

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE SUBDIVISION IMPROVEMENTS AGREEMENT WITH
PAULS DEVELOPMENT EAST LLC, CASE NO. PLT2013-00013

Resolution 2014-159

WHEREAS, on March 31, 2014, in Case No. PLT2013-00013, Coyote Ridge Filing No. 8, the Board of County Commissioners (BoCC) approved a Major Subdivision (Final Plat) to create 46 lots on approximately 12.98 acres in the R-1-C, Residential zone district; and,

WHEREAS, on November 26, 2001, in Case No. PRJ2001-00047, Strasburg East GDP, the Board of County Commissioners approved a 1) General Development Plan for 183 lots on 57.8 acres and 2) Rezoning 11.0 acres from R-1-A and R-2 to R-1-C; and

WHEREAS, all applicable Stipulations associated with Case No. PRJ2001-00047 have been satisfied; and,

WHEREAS, Pauls Development East LLC desires to develop certain real property (12.98 acres, zoned R-1-C, Residential) located along Basil Street between East 18th Avenue and East 21st Avenue in Strasburg, pursuant to the General Development Plan granted in Case No. PRJ2001-00047 and to the Major Subdivision (Final Plat) granted in Case No. PLT2013-00013; and,

WHEREAS, Case No. PLT2013-00013 represents the 8th and final Filing associated with the General Development Plan approved in 2001 in Case No. PRJ2001-00047; and,

WHEREAS, the BoCC has provided by resolution that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way; and,

WHEREAS, the Developer has provided collateral by Irrevocable Standby Letter of Credit dated February 28, 2014 (Letter of Credit Number 0228-02282015) from International Bank in the amount of \$468,641.25; and,

WHEREAS, the Adams County Planning and Development Department recommends approval of the attached Subdivision Improvements Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the BoCC, that the SIA with Pauls Development East, LLC, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners be authorized to execute this SIA on behalf of the County of Adams, State of Colorado.

Upon motion duly made and seconded the foregoing resolution was adopted by the following vote:

Henry _____ Aye
Tedesco _____ Aye
Hansen _____ Excused
Commissioners

STATE OF COLORADO)
County of Adams)

I, Karen Long, County Clerk and ex-officio Clerk of the Board of County Commissioners in and for the County and State aforesaid do hereby certify that the annexed and foregoing Order is truly copied from the Records of the Proceedings of the Board of County Commissioners for said Adams County, now in my office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said County, at Brighton, Colorado this 31st day of March, A.D. 2014.

County Clerk and ex-officio Clerk of the Board of County Commissioners
Karen Long:



By:



Deputy

SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT, made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County" and Pauls Development East, LLC hereinafter called "Developer".

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in Exhibit "A" attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners, County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements, and to deed land for public purposes or right-of-way.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on Exhibit "B" attached hereto, and by this reference made a part hereof.
2. **Drawings and Estimates.** The Developer shall furnish drawings and cost estimates for all improvements described and detailed on Exhibit "B" for approval by the County. Upon request, the Developer shall furnish one set of reproducible "as built" drawings and a final statement of construction costs to the County.
3. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on Exhibit "B".
4. **Time for Completion.** Improvements shall be completed according to the terms of this agreement on or before December 31, 2014. The County may for good cause, grant an extension of time for completion of any part or all of improvements appearing on said Exhibit "B". Any extension of time shall be in written form only.
5. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Upon completion of said improvements constructed according to the terms of this agreement, the collateral shall be released. Completion of said improvements shall be determined solely by the County, and a reasonable part of said collateral may be retained to guarantee maintenance of public improvements for a period of one year from the date of completion. Collateral to guarantee compliance with this agreement and construction of

public improvements shall be required in the amount of \$468,641.25, which represents \$374,913.00 plus twenty percent (20%) to cover administration and five percent (5%) per year for the term of the Agreement to cover inflation.

6. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on Exhibit "B" shall be public facilities and become the property of the County or other public agencies upon acceptance. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, shall become necessary. If, within ten (10) days of written notice to the Developer from the County requesting such repairs or replacements, the Developer shall not have undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
7. **Notice.** Any notice which may be given under the terms of this Agreement shall be made in writing, and shall be deemed made upon personal service or upon mailing by United States Mail, postage prepaid, to the other party, and unless amended by written notice to the following:

DEVELOPER
Pauls Development East LLC
270 St. Paul Street, Suite 300
Denver, CO 80206
Attn: Mr. Mike Serra III
(303) 371-9000

ADAMS COUNTY
Planning and Development Department
4430 S. Adams County Parkway
Brighton, CO 80601-8218
Attn: Kristin Sullivan
(720) 523-6800

Transportation Department
4430 S. Adams County Parkway
Brighton, CO 80601-8218
Attn: Matt Emmens
(720) 523-6875

8. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in Exhibit "A" attached hereto.

9. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. **Improvements.**

Public Improvements as shown on Public Improvements Package prepared by Kimley-Horn and Associates, Inc. dated September 23, 2013, a copy of which is attached as Exhibit C and which are separately designated in Exhibit B.

The improvements shall be constructed pursuant to all County requirements and specifications in accordance with the approved plans and time schedule as indicated in Exhibit "B".

B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement by the County, the Developer hereby agrees to convey by plat to the County the following described land for right-of-way or other public purposes:

The right-of-way for Basil Street and 18th Avenue

[Remainder of Page Purposefully Blank]

PAULS DEVELOPMENT EAST, LLC

By: *Mike Sora III, Authorized Signatory*
Name, Title

REBECCA TALADAY
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20034020980
MY COMMISSION EXPIRES JULY 14, 2015

The foregoing Subdivision Improvements Agreement was acknowledged before me this 11th
day of March, 2014, by *Mike Sora III, Authorized Signatory*.

My commission expires: *July 14, 2015*

Address: *40270 St Paul St Ste 300*
Denver, CO 80206

Rebecca Taladay
Notary Public

APPROVED BY resolution at the meeting of *March 31*, 2014.

ATTEST:



BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Keisha Husen
Clerk of the Board

Chris Tober
Chair

APPROVED AS TO FORM
COUNTY ATTORNEY
Walter Huns

EXHIBIT A

A PARCEL OF LAND BEING A PORTION OF THE WEST ONE-HALF OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST ONE-QUARTER CORNER OF SAID SECTION 34; THENCE NORTH 00°01'22" WEST ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 34 A DISTANCE OF 425.41 FEET; THENCE NORTH 89°58'38" EAST A DISTANCE OF 40.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF STRASBURG ROAD, SAID POINT BEING THE SOUTHWEST CORNER OF STRASBURG EAST SUBDIVISION FIFTH FILING RECORDED AUGUST 14, 2003 AT RECEPTION NO. C1193251 OF SAID ADAMS COUNTY RECORDS; THENCE NORTH 89°17'47" EAST ALONG THE SOUTH LINE OF SAID STRASBURG EAST SUBDIVISION FIFTH FILING AND ALONG THE NORTH RIGHT-OF-WAY LINE OF EAST 21ST AVENUE A DISTANCE OF 341.60 FEET TO THE SOUTHWEST CORNER OF STRASBURG EAST SUBDIVISION SIXTH FILING RECORDED APRIL 21, 2005 AS INSTRUMENT NO. 20050421000417520 OF SAID ADAMS COUNTY RECORDS; THENCE NORTH 89°17'47" EAST ALONG THE SOUTH LINE OF SAID STRASBURG EAST SUBDIVISION SIXTH FILING AND ALONG THE NORTH RIGHT-OF-WAY LINE OF EAST 21ST AVENUE A DISTANCE OF 280.02 FEET TO A POINT ON THE WEST LINE OF STRASBURG EAST SUBDIVISION SEVENTH FILING RