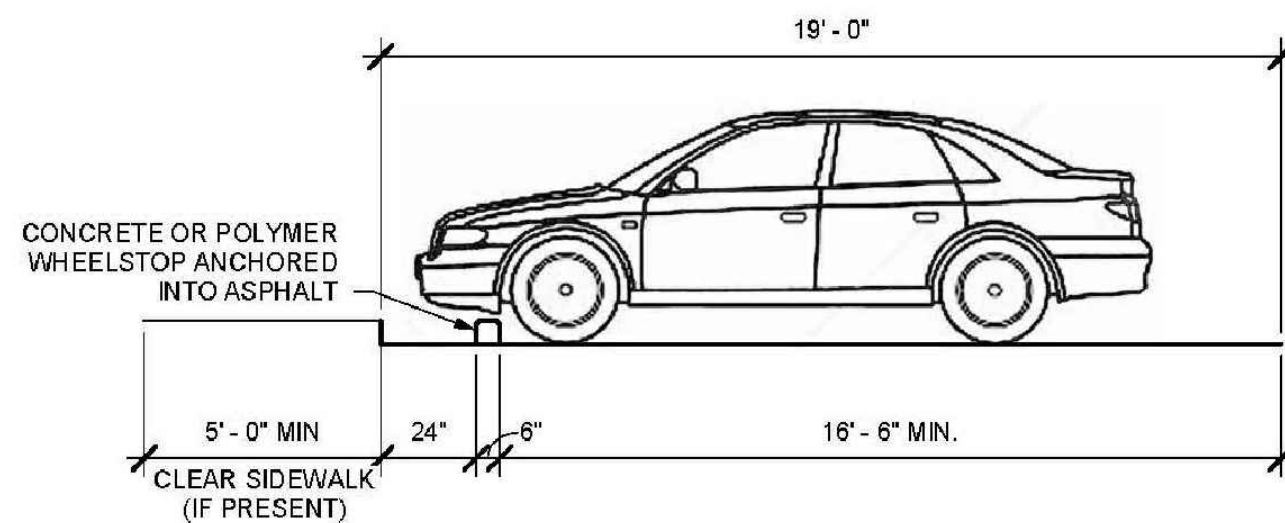
TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



○ OVERHANG PARKING CONDITION
SCALE: 1/4"=1'-0"



○ FENCE PARKING CONDITION
SCALE: 1/4"=1'-0"



○ WHEEL STOP PARKING CONDITION
SCALE: 1/4"=1'-0"

DESIGN IS TYPICAL.
SPECIFIED EQUIPMENT AND
MATERIALS MAY BE SUBJECT
TO CHANGE.

SITE & LANDSCAPE
DETAILS

SHEET 9 OF 12

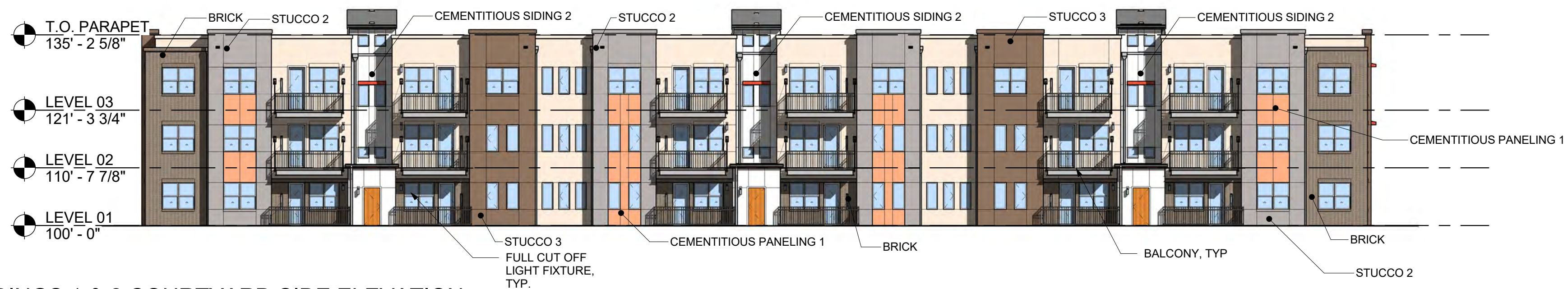
BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

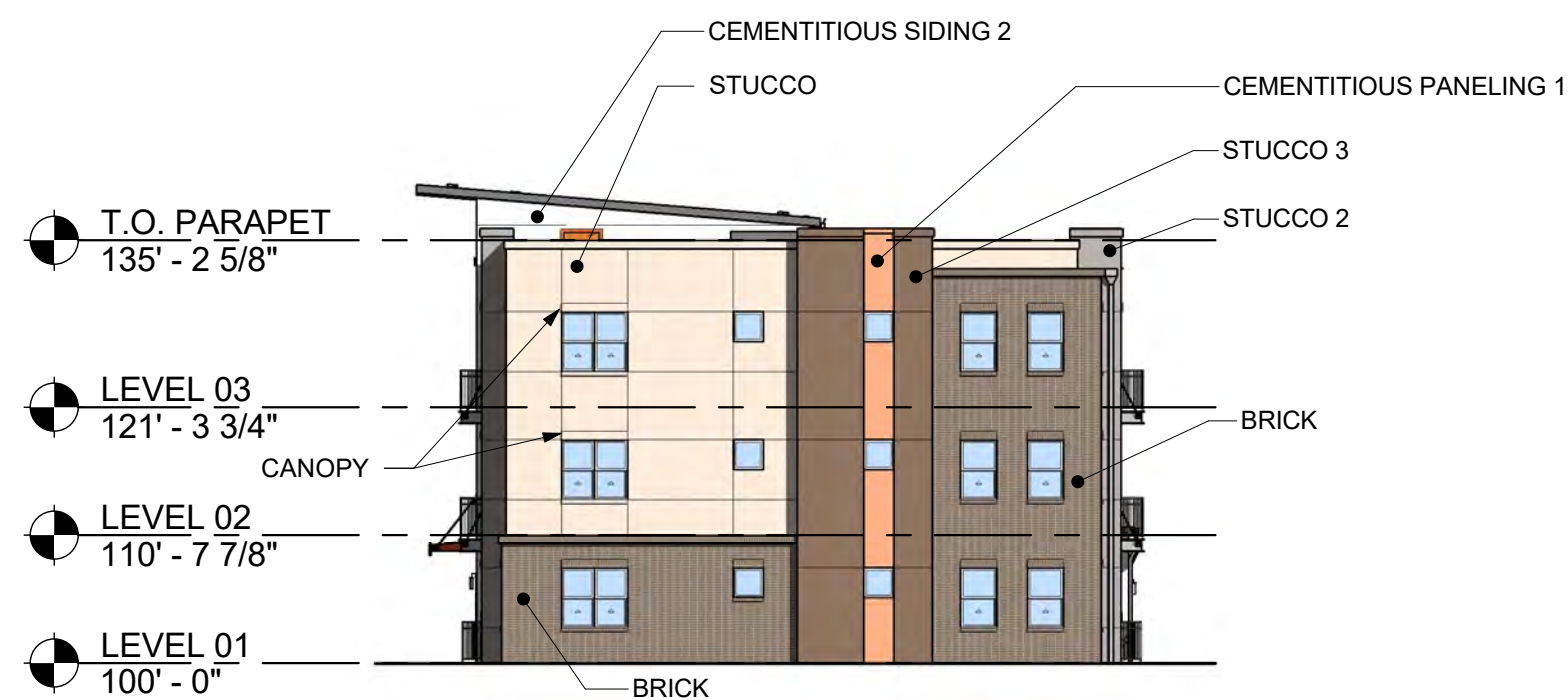
TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



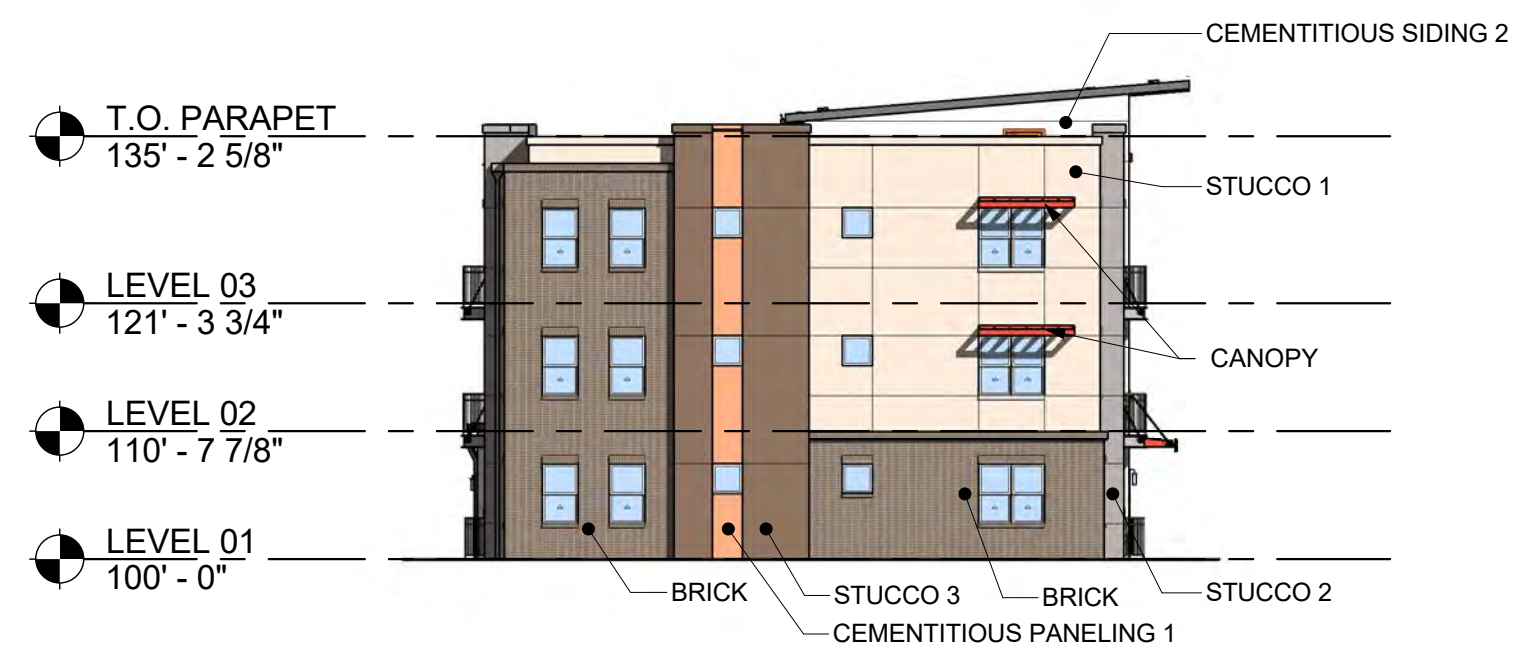
1 BUILDINGS 1 & 2 PARKING SIDE ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDINGS 1 & 2 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND:	
	STUCCO 1
	STUCCO 2
	STUCCO 3
	BRICK
	CEMENTITIOUS SIDING 1
	CEMENTITIOUS SIDING 2
	PANEL

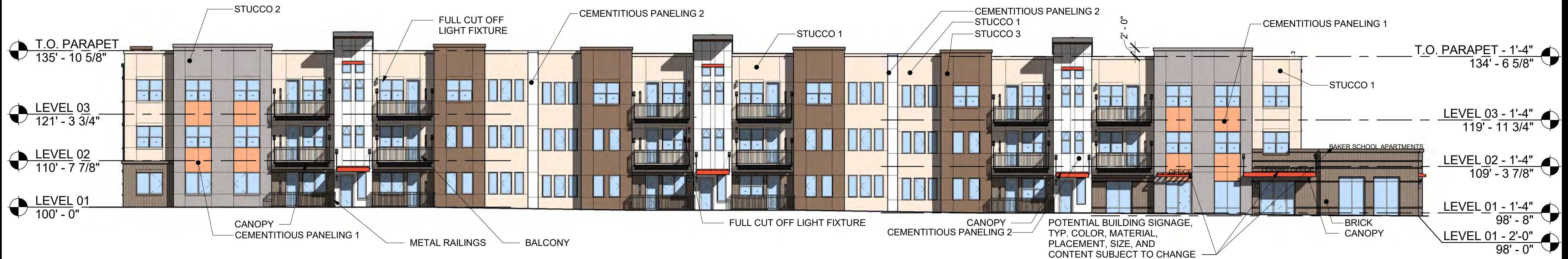
BUILDINGS 1 & 2 ELEVATIONS

SHEET 10 OF 12

BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

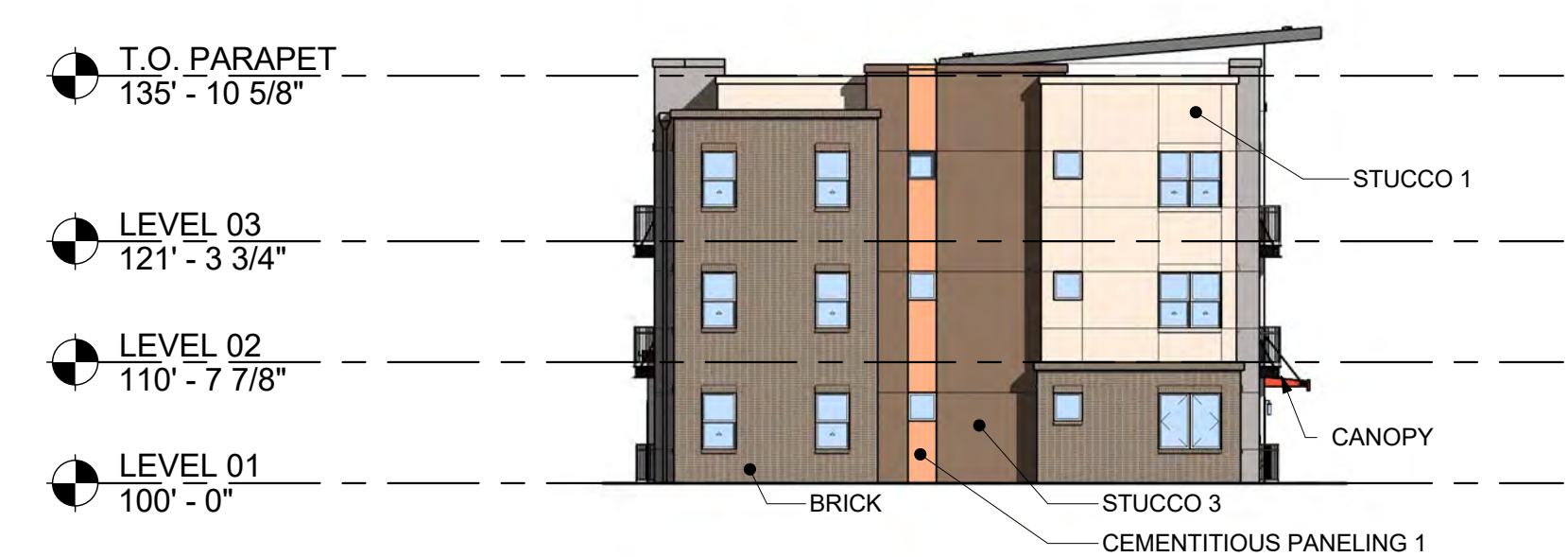
TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



1 BUILDING 3 PARKING SIDE ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDING 3 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 BUILDING 3 EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 BUILDING 3 WEST ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND:

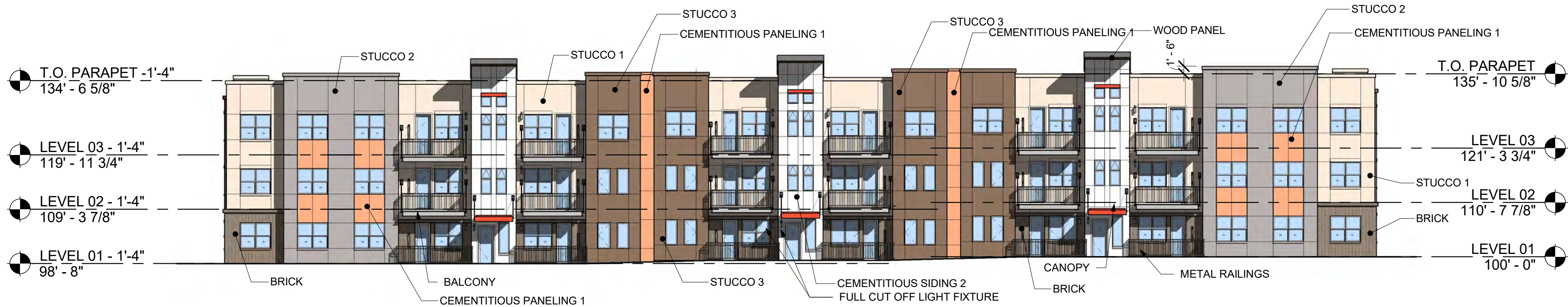
	STUCCO 1		CEMENTITIOUS SIDING 1
	STUCCO 2		CEMENTITIOUS SIDING 2
	STUCCO 3		PANEL
	BRICK		

BUILDING 3 ELEVATIONS

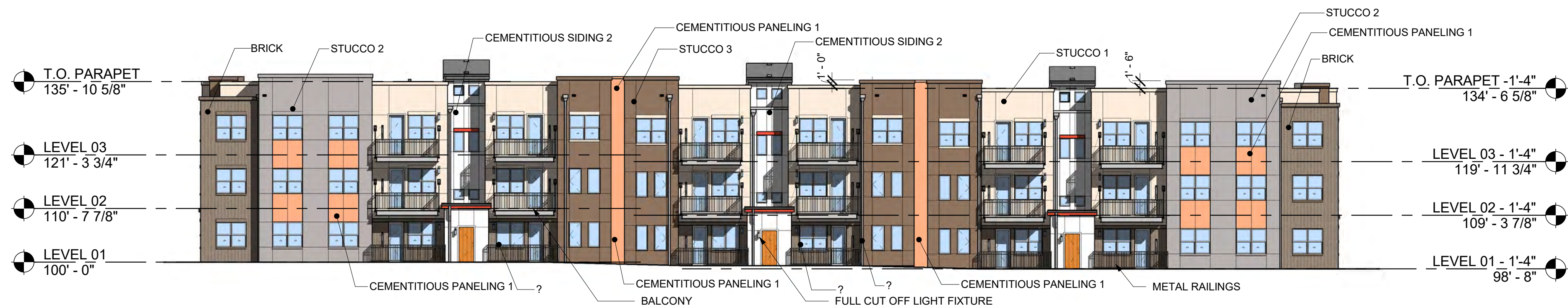
BAKER SCHOOL APARTMENTS

AMENDED PRELIMINARY/FINAL DEVELOPMENT PLAN

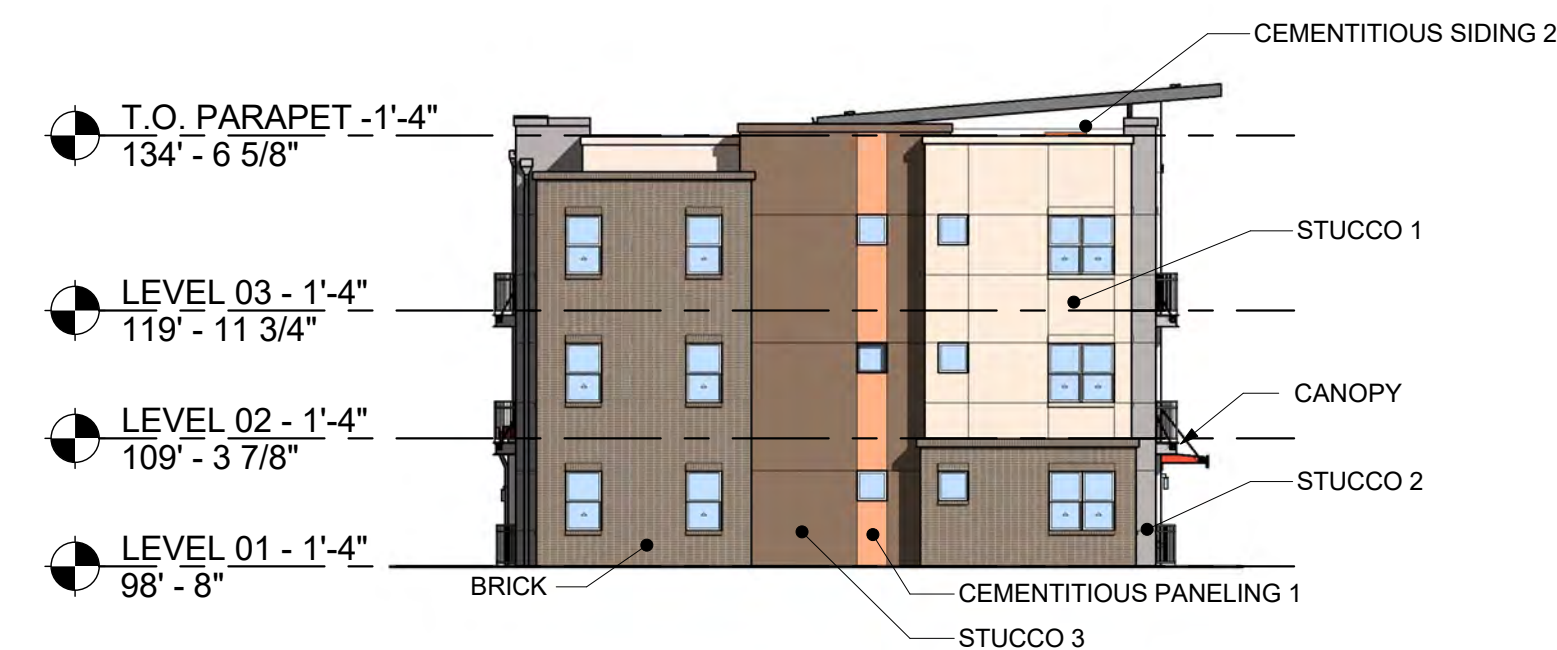
TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST
OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



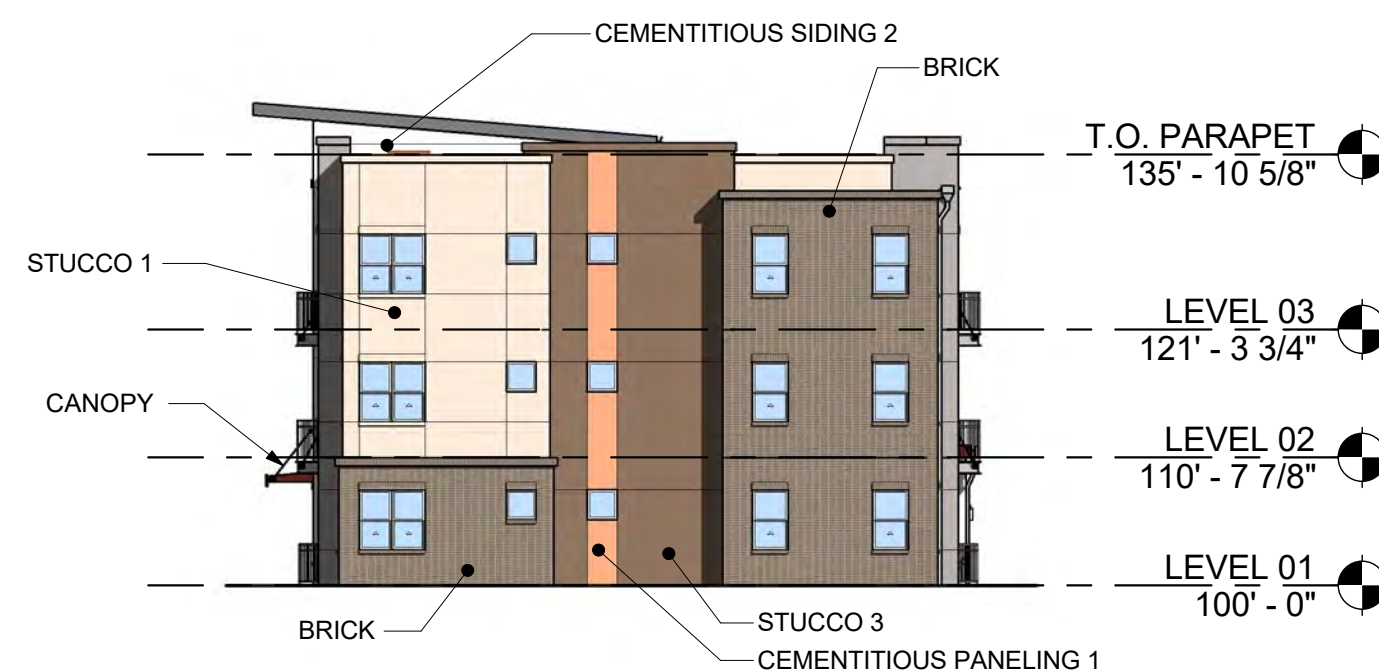
1 BUILDING 4 PARKING SIDE ELEVATION
SCALE: 1/16" = 1'-0"



2 BUILDING 4 COURTYARD SIDE ELEVATION
SCALE: 1/16" = 1'-0"



3 BUILDING 4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



4 BUILDING 4 EAST ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND:	
	STUCCO 1
	STUCCO 2
	STUCCO 3
	BRICK
	CEMENTITIOUS SIDING 1
	CEMENTITIOUS SIDING 2
	PANEL

BUILDING 4 ELEVATIONS

SHEET 12 OF 12



Exhibit 4.1

Development Review Team Comments

Date: 6/13/16

Project Number: PRC2016-00007

Project Name: Baker Apartments/ FDP and Final Plat

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

Commenting Division: Development Services, Planning

Name of Review: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for Final Development Plan and Final Plat for 142 residential (multi-family) units on approximately 4.3 acres.

PLN2. A Subdivision Improvement Agreement is requirement with Final Plat submittal pursuant to Section 2-02-17-04 (Major Subdivision, Final Plat) and Section 5-02-05.

a. An SIA was not submitted with the initial application.

b. Public Land Dedication Fees are required in the amount of 229,893.57 (see attached spreadsheet). These fees are required prior to scheduling public hearings.

PLN3. FDP Setbacks/Height:

a. Minimum setbacks for primary structures have been included in narrative language and diagrams.

b. Setbacks and height conform to County requirements.

PLN4. Subdivision Signage:

a. Please provide more detail on monument signage setbacks and proposed area of sign faces.

b. Please include proposed landscape around base of signs. Per Section 4-14-06-04-02, 2.5 sf of landscape is required per sf of sign area.

PLN5. Common Areas:

a. Please clarify ownership and maintenance of landscape and common areas.

b. Trees and other landscape cannot be placed in the right of way.

- c. **“Substitutions of plant material require County approval”...Please define substitutions. Any change in amount of living material should require County review and approval. Changes in plant species/material do not necessarily require review.**

PLN6. Open Space:

- a. **The FDP does not include diagrams and tables to show conformance with minimum 30% open space and 25% active recreation requirements.**

PLN7. Fencing:

- a. Proposed 6' cedar privacy fence along east boundary
- b. Proposed 8' cedar privacy fence along north boundary
- c. **Please provide more detail on reference #15 “enhanced” 8' privacy fence.**

PLN8. Parking:

- a. 237 standard (9'x 19') spaces provided
- b. 8 ADA spaces provided
- c. Total 245 spaces/ 1.7 spaces per unit ratio
- d. **Inconsistency of ADA and total spaces between sheet 4 and sheet 9.**

PLN9. Site Plan:

- a. **Please show more detail on mailboxes. Why was an outdoor location selected?**
- b. **How many dumpsters are proposed on site? Will recycling be included?**
- c. **How many bikes can the proposed racks hold? Any renderings of the proposed style?**
- d. **How are the building entries secured/ accessible?**
- e. **Any concerns from Transportation on location of Transformer? (Within 100' section line setback)**
- f. **How many units in building 3 and 4?**
- g. **What is Type A unit?**
- h. **How many trash receptacles are provided on site? Residents walking dogs around the complex will need several stations.**
- i. **How many grills at the designated station?**
- j. **How many benches are provided? Consider adding more benches to the playground area and in-between buildings 3 and 4.**
- k. **Are there any shade structures in the playground area?**
- l. **What is a dog park kit?**
- m. **Please consider including language to allow flexibility in overall site design (i.e. this is conceptual; however, a minimum of 6 benches, etc. shall be provided on site. Any changes to the site plan may require Amendments without adding flexibility.**

PLN10. Other:

- a. **Cover page- Remove Planning Commission approval. FDP and Final Plat only require BOCC approval.**
- b. **Cover page-please remove Preliminary Development Plan recording under Clerk and Recorder. PDPs are not recorded.**
- c. **Cover page-Staff review signature block can be removed.**
- d. **Please ensure all final mylars are 18" x 24"**
- e. **Please change any Director of Planning and Development to Director of Community and Economic Development.**
- f. **What is the official/proposed name of the development?**
- g. **Consider moving "narrative" details (currently sheet 8 and 9) to sheet 2.**
- h. **Keep all fence and sign details/standards on one sheet (i.e. current sheet 8).**
- i. **Please define permitted accessory residential uses (sheet 9).**
- j. **Please consider adding architectural elements to the east elevations of buildings 1 and 2 (closest to neighboring property owners). This wall seems flat and uninteresting.**

Commenting Division: Development Services, Engineering:

Name of Review: Matt Emmens

Email: memmens@adcogov.org

ENG1: see attached Engineering review comments.

Commenting Division: Development Services, Right-Of-Way

Name of Review: Bob Kovacs

Email: rkovacs@adcogov.org

ROW1: Further Engineering review may indicate a need for additional right-of-way dedication for a turn lane. If so plat will need to be adjusted to so dedicate.

ROW2: As Utility easement recorded in Book 2005 at Page 548 was to Public Service Co., Public Service Co. must be the entity that vacates it. This can be done by either; 1) having an appropriate official of Public Service Co. sign the plat agreeing to the relinquishment of the easement, or 2) indicating that vacation will be by separate document. Official of Public Service Co. should then sign the separate document and it should be recorded.

ROW3: Return plat for further review after corrections have been made.

ROW4: See additional corrections in redline markup of plat attached to this case and uploaded to eDocs No. 5378954.

Commenting Division: Building Safety

Name of Review: Justin Blair

Email: jblair@adcogov.org

BSD1- No comments.

Commenting Division: Parks and Open Space

Name of Review: Aaron Clark

Email: aclark@adcogov.org

PRK 1: No comments.

Commenting Division: Environmental Analyst

Name of Review: Jen Rutter

Email: jrutter@adcogov.org

ENV 1: No comments.

**Adams County Public Land Dedication Worksheet
Urban School District**

Date Computed= 6/13/2016

Case Name: Baker Apartments	
Case Number: PRC2016-00007/ Case Manager-Emily Collins	
Multi-Family Attached/Apartments (R-3, R-4)	
Number of Units=	142
Population generated=	285
Student population generated=	27.69
School Acreage Needed=	0.71994
Neighborhood Park Acreage Needed=	2.13
Regional Park Acreage Needed=	1.42
Total Acres of PLD Needed=	4.26994
Land Value per acre=	\$53,840.00
PLD Fee in lieu=	\$229,893.57
Deposits:	
School District { } Account=	\$38,761.57
Neighborhood Parks Account (by School District)=	\$114,679.20
Regional Parks Account=	\$76,452.80

**Adams County
Community and Economic Development Department
Development Review – Engineering Comments**

Case Number: EGR2016-00020			Case Name: Baker School Apartments	
Applicant: Core Consultants			Date Initiated: 5/6/2016	
Document #: 5379687				
No.	Reviewer Initials	Sheet No./ Page No./ Subject	County Comment	Applicant Response (date)
1	ME	General comment	All necessary paperwork such as Commissioners Resolutions, Development Agreements, and Collateral Agreements will need to be on file with the Adams County Transportation Department / Construction Management section prior to the issuance of any building permits.	
2	ME	Condition of Approval	The developer/applicant will be required to enter into a Subdivision Improvements Agreement (SIA) with the County and bond for all public and drainage to ensure the public improvements are completed. No building permits will be issued until all public improvements are completed and preliminarily accepted by the County.	
3	ME	General comment	Upon completion of review and approval of these drawings and acceptance of the SIA, the applicant will be required to obtain the necessary permits in order to construct the proposed improvements. This/these permit(s) will be obtained from the Adams County Transportation Department / Construction Management Section.	
4	ME	General comment	All storm sewer pipes within the public right-of-way must be RCP Class III material. In the event that the	

			soil chemistry is not conducive to this type of material, the applicant shall propose solutions to Adams County Transportation Department staff to mitigate the situation if it should arise.	
5	ME	General comment	<p>Flood Insurance Rate Map – FIRM Panel <i>Flood Insurance Rate Map – FIRM Panel #08001C0583H</i>, Federal Emergency Management Agency, March 4, 2007.</p> <p>According to the above references, the “Baker School Apartments” site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.</p>	
6	ME	General Comment	<p>A. All necessary Plats will be filed and recorded with the Adams County Clerk and Recorders office prior to the issuance of any Building Permit.</p> <p>B. All necessary paperwork such as Commissioners Resolutions, Development Agreements, Collateral Agreements, BOA decisions, etc. will be on file with the Adams County Department of Transportation Department / Construction Management Section prior to the issuance of any Building Permit.</p> <p>The County has the right to enter the property to conduct inspections of the installation of the facilities.</p>	
7	ME	General Comment (if applicable)	<p>A. The contractor will be held responsible for the cleanliness and safety of all roadways adjacent to this site. If at any time, these roadways are found to be dangerous or not passable due to debris or mud, the Adams County Transportation Department will shut down the project, until the roadway conditions have improved and are deemed acceptable. If the contractor/applicant fails to keep the adjacent roadways clean and free from debris, the Transportation Department has the option to do the required clean up and bill the charges directly to the contractor/applicant.</p>	

			<p>B. Erosion and sediment control measures shall be required during construction. Adams County field inspection personnel shall be able to mandate corrective action to be taken by the developer and/or contractor if any of the following situations occur:</p> <ul style="list-style-type: none">• construction plans lack sufficient detail for erosion protection• it has been determined that the submitted erosion control measures are not applicable to actual field conditions• installed erosion & sediment controls are non-functional <p>C. The contractor shall contact the Adams County Transportation Department / Construction Management section to find out if a preconstruction meeting is required.</p> <p>D. The developer/contractor shall be responsible for repairing or replacing damaged infrastructure adjacent to the site.</p> <p>E. <u>All</u> design and construction drawings submitted to Adams County for review and approval <u>must</u> be signed and stamped by a Professional Engineer.</p> <p>F. Asphalt patching shall include the removal of asphalt from the furthest saw cut line to the lip of gutter. A saw cut will be made 1' south of the initial saw cut for the "T" patch.</p> <p>G. If applicable; All forms of communication to the property and business owners in the area shall go through Jeanne Shreve of Adams County and the Transportation Department / Construction Management Division. This shall include but not be limited to contact logs, letters, fliers, email, and texting.</p>	
--	--	--	---	--

			<p>H. Work hours and work schedule shall be coordinated with Adams County Transportation Department / Construction Management Section.</p> <p>I. A Traffic Control Plan may be required to be submitted for approval prior to issuance of construction permits.</p> <p>J. The contractor is responsible for the material testing required during the construction and installation of the approved design drawings.</p>	
8	ME	General Comment	<p>The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. In the event that the disturbed area of the site exceeds 1 acre and the site is within the Adams County MS4 area, then the applicant shall be responsible to prepare the SWMP plan using the Adams County ESC Template, and obtain both a County SWQ Permit and State Permit COR-030000.</p> <p>The “Baker School Apartments” site is located within the County’s MS4 Permit area. A SWQ permit will be required. Please contact Juliana Archuleta (720-523-6869), the Adams County Stormwater Program Coordinator, for all matters concerning the SWQ permit.</p> <p>No construction permits can be issued until a SWQ permit has been issued.</p>	
9	ME	General comment	The County has the right to enter the property to conduct inspections of the installation of the facilities.	
10	ME	General Comment	Add the Adams County “General Construction Notes” to the plan set. The County’s General Construction Notes can be found on the last page of this document.	
11	ME	General Notification	In compliance with Colorado Revised Statute 37-92-602(8), concerning water rights, all flood control	

			<p>stormwater facilities that detain stormwater must be registered with the Statewide Notification Compliance Portal (SNCP). It is the responsibility of the design engineer to register the stormwater facility on the SNCP. The facility must be registered with the SNCP when the facility becomes operational and prior to the engineer of record submitting the final pond certification to Adams County. The County is required to verify the registration of the stormwater facility within 30 days of posting.</p> <p>The Statewide Notification Compliance Portal can be found at the following web address:</p> <p>https://maperture.digitaldataservices.com/gvh/?viewer=cswdif</p>	
12	ME	Storm Sewer Profiles	The HGL and EGR need to be shown on all storm sewer profiles.	
13	ME	Site plan	The site plan will need to show more information/detail. For example: include dimension for sidewalk width, curb return and drive isle radii, show all handicap ramps, show dimension of buildings, distances from building to property lines, label all site features (mailboxes, bike racks, play equipment, etc).	
14	ME	Sheet 5 of 15	The "Interim Erosion Control Plan" shows a portion of the temporary sedimentation pond and a drainage pipe and easement being located in the parcel to the southwest corner of the site. The County understands that this parcel was dedicated for school use only and, is not currently owned by the developer/applicant and that no drainage easements currently exist on this parcel. If this parcel is to be used for development of the apartment complex, the developer/applicant will need to show ownership of the parcel. Otherwise, all improvements (temporary or permanent) will need to be removed from this parcel.	

15	ME	Sheet 6 of 15	The “Final Erosion Control Plan” shows the temporary sedimentation pond overlapping the permanent detention pond. This plan should only show the permanent detention pond.	
16	ME	Sheet 6 of 15	The “Final Erosion Control Plan” will need to show the proposed areas of seeding and mulching, as well as all permanent erosion control measures.	
17	ME	Sheet 8 of 15	The “West 64 th Avenue Street Improvements” plan will need to include a flowline profile, as well as cross sections for all areas where new curb, gutter and sidewalk is proposed.	
18	ME	Roadway Improvements	In areas where new curb & gutter will be constructed, the County requires that the existing edge of asphalt be saw curb 1-foot from the lip of pan and repaved after construction of the new C&G.	
19	ME	Grading	The existing topography and contours will need to extend outside of the site boundary far enough that it can be determined if there are any offsite impacts or offsite areas that are tributary to this site.	
20	ME	Sheet 7 of 15	The grading plan shows several proposed contours that are not tied to existing contours. This is particularly evident along the east side of the site. All proposed contours will need to be tied into existing contours and, done so onsite.	
21	ME	Detention Pond	The County will require, at the time of platting, that a drainage easement be placed over the detention pond and, a 20-foot wide access easement leading from the County ROW to the detention pond easement (maintenance access road), over a drivable surface, be dedicated to the County on the plat. This/these easements will need to be shown in the construction plans.	
22	ME	Construction	The two entrances will need to include handicap ramps.	

		Plans	These are not included in the current submittal.	
23	ME	Drainage Report	County Development Standards and Regulations require that the Owner/Developer Statement, in the Drainage Report be signed by the owner/developer, on all submittals.	
24	ME	Drainage Report/Plan	County contour/topo data shows that the area to the north of the site, from W 65 th Ave to the northern site boundary, drains onto the site. The drainage plan/report does not identify this offsite basin and, the grading and drainage plans do not show how these offsite flows are being mitigated. The offsite basin(s) will need to be addressed in the next submittal.	
25	ME	Drainage Report/Plan/ Storm Sewer	The drainage report and construction plans show an inlet on W 64 th Avenue, just west of the entrance, which is collecting stormwater from the Street ROW and diverting it into the site detention pond. This presents a maintenance issue that is not acceptable to the County. This storm inlet will need to be tied directly into storm pipe that is within the County ROW. See Comment #32 for additional information.	
26	ME	Drainage Report/Plan	The drainage report states that the site is 4.55 acres and, that the allowable release rate, at 1.0 cfs per acre, is 5.16 cfs. This release rate appears to be taking into account the offsite area within the W 64 th Ave ROW (see comment #25). The allowable release rate needs to be based on the site size, not the tributary area. In addition, the County Assessors records show the combined area of all 5 parcels being 4.388 acres (not 4.55). If this is the case, the allowable release rate for this site is 4.388 cfs.	
27	ME	Drainage Report/Storm	The proposed storm sewer outfall for this site is an existing storm sewer vault located at the southwest	

		Sewer	corner of the site. The County does not have any information on the size(s) and slope(s) of the pipes leaving that vault and; therefore, cannot confirm the capacity of this existing infrastructure. It is the applicant's responsibility to confirm the capacity and outfall location of the storm sewer leaving the vault.	
28	ME	Drainage Report	On the first page of the "Composite Basins - Weighted "C" Calculations" table add a row that calculates the imperviousness of the overall site (all onsite basins).	
29	ME	Drainage Report	On the first page of the "Composite Basins - Weighted "C" Calculations" table the columns for "Lawns" is using 0% imperviousness. The latest UDFCD Table 6.3 uses 2% regardless of sand or clay soils. The table will need to be updated to the current UDCFD criteria.	
30	ME	Drainage Report	On the second page of the "Composite Basins - Weighted "C" Calculations" table does not reflect the current UDFCD "C" equations and the calculated C-factors do not correlate to the calculated imperviousness, per the new UDFDC criteria. The table will need to be updated to the current UDCFD criteria.	
31	ME	Detention Pond	The detention pond needs to include a forebay at design point 9 to help settle out sediments from the parking lot.	
32	ME	Detention Pond	The inlet on 64 th Avenue will short circuit the detention pond emergency spillway (water overtops the spillway and is directed back into the pond by the inlet on 64 th). Per comment #25, the inlet on 64 th Avenue will need to be tied directly to a County storm sewer (within County ROW) to allow the emergency spillway to operate correctly.	
33	ME	Construction Plans - Sheet 14 of 15	The Adams County "Standard Curb Cut" detail is not ADA compliant and should be replaced with CDOT detail M-609-1 Sheet 4 of 4.	

34	ME	Construction Plans	The handicap ramp and sidewalk at the northeast corner of the intersection of Lowell and 64 th Avenue is not ADA compliant and needs be replaced with this project. The handicap ramp should be replaced with CDOT M-608-1	
35	AM	Traffic Study	<p>The traffic study text states on Page 5 of 9 that the trip distribution is assumed to be 35 percent from the west and east, 20 percent from the north and 10 percent from the south. This is a reasonable assumption.</p> <p>However, upon review of the figures in the study, the percent of vehicle trips generated by the site is not shown to be consistent with those percentages on both the 64th Ave and Lowell Blvd links.</p>	
36	AM	Traffic Study	The percent of site generated trips allocated to the two new access locations appears to vary substantially between the AM and PM Peak Hours. The traffic study does not indicate enough site generated traffic is fully utilizing the west site access onto Lowell Blvd.	
37	AM	Traffic Study	The traffic study does not adequately discuss the southbound left turn lane queues that will occur at the 64 th Ave and Lowell Blvd intersection in 2021. Specifically, Figure 7, 2021 AM Background Traffic, shows a southbound Lowell Blvd left turn volume at 64 th Ave of 216 vehicles without site traffic. There is potential for this peak hour queue to block/obstruct the new west site access onto Lowell Blvd and prohibit site traffic from exiting from the west side of the site to continue southbound. The west site access onto Lowell Blvd. should be reanalyzed as a ¾ movement (left-in, right-in, right-out) taking into account that the southbound left turn lane queue will likely block that new site access located only 225 feet from the signalized intersection.	
38	AM	Traffic Study	The site generated westbound right turn volume from	

			64 th Ave into the south site access is large enough to cause more delay to existing westbound 64 th Ave traffic in the peak hours, even if the existing level of service is poor. The site generated traffic added to Lowell Blvd will likely negatively impact intersection operations. There is a need to consider the addition of a new westbound exclusive right turn lane at 64 th Ave and Lowell Boulevard, and possibly at the south site access.	
		General comment	The listed items above may or may not represent all comments regarding the project. Adams County reserves the right to provide additional comments as the plans progress.	

Current Disposition: **Resubmit**

Condition(s) of Approval:

1. The developer will be required to enter into a Subdivision Improvements Agreement (SIA) with the County and bond for all public and drainage to ensure the public improvements are completed. No building permits will be issued until all public improvements are completed and preliminarily accepted by the County.

The review is for general compliance with Adams County Standards for the design and construction of public improvements. The sole responsibility for completeness and accuracy of the construction documents shall remain with the Project Principals and Registered Professional Engineer sealing the plans. Adams County does not accept liability for facilities designed by others.

GENERAL CONSTRUCTION NOTES

1. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
2. ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 psi CONCRETE WITH FIBER MESH.
3. ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION/INSTALLATION.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
6. THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
7. ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
8. A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW.
9. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.

10. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
11. THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT, PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
12. NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVEMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
13. UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.

BAKER SCHOOL APARTMENTS FINAL PLAT

PRC2016-00007

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

VICINITY MAP

NO SCALE



LEGAL DESCRIPTION AND DEDICATION STATEMENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACTS 28, 29 AND A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, A SUBDIVISION PLAT RECORDED IN PLAT BOOK 3, AT PAGE 58 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX AT WEST END, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5;
THENCE N 89°50'20" E, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 136.00 FEET;
THENCE N 00°51'37" E, PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 30.00 FEET TO A POINT ON THE NORTH LINE OF THE WEST 64TH AVENUE RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT AND THE POINT OF BEGINNING;

THENCE N 00°51'37" E, A DISTANCE OF 130.00 FEET;
THENCE S 89°50'20" W, A DISTANCE OF 106.00 FEET, TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT;
THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 271.00 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;
THENCE ALONG THE SOUTH AND EAST LINES OF SAID TRACT 27, THE FOLLOWING TWO (2) COURSES:
1. N 89°50'20" E, A DISTANCE OF 258.60 FEET;
2. N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT 28, ALSO BEING THE SOUTHWEST CORNER OF TRACT 25, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 89°50'20" E, ALONG THE NORTH LINES OF SAID TRACTS 28, 29 AND 30, A DISTANCE OF 435.62 FEET TO THE NORTHEAST CORNER OF SAID TRACT 30;
THENCE S 00°51'37" W, ALONG THE EAST LINE OF SAID TRACT 30, A DISTANCE OF 290.00 FEET TO THE NORTHEAST CORNER OF THAT DEED RECORDED IN BOOK 1852, AT PAGE 82, SAID ADAMS COUNTY RECORDS;
THENCE ALONG THE NORTH AND WEST LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES:
1. S 89°50'20" W, A DISTANCE OF 63.21 FEET;
2. S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 525.02 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 188,910 SQUARE FEET, OR 4.337 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND TRACTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BAKER SCHOOL APARTMENTS AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE STREETS AND EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.

LAND AREA SUMMARY

TYPE	AREA (SF)	AREA (AC)
LOT 1	172,537	3.961
TRACT A	16,373	0.376
TOTAL	188,910	4.337

NOTES:

- ACCORDING TO COLORADO LAW YOU **MUST** COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY CORE CONSULTANTS, INC. FOR RECORD DOCUMENTS AND DETERMINATION OF OWNERSHIP, EASEMENTS OF RECORD, RIGHTS-OF-WAY AND ENCUMBRANCES. CORE CONSULTANTS, INC. RELIED UPON TITLE COMMITMENT ORDER NO. 01330-56135, WITH AN EFFECTIVE DATE OF MARCH 02, 2015 AT 8:00 AM AND TITLE COMMITMENT ORDER NO. 01330-46203 - AMENDMENT NO. 2, WITH AN EFFECTIVE DATE OF APRIL 01, 2015 AT 5:30 PM. BOTH PREPARED BY STEWART TITLE INSURANCE COMPANY.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- BEARINGS FOR THIS FINAL PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX AT WEST END, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;
- THE LINEAL UNITS USED IN THIS SURVEY IS THE U.S. SURVEY FOOT.
- DATE OF FIELD SURVEY: JANUARY 2015
- THE GROSS LAND AREA OF THE SUBJECT PROPERTY IS 188,910 SQUARE FEET, OR 4.337 ACRES, MORE OR LESS.
- RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS, WAYS, AND FIRE LANES NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY. THE SAME ARE HEREBY DESIGNATED AS FIRE LANES AND EMERGENCY AND SERVICE VEHICLE ROADS, AND SHALL BE POSTED "NO PARKING - FIRE LANE"
- LOT 1 IS FOR RESIDENTIAL, MULTI-FAMILY DEVELOPMENT.
- TRACT A SHALL BE OWNED AN MAINTAINED BY THE PROPERTY OWNERS, ITS SUCCESSORS AND ASSIGNS.
- A DRAINAGE AND ACCESS EASEMENT OVER AND ACROSS TRACT A IS HEREBY GRANTED TO ADAMS COUNTY FOR THE PURPOSES OF EMERGENCY REPAIRS.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS MUST BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.

OWNER:

WEST 64TH INVESTMENTS, LLC, A COLORADO LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS

THE FOREGOING WAS ACKNOWLEDGED BEFORE ME

THIS ___ DAY OF _____, A.D. 20___

BY: _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

update to Title Commitment provided with this submittal, it is dated April 28, 2016

PLANNING COMMISSION APPROVAL

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION ON THIS ___DAY OF _____, 20___ AD AT ___O'CLOCK __.

Chairperson

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ___DAY OF _____, 20___ AD AT ___O'CLOCK __.

Chairperson

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY I WAS IN RESPONSIBLE CHARGE OF THE SURVEY WORK USED IN THE PREPARATION OF THIS PLAT; THE POSITIONS OF THE PLATTED POINTS SHOWN HEREON HAVE AN ACCURACY OF NOT LESS THAN (1) FOOT IN TEN THOUSAND (10,000) FEET PRIOR TO ADJUSTMENTS; AND ALL BOUNDARY MONUMENTS AND CONTROL CORNERS SHOWN HEREON WERE IN PLACE AS DESCRIBED ON JUNE 30, 2015

THOMAS M. GIRARD
COLORADO PLS 38151
FOR AND ON BEHALF OF
CORE CONSULTANTS, INC

ADAMS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ___ .M. ON THE ___ DAY OF _____, 20___.

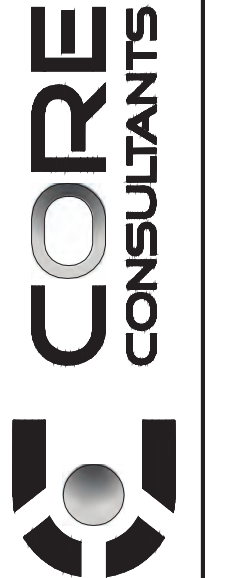
COUNTY CLERK AND RECORDER

BY DEPUTY: _____

just use Reception No. RECEPTION NO. _____

REVISIONS:					
DATE:					
DRAWN BY:	CHECK BY:				

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
2683 783 4444
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120



BAKER SCHOOL APARTMENTS - FINAL PLAT
SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM
ADAMS COUNTY, COLORADO

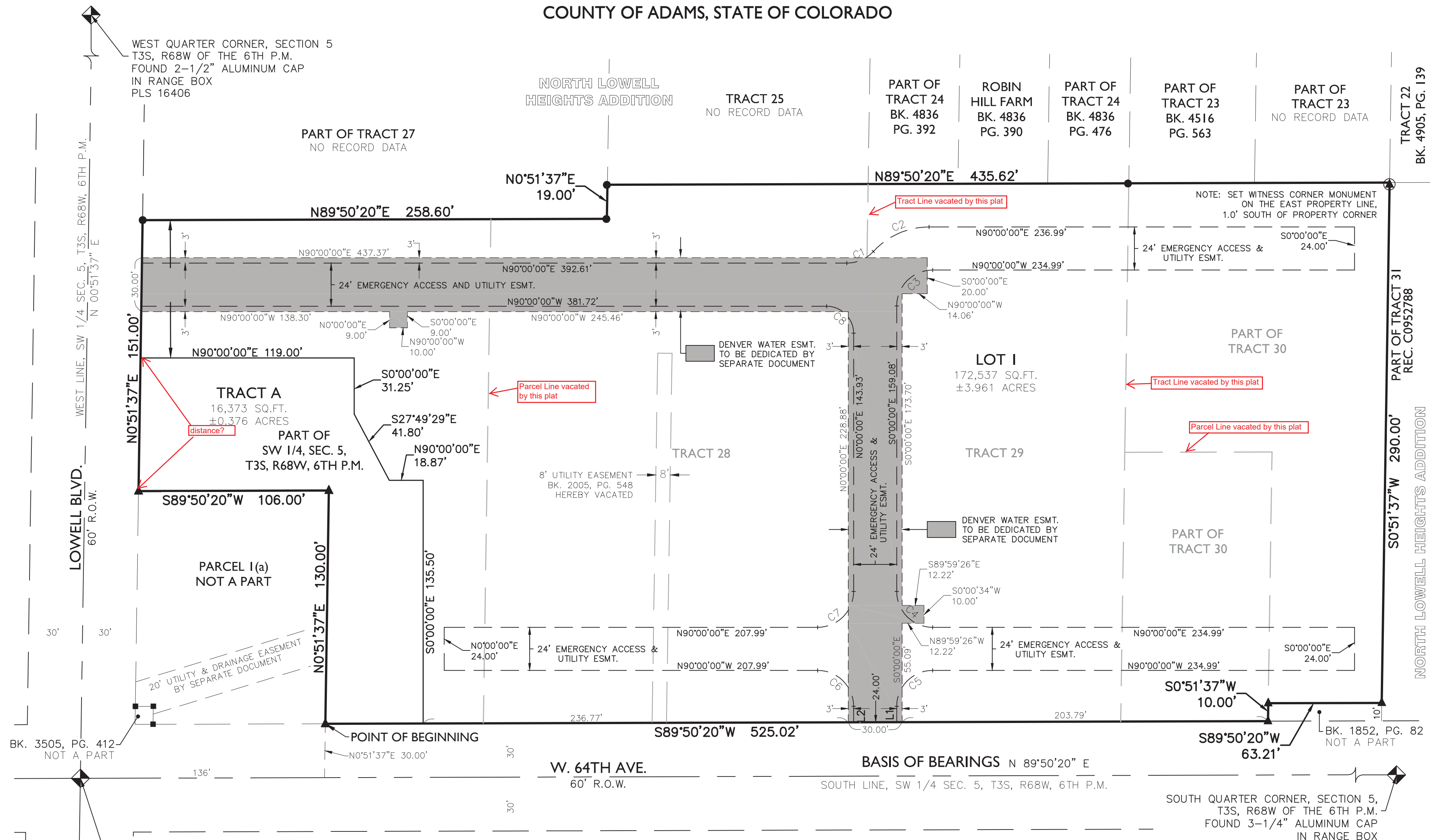
PROJ. MGR.: DF
PROJ. ENG.: JCA
DRAWN BY: JCA
DATE: 4.28.16
SCALE:

SHEET
1 OF 2

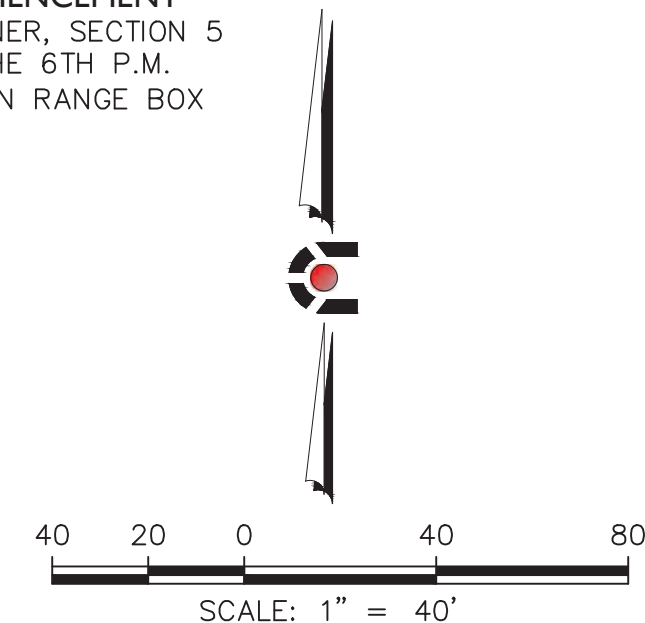
BAKER SCHOOL APARTMENTS FINAL PLAT

PRC2016-00007

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



POINT OF COMMENCEMENT
SOUTHWEST CORNER, SECTION 5
T3S, R68W OF THE 6TH P.M.
FOUND 1" AXLE IN RANGE BOX



- LEGEND**
- ▲ SET #5 REBAR WITH YELLOW PLASTIC CAP PLS 38151
 - SET #5 REBAR WITH 2" ALUMINUM CAP STAMPED "1" W.C. SOUTH PLS 38151"
 - FOUND 1.5" ALUMINUM CAP PLS 16406
 - FOUND NAIL AND BRASS TAG PLS 7276
 - ◆ FOUND SECTION CORNER, AS NOTED

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	8.87	S0° 00' 00"E
L2	8.94	N0° 00' 00"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	16.60	20.00	47°33'10"	16.13	N66°13'25"E
C2	34.86	42.00	47°33'10"	33.87	N66°13'25"E
C3	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C4	31.42	20.00	90°00'00"	28.28	S45°00'00"E
C5	31.42	20.00	90°00'00"	28.28	S45°00'00"W
C6	31.42	20.00	90°00'00"	28.28	N45°00'00"W
C7	31.42	20.00	90°00'00"	28.28	N45°00'00"E
C8	23.56	15.00	90°00'00"	21.21	N45°00'00"W

REVISIONS:

NO.	DATE	DESCRIPTION

DATE: _____
DRAWN BY: CHECK BY: _____

CIVIL ENGINEERING
DEVELOPMENT CONSULTING
LAND SURVEYING
AND RELATED SERVICES
3638 783rd Ave.
1950 W. Littleton Blvd., Ste. 109
Littleton, CO 80120

CORE
CONSULTANTS

BAKER SCHOOL APARTMENTS - FINAL PLAT
SW 1/4, SEC. 5, T 3 S, R 68 W, 6th PM
ADAMS COUNTY, COLORADO

PROJ. MGR. DF
PROJ. ENG. JCA
DRAWN BY: JCA
DATE: 4.28.16
SCALE: 1" = 40'

SHEET
2 OF 2

14-053

COLORADO GEOLOGICAL SURVEY

1801 19th Street
Golden, Colorado 80401



Exhibit 4.2

June 6, 2016

Karen Berry
State Geologist

Emily Collins

Adams County Community & Economic Development
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:

SW $\frac{1}{4}$ SW $\frac{1}{4}$ SW $\frac{1}{4}$ Section 5,
T3S, R68W, 6th P.M.
39.8133, -105.0336

**Subject: Baker Apartments Final Development Plan (formerly Baker Elementary / DelWest Multi-Family)
Case Number PRC2016-00007; Adams County, CO; CGS Unique No. AD-16-0002_2**

Dear Emily:

Colorado Geological Survey has reviewed the Baker Apartments Final Development Plan referral. CGS previously reviewed a referral at preliminary plat, rezoning, and PDP for 156 apartment units in two 4-story buildings on the 4.3-acre former Baker Elementary school site located northeast of Lowell Blvd. and W. 64th Ave.; our comments were provided in a letter dated August 12, 2015. I understand the applicant now proposes 142 units in four 3-story buildings. With this referral, I received a Request for Comments (May 17, 2016) and a zoning map, an Explanation of Project – 64th and Lowell Apartments (Parikh Stevens, April 20, 2016), a final plat (Core Consultants, April 28, 2016), and a set of 14 Final Development Plans (April 29, 2016). No geologic or geotechnical information was provided, so the comments from our August 12, 2015 letter remain valid:

The site does not contain steep slopes, is located outside of any mapped FEMA flood hazard zones, is not undermined, and is not exposed to or located within any identified geologic hazard areas that would preclude the proposed multifamily use and density. **Colorado Geological Survey therefore has no objection to approval of the final plat as proposed.**

The Explanation of Project states “A preliminary geo-technical study indicates suitability for development, subject to proper engineering controls to mitigate certain concerns, mainly the presence of some expansive soils. Prior to construction, extensive soil/geologic testing will be undertaken to determine road construction standards and home foundation designs.”

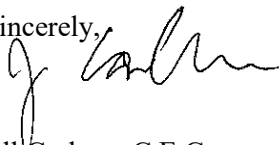
According to available geologic mapping (Lindvall, R.M., 1979, Geologic map of the Arvada quadrangle, Adams, Denver, and Jefferson Counties, Colorado: U.S. Geological Survey, Geologic Quadrangle Map GQ-1453, scale 1:24,000), the site is underlain by interbedded sand, silt and clay of the Piney Creek alluvium. As noted in the Explanation of Project, clay layers and lenses within the alluvium are likely expansive, and shales and claystones within the underlying Denver Formation bedrock may be highly expansive.

CGS agrees that a geotechnical investigation consisting of drilling, sampling, lab testing and analysis will be needed, if this has not been completed already, once building locations are finalized, to: characterize soil and bedrock engineering properties such as density, strength, swell/consolidation potential and bearing capacity; determine subgrade preparation and structural fill requirements; and design foundations, floor systems, pavements, etc.

Emily Collins
June 6, 2016
Page 2 of 2

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and "C".

Jill Carlson, C.E.G.
Engineering Geologist

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Wednesday, May 25, 2016 7:03 AM
To: Emily Collins
Subject: PRC2016-00007, Baker Apartments Final Development Plan

Emily,

I have reviewed the Final Development Plan for the Baker Apartments, located at 3555 W. 64th Ave. and have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



Exhibit 4.3



COLORADO
Division of Water Resources
Department of Natural Resources

1313 Sherman Street, Room 821
Denver, CO 80203

May 19, 2016

Emily Collins
Adams County Community & Economic Development Department
Transmission via email: ECollins@adcogov.org

RE: Baker Apartments Final Development Plan
Project Number: PRC2016-00007
SW1/4 of Section 5, T3S, R68W of the 6th P.M., Adams County
Water Division 1, Water District 7

Dear Ms. Collins,

We have reviewed the information received by this office on May 17, 2016 regarding the above referenced referral. The Applicant is proposing to develop a previous school site on 4.3 acres (former Baker school site) into multi-family units for approximately 142 apartment units. The site will consist of a 4-3 story building with 142 apartments, a community room, fitness center, management/rental office, and approximately 244 uncovered parking spaces. The site will also include extensive landscaping, an on-site detention pond, and landscaping of a small parcel at the corner of 64th & Lowell that can't be included as part of the site's development plan until ownership issues are resolved. This office previously commented on this proposal by our letter dated August 2, 2015 as part of PCR2015-00010.

Water Supply Demand and Detention Facility Requirements

Estimated water requirements were still not provided for this development. We have previously indicated that details of necessary information to be included in the subdivision water supply plan can be found on Attachment A of the Updated Memorandum Regarding Subdivisions, available online at

<http://water.state.co.us/groundwater/GWAdmin/Pages/SubdivisionWSP.aspx>.

Source of Water Supply

The proposed water source is still listed as the Crestview Water and Sanitation District ("District"). A letter from the District, dated September 29, 2014, indicates that the District is willing to provide water and sanitary sewer services to the proposed Baker Elementary School parcel redevelopment project and that the project is within District boundaries. The District is contracted with the Denver Water Department ("Denver Water") and obtains

Exhibit 4.4



treated water on demand pursuant to Denver Water Distributor Contract No. 14239A. We consider Denver Water to be a reliable water supplier.

The application materials indicate that the proposed development will have a detention pond. As previously mentioned, the applicant should be aware that, unless the structure can meet the requirements of a “storm water detention and infiltration facility” as defined in section 37-92-602(8), Colorado Revised Statutes, the structure may be subject to administration by this office. The applicant should review DWR’s *Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado*, attached, to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The applicant is encouraged to use *Colorado Stormwater Detention and Infiltration Facility Notification Portal*, located at <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>, to meet the notification requirements.

State Engineer’s Office Opinion

Since no changes in the water supply for this development were identified in this submittal, the comments from our letter dated August 3, 2015 still apply, including our opinion that the proposed water supply is adequate and can be provided without causing injury to decreed water rights.

Should you or the Applicant have any questions, please contact Ioana Comanicu of this office.

Sincerely,



Joanna Williams
Water Resource Engineer

cc: Subdivision file 23683



Emily Collins

From: Klaus Holzapfel [me@klausholzapfel.com]
Sent: Wednesday, June 01, 2016 1:54 PM
To: Emily Collins
Subject: Comments regarding 64th & Lowell work homes

Exhibit 5.1

Dear Emily,

I'm writing to you in regards to the development on 64th & Lowell. You invited me to join the conversation via mail.

I'm supporting the vision for the area to become a more urban center. That includes higher population density and not just single family homes.

From what I can see the four structures planned on 64th and Lowell look like army barracks. I know of the affordable housing projects on 71st and Federal and was really hoping for a similar layout plus some commercial space to be included in the project as well. Yes we want affordable housing but who are we going to attract with those homes?

I feel that affordable housing done right can actually be an upgrade to the neighborhood. If it's executed poorly it becomes a burden. We are under very close supervision: people know that this neighborhood will change and we have high ambitions. It is for that reason that every step needs to be planned out carefully.

If I'd have it my way I'd love to see underground parking and some commercial space or a community center instead of all the surface parking. Yes that's more expensive but it would change the look and feel of this development quite a bit.

I'm quite concerned what this development will do to the neighborhood.
Who are we targeting to move there?
How much resident turnover are we envisioning?
What inspired Adams County to give this development the thumbs up?
How does it align with the vision of County Manager Todd Leopold?
Is this part of a bigger master plan we should know of?

I own three properties in the area and am certainly interested in seeing this area evolve. I'm in for the long haul.

The current plan for Baker School Apartments (or what I know about it) doesn't seem to support the major upgrade vision we have shaped for the area.

I'll be happy to receive more information and change my mind. Unfortunately 64thandlowell.com is very rudimentary and doesn't shed any light into the story. That would be one good way to communicate what the developer is really up to.

Kind regards,

Klaus Holzapfel
3730 W 66th Ave, Arvada, CO 80003
me@klausholzapfel.com
310 383 7433

Emily Collins

From: Gail [gm33494@hotmail.com]
Sent: Monday, June 06, 2016 8:58 AM
To: Emily Collins
Subject: Baker

Emily,

Regarding the Baker elementary site, the weeds are getting out of control! And also at: 3361 W. 64th Ave. The house has been vacant. And I know that if a property that people were residing in was this bad they would get cited, fined etc.. This is just going to attract trouble. And it's an eyesore for the neighborhood.

Thank u for your time

Sent from [Mail](#) for Windows 10

Exhibit 5.2

Emily Collins

From: A Sultanova [aksaule@gmail.com]
Sent: Tuesday, June 14, 2016 2:45 PM
To: Emily Collins
Subject: Re: Baker School Apartments comment (PRC2016-00007)

Exhibit 5.3

Thank you for your quick response, Emily.

I see. The reason I was confused is when I saw this (page 6): <http://www.adcogov.org/DocumentCenter/View/7440>

It's almost as if our community got left out from feedback. But I guess the portion of the community that did get mail notification never provided feedback.

My personal comment would be:

- Roads - 64th is just one lane there, it's already pretty congested as is. There is more development coming along 64th in this area. With RTD park-n-rides coming here for B and G line rail, this area will become very busy for park-n-riders.
- Development needs at least a convenience store. There are no grocery stores within a mile. King Soopers at Sheridan is 1.2 miles away, but that's the only grocery store there. East of Sheridan there is nothing retail-wise in this area. Since we are turning this area into a three-story multifamily, I think it's necessary to bring the amenities that are usually found near or in them - stores, coffee, cafe, gym, etc. Let's not lower our standards and expectations just because it's affordable housing.

Thanks!

On Tue, Jun 14, 2016 at 11:20 AM, Emily Collins <ECollins@adcogov.org> wrote:

Hello Axaule,

Thank you for your comments! Please see the attached reference map for the public notices. The map represents a 1000 ft radius from the subject property. Per Section 2-01-04 of the County's regulations, the minimum notice area is 500 ft.

I have also included the Request for Comments that was sent out. Please feel free to make comments and I will forward them to the applicant. Let me know if you have any other questions, comments, or concerns.

Sincerely,

Emily Collins

From: A Sultanova [mailto:aksaule@gmail.com]
Sent: Tuesday, June 14, 2016 10:46 AM
To: Emily Collins
Subject: Baker Schhol Apartments comment (PRC2016-00007)

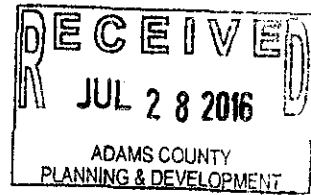
Hello Ms Collins,

I am a resident at Crystal Lakes/Arlington Meadows community, southwest of this new planned development. I just wanted to ask you to include us as we are really close to this Baker Street Apartments new community.

It is puzzling why we did not get included in the public review process.

Please see the attached picture showing our proximity. It's 0.3 miles away from our community.

Axaule



Emily Collins
Community & Economic Development Dept
4430 South Adams County Parkway
1st floor suite w8000
Brighton, Colorado 80601-8204

Exhibit 5.4

June 29, 2016

Dear Emily,

Regarding the Baker ~~Street~~ Apts Development Plan. I, Edwin Reiser, the abutter, at 3351 W. 64th Ave have a number of concerns:

1) Enforcement & accountability (and removal) of trash that blows on to my property. The school was a terrible neighbor in that regard!! They were not co-operative.

2) Enforcement & accountability to prevent & eliminate residents who are noisy, especially repeatedly.

3) Lighting - I would beg for a design that incorporates very short, very bright lights that shine STRAIGHT down so the ground is lit sufficiently without light shining constantly into my windows. PLEASE

4) What rights and protections do I have as an abutter sharing their property line? My vines that have taken me 14 years to grow are growing, but not planted on their fence. Am I able to request, please! that the roots not be disturbed - I must & will cut down the vines when they remove the fence.

5) I ~~once~~ had an avenue of communication with Delwest which they have severed. I was requesting of them and now ^{of} you to provide and require a wooden, horizontally waven fence, painted light green on my side, of 1x6 or such boards attached to 4x4 or such posts. This would provide me with MUCH more of a

from the prevailing wind.

breezes than a standard, typical picket fence. The builder's possible complaint of green paint over spray onto their side of the fence, of a typical brownish color, could be eliminated by painting my side green first. I could care less if I have brown over spray, providing they are droplets and not swaths of paint.

6) I have a number of tree stumps on the property line which I don't have access to remove since the roots project underneath the current fence. I would like to request Delwest provide me ample time to remove them once they have taken down the existing fence. PLEASE.

7) There is a large elm tree straddling the property line which I would like to request that they remove as well as the stump. PLEASE.

As I stated, I once had an avenue of communication with Delwest but they abruptly stopped responding. We were in discussion about items about items 5, 6, and 7 above. There has been no agreements or resolution. I was provided an indication that there would be. They implored me to speak favorably of the project which I did at the public meeting. I stated that I was in favor of the project in general but there were details that needed to be worked out.

Delwest approached me again later and asked me to make a voice recording as an additional statement since I would be unable to attend an upcoming meet. They explained/said that the project would be a \$30 million project over its lifespan and that a positive affirmation from myself as an abutter would be very influential. I asked nothing of them in return.

I hope I am not being unreasonable. I would like this project, and our relationship be successful.

Sincerely
Edwin H.E. Keiser
Edwin Keiser

Ms. Emily Collins
Community & Economic
Development Dept
4430 South Adams County Parkway
1st floor Suite W2000
Brighton, Colorado 80601-8204

Dear Emily. (& County Commissioners?)

I will start by apologizing that I am a terrible procrastinator, but I hope you are able to incorporate my concerns regarding the Baker Apartments Finals development plan.

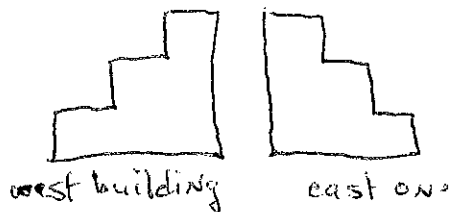
I learned recently that a height of three stories has been approved which distresses me since the building is going to be only 25' (or so) from my property line. Very much to the ^{probable} disinterest of anyone else, this will severely impact my view and wind (& its cooling effect). I was hoping for a height of no more than 2 stories, at least on the east end of that building which will effect me. A number of people complained from the neighborhood about its height. I don't know why. It really has no effect on them. And yet the county relented. I would hope that since the height proposed will virtually eliminate my "airspace" that something can be done. No one is capable of understanding how severely this will effect me as an abutter. My property value will be diminished since I can now see the foot hills. After completion of the apartments I will be lucky to be able to see the moon. My current azimuth of viewing is approximately 15° . When the building is done it will be about 70° at my property line.

If I look ~~back~~ ^{look} for a 3 story flat roofed building and use a measuring tape to find the spot 25 ft away from the building and look up at the roof line, you will see a dramatic example of what I am going to suffer.

This is a neighborhood of 1 or two story buildings that are not a 70' long obstruction of anyone's sense of freedom, breeze ~~or~~ or exposure.

The building is too close to me for its height. A split pyramid design would be a lot more sensible, attractive to the neighborhood and would afford the builder to provide some apts with good sized balconies or patios, improving the residents options.

See diagram:



This would also allow me a reasonable view from their direction. I would be extremely happy!

Since the county relented to the somewhat petty & insignificant complains of the neighborhood in regards to the height as it would affect them directly, I would hope & expect the county to have at least some extensive discussion of my concerns as an abutter since I will be so dramatically & severely impacted.

I realize it is late in the process and now one could care less probably, but it is still possible and need not have any negative consequence on the builder. The apartments with patios should provide a nicer and better standard of living with additional cash flow!!! The actual cost of construction to modify the design would be minimal and insignificant compared to the income over a 30 or 40 year life span!!!

Sincerely, Edwin Keiser
3351 W. 64th Ave Denver, Colorado 80221

Emily Collins

From: Shawn Armstrong [shawn9576@gmail.com]
Sent: Thursday, August 10, 2017 4:21 PM
To: Emily Collins
Subject: Case Name: Baker Apartments Final Development Plan Case Number: PRC2016-00007

Hello,

My name is Shawn Armstrong I have lived in this area for 17 years. I have never written a letter like this before.

I just recently found out that apartments are indeed going up at 64th & Lowell. I object to the apartments being built at 64th & Lowell. But would invite family homes in this area instead.

This area is already getting too busy and due to the light rail & apartments currently being built, the marijuana store at 68th & Federal (that's just down the street from our grade school and community building & I have noticed more cars going in and out of that lot pulling in front of oncoming traffic without yielding & more cars having trouble turning because of the cars doing a Uturn to get into that lot to buy marijuana) has increased traffic and crime & shootings, tagging and littering. I believe building another apartment community will only hinder our neighborhood more.

I believe homeowners are better at caring about the neighborhood then renters are. Homeowners are much more concerned about not stealing, or tagging, damaging others belongings or littering in our own neighborhood.

All you are doing by building a 3 storey apartment building is creating a overly crowded environment. And eventually it would be worn down and look terrible.

When I moved here it was a quiet little nook with mostly traffic of your own neighbors and a peaceful creek that you could take your dogs and kids down and not worry about all the people that don't care about this area.

Why aren't you encouraging a more pleasant clean up of this neighborhood? It's just going down hill even more. I don't see another apartment building to be improvements in our neighborhood.

Thank you,
Shawn Armstrong



Request for Comments

Exhibit 6.1

Case Name:	Baker Apartments Final Development Plan
Case Number:	PRC2016-00007

May 17, 2016

Adams County Planning Commission is requesting comments on the following:

Request approval of a Major Subdivision (Final Plat) and Final Development Plan (FDP) for a multi-family residential development of 142 units.

This request is located at 3555 W 64TH AVE

The Assessor's Parcel Number is 0182505300004, 0182505320005, 0182505320006, 0182505320008, 0182505320009

Applicant Information: DERRELL SCHREINER
155 S MADISON ST, SUITE #326
DENVER, CO 80209

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by **06/7/2016** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins
Case Manager

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Jan Pawlowski
DISTRICT 5



Exhibit 6.2

REVISED Public Hearing Notification

Case Name:	Baker Apartments FDP
Case Number:	PRC2016-00007
Planning Commission Hearing Date:	08/10/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date:	08/29/2017 at 9:30 a.m.

July 28, 2017

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

1) Amended Preliminary Development Plan; 2) Final Development Plan (FDP) for a multi-family residential development of 142 units; 3) Amended Major Subdivision (Preliminary/Final Plat) to create one lot of approximately 4.6 acres; and 4) Subdivision Improvements Agreement.

This request is located at **3555 W 64TH AVE**

The Assessor's Parcel Number is **0182505300005, 0182505300006, 0182505320005, 0182505320006, 0182505320008, 0182505320009**

Applicant Information: **DERRELL SCHREINER
155 S MADISON ST, SUITE #326
DENVER, CO 80209**

Please note the revisions include updates to the request information (Amendments to Preliminary Plat and Preliminary Development Plan) and corrected the parcel numbers

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6800. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Doriso
DISTRICT 4

Mary Hodge
DISTRICT 5

Emily Collins

Emily Collins, AICP
Case Manager

PUBLICATION REQUEST

Baker Apartments Final Development Plan

Case Number: PRC2016-00007
Planning Commission Hearing Date: 08/10/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date: 08/29/2017 at 9:30 a.m.

Request: 1) Amended Preliminary Development Plan; 2) Final Development Plan (FDP) for a multi-family residential development of 142 units; 3) Amended Major Subdivision (Preliminary/Final Plat) to create one lot of approximately 4.6 acres; and 4) Subdivision Improvements Agreement

Location: 3555 W 64TH AVE

Parcel Number(s): 0182505300005, 0182505300006, 0182505320005, 0182505320006,
0182505320008, 0182505320009

Case Manager: Emily Collins

Case Technician: Shayla Christenson

Applicant:

DERRELL SCHREINER 303-570-0910
155 S MADISON ST
SUITE #326
DENVER, CO 80209

Owner: WEST 64TH INVESTMENTS LLC
155 S MADISON ST STE 326
DENVER, CO 802093069

Legal Description:

KNOW ALL PEOPLE BY THESE PRESENTS THAT THE UNDERSIGNED WARRANT THEY ARE THE OWNER OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH P.M. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND BEING TRACTS 28, 29 AND A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION, A SUBDIVISION PLAT RECORDED IN PLAT BOOK 3, AT PAGE 58 IN THE ADAMS COUNTY CLERK AND RECORDER'S OFFICE, TOGETHER WITH A PORTION OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS PLAT ARE BASED ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH P.M., BEING ASSUMED TO BEAR N 89°50'20" E FROM THE SOUTHWEST CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 1" AXLE IN A RANGE BOX, TO THE SOUTH QUARTER CORNER OF SAID SECTION 5, BEING MONUMENTED BY A 3-1/4" ALUMINUM CAP IN A RANGE BOX STAMPED "PLS 26288", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5;

THENCE N 29°55'50" E, A DISTANCE OF 61.74 FEET TO A POINT ON THE EAST LINE OF THE LOWELL BOULEVARD RIGHT-OF-WAY, AS SHOWN ON SAID NORTH LOWELL HEIGHTS ADDITION PLAT AND THE POINT OF BEGINNING;

THENCE N 0°51'37" E, ALONG THE EAST LINE OF SAID LOWELL BOULEVARD RIGHT-OF-WAY AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 257.58 FEET TO THE SOUTHWEST CORNER OF TRACT 27, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE ALONG THE SOUTH AND EAST LINES OF SAID TRACT 27, THE FOLLOWING TWO (2) COURSES:

1. N 89°50'20" E, A DISTANCE OF 258.60 FEET;

2. N 00°51'37" E, A DISTANCE OF 19.00 FEET TO THE SOUTHWEST CORNER OF TRACT 25, SAID NORTH LOWELL HEIGHTS ADDITION PLAT;

THENCE N 89°50'20" E, ALONG THE NORTH LINES OF SAID TRACTS 28, 29 AND 30, A DISTANCE OF 435.62 FEET TO THE NORTHEAST CORNER OF SAID TRACT 30;

THENCE S 00°51'37" W, ALONG THE EAST LINE OF SAID TRACT 30, A DISTANCE OF 290.00 FEET TO THE NORTHEAST CORNER OF THAT DEED RECORDED IN BOOK 1852, AT PAGE 82, SAID ADAMS COUNTY RECORDS;

THENCE ALONG THE NORTH AND WEST LINES OF SAID DEED THE FOLLOWING TWO (2) COURSES: 1. S 89°50'20" W, A DISTANCE OF 63.21 FEET; S 89°50'20" W,

3. S 00°51'37" W, A DISTANCE OF 10.00 FEET TO A POINT ON THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY;

THENCE S 89°50'20" W, ALONG THE NORTH LINE OF SAID WEST 64TH AVENUE RIGHT-OF-WAY, A DISTANCE OF 534.01 FEET TO A POINT ON A LINE BEING 30.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5;

THENCE N 00°09'40" W, ALONG SAID LINE, A DISTANCE OF 6.00 FEET TO A POINT ON A LINE BEING 36.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5;

THENCE S 89°50'20" W, ALONG SAID LINE, A DISTANCE OF 79.26 FEET;

THENCE N 44°59'45" W, A DISTANCE OF 24.57 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 201,953 SQUARE FEET, OR 4.636 ACRES, MORE OR LESS.

HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO A LOT AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF BAKER SCHOOL APARTMENTS AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE COUNTY OF ADAMS, COLORADO, FOR THE PERPETUAL USE OF THE PUBLIC, THE EASEMENTS AS SHOWN HEREON AND NOT PREVIOUSLY DEDICATED TO THE PUBLIC.



CERTIFICATE OF POSTING

I, Emily Collins do hereby certify that I had the property posted at

3555 W. 6TH Ave.

on July 27, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Exhibit 6.4

Exhibit 6.5

Adams County
Attn: Planning Addressing
PLN

Adams County Construction Inspection
Attn: PWCI .
PWCI

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

Adams County Treasurer: Send email
Attn: Adams County Treasurer
bgrimm@adcogov.org

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

COLO DIV OF MINING RECLAMATION AND SAFETY
Attn: ANTHONY J. WALDRON - SENIOR ENV
DEPT. OF NATURAL RESOURCES
1313 SHERMAN ST, #215
DENVER CO 80203

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

COLORADO DIVISION OF WILDLIFE
Attn: JOSEPH PADIA
6060 BROADWAY
DENVER CO 80216

COLORADO DIVISION OF WILDLIFE
Attn: Eliza Hunholz
Northeast Regional Engineer
6060 BROADWAY
DENVER CO 80216-1000

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

Crestview Water & Sanitation
Attn: Patrick Stock
PO Box 21299
Denver CO 80221-0299

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

Engineering Division
Attn: Transportation Department
PWE

GOAT HILL
Attn: SHARON WHITEHAIR
2901 W 63RD
AVE SP:0047
DENVER CO 80221

Hyland Hills Park & Recreation District
Attn: Terry Barnhart
8801 Pecos St
Denver CO 80260

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

NS - Code Compliance
Attn: Andy San Nicolas
asannicolas@adcogov.org

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

UNITED STATES POST OFFICE
Attn: MARY C. DOBYNS
56691 E COLFAX AVENUE
STRASBURG CO 80136-8115

US EPA
Attn: Stan Christensen
1595 Wynkoop Street
DENVER CO 80202

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Exhibit 6.6

3531 WEST 65TH AVENUE LLC
6885 LOWELL BLVD
DENVER CO 80221-2652

ATKINSON LETICIA
6410 NEWTON STREET
ARVADA CO 80003

ABBOTT JAMIE AND
ABBOTT RYAN
6420 OSCEOLA ST
ARVADA CO 80003-6423

BALAZ MARIAN AND BALAZ MARGARET AND
ONETH IVET
3300 W 63RD AVE
DENVER CO 80221-1975

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601

BALDERAS JESUS AND
BALDERAS ROSALVA M
6401 IRVING ST
DENVER CO 80221-2169

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

BALL TANYA MINHAS
6495 W 53RD AVE
ARVADA CO 80002-4018

ADAMS COUNTY FIRE PROTECTION DISTRICT
8055 WASHINGTON ST
DENVER CO 80229-5818

BANK OF AMERICA NATIONAL ASSOCIATION
12650 INGENUITY DR
ORLANDO FL 32826-2703

ADAMS GAYLE BOMAN AND
ADAMS GARY
3280 HAWTHORNE PLACE
WESTMINSTER CO 80221

BARELA RUBEN A AND
BARELA ANTOINETTE M
6430 OSCEOLA ST
ARVADA CO 80003-6423

ADAMS WARREN DEAN
3275 W HAWTHORNE PL
DENVER CO 80221-2132

BATSON REAL PROPERTY HOLDINGS LLC
12656 WATERSIDE LN
LONGMONT CO 80504

ALCAMO JOHN JEREMY
6357 OTIS STREET
ARVADA CO 80003

BAUMANN MICHAEL AND
DITIRRO LISA M
3310 W 65TH AVE
DENVER CO 80221-2108

ALZAMILY ZAINAB
3883 W 63RD PL
ARVADA CO 80003-6721

BAUTISTA JAVIER BUENDIA
3520 W 66TH AVE
DENVER CO 80221-2123

ANDIS KAYLA NICOLE
3300 W 66TH AVE
DENVER CO 80221-2120

BAVARO ONOFRIO AND
BAVARO GLORIA T
6510 OSCEOLA ST
ARVADA CO 80003-6425

BEGEMAN JOSEPH E
1470 JOYCE STREET
GOLDEN CO 80401

CAMARGO JAIME AND
CAMARGO JAIME JR
6361 JULIAN ST
DENVER CO 80221

BENAVIDEZ JESUS
3276 W LONGFELLOW PL
DENVER CO 80221-2150

CARTER JAMES DAVIN AND
EMANUEL MELINDA A
3580 W 64TH AVE
DENVER CO 80221-2168

BENNETT DAVID
6570 MEADE CT
ARVADA CO 80003-6447

CASTANEDA NOEMY
3302 W 65TH AVE
DENVER CO 80221-2108

BERGERS RONALD L AND
BERGERS DEBORAH D
6565 MEADE CT
ARVADA CO 80003

CHA YINGTSE AND
CHA NTZIA THAO
PO BOX 350094
WESTMINSTER CO 80035

BERNALDT BARBARA J AND
BERNALDT WOLFGANG
3303 W 64TH AVE
DENVER CO 80221-2163

CHAVEZ JACK R AND
CHAVEZ GEORGE D
12925 COUNTY RD 21.6
WESTON CO 81091-9530

BIERMAN ANITA R AND
BIERMAN JENNAFER A/MICHAEL H
3340 W 63RD AVE
DENVER CO 80221-1975

COFFEY JEANNE AND COFFEY MICHAEL AND
HAYES TURA
6350 LOWELL BLVD
DENVER CO 80221-1948

BILLINGER REGINA L
6341 KNOX CT
DENVER CO 80221-1970

COLORADO INVESTMENT
PROPERTIES LTD C/O G M HORTON
22 N CENTRAL AVE NO. 300
PHOENIX AZ 85004-2305

BLEEKER ELTON O AND
BLEEKER FLORENCE E
3554 SHOSHONE ST
DENVER CO 80211-3017

COPPER CHAI LLC
16398 W 51ST LN
GOLDEN CO 80403-1686

BRUNKEN FAMILY TRUST
7316 W 71ST AVE
ARVADA CO 80003

CORNELL WILLIAM DAVID AND
CORNELL JOY RENEE
6784 BEECH CT
ARVADA CO 80004

CAILE SHREVE
C/O MAVI UNLIMITED INC
777 S WADSWORTH BLVD NO 1-205
LAKEWOOD CO 80226

CORTEZ ANGELA D
3145 W 40TH AVE
DENVER CO 80211-2008

COTTON BARBARA J
6451 IRVING ST
DENVER CO 80221-2169

ELLIOTT WILLIAM ANTHONY AND
ELLIOTT DONNA MARIE
6321 LOWELL BLVD
DENVER CO 80221-1945

CRYSTAL LAKES HOMEOWNERS
ASSOCIATION INC
PO BOX 1404
WESTMINSTER CO 80030-1404

ELLIOTT WILLIAM ANTHONY AND
ELLIOTT DONNA MARIE
6321 LOWELL BLVD
DENVER CO 80221-1947

DAVID STEVEN CHARLES
3175 W 63RD AVE
DENVER CO 80221-1963

ELLIS MARK C
1715 W 750 N
VERNAL UT 84078

DE HERRERA GRACIE R
6520 NEWTON STREET
ARVADA CO 80003

ESCOTO CELSO GOMEZ
6565 NEWTON ST
ARVADA CO 80003-6450

DEATON PAUL LEE
6446 NEWTON ST
ARVADA CO 80003-6448

ESCOTO CELSO GOMEZ AND
GOMEZ MARIA A
8141 GRANT
DENVER CO 80229

ELINSKI JOSEPH
6595 MEADE CT
ARVADA CO 80003-6447

ESTEP BRIAN AND
HALL KRISTA
6470 NEWTON ST
ARVADA CO 80003-6448

ELLIOTT JOSEPH M AND
ELLIOTT GLADYS M
6261 LOWELL BLVD
DENVER CO 80221-1945

EUBANK ROBERT G/WEIHONG TRUSTEES OF
THE EUBANK 2007 FAMILY TRUST
90 W 84TH AVE
DENVER CO 80260-4808

ELLIOTT JOSEPH M TRUST 1/3 INT AND
ELLIOTT GLADYS M 2/3 INT
6261 LOWELL BLVD
DENVER CO 80221-1945

EVANS LEVI
6585 MEADE CT
ARVADA CO 80003-6447

ELLIOTT JOSEPH MARION AND
ELLIOTT GLADYS MARIE
6261 LOWELL BLVD
DENVER CO 80221-1945

FEDERAL NATIONAL MORTGAGE ASSOCIATION
14221 DALLAS PKWY STE 1000
DALLAS TX 75254-2946

ELLIOTT WILLIAM ANTHONY AND
ELLIOTT DONNA M
6321 LOWELL BLVD
DENVER CO 80221-1947

FERNANDEZ SANTOS ROMAN AND
FERNANDEZ MADEL REFUGIO ROMAN
3280 W LONGFELLOW PL
DENVER CO 80221-2150

FIGUEROA CONSTRUCTION INC
1973 S PITKIN ST
AURORA CO 80013-1261

GASPER JACOB A AND GASPER PATTY L
1224 S SPRUCE DR
GOLDEN CO 80401-9183

FOSTER CYNTHIA E
3210 HAWTHORNE PLACE
DENVER CO 80221

GASPER JACOB A AND GASPER PATTY L
1224 SPRUCE DR
GOLDEN CO 80401-9183

FRANK DAVID O AND
FRANK ALANA L
3460 W 65TH AVE
DENVER CO 80221-2108

GASPER JAKE
C/O J AND G PROPERTIES
1224 SPRUCE DR
GOLDEN CO 80401-9183

FRANK NATHAN DWIGHT AND
FRANK NICOLE MARIE
3874 W 63RD PLACE
ARVADA CO 80003

GERMAIN INVESTMENT COMPANY
1825 LAWRENCE STREET NO. 112
DENVER CO 80202

FREDERICK DAVID AND
FREDERICK STEPHANIE
PO BOX 16020
ALBUQUERQUE NM 87191-6020

GILLAN NICOLAS L
3215 W 64TH AVE
DENVER CO 80221

FRITA HOMES LLC
601 16TH ST UNIT C-145
GOLDEN CO 80401-1978

GLAZE JERRY M AND KOICHEVAR AS TRUSTEES
THE JERRY M GLAZE INCOME TRUST
6353 KNOX COURT
DENVER CO 80221

GAMMON JULI A
3280 W 63RD AVE
DENVER CO 80221

GOERTZEN DAVID LEE
419 E FRASER DR
PUEBLO CO 81007-1643

GARCIA DESI AND
GARCIA JUSTINA
3212 W HAWTHORNE PL
DENVER CO 80221-2133

GONZALES JIMMY F AND
GONZALES JOHANNA S
6480 OSCEOLA ST
ARVADA CO 80003-6423

GARCIA JOHN JR AND
GARCIA ANITA
3247 W 64TH AVE
DENVER CO 80221-2161

GREBB NORTH LLC
5595 FEDERAL BLVD
DENVER CO 80221-6574

GASKIN MICHAEL
6460 OSCEOLA ST
ARVADA CO 80003-6423

GREBB WEST 2 LLC
5595 FEDERAL BLVD
DENVER CO 80221-6574

GREENE WALTER J AND
ASHLEY CHRISTINA M
6579 MEADE CT
ARVADA CO 80003

HANNEKE DONALD L AND
HANNEKE BETTY SUE
445 SELMA AVENUE
WEBSTER GROVE MO 63119

GRIEGO ORLANDO
2448 IRVING ST
DENVER CO 80211-4539

HANSEN MAURICE W AND
HANSEN JANE A
10005 MEADE CT
WESTMINSTER CO 80031-2476

GRIFFIN MICHELLE
3884 W 63RD PL
ARVADA CO 80003-6720

HARRISON TAMMIE DEE AND
MILLER LALEH CHI
3893 W 63RD PL
ARVADA CO 80003-6721

GUERECA RENE D AND
GUERECA DESIREE J
6576 MEADE CT
ARVADA CO 80003-6447

HAZE VERNON
6348 LOWELL BLVD
DENVER CO 80221

GUIDRY HUGH M
3485 W 65TH AVE
DENVER CO 80221

HERRERA MIGUEL VALDEZ AND
HERRERA RICARDO VALDEZ
2008 W 91ST PL
DENVER CO 80260-6723

GURICAN WILLIAM CHRISTOPHER
3863 W 63RD PL
ARVADA CO 80003-6721

HERTZ JAMES D AND
HERTZ CINDY M
9125 E 138TH CT
BRIGHTON CO 80602-8201

GURUNG SURESH AND
GURUNG NIRAJ KUMAR
6575 NEWTON ST
ARVADA CO 80003-6450

HIESTAND JAMES C
6890 LARSH DR
DENVER CO 80221-2539

GUTIERREZ MATTHEW AND
VERA CURISHA
6440 OSCEOLA ST
ARVADA CO 80003-6423

HOLZAPFEL KLAUS
6590 LOWELL BLVD
DENVER CO 80221-2154

HAASE ANDREW
3245 W 64TH AVE
DENVER CO 80221-2161

HOLZAPFEL KLAUS
3720 W 66TH AVE
ARVADA CO 80003-6408

HACKENBERG DONALD
3864 W 63RD PLACE
ARVADA CO 80003

HOVEN JAMES J
6585 W 2ND AVE
LAKEWOOD CO 80226

HOWE MARCIA L
C/O PATRICK HOWE
13225 SPICA DRIVE
LITTLETON CO 80124

KASPAR PHILLIP ROY JR
6340 LOWELL BLVD
DENVER CO 80221

HRCS-DENVER LLC
90 W 84TH AVE
DENVER CO 80260-4808

KASPAR PHILLIP ROY JR
6309 JULIAN ST
DENVER CO 80221-1972

HUGHLING BRADLEY W AND
ERNST VALERIE A
6370 KNOX CT
DENVER CO 80221-1971

KEISER EDWIN H E
3351 W 64TH AVE
DENVER CO 80221-2163

HUM LISA R AND
HUM RONALD R
6348 NEWTON CT
ARVADA CO 80003-6725

KELLEN MARISELA MARTINEZ
6575 MEADE CT
ARVADA CO 80003-6447

HUYNH DUNG V
6268 NEWTON CT
ARVADA CO 80003-6724

KELLOND KEVIN AND
KELLOND JENNIFER
6358 NEWTON CT
ARVADA CO 80003-6725

IBANEZ-BATRES HUMBERTO AND
RAMIREZ-MORA ROSA MARIA
3245 W 65TH AVE
DENVER CO 80221-2103

KINCADE ROGER
3305 S DUDLEY COURT
LAKEWOOD CO 80227

INGALLS TROY D
13777 W 59TH PL
ARVADA CO 80004

KOKOSZKA DIANNA M
117 EDGEWATER COVE
LAKEWAY TX 78734

J AND G PROPERTIES
12661 W 75TH AVE
ARVADA CO 80005

LEE DER 1/3 INT AND LY CHIA CHA/XIONG BL
1/3 INT AND VUE SHEE 1/3 INT
3394 W 64TH AVE
DENVER CO 80221

JEREZ AUGUSTO
3586-88 W 64TH AVE
DENVER CO 80221

LEE JESSE AND
LEE CHERI L
3280 W 64TH AVE
DENVER CO 80221-2160

JOHNSON PAUL E D
6298 NEWTON CT
ARVADA CO 80003-6725

LEE NHIA AND CHANG XO UND 1/3 AND LEE XI
AND KAO VUE UND 1/3 AND LEE TONG PAO 1/3
3392 W 66TH AVE
DENVER CO 80221-2120

LEE NHIA/CHANG XO 1/3 INT AND LEE XIA/VU
KAO 1/3 INT AND LEE TONG PAO 1/3 INT
18121 E 160TH AVE
BRIGHTON CO 80601

MADERA PEDRO A AND
DE MADERA MARTH MADERA
3286 W LONGFELLOW PL
DENVER CO 80221-2150

LEE XANG AND
LEE CHAO
3390 W 66TH AVENUE
DENVER CO 80216

MADERA PEDRO A AND
MADERA SARA M
PO BOX 235
KIOWA CO 80117

LEE YAI/VANG XIA 1/3 INT AND LEE XANG/LE
CHAO 1/3 INT AND LOR GE/LEE CHIA 1/3 INT
3390 W 66TH AVE APT 4
DENVER CO 80221-2179

MADSEN MARK L AND
FORTAREL JANICE P
6434 NEWTON STREET
ARVADA CO 80003

LOMBARDI TONY AND
LOMBARDI CLARA
6545 NEWTON AVENUE
ARVADA CO 80003

MC CURDY KENT AND
MC CURDY DANIELLE
3320 W 63RD AVE
DENVER CO 80221

LOPEZ JOSEPH G
3210 W 65TH AVE
DENVER CO 80221-2100

MC HENRY KEVIN M
PO BOX 17245
DENVER CO 80217

LOTHROP ROBERT E AND
LOTHROP MICHAEL G/GREGORY P
2260 W 104TH PL
NORTHLGENN CO 80234-3641

MC KEE PEGGY L
3205 W 64TH AVE
DENVER CO 80221-2161

MACE MARK S
3275 W 64TH AVE
DENVER CO 80221

MEDINA JOSEPH
PO BOX 211194
DENVER CO 80221-0398

MACIAS NICHOLAS ALAN AND
MACIAS JENNIFER NICOLE
6248 NEWTON CT
ARVADA CO 80003-6724

MICEK JOHN S
6540 LOWELL BLVD
DENVER CO 80221-2154

MADDEN RONALD W
3309 W 64TH AVE
DENVER CO 80221

MICHELS STEVEN L
6490 OSCEOLA ST
ARVADA CO 80003-6423

MADERA ISIDRO LAMAS AND
MADERA MARIA E
6460 NEWTON ST
ARVADA CO 80003-6448

MILLS GAIL L AND
MILLS ROBERT G
3349 W 64TH AVE
DENVER CO 80221-2163

MOLINE CHARLES E JR
3285 W 64TH AVE
DENVER CO 80221-2161

NAYLOR LAWRENCE E AND
NAYLOR MARIE M
3275 W 65TH AVE
DENVER CO 80221-2103

MOLINE CHUCK E JR
3240 W HAWTHORNE PL
DENVER CO 80221-2133

NEIGHBORHOOD INVESTMENTS II LLC
3677 W 103RD DR
WESTMINSTER CO 80031-2449

MOORE WILLIAM E
31383 FROST WAY #207
EVERGREEN CO 80439-2217

NETTROUR DAVE
PO BOX 1147
WESTMINSTER CO 80030

MORALES JAIME AND HECTOR
6335 AND 6341 JULIAN ST
DENVER CO 80221

NETTROUR DAVID R/RANEY JOY B AND
RHINEHART DONNA
2200 E 104TH AVE SUITE 105
THORNTON CO 80233

MORALES MARILU
3335 W 63RD AVE
DENVER CO 80221-1906

NETTROUR RAY
2200 E 104TH AVE SUITE 105
THORNTON CO 80233

MORRIS TIM G
PO BOX 11955
DENVER CO 80211-0955

NGUYEN LONG AND
BUI TUYEN
6450 NEWTON ST
ARVADA CO 80003-6448

MUNYON NANCY A
6308 NEWTON CT
ARVADA CO 80003-6725

NGUYEN MAI TRUST
5425 S FLAT ROCK WAY
AURORA CO 80016-5920

NAGEL FOUNDATION
1225 17TH ST STE 2440
DENVER CO 80202

NGUYEN PETER HUNG AND
NGUYEN CHRISTINA LAN
6480 NEWTON STREET
ARVADA CO 80003

NAVARRETE ALONSO AND
NAVARRETE MARIA BERTHA
3140 W HAWTHORNE PL
DENVER CO 80221

NUNEZ LORENZO S AND
NUNEZ GLORIA P
6590 MEADE CT
ARVADA CO 80003-6447

NAVARRETE OTONIEL AND
NAVARRETE ALONSO
3312 W 65TH AVE
DENVER CO 80221-2108

OLIVAS ALFREDO
14410 E 47TH AVE
DENVER CO 80239-5464

OLIVAS FRANCISCO
3520 W 65TH AVE
DENVER CO 80221-2112

RAMIREZ JOSE N
3601 W 64TH AVE
ARVADA CO 80003-6501

OLIVER JOHN D
3536 W 65TH AVE
DENVER CO 80221-2112

RAMIREZ MARTINE L
6500 NEWTON ST
ARVADA CO 80003-6449

PADILLA GILBERT AND PADILLA DEBRA
3348 W 65TH AVE
DENVER CO 80221

REDEEMER TEMPLE
3701 W 64TH AVE
ARVADA CO 80003-6503

PETERMAN BRAD
5697 MCINTYRE ST
GOLDEN CO 80403-7401

REDEEMER TEMPLE INC
3241 LOWELL BLVD
DENVER CO 80211

PHAM NHUNG THI AND
NGUYEN CUONG X
2810 W 113TH CT
DENVER CO 80234-2678

RELIABLE DEVELOPMENT LLC
2946 W SEVERN PL
DENVER CO 80204-4129

PHAM QUAN AND
LE HOA
3865 W 63RD AVE
ARVADA CO 80003-6719

RHEA BRENDA J UND 1/2 INT AND RHINEHART
DONNA C/GLENN J UND 1/2 INT JT
2200 E 104TH AVE STE 105
THORNTON CO 80233

PHAM VINH AND LUONG OANH
6560 MEADE COURT
ARVADA CO 80003

RIOPELLE SCOTT
3284 W 55TH AVE
DENVER CO 80221-6522

PIRODDI FRANK J JR AND
PIRODDI VELMA ANNE
6450 OSCEOLA ST
ARVADA CO 80003-6423

RODRIGUEZ ALONZO J
6380 LOWELL BLVD
DENVER CO 80221-1948

PISTERZI ENRICO E TRUST THE
3680 W 64TH AVE
ARVADA CO 80003-6502

RODRIGUEZ ANA A AND
RODRIGUEZ MARIA T
941 DOWNING WAY
DENVER CO 80229-5920

PRIEST JERI
3165 W 63RD AVE
DENVER CO 80221-1963

RODRIGUEZ BLAS
3535 W 65TH AVE
DENVER CO 80221-2111

RODRIGUEZ ROBERTO AND
ZAMARRIPA ROSE ALVARADO
3530 W 66TH AVE
DENVER CO 80221-2123

SENA TOMMY L AND
GARCIA DORIS M
6258 NEWTON CT
ARVADA CO 80003-6724

ROTOLO GILBERT P
6550 IRVING STREET
DENVER CO 80221

SERRATO JOSE CARRASCO
6490 NEWTON STREET
ARVADA CO 80003

RUNGE BILLIE MARIE
9405 OBERON RD
ARVADA CO 80004-5265

SHOPPMAN STEVEN C
3380 W 63RD AVE
DENVER CO 80221-1975

SACCOMANO LENA J
12633 IRVING CIRCLE
BROOMFIELD CO 80020

SMITH ERIN LOUISE AND
SMITH MARC HARRIS
6288 NEWTON CT
ARVADA CO 80003-6725

SCHLIEMAN MARC R
3849 E 135TH WAY
THORNTON CO 80241-1425

SOKOL JOHN R
136 MAPLEWOOD AVE
CLIFTON NJ 07013-1106

SCIACCA 3280 LLC
7851 APPLEBLOSSOM LN
WESTMINSTER CO 80030-4220

SOLORZANO DAMIAN G
3934 YATES ST
DENVER CO 80212-2213

SCIACCA 3290 LLC
7851 APPLEBLOSSOM LN
WESTMINSTER CO 80030-4220

SORCAR PRAFULLA AND
SORCAR SHIKHA
14565 W 58TH PL
ARVADA CO 80004-3763

SCIACCA 3295 LLC
7851 APPLEBLOSSOM LANE
WESTMINSTER CO 80030

SOTO AUGUSTO OMAR LUNA
3306 W 66TH AVE
DENVER CO 80221-2120

SEBER RAMONA
3440 W 66TH AVE
DENVER CO 80221-2121

SPEICHER LORENZ C
16359 COUNTY RD S
FT MORGAN CO 80701

SEMMEN FAMILY LIMITED
PARTNERSHIP THE
10337 MEADE LOOP
WESTMINSTER CO 80030-2446

SPERO CLYDE M AND
SPERO JUNE C
3316 W 64TH AVE
DENVER CO 80221-2164

SPERO JUNE BALISTRERI AND
SPERO CLYDE M
3316 W 64TH AVE
DENVER CO 80221-2164

THEISEN TIMOTHY R AND
THEISEN MARY A
6410 OSCEOLA ST
ARVADA CO 80003-6423

SPONSEL JESSICA L
12223 BANNOCK CIRCLE
DENVER CO 80234

THUN CAROL L
6470 OSCEOLA ST
ARVADA CO 80003-6423

STAMENKOVIC TOMISLAV
7291 INGALLS CT
ARVADA CO 80003-3233

THURSTON JACOB AND
MELBY KA DEE
6318 NEWTON CT
ARVADA CO 80003-6725

SULLIVAN ARTHUR J
9350 E GIRARD AVENUE NO. 8
DENVER CO 80231

TIFFANY RUTH GAIL
6705 MAURY DR
SAN DIEGO CA 92119-2026

SWANIS DAVID J
3529 W 65TH AVE
DENVER CO 80221-2111

TOVAR JORGE
3230 W 65TH AVE
DENVER CO 80221

TAFOYA JOSE M AND
TAFOYA SOPHIE I
3214 W 64TH AVE
WESTMINSTER CO 80030

TOWN KATHRYN GAIL
7541 TELLER ST
ARVADA CO 80003-2753

TALDER MYRA AND
TALDER DAVID
738 GOLD WAY
SUPERIOR CO 80027-6061

TREVIZO PEREZ JOSE LUIS AND
HERRERA REYES MARIA MAGDALENA
3475 W 65TH AVE
DENVER CO 80221-2174

TARIN JESUS AND
TARIN GRACIELA
6420 NEWTON STREET
ARVADA CO 80003

TRUJILLO JOHN J AND TRUJILLO ROMA J
6580 MEADE COURT
ARVADA CO 80003

TARIQ TARIQ M
3537 W 65TH AVE
DENVER CO 80221-2111

TRUJILLO JOSEPH STEPHEN AND
TRUJILLO MELANIE LEAH
6585 NEWTON STREET
ARVADA CO 80003

TENORIO PETE J AND
TENORIO ELIA
6500 OSCEOLA ST
ARVADA CO 80003

VAN SKIVER DUANE W TRUST
VAN SKIVER MARCIA V TRUST
395 KOHL ST
BROOMFIELD CO 80020-2030

VANOUEKERK GAY M
6538 LOWELL BLVD
DENVER CO 80221

WIRTH DONNA M AND
SHELTON JERRY L
6410 LOWELL BLVD
DENVER CO 80221-2152

VILLARREAL CONCEPCION
3255 WEST 65TH AVENUE
DENVER CO 80211

WISHAR ROBERT LEE AND
WISHAR THELMA LUCILLE
3260 W HAWTHORNE PL
DENVER CO 80221-2133

VOGT ARTHUR TERRY
6378 LOWELL BLVD
DENVER CO 80221-1948

WOLFORD JEFF B AND
WOLFORD LISA A
6484 NEWTON ST
ARVADA CO 80003-6448

VUE SHEE AND
LEE BEE
3394 W 66TH AVE
DENVER CO 80221

WOLLER WILLIAM T AND
D AGOSTINO DAGNE KATHY
3875 W 63RD AVE
ARVADA CO 80003-6719

WEBSTER RONALD C SR REVOCABLE
LIVING TRUST THE
PO BOX 7
WATKINS CO 80137-0007

WOLNEY ROBERT J
6544 LOWELL BLVD
DENVER CO 80221-2154

WENINGER LAURA E AND
HEFFERMAN PAUL
3360 W 63RD AVE
DENVER CO 80221

WORTH CLAY O AND
WORTH CLAUDIA R
4650 OAK ST
WHEAT RIDGE CO 80033-2648

WEST 64TH INVESTMENTS LLC
155 S MADISON ST STE 326
DENVER CO 80209

YANG TXHENG AND
NGIALAH DRHEW
451 N EVELYN AVE
FRESNO CA 93727-3314

WEST 64TH INVESTMENTS LLC
155 S MADISON ST STE 326
DENVER CO 80209-3069

YANG XAO
1170 LILAC ST
BROOMFIELD CO 80020-1042

WILKINS MELINDA
6575 IRVING ST
DENVER CO 80221

YODER BRUCE AND
YODER MARY KAY
6421 IRVING ST
DENVER CO 80221

WILLETT TAMMY AND
WILLETT TRACY H WILLIAMS
6338 NEWTON CT
ARVADA CO 80003-6725

Baker Apartments

PRC2016-00007

August 29, 2017

Board of County Commissioners

Community and Economic Development

Case Manager: Emily Collins



Requests

- 1) Preliminary Development Plan Amendment
- 2) Final Development Plan for a multi-family residential development
- 3) Preliminary Plat Amendment and Major Subdivision Final Plat
- 4) Subdivision Improvements Agreement

Background

- Site was previously Baker Elementary School
 - Demolished in 2015
- December 8, 2015:
 - BOCC approved rezone, PDP, and preliminary plat
 - 142 units in four buildings



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

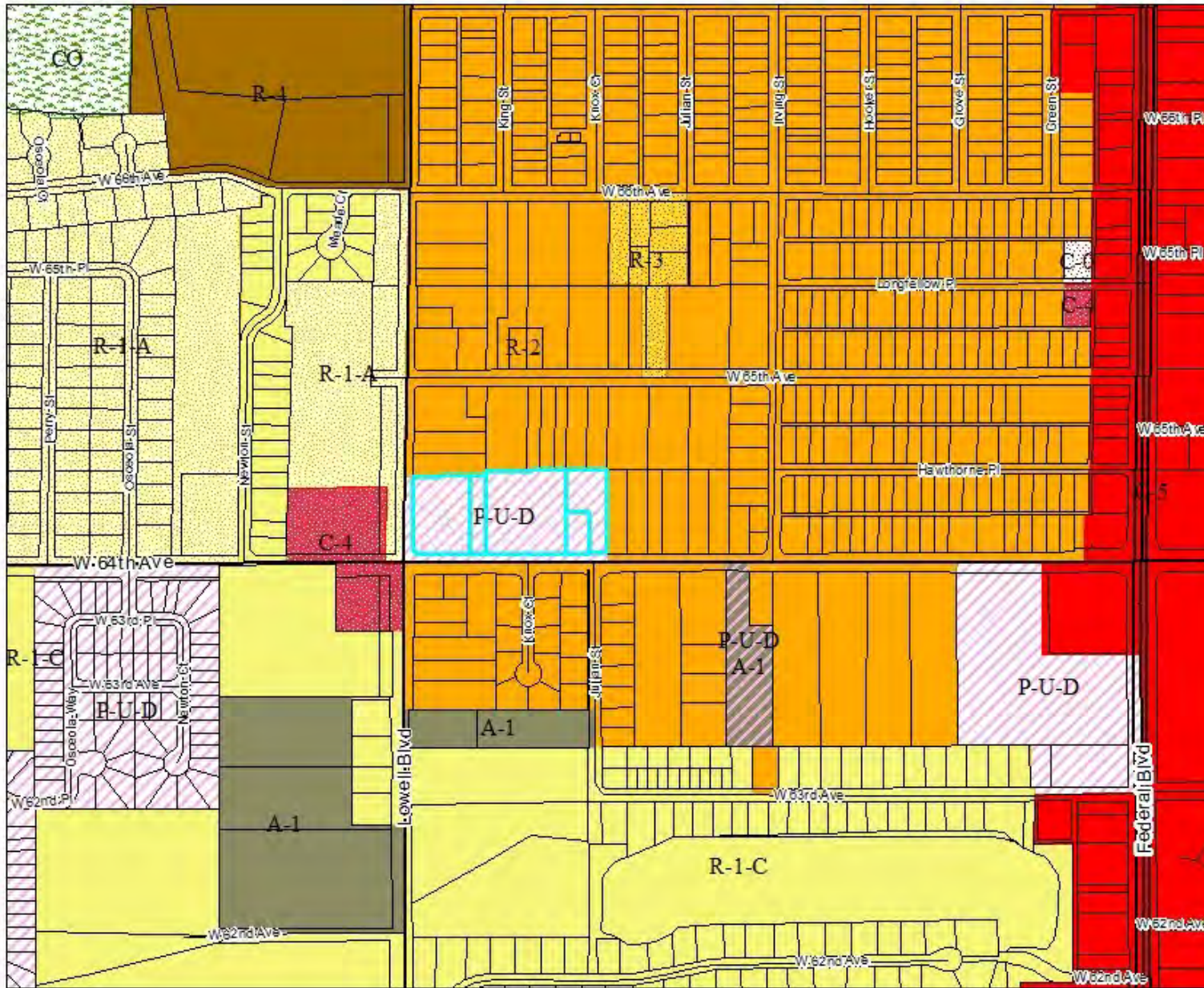
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- ⊠ Airport Noise Overlay

Baker Apartments
PRC2016-00007

N

 For display purposes only.

ADAMS COUNTY
ESTABLISHED 1858
 This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



PUD

- Multi-family residential
- Associated community amenities

Baker Apartments
PRC2016-00007

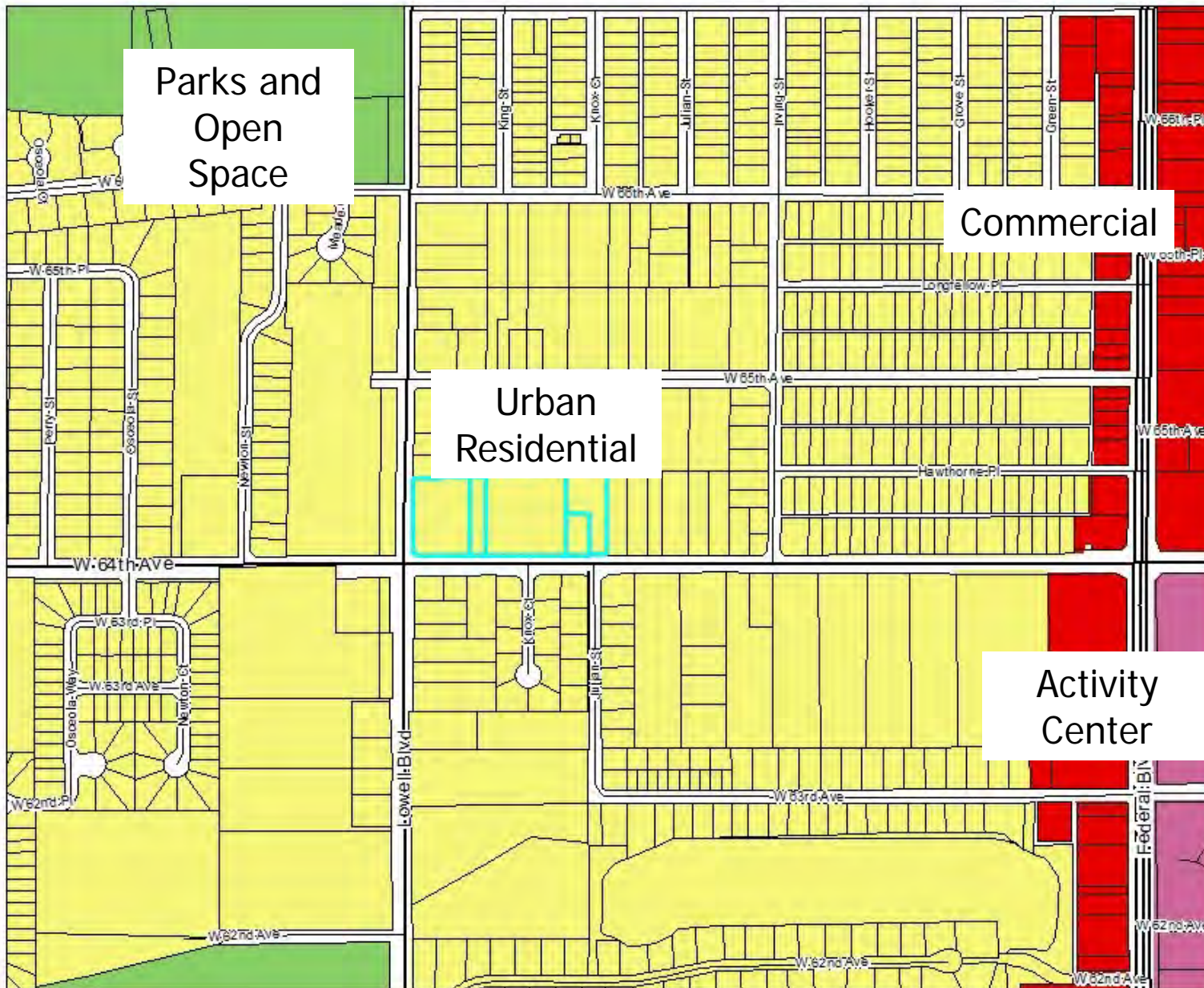


For display purposes only.



ADAMS COUNTY
 COLORADO

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



Parks and
Open
Space

Urban
Residential

Commercial

Activity
Center

Urban Residential

- Single and multiple family

Baker Apartments
PRC2016-00007



For display purposes only.

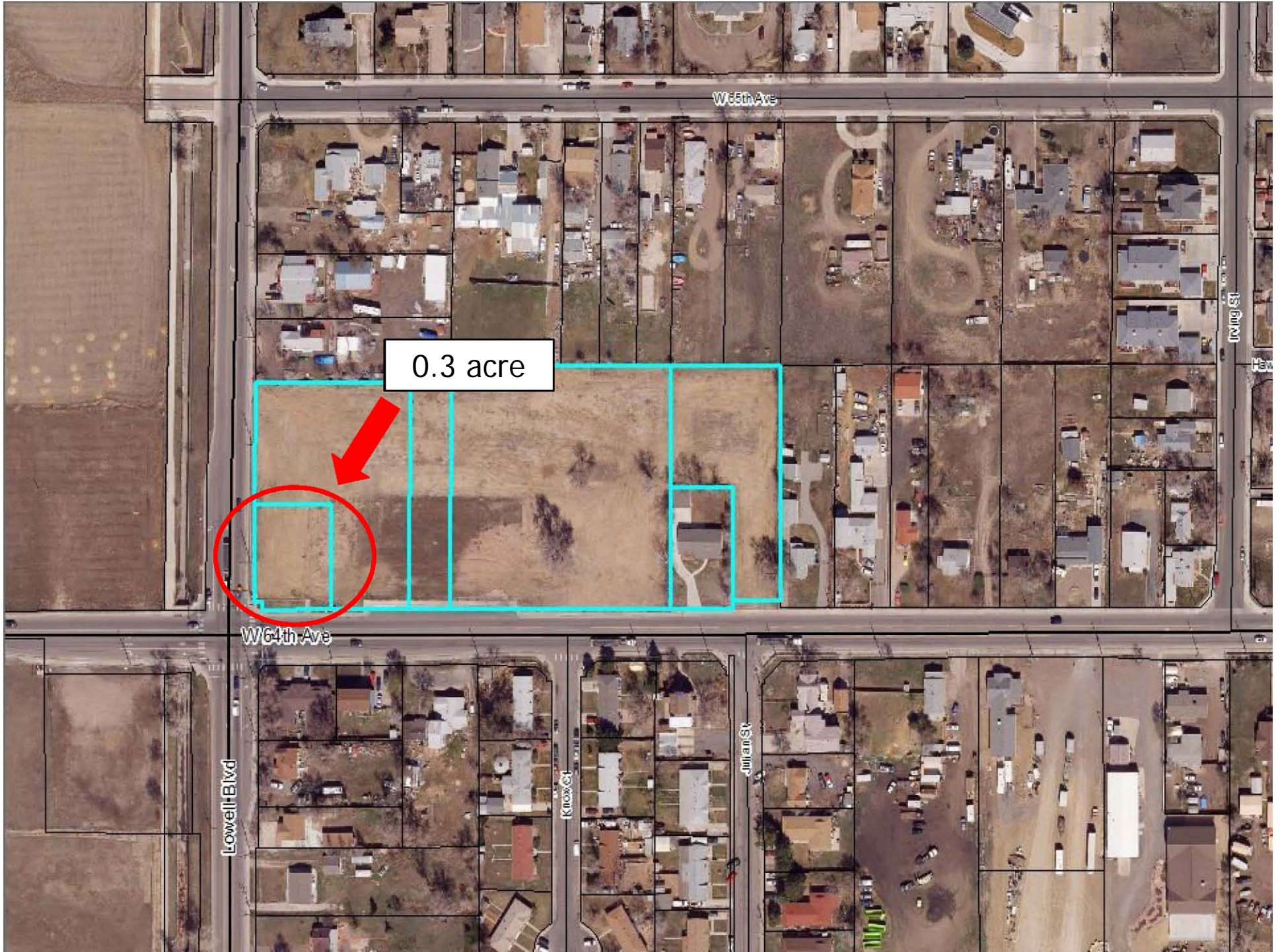


This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.

Preliminary Development Plan

Section 2-02-10-03

- PDP is one of two approvals to establish PUD zone district
- Vested right to develop, does not allow construction
- Requesting amendment to change approved boundaries
 - Inclusion of 0.3 acres
 - Relocation of on-site drainage
 - Expansion of community amenities (play area)



0.3 acre

W64th Ave

W65th Ave

Lowell Blvd

Knox St

Julian St

Lowell St

Lowell St

Final Development Plan

Section 2-02-10-04

- FDP is final, site specific plan approval
 - Establishes land uses, layout, landscape, etc.
 - Includes final plat and development agreement
- 142 units in 4 buildings
 - Three stories with maximum 48 feet
 - Earth tone color scheme
 - Setbacks include:
 - 100 ft from Lowell and W. 64th
 - 15 ft from east
 - 20 ft from north

Final Development Plan



Improvements

- Curb, gutter, sidewalk
- Right-turn lane onto Lowell Blvd.
- Re-locate traffic signal

Parking

- 249 spaces
- 1.75 spaces/unit
- Bike racks

Final Development Plan



SITE COVERAGE & OPEN SPACE TABULATIONS

DESCRIPTION	REQUIRED	
	AREA (AC.)	SQ. FT.
TOTAL PROJECT AREA	4.636	201,963
OPEN SPACE REQUIRED (30%)	1.391	60,586
ACTIVE OPEN SPACE REQUIRED (25% OF TOTAL PROJECT OPEN SPACE)	0.348	15,159

DESCRIPTION	PROVIDED		
	AREA (AC.)	SQ. FT.	% OF PROJECT AREA
BUILDING	1.133	49,346	24%
PARKING LOT	1.885	82,111	41%
OPEN SPACE	1.618	70,496	35% (30% MIN.)
ACTIVE OPEN SPACE	0.566	24,665	% OF OPEN SPACE 35% (25% MIN.)

Amended Preliminary/ Final Plat

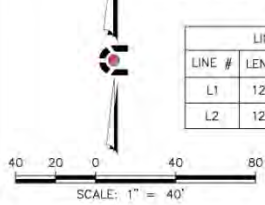
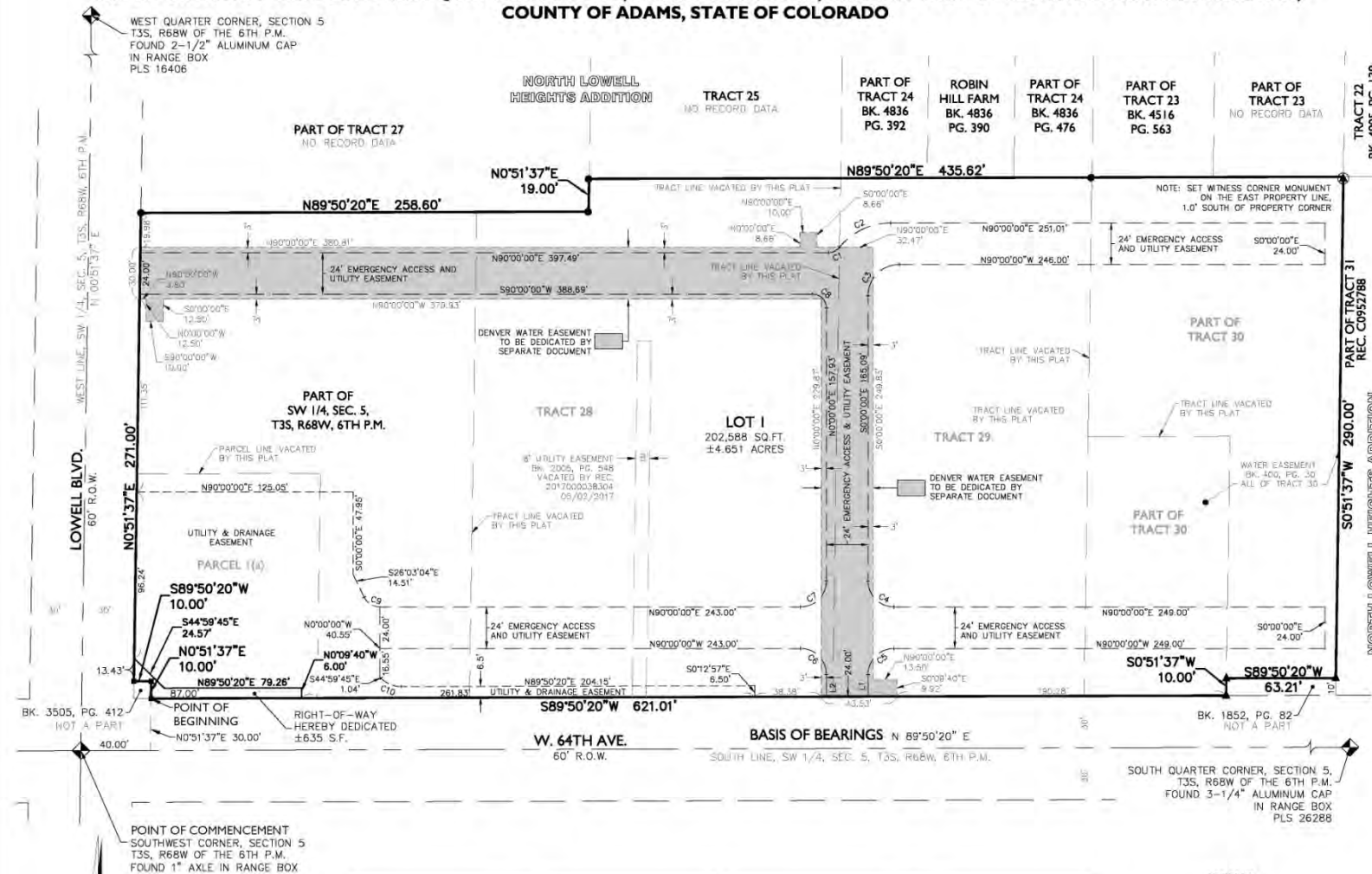
Section 2-02-17-04

- Preliminary plat approved for 4.3 acres
 - Inclusion of 0.3 acres
- Final plat for 4.6 acres
- Conforms to all subdivision design standards
 - Drainage
 - Water and sewer
 - Public infrastructure
 - Development agreement

BAKER SCHOOL APARTMENTS AMENDED PRELIMINARY/FINAL PLAT

PRC2016-00007

TRACTS 28, 29 & A PART OF TRACT 30, NORTH LOWELL HEIGHTS ADDITION,
AND A PORTION OF THE SOUTHWEST QUARTER SECTION 5, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	12.86	S0° 00' 00"E
L2	12.93	N0° 00' 00"E

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	7.14	8.00	51°10'10"	6.91	N64°24'55"E
C2	33.94	38.00	51°10'10"	32.82	N64°24'55"E
C3	28.27	18.00	90°00'00"	25.46	S45°00'00"W
C4	23.56	15.00	90°00'00"	21.21	S45°00'00"E
C5	23.56	15.00	90°00'00"	21.21	S45°00'00"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C6	23.56	15.00	90°00'00"	21.21	N45°00'00"W
C7	23.56	15.00	90°00'00"	21.21	N45°00'00"E
C8	12.57	8.00	90°00'00"	11.31	N45°00'00"W
C9	11.16	10.00	63°56'56"	10.59	S68°01'32"E
C10	13.01	16.50	45°09'55"	12.67	S67°34'43"E

- LEGEND**
- ▲ SET #5 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 38151"
 - ▲ SET #5 REBAR WITH 2" ALUMINUM CAP STAMPED "1" W.C. SOUTH PLS 38151"
 - FOUND REBAR WITH 1.5" ALUMINUM CAP STAMPED "PLS 16406"
 - FOUND NAIL AND 1" BRASS TAG STAMPED "PLS 7276"
 - ◊ FOUND SECTION CORNER, AS NOTED

DRAWN BY: CHLOE
CHECKED BY: JAC
DATE: 05/11/16
SCALE: 1" = 40'

CORE CONSULTANTS

CIVIL ENGINEERING
LAND SURVEYING
NATURAL RESOURCES
PLANNING
303.500.4444
1800 W. Littleton Pk., Ste. 109
Littleton, CO 80120

**BAKER SCHOOL APARTMENTS
AMENDED PRELIMINARY/FINAL PLAT
SW 1/4, SEC. 5, T. 3 S., R. 68 W., 6th PM
ADAMS COUNTY, COLORADO**

SHEET
2 OF 2

Referral Comments

- No concerns:
 - CDOT, Geological Survey, and Division of Water
- Development Services:
 - Approved construction and drainage plans
 - No permits until collateral submitted
- Property Owners within 1,000 ft:
 - 2 people expressed support , concerns with architecture
 - 1 person concerned with trash and weeds
 - 1 person concerned with lighting and height of buildings

Notifications Sent	Comments Received
239	4

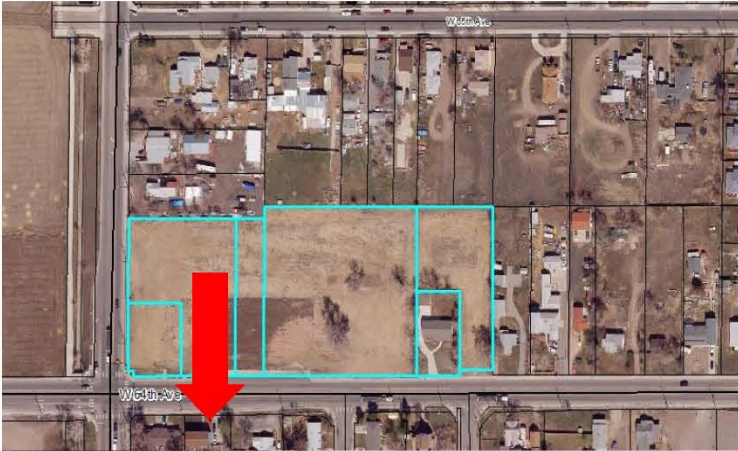
West on 64th Ave.



NE on 64th Ave.



South on 64th Ave.



North on 64th Ave.



South on 64th Ave.



SW on 64th Ave.



North on Lowell Blvd.



South on Lowell Blvd.



PC UPDATE

- Considered on August 10, 2017
 - Recommended unanimous approval
 - Commended applicant for acquiring additional land
- Discussion
 - Dog park maintenance
 - Lighting plan
- Public Testimony:
 - Improve drainage along W. 64th Ave.

Recommendation

Staff recommends **Approval** based on 27 Findings-of Fact, **1 Condition**, and 1 note.

Conditions:

- 1.** No construction or building permits shall be issued until all required collateral associated with the SIA is provided and approved by County staff.

Open Space

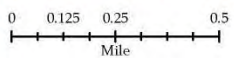
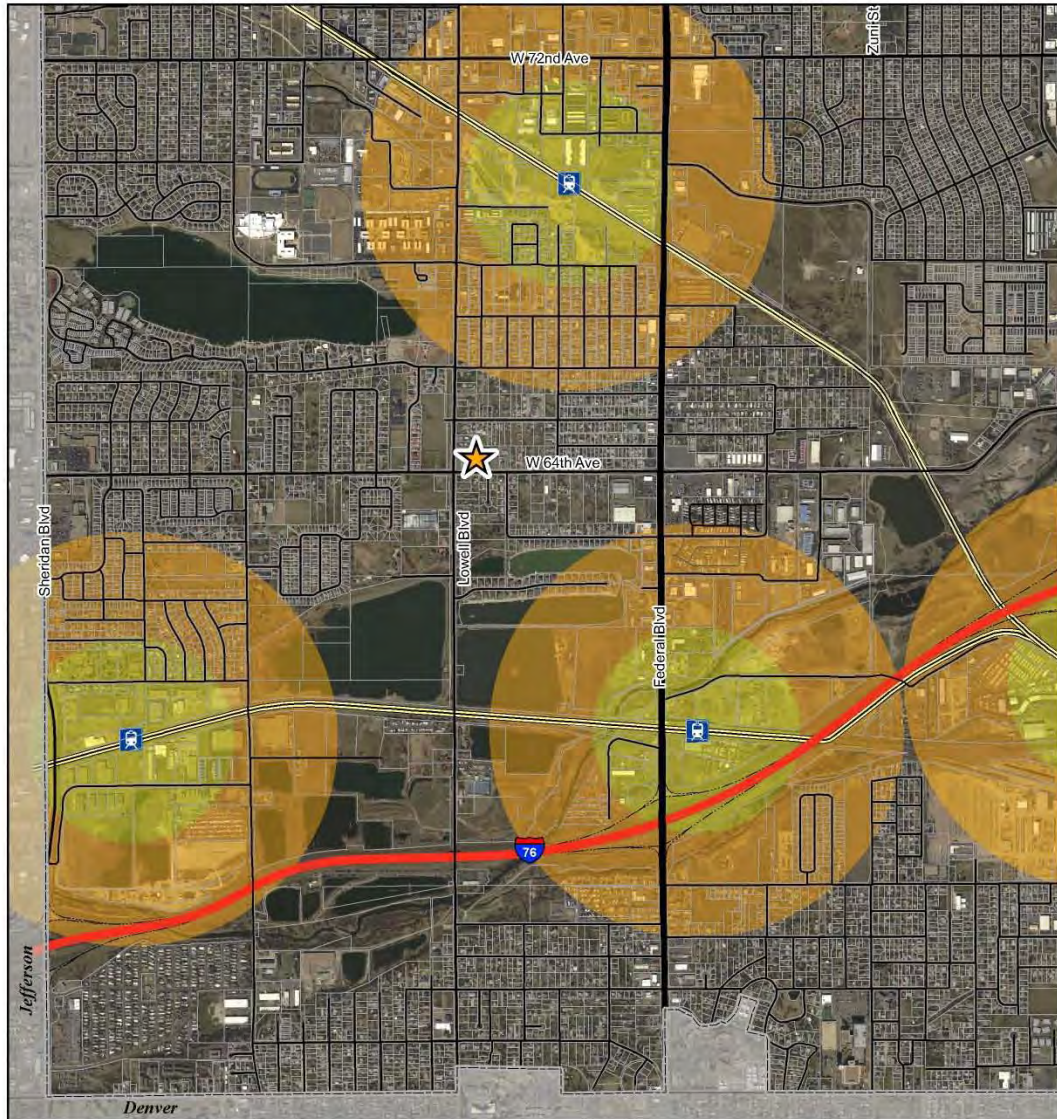








Open Space



Open Space





-  Baker Elementary
-  FasTrack Stations
-  FasTracks
- FasTrack Station Buffers**
-  1/2 Mile
-  1/4 Mile
-  Adams County Boundary

Baker Maps
RTD FasTrack Stations



Adams County Business Solutions Group
4430 South Adams County Parkway, 1st Floor
Brighton, CO 80601 Tel: 720.523.6800
www.adcogov.org/gis
Date: 11/10/2015



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: RCU2017-00021

CASE NAME: City of Westminster Lift Station

TABLE OF CONTENTS

EXHIBIT 1 – BOCC Staff Report

EXHIBIT 2- Maps

- 2.1 Aerial Map
- 2.2 Zoning Map
- 2.3 Simple Map
- 2.4 Comprehensive Plan

EXHIBIT 3- Applicant Information

- 3.1 Applicant Written Explanation
- 3.2 Applicant Site Plan
- 3.3 City of Westminster Lift Station Map
- 3.4 Applicant Response to Comments
- 3.5 Executed Easements
- 3.6 CDPHE Site Approval
- 3.7 Metro Wastewater Site Approval

EXHIBIT 4- Referral Comments

- 4.1 Referral Comments (Development Services)
- 4.2 Referral Comments (Crestview Water and Sanitation)
- 4.3 Referral Comments (Xcel)
- 4.4 Referral Comments (Tri-County Health)
- 4.5 Referral Comments (CDOT)

EXHIBIT 5- Citizen Comments

- 5.1 Gould

EXHIBIT 6- Associated Case Materials

- 6.1 Request for Comments
- 6.2 Public Hearing Notice
- 6.3 Newspaper Publication
- 6.4 Certificate of Posting
- 6.5 Referral Agency Labels
- 6.6 Property Owner Labels



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT
STAFF REPORT**

Board of County Commissioners

August 29, 2017

Exhibit 1-Staff Report

CASE No.: RCU2017-00021	CASE NAME: City of Westminster Lift Station
Owner's Name:	Westminster Public Schools
Applicant's Name:	City of Westminster-Department of Public Works (Julie Koehler)
Applicant's Address:	4800 W. 92 nd Ave., Westminster, CO 80031
Location of Request:	2401 W. 80 th Avenue
Nature of Request:	Conditional Use Permit to allow replacement of the City of Westminster's sewage pumping station (public service use) located at the northwestern corner of 80th Avenue and Zuni Street
Zone District:	Residential Single-Family (R-1-C)
Site Size:	Approximately 4,800 square feet
Proposed Uses:	Utility (Sewage Pump Station)
Existing Use:	Institutional (School)
Hearing Date(s):	PC: August 10, 2017/ 6:00 pm
	BOCC: August 29, 2017/ 9:30 am
	Report Date: August 16, 2017
Case Manager:	Emily Collins
Staff Recommendation:	APPROVAL with 8 findings-of-fact, 5 conditions, and 1 note

SUMMARY OF PREVIOUS APPLICATIONS

On February 28, 2017, the applicant attended a conceptual review meeting to discuss the proposed sewage lift station replacement project with County staff. The existing lift station was constructed in 1987 and is in the jurisdiction of the City of Westminster. The proposed location, which is approximately 400 feet away from the current location, is under the jurisdiction of the County.

SUMMARY OF APPLICATION

Background:

The City of Westminster currently owns and operates a sewage pumping station, also known as a lift station, at W. 80th Avenue and Clay Street. The subject request is to replace this lift station on an adjacent property, approximately 400 feet east of the existing site. According to the applicant, the existing lift station was constructed in 1987 to serve 218 single-family homes in the Shadow Ridge Subdivision in the City of Westminster. This lift station is at the end of its useful life and requires replacement in order to prevent equipment failures and sewer back-ups that could be detrimental to those served. The subject request will cover approximately 4,800 square feet of land area and located on the southwestern corner of Westminster Public School's Ranum Middle School parking lot (See Exhibit 3.2). Both the City and School District have agreed on a temporary construction easement as well as a permanent easement to install, operate, maintain, and repair the proposed lift station on the property.

Overall, the City owns and operates six wastewater lift stations that are located throughout the City. These lift stations collect sewage that flows by gravity to a low point and pumps the sewage to a larger collection pipe where it is carried to a wastewater treatment facility. The two main wastewater treatment facilities are the Big Dry Creek Wastewater Treatment Plant and the Metro Wastewater Reclamation District's Central Plant. In 2011, the City completed an evaluation of all their lift stations and developed a list of priorities for recommended improvements. Projects completed from the list include replacement of the 87th and Wadsworth Lift Station, repairs to the North Huron Lift Station, and rehabilitation of the lift station adjacent to the intersection of 95th and Federal Boulevard.

Development Standards and Regulations Requirements:

The subject property is zoned Residential Single-Family (R-1-C). This district is intended to provide an exclusive single-family district for smaller home sites. Per Section 3-13-04-02 of the County's Development Standards and Regulations, a conditional use permit is required for development of a public service utility in the R-1-C zoned district.

Conditional Use Permit:

Section 2-02-08-06 of the County's Development Standards and Regulations outlines the criteria for approval of a conditional use permit. These include compliance with the County's Development Standards and Regulations; compatibility with the surrounding area, the request must be permitted in the zone district, and must address all off-site impacts. In addition, the site must be functional and suitable for the proposed use.

The subject request will be compatible with the surrounding area, and not be detrimental to the health, safety, and welfare of the inhabitants of the area. The lift station facility will be designed to mitigate potential nuisances. According to the applicant, the lift station infrastructure will consist of a wet well with pumps and a valve vault. In addition, above ground infrastructure associated with the station includes an electrical panel to control the pumps, an emergency backup generator with an enclosure system for noise mitigation, a carbon filter system to control odor and a decorative wrought iron fence on the perimeter of the 4,800 square feet site that

provides security for unauthorized entrance. Further, the mechanical components of the subject lift station, including the pumps, have the same capacity as the existing lift station to be replaced.

Traffic generated from the use will be limited to quarterly cleaning and repair that occurs approximately four hours per visit and a weekly routine maintenance that also occur about one hour per visit. All vehicles used for maintenance will be on the school property and will not impede traffic on the adjacent right-of-way. As part of construction, one existing access point on the east side of the school's property will be removed and relocated approximately 225 feet west of the property, adjacent to the lift station lease area (See exhibit 3.2). In addition, the City will install a new 20 foot driveway access with ADA compliance ramps and sidewalks at the relocated access point.

As part of the proposed request, the applicant reviewed parking requirements for the existing Middle School. Currently, there are 297 parking spaces on the school's property. Per Section 4-12-04-03 of the County's Development Standards and Regulations, 217 parking spaces are required for the school. Location of the lift station would eliminate 10 spaces, or 3.3% of the existing parking spaces. However, the remaining number of parking spaces is adequate and conforms to parking requirements outlined in the County's Development Standards and Regulations. The City has also completed permitting requirements with the Colorado Department of Health and Environment (CDPHE). The CDPHE application documents were reviewed also by Adams County, Tri-County Health Department, and Metro Wastewater Reclamation District.

Per Section 4-16 of the Development Standards and Regulations, a minimum of ten percent of landscaping is required of all new development. The subject lease area for construction of the proposed lift station is 4,800 square feet. Based on the landscaping requirements, approximately 480 square feet of landscaping is required for the proposed development. In addition, per Section 4-16-18-01 of the County's Development Standards, a type "A" buffer is required along the eastern, western and northern boundaries of the lease area. However, because of potential intrusion of roots to damage the facility, the applicant is requesting to not install landscaping on the property. The Planning Commission considered this request and recommended that the applicant should be required to install the equivalent of the required landscaping on a portion of the school site property.

Future Land Use Designation/Comprehensive Plan:

The subject property is designated as Parks and Open Space in the County's future land use map. Per Chapter 5 of the Adams County Comprehensive Plan, Parks and Open Space areas are intended to provide areas for public parks, trails, and open space. The primary objectives are to provide land for recreation and enjoyment, provide areas for wildlife, and preserve especially sensitive, beautiful, or historic areas.

A majority of the surrounding properties to the north and west are under the jurisdiction of the City of Westminster. The properties to the south and east of the site are designated as Urban Residential future land use. A majority of these surrounding properties are developed with single-family residential uses. Westminster Public School-Metz Elementary is located east of the subject property.

The property is also located in the County’s Southwest Framework plan. This plan was adopted as an amendment to the County’s Comprehensive Plan, and outlines existing conditions and direction for future planning efforts in certain sections of the County. Specifically, the Framework Plan identifies the southwest portion of the County as containing most of the older, more urbanized areas of the County as well as a wide range and mix of land uses. The Framework Plan identifies policies and strategies outlined in the County’s Comprehensive Plan, such as maintaining and enhancing the quality of existing residential neighborhoods and improving the Southwest area’s role as an important gateway to the County.

The subject request conforms to goals of the Comprehensive Plan and the Southwest Framework Plan. The request is to replace an aging sewage lift station infrastructure to prevent equipment failures, sewer back-ups, and impacts to City customers. The project is a necessary upgrade to maintaining the functions of the overall wastewater system that support the surrounding residential neighborhoods.

Site Characteristic:

The subject property is located at the northeastern intersection of Zuni St. and W. 80th Ave. Currently, the site is developed as Westminster Public Schools-Ranum Middle School. The school was built in 1962 and includes multiple classroom buildings, associated staff parking lot, and various recreation areas and sports fields such as a running track, basketball courts, and baseball field. The area proposed for the lift station is located on the southwestern corner of the property, and consists of approximately 4,800 square feet of land area.

Surrounding Zoning Designations and Existing Use Activity:

Northwest City of Westminster Single Family	North City of Westminster Multiple Family	Northeast R-1-C Single Family
West City of Westminster Vacant	Subject Property R-1-C Institutional (School)	East R-1-C Single Family
Southwest R-1-C Single Family	South R-1-C Single Family	Southeast R-1-C Single Family

Compatibility with the Surrounding Land Uses:

A majority of the surrounding properties to the north, south, east, and west of the subject property are developed as single-family and multi-family residential. The property to the northeast is developed as Metz Elementary School. The proposed development is necessary to support the existing Shadow Ridge Subdivision located adjacent to the site. In addition, according to the applicant, the system will be designed to mitigate any potential noise, odor, lights pollution that may be associated with the project. Further, the site will be surrounded by ornamental fencing to provide visual aesthetics and security.

Planning Commission Update:

The Planning Commission (PC) considered this case on August 10, 2017 and unanimously recommended approval of the request. At the public hearing, the PC inquired about the condition of the existing parking lot on the school's property and if it conforms to the County's Development Standards. Staff informed the PC that the parking lots conforms to the County's Development Standards, and the removal of ten parking spaces will not create non-compliance as the existing parking spaces exceed the number required for the school site. Currently, a total of 217 parking spaces are required for the school site.

The PC also discussed landscaping requirements on the site and recommended a condition of approval to require the applicant to coordinate with the school district and locate equivalent of the total area of landscaping required for the proposed site on a different portion of the existing school's property.

One neighbor spoke at the public hearing to request additional information on the subject request. This neighbor specifically requested information on fence designs and ensuring uniformity of any new fence to match an existing chain link fence on the southern property line of the site. The resident also inquired about the number and location of access points on the property, and parking restrictions along W. 80th Avenue. Staff informed the resident that there will be no additional access point with the request, except relocation of the existing access on the west to the eastern section of the property. Regarding fencing, staff informed the resident that there is an existing chain link fence along W. 80th Ave and the perimeter of the parking lot. The Planning Commission recommended a condition of approval for the applicant to coordinate with the School District and construct a fence that is of the same style along the entire length of W. 80th Avenue. Regarding parking restrictions on W. 80th Avenue, staff is working with the property owner and the Department of Public Works to address this question.

Referral Comments:

Adams County Development Review Engineering reviewed the subject request and informed the applicant that a permit shall be required to relocate the existing access to the east of the property.

Crestview Water and Sanitation, Xcel Energy, Tri-County Health Department, and Colorado Department of Transportation reviewed the request and had no concerns.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff and PC recommends approval of this request with 8 findings-of-fact, 5 conditions, and 1 note:

RECOMMENDED FINDINGS OF FACT

1. The conditional use is permitted in the applicable zone district.
2. The conditional use is consistent with the purposes of these standards and regulations.

3. The conditional use will comply with the requirements of these standards and regulations including, but not limited to, all applicable performance standards.
4. The conditional use is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has addressed all off-site impacts.
6. The site is suitable for the conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. Sewer, water, storm water drainage, fire protection, police protection, and roads are to be available and adequate to serve the needs of the conditional use as designed and proposed.

Conditions of Approval:

1. The applicant shall obtain a building permit for the sewage lift station and fences, as well as all necessary access permits for proposed changes on the site.
2. All above-ground infrastructures, excluding utility transformers, shall be setback a minimum of 20 feet from W. 80th Avenue.
3. This conditional use permit shall expire on August 29, 2047, unless a renewal is obtained from the Board of County Commissioners prior to the expiration date.
4. The applicant shall coordinate with Westminster Public Schools to find and locate equivalent landscaping (based on 4,800 square foot site area) that is required for the subject request on a section of the school property. This landscape plan shall be submitted with building permits for the lift station.
5. The applicant shall coordinate with Westminster Public Schools to install a wrought iron fence along the entire length of the parking lot on W. 80th Avenue. A building permit, including site plan and elevations, shall be required for the fence.

Notes to the Applicant:

1. All applicable building, zoning, health, engineering, and fire codes shall be adhered to with this request.

CITIZEN COMMENTS

Notifications Sent	Comments Received
833	1

Notices were sent to all property owners within 1,000 foot radius of the site. One person commented on the request expressing concerns about potential impacts of the lift station to the surrounding neighborhood. As described in the report and on the application documents, the majority of the proposed infrastructure will be installed in the road right-of-way or below grade in the parking lot, the system will be designed to mitigate potential nuisances that could emanate from the site, and the site will be surrounded by ornamental fencing for visual mitigation and to provide security. In addition, the lift station will generate minimal traffic with quarterly cleaning that last for approximately four hours per visit. Further, all vehicles will be on the school property and will not impede traffic on the adjacent right-of-way.

REFERRAL AGENCY COMMENTS

Responding with Concerns:

None

Responding without Concerns:

Crestview Water and Sanitation

CDOT

Tri-County Health Department

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Fire Protection District

Colorado Department of Public Health and Environment

Century Link

Comcast

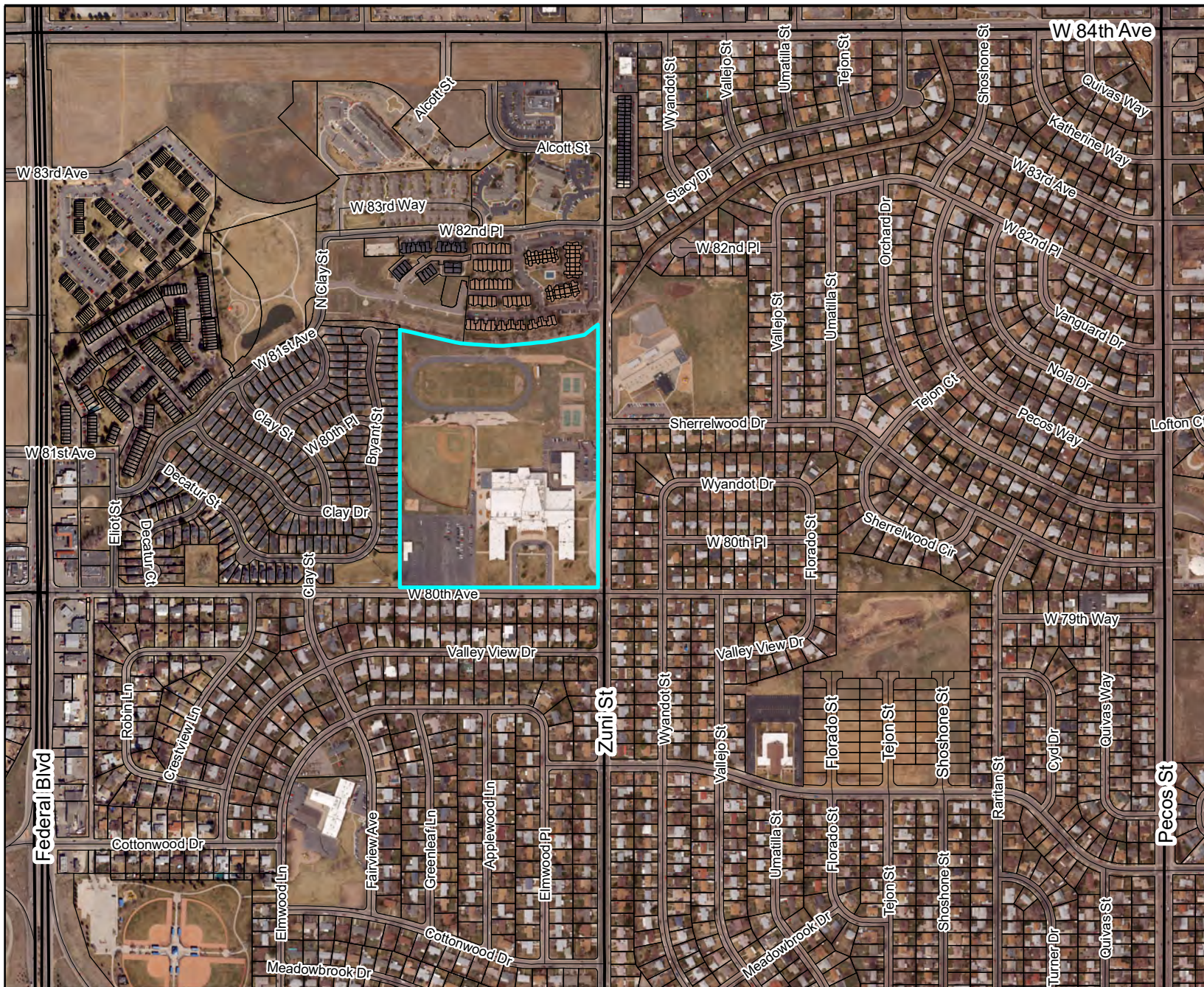
Hyland Hills Park and Recreation District

Metro Wastewater Reclamation

































RTD

Westminster Fire Department

Westminster School District #50



LEGEND

-  Special Zoning Conditions
-  Section Numbers
-  Railroad
-  Major Water
-  Zoning Line
-  Sections
- Zoning Districts**
-  A-1
-  A-2
-  A-3
-  R-E
-  R-1-A
-  R-1-C
-  R-2
-  R-3
-  R-4
-  M-H
-  C-0
-  C-1
-  C-2
-  C-3
-  C-4
-  C-5
-  I-1
-  I-2
-  I-3
-  CO
-  PL
-  AV
-  DIA
-  P-U-D
-  P-U-D(P)
-  Airport Noise Overlay

City of Westminster Lift Station

RCU2017-00021

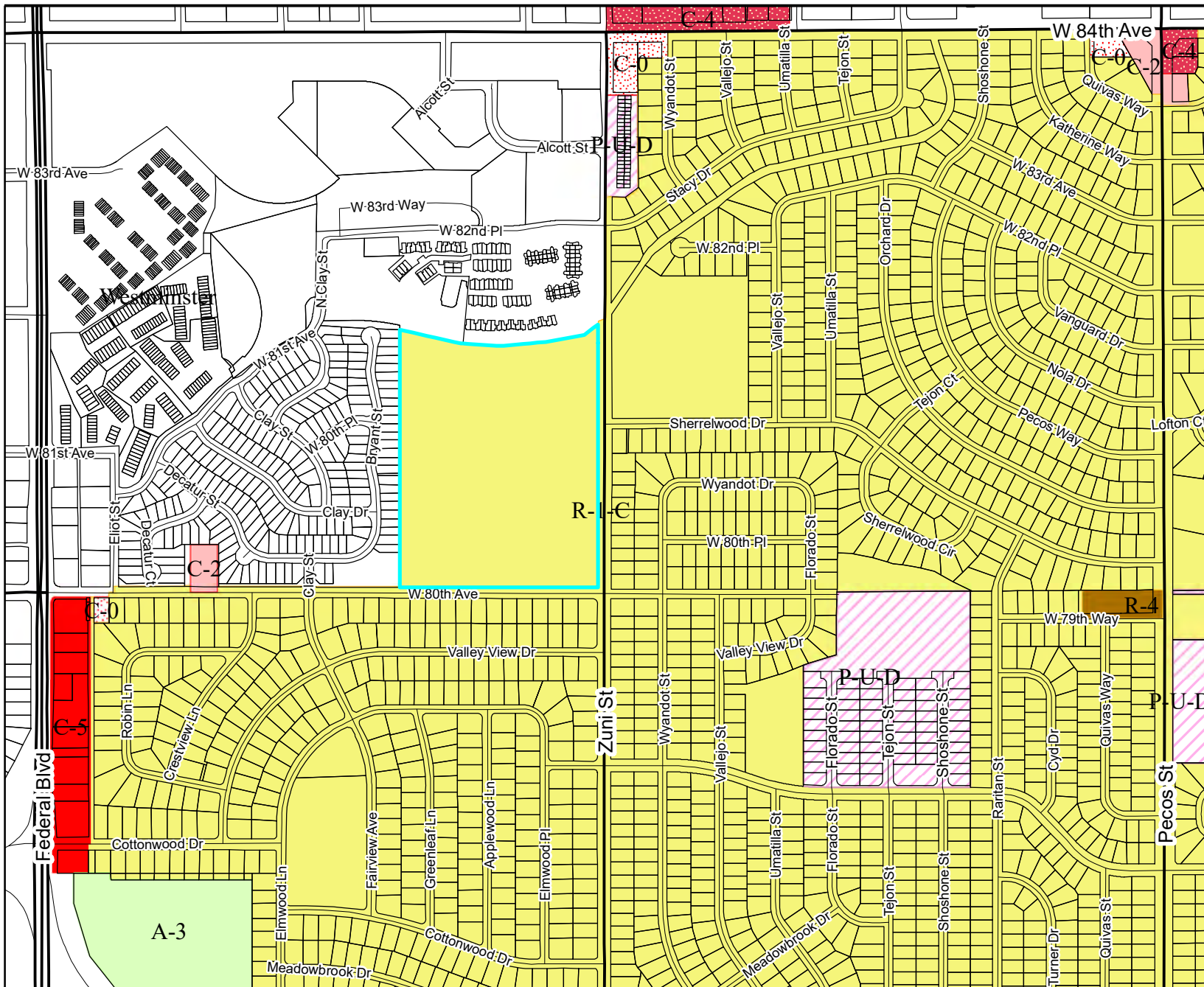
Exhibit 2.1



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Airport Noise Overlay

City of Westminster Lift Station
RCU2017-00021

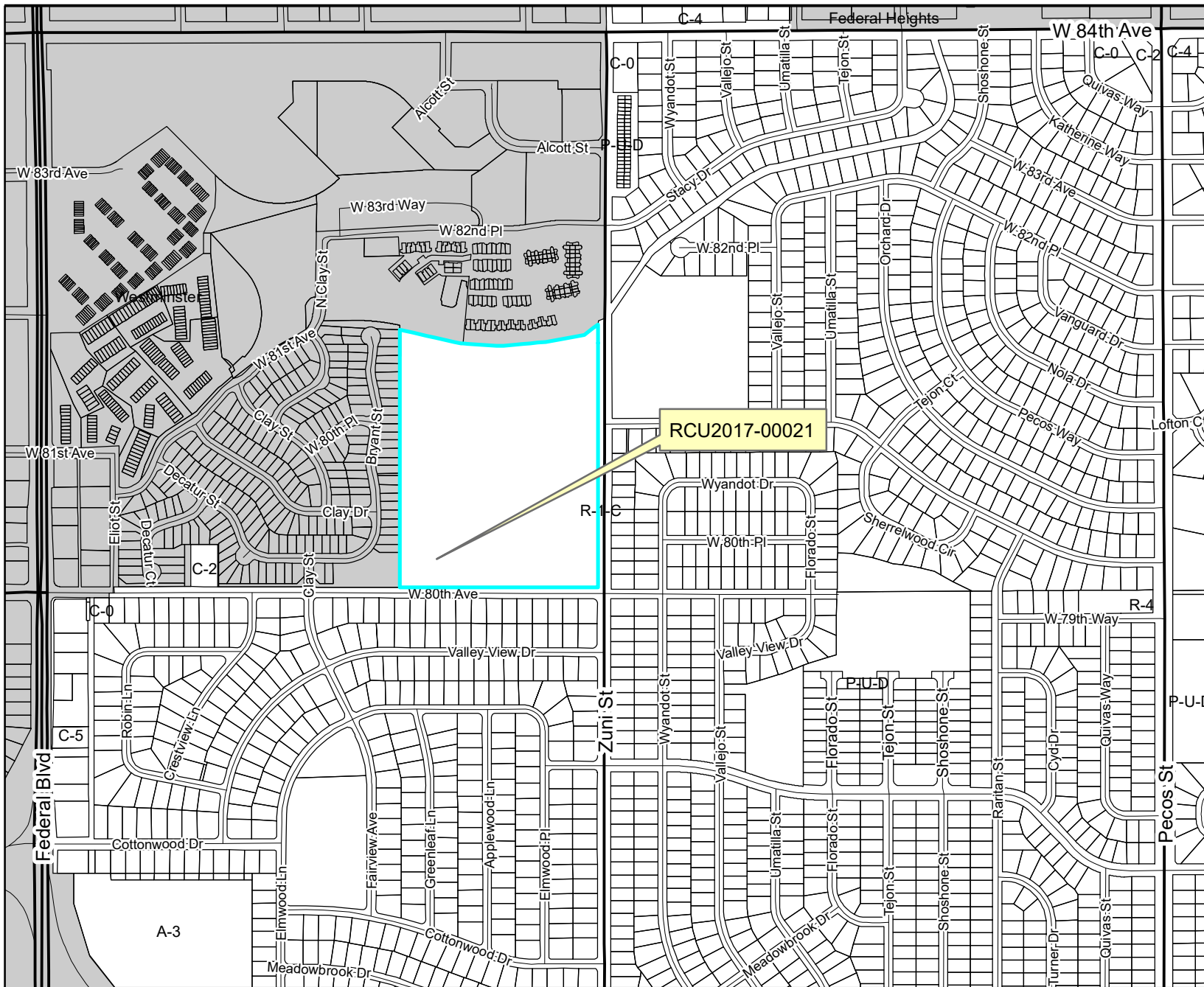
Exhibit 2.2



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Airport Noise Overlay

City of Westminster Lift Station

RCU2017-00021

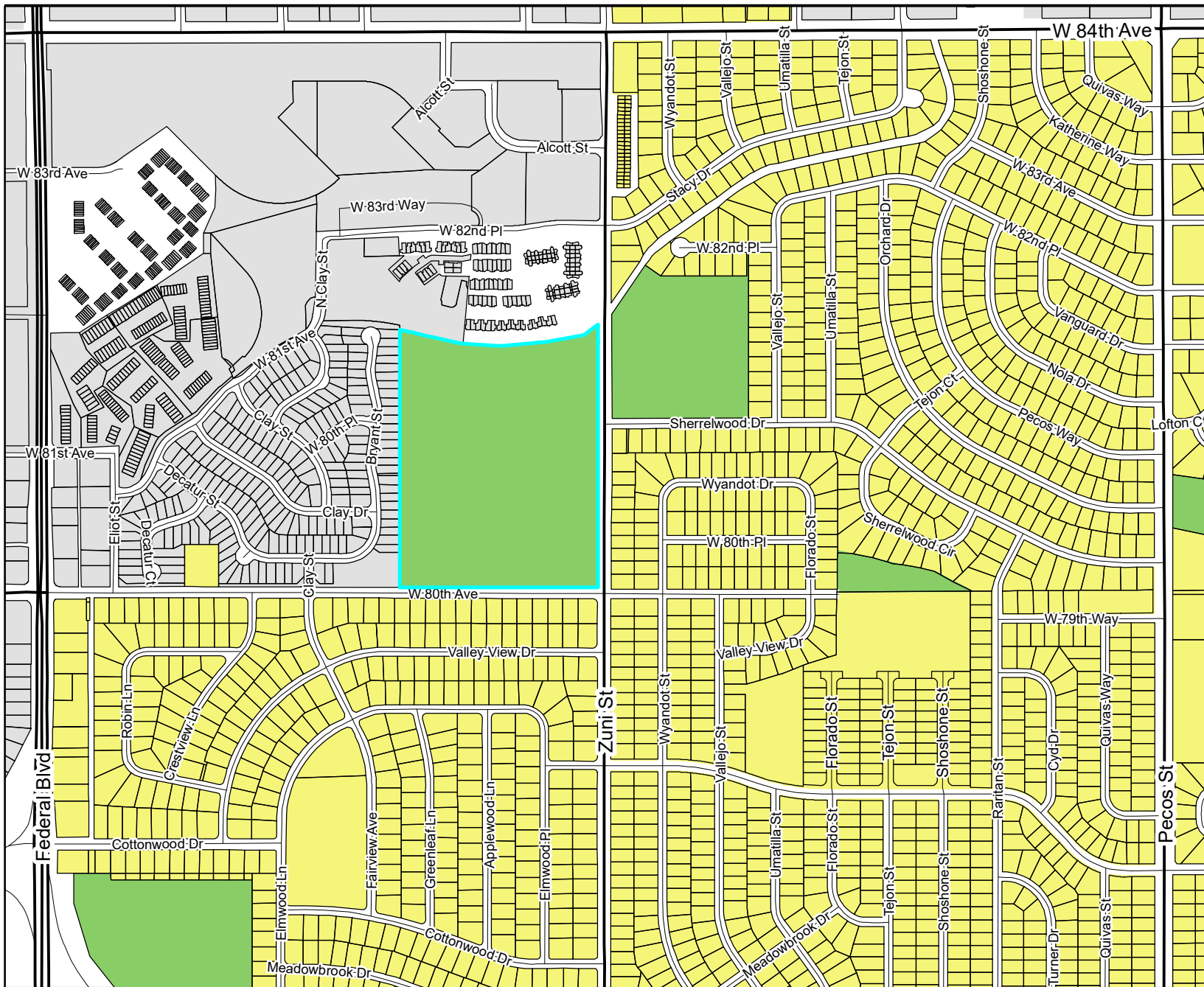
Exhibit 2.3



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



LEGEND

- ★ Special Zoning Conditions
- 3 Section Numbers
- Railroad
- Major Water
- Zoning Line
- Sections
- Zoning Districts**
- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- ⊞ Airport Noise Overlay

City of Westminster Lift Station
RCU2017-00021

Exhibit 2.4



For display purposes only.



This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

80th Avenue Lift Station-Explanation of the Project

The City of Westminster (City) owns and maintains a sewage pumping station located at West 80th Avenue and Clay Street in the Little Dry Creek drainage basin. A sewage pumping station is also called a lift station as it collects sewage that flows by gravity to a low point and pumps the sewage to a larger sewage collection pipe where it is carried to a wastewater treatment facility.

The existing lift station was constructed in 1987 to serve 218 single family homes in the Shadow Ridge subdivision. Replacing the 80th and Clay Lift Station is a priority for the City because its current components are 30 years old and at the end of their useful life. The service area for the new lift station will remain the same as the service area for the existing lift station. No additional flow for future growth is anticipated.

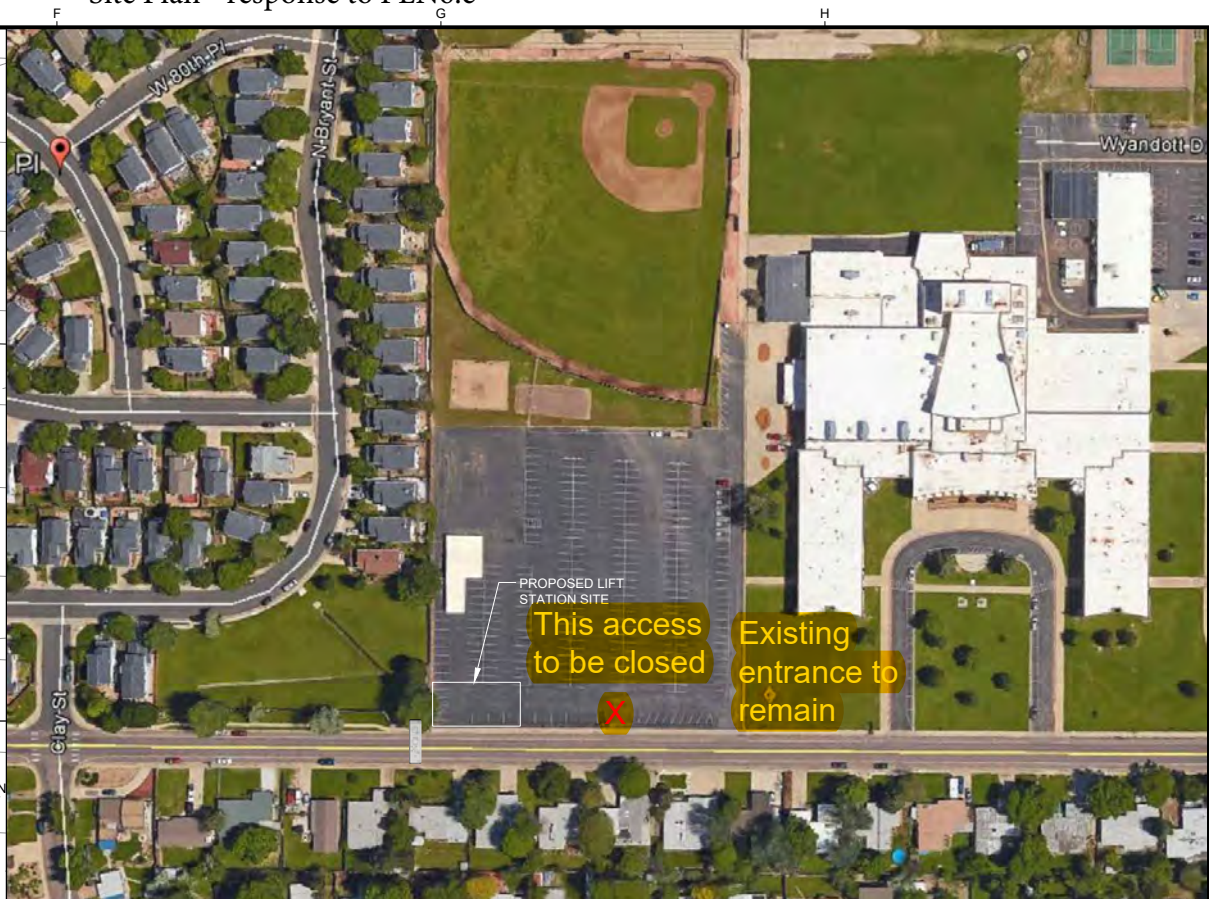
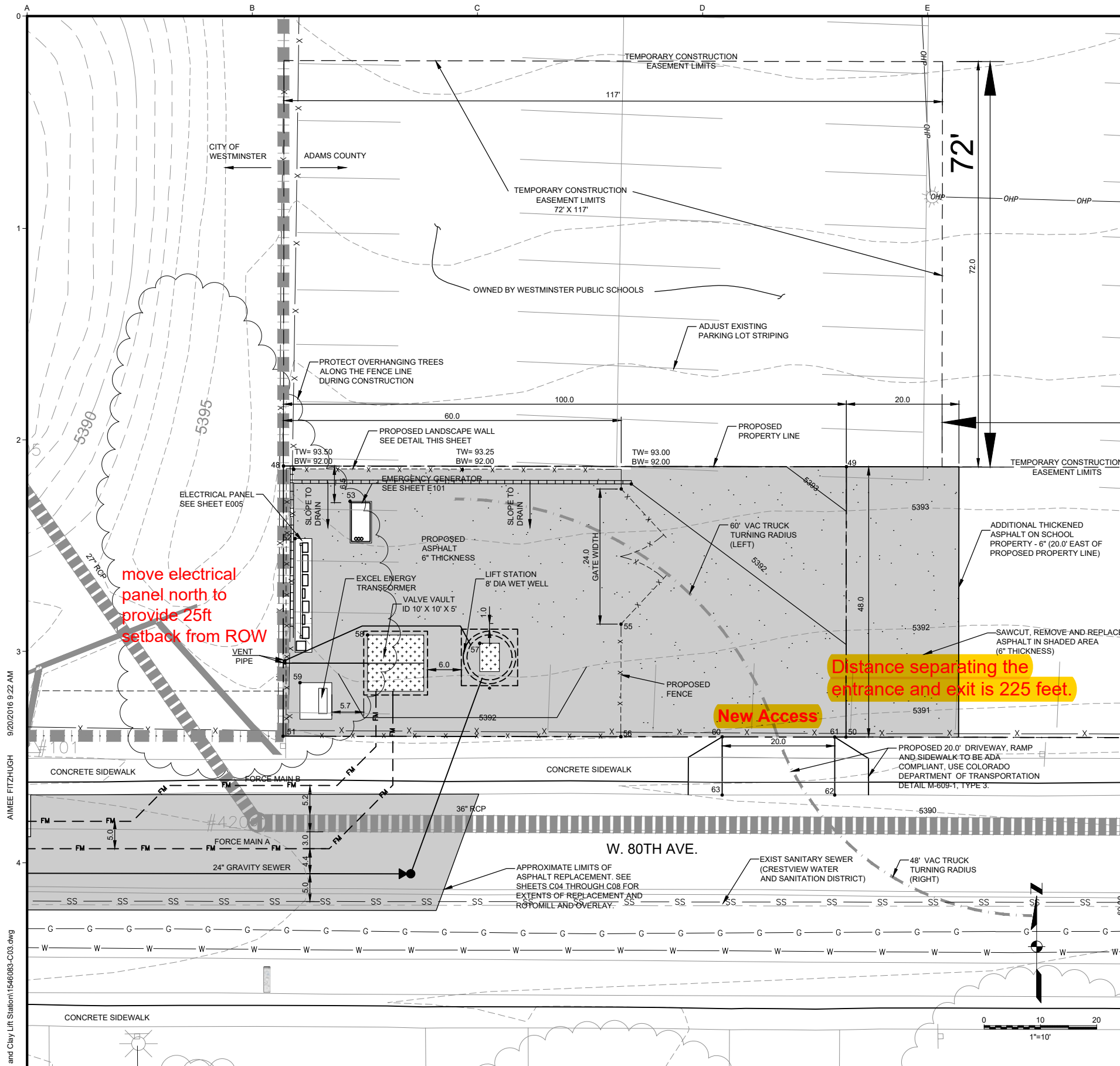
Following a rigorous site selection analysis that considered hydraulics, constructability, site safety, and operations and maintenance, it was concluded that the optimal location is the south west corner of Westminster Public School's Ranum Middle School parking lot. A parcel of land totaling 4,800 square feet plus temporary construction easement is required to successfully construct the lift station. Associated sewer and forcemains will be installed in right of way and along current pipeline routes in 80th Avenue.

The City's desire is to improve access, operation, and maintenance to its lift station, and to maximize safety for City crews and residents. Low impact to neighbors is also important. The lift station is composed of a below grade wet well with pumps, a below grade valve vault, electrical panels installed at grade, an emergency backup generator with a hospital grade enclosure for noise mitigation, a carbon filter odor control system on vent pipes, and an attractive fence enclosure. A new 480v, 3 phase power transformer will be installed by Xcel Energy. The mechanical components of the new lift station, including the pumps, have the same capacity as the existing lift station.

At the Ranum site, City vehicles will pull off 80th Avenue when conducting maintenance and operations work. The street and sidewalk will not be blocked during the work to create a safer site for both City Staff and residents.

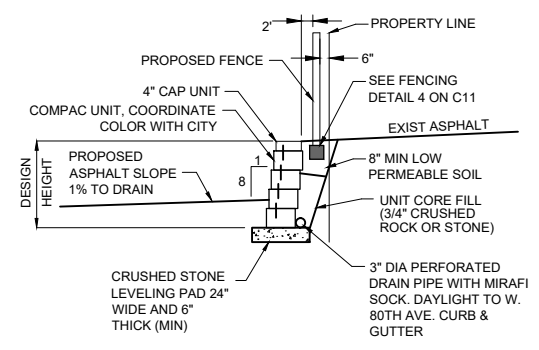
The City successfully completed permitting steps with the Colorado Department of Health and Environment (CDPHE). The Site Application is approved which included review and signature by Adams County, Tri-County Health Department, and Metro Wastewater Reclamation District. The City completed a required 2-week public notification process by posting a sign at the site from August 25 to September 9, 2016. CDPHE will approve the project for construction when the City is in control of the land.

Exhibit 3.1



- NOTES:
1. THE TEMPORARY CONSTRUCTION EASEMENT LIMITS SHOWN ARE THE ONLY ACCEPTABLE LAY-DOWN, OR STORAGE AREAS.
 2. FOR PAVEMENT REPLACEMENT WITHIN TRENCH LIMITS, THE BOTTOM LIFTS SHALL BE GRADING S ASPHALT. THE TOP 2-INCHES SHALL BE GRADING SX ASPHALT.
 3. CONTRACTOR TO REPAIR ALL TRAFFIC SIGNAL WIRES DAMAGED DURING TRENCHING AND PAVING OPERATION.
 4. MINIMUM WIDTH OF STREET CUTS SHALL BE 2 FEET.
 5. FOR PAVEMENT REPLACEMENT WITHIN TRENCH LIMITS, CONTRACTOR TO SAW CUT, REMOVE, AND REPLACE 24" OF ASPHALT BEYOND THE TRENCH WALL ON EACH SIDE.
 6. FOR PAVEMENT RESTORATION IN ADAMS COUNTY - REFER TO ADAMS COUNTY DEVELOPMENT STANDARDS & REGULATIONS.
 7. CLOSEST CITY HYDRANT IS LOCATED NEAR 80TH AVE. AND CLAY ST. APPROXIMATELY 600 FEET AWAY.
 8. EXTENT OF TEMPORARY CONSTRUCTION EASEMENT IS SHOWN ON SHEET C04.
 9. FENCE SHALL BE AMERISTAR FENCE PRODUCTS INC. AGEIS PLUS, COLOR BLACK (8' HEIGHT).

Point Table			
Point #	Raw Description	Northing	Easting
48	NW PROPERTY CORNER	1185978.0251	3135984.8479
49	NE PROPERTY CORNER	1185977.8831	3136084.8478
50	SE PROPERTY CORNER	1185929.8584	3136084.7796
51	SW PROPERTY CORNER	1185930.0252	3135984.7797
52	ELECTRICAL PANEL	1185965.1129	3135986.9002
53	EMERGENCY GENERATOR	1185971.7451	3135996.6676
54	PROPOSED GATE	1185975.9399	3136044.8450
55	PROPOSED GATE	1185951.9399	3136044.8109
56	FENCE	1185929.9400	3136044.7797
57	NW CORNER OF WET WELL HATCH	1185946.5152	3136019.7007
58	NW CORNER OF VALVE VAULT HATCH	1185947.9902	3135999.7840
59	EXCEL ENERGY TRANSFORMER	1185939.5209	3135987.7840
60	PROPOSED DRIVE	1185929.8860	3136062.7796
61	PROPOSED DRIVE	1185929.8617	3136082.7796
62	PROPOSED DRIVE	1185919.5809	3136082.7796
63	PROPOSED DRIVE	1185919.5747	3136062.7796

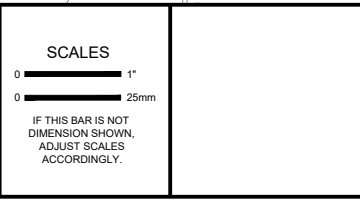


MODULAR CONCRETE LANDSCAPE WALL (NTS) 1 C03

Exhibit 3.2

USE OF DOCUMENTS
THIS DOCUMENT, INCLUDING THE INCORPORATED DESIGNS, IS AN INSTRUMENT OF SERVICE FOR THIS PROJECT AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF KENNEDY/JENKS CONSULTANTS ©.

NO.	REVISION	DATE	BY



DESIGNED: ATF
DRAWN: ATF
CHECKED: LJS

CITY OF WESTMINSTER
WESTMINSTER, COLORADO
80TH AND CLAY LIFT STATION
Kennedy/Jenks Consultants ©
LAKEWOOD, COLORADO

SITE PLAN
FOR BID

FILE NAME: 1546083-C03
JOB NO.: 1546083*00
DATE: SEPT 2016
SHEET OF: **C03** 26

P:\CAD\2016\1546083 WEST 80th and Clay Lift Station\1546083-C03.dwg
9/20/2016 9:22 AM
AIMEE FITZHUUGH

Figure 2 of 3 - Westminster Public School's Ranum Middle School Parking lot and Proposed Location for the new 80th & Clay Lift Station

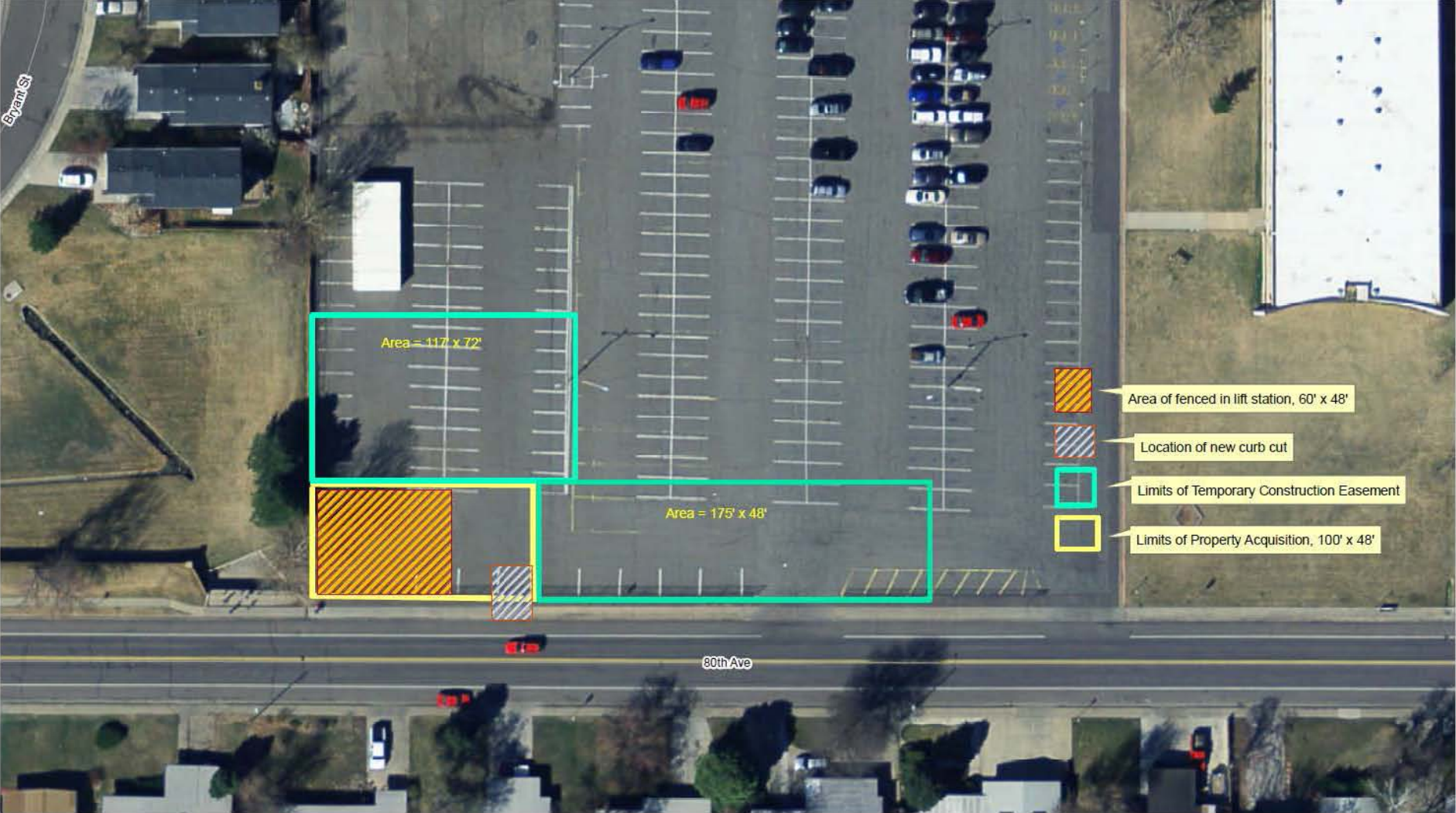


Exhibit 3.2



Exhibit 3.2

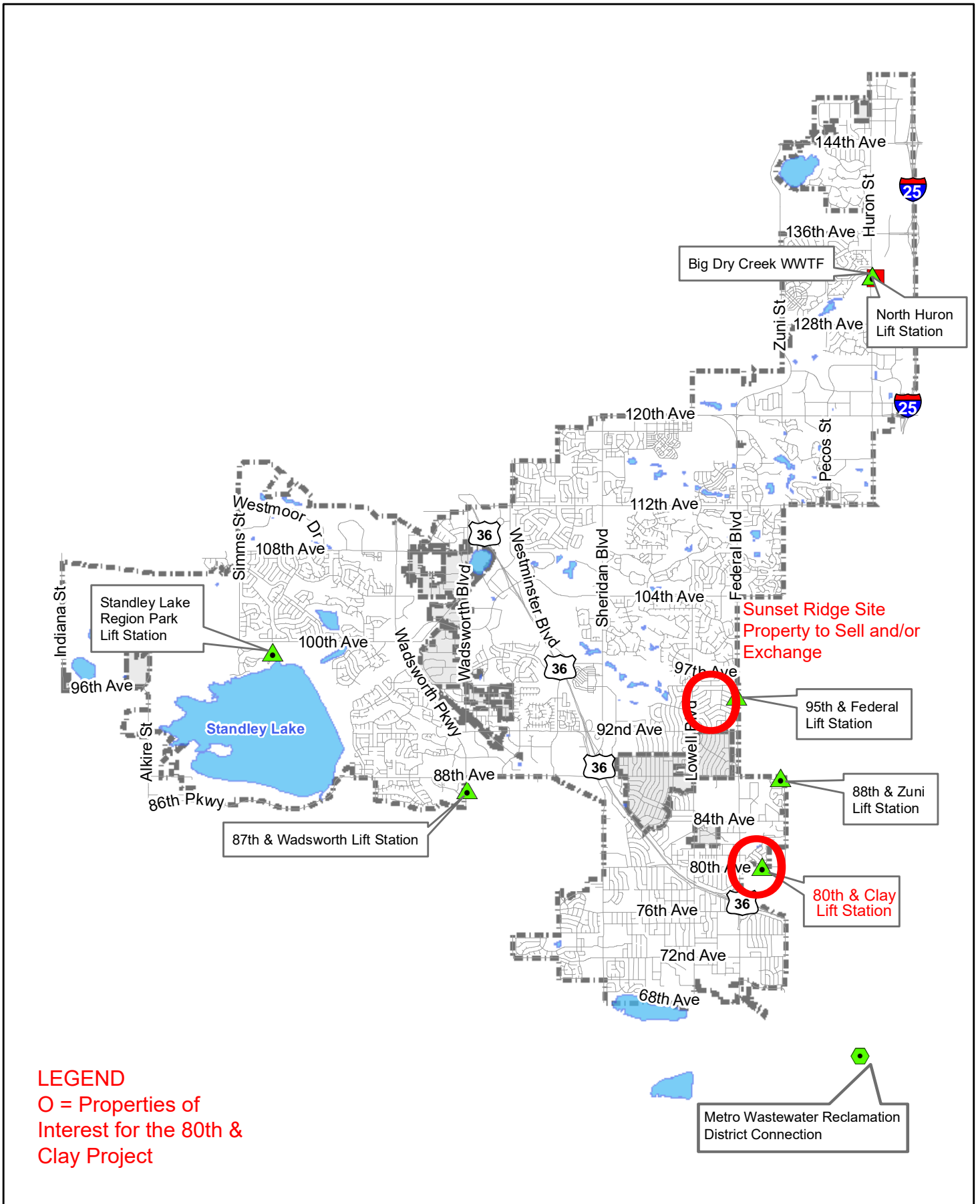


Figure 1 of 3 - Map Showing All City Lift Stations and the Properties of Interest for the 80th & Clay Project

Detailed Responses to Chapter 02 – Application and Permitting Procedures

2-02-08-05.9 Conditions of Approval item c.

Traffic. The traffic anticipated at the proposed lift station site includes the following City vehicles the visit the site to conduct operations and maintenance.

City of Westminster Vacator Truck (Vac Truck) visits the site on a quarterly basis to clean the wet well. During the cleaning approximately three other City vehicles are on site with staff. The photo below shows the vac truck. The cleaning operation takes approximately four hours.



Other City vehicles conduct routine maintenance on a weekly basis, usually Thursdays or Fridays for approximately one hour. The City vehicle is a pickup with a utility bed and flashing yellow safety lights.

Should equipment malfunction City staff will respond by bringing technical staff and equipment to resolve the problem.

Improvements to pedestrian, bicycle, and vehicular circulation. Improvements to safety of staff, pedestrian, bicycle, and vehicular circulation is one of the primary reasons for relocating the facility. At the proposed site, City vehicles and staff will be able to pull completely off 80th Avenue and onto the site. With City staff and vehicles out of the right of way, off the sidewalk, and away from residents, school kids, bicycles, everyone in the vicinity of the lift station will be safer. At the existing lift station site there is no room for City vehicles to pull out of the right of way so staff and pedestrians intermix on the side walk or in the street.

Vehicular circulation in the Ranum School parking lot will be improved. The existing parking lot entrance will be maintained. The existing exit will be closed and moved west to a new exit

closer to the proposed lift station. Separating the entrance from the exit will improve traffic flow in the parking lot. This improvement came out of City and Westminster Public School discussions.

Nuisance Mitigation. The design of the lift station includes mitigating noise, light, and odors. The emergency back-up generator will be equipped with a hospital grade enclosure. The enclosure is an attractive, and sound muffling cover over the generator. At 20 feet distance from the enclosure, sound will be no greater than average traffic along 80th Avenue.

Light at the lift station facility consists of a single dark-sky light that casts light downward and centered over the electrical panels. It will be equipped with a motion detector and will illuminate on detection or manual switch.

Odors associated with the lift station will be mitigated by carbon filters attached to the ends of air vents extending from the valve vault and wet well. The vents will run west towards the fence line. The photo below shows an example from the City's 95th & Federal Lift Station. The candy cane shaped vent piping is equipped with carbon filters for odor control.



Protection of the Surrounding Environment. The proposed lift station has three redundant systems in place to protect the surrounding environment. The City monitors the activity of the three redundant systems using fiber optic communications. The first system is the below ground wet well that is equipped with two pumps. Each pump has the capacity to pump out sewage based on peak flows. The second pump will automatically operate if the first pump fails.

The second system is emergency overflow storage contained in approximately 400 feet in a buried large diameter pipe. The storage is used in case of pump failure.

The third system is an emergency backup generator. If power to the site fails, the emergency backup generator will start. The generator is sized to run all equipment requiring electricity at the site.

The triple redundant systems meet or exceed CDPHE requirements and will protect the surrounding environment.

Fencing and Site Protection. The project design includes ornamental fencing surrounding the site. The photo below shows the proposed fencing installed at a City site. In the City's experience, we are extremely cautious about screening. Screening has provided a hiding place for people who are intent on causing harm to others or to equipment. Solid screening has provided a hard surface for graffiti.

In addition, a security camera will be mounted above the single dark-sky light to further discourage vandalism.





WESTMINSTER

Sally Gould
7902 Zuni Street
Denver, CO 80221

July 27, 2017

Re: RCU2017-00021, email comment dated July 22, 2017

Dear Ms. Gould,

Thank you for emailing your comments about the proposed project at 2401 West 80th Avenue. This is a City of Westminster project to relocate an existing sewage pumping station to the southwest corner of the Ranum Middle School parking lot. The facility will move approximately 500 feet east of its current location.

The City's goal with this project is to replace aging infrastructure and increase safety of residents, students, drivers, bicyclers, and City Staff. In plain terms, the impact to the neighborhood will be improved safety.

Improvements to safety of residents, staff, pedestrian, bicycle, and vehicle circulation is one of the primary reasons for relocating the facility. At the proposed site, City vehicles and staff will be able to pull completely off 80th Avenue and onto the site. With City staff and vehicles out of the right of way, off the sidewalk, and away from residents, school kids, bicycles, everyone in the vicinity of the lift station will be safer. At the existing lift station site there is no room for City vehicles to pull out of the right of way so staff and pedestrians intermix on the sidewalk or in the street.

Noise and odor mitigation at the pumping station are central to the design. The emergency back-up generator will be equipped with an attractive, sound-muffling enclosure. Standing on the sidewalk at a distance of more than 25 feet from the generator, the noise level will be similar to normal conversation. The generator will run one hour per week for testing purposes. During an emergency, the generator will run until the emergency is resolved.

Odors from the pumping station are minimized with the use of carbon filters that absorb and capture odors and prevent them from escaping into the surrounding air. The relocated facility is the same size as the existing facility so no increased odors are anticipated. When the facility is opened for cleaning, four times per year for four hours each time, the odors may be more noticeable in the immediate area for a short duration.

For more information about the project, please call or email Julie Koehler, Senior Engineer and Project Manager, at jkoehler@cityofwestminster.us or 303-658-2178.

Thank you,

Julie Koehler, Project Manager

cc. Emily Collins, Case Manager, Adams County

CITY OF WESTMINSTER

**PERMANENT AND TEMPORARY
EASEMENT AND AGREEMENT**

THIS EASEMENT AND AGREEMENT is made and entered into this 9th day of May, 2017, by and between Westminster Public Schools, a Colorado school district, ("Grantor"), whose legal address is 6933 Raleigh St., Westminster, CO 80030 and the City of Westminster, Colorado ("City"), a Colorado municipality, whose legal address is 4800 West 92nd Avenue, Westminster, CO 80031.

I. CONVEYANCES OF REAL PROPERTY

For and in consideration of the sum of thirty-six thousand seven hundred and twenty-five dollars (\$36,725.00), the receipt and adequacy of which is hereby acknowledged, Grantor, subject to the Terms and Conditions set forth below, hereby grants and conveys to the City, its successors and assigns, the following real property interests:

A. Permanent Easement. A permanent easement to install, operate, maintain, repair, reconstruct, replace, inspect and remove, at any time and from time to time, a sewage pumping station, electrical gear, and associated site amenities such as fencing, lighting, and other features, including all underground and surface appurtenances thereto (hereinafter called "City Improvements"), and to improve and maintain a suitable slope or grade, if necessary, together with a right-of-way for access on, along, and in all of the hereinafter described easement across those certain lands which are situated in the County of Adams, State of Colorado, being described more fully on Exhibit A, attached hereto and by this reference made a part hereof (the "Permanent Easement"). The Grantor further grants to the City:

1. The right of ingress to and egress from said Permanent Easement over and across adjacent lands of the Grantor by means of roads, lanes, and parking lots existing thereon; provided, that if any portion of said lands is or shall hereafter be subdivided, and dedicated roads or highways on such portion shall extend to said Permanent Easement, this right of ingress and egress on said portion shall be confined to such dedicated roads and highways, or other comparable access;

2. The right to mark the location of said easements by suitable markers set in the ground or painted on the surface of the asphalt; provided that permanent markers shall be placed in locations which will not interfere with any reasonable use Grantor may make of said Permanent Easement.

B. Temporary Construction Easement.

1. Term and Rental. A temporary construction easement as described in Exhibit B, attached hereto and by this reference made a part hereof, (the "Temporary Easement"). The Temporary Easement shall be for an original term of seven consecutive months and shall begin thirty (30) days after the City gives written notice to the Grantor that the Temporary Easement is

needed for construction purposes. The Grantor also grants to the City the option to extend the Temporary Easement for a period not to exceed one year after the initial term. If the Temporary Easement is so extended, the City shall pay the Grantor the sum of four hundred and ninety-one dollars (\$491.00) for each month that the City or its contractor occupies the Temporary Easement beyond the original term stated herein. As a condition of the granting of this Temporary Easement, the City covenants and agrees to restore said lands within said easement, including landscaping, fences, asphalt parking lot or other improvements to a level comparable to the original condition.

2. Scope. The Temporary Easement may be used to provide construction staging, deliver and store materials, maneuver equipment, and for other uses incidental to the construction of the City Improvements within the Permanent Easement and any fee parcels owned or possessed by the City.

II. TERMS AND CONDITIONS

Grantor and the City agree that the Easements granted to the City above are made and shall remain subject to the following Terms and Conditions for so long as such interests may exist:

A. Improvements within Easements.

1. Grantor shall not construct or place any structure or building, fence, street light, power pole, yard light, mail box or sign, temporary or permanent, or shrub, tree, woody plant or nursery stock of any kind (“Obstructions”) on any part of the Permanent Easement, or on the Temporary Easement during its term, if the same in any way impairs the City's rights of access, without the City's express written approval, which shall not be unreasonably withheld.

2. Any Obstructions situated on any of the easements without City approval shall be removed by the Grantor or Grantor's successor upon written demand by the City. If the Grantor does not remove the Obstruction within a reasonable time, the Obstruction may be removed by the City without liability for damages arising therefrom.

B. Subjacent and Lateral Support; Earth Cover.

Grantor shall take no action which would impair or in any way modify the earth cover over, or the lateral or subjacent support for, the aforementioned City Improvements within the Permanent Easement without obtaining the specific written permission of the City, which shall not be unreasonably withheld.

C. Rights Reserved by Grantor; Exclusivity of Permanent Easement.

1. Subject to paragraphs II.A. and II.B. above, Grantor hereby retains the right to the undisturbed use and occupancy of so much of the property that has been made subject to the Permanent and Temporary Easements, insofar as such use and occupancy is consistent with and does not impair any rights granted to the City respecting the use of said easements; provided, however, the Grantor shall not grant a right to or otherwise permit anyone else to place any

facilities of whatsoever nature on the Permanent Easement without the express written approval of the City, which shall not be unreasonably withheld.

2. By this Easement and Agreement, Grantor intends to limit the use and extent of this grant to those City-owned facilities described in paragraph I.A., above. At any future date, if the City no longer requires the use of the Permanent Easement for the specific purpose of a sewage pumping station, this easement shall automatically expire and all interest therein shall revert immediately to the Grantor. In the event the City no longer requires City Improvements located on the Permanent Easement, it shall remove said improvements and restore the land to its original condition.

D. Grantor's and Signatory's Warranty of Title and Authority.

1. Grantor warrants that Grantor has full right and lawful authority to convey the real property interests contained in the Permanent and Temporary Easements granted herein.

2. Covenant of Authority. The person or persons signing and executing this easement and agreement on behalf of each Party, do hereby warrant and guarantee that he/she or they have been fully authorized to execute this Agreement on behalf of the Party they purport to represent and to validly and legally bind such Party to all the terms, performances, guarantees and provisions herein set forth.

E. Agreements Binding; Run with Grantor's Property.

1. Each and every one of the benefits and burdens of this Agreement shall inure to the benefit of and be binding upon the respective legal representatives, heirs, executors, administrators, successors and assigns of the parties hereto.

2. The easements herein granted touch and concern the real property of the Grantor and shall be deemed covenants running with said property.

F. Restoration.

1. City shall restore the surface of any ground it may disturb in the course of exercising any of its rights under the Permanent Easement and Temporary Easement, to substantially the same condition that existed prior to such use by the City, subject only to the limitations set forth in this Agreement.

2. The City shall have a reasonable amount of time, not to exceed sixty days, to make any restorations required under paragraphs II. C. 2. and II. F. 1.

G. Miscellaneous.

1. The City shall have the right to assess the Grantor the cost of correcting conditions, created by the Grantor, that are in violation of this Agreement.

2. The parties hereto agree that neither has made or authorized any agreement with respect to the subject matter of this instrument other than expressly set forth herein and no oral representation, promise, or consideration different from the terms herein contained shall be binding on either party, or its agents or employees.

3. The City agrees that it shall be solely responsible for any improvements or changes to the property that may be required by the County, State or any other entity as a result of the Temporary or Permanent Easement and/or all activities associated with the Temporary or Permanent Easement. The City further agrees that it shall be solely responsible for obtaining and paying for any required permits associated with the Temporary or Permanent Easement. To the extent that the City needs the Grantor's authorization with regards to improvements or changes that may be required by the County, state or other entity as described in this paragraph, the Grantor agrees that so long as such authorization does not impair the Grantor's rights to ownership or use of any property or carry any financial burden, upon written request to the Grantor's Chief Operations Officer, the Grantor will provide the necessary authorization.

4. The City shall take appropriate safety measures to ensure the safety of all District students, parents and employees relate to the Easements, including but not limited to, ensuring that appropriate fencing around all construction sites and equipment is maintained at all times.

5. The City covenants that its contractor will not be permitted to conduct activities resulting in construction noise, such as concrete demolition, saw cutting of metal or concrete, and similar activities on the Ranum parking lot site, during the period that Colorado standardized testing is occurring. The District shall notify the City of the dates for the testing 30 days in advance of the testing dates.

6. This Agreement is contingent upon the City's transfer of the property described in Exhibit C, attached hereto and incorporated herein by reference, to the Grantor by Quit Claim Deed upon execution of this Agreement.

GRANTOR:

By:

LARRY DEAN VALENTE
(print name)

STATE OF COLORADO)
) ss.
COUNTY OF Adams)

The foregoing instrument was acknowledged before me this 9th day of May, 2017,
by Larry Dean Valente (name), the President of the Board of Education (title)
of Westminster Public Schools (company).

Witness my hand and official seal.

My commission expires: May 30, 2021

(S E A L)

VERONICA A GLEATON
Notary Public – State of Colorado
Notary ID 20134033995
My Commission Expires May 30, 2021

[Signature]
Notary Public

VERONICA A GLEATON
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID # 20134033995
COMMISSION EXPIRES MAY 30, 2021

Accepted by the

CITY OF WESTMINSTER

By: 
Donald M. Tripp, City Manager

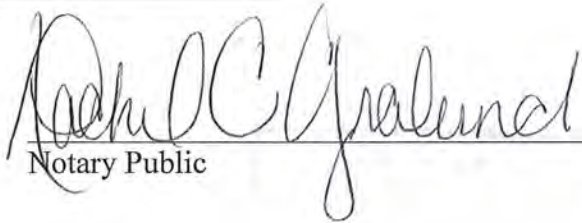
STATE OF COLORADO)
COUNTY OF Adams) ss.

The foregoing instrument was acknowledged before me this 24th day of May, 2012, by Donald M. Tripp, the
(name)
City Manager of the City of Westminster.

Witness my hand and official seal.

My commission expires: 10/18/19




Notary Public

Approved as to legal form:

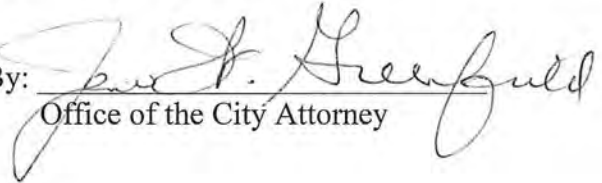
By: 
Office of the City Attorney



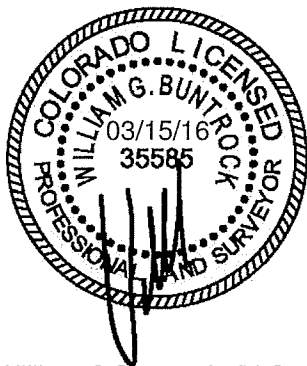
Exhibit A
Legal Description

A Parcel of land being a portion of Block 126, Westminster Subdivision as recorded under Book 3 at Page 46 on August 26, 1891 original in the Arapahoe County Clerk and Recorders Office now in the Adams County Clerk and Recorders Office, lying in the Southeast Quarter of Section 29, Township 2 South, Range 68 West of the 6th Principal Meridian, City of Westminster, County of Adams, State of Colorado, more particularly described as follows:

Commencing at the Southeast Corner of Section 29, being monumented with a 3.25" aluminum cap stamped PLS 37967 in range box, whence the South Quarter Corner of said Section 29, being monumented with a 3.25" aluminum cap stamped PLS 23053 in range box bears N 89°54'16" W, a distance of 2646.17 feet; Thence along the Southline of the Southeast Quarter of said Section 29, N 89°54'16" W, a distance of 955.35 feet; Thence N 00°04'53" E, a distance of 30.00 feet to the Southwest Corner of said Block 126, said corner also being the Southeast Corner of Tract C, Shadowridge at Briar Heights as Recorded under Reception No. B675711 of said Adams County Clerk and Recorders Office, said corner also being the **POINT OF BEGINNING**;

Thence along the westerly line of said Block 126, also being the easterly line of said Tract C, N 00°04'53" E, a distance of 48.00 feet; Thence departing said easterly and westerly line, S 89°54'16" E, a distance of 100.00 feet; Thence S 00°04'53" W, a distance of 48.00 feet to the southerly line of said Block 126, also being the northerly right-of-way line of West 80th Avenue; Thence along the southerly line of said Block 126, also being the said northerly right-of-way line, N 89°54'16" W, a distance of 100.00 feet to the **POINT OF BEGINNING**.

The above description contains 4,800.00 Square Feet or 0.11 Acres more or less.



William G Buntrock, PLS
Colorado Licensed Land Surveyor No. 35585
TRUE NORTH Surveying & Mapping, LLC
TN 15119 80th and Clay Lift Station R1

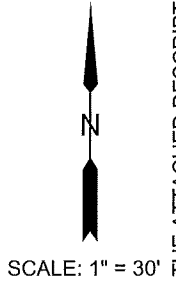
LIFT STATION

EXHIBIT A

Page 2 of 2

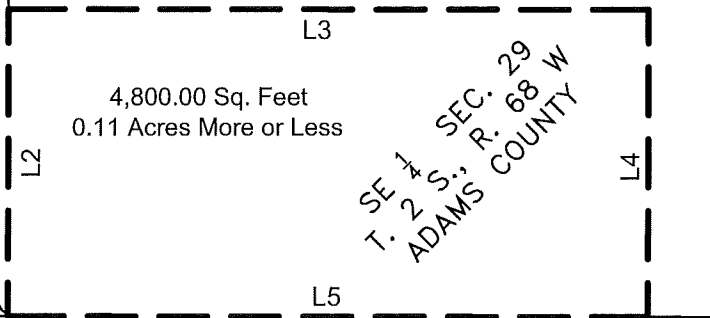
TRACT C
SHADOWRIDGE AT BRIAR HEIGHTS
REC. NO. B675711
(FILE 16 MAP 456)

LINE	BEARING	DISTANCE
L1	N 00°04'53" E	30.00'
L2	N 00°04'53" E	48.00'
L3	S 89°54'16" E	100.00'
L4	S 00°04'53" W	48.00'
L5	N 89°54'16" W	100.00'



METES AND BOUNDS PARCEL OF LAND
RECEPTION NO. UNKNOWN
PART OF BLOCK 126, WESTMINSTER SUBDIVISION
BOOK 3 PAGE 46 DATED AUGUST 26, 1891

POINT OF BEGINNING
SOUTHWEST CORNER OF
BLOCK 126, WESTMINSTER
SUBDIVISION ALSO BEING
THE SOUTHEAST CORNER
OF TRACT C, SHADOWRIDGE
AT BRIAR HEIGHTS



WEST 80TH AVENUE
(60' ROW)

N 89°54'16" W 2646.17'

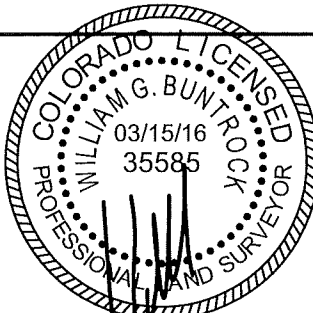
SOUTHLINE SE QUARTER SEC 29
BASIS OF BEARINGS

FND: SOUTH QUARTER
CORNER SECTION 29
T2S R68W 6TH PM
3.25" ALUMINUM CAP
STAMPED PLS 23053
IN RANGE BOX

POINT OF COMMENCEMENT
FND: SOUTHEAST
CORNER SECTION 29
T2S R68W 6TH PM
3.25" ALUMINUM CAP
STAMPED PLS 37967
IN RANGE BOX

NOTICE - According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTE: THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION.



DATE	03/15/16
DRAWN	BB
CHECKED	BB
APPROVED	BB
PROJECT NO.	TN 15119
HORZ. SCALE	1" = 30'



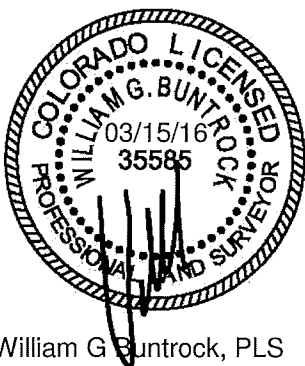
Exhibit B
Legal Description

A Temporary Construction Easement being a portion of Block 126, Westminster Subdivision as recorded under Book 3 at Page 46 on August 26, 1891 original in the Arapahoe County Clerk and Recorders Office now in the Adams County Clerk and Recorders Office, lying in the Southeast Quarter of Section 29, Township 2 South, Range 68 West of the 6th Principal Meridian, City of Westminster, County of Adams, State of Colorado, more particularly described as follows:

Commencing at the Southeast Corner of Section 29, being monumented with a 3.25" aluminum cap stamped PLS 37967 in range box, whence the South Quarter Corner of said Section 29, being monumented with a 3.25" aluminum cap stamped PLS 23053 in range box bears N 89°54'16" W, a distance of 2646.17 feet; Thence along the Southline of the Southeast Quarter of said Section 29, N 89°54'16" W, a distance of 955.35 feet; Thence N 00°04'53" E, a distance of 30.00 feet to the Southwest Corner of said Block 126, said corner also being the Southeast Corner of Tract C, Shadowridge at Briar Heights as Recorded under Reception No. B675711 of said Adams County Clerk and Recorders Office; Thence along the westerly line of said Block 126, also being the easterly line of said Tract C, N 00°04'53" E, a distance of 48.00 feet to the **POINT OF BEGINNING**;

Thence continuing along the westerly line of said Block 126, also being the easterly line of said Tract C, N 00°04'53" E, a distance of 72.00 feet; Thence departing said easterly and westerly line, S 89°54'16" E, a distance of 117.00 feet; Thence S 00°04'53" W, a distance of 72.00 feet; Thence S 89°54'16" E, a distance of 158.00 feet; Thence S 00°04'53" W, a distance of 48.00 feet to the southerly line of said Block 126, also being the northerly right-of-way line of West 80th Avenue; Thence along the southerly line of said Block 126, also being the said northerly right-of-way line, N 89°54'16" W, a distance of 175.00 feet; Thence departing said southerly line, N 00°04'53" E, a distance of 48.00 feet; Thence N 89°54'16" W, a distance of 100.00 feet to the **POINT OF BEGINNING**.

The above description contains 16,824.14 Square Feet or 0.39 Acres more or less.



William G Buntrock, PLS
Colorado Licensed Land Surveyor No. 35585
TRUE NORTH Surveying & Mapping, LLC
TN 15119 80th and Clay Construction Easement R1

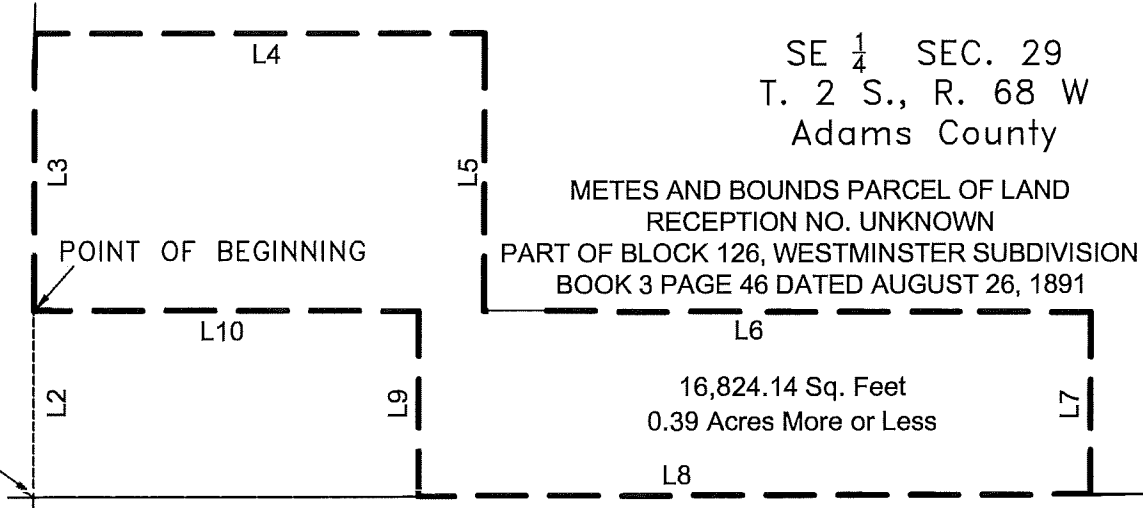
NOTICE - According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

SOUTHWEST CORNER OF
BLOCK 126, WESTMINSTER
SUBDIVISION ALSO BEING
THE SOUTHEAST CORNER
OF TRACT C, SHADOWRIDGE
AT BRIAR HEIGHTS

EXHIBIT B TEMPORARY CONSTRUCTION EASEMENT

Page 2 of 2

TRACT C
SHADOWRIDGE AT BRIAR HEIGHTS
REC. NO. B675711



SE 1/4 SEC. 29
T. 2 S., R. 68 W
Adams County

METES AND BOUNDS PARCEL OF LAND
RECEPTION NO. UNKNOWN
PART OF BLOCK 126, WESTMINSTER SUBDIVISION
BOOK 3 PAGE 46 DATED AUGUST 26, 1891

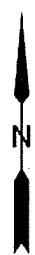
16,824.14 Sq. Feet
0.39 Acres More or Less

WEST 80TH AVENUE
(60' ROW) SOUTHLINE SE QUARTER SEC 29
N 89°54'16" W 2646.17' BASIS OF BEARINGS

FND: SOUTH QUARTER
CORNER SECTION 29
T2S R68W 6TH PM
3.25" ALUMINUM CAP
STAMPED PLS 23053
IN RANGE BOX

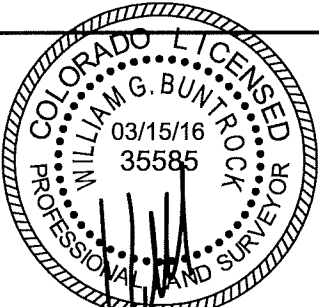
POINT OF COMMENCEMENT
FND: SOUTHEAST
CORNER SECTION 29
T2S R68W 6TH PM
3.25" ALUMINUM CAP
STAMPED PLS 37967
IN RANGE BOX

LINE	BEARING	DISTANCE
L1	N 00°04'53" E	30.00'
L2	N 00°04'53" E	48.00'
L3	N 00°04'53" E	72.00'
L4	S 89°54'16" E	117.00'
L5	S 00°04'53" W	72.00'
L6	S 89°54'16" E	158.00'
L7	S 00°04'53" W	48.00'
L8	N 89°54'16" W	175.00'
L9	N 00°04'53" E	48.00'
L10	N 89°54'16" W	100.00'



SCALE: 1" = 50'

NOTE: THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION.



DATE	03/15/16
DRAWN	BB
CHECKED	BB
APPROVED	BB
PROJECT NO.	TN 15119
HORZ. SCALE	1" = 50'

QUIT CLAIM DEED

THIS DEED is dated May 9, 2017, and is made between the City of Westminster, Colorado ("Grantor"), a Colorado municipality, whose legal address is 4800 West 92nd Avenue, Westminster, CO 80031 and Westminster Public Schools, a Colorado school district, ("Grantee"), whose legal address is 6933 Raleigh St., Westminster, CO 80030.

WITNESS, that the Grantor, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby remise, release, set and QUITCLAIM unto the Grantee and assigns, forever, all the right, title, interest, claim and demand which the Grantor has in and to the real property, together with any improvements thereon, located in the City of Westminster, County of Adams and State of Colorado, described as follows:

Adams County Parcel Number: 0171920208023

Account Number: R0048982

A parcel of land located in Sunset Ridge, Second Filing, Block 19, Lot 20 beginning at the southeast corner of Lot 19 then westerly approximately 486.5 feet to the southwest corner of Lot 12 then southerly a distance of 100 feet along the easterly line of Lots 9 and 10 of Block 19 of the Resubdivision of a Part of Sunset Ridge, 2nd Filing then easterly 120 feet then north 70 feet then easterly to the east line of said Lot 20, then northerly approximately 30 feet to the point of beginning.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging, or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the Grantor, either in law or equity, to the only proper use and benefit of the Grantee, and the Grantee's heirs and assigns, forever.

IN WITNESS HEREOF, the Grantor has executed this deed on the date set forth above.

CITY OF WESTMINSTER

By: 

Donald M. Tripp, City Manager


STATE OF COLORADO)
) ss.
COUNTY OF ADAMS)

The foregoing instrument was acknowledged before me this 24th day of May, 2017, by Donald M. Tripp, the City Manager of the City of Westminster, Colorado.

Witness my hand and official seal.

My commission expires: 10/18/19




Notary Public



Hooker St

95th Ave

Figure of Sunset Ridge
Property





WESTMINSTER

May 3, 2017

Dr. Pamela Swanson
Superintendent, Westminster Public Schools
6933 Raleigh St
Westminster, CO 80030

City of Westminster
Office of the
City Manager

4800 West 92nd Avenue
Westminster, Colorado
80031

303-658-2400
FAX 303-706-3921

RE: Letter of Intent regarding Ranum easement and Sunset Ridge parcel

Dear Dr. Swanson,

Thank you for the opportunity to work cooperatively with Westminster Public Schools district in facilitating land acquisition for the City's public works project the 80th & Clay Lift Station Replacement to be located on the southern edge of the Ranum School property, abutting W. 80th Avenue

I have been advised by our project staff that agreement has been reached to grant the attached form of easement to the City of Westminster for which the City will reimburse the District the full appraised value of this parcel in the amount of thirty-six thousand seven hundred and twenty-five dollars (\$36,725.00). Additionally, the Westminster City Council has approved transferring that certain parcel of land owned by the City, presently located on the northern edge of the District's Sunset Ridge Elementary School property, to the District. A map depicting that parcel is also attached. The City would appreciate your scheduling the necessary approvals before the District's Board. Our representative can be present to answer any questions the Board may have.

Your signature below will confirm understanding of the agreement that has been reached between the City and the District. We look forward to completing this transaction in the near future. I have enclosed two copies of this letter for your convenience.

Sincerely,

Donald M. Tripp
City Manager

Attachments: Form of easements agreement
Map of additional property near Sunset Ridge Elementary



WESTMINSTER

Acknowledged and agreed to:


Dr. Pamela Swanson

City of Westminster
Office of the
City Manager

4800 West 92nd Avenue
Westminster, Colorado
80031

303-658-2400
FAX 303-706-3921



September 23, 2016

Julie Koehler
City of Westminster
4800 West 92nd Avenue
Westminster, CO 80031

Subject: Site Location Approval No. ES.16.SA.02781
City of Westminster - 80th and Clay (Shadow Ridge) Lift Station Replacement
Associated Colorado Discharge Permit System (CDPS) No. CO0026638 (Metro
Wastewater Reclamation District)
Adams County

Dear Ms. Koehler:

The Water Quality Control Division (Division) has reviewed and evaluated the site location application package for the demolition of the Shadow Ridge Lift Station and construction of a new lift station designated as the 80th and Clay Lift Station. The facility is to be located as follows: SE ¼ of the SE ¼ of Section 29, Township 2S, Range 68W, Adams County. The lift station will discharge to a dual force main, before it joins with the existing collection system that ultimately conveys flow to the Metro Wastewater Reclamation District.

The site location application has been found to be in conformance with the Water Quality Control Commission's *Site Location and Design Approval Regulations for Domestic Wastewater Treatment Works*, 5 CCR 1002-22 (Regulation No. 22) and is approved. This site location approval addresses the following summary of the proposed design and the associated conditions:

1. Based upon application information, the lift station design will be for:
Lift Station and dual Force Mains, approximately 1,550 lineal feet.
 - Hydraulic Design Capacity - 0.072 MGD (maximum month daily average flow)
 - Peak Hydraulic Capacity - 225 GPM (peak hourly flow/firm pumping capacity)

The design includes:

- Decommissioning and abandoning of the existing Shadow Ridge Lift Station.
 - Constructing a new lift station, new lift station pumps and associated dual 4-inch force main to connect to existing gravity conveyance, back-up power, new electrical and instrumentation (alarms and monitoring).
 - Odor controls in the form of carbon filters.
2. All biosolids must be handled and disposed of in accordance with all federal, state, and local requirements.
 3. The site location application included documentation of Westminster Public Schools intent to transfer the control of the lift station site to the City of Westminster. A copy of the deed or title to the property demonstrating control of the site must be submitted to the Division prior to the Division issuing final design approval.

Exhibit 3.6



This site location approval does not constitute design approval for construction. In accordance with Regulation No. 22, Section 22.11(1), in addition to approval of the site location application, the applicant must obtain approval of the design of the treatment works from the Division prior to beginning construction.

This site location approval will expire on **March 23, 2018**. If construction has not commenced by this date, the approval will expire and a new application for site location approval may be required. Construction is defined as entering into a contract for, or for in-house work forces, initiation of any action towards the erection or physical placement of materials, equipment, piping, earthwork or buildings which are to be a part of a domestic wastewater treatment works.

In accordance with Regulation No. 22, Section 22.3(15), this site location approval is subject to appeal pursuant to the State Administrative Procedures Act.

This approval does not relieve the owner from compliance with all local, state, and federal regulations prior to construction nor from responsibility for proper engineering, construction and operation of the facility.

The Engineering Section is interested in gaining feedback about your experience during the engineering review process. We would appreciate your time to complete a Quality-of-Service Survey regarding your experience during the engineering review process leading up to issuance of this decision letter. The Engineering Section will use your responses and comments to identify strengths, target areas for improvement, and evaluate process improvements to better serve your needs. Please take a moment to fill out our survey at the following website: <http://fs8.formsite.com/cohealth/form627710151/index.html>.

If you should have any questions, please contact Paul Kim by phone at 303-692-3279 or via electronic mail at paul.kim@state.co.us.

Sincerely,

Bret Icenogle, P.E.
Engineering Section Manager
Water Quality Control Division
Colorado Department of Public Health and Environment

cc: Lisa Schwien, Project Manager Kennedy/Jenks Consultants
Michael Weakley, Tri-County Health Department
Catherine R. Gerali, District Manager, Metro Wastewater Reclamation District
Doug Camrud, WQCD ES Engineering Review Unit, Unit Manager
Paul Kim, WQCD ES Engineering Review Unit, Review Engineer
Site Application File No. ES.16.SA.02781 | Discharge Permit File (CO0026638)

From: [Kim - CDPHE, Paul](#)
To: [Lisa Schwien](#)
Cc: [Koehler, Julie](#)
Subject: Re: Westminster 80th and Clay Lift Station - Notification Sign 2 week period is over
Date: Monday, September 12, 2016 6:58:52 AM

I should be able to complete the SA this month. I will not be able to release the final design approval until copies of the documents demonstrating legal control of the site (i.e. land acquisition, easement, etc.) are submitted to the Division.

On Fri, Sep 9, 2016 at 1:32 PM, Lisa Schwien <LisaSchwien@kennedyjenks.com> wrote:

Hi Paul,

The 2 week period for posting the sign at the Westminster site was over yesterday. Julie Koehler from the City of Westminster took the attached photo yesterday at 4:15. It's my understanding that you are able to move forward with your review of the site location application and PER now. Please let me know if you need anything else in order to do the review.

Can you please respond with an estimated completion date for your review of the site location application and PER? Also, how long do you expect your review of the final construction plans and Basis of Design Report will take once we submit them to you? Now that the land acquisition process is underway, the City would like to bid the project as soon as possible. They are reluctant to move forward too fast, however, until receiving review comments from you. Thanks for your understanding.

Lisa

Lisa Schwien, P.E. | Project Manager
[Kennedy/Jenks Consultants](#)

143 Union Boulevard, Suite 600 | Lakewood, CO 80228
P: [303.985.3636](tel:303.985.3636) | F: [303.985.3800](tel:303.985.3800) | Direct: [720.744.2215](tel:720.744.2215)

From: Lisa Schwien
Sent: Thursday, August 25, 2016 9:46 PM
To: 'paul.kim@state.co.us'
Cc: 'Koehler, Julie'
Subject: Westminster 80th and Clay Lift Station - Notification Sign Posted
Importance: High

Hi Paul,

Per our phone conversation a few weeks ago, I am sending you a photo of the notification sign posted at the new lift station site for the City of Westminster. Julie Koehler, the City's project manager, and I mounted the sign today (8/25/16). I will send you another photo of the sign after the 2-week posting period is over. Please let me know what your schedule looks like for review of this project. Call me if you have any questions.

Thanks, Lisa

Lisa Schwien, P.E. | Project Manager
[Kennedy/Jenks Consultants](#)

143 Union Boulevard, Suite 600 | Lakewood, CO 80228
P: [303.985.3636](tel:303.985.3636) | F: [303.985.3800](tel:303.985.3800) | Direct: [720.744.2215](tel:720.744.2215)

--

Paul Kim, P.E.
Senior Review Engineer
Engineering Section



4300 Cherry Creek Drive South, Denver, CO 80246
P 303.692.3279 | F 303.782.0390

paul.kim@state.co.us | www.colorado.gov/pacific/cdphe

24-hour Environmental Release/Incident Reporting Line: 1.877.518.5608



Water Quality Control Division Engineering Section

4300 Cherry Creek Drive South, B2
Denver, Colorado 80246-1530
CDPHE.WQEngReview@state.co.us
303-692-6298

Colorado Department
of Public Health
and Environment

Regulation 22 Application Form

Section 22.7 of Regulation 22: Interceptor Sewers Not Eligible for Certification and Lift Stations

A. Project and System Information						
System Name	City of Westminster					
Project Title	80th and Clay Lift Station Replacement					
County	Adams					
Date Fee Paid or payment attached		Invoice Number and Check Number				
Design Company Name	Kennedy/Jenks Consultants					
Design Engineer	Lisa Schwien, P.E.	CO License Number	39392			
Address	143 Union Boulevard, Suite 600 Lakewood, CO 80228					
Email	LisaSchwien@kennedyjenks.com					
Phone	720-744-2215	Fax	303-985-3800			
Applicant / Entity	City of Westminster					
Representative Name/Title	Julie Koehler, P.E.					
Address	4800 West 92nd Avenue Westminster, CO 80031					
Email	jkoehler@cityofwestminster.us					
Phone	303-658-2178	Fax				
B. Project Information						
<i>Location (existing or proposed site)</i>		<i>Proposed Project Capacity</i>				
Brief location description	Proposed Site: 2401 West 80th Avenue Denver, CO 80221 (SW corner school parking lot)	Maximum Month Average Hydraulic Capacity in million gallons per day (MGD)	0.072 MGD			
Legal Description (e.g., Township, Range)	SE 1/4 of Section 29, T 2 S, R 68 W of the 6th Principal Meridian	Peak Hour Hydraulic Capacity in million gallons per day (MGD)	Design pumping rate 0.324 MGD			
County	Adams	Organic Capacity (lbs. BOD ₅ /day) – Treatment Facility Only	N/A lbs. BOD ₅ /day			
Latitude	39°50'30.75" N					
Longitude	105°01'07.50" W					
Funding Process	Will a State or Federal grant or loan be sought to finance any portion of the project (e.g., State Revolving Fund)?	No	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	If yes, please list project number
Project Schedule and Cost Estimate						
Estimated Bid Opening Date	September 2016					
Estimated Completion Date	Spring/Summer 2017					
Estimated Project Cost	\$2,500,000					

Regulation 22 Application Form

Section 22.7 of Regulation 22: Interceptor Sewers Not Eligible for Certification and Lift Stations

Project and System Information	
Project Title	80th and Clay Lift Station Replacement
System Name	City of Westminster
County	Adams
Interceptor/Lift Station Design Information	
1.	a) Name and address of wastewater treatment facility providing treatment (Receiving wastewater facility must fill out "Receiving Wastewater Entity Certification") Metro Wastewater Reclamation District, 6450 York Street, Denver, CO 80229
Site Information	
2.	Vicinity maps of facility location which includes the following: a) 1 mile radius map: habitable buildings, location of public and private potable water wells, an approximate indication of the topography, and neighboring land uses An aerial map showing the service area, the location of the existing lift station, the location of the proposed lift station, and surrounding buildings/land uses is enclosed. A map showing the location of possible water wells is enclosed.
3.	Site Location Zoning a) Present zoning of the site location? Public b) Zoning within a one (1) mile radius of the site? For New Lift Stations Only. Public, residential
4.	Floodplain or Natural Hazards a) Is the facility located in a 100-year floodplain or other natural hazard area? If so, what precautions are being taken? No b) Has the floodplain been designated by the Colorado Water Conservation Board, Department of Natural Resources or other agency? If so, please list agency name and the designation. N/A
5.	Land Ownership a) Who owns the land upon which the facility will be constructed? Please attach copies of the document(s) creating authority for the applicant to construct the proposed facility at this site. Adams County School District No. 50 currently owns the land where the new lift station will be constructed. The City of Westminster will purchase a parcel 110' x 48'. This process is underway.
Lift Station Facility Only	
6.	Please describe the period during which service area build-out will occur. Build-out of the service area is complete. No future development will occur.
7.	Please describe the flows expected in the first five years and ten years of operation. Pumps are sized for peak flows of 225 gpm. This matches the pump capacity of the lift station.
8.	Will the proposed lift station replace an existing lift station? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If Yes, please describe the current flows and loadings that will be switched to the proposed lift station.

The size of the new lift station will match the size of the existing lift station. Flows into the new lift station will remain the same as the flows into the existing lift station.

9. Describe emergency back-up system in case of lift station and/or power failure.
- The lift station is designed with two pumps, both of which are sized to accommodate 100% of peak flows into the station. If one of the pumps were to fail, the second pump would provide full capacity pump operations until the other pump is replaced or repaired. In the event that both pumps fail, one (1) hour of overflow storage at peak flow will be provided in the gravity sewer main to the lift station. The existing Crestview Water & Sanitation District overflow connection will remain in place as a secondary option for emergency overflows. Finally, a bypass connection will be provided in the meter/valve vault so bypass pumping can be performed from the wet well to the force main if necessary. In the event of a power failure, the new diesel-powered emergency generator will provide power to the site.

Project Information

10. a) What entity is financially responsible for the construction of the facility?
City of Westminster
11. a) What entity has the financial responsibility for owning and long term operating expense of the proposed facility?
City of Westminster
12. a) What entity has the responsibility for managing and operating the proposed facility after construction?
City of Westminster

Additional Factors

13. Please identify any additional factors that might help the Water Quality Control Division make an informed decision on your site location application.



Water Quality Control Division Engineering Section

4300 Cherry Creek Drive South, B2
Denver, Colorado 80246-1530
CDPHE.WQEngReview@state.co.us
303-692-6298

Colorado Department
of Public Health
and Environment

Applicant Certification and Review Agencies Recommendation

Section 22.7 of Regulation 22: Interceptor Sewers Not Eligible for Certification and Lift Stations

A. Project and System Information	
System Name	City of Westminster
Project Title	80th and Clay Lift Station Replacement
County	Adams

1. Applicant Certification

I certify that I am familiar with the requirement of *Regulation 22 - Site Location and Design Approval Regulations for Domestic Wastewater Treatment Works*, and have posted the site in accordance with the Regulations. An engineering report, as described by the regulations, has been prepared and is enclosed.

Applicant Legal Representative (e.g. Public Works Director)	Date	Typed Name	Signature
Public Works Director		Max E. Kirschbaum	

The system legal representative is the legally responsible agent and decision-making authority (e.g. mayor, president of a board, public works director, owner). The Consulting Engineer is not the legal representative and cannot sign this form.

2. Recommendation of Review Agencies

As required in Section 22.7(2 and 3), the application and the engineering report must be submitted to all appropriate local governments, 208 planning agencies and State agencies for review and comment prior to submittal to the Division. By signing below, the entity or agency: 1) acknowledges receipt of the proposed site location application, 2) has reviewed the proposed site location application and may elect to provide comments, and 3) has provided a recommendation to the Division. The recommendation should be based on the consistency of the proposed site location application with the local comprehensive plan(s) as they relate to water quality and any adopted water quality management plans(s). *Please note: If a governmental authority does not recommend approval then the authority must attached a letter describing the reason for their decision or comment on the next page.*

Signature of County, if proposed facility is located in unincorporated areas of a county			
Role	Date	Typed Name / Agency	Signature
Location of Site	5/18/16	Adams County	
			Recommend Approval? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Signature of City or Town, if site is located within three miles of the City/Town boundary			
Role	Date	Typed Name / Agency	Signature
Nearest City		City of Westminster	
			Recommend Approval? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Signature of Local Health Authority			
Role	Date	Typed Name / Agency	Signature
Local Health Department	4/25/16	Tri-County Health Department Michael Weakley	
			Recommend Approval? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Signature of 208 Planning Agency			
Role	Date	Typed Name / Agency	Signature
DRCOG no longer reviews lift station designs		N/A	
			Recommend Approval? Yes <input type="checkbox"/> No <input type="checkbox"/>

Signature of Other State or Federal Agencies, if facility is located on or adjacent to a site that is owned or managed by a federal or state agency.

Role	Date	Typed Name / Agency	Signature				
N/A		N/A					
			Recommend Approval?	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>

Signature of Other Basin Water Quality Authority, Watershed Association, Watershed Authority, etc., if facility is located in a Water Quality Control Commission Watershed Protection Control Area.

Role	Date	Typed Name / Agency	Signature				
Site not located within the boundary for a water quality authority of watershed association		N/A					
			Recommend Approval?	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>

Review Agency Comments:



Water Quality Control Division Engineering Section

4300 Cherry Creek Drive South, B2
Denver, Colorado 80246-1530
CDPHE.WQEngReview@state.co.us
303-692-6298

Colorado Department
of Public Health
and Environment

Wastewater Receiving Entity Certification Section 22.7 of Regulation 22: Interceptor Sewers Not Eligible for Certification and Lift Stations

Project and System Information	
System Name	City of Westminster
Project Title	80th and Clay Lift Station Replacement
County	Adams

Receiving Wastewater Entity – Certification of Available Treatment Capacity

Receiving wastewater treatment entity information			
Receiving wastewater treatment entity and facility	Metro Wastewater Reclamation District		
County	Adams		
CDPS discharge permit number and expiration date	CO0026638, 2/28/13	CDPS discharge permit capacity	220 MGD
Site location approval number and date (please attach a copy of approval letter)	4726, 4/20/04	Site location approved capacity	220 MGD

Proposed facility capacity impacts on receiving wastewater treatment facility (projected at buildout or 20-years)

Proposed project hydraulic capacity: maximum month average	0.072 million gallons per day
Proposed project hydraulic capacity: peak hour	0.324 million gallons per day
Proposed project organic capacity: maximum month average	lbs BOD ₅ /day
Proposed project will increase the receiving treatment facility's hydraulic loading capacity to (% of total capacity):	68%
Proposed project will increase the receiving treatment facility's organic loading capacity to (% of total capacity):	75%

Treatment Certification (22.7 (1)(f) (i))

I certify that the receiving wastewater treatment facility will treat the wastewater from the proposed wastewater facility project.

Yes, will provide treatment No, will not provide treatment

Capacity Certification (22.7 (1)(f) (ii))

I certify that the receiving wastewater treatment facility is not presently receiving wastes (hydraulic and organic loads) in excess of the above listed site location approval and discharge permit to treat the projected discharge from the new interceptor sewer or from the new or expanded lift station, as listed above (initial in box).

CRG

OR

I certify that the receiving wastewater treatment facility does not currently have the capacity to serve the proposed project flows but is under construction, or will be in a phased construction of new or expanded facilities and will have the necessary capacity to treat the projected discharge from the new interceptor sewer or from the new or expanded lift station, as listed above (initial in box).

Estimated date capacity will be available

Note: Projections of flow and loading to the treatment facility over the period during which build out of the service area will occur or twenty years, whichever is less, as well as current and future plant capacity information must be provided to demonstrate the plan for maintaining adequate treatment capacity. Any proposed treatment plant phased construction must be shown in the Water Quality Management Plan (reference, attach), or by appropriate planning and engineering studies (reference, attach).

Compliance Status Certification (22.7 (1)(f) (iii))

I certify that the receiving wastewater treatment facility has not been in violation of any effluent limitations in its discharge permit for the last two years (initial in box).

CRG

I certify that the receiving wastewater treatment facility is not operating under a Notice of Violation and/or Cease and Desist Order from the Division resulting from discharge permit violations (initial in box).

CRG

Note: If there have been effluent violations or if the receiving wastewater treatment facility is operating under a Notice of Violation and/or Cease and Desist Order from the Division, please provide additional description of the situation and the treatment entity's proposed corrective measures to achieve consistent compliance. The Division will evaluate information provided and determine if approval should be granted, granted with conditions, or denied.

I hereby certify that the information presented above is accurate and complete.

Receiving Treatment Facility Representative	Date	Typed Name and Title	Signature
Metro Wastewater Reclamation District	<i>April 26 2016</i>	Catherine R. Gerall District Manager	<i>Catherine R. Gerall</i>



Catherine R. Gerali, District Manager

April 26, 2016

Ms. Lisa Schwien, P.E., Project Manager
Kennedy/Jenks Consultants
143 Union Boulevard, Suite 600
Lakewood, CO 80228

Re: City of Westminster 80th and Clay Lift Station Replacement
Site Location Application Review

Dear Ms. Schwien:

The Metro Wastewater Reclamation District (Metro District or District) completed its review of the Site Location Application for replacement of the City of Westminster's (Westminster) 80th and Clay Lift Station (Lift Station). The Lift Station currently conveys wastewater to the District's Robert W. Hite Treatment Facility (RWHTF) for treatment.

The Metro District is the Wastewater Management Agency for Westminster under the Clean Water Act Section 208 Clean Water Plan (208 Clean Water Plan). For the geographical area served by the Lift Station, the District is the primary wastewater treatment agency. The District completed a Wastewater Utility Plan that was approved by the Denver Regional Council of Governments (DRCOG) and included in the 208 Clean Water Plan before DRCOG withdrew as the region's 208 Planning Agency in December 2010.

The Metro District's planning efforts include wastewater flow and loading projections for Westminster's service area. The service area for the Lift Station will remain the same and the new Lift Station will be constructed approximately 400 feet east of the existing Lift Station. The existing Lift Station will be decommissioned.

As the Wastewater Management Agency, Metro District staff asserts the improvements are an appropriate wastewater activity under the 208 Clean Water Plan. As the treatment agency for Westminster, the District has sufficient transmission and treatment capacity, and will expand such capacity as necessary.

The Metro District currently is not in violation of any effluent parameters of its discharge permit or operating under a Notice of Violation and/or Cease and Desist order from the Colorado Department of Public Health and Environment's Water Quality Control Division resulting from discharge permit violations.

As the Wastewater Receiving Entity, and as indicated on the enclosed Certification Form, the Metro District's RWHTF will be capable of accepting the buildout flows from the Lift Station.

Exhibit 3.7

Lisa Schwien, Kennedy/Jenks Consultants
Westminster 80th and Clay Lift Station Replacement
Site Location Application Review
April 26, 2016 – Page 2

If you have any questions or require additional information, please contact Metro District staff member Renee Paplow at 303-286-3384 or rpaplow@mwrdd.dst.co.us.

Yours truly,



Catherine R. Gerali
District Manager

CRG:RAP\wlh
GOV 15.10\CDPHE\Westminster 80th and Clay Lift Station Repl SLA Review 04272016.docx

Enclosure

cc: Julie Koehler, Westminster
Marc Flatt, Metro District
Lisa Hollander, Metro District
Renee Paplow, Metro District
Records Management



Development Review Team Comments

Date: 6/15/17

Project Number: RCU2017-00021

Project Name: City of Westminster Lift Station

For submission of revisions to applications, a cover letter addressing each staff review comments must be provided. The cover letter must include the following information: restate each comment that require a response and provide a response below the comment; respond to each comment with a description of the revisions and the page of the response on the site plan. And identify any additional changes made to the original document other than those required by staff.

A re-submittal is required. Please submit 1 hard copy and 1 electronic copy to Community and Economic Development. The re-submittal form (included) is required for documents to be accepted.

Commenting Division: Development Services, Planning

Name of Review: Emily Collins

Email: ecollins@adcogov.org

PLN1. This request is for a new sewage lift station to replace aging infrastructure located at W. 80th Avenue and Clay Street.

- a. The existing lift station was constructed in 1987 and serves 218 homes in the Shadow Ridge Subdivision.
- b. The replacement infrastructure will not expand the service area.
- c. The lift station is comprised of below grade wet well with pumps and valve vault, and above grade electrical panels, emergency generator, carbon filter odor control system, and security fencing.
- d. The site has been approved by CDPHE (letter dated September 23, 2016), Metro Wastewater (letter dated April 26, 2016), and Tri-County Health. The site was also approved by Westminster City Council on September 12, 2016.

PLN2. The subject site is located at 2401 W. 80th Ave.

- a. Parcel # 0171929410001 is approximately 24.29 acres
- b. The site is currently developed as Ranum Middle School (Westminster School District) and the parcel was created in 1961.
- c. Easement area is 4,800 sq. ft. in the southwest corner of the property in the parking lot.
 - i. A permanent and temporary construction easement has been executed and recorded by the City of Westminster and Westminster Public Schools Board of Education.

Exhibit 4.1

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Erik Hansen
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Jan Pawlowski
DISTRICT 5

PLN4. Comprehensive Plan:

- a. Site is designated as Parks and Open Space which is intended for public parks, trails and open space, and other recreational facilities.

PLN5. The subject site is designated Residential Single-Family (R-1-C):

- a. All government owned facilities (public service category) require approval of a Conditional Use Permit
- b. All structures are required to conform to all setbacks in the zone district.
 - a. According to the site plan, proposed above grade structures conform to the minimum required setbacks. All other infrastructure is at least 15 ft from the right-of-way and in line with adjacent homes to the west per Adams County Transportation Department guidance on Section line setback.

PLN6. Other comments:

- a. Parking impact has been adequately addressed, staff has no additional concerns.
- b. Please note all structures and fences over 42 inches in height shall require approval of a building permit.
- c. Please clarify which exit is proposed for closure and the new separation distance between the entrance and exits locations.
 - a. New access points will require a permit.
- d. Please provide documentation of Tri-County Health and City Council approvals.
- e. Please provide a written explanation of how this lift station connects to the overall wastewater system.
- f. Staff is not supportive of proposed site plan with no landscape and subsequent request for administrative relief from landscape requirements.
 - a. Institutional landscape buffers require a minimum of 5 foot width with 1 tree per 80 linear feet and 75% living landscape material.
 - b. Staff encourages the applicant to consider low-water/ drought resistant vegetation, ornamental bushes and shrubs, etc. as well as a watering truck instead of permanent irrigation.
 - c. Please submit a revised site plan including landscape along the site perimeter, at minimum along W. 80th Ave.

Commenting Division: Development Services, Engineering:

Name of Review: Greg Labrie

Email: glabrie@adcogov.org

ENG1: The applicant must use the existing access points to the parking lot. No new access will be allowed.

ENG2: 80th Avenue is classified as a local street. It is also on a section line. The Adams County section line setback for structures is 120 feet. Variations from the section line setback requirement may be permitted if the Department of Transportation determines no additional

right-of-way is required. Applicant will be required to request a variation from the Adams County Director of Transportation to allow for the utility structures to be installed within the 120 feet setback boundary.

Commenting Division: Development Services, Right-Of-Way

Name of Review: Marissa Hillje

Email: mhillje@adcogov.org

ROW1) W 80th Ave is a section line, Transportation approved a waiver from the 120ft section line setback. This will allow the proposed pump station to sit in line with the houses to the west.

ROW2) The setback requirement for Accessory Structures along local roads in R-1-C districts is 20ft from the property line.

ROW3) Please submit a title commitment which should be used to depict the applicable recordings on the site plan/ plat. Please send Adams County a copy of the title commitment dated no later than 30 days to review in order to ensure that any other party's interests are not encroached upon by the proposed structures.

Commenting Division: Building Safety

Name of Review: Justin Blair

Email: jblair@adcogov.org

BSD1- No comment.

Commenting Division: Environmental Analyst

Name of Review: Jen Rutter

Email: jrutter@adcogov.org

ENV1: No comments.

Commenting Division: Parks and Open Space

Name of Review: Aaron Clark

Email: aclark@adcogov.org

PRK 1: No comments.

Emily Collins

From: Clarice O'Hanlon [cohanlon@crestviewwater.net]
Sent: Friday, June 02, 2017 12:58 PM
To: Emily Collins
Subject: RCU2017-00021 Westminster 80th Ave Lift Station Questions

Emily,

Crestview Water & Sanitation District received the Request for Comments for the above mentioned project. I am the District Engineer and I have a few questions on the plans.

We received a courtesy set of plans during the design process. Several sheets were included that do not show up in the materials we received from you. Can we get a final design set of the plans for review?

During our review of the initial design set (not included in your submittal), it appears that the existing interconnect will be maintained as a part of this project. Is that correct? We feel this project will negate the need for the interconnect.

We would also like to review the profile sections of the pipe to ensure we are comfortable with a 5' horizontal separation between our existing sanitary sewer main and the proposed 24" gravity sanitary.

Please feel free to contact me if you have any questions or comments.

Thanks,

Clarice O'Hanlon, P.E.
District Engineer
Crestview Water & Sanitation District
Cell: 720.208.8265

Exhibit 4.2

Emily Collins

From: Koehler, Julie [jkoehler@CityofWestminster.us]
Sent: Wednesday, May 24, 2017 1:22 PM
To: Emily Collins
Subject: RE: Case # RCU2017-00021

Thank you, Emily.

Julie Koehler, PE
Sr. Engineer
Phone: 303-658-2178

From: Emily Collins [mailto:ECollins@adcogov.org]
Sent: Wednesday, May 24, 2017 11:29 AM
To: Koehler, Julie <jkoehler@CityofWestminster.us>
Subject: RE: Case # RCU2017-00021

Thanks Julie! The comments are noted and I will add them to the case file and review.

From: Koehler, Julie [mailto:jkoehler@CityofWestminster.us]
Sent: Wednesday, May 24, 2017 10:36 AM
To: Emily Collins
Subject: FW: Case # RCU2017-00021

Hi Emily,

Please see below for a comment on Case RCU2017-00021.

Thank you,

Julie

Julie Koehler, PE
Sr. Engineer
Phone: 303-658-2178

From: Grooters, Stephen
Sent: Monday, May 22, 2017 10:22 AM
To: Koehler, Julie <jkoehler@CityofWestminster.us>
Subject: Case # RCU2017-00021

Dear Emily,

This message is in response to your letter dated May 15, 2017 soliciting comments on the City of Westminster sewage pumping station along 80th Avenue. I'd like the following written comments to be included in the review of this case.

The City of Westminster owns and operates a number of wastewater lift stations that are used to transfer municipal wastewater from low-lying areas and neighborhoods into the City's larger-sized wastewater collection system. Sewage subsequently flows by gravity to either the Big Dry Creek Wastewater Treatment Plant or the Metro Wastewater Reclamation District Central Plant. These lift stations provide an essential public service and are non-optional, critical

infrastructure. In the case of the 80th & Clay lift station, the equipment is aged, at the end of its useful life, and has components with replacement parts that are no longer available.

The City is under strong time pressure to construct the replacement sewage lift station. The existing lift station needs to be replaced to prevent failures, sewer back-ups, and negative impacts to City and County residents and the environment. Over the past two years the City has designed the new station, permitted the station with Colorado Department of Public Health & Environment, and procured an easement from Westminster Public Schools. We appreciate the County's process and wish to respect and participate in it. We would especially appreciate any possible efforts to advance the review periods identified so that we may respond efficiently and effectively with appropriate actions.

Sincerely,
Stephen Grooters

Stephen Grooters, PE, CWP, ENV SP
Utilities Engineering Manager
Department of Public Works and Utilities
4800 West 92nd Avenue
Westminster, CO 80031
Phone: 303-658-2194
Please Note City Hall Business Hours Are Mon - Thurs 7 AM to 6 PM

**Westminster Utility Engineering –
Planning & Building Sustainable Utility Services**



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

June 6, 2017

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Emily Collins

Re: City of Westminster 80th Avenue Lift Station, Case # RCU2017-00021

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the conditional use permit plans for **City of Westminster 80th Avenue Lift Station**. If the property owner/developer/contractor has already contacted the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (*register*, application can then be tracked) to complete the application process for any new gas or electric service or modification to existing facilities, they must continue to work with the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

Exhibit 4.3



May 17, 2017

Emily Collins
Adams County Planning
4430 South Adams County Parkway
Brighton, CO 80601

RE: City of Westminster 80th Ave Lift Station, RCU2017-00021
TCHD Case No. 4407

Dear Ms. Collins,

Thank you for the opportunity to review and comment on the Conditional Use Permit to replace the City of Westminster Lift Station located at 2401 W 80th Ave. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1593 or mweakley@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Weakley", written in a cursive style.

Michael Weakley
Water Program Supervisor

cc: Sheila Lynch, Monte Deatrich, Jeff McCarron, TCHD

Exhibit 4.4

Emily Collins

From: Loeffler - CDOT, Steven [steven.loeffler@state.co.us]
Sent: Friday, May 19, 2017 11:11 AM
To: Emily Collins
Subject: RCU2017-00021, City of Westminster 80th Ave. Lift Station

Emily,

I have reviewed the request for CUP to allow replacement of a City of Westminster sewage pumping station to be located at 2401 W. 80th Ave. Based on the submittal it appears that there will be no impact to any State Highways in the area, so I have no objections.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit



P 303.757.9891 | F 303.757.9886
2000 S Holly Street, Denver, CO 80222
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

Exhibit 4.5

Emily Collins

From: Sally Gould [squawkin1@gmail.com]
Sent: Saturday, July 22, 2017 8:55 AM
To: Emily Collins
Subject: RCU2017-00021

Ms. Collins,
In plain terms what will the impact of the neighborhood be?

"The City's desire is to improve access, operation, and maintenance to its lift station, and to maximize safety for City crews and residents. Low impact to neighbors is also important. The lift station is composed of a below grade wet well with pumps, a below grade valve vault, electrical panels installed at grade, an emergency backup generator with a hospital grade enclosure for noise mitigation, a carbon filter odor control system on vent pipes, and an attractive fence enclosure. A new 480v, 3 phase power transformer will be installed by Xcel Energy. The mechanical components of the new lift station, including the pumps, have the same capacity as the existing lift station."

I don't believe any of us in the neighborhood are experts at hospital grade enclosure for noise mitigation and carbon filtering systems so why not tell us exactly what we are looking at for a quality of life situation. Is there going to be additional noise and odor? Once you install all of the above what is the impact to the neighborhood? What do we have to worry about or is this is another sweep under the carpet and pretend the county cares about the neighborhood.

I am still thinking of the last time you asked for this community for feedback. After contacting you, none of my questions were addressed. The county's response to my questions got was how the Elwood (old Scott Carpenter School area) building project was going to fit into our 50 year old neighborhood by using landscaping. You might want to drive by there one day and see how silly that statement was. There wasn't one person in the "neighborhood" that wanted that development after being promised open space. I felt the request to the community was just smoke and mirrors. It turned out that the neighborhood was not heard at all. It might have made some sense if it was affordable housing but it is not! Is this the same thing? Westminster has an abundance of "open space" in their city. It makes me wonder why a heavily populated unincorporated Adams county neighborhood area needs to take the brunt (if there is one, who knows what impact there will be because we have not been told) of a Westminster sewerage project in the middle of my neighborhood.

So my question, and I realize I am repeating myself, what is the exact impact on the neighborhood going to be, how will it effect the surrounding area. Perhaps you could spell it out for us vs. asking us to drive to the city and county building in Brighton to a meeting. How will this station change life in the area of 80th and Zuni St?

Sally Gould
7902 Zuni St.
Denver, Co. 80221

Exhibit 5.1



Request for Comments

Case Name:	City of Westminster 80 th Ave Lift Station
Case Number:	RCU2017-00021

May 15, 2017

Adams County Planning Commission is requesting comments on the following request:

A Conditional Use Permit to allow replacement of a City of Westminster sewage pumping station (public service use) in the Residential Single-Family zone district (R-1-C) pursuant to Section 3-13-04-02.

This request is located at **2401 W 80TH AVE.**

The Assessor's Parcel Number is **0171929410001**

Applicant Information **CITY OF WESTMINSTER**
4800 W 92ND AVE
WESTMINSTER, CO 80031

Please forward any written comments on this application to the Department of Community and Economic Development at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216. (720) 523-6820 by **June 6, 2017** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to ECollins@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins
Emily Collins, AICP
Case Manager

Exhibit 6.1



Public Hearing Notification

Case Name:	City of Westminster Lift Station
Case Number:	RCU2017-00021
Planning Commission Hearing Date:	8/10/2017 at 6:00 p.m.
Board of County Commissioners Hearing Date:	8/29/2017 at 9:30 a.m.

July 14, 2017

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request:

Conditional Use Permit to allow replacement of a City of Westminster sewage pumping station (public service use) in the Residential Single-Family zone district (R-1-C) pursuant to Section 3-13-04-02.

This request is located at **2401 W 80TH AVE**

The Assessor's Parcel Number is **0171929410001**

Applicant Information: **CITY OF WESTMINSTER
4800 W 92ND AVE
WESTMINSTER, CO 80031**

The hearing will be held in the Adams County Hearing Room located at 4430 South Adams County Parkway, Brighton CO 80601. This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. If you require any special accommodations (e.g., wheelchair accessibility, an interpreter for the hearing impaired, etc.) please contact the Adams County Community and Economic Development Department at 720-523-6800 (or if this is a long distance call, please use the County's toll free telephone number at 1-800-824-7842) prior to the meeting date. For further information regarding this case, please contact the Department of Community and Economic Development, 4430 S. Adams County Parkway, Brighton, CO 80601, 720-523-6820. This is also the location where maps and/or text certified by the Planning Commission may be viewed. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Emily Collins, AICP
Case Manager

Exhibit 6.2

PUBLICATION REQUEST

City of Westminster 80th Ave Lift Station

Case Number: RCU2017-00021
 Planning Commission Hearing Date: 08/10/2017 at 6:00 p.m.
 Board of County Commissioners Hearing Date: 08/29/2017 at 10:00 a.m.

Request: Conditional Use Permit to allow replacement of a City of Westminster sewage pumping station (public service use) in the Residential Single-Family zone district (R-1-C) pursuant to Section 3-13-04-02.

Location: 2401 W 80TH AVE

Parcel Number(s): 0171929410001

Case Manager: Emily Collins

Case Technician: Megan Ulibarri

Applicant: CITY OF WESTMINSTER

303-658-2178

4800 W 92ND AVE
 WESTMINSTER, CO 80031

Owner: SCHOOL DISTRICT NO.50
 C/O SANDRA MCCLURE
 7002 RALEIGH ST
 WESTMINSTER, CO 800305996

Legal Description:

A Parcel of land being a portion of Block 126, Westminster Subdivision as recorded under Book 3 at Page 46 on August 26, 1891 original in the Arapahoe County Clerk and Records Office now in the Adams County Clerk and Records Office, lying in the Southeast Quarter of Section 29, Township 2 South, Range 68 West of the 6th Principal Meridian, City of Westminster, County of Adams, State of Colorado, more particularly described as follows:

Commencing at the Southeast Corner of Section 29, being monumented with a 3.25" aluminum cap stamped PLS 37967 in range box, whence the South Quarter Corner of said Section 29, being monumented with a 3.25" aluminum cap stamped PLS 23053 in range box bears N 89°54'16" W, a distance of 2646.17 feet; Thence along the Southline of the Southeast Quarter of said Section 29, N 89°54'16" W, a distance of 955.35 feet; Thence N 00°04'53" E, a distance of 30.00 feet to the Southwest Corner of said Block 126, said corner also being the Southeast Corner of Tract C, Shadowridge at Briar Heights as Recorded under Reception No. B675711 of said Adams County Clerk and Records Office, said corner also being the **POINT OF BEGINNING**; Thence along the westerly line of said Block 126, also being the easterly line of said Tract C, N 00°04'53" E, a distance of 48.00 feet; Thence departing said easterly and westerly line, S 89°54'16" E, a distance of 100.00 feet; Thence S 00°04'53" W, a distance of 48.00 feet to the southerly line of said Block 126, also being the northerly right-of-way line of West 80th Avenue; Thence along the southerly line of said Block 126, also being the said northerly right-of-way line, N 89°54'16" W, a distance of 100.00 feet

to the **POINT OF BEGINNING.**

The above description contains 4,800.00 Square Feet or 0.11 Acres more or less



CERTIFICATE OF POSTING

I, Emily Collins do hereby certify that I had the property posted at

2401 W. 80th Ave.

on July 27, 2017

in accordance with the requirements of the Adams County Zoning Regulations

Emily Collins

Emily Collins

Exhibit 6.4

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

Crestview Water & Sanitation
Attn: Patrick Stock
PO Box 21299
Denver CO 80221-0299

Adams County Fire Protection District
Attn: Chris Wilder
8055 N. WASHINGTON ST.
DENVER CO 80229

Engineering Department - ROW
Attn: Transportation Department
PWE - ROW

CDPHE - WATER QUALITY PROTECTION SECT
Attn: Patrick Pfaltzgraff
4300 CHERRY CREEK DRIVE SOUTH
WQCD-B2
DENVER CO 80246-1530

Engineering Division
Attn: Transportation Department
PWE

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

ENVIRONMENTAL ANALYST
Attn: Jen Rutter
PLN

CITY OF WESTMINSTER
Attn: MAC CUMMINS
4800 W 92ND AVE.
WESTMINSTER CO 80031

Hyland Hills Park & Recreation District
Attn: Terry Barnhart
8801 Pecos St
Denver CO 80260

CITY OF WESTMINSTER
Attn: Andy Walsh
4800 W 92nd Avenue
WESTMINSTER CO 80031

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

Code Compliance Supervisor
Attn: Eric Guenther
eguenther@adcogov.org

NS - Code Compliance
Attn: Kerry Gress
4430 S. Adams County Pkwy
Brighton CO 80601

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

Parks and Open Space Department
Attn: Nathan Mosley
mpedrucci@adcogov.org
aclark@adcogov.org

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

REGIONAL TRANSPORTATION DIST.
Attn: CHRIS QUINN
1560 BROADWAY SUITE 700
DENVER CO 80202

COUNTY ATTORNEY- Email
Attn: Christine Francescani
CFrancescani@adcogov.org

SHERIFF'S OFFICE: SO-HQ
Attn: MICHAEL McINTOSH
nblair@adcogov.org, aoverton@adcogov.org; mkaiser@adcog
snielson@adcogov.org

Sheriff's Office: SO-SUB
Attn: SCOTT MILLER
TFuller@adcogov.org, smiller@adcogov.org
aoverton@adcogov.org; mkaiser@adcogov.org

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

WESTMINSTER FIRE DEPT.
Attn: CAPTAIN DOUG HALL
9110 YATES ST.
WESTMINSTER CO 80031

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

2460 WEST 80TH AVENUE TRUST THE
90 WEST 84TH AVE
DENVER CO 80260-4808

ANDERSON GLORIA J
2422 W 82ND PL NO. 1I
WESTMINSTER CO 80031

7995 FAIRVIEW LLC
6725 W KEN CARYL AVE #281
LITTLETON CO 80128-5756

ANDERSON JEANNE D AND JACKSON MICHAEL J
AND BENTLEY SUZANNE P
2160 VALLEY VIEW DR
DENVER CO 80221-3877

ABEL JAY
2121 W 80TH PL
DENVER CO 80221-3872

ANDERSON RYAN J AND
ANDERSON CAROL M
2676 W 80TH PL
WESTMINSTER CO 80030

AGUERO DEBORAH A
2460 VALLEY VIEW DR
DENVER CO 80221

ANDERSON TEGAN F AND
CHRISTENSEN BRENNAN T
8064 DECATUR CT
WESTMINSTER CO 80031-4167

AGUILERA MARTIN MARTINEZ
8043 WYANDOT ST
DENVER CO 80221-3851

ANDREADE ARNOLD AND
QUINTANA ALLEN
7954 WYANDOT ST
DENVER CO 80221-3866

AGUINIGA ROBERT D AND
AGUINIGA CAROL E
8264 VALLEJO ST
DENVER CO 80221-7718

ANDURLAKIS CHERI LYNN AND
ANDURLAKIS CHERIE KRISTEN
8144 VALLEJO ST
DENVER CO 80221-4622

ALEXANDER RICKY W AND
ALEXANDER DORTHA SUE
2180 WYANDOT DR
DENVER CO 80221-3868

ANGEL JEANNETTE D
2260 STACY DR
DENVER CO 80221-4638

AMAYA ALEJANDRO GONZLAEZ
8184 VALLEJO ST
DENVER CO 80221-4622

ANGELES GEORGE A
8330 ZUNI ST NO. 203
DENVER CO 80221-4690

AMERICAN HOMES 4 RENT PROPERTIES THREE
LLC
30601 AGOURA RD STE 200
AGOURA HILLS CA 91301-2013

APOSTOL JOANN C
PO BOX 140217
EDGEWATER CO 80214

ANDERSON CLARK A
8051 DECATUR ST
WESTMINSTER CO 80030-7216

APPS MICHAEL A
8330 ZUNI ST NO. 112
DENVER CO 80221-4690

ARAGON CHARLES ANDERW
7847 ELMWOOD PL
DENVER CO 80221

BAKER CLYDE H SR AND
BAKER BARBARA
8154 VALLEJO ST
DENVER CO 80221-4622

ARAGON SANDRA L
7894 WYANDOT ST
DENVER CO 80221-3883

BALADAZ LORINDA
8052 BRYANT ST
WESTMINSTER CO 80031-7210

ARAGON TIMOTHY L AND
ARAGON SHEILA M
2662 W 81ST AVE
WESTMINSTER CO 80031

BALDWIN DONALD AND
BALDWIN BARBARA
2564 W 82ND LN UNIT B
WESTMINSTER CO 80031-8341

ARAUZ YANIRA AND
ARAUZ RUDY
7921 VALLEY VIEW DR
DENVER CO 80221-3846

BALGEMANN JEANETTE M AND
BALGEMANN BRUCE A
2933 W 81ST AVE NO. C
WESTMINSTER CO 80031

ARNOLD BRIAN AND
ARNOLD MICHELLE
2181 VALLEY VIEW DR
DENVER CO 80221-3878

BANK OF AMERICA NA
400 COUNTRYWIDE WAY
SIMI VALLEY CA 93065-6298

ARREOLA AQUILINA DIAZ
8187 VALLEJO ST
DENVER CO 80221-4621

BANKES CHERYL M
827 S GILPIN ST
DENVER CO 80209-4514

ASPEN POINTE INVESTMENTS LLC
10912 LEGACY RIDGE WAY
WESTMINSTER CO 80031-6829

BARBER JOHN P AND
BARBER JANETTE
8022 DECATUR ST
WESTMINSTER CO 80030-7215

B2S HOLDINGS LLC
PO BOX 514
GOLDEN CO 80402-0514

BARE JAMES L AND BARE TRACEY
2080 SHERRELWOOD DR
DENVER CO 80221-4655

BACA ROSE M
7852 ZUNI ST
DENVER CO 80221-4252

BARELA ELMER R AND
BARELA DOLORES L
8301 WYANDOT ST
DENVER CO 80221-4653

BACH NHU TRAN TO
2161 WYANDOT DR
DENVER CO 80221-3886

BARNES ROB L
2120 W 80TH PL
DENVER CO 80221-3824

BARRAGAN BARRAGAN MIRIAM YANETH AND
ORTIZ OCTAVIO DAVID SARABIA
2261 WYANDOT DR
DENVER CO 80221-3887

BERGER THOMAS M AND
BERGER GAIL A
2682 W 80TH WAY
WESTMINSTER CO 80030-4192

BARRON BARBARA C
7731 W OTTAWA PL
LITTLETON CO 80128-4462

BEYETTE SCOTT J
2424 W 82ND PL UNIT A
WESTMINSTER CO 80031-4081

BARTUNEK JESSE ELERY AND
BARTUNEK ANDREA
2221 STACY DR
DENVER CO 80221-4637

BLANCK LINDA AND
BLANCK ROBERT
2529 ELMWOOD LN
DENVER CO 80221-3218

BAUER ROSE MARY
8051 CLAY DR
WESTMINSTER CO 80031-4180

BLEA FRED AND
BLEA CYNTHIA
8092 ZUNI ST
DENVER CO 80221-3882

BB REALTY LLC
5492 S BAHAMA CT
CENTENNIAL CO 80015-4864

BLEA SUSAN AND
BENAVIDEZ DONITA R
2418 W 82ND PLACE UNIT A
WESTMINSTER CO 80031

BEARGEON ANGELA JEANNE
BEARGEON DAVID A
7896 VALLEJO ST
DENVER CO 80221-3854

BMWV LLC
470 MAZZINI STREET
ERIE CO 80516

BECK BETH
2601 VALLEY VIEW DR
DENVER CO 80221

BODEN CHARLENE A
8064 DECATUR ST
WESTMINSTER CO 80030-4169

BELARDO-FLOWERS ADRIENNE L AND
DREHER JAMES
8049 DECATUR ST
WESTMINSTER CO 80031

BOERMAN ANDREW AND
BOERMAN AMANDA
8070 DECATUR ST
WESTMINSTER CO 80031-4170

BELTRAN RIGOBERTO
2281 W 80TH AVE
DENVER CO 80221-3817

BOLZAK KATERYNA
2430 W 82ND PL UNIT 3A
WESTMINSTER CO 80031-4044

BEMIS STEPHANIE D
2422 W 82ND PLACE UNIT 3E
WESTMINSTER CO 80030

BONGARD HOMER J AND
BONGARD CONNIE A
8167 VALLEJO ST
DENVER CO 80221-4621

BONNER RAE JEANNE
8328 WYANDOT ST
WESTMINSTER CO 80221-4654

BROUKER ANNE MARIE AND
BROUKER GARY
8066 BRYANT ST
WESTMINSTER CO 80031-7210

BORQUEZ HAROLD G
7952 ZUNI ST
DENVER CO 80221-3880

BROWN DAVY E AND
BROWN JOAN J
7944 WYANDOT STREET
DENVER CO 80221

BORUNDA JESSICA N
2929 W 81ST AVE APT F
WESTMINSTER CO 80031-4144

BROWNER EDWARD L AND
BROWNER LORNA C
7963 WYANDOT STREET
DENVER CO 80221

BRABEC KYLE C
7955 VALLEJO ST
DENVER CO 80221-3853

BRUNO DONALD DAVID
7971 ZUNI ST
DENVER CO 80221-3879

BRASOVAN ASHLEY NICOLE
2422 W 82ND PL UNIT 2B
WESTMINSTER CO 80031-4086

BRYANT BARBARA ELLEN AND
JOHNSON DAVID L
8072 DECATUR ST
WESTMINSTER CO 80030

BRECHT AARON AND
BRECHT MATTYE
8091 CLAY ST
WESTMINSTER CO 80031-4187

BUDDINGH THERESA
2564 W 82ND LN UNIT C
WESTMINSTER CO 80031-8341

BREHENY PAUL J
8083 CLAY ST
WESTMINSTER CO 80031

BURGE HALEY
2939 W 81ST AVE APT D
WESTMINSTER CO 80031-4105

BRIANZA MICHAEL R
2449 ELMWOOD LANE
WESTMINSTER CO 80030

BURRIS DONNA K
2939 W 81ST AVE UNIT C
WESTMINSTER CO 80031

BRIAR HEIGHTS HOMEOWNERS
ASSOCIATION INC/ C/O D SUCH
1400 W 122ND AVE
WESTMINSTER CO 80030

BUSTAMANTE GABRIEL RICHARD SR
2436 W 82ND PL UNIT D
WESTMINSTER CO 80031-4040

BRIAR HEIGHTS HOMEOWNERS
ASSOCIATION INC/ C/O D SUCH
1400 W 122ND AVE
WESTMINSTER CO 80030

BUSTOS JASON E
8257 VALLEJO STREET
DENVER CO 80221

BUTLER DANA R
2600 VALLEY VIEW DR
DENVER CO 80221-3827

CARREON THERESA E
2428 W 82ND PLACE UNIT 2C
WESTMINSTER CO 80030

BUTTERMORE BRUCE L
7858 APPLEWOOD LN
DENVER CO 80221

CARSNO DARRYL K AND
CARSNO BETH
8062 CLAY DR
WESTMINSTER CO 80030-4179

BYRNE CHARLES M AND
SHANG LI
2424 W 82ND PL UNIT D
WESTMINSTER CO 80031-4081

CARTER ANNETTE
2418 W 82ND PLACE UNIT D
WESTMINSTER CO 80031

CAFOUREK JOSEF E AND
CAFOURKOVA MARIE
8041 BRYANT ST
WESTMINSTER CO 80030-7204

CASAS JOSEFINA CEBALLOS
7931 VALLEY VIEW DR
DENVER CO 80221-3846

CAH 2014-1 BORROWER LLC
8665 E HARTFORD DR STE 200
SCOTTSDALE AZ 85255-7807

CAST SCOTT GERALD AND
CAST DIANE L
2220 STACY DR
DENVER CO 80221-4638

CAH 2014-2 BORROWER LLC
8665 E HARTFORD DR STE 200
SCOTTSDALE AZ 85255-7807

CASTANEDA REYMUNDO AND
CASTANEDA DENISE MARIE
2429 ELMWOOD LN
DENVER CO 80221-3216

CAMACHO EDUARDO DOMINGUEZ AND
DELGADO LILIANA DEAROSA
2664 W 80TH WAY
WESTMINSTER CO 80031

CASTELLANOS ROLANDO
2422 W 82ND PL UNIT 2E
WESTMINSTER CO 80031-4086

CARABAJAL KRISTOPHER D
2428 W 82ND PL UNIT 3B
WESTMINSTER CO 80031-4038

CHAN KEN LEE
8024 DECATUR ST
WESTMINSTER CO 80031-7215

CARNEY STEVEN H
2441 VALLEY VIEW DR
DENVER CO 80221-3820

CHANHSOULIN BRANDA DENG
8040 DECATUR ST
WESTMINSTER CO 80031

CARRANCO ELMER M
2440 W 80TH AVE
DENVER CO 80221

CHAPARRO MARIA DEL ROSARIO
7990 CRESTVIEW LN
DENVER CO 80221

CHAPMAN NIGEL D T
2426 W 82ND PL UNIT E
WESTMINSTER CO 80031-4085

CLARE OF ASSISI HOMES-
WESTMINSTER INC C/O MERCY HOUSING
PO BOX 112819
CARROLLTON TX 75011

CHAU KHANH DUY AND
AU HUE
8066 DECATUR ST
WESTMINSTER CO 80031-4170

CLARK GLEN E AND
CLARK PATRICIA A
2939 W 81ST AVE APT N
WESTMINSTER CO 80031-4145

CHAVEZ GERARDO AND
CHAVEZ ESMERALDA
1060 LIPAN ST
DENVER CO 80204-3930

CLOSE DAVID JUSTIN
2422 W 82ND PL UNIT 1E
WESTMINSTER CO 80031-4084

CHAVEZ LUIS A AND
CHAVEZ MARINA V
2683 W 80TH WAY
WESTMINSTER CO 80031-4190

CLOUD SAMUEL G
9042 E 24TH PL UNIT 101
DENVER CO 80238-2853

CHAVEZ ROBLES SALVADOR
2480 VALLEY VIEW DR
DENVER CO 80221-3821

COBBLESTONE VILLAGE HOMEOWNERS
ASSOCIATION INC C/O PENNANT INVESTMENT
PO BOX 11077
BOULDER CO 80301

CHURAPE JOSE ANTONIO AND
ZAMORA MA DEL CONSUELO FERNANDEZ
6617 GROVE ST
DENVER CO 80221-2126

COCHRAN JAMES R
8047 DECATUR ST
WESTMINSTER CO 80030-7216

CHURCH OF JESUS CHRIST OF
LAT DAY STS/TAX AD 503 2997
50 E NORTH TEMPLE
SALT LAKE CITY UT 84150

COCROFT JOHN
15162 E 116TH PLACE
BRIGHTON CO 80603

CISNEROS LOUIS G AND CISNEROS COLLEEN R
8033 WYANDOT ST
DENVER CO 80221-3851

COLEMAN SEAN P
8244 VALLEJO ST
DENVER CO 80221-7718

CITY OF WESTMINSTER
4800 W 92ND AVE
WESTMINSTER CO 80030-6399

COLMENERO CAYETANO AND
COLMENERO CRISTINA
2161 W 80TH PL
DENVER CO 80221-3872

CK RENTALS LLC
421 ELLIS WAY
GOLDEN CO 80401-5237

COMEAU FAMILY TRUST THE
1722 URA LN
NORTHGLENN CO 80234-3636

CONDERINO KEVIN AND
CONDERINO JEAN
2650 ELMWOOD LN
DENVER CO 80221-3221

CREATIVE ESTATES LLC
6831 BROADWAY
DENVER CO 80221-2878

CONNELLY LAUREN
2428 W 82ND PL UNIT 1F
WESTMINSTER CO 80031-4037

CREATIVE ESTATES LLC
2560 VALLEY VIEW DR
DENVER CO 80221-3825

CONSTANS MARY
8074 DECATUR ST
WESTMINSTER CO 80031-4170

CRITCHFIELD ALMA J ETAL
7862 ZUNI ST
DENVER CO 80221-4252

COOK DELBERT L AND
COOK MARY J
2180 W 80TH AVE
DENVER CO 80221-3864

CROUSE PATRICIA C
8022 BRYANT ST
WESTMINSTER CO 80031

COOKSON DEANN
2420 W 82ND PL UNIT E
WESTMINSTER CO 80031-4069

CROWDER DANIEL
906 W 69TH AVE
DENVER CO 80221-7045

CORDOVA DORIS
8135 UMATILLA ST
DENVER CO 80221-4617

CUNEO PHILLIP
7950 CRESTVIEW LN
DENVER CO 80221-3806

CORL BRITTANY L
2430 W 82ND PL UNIT 2F
WESTMINSTER CO 80031-4044

CURTIN MICHAEL J
5671 W 110TH PL
WESTMINSTER CO 80020-3243

CORPORATE PROPERTIES INC
99 INVERNESS DR E STE 140
ENGLEWOOD CO 80112-5122

CUSHMAN GLENN TRUSTEE OF THE CUSHMAN
PAUL SUPPLEMENTAL NEEDS TRUST THE
27 BRITT LN
GROTON MA 01450-1128

COTTER JULIE A AND COTTER JOHN P AND
COTTER JAMES M AND STACHOWSKI MARY K
858 S JASMIN STREET
DENVER CO 80224

CYMANSKY DEBORAH A
8012 ZUNI ST
DENVER CO 80221-3882

COX STEVEN A AND
COX RUBI J
2426 W 82ND PL UNIT A
WESTMINSTER CO 80031-4082

DAHL FAMILY TRUST THE
2110 WYANDOT DR
DENVER CO 80221-3868

DAIGLE IRA P AND
DAIGLE JENNIFER M
10994 BELLAIRE WAY
THORNTON CO 80233

DAVIS GREGG
2621 VALLEY VIEW DRIVE
DENVER CO 80221

DAM NGOC AND
VU HOA
600 BLUE JAY DR
GOLDEN CO 80401-0902

DAVIS RANDY S AND
DAVIS VICKI S
8063 DECATUR ST
WESTMINSTER CO 80030-4173

DANG LINH HO AND
NGUYEN NGOC VAN
8031 BRYANT ST
WESTMINSTER CO 80031

DAVIS SEAN T
7930 CRESTVIEW LN
DENVER CO 80221-3806

DANKO LINDA R
2552 W 82ND LN UNIT A
WESTMINSTER CO 80031-8343

DAVIS T GENE
PO BOX 1031
LAFAYETTE CO 80026-4031

DANKO ROBERT AND
DANKO JANE
8195 UMATILLA STREET
DENVER CO 80221

DE BACA MICHELLE A
2141 W 80TH PL
DENVER CO 80221

DARBY KELLY M
8058 DECATUR ST
WESTMINSTER CO 80030-4169

DE VOS ELYSE AND
DE VOS TIMOTHY
2422 W 82ND PL UNIT 3A
WESTMINSTER CO 80031-4088

DARING NOEL AND
DARING RUBY
8028 DECATUR ST
WESTMINSTER CO 80031-7215

DEL ROSARIO JIM N AND EDNA P
8043 DECATUR ST
WESTMINSTER CO 80030-7216

DAVALOS TERRI LYNN AND
NEVAREZ DOLORES AGEDO
2261 W 82ND PL
DENVER CO 80221-7709

DEL ROSARIO RUEL N AND
DEL ROSARIO CRISTABEL P
8048 BRYANT ST
WESTMINSTER CO 80030-7210

DAVIDSON LAURA
7878 APPLEWOOD LN
DENVER CO 80221-3204

DELARBER JAMES J AND
DELARBER WENDY J
2620 VALLEY VIEW DRIVE
DENVER CO 80221

DAVIS BETHANY
2434 W 82ND PL UNIT B
WESTMINSTER CO 80031-4041

DELGADO JUAN ANTONIO
7861 ZUNI ST
DENVER CO 80221-4251

DELGADO ROBERT M AND DELGADO SHERRI L
7891 VALLEY VIEW DR
DENVER CO 80221-3848

DOAN THAO T
8038 DECATUR ST
WESTMINSTER CO 80031-4168

DEMUTH JACQUELINE MONIQUE
PO BOX 18393
DENVER CO 80218-0393

DOAN TIN AND
PHUNG KINH T
2679 W 80TH WAY
WESTMINSTER CO 80031-4190

DENNIS MARSHALL
2428 W 82ND PL UNIT 1A
WESTMINSTER CO 80031-4037

DOMINGUEZ DAVID S AND
DOMINGUEZ TAMMI L
2430 W 82ND PLACE UNIT 3C
WESTMINSTER CO 80031

DERKS DEBRA D 50% INT AND
FULCHER RANDY L 50% INT
8065 DECATUR ST
WESTMINSTER CO 80031-4174

DORJEE DAWALA
8056 BRYANT ST
WESTMINSTER CO 80030-7210

DETTLOFF SEAN
7956 VALLEJO ST
DENVER CO 80221-3854

DOWNING DESIREE D
2430 W 82ND PL UNIT 3F
WESTMINSTER CO 80031-4044

DEUEL JEFFREY D AND
DEUEL SARAH A
8023 WYANDOT ST
DENVER CO 80221-3851

DOWNING RICHARD D AND
DOWNING MARY J
7899 ELMWOOD LN
DENVER CO 80221-3265

DIAMOND JEANNE M AND
DIAMOND GARY
7972 ZUNI ST
DENVER CO 80221-3880

DOYLE KIMBERLEE R AND
D ARGO STEPHEN M
2320 STACY DR
DENVER CO 80221-4640

DIAZ DE LEON JAVIER AND
DIAZ DE LEON MARIA J
8076 BRYANT ST
WESTMINSTER CO 80031-7210

DUANGPANYA BOUATHIP
8044 BRYANT ST
WESTMINSTER CO 80031-7208

DILLEY DARREN M AKA
DILLEY DARREN
2428 W 82ND PL UNIT 3E
WESTMINSTER CO 80031-4038

DUCH MOEUN AND
LE HIEN QUANG
8027 DECATUR ST
WESTMINSTER CO 80030

DO THIEN HUU AND
ROACH THAO DO
8050 DECATUR ST
WESTMINSTER CO 80030-4169

DUNBAR DEREK H
2434 W 82ND PL UNIT D
WESTMINSTER CO 80031-4042

DUONG THU AND DOAN ANH AND
DOAN THAO
2688 W 81ST AVE
WESTMINSTER CO 80031-7213

EMORY TRENT AND
EMORY DOUGLAS
2430 W 82ND PL UNIT 3B
WESTMINSTER CO 80031-4044

DURAN ELVIO ALBERTO AND
TENNIES-DURAN JENNIFER ROSE
2631 VALLEY VIEW DR
DENVER CO 80221-3826

ERNER KRISTIN L
2929 W 81ST AVE NO. H
WESTMINSTER CO 80031-4144

DYNES STEVEN ALEXANDER
8068 DECATUR CT
WESTMINSTER CO 80030-4167

ESCHENBACH STEVEN
2451 KIPLING ST APT 204
LAKEWOOD CO 80215-1481

EBERL PHILLIP A AND
EBERL CYNTHIA J
7984 WYANDOT ST
DENVER CO 80221-3866

ESCOBAR ORTEGA ANA MARIA AND
ABREGO CARDOZA JOSE LUIS
8076 CLAY DR
WESTMINSTER CO 80031-4177

EDWARDS MONICA
1182 DEXTER ST
BROOMFIELD CO 80020-1472

ESPARZA GONZALEZ JAIME
2221 W 80TH PL
DENVER CO 80221-3873

EDWARDS ROBERT A
2121 VALLEY VIEW DR
DENVER CO 80221-3878

ESQUIBEL WILLIAM B AND
ESQUIBEL ELEANOR L
2590 VALLEY VIEW DR
DENVER CO 80221-3825

EENHUIS ROGER L AND
EENHUIS MARY ANN
7953 WYANDOT ST
DENVER CO 80221-3865

ESTRADA JARAMILLO MONICA
2280 WYANDOT DR
DENVER CO 80221-3885

EGNER JASON MICHAEL AND
EGNER DEAN CHARLES
8079 CLAY ST
WESTMINSTER CO 80031-4187

ESTRADA RAYMOND P AND
ESTRADA FABIOLA
2579 ELMWOOD LN
DENVER CO 80221-3218

ELLIOT LOIS J
8134 VALLEJO ST
DENVER CO 80221-4622

FAIRVIEW BAPTIST CHURCH
PO BOX 21266
DENVER CO 80221

ELLIOTT DONALD
2656 W 80TH WAY
WESTMINSTER CO 80031-4191

FARMER CODY M AND
FARMER LISA KATHERINE
2017 S HIGHWAY 287
BERTHOUD CO 80513

FELIPE ERIC
7899 APPLEWOOD LN
DENVER CO 80221-3203

FLESHER KRISTI K
7898 APPLEWOOD LN
DENVER CO 80221-3204

FERNANDEZ CHONLATI
2434 W 82ND PL UNIT A
WESTMINSTER CO 80031-4041

FRAGA IRMA QUIROT
8330 ZUNI ST APT 119
DENVER CO 80221-4674

FERWERDA ALFRED M AND
FERWERDA JANE K
2530 W 80TH AVE
DENVER CO 80221-3800

FRANK COURTNI E
6295 S CLARKSON ST
CENTENNIAL CO 80121-2415

FEULNER STEFAN WILLIAM AND
FEULNER CHRISTINA ANN
2939 W 81ST AVE APT K
WESTMINSTER CO 80031-4145

FRAUENFELD EDWINA L
2929 W 81ST AVE NO. J
WESTMINSTER CO 80030-4144

FIEBIG DAN/HERBERT JOSHUA AND
WILLIAMS WALTER
10369 ZUNI STREET NO. M-201
FEDERAL HEIGHTS CO 80260

FRAZER DOUGLAS ALAN
10964 W 100TH DR
WESTMINSTER CO 80021-7822

FIERRO JOSEPH R
8033 CLAY DR
WESTMINSTER CO 80031-4182

FREELove THOMAS F AND
FREELove CHERYL J
2591 VALLEY VIEW DR
DENVER CO 80221-3822

FINERTY SANDRA L
7940 CRESTVIEW LN
DENVER CO 80221-3806

FREEMAN SHARON F
2420 W 82ND PL NO. B
WESTMINSTER CO 80030-4069

FITZGERALD ANTHONY L
7990 ROBIN LN
DENVER CO 80221-3819

FREITAS WENDY E
7914 WYANDOT ST
DENVER CO 80221-3866

FITZGERALD CLENDON H TRUST THE
7905 VALLEJO ST
DENVER CO 80221-3853

FRIEDLANDER ERIC L AND
FRIEDLANDER DAVID M
2422 W 82ND PL UNIT 1G
WESTMINSTER CO 80031-4084

FITZGERALD DREW C AND
FITZGERALD MICHELLE A
2625 W 82ND LN UNIT D
WESTMINSTER CO 80031-8339

FULLER BROOKE AND
WEED GREGORY J
8037 CLAY ST
WESTMINSTER CO 80030-4187

FULLER CHRISTINA M
2280 SHERRELWOOD DR
DENVER CO 80221-4665

GARRAMONE CYNTHIA F AND
WALLS KENNETH
8082 ZUNI ST
DENVER CO 80221-3882

GA HC REIT II ST ANTHONY NORTH DENVER
MOB II LLC C/O AMERICAN HEALTHCARE INVES
18191 VON KARMAN AVE STE 300
IRVINE CA 92612-7106

GASSMAN CATHERINE M TRUST UA THE
11301 CHAMBERS RD
BRIGHTON CO 80601-7147

GALINDO ANTHONY C AND
GALINDO MONICA M
8063 WYANDOT STREET
DENVER CO 80221

GIBSON JANICE K
7869 GREENLEAF LN
DENVER CO 80221-3232

GALLEGOS GEORGE G
4657 ANDES WAY
DENVER CO 80249-6797

GILLAN GREG
8068 DECATUR ST
WESTMINSTER CO 80030-4170

GANDARA KAREN E ET AL
8078 DECATUR ST
WESTMINSTER CO 80031-4171

GILLIS DAVID
1418 ELIZABETH ST
DENVER CO 80206-2311

GARCIA LORI J
2422 W 82ND PL UNIT 1C
WESTMINSTER CO 80031-4084

GIRARDIN RODNEY E
8060 BRYANT ST
WESTMINSTER CO 80030-7210

GARCIA MANUEL R
2161 W 80TH AVE
DENVER CO 80221-3869

GJESTVANG ROBERT M
2590 W 80TH AVE
DENVER CO 80221-3800

GARCIA SANDRA
7961 VALLEY VIEW DR
DENVER CO 80221-3846

GLASSMEYER JAY A AND
GLASSMEYER CHRISTINE L
7904 WYANDOT ST
DENVER CO 80221-3866

GARCIA YESENIA M
2160 SHERRELWOOD DR
DENVER CO 80221-4661

GOMEZ ASHLEIGH A
2929 W 81ST AVE APT B
WESTMINSTER CO 80031-4144

GARLOW JANETTE E
2422 W 82ND PL UNIT 1B
WESTMINSTER CO 80031-4084

GOMEZ GREGORY AARON
2500 VALLEY VIEW DR
DENVER CO 80221-3825

GOMEZ JOSEPH
7880 FAIRVIEW AVE
DENVER CO 80221-3227

GRAHAM JUDITH D
8230 ZUNI ST
DENVER CO 80221-4656

GOMEZ MANUEL A JR AND
PILAR PAULINE GOMEZ
8073 WYANDOT ST
DENVER CO 80221-3851

GRAY GLENN T AND
GRAY CYNTHIA L
2111 WYANDOT DR
DENVER CO 80221-3886

GONTAR YVONNE
2939 W 81ST AVENUE NO. G
WESTMINSTER CO 80031

GREEN MICHAEL A AND
GREEN SHERRY LYNNE
8225 UMATILLA ST
DENVER CO 80221-7713

GONZALES LEWIS R AND
GONZALES PATRICIA L
8051 CLAY ST
WESTMINSTER CO 80030-4187

GREEN TERESA L
12365 HURON ST STE 1800
WESTMINSTER CO 80234-3297

GONZALEZ GIGLIA RIVERA
2261 W 80TH PL
DENVER CO 80221-3873

GREEN VALERIE R
8330 ZUNI ST APT 105
DENVER CO 80221-4688

GONZALEZ PEREZ DAVID LOT AND
PEREZ HERNANDEZ MANUEL
8197 VALLEJO ST
DENVER CO 80221-4621

GREER PATRICIA A
7982 ZUNI ST
DENVER CO 80221-3880

GOTTSHALL PAUL AND
GOTTSHALL SUSAN
2424 W 82ND PL UNIT F
WESTMINSTER CO 80031-4081

GREGORY PENNY DIANE
2440 VALLEYVIEW DR
DENVER CO 80221-3821

GOULD SALLY A
7902 ZUNI ST
DENVER CO 80221-3880

GRIFFIN DIANE
2432 W 82ND PL UNIT F
WESTMINSTER CO 80031-4007

GRACE ANDREA L
2240 WYANDOT DR
DENVER CO 80221-3885

GRINDLE PAUL E AND
GRINDLE JEANNE
3323 W 114TH PL
WESTMINSTER CO 80031-7133

GRACIANO ANGELINE AND
GRACIANO SOLOMOAN
2181 W 80TH AVE
DENVER CO 80221

GUAJARDO DANIEL AND
GUAJARDO JO ANN
2120 WYANDOT DR
DENVER CO 80221-3868

GUERRERO SYLVIA L
7879 ELMWOOD LN
DENVER CO 80221-3265

HAMEL RICHARD W
8045 BRYANT ST
WESTMINSTER CO 80030-7205

GUEST ANDREW
7974 WYANDOT ST
DENVER CO 80221-3866

HANEY LAURA L
7854 ELMWOOD PL
DENVER CO 80221-3225

GUETTLEIN ERIN N
2430 W 82ND PL UNIT 2D
WESTMINSTER CO 80031-4044

HARRIS JOSEPH AND
HARRIS ROBBI
7970 VALLEY VIEW DRIVE
DENVER CO 80221

GUPTON WANDA GAYE
2140 W 80TH PL
DENVER CO 80221-3824

HARRIS JOSEPH W AND HARRIS ROBBIE M
7960 VALLEY VIEW DR
DENVER CO 80221-3847

GUSTAFSON SHANE
7991 ROBIN LN
DENVER CO 80221-3816

HARTLEY LANCE A
7980 CRESTVIEW LN
DENVER CO 80221-3806

GUTIERREZ GINA L AND
GUTIERREZ MARIO
2929 W 81ST AVE
WESTMINSTER CO 80031-4114

HASSE CATHERINE M AND
JOHNSON BARBARA D
15 DEER CIR
FLORISSANT CO 80816

GUTIERREZ OSCAR
8062 ZUNI ST
DENVER CO 80221-3882

HATHORN BILLY
2418 W 82ND PL
WESTMINSTER CO 80031-4032

HADDEN JEFFREY SCHAIRER
2941 W 81ST AVE UNIT F
WESTMINSTER CO 80031

HAUBERT DENNIS A
2436 W 82ND PLACE UNIT B
WESTMINSTER CO 80031

HAGENBUCH IV ROBERT D TRS UA
HAGENBUCH MARGARET E TRST US
2421 VALLEY VIEW DR
DENVER CO 80221-3820

HAUBERT DENNIS A
12596 DEXTER STREET
THORNTON CO 80241

HALTERMAN JASON D AND
HALTERMAN ESTELLA C
2080 VALLEY VIEW DR
DENVER CO 80221-3856

HAUBERT DENNIS A SR
12596 DEXTER STREET
THORNTON CO 80241

HAXBY MICHAEL
2418 W 82ND PL UNIT F
WESTMINSTER CO 80031-4066

HERNANDEZ MARIA E
8024 WYANDOT ST
DENVER CO 80221-3852

HAYSON MAGDALENA
2210 W 82ND PL
DENVER CO 80221-7708

HICKEL EDWIN G
2420 W 80TH AVE
DENVER CO 80221

HEILIG MATTHEW B AND
HEILIG ELVIA E
2550 W 82ND PL
WESTMINSTER CO 80031-8316

HICKS ERIC
13823 W 78TH PL
ARVADA CO 80005-2725

HELGESON BRIAN
2141 WYANDOT DR
DENVER CO 80221-3886

HICKS LINDA
7909 ELMWOOD LN
DENVER CO 80221-3265

HENDRICKSON SKIP LAND
HENDRICKSON ESTHELLA R
8029 DECATUR ST
WESTMINSTER CO 80031-7220

HILL BETH A REVOCABLE TRUST
9520 GRAY ST
WESTMINSTER CO 80031

HENLEY MICHAEL G AND
KENNEY JULIE
8076 DECATUR ST
WESTMINSTER CO 80031-4171

HILLIARD JR STANLEY G
7870 VALLEY VIEW DR
DENVER CO 80221-3849

HERNANDEZ ADAN VAZQUEZ
2281 WYANDOT DR
DENVER CO 80221-3887

HILTON PAULINE M
9245 NEWTON ST
WESTMINSTER CO 80030-3127

HERNANDEZ AVILA LUIS ALBERTO
2569 ELMWOOD LANE
DENVER CO 80221

HO NIE AND
VUONG LAN NGOC
8035 DECATUR ST
WESTMINSTER CO 80031-7216

HERNANDEZ DANIEL AGUINAGA
7903 WYANDOT ST
DENVER CO 80221-3865

HOANG NGA THI AND
LE HONG T
2662 W 80TH WAY
WESTMINSTER CO 80031

HERNANDEZ DAVID CASTRO AND
BARRAGAN MARIA DE JESUS MURUATO
2221 W 80TH AVE
DENVER CO 80221-3817

HOBDEN FREDERICK J AND
HOBDEN KATHERINE A
2420 W 82ND PL UNIT F
WESTMINSTER CO 80031-4069

HODGE ADAM C
3109 ALMERIA WAY
LONGMONT CO 80503-7877

HUDDLESTON WINTER ROSE AND
ADAMS THOMAS JON
2430 W 82ND PL UNIT 11
WESTMINSTER CO 80031-4043

HOFF PATRICIA E
2422 W 82ND PLACE UNIT 1H
WESTMINSTER CO 80030

HUFF DEZARAY AND
SULLIVAN DENNIS H
2422 W 82ND PL UNIT 2H
WESTMINSTER CO 80031-4086

HOLQUIN LORENZO AND
HOLQUIN PAULA
2625 W 82ND LN UNIT A
WESTMINSTER CO 80031-8339

HUFFMAN GERALD W AND
HUFFMAN FERN L
2241 W 82ND PL
DENVER CO 80221-7709

HORN DANIEL
2696 W 80TH PL
WESTMINSTER CO 80031-7218

HULSE SYDNEY MORGAN
8027 BRYANT ST
WESTMINSTER CO 80031-7202

HORNBUCKLE SARAH A
2200 W 82ND PL
DENVER CO 80221-7708

HULTGREN PAUL J
1345 PLAZA COURT N
LAFAYETTE CO 80026

HORTON DARLA K
8075 CLAY DR
WESTMINSTER CO 80031

HUMMEL DONNA L
2430 W 82ND PL UNIT 3H
WESTMINSTER CO 80031-4045

HOURNBUCKLE CHRISTOPHER
7919 ELMWOOD LN
DENVER CO 80221-3266

HUNT COURTNEY AND BUTKER JOHN ROBERT AND
BUTKER ALICE TODD
2400 VALLEY VIEW DR
WESTMINSTER CO 80221-3821

HOWERTON SCOTT AND
HOWERTON MICHELLE
2432 W 82ND PL UNIT H
WESTMINSTER CO 80031-4007

HUNTLEY AMBER L
2432 W 82ND PL UNIT I
WESTMINSTER CO 80031-4007

HRADEK AMY LAUREN AND
OSTROSKI ADAM RICHARD
8029 CLAY DR
WESTMINSTER CO 80031-4182

HUTTENHOW-WENDL CATHERINE M
8040 BRYANT ST
WESTMINSTER CO 80030-7208

HUANG MINYU
8047 BRYANT ST
WESTMINSTER CO 80031-7205

HUYNH DIEP
8061 CLAY DR
WESTMINSTER CO 80031-4178

HUYNH HA
8042 BRYANT ST
WESTMINSTER CO 80031-7208

JESTER DANIEL R AND
JESTER ANGELA L
2439 ELMWOOD LN
DENVER CO 80221-3216

HUYNH KHUONG VINH AND HUYNH HUNG VINH AN
NGUYEN XUAN ANH
8042 DECATUR ST
WESTMINSTER CO 80031-4168

JEWISH CENTER CHABAD OF NORHTWEST
METRO DENVER INC THE
4505 W 112TH AVE
WESTMINSTER CO 80031

IHRIG RYAN
2300 W 82ND PL
DENVER CO 80221-4610

JIRON-MENDOZA ANGELA V AND
MENDOZA MICHAEL A
7888 GREENLEAF LN
DENVER CO 80221-3233

ITO DANIEL AND
SCHULTZ KRISTIN
7941 VALLEY VIEW DR
DENVER CO 80221-3846

JOHNSTON RICHARD D AND
JOHNSTON EMILY
7879 GREENLEAF LN
DENVER CO 80221-3232

JAEN MELISA A AND
JAEN MARCO R
8048 CLAY DR
WESTMINSTER CO 80031

JONES CECIL AND
JONES CLAUDIA
742 W 87TH PLACE
DENVER CO 80260

JAISWAL MANISHA K AND
JAISWAL KISHOR S
PO BOX 18922
GOLDEN CO 80402-6049

JONES JOSHUA
2570 W 80TH AVE
WESTMINSTER CO 80221-3800

JARAMILLO JOSHUA B OLSEN AND
OLSEN NICOLE S
2625 W 82ND LN UNIT C
WESTMINSTER CO 80031-8339

JORDAN ANDREW H
2600 W 82ND PL UNIT A
WESTMINSTER CO 80031-8319

JAZWICK MARVIN H
7883 WYANDOT ST
DENVER CO 80221-3884

JUENEMANN SAMANTHA LYNN
2552 W 82ND LN UNIT B
WESTMINSTER CO 80031-8343

JEFFRIES SABRINA L AND
OGLETREE RAHEEM OSCAR
7981 FAIRVIEW AVE
DENVER CO 80221-3807

JUNIO SHEILA AND
EAMILAO EULITO/ELEANOR
2676 W 81ST AVE
WESTMINSTER CO 80031

JENNINGS NEWELL R AND
JENNINGS DORENE E
2340 SHERRELWOOD DR
DENVER CO 80221-4667

KARIOUK ANNA
837 E 98TH AVE APT 409
DENVER CO 80229-2388

KATT PEGGY P
8047 CLAY ST
WESTMINSTER CO 80030-4187

KIET ANH NGUYEN LLC
4626 CASTLE CIR
BROOMFIELD CO 80023-4074

KAUP BRIAN W AND
CUTRIGHT NICOSHA K
8077 CLAY DR
WESTMINSTER CO 80031-4176

KIM JUNG JA AND
HONG YOUNG JOO
8084 CLAY ST
WESTMINSTER CO 80031-4102

KEEGAN GARETH AND
KEEGAN MONICA
2430 W 82ND PL UNIT 3E
WESTMINSTER CO 80031-4044

KIM SAMUEL J II
2600 W 82ND PL UNIT C
WESTMINSTER CO 80031

KEENEY DAVID J REVOCABLE
LIVING TRUST THE
8045 DECATUR ST
WESTMINSTER CO 80031

KIM YUNG BAE
8034 CLAY ST
WESTMINSTER CO 80031

KELLSTADT MEGAN ELIZABETH
2941 W 81ST AVE NO. H
WESTMINSTER CO 80031-4101

KINDLER KATHLEEN A
2141 VALLEY VIEW DR
DENVER CO 80221-3878

KEMP SHERYL
2941 W 81ST AVE UNIT B
WESTMINSTER CO 80030

KING SCOTT
2929 W 81ST AVE NO. D
WESTMINSTER CO 80030

KEODOUANGKHAM INKEO/EUY AND
KEODOUANGKHAM KHAMPHONE/THONGKHAM
8069 CLAY DR
WESTMINSTER CO 80031

KIRBY CHARLINE R LIVING TRUST THE
8020 BRYANT ST
WESTMINSTER CO 80031

KEODOUANGKHAM KHAMPHONE AND
KEODOUANGKHAM INKEO / EUY
8073 CLAY ST
WESTMINSTER CO 80031-4187

KIRCHNER DEBBIE
2416 W 82ND PL UNIT B
WESTMINSTER CO 80031-4003

KEOSOMBOON VINCE
8059 CLAY ST
WESTMINSTER CO 80030-4187

KITZMILLER BRIAN T
8067 BRYANT ST
WESTMINSTER CO 80031

KIELIAN ROBERT L AND
KIELIAN LINDA E
7892 ZUNI ST
DENVER CO 80221-3888

KLINGBERG ERIC R AND
KLINGBERG MARY JANE
2436 W 82ND PL NO. H
WESTMINSTER CO 80031

KNAPP ROBERT R AND
KNAPP JOYCE E
8207 VALLEJO ST
DENVER CO 80221-4621

KUBLITSKY PETER AND
KUBLITSKY NATALIYA
8089 CLAY ST
WESTMINSTER CO 80031-4187

KNOBLAUH ROBERT W
2929 W 81ST AVE UNIT A
WESTMINSTER CO 80031

KUNTZ DONAVAN
7941 ZUNI ST
DENVER CO 80221-3879

KNOPP EDWARD R AND
KNOPP MARGARET S H
7884 WYANDOT ST
DENVER CO 80221-3883

LAM HOA AND TRAN BUI
7874 WYANDOT ST
DENVER CO 80221-4243

KNUDSON LARRY AND
KNUDSON SHARON
8037 BRYANT ST
WESTMINSTER CO 80030

LANG WILLIAM E JR AND
LANG SUSAN S
2428 W 82ND PL UNIT 1D
WESTMINSTER CO 80031-4037

KOENIG JOACHIM H AND
KOENIG MARIANNE
2659 ELMWOOD LN
DENVER CO 80221-3220

LARIMER MELANIE J
2080 W 80TH PL
DENVER CO 80221-3889

KOHLER DAVID M AND
KOHLER SANDY
2520 VALLEY VIEW DR
DENVER CO 80221-3825

LATHAM JERRY H AND
LATHAM LINDA S
8145 UMATILLA ST
DENVER CO 80221-4617

KORN BRIAN
7920 VALLEY VIEW DR
DENVER CO 80221-3847

LAUHON JACQUELYN K
2120 W 80TH AVE
DENVER CO 80221-3864

KRAJEWSKI STEFAN
8068 CLAY DR
WESTMINSTER CO 80031-4179

LAURITA NICOLE ANN AND
LAURITA KENNETH M
8039 BRYANT ST
WESTMINSTER CO 80031-7204

KRANZ TAMMY
2422 W 82ND PL UNIT 1A
WESTMINSTER CO 80031

LE BAO THI
2690 W 80TH WAY
WESTMINSTER CO 80031-4192

KRATZ SHANNON L
2941 W 81ST AVE UNIT J
WESTMINSTER CO 80031

LE HIEN THI
8032 DECATUR ST
WESTMINSTER CO 80030

LE THU MONG
2531 VALLEY VIEW DR
DENVER CO 80221-3822

LIANG LI DE AND
LIANG RUI NA
2941 W 81ST AVE NO. D
WESTMINSTER CO 80030-4106

LEE SOK KI AND
LEE YANG SON
8037 DECATUR ST
WESTMINSTER CO 80030-7216

LILGEROSE SAM AND
CHAVEZ ANGELIC
2360 SHERRELWOOD DR
DENVER CO 80221

LEE SUNG GEUN
8070 BRYANT ST
WESTMINSTER CO 80030-7210

LILGEROSE TONY L AND
LILGEROSE LINDA
8070 CLAY DRIVE
WESTMINSTER CO 80031

LEMAIRE FAMILY TRUST THE
8267 VALLEJO ST
DENVER CO 80221-4669

LILLY A AND
LILLY NICOLE
2424 W 82ND PL
WESTMINSTER CO 80031-4033

LEMAK DAMIAN A
2416 W 82ND PL UNIT E
WESTMINSTER CO 80031-4003

LIMBERG DORCAS A
2220 W 82ND PL
DENVER CO 80221-7708

LEON DON WAI AND
LEON KAM NGAI
5590 S HANNIBAL WAY
CENTENNIAL CO 80015-4276

LINDELIEN ARDMORE L AND
LINDELIEN VIRGINIA
2261 W 80TH AVE
DENVER CO 80221-3817

LEPIE LARA
2600 W 82ND PLACE UNIT B
WESTMINSTER CO 80031

LINDSTROM DEBRA K
7901 ZUNI ST
DENVER CO 80221-3879

LEPPEK GREGORY A AND
LEPPEK VICKI MC DONALD
2639 ELMWOOD LN
DENVER CO 80221-3220

LINNA CLAIRE D
2430 W 82ND PLACE UNIT 1D
WESTMINSTER CO 80031

LEVINE KIMBERLY TRUSTEE OF THE
LEBUS RESIDENCE TRUST THE
2221 WYANDOT DR
DENVER CO 80221-3887

LIPP MAYNARD HOWARD AND
LIPP CLARE J
7985 ROBIN LN
DENVER CO 80221-3816

LEWIS JONATHAN
8614 YUKON ST APT 201
ARVADA CO 80005-1641

LITTLE LANDON J
2428 W 82ND PL UNIT 2H
WESTMINSTER CO 80031-4038

LLADSER MANUEL AND
OSBORN ANTHONY GENE
2684 W 81ST AVE
WESTMINSTER CO 80030-7213

LUCERO FRANK T AND LUCERO JANET M
7889 GREENLEAF LN
DENVER CO 80221-3232

LONGALE MARK W AND
HALDAMAN KAREN L
2420 W 82ND PL NO. D
WESTMINSTER CO 80030-4069

LUNA JUAN ABDIAS JR
2281 STACY DR
DENVER CO 80221-4637

LOPEZ CECILIA Y
2432 W 82ND PLACE UNIT A
WESTMINSTER CO 80030

LY KATI AND
VUE BLONG
8077 BRYANT ST
WESTMINSTER CO 80030

LOPEZ FELINA V
8205 UMATILLA ST
DENVER CO 80221-7713

LY TAM MINH AND
DOAN TOAN D
8034 DECATUR ST
WESTMINSTER CO 80031-4168

LOPEZ WILLIAM J AND
LOPEZ GEORGETTA A
7994 WYANDOT ST
DENVER CO 80221-3866

M E M WESTMINSTER PROPERTY LLP
1165 S PENNSYLVANIA ST
DENVER CO 80210

LOR VANG
7926 VALLEJO ST
DENVER CO 80221-3854

MADDEN GARY T TRUST THE
8224 VALLEJO ST
DENVER CO 80221-7718

LOUGHMILLER MARILYN L
2420 VALLEY VIEW DR
DENVER CO 80221-3821

MADERO PEDRO JR
2260 W 80TH PL
DENVER CO 80221-3871

LOVE RONALD B AND
MONTROYA NORA M
7921 ZUNI ST
DENVER CO 80221-3879

MADIN GABRIELA
7985 VALLEJO ST
DENVER CO 80221-3853

LOWRANCE SHERI L
8715 SETON ST
WESTMINSTER CO 80031-3662

MAESTAS MARK E AND MAESTAS KATHRYN S
2426 W 82ND PLACE UNIT C
WESTMINSTER CO 80030

LUC KIN AND NGUYEN PHUONG THI MINH
8032 CLAY ST
WESTMINSTER CO 80030-4188

MAESTAS RITA L
2141 W 82ND PL
DENVER CO 80221-4606

MAJOR CLINTON G
2676 W 80TH WAY
WESTMINSTER CO 80030-4192

MARTINEZ ALFRED W AND
MARTINEZ PEARL D
8086 FLORADO ST
DENVER CO 80221-3830

MALACKY REBECCA N
2430 W 82ND PL UNIT 2A
WESTMINSTER CO 80031-4043

MARTINEZ BRENDA M AND
MARTINEZ JEFFREY E
7945 VALLEJO STREET
DENVER CO 80221

MALDONADO PATRICIA
2200 SHERRELWOOD DRIVE
DENVER CO 80221

MARTINEZ DAVID J
2426 W 82ND PLACE UNIT B
WESTMINSTER CO 80030

MALDONADO RAMIRO
2160 W 80TH PL
DENVER CO 80221

MARTINEZ DAVID J
2120 SHERRELWOOD DR
DENVER CO 80221-4661

MALLETT FREDERICK J JR
2161 VALLEY VIEW DR
DENVER CO 80221-3878

MARTINEZ DESIREE
2550 W 82ND PL UNIT B
WESTMINSTER CO 80031-8317

MANCHESTER DAVID C AND
MANCHESTER SHIRLEY R
7992 ZUNI ST
DENVER CO 80221-3880

MARTINEZ JOEL
2520 W 80TH AVE
DENVER CO 80221

MANKOWSKI KENNETH P AND
MANKOWSKI ROSE M
2549 ELMWOOD LN
DENVER CO 80221-3218

MARTINEZ JOHNNIE D AND
MARTINEZ MARY JANE
8177 VALLEJO ST
DENVER CO 80221

MANZANARES JESUS AND
MANZANARES DEBRA E
7864 WYANDOT ST
DENVER CO 80221-4243

MARTINEZ MANUEL SR AND CORRINE V
2380 STACY DR
DENVER CO 80221-4640

MARCHESO CATHELINE ANN
2640 ELMWOOD LN
DENVER CO 80221-3221

MARTINEZ NORMA
7943 WYANDOT ST
DENVER CO 80221

MARRS WILLIAM H AND
MARRS MICHELE OWENS
8030 BRYANT ST
WESTMINSTER CO 80030-7207

MARTINEZ RICHARD
2461 VALLEY VIEW DR
DENVER CO 80221-3820

MARTINEZ RICHARD J JR
2432 W 82ND PL UNIT E
WESTMINSTER CO 80031-4007

MC KENNEY MARTHA A
2491 VALLEY VIEW DR
DENVER CO 80221

MASON RYAN S
2422 W 82ND PL UNIT 1D
WESTMINSTER CO 80031-4084

MC KINSTER SEAN R E AND
MC KINSTER RONDA K
2281 W 80TH PL
DENVER CO 80221

MAYNARD ANITA R
9715 QUAY LOOP
WESTMINSTER CO 80021

MCELHINNEY MARIYA Y
2552 W 82ND LN UNIT C
WESTMINSTER CO 80031-8343

MAYNES CHRISTOPHER A AND
MAYNES APRIL R
8055 CLAY DR
WESTMINSTER CO 80031-4180

MCELROY CASSIDY D/MICHAEL N AND
MCELROY RONA R
2428 W 82ND PL UNIT 2B
WESTMINSTER CO 80031-4038

MAZZULLO MARGARET L AND
MAZZULLO THOMAS B
2422 W 82ND PL UNIT 2C
WESTMINSTER CO 80031-4086

MCGINNIS TRAVIS AND
MCGINNIS CHARLOTTE
5390 W 80TH AVE
ARVADA CO 80003-1925

MC CUNE DONALD ROY AND
MC CUNE KENDRA JEAN
8247 VALLEJO ST
DENVER CO 80221-4669

MCGREGORY ISAIAH JAMES
444 BANNOCK ST APT 4
DENVER CO 80204-5177

MC DOWELL SHERYL RAE
7991 FAIRVIEW AVE
DENVER CO 80221-3807

MCNEW JOSHUA/BALLARD MARGARET M
GUGEL TROY V
2418 W 82ND PL UNIT B
WESTMINSTER CO 80031

MC FARLAND ROBERT L
8217 VALLEJO ST
DENVER CO 80221-4621

MCWILLIAMS JUSTIN D
2240 W 80TH PL
DENVER CO 80221-3871

MC GROARTY SARALEE TRUST THE
8580 N COUNTY LINE RD
LONGMONT CO 80503-7881

MEDINA FRANCISCO AND
MEDINA GABRIELA A
8165 UMATILLA ST
DENVER CO 80221-4617

MC KENNEY EDWIN L AND
MC KENNEY DEMETRA L
2201 W 82ND PL
DENVER CO 80221

MEDINA ROBERT J
2240 SHERRELWOOD DR
DENVER CO 80221-4665

MEEHAN ESTHER M
980 W 100TH DR
NORTHGLENN CO 80260

MEZZALIRA FABIO
7848 GREENLEAF LN
DENVER CO 80221-3233

MEJIA MACEDONIO AND
MEJIA LUZ ESTELA
8339 VALLEJO ST
DENVER CO 80221-4647

MILLER CALLAN C
2420 W 82ND PL UNIT A
WESTMINSTER CO 80031-4012

MELTON SHARON A
8061 FLORADO ST
DENVER CO 80221-3829

MILLER JOANNE E
7925 VALLEJO ST
DENVER CO 80221-3853

MELTON STACI
2589 ELMWOOD LN
DENVER CO 80221-3218

MILLER SHARON M
2939 W 81ST AVE APT M
WESTMINSTER CO 80031-4145

MENDEZ ALMA
7913 WYANDOT ST
DENVER CO 80221-3865

MIMBELA FRANCISCO
2110 W 80TH PL
DENVER CO 80221-3824

MENDOZA MIZAEAL AND
MENDOZA YOZALETH
2672 W 81ST AVE
WESTMINSTER CO 80031

MITCHELL TERESA
8080 DECATUR ST
WESTMINSTER CO 80031-4171

MEOLA MATTHEW J AND
MEOLA TRACY A
2929 W 81ST AVE G
WESTMINSTER CO 80031

MOFFETT ROBERT T
8330 ZUNI ST NO. 120
DENVER CO 80221-4674

MESSINGER SALLY ANNE
2660 VALLEY VIEW DR
DENVER CO 80221-3827

MOLONEY PAUL F AND
MOLONEY ANNETTE C
8071 CLAY DR
WESTMINSTER CO 80031-4178

METHERD LARRY DEE
2341 STACY DR
DENVER CO 80221-4639

MONACO STREET PROPERTIES LLC
PO BOX 271
ENGLEWOOD CO 80151-0271

MEZA JUAN L
8032 ZUNI STREET
DENVER CO 80221

MONACO STREET PROPERTIES LLC
333 W HAMPDEN AVE STE 520
ENGLEWOOD CO 80110-2335

MONG BOYD M AND
MONG NANCY V
7875 VALLEJO ST
DENVER CO 80221-4237

MORREY JEREMY
4001 W 26TH AVE
DENVER CO 80212

MONTERO CASSANDRA A AND
MONTERO STEVE A
2428 W 82ND PL UNIT 2D
WESTMINSTER CO 80031-4038

MOSER KEVIN L
2430 W 82ND PL NO. 1B
WESTMINSTER CO 80031

MONTES MARIA
8330 ZUNI ST APT 208
DENVER CO 80221-4678

MUDGE LINDA LEE AND
MUDGE DENNIS MICHAEL
9040 FONTAINE ST
DENVER CO 80260-5178

MONTOYA BERNARD JOHN
2430 W 82ND PL UNIT 1G
WESTMINSTER CO 80031-4043

MULLINS PATRICIA ANN AND
MULLINS TERESA
8311 WYANDOT STREET
DENVER CO 80221

MONTOYA JADE L
7893 WYANDOT ST
DENVER CO 80221-3884

MUNDZ LEYVA JESUS A
8070 FLORADO ST
DENVER CO 80221-3830

MONTOYA LANETTE M
2432 W 82ND PLACE UNIT C
WESTMINSTER CO 80030

MUNIZ ROSELLE T
2692 W 81ST AVE
WESTMINSTER CO 80031-7213

MONTREUIL LINDA C
2416 W 82ND PL UNIT A
WESTMINSTER CO 80031-4003

MUNOZ MARIO GUTIERREZ
8047 CLAY DR
WESTMINSTER CO 80031

MORALES ISIDRO AND
MORALES SERVANDO
8042 ZUNI ST
DENVER CO 80221

MURPHY MICHAEL D AND
MURPHY CATHERINE R
2422 W 82ND PL UNIT 3F
WESTMINSTER CO 80031-4017

MORGAN ROBERT H AND
MORGAN CAROL D
PO BOX 350455
WESTMINSTER CO 80035-0455

MURPHY MICHAEL P
7941 CRESTVIEW LN
DENVER CO 80221-3805

MORLOCK ADAM J
2939 W 81ST AVE UNIT J
WESTMINSTER CO 80031

MUTH MICHELLE L
2422 W 82ND PL UNIT 3D
WESTMINSTER CO 80031-4088

MY THREE SONS REAL ESTATE
MANAGEMENT LLC
2770 ARAPAHOE RD APT 132-2221
LAFAYETTE CO 80026-8018

NELSON VICKIE L
2081 WYANDOT DR
DENVER CO 80221-3867

MYERS MARIA
2933 W 81ST AVE UNIT A
WESTMINSTER CO 80031

NEWCOMB CASSANDRA C
7961 ZUNI ST
DENVER CO 80221-3879

NAMANNY MARIAH
8037 CLAY DR
WESTMINSTER CO 80031-4180

NGUYEN AN AND
HUYNH LINH
2672 W 80TH WAY
WESTMINSTER CO 80031

NASH RAYMOND E AND NASH SHARON L
2939-E WEST 81ST AVE
WESTMINSTER CO 80030

NGUYEN CINDY
8061 DECATUR ST
WESTMINSTER CO 80031-4173

NEBEL DONNA
8164 VALLEJO ST
DENVER CO 80221-4622

NGUYEN DUC H
2673 W 80TH PL
WESTMINSTER CO 80031-7217

NELSON CLIFFORD ROBERT
2670 W 80TH WAY
WESTMINSTER CO 80031

NGUYEN DUC V AND
HOANG KINH T
8090 BRYANT ST
WESTMINSTER CO 80233

NELSON JENNIFER M AND
CAVE JORDAN F
2320 SHERRELWOOD DR
DENVER CO 80221-4667

NGUYEN HAI THANH
8041 CLAY ST
WESTMINSTER CO 80030-4187

NELSON RYAN AND
NELSON MEGHAN
2630 W 80TH AVE
DENVER CO 80221-3808

NGUYEN HANHTHUC T
8077 CLAY ST
WESTMINSTER CO 80030-4187

NELSON STEVEN
1732 ONEIDA ST
DENVER CO 80220-1755

NGUYEN HOA XUAN AND
NGUYEN TERESA HA
8086 BRYANT STREET
WESTMINSTER CO 80031

NELSON STEVEN L AND
HEWEY JUDITH L
2480 W 80TH AVE
DENVER CO 80221-3802

NGUYEN JAMES K AND
HA TUYET THI
8081 BRYANT ST
WESTMINSTER CO 80031-7206

NGUYEN KEVIN
2436 W 82ND PL UNIT C
WESTMINSTER CO 80031-4040

NGUYEN VINH
8087 BRYANT STREET
WESTMINSTER CO 80030

NGUYEN LOI QUI AND
VO QUY NGOC
8039 CLAY ST
WESTMINSTER CO 80031-4187

NGUYEN YEN AND
NGUYEN LAN THI
5605 W 69TH AVE
ARVADA CO 80003-4231

NGUYEN NANCY
8026 BRYANT ST
WESTMINSTER CO 80031-7207

NICHOLAS TERRY GORDON AND
NICHOLAS AMY CLARE
7940 VALLEY VIEW DR
DENVER CO 80221-3847

NGUYEN NGAN
8083 CLAY DR
WESTMINSTER CO 80031-4176

NICKERSON JEREMY CRAIG AND
NICKERSON DESIREE ALICE
2660 W 80TH WAY
WESTMINSTER CO 80031-4191

NGUYEN TAI AND
NGUYEN LAN
8227 VALLEJO ST
DENVER CO 80221-4621

NISHIMOTO ALICE M
2260 SHERRELWOOD DR
DENVER CO 80221-4665

NGUYEN THANH VU AND
THAI NGOC QUYNH
7942 ZUNI STREET
DENVER CO 80221

NIZIELSKI JEFFREY DONALD
2221 W 82ND PL
DENVER CO 80221-7709

NGUYEN THANH XUAN AND
TRAN TRINH TUYET
2697 W 80TH PL
WESTMINSTER CO 80031-7217

NO ALANNA THI THANH
2649 W 80TH PL
WESTMINSTER CO 80031

NGUYEN THUONG THI
8032 BRYANT ST
WESTMINSTER CO 80031-7207

NOCELLA DARLENE A
2430 W 82ND PL UNIT 2E
WESTMINSTER CO 80031-4044

NGUYEN TRINA
7850 FAIRVIEW AVE
DENVER CO 80221

NORASAENG KHAMTANE AND
NORASAENG SAENG
7983 WYANDOT ST
DENVER CO 80221-3865

NGUYEN TUAN ANH AND
LAM TIEN HUYNH
8067 CLAY DR
WESTMINSTER CO 80031-4178

NORTHROP TERRY W
7908 RALEIGH ST
WESTMINSTER CO 80030-4478

NSPS LLC
PO BOX 1547
LOS ALAMOS NM 87544-8547

OMID SHAWN S AND OMID SANDRA L
2680 VALLEY VIEW DR
DENVER CO 80221-3827

NW DENVER LLC TRUSTEE UNDER THE
8052 ZUNI STREET LAND TRUST
PO BOX 21464
DENVER CO 80221-0464

OROZCO GAMALIEL
2141 W 80TH AVE
DENVER CO 80221-3869

O BANNON CHERI R
8096 BRYANT ST
WESTMINSTER CO 80030-7201

ORTEGA LILIA DE LATRINIDAD
4685 LINCOLN ST
DENVER CO 80216-2723

O BRIEN JOHN/PRISCILLA TRUST THE
122 NE 56TH ST
NEWPORT OR 97365-1102

ORTEGA MARTIN
7935 VALLEJO ST
DENVER CO 80221-3853

O HARA MARILYN
7886 VALLEJO ST
DENVER CO 80221-3854

ORTIZ RICARDO
994 THORNCREEK CT
THORNTON CO 80241-3906

OCHOA J ASUNCION
8214 VALLEJO ST
DENVER CO 80221

OUM CHRECH
7962 ZUNI ST
DENVER CO 80221-3880

OKAMOTO ASHLEY M AND
GAW CHRISTOPHER
2550 W 82ND PL UNIT C
WESTMINSTER CO 80031-8317

PADIA JOE L
8054 CLAY DR
WESTMINSTER CO 80030-4181

OLGUIN CATHERINE M
2500 W 80TH AVE
DENVER CO 80221-3800

PADILLA DANIEL
8330 ZUNI ST NO. 124
DENVER CO 80221-4691

OLIVER MARIA LUZ
2180 W 80TH PL
DENVER CO 80221-3824

PADILLA YVONNE R
2860 W 80TH AVE
DENVER CO 80221-3810

OLIVER VICTORIA ANN AND
MAUL TODD ANTHONY
2422 W 82ND PL UNIT 2G
WESTMINSTER CO 80031-4086

PANORAMA POINTE LLP
CAPSTONE REALTY ADVISORS ATTN HANNA BLDG
999 SOUTH LOGAN ST NO 300
DENVER CO 80209

PANORAMA POINTE SENIOR I 2010 LP
999 S LOGAN ST NO 300
DENVER CO 80209

PEREZ JESSE F AND PEREZ THERESA
2830 W 80TH AVE
DENVER CO 80221-3810

PANTOJA DELFINO FIGUEROA AND
THOM ASHLEY R
8321 WYANDOT ST
DENVER CO 80221-4653

PERKEY KENDRA
2430 W 82ND PL UNIT 2B
WESTMINSTER CO 80031-4043

PARKER DEREK I AND
PARKER RICHARD L
2939 W 81ST AVE APT F
WESTMINSTER CO 80031-4105

PERLMUTTER CHAD O
2933 W 81ST AVE APT B
WESTMINSTER CO 80031-4103

PARKS ADAM M AND PARKS JESSICA E
7981 ROBIN LN
DENVER CO 80221-3816

PERRY JACK PATRICK
2381 STACY DR
DENVER CO 80221-4639

PARKS KARMA NICHOLE
2428 W 82ND PL UNIT 2E
WESTMINSTER CO 80031-4038

PERRY SCOTT R
2550 W 82ND PLACE UNIT D
WESTMINSTER CO 80031

PARRISH JENNIFER AND
PARRISH SUSAN K
9715 WEST 59TH AVE NO. 301
ARVADA CO 80004

PESSOA CRYSTAL
2668 W 80TH WAY
WESTMINSTER CO 80031-4192

PAULY LISA A
7859 GREENLEAF LN
DENVER CO 80221-3232

PESSOA EVELYN
8061 BRYANT ST
WESTMINSTER CO 80031-7205

PAYNTER HANNAH J AND
PAYNTER JOSHUA TYLOR
2430 W 82ND PL UNIT 1F
WESTMINSTER CO 80031-4043

PESSOA RINOLDO M AND
PESSOA EVA R
8038 BRYANT ST
WESTMINSTER CO 80031-7208

PEELEN MARY E
2481 VALLEY VIEW DR
DENVER CO 80221

PESTER BRADLEY K
2635 W 80TH PL
WESTMINSTER CO 80031

PEREZ HEATHER
8060 CLAY DRIVE
WESTMINSTER CO 80031

PETERSEN KRISSY JOY
2428 W 82ND PL UNIT 1H
WESTMINSTER CO 80031-4037

PETTY STEPHEN
8085 CLAY ST
WESTMINSTER CO 80031-4187

PILLAR OF FIRE
1302 SHERMAN ST
DENVER CO 80203-2247

PFM MANAGEMENT LLC
11391 LEYDEN ST
THORNTON CO 80233-5534

PLAZOLA CAIN
4014 W 61ST PL
ARVADA CO 80003-6710

PHAM DUNG AND NGO THANH TAM THI AND
PHAM QUOC H
7882 ZUNI ST
DENVER CO 80221-3888

POST ISAAC K AND
POST DONALD J
8147 VALLEJO ST
DENVER CO 80221-4621

PHAM HOA VAN AND
NGUYEN LOAN THI
8043 CLAY DRIVE
WESTMINSTER CO 80031

PREMAN PAUL
2509 ELMWOOD LN
DENVER CO 80221-3218

PHAM PHU HUU AND
PHAM TRUC KHUE
8060 DECATUR ST
WESTMINSTER CO 80031-4169

PRICE BARRY L
2650 W 80TH AVE
DENVER CO 80221-3808

PHAM SINH AND
DANG YEH KIM
8043 BRYANT ST
WESTMINSTER CO 80030-7204

PRIM SAROEUM
8041 DECATUR STREET
WESTMINSTER CO 80031

PHAN LE THI AND
TRAN TAM THANH
8036 BRYANT ST
WESTMINSTER CO 80031-7208

PTASZEK ROBERTA L AND PTASZEK HENRYK R
AND ORTIZ LISA A
7912 ZUNI ST
DENVER CO 80221-3880

PHAN NU T AND
NGUYEN TAI D
8066 CLAY DR
WESTMINSTER CO 80031-4179

PULIDO JOSE AND
PULIDO ALICIA
2120 VALLEY VIEW DR
DENVER CO 80221-3877

PHEACH KOEUTH AND
SATH MOM
8031 CLAY DR
WESTMINSTER CO 80030-4182

QUELCH GEOFF
2939 W 81ST AVE APT A
WESTMINSTER CO 80031-4105

PIERCE TONY L AND
PIERCE BRIANA C
2280 STACY DR
DENVER CO 80221-4638

QUINLAN GARY L AND
QUINLAN CYNTHIA L
8045 CLAY ST
WESTMINSTER CO 80030-4187

RAMIREZ FRANK J
2428 W 82ND PL UNIT 1E
WESTMINSTER CO 80031-4038

REDDICK JANE
2564 W 82ND LN D
WESTMINSTER CO 80031

RAMIREZ JEROME M AND
RAMIREZ JANET F
8234 VALLEJO ST
DENVER CO 80221-7718

REED LOIS D
8155 UMATILLA ST
DENVER CO 80221-4617

RAMIREZ JUAN
2551 VALLEY VIEW DR
DENVER CO 80221-3822

REED WILMA M
2540 VALLEYVIEW DR
DENVER CO 80221

RAMIREZ MARIA
2434 W 82ND PL UNIT F
WESTMINSTER CO 80031-4042

REININGER AMBER LYNN
7150 ORCHARD AVE
FREDERICK CO 80504

RAMIREZ PATRICIA G
8059 DECATUR ST
WESTMINSTER CO 80030-4173

REITER BRADLEY D AND
REITER DIANE M
8194 VALLEJO ST
DENVER CO 80221-4622

RAMON ALBERT J JR AND
RAMON GEORGIA
2380 SHERRELWOOD DR
DENVER CO 80221-4667

RESSEL VINCE D AND
RESSEL KATHLEEN A
PO BOX 350451
WESTMINSTER CO 80035-0451

RANDALL JEREMY S AND
KIRKPATRICK SHANNON T
7965 VALLEJO ST
DENVER CO 80221

REZAEIKHAH KOBRA
2401 VALLEY VIEW DR
DENVER CO 80221-3820

RANGEL CHARLES
3084 SIGNAL CREEK BLVD
THORNTON CO 80241-1312

RICHARDSON ELEANOR
2939 W 81ST AVE APT B
WESTMINSTER CO 80031-4105

RAWSON RONALD B AND
RAWSON KEVIN L
2111 W 80TH AVE
DENVER CO 80221

RICHARDSON ELLEN B
2418 W 82ND PL NO. C
WESTMINSTER CO 80030-4066

RAYMOND JOSEPH A JR AND
RAYMOND RACHEL D
7851 ZUNI ST
DENVER CO 80221-4251

RICHASON ROY C AND
RICHASON VERONICA R
19060 KELLY PL
DENVER CO 80249-7132

RICHTER SCOTT A
10011 LOWELL WY
WESTMINSTER CO 80031

ROCKWELL EDWIN M
7898 GREENLEAF LN
DENVER CO 80221-3233

RIDDLE JASON L
2436 W 82ND PL UNIT A
WESTMINSTER CO 80031-4040

RODRIGUEZ BETTY ANN
7863 WYANDOT ST
DENVER CO 80221-4242

RINGLEMAN GLORIA J
2290 STACY DR
DENVER CO 80221-4638

RODRIGUEZ IBARRA JESUS R AND
RODRIGUEZ IBARRA EVANGELINA
8240 ZUNI ST
DENVER CO 80221-4656

RIVER ALLISON R
8050 BRYANT ST
WESTMINSTER CO 80031

RODRIGUEZ JUAN CARLOS SR AND
RODRIGUEZ JUAN CARLOS
2430 W 82ND PL UNIT 1H
WESTMINSTER CO 80031-4043

RIVERA ANNETTE B AND
RIVERA MARCOS
2161 SHERRELWOOD BLVD
DENVER CO 80221

RODRIGUEZ MARIA C
8040 CLAY ST
WESTMINSTER CO 80030-4188

ROACHO ALEXANDRA D
2430 W 82ND PL UNIT 1A
WESTMINSTER CO 80031-4043

RODRIGUEZ RICHARD AND
RODRIGUEZ JOANNA
8057 BRYANT ST
WESTMINSTER CO 80031-7205

ROACHO DANIEL JR
8074 CLAY DR
WESTMINSTER CO 80031-4179

ROHLEDER RICHARD REVOCABLE TRUST
7889 ELMWOOD LN
DENVER CO 80221-3265

ROBINSON JOHN E AND
ROBINSON ELIZABETH
2600 W 82ND PL UNIT E
WESTMINSTER CO 80031-8319

ROMERO BERNICE J/FERNANDO E AND
ROMERO SUSAN J
2081 VALLEY VIEW DR
DENVER CO 80221-3855

ROBINSON LEE AND
ROBINSON DEBORRAH E
7930 FAIRVIEW AVE
DENVER CO 80221-3811

ROMERO CHRISTINA LYNN AND
ROMERO ALAN R
8057 DECATUR ST
WESTMINSTER CO 80031

ROCKHOLD BLAIR PRESTON
2260 W 82ND PL
DENVER CO 80221-7708

ROONEY DAVID M
2416 W 82ND PL UNIT C
WESTMINSTER CO 80031-4003

ROOSE JACOB E AND
ROOSE AMBER M
7923 WYANDOT ST
DENVER CO 80221-3865

SALAZAR PRISCILLA
2422 W 82ND PL UNIT 2A
WESTMINSTER CO 80031-4086

ROOSE RODNEY E AND
ROOSE SANDRA A
7924 WYANDOT ST
DENVER CO 80221-3866

SALTERN MATTHEW R
2428 W 82ND PLACE UNIT 3D
WESTMINSTER CO 80031

ROQUEMORE JARED AND
ROQUEMORE HEATHER
7920 CRESTVIEW LN
DENVER CO 80221

SANCHEZ DANUARIO SR/SANCHEZ
DANUARIO JR/SANCHEZ CARLA
6850 JORDAN DR
DENVER CO 80221-2509

ROSE MICHAEL W AND
ROSE AMANDA E
2552 W 82ND LN UNIT D
WESTMINSTER CO 80031-8343

SANCHEZ DAVID J
2081 W 80TH PL
DENVER CO 80221-3823

ROUSE JERRY B AND
ROUSE DEBORAH
2620 W 80TH AVE
DENVER CO 80221

SANCHEZ DELFINO AND
DELEON VERONICA DIAZ
8085 CLAY DR
WESTMINSTER CO 80031-4176

ROYBAL LISA K
8069 DECATUR COURT
WESTMINSTER CO 80030

SANCHEZ LAURA
7879 APPLEWOOD LN
DENVER CO 80221-3203

RUIZ HERNANDEZ ARALLI GUADALUPE AND
RUIZ HERNANDEZ MIGUEL
7878 GREENLEAF LN
DENVER CO 80221-3233

SANCHEZ LETICIA
2941 W 81ST AVE APT C
WESTMINSTER CO 80031-4106

RUIZ RALPH AND
RUIZ PAULINE
7873 WYANDOT ST
DENVER CO 80221-4242

SANCHEZ PATRICIA M AND
HERNANDEZ ADAM R
7995 VALLEJO ST
DENVER CO 80221-3853

SAENGAREE SIENKHAM
2654 W 80TH WAY
WESTMINSTER CO 80031-4191

SANCHEZ VERONICA M
7934 WYANDOT ST
DENVER CO 80221

SALAS ISMAEL MARTINEZ
7971 FAIRVIEW AVE
DENVER CO 80221

SANDOVAL CARLOS X
2434 W 82ND PLACE UNIT G
WESTMINSTER CO 80031

SANDOVAL FREDRICK AND
SANDOVAL RITA
8028 BRYANT ST
WESTMINSTER CO 80031-7207

SCHMITT ANDREW R AND
EGGLESTON JEANNE M
2671 W 80TH WAY
WESTMINSTER CO 80031-4190

SANDOVAL GERARDO AND
SANDOVAL ANA
2360 STACY DR
DENVER CO 80221-4640

SCHNEIDER BRAD
2434 W 82ND PLACE UNIT C
WESTMINSTER CO 80031

SANDOVAL KENNETH H AND
SANDOVAL ANGELA M
2600 W 82ND PL UNIT D
WESTMINSTER CO 80031-8319

SCHOENBERGER SUELLEN
2432 W 82ND PLACE UNIT B
WESTMINSTER CO 80030

SANDOZ III THOMAS W AND
CROWER WILLIAM M
2416 W 82ND PLACE UNIT D
WESTMINSTER CO 80030

SCHOLET THOMAS P AND
SCHOLET KAREN J
2720 W RIVERWALK CIR UNIT B
LITTLETON CO 80123

SANTISTEVAN SYLVIA L
2550 W 82ND PL UNIT F
WESTMINSTER CO 80031-8317

SCHOOL DISTRICT NO.50
C/O SANDRA MCCLURE
7002 RALEIGH ST
WESTMINSTER CO 80030-5996

SANTOS ASHTON H AND
SANTOS PEARL L
2280 W 82ND PL
DENVER CO 80221-7708

SCHWINDT MARTIN
3075 W FORD PL
DENVER CO 80219-3414

SANTUAE CHRISTOPHER ALAN
SANTUAE THEODORE A
68900 FRANK SINATRA DRIVE
RANCHO MIRAGE CA 92270

SEALES HENRY N JR AND
SEALES NORA C
7932 ZUNI ST
DENVER CO 80221-3880

SAPP EDWARDA
2428 W 82ND PL
WESTMINSTER CO 80031-4037

SEARCY KAITLYN E
2160 W 80TH AVE
DENVER CO 80221-3864

SCAMBOS ALEXANDER TASO AND
DICARO AUDRA VERONICA
8058 CLAY DR
WESTMINSTER CO 80031-4181

SELDERS MITCHELL
2941 W 81ST AVE APT E
WESTMINSTER CO 80031-4106

SCHASSBERGER RUTH J SURVIVORS TRUST THE
19800 SW TOUCHMARK WAY APT 393
BEND OR 97702-3407

SELKO JUSTIN M AND
ROSEN HEATHER M
7916 VALLEJO ST
DENVER CO 80221-3854

SELLERS CATHERINE M
8003 WYANDOT ST
DENVER CO 80221-3851

SITTHISAY EDWARD
2436 W 82ND PL UNIT F
WESTMINSTER CO 80031-4040

SETTI ROSSANO AND
SETTI CATERINA
2501 VALLEY VIEW DRIVE
DENVER CO 80221

SMITH CAMERON STANLEY
2428 W 82ND PL UNIT 3F
WESTMINSTER CO 80031-4038

SHELTON PATRICK
5100 LEETSDALE DR APT 119
DENVER CO 80246-8131

SMITH CAROL JEAN
8013 WYANDOT ST
DENVER CO 80221-3851

SHEPARD FRED M AND
SHEPARD SHEILA
8030 DECATUR ST
WESTMINSTER CO 80031

SMITH VERNE M AND
SMITH LYNN M
7900 VALLEY VIEW DR
DENVER CO 80221-3847

SHIMAMOTO KAREN
2651 VALLEY VIEW DR
DENVER CO 80221-3826

SMITH WALTER
2432 W 82ND PL UNIT G
WESTMINSTER CO 80031

SHOEMAKER DEBRA
8157 VALLEJO ST
DENVER CO 80221

SNYDER JEFFERY D AND
SPAIN CONNIE S
7973 WYANDOT ST
DENVER CO 80221-3865

SIAMPHONE KHAM AND
SIAMPHONE IN
2220 W 80TH PL
DENVER CO 80221-3871

SONMORE GARY L AND
SONMORE EMILY S
2658 W 80TH WAY
WESTMINSTER CO 80030-4191

SILVA JOSE AND SILVA JOSE LUIS
154 CISNE CIR
BRIGHTON CO 80601-5322

SOTO ALBERTO JAIME
2424 W 82ND PL UNIT B
WESTMINSTER CO 80030

SIMMONS JAMES R AND
SIMMONS DIANE D
7857 ELMWOOD PL
DENVER CO 80221-3224

SPENCER ROBERT W III AND
SPENCER SARA J
7867 ELMWOOD PL
DENVER CO 80221-3224

SIPANYA THONGCHANH AND
SIPANYA OUN
2675 W 80TH WAY
WESTMINSTER CO 80030-4190

SPERLE AMY
2426 W 82ND PL UNIT F
WESTMINSTER CO 80031-4085

SPILMAN STANLEY W II AND
SPILMAN CATHRYN SUE
2571 VALLEY VIEW DR
DENVER CO 80221-3822

SUMMERFIELD AARON AND
SUMMERFIELD JASON N
8330 ZUNI ST UNIT 116
DENVER CO 80221

SPOHR LYLE W AND
SPOHR LORRAINE
2434 W 82ND PL UNIT E
WESTMINSTER CO 80031-4039

SUMMIT POINTE LLC
3900 E MEXICO AVE STE 300
DENVER CO 80210

STAFFORD MELANIE K
2430 W 82ND PLACE UNIT 3D
WESTMINSTER CO 80031

SUN CHAO YING
8097 BRYANT ST
WESTMINSTER CO 80030

STALLSWORTH CARL E AND
STALLSWORTH SHERRI R
8051 BRYANT ST
WESTMINSTER CO 80030-7205

SUNDBERG CHRISTINE KIFER
782 W 87TH PLACE
DENVER CO 80260

STANHOPE DAVID AND
ROSCKOWFF CAROL M
2428 W 82ND PL UNIT 1G
WESTMINSTER CO 80031-4037

SUSTAD MARK C
7889 APPLEWOOD LN
DENVER CO 80221-3203

STRADER JERRY M AND
STRADER KIMBERLEE ANN ZINK
8080 BRYANT ST
WESTMINSTER CO 80031

SWAN JAMIE S
2220 WYANDOT DR
DENVER CO 80221-3885

STUVEL BERNARD WESTON
7885 VALLEJO ST
DENVER CO 80221-3876

SWINARSKA ELIZABETH M
2660 W 80TH PL
WESTMINSTER CO 80030-4196

SUGG JANICE L AND
MERDES SHIRLEY
2428 W 82ND PL UNIT 3G
WESTMINSTER CO 80031-4038

SZYMANSKI CHRISTOPHER
8330 ZUNI ST APT 103
DENVER CO 80221-4688

SUHARLI LIA DEBORAH
8330 ZUNI STREET UNIT 212
DENVER CO 80221

TAKAOKA SACHI HEALANI KALEIKAU
2428 W 82ND PL UNIT 2A
WESTMINSTER CO 80031-4037

SULLIVAN ANNA M
2422 W 82ND PLACE UNIT 3H
WESTMINSTER CO 80031

TANNER JILL A
7880 VALLEY VIEW DR
DENVER CO 80221-3849

TARDY RICHARD E
2180 SHERRELWOOD DR
DENVER CO 80221-4661

THIMYAN WANDA R
7870 FAIRVIEW AVE
DENVER CO 80221-3227

TARIN GARCIA EDUARDO ALEJANDRO AND
GARCIA TARIN ALEJANDRA LYNNETTE
2140 W 80TH AVE
DENVER CO 80221-3864

THOMPSON DEAN
8052 CLAY DR
WESTMINSTER CO 80031-4102

TE SAVETH
454 E 131ST AVENUE
THORNTON CO 80241

THOMPSON LEONARD DALE AND
THOMPSON RHEA AL
8185 UMATILLA ST
DENVER CO 80221-4617

TECUN STARR L
2680 W 80TH AVE
DENVER CO 80221-3808

TIEU CHAN AND TIEU LIEN NGOC
8039 DECATUR ST
WESTMINSTER CO 80031-7216

TERRY CATHLEEN JANE
2933 W 81ST AVE APT D
WESTMINSTER CO 80031-4103

TODD SHARON L
2929 W 81ST AVE NO. K
WESTMINSTER CO 80030-4144

THACKER JON
2416 W 82ND PL UNIT F
WESTMINSTER CO 80031-4003

TOMASEK JEFFREY E
2430 W 82ND PLACE UNIT 1C
WESTMINSTER CO 80031

THAO NENG AND
LOR SOUA
8088 CLAY DR
WESTMINSTER CO 80031-4177

TRABANDT ERIC J
8330 ZUNI ST APT 117
DENVER CO 80221-4674

THAPA MANISH AND
BASNET BINITA
2696 W 80TH WAY
WESTMINSTER CO 80031-4192

TRAN COREY
8079 CLAY DR
WESTMINSTER CO 80030-4176

THIEKING DAVID AND
BURNS THIEKING MARY MAME
7868 GREENLEAF LN
DENVER CO 80221-3233

TRAN NGAN KIM AND
DUONG VINH DINH
8071 BRYANT ST
WESTMINSTER CO 80031

THIENHUONG LLLP
8358 W 62ND PL
ARVADA CO 80004-3410

TRAN NGOCHA THI AND NGUYEN DUNG CHI
8034 BRYANT ST
WESTMINSTER CO 80030-7208

TRAN QUYEN
8024 BRYANT ST
WESTMINSTER CO 80031-7207

TRUJILLO SHARI
7933 WYANDOT ST
DENVER CO 80221-3865

TRAN TAM THANH THI
8023 BRYANT ST
WESTMINSTER CO 80031-7202

TSOU MANG-HUA AND
YAU HONG-CHEUNG
2685 W 80TH PL
WESTMINSTER CO 80030-7217

TRAN TRUNG
7858 GREENLEAF LN
DENVER CO 80221-3233

TUCKER CELESTE R
8330 ZUNI STREET UNIT 224
DENVER CO 80221

TRANS -WESTERN MANAGEMENT GROUP INC
12853 W 80TH PL
ARVADA CO 80005-2961

TULAU CAM AND
TRAN QUYNH NHU
8053 DECATUR ST
WESTMINSTER CO 80030-7216

TRETO EMILIA AND
TRETO JUAN
8175 UMATILLA ST
DENVER CO 80221

TUZIN ENTERPRISES LLC
10200 W 44TH AVE APT 803
WHEAT RIDGE CO 80033-2837

TREVINO ERIKA H
8330 ZUNI ST UNIT 111
DENVER CO 80221

TWIGGS VIVIAN
7951 VALLEY VIEW DR
DENVER CO 80221-3846

TRUJILLO MARY M AND
TRUJILLO JOSEPH D
2666 W 80TH WAY
WESTMINSTER CO 80031

ULIBARRI JUDITH K
2640 VALLEY VIEW DR
DENVER CO 80221-3827

TRUJILLO MIKE A REVOCABLE LIVING TRUST &
TRUJILLO ISABEL R REVOCABLE LIVING TRUST
10656 URA LN
DENVER CO 80234-3660

VALDEZ JESUS ANTONIO BURGOS
7849 APPLEWOOD LN
DENVER CO 80221-3203

TRUJILLO ROBERT J III AND
TRUJILLO JOYCE M
2261 STACY DR
DENVER CO 80221-4637

VALDEZ TIM EDWARD
8330 ZUNI STREET NO. 210
DENVER CO 80221

TRUJILLO ROBERT LARRY AND
TRUJILLO ELSIE ELAINE
2140 VALLEY VIEW DR
DENVER CO 80221-3877

VALENZUELA REYES
8330 ZUNI ST APT 207
DENVER CO 80221-4678

VAN ARSDALE PAUL C
2550 W 80TH AVE
DENVER CO 80221

VERSACE CECILIA CHIRINOS
2422 W 82ND PL UNIT 3C
WESTMINSTER CO 80031-4088

VANG JOHN AND XIONG SEE
8038 CLAY ST
WESTMINSTER CO 80030-4188

VIGIL RONALD R AND
VIGIL JEANETTE H
2241 W 80TH AVE
DENVER CO 80221-3817

VANMETER TIMOTHY R
819 TINCUP TERRACE
BAILEY CO 80421

VILLA MARIA INC
C/O MERCY HOUSING
PO BOX 112819
CARROLLTON TX 75011

VARGAS AMINDRA
8072 ZUNI STREET
DENVER CO 80221

VILLALOBOS CARLOS
8204 VALLEJO ST
DENVER CO 80221-7718

VASILOPOULOS ANASTASIA
2625 W 82ND LN UNIT B
WESTMINSTER CO 80031-8339

VILLESAS MARTIN A/JENNIFER M AND
VILLESAS MARTIN A II
2422 W 82ND PL UNIT 3B
WESTMINSTER CO 80031-4088

VASQUEZ PAUL A AND
VASQUEZ LA VONNE M
8035 CLAY DR
WESTMINSTER CO 80031

VINCENT JAMES L AND VINCENT MILDRED H
AND LEICHT JESSE A
2041 SHERRELWOOD DR
DENVER CO 80221-4657

VAZIRABADI MORTEZA
2428 W 82ND PLACE UNIT 1C
WESTMINSTER CO 80031

VON JAROLIM VLASTA AND
SANFIORENZO FRANK
8035 BRYANT ST
WESTMINSTER CO 80031-7204

VAZQUEZ EDGAR R ROJAS
2580 VALLEY VIEW DR
DENVER CO 80221-3825

VONBANK MARY ANN
11093 ZEPHYR ST
BROOMFIELD CO 80021-2632

VEITH STACY AND
VEITH LLOGAN
2321 STACY DRIVE
DENVER CO 80221

VU MAI T
8030 CLAY ST
WESTMINSTER CO 80031-4188

VELASQUEZ FLINT E AND
VELASQUEZ MARTHA L
2490 VALLEY VIEW DR
DENVER CO 80221-3821

VU MUOI VAN AND
NGUYEN TUYET THI KIM
8022 ZUNI ST
DENVER CO 80221-3882

WAGNER GARY L/GENEVRA A FAMILY TRUST
9430 NEWTON ST
WESTMINSTER CO 80031-3172

WEBB GREGORY EDDY TRUSTEE
5436 E 113TH PL
DENVER CO 80233-2812

WAHAB JAIMY-ANN C
2436 W 82ND PL NO G
WESTMINSTER CO 80031-4040

WEBB MARSHA E
5436 E 113TH PL
DENVER CO 80233-2812

WALDRON PATRICK J AND
WALDRON MICHAEL T
8330 ZUNI ST APT 118
DENVER CO 80221-4674

WEHNER WANDA/ORBLOM ASHLEY M AND
STEELE JUDY LYNN
7868 APPLEWOOD LN
DENVER CO 80221-3204

WALKER WILLIAM M AND
BAER RYAN S
2110 VALLY VIEW DR
DENVER CO 80221-3877

WEINBERGER JOHN S AND
WEINBERGER DORIANNE
8254 VALLEJO ST
DENVER CO 80221-7718

WALLACE DUANE EARL
2200 STACY DR
FEDERAL HEIGHTS CO 80221

WEINRAUCH LAURA G
2422 W 82ND PL UNIT 1F
WESTMINSTER CO 80031-4084

WARREN BERKLEIGH M
2600 W 82ND PL UNIT F
WESTMINSTER CO 80031-8319

WELLS FARGO BANK NA
3476 STATEVIEW BLVD
FORT MILL SC 29715-7200

WARSOP JENNIFER LYNN
2600 W 80TH AVE
DENVER CO 80221-3808

WELTON TIMOTHY J
8330 ZUNI ST APT 221
DENVER CO 80221-4677

WASHBURN HEATHER A AND
SAMUELS GLENN E
7960 CRESTVIEW LN
DENVER CO 80221-3806

WERNER LAUREN AND
HIGGINS-RICE NOAH
8053 WYANDOT ST
DENVER CO 80221-3851

WATSON JAMES K AND WATSON RITA
8056 DECATUR ST
WESTMINSTER CO 80030-4169

WERNER NANCY L
2121 WYANDOT DR
DENVER CO 80221-3886

WEBB GREGORY E
5436 E 113TH PL
DENVER CO 80233-2812

WESTMINSTER HOUSING AUTHORITY
4800 W 92ND AVE
WESTMINSTER CO 80030

WHITE LARRY AND
WHITE LORRIE
7864 ELMWOOD PL
DENVER CO 80221-3225

WILSON SAMUEL T AND
WILSON LOIS
2599 ELMWOOD LN
DENVER CO 80221-3218

WHITE TRACIE L
10944 LARRY DRIVE
NORTHGLENN CO 80233

WILSON SEAN ANTONIO
2422 W 82ND PL UNIT 2D
WESTMINSTER CO 80031-4086

WHITELOW IDA P
2428 W 82ND PL UNIT 1I
WESTMINSTER CO 80031-4037

WINGO TAWNEY K AND
WINGO VICTORIA B
2428 W 82ND PL UNIT 3H
WESTMINSTER CO 80031-4038

WHITTINGTON ELFRIEDE M
2140 SHERRELWOOD DR
DENVER CO 80221-4661

WINTERLAND PHILIP
8059 CLAY DR
WESTMINSTER CO 80031-4180

WILKOWSKI JANET F AND
VAN DERA A KRISTINE
2564 W 82ND LN UNIT A
WESTMINSTER CO 80031-8341

WINTERS PAUL F
967 E 111TH PL
DENVER CO 80233-3176

WILLIAMS BLAKE
8083 WYANDOT ST
DENVER CO 80221-3851

WISNER JAMES R JR AND WISNER PAMELA A
2469 ELMWOOD LN
DENVER CO 80221-3216

WILLIAMS GLORIA J
7901 VALLEY VIEW DR
DENVER CO 80221-3846

WOLD KAREN A
8055 DECATUR ST
WESTMINSTER CO 80030-4173

WILLIAMS H CLAYTON AND
HOUSER-WILLIAMS DORIS
18904 EAST PROGRESS AVE
CENTENNIAL CO 80015

WOLFF COURTNEY AND WOLFF LORRAINE
8053 CLAY DR
WESTMINSTER CO 80030-4180

WILLIAMS TIMOTHY RAY AND
WILLIAMS LINDA CAROL
2121 W 80TH AVE
DENVER CO 80221-3869

WOOD JEREMIAH J AND
WOOD ALISON M
8174 VALLEJO ST
DENVER CO 80221-4622

WILSON MARK T AND
WILSON KATIE S
8046 BRYANT ST
WESTMINSTER CO 80031-7210

WOOLEY RICHARD A
2400 W 80TH AVE
DENVER CO 80221-3802

YCHIM ERIC
7877 ELMWOOD LN
DENVER CO 80221-3265

ZIESKE MONICA AND
ZIESKE MICHAEL
1747 FRONT ST
BILLINGS MT 59101-8949

YOON JUNG BOO AND
YOON JUNG JA
2689 W 80TH WAY
WESTMINSTER CO 80030-4190

ZIMMER DELBERT E AND
ZIMMER DONNA L
8331 WYANDOT ST
DENVER CO 80221-4653

YOUNG ASHLEY AND
YOUNG STEVEN
8038 CLAY DR
WESTMINSTER CO 80031-4181

ZUMWALDE JOHN P AND
ZUMWALDE DANIEL J
8330 ZUNI ST APT 218
DENVER CO 80221-4677

YOUNG DENNIS E AND YOUNG JONI M
2680 W 81ST AVE
WESTMINSTER CO 80030-7213

YOUNG RONALD E
2800 W 80TH AVE
DENVER CO 80221-3810

YOUNG STEVEN D
2521 VALLEY VIEW DR
DENVER CO 80221-3822

YU XIN QI
2310 HARMONY PARK DRIVE
WESTMINSTER CO 80234

ZAMORA MICAH D AND
ZAMORA DESSA S
2490 W 80TH AVE
DENVER CO 80221-3802

ZHANG BING R
8033 BRYANT ST
WESTMINSTER CO 80031

ZHU JINHUA AND
CHEN DAN
13621 PLASTER CIR
BROOMFIELD CO 80023-8201

Westminster Lift Station RCU2017-00021

August 29, 2017

Board of County Commissioners

Community and Economic Development

Case Manager: Emily Collins

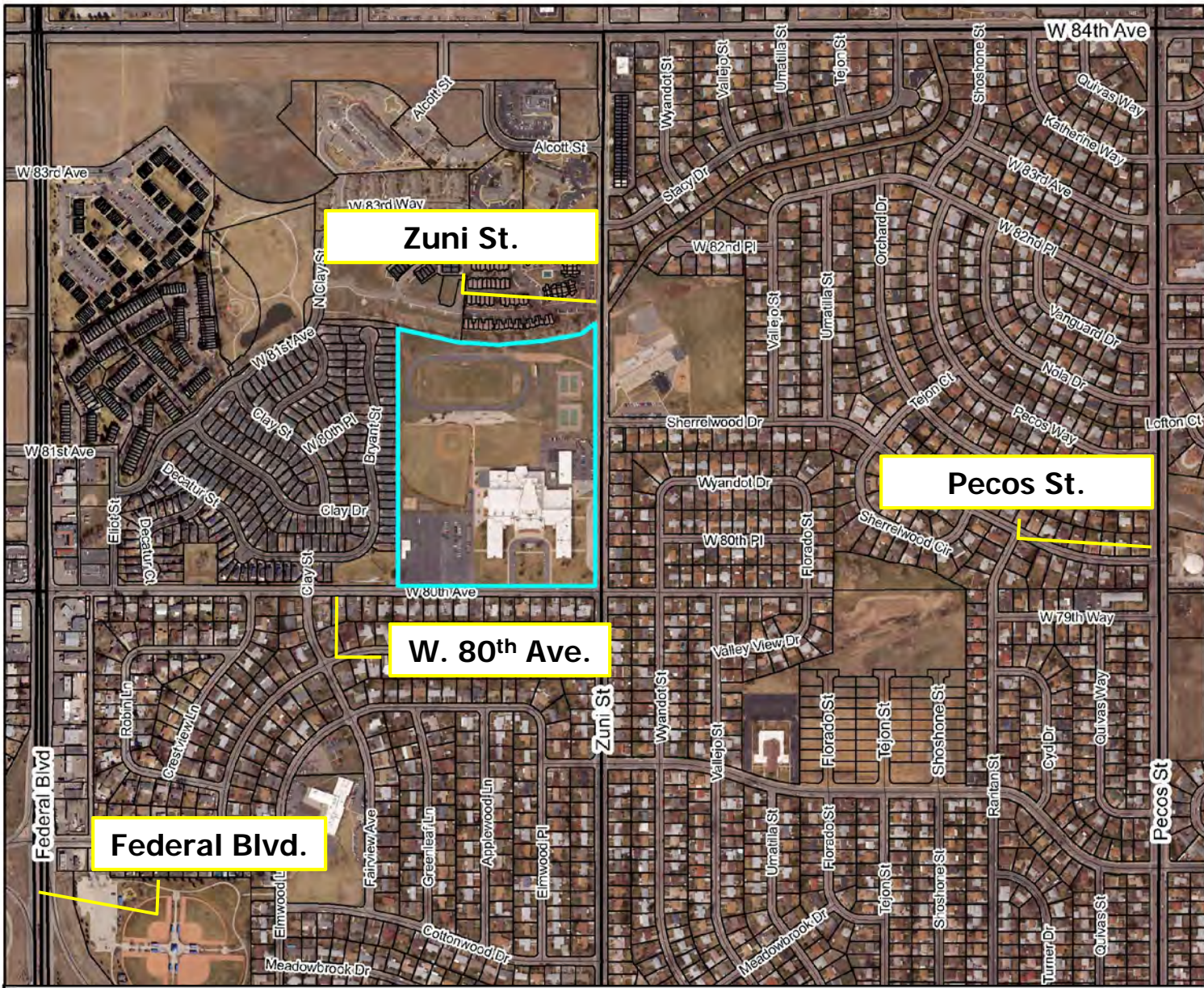


Request

- Conditional Use Permit to allow relocation and replacement of a City of Westminster sewage pumping station (lift station)

Background

- The City owns and operates 6 lift stations
 - Collect sewage that flows by gravity to a low point
 - Pumped to a larger collection pipe and carried to a wastewater treatment facility
- 2011, City staff evaluated and prioritized improvements
 - Existing lift station (80th and Clay St.) was built in 1987
 - Replacement is necessary
- Site selection approved
 - CDPHE, Tri-County, and Metro Wastewater
 - Acquired site through easements with Westminster Public Schools



LEGEND

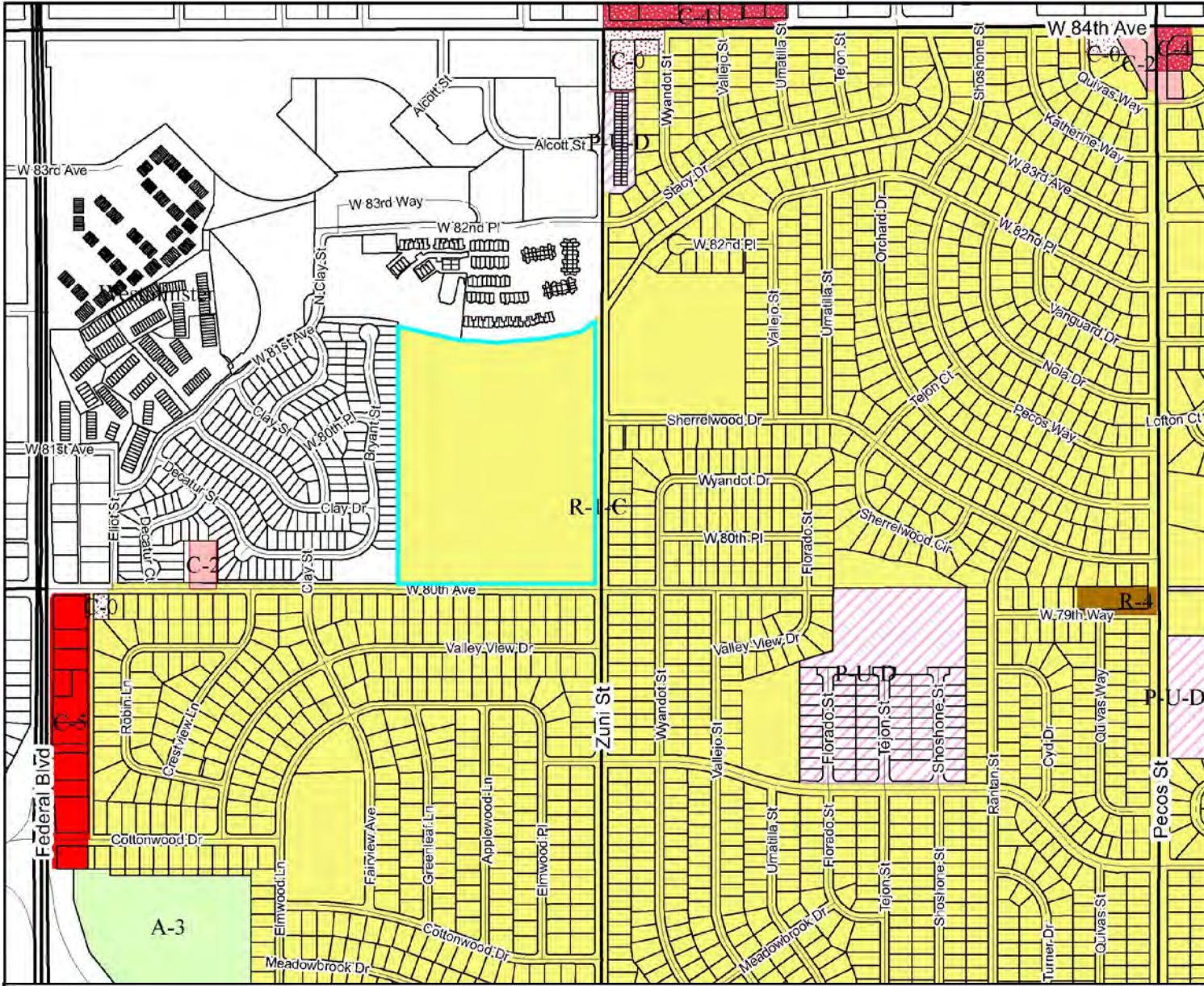
- ★ Special Zoning Conditions
 - 3 Section Numbers
 - Railroad
 - Major Water
 - Zoning Line
 - Sections
- Zoning Districts**
- A-1
 - A-2
 - A-3
 - R-E
 - R-1-A
 - R-1-C
 - R-2
 - R-3
 - R-4
 - M-H
 - C-0
 - C-1
 - C-2
 - C-3
 - C-4
 - C-5
 - I-1
 - I-2
 - I-3
 - CO
 - PL
 - AV
 - DIA
 - P-U-D
 - P-U-D(P)
 - Airport Noise Overlay

City of Westminster Lift Station
 RCU2017-00021

N

 For display purposes only.

ADAMS COUNTY
COLORADO
 This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy.



R-1-C

- Single-Family dwellings

City of Westminster Lift Station

RCU2017-00021



For display purposes only

group, which assumes no responsibility for its accuracy



Parks and Open Space

- Parks, trails, recreation
- Preserve wildlife and sensitive areas

City of Westminister Lift Station

RCU2017-00021



For display purposes only.



ADAMS COUNTY
COLORADO

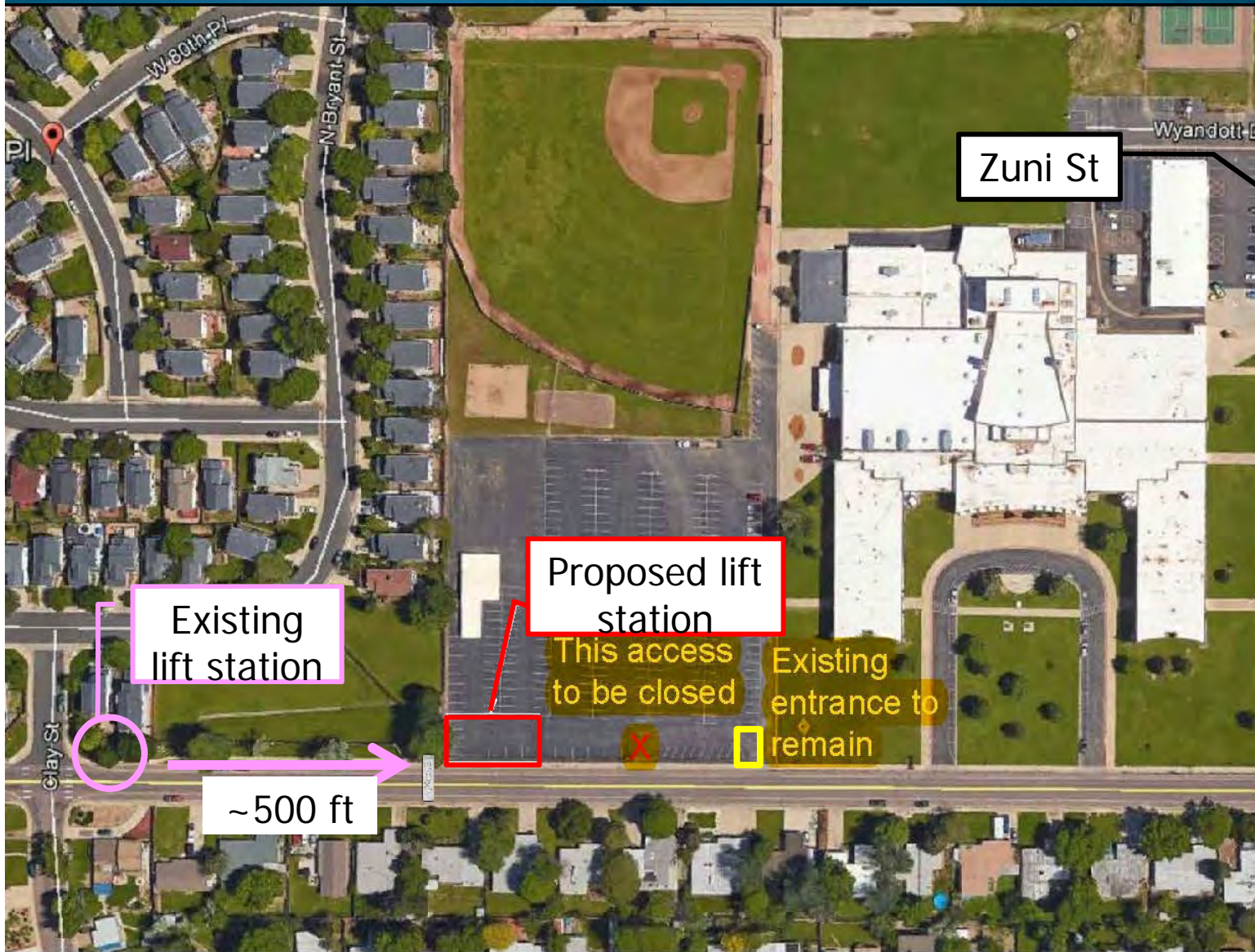
This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

Approval Criteria

Section 2-02-08-06

1. Permitted in the zone district
2. Consistent with development standards
3. Comply with performance standards
4. Compatible with surrounding area
5. Addressed off-site impacts
6. Site is suitable for use
7. Adequate site plan
8. Adequate infrastructure available

Site Plan



Parking

- 297 existing
- Lease area removes 10 spaces (3.3%)
- Install new exit and ADA ramps

Site Plan





Traffic limited to weekly maintenance (1 hr) and quarterly cleanings (4 hrs)



West on 80th Ave.



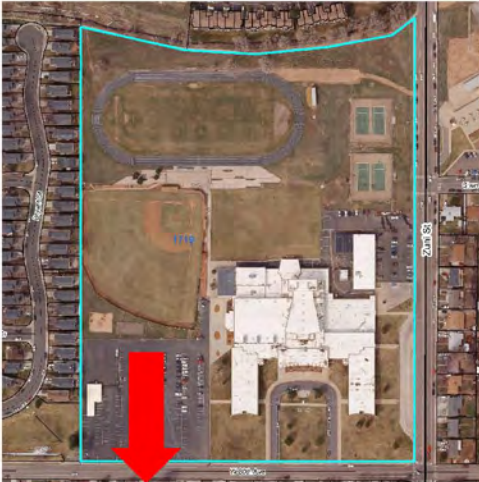
NW on 80th Ave.



North on 80th Ave.



South on 80th Ave.



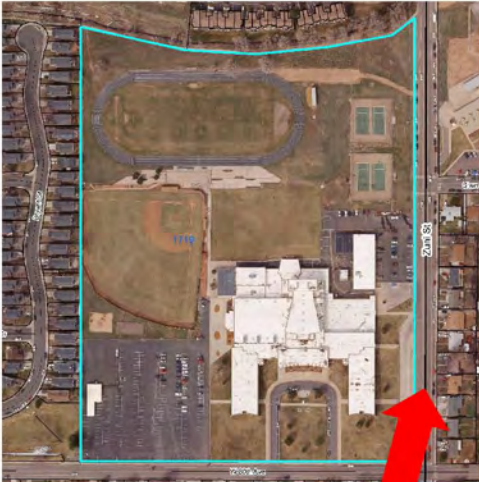
West on 80th Ave.



East on 80th Ave.



NE on 80th Ave.



Referral Comments

- No concerns:
 - CDOT, Crestview Water and Sanitation, Tri-County, Xcel
- Development Services:
 - Access permits required
- Property Owners within 1,000 ft:
 - 1 person commented with concerns

Notifications Sent	Comments Received
833	1

PC Update

- Considered on August 10, 2017
 - Recommended unanimous approval
- Questions from PC:
 - Condition of parking lot
 - Re-location of landscape
- Public Testimony:
 - Uniform fence design
 - # of access points
 - Parking restrictions along W. 80th Ave.

Approval Criteria

Section 2-02-08-06

1. Permitted in the zone district
2. Consistent with development standards
3. Comply with performance standards
4. Compatible with surrounding area
5. Addressed off-site impacts
6. Site is suitable for use
7. Adequate site plan
8. Adequate infrastructure available

Recommendation

Staff recommends **Approval** based on 8 Findings-of-Fact, **3 Conditions**, and 1 note.

Conditions:

1. The applicant shall obtain a building permit for the sewage lift station and fences, as well as all necessary access permits for proposed changes on the site.
2. All above-ground infrastructures, excluding utility transformers, shall be setback a minimum of 20 feet from W. 80th Avenue and in-line with existing dwellings along W. 80th Avenue. This is to conform to all Section Line requirements.
3. This conditional use permit shall expire on August 29, 2047, unless a renewal is obtained from the Board of County Commissioners prior to the expiration date.
4. The applicant shall coordinate with Westminster Public Schools to find and locate equivalent landscaping (based on 4,800 square foot site area) that is required for the subject request on a section of the school property. This landscape plan shall be submitted with building permits for the lift station.
5. The applicant shall coordinate with Westminster Public Schools to install a wrought iron fence along the entire length of the parking lot on W. 80th Avenue. A building permit, including site plan and elevations, shall be required for the fence.

City of Westminster Lift Stations

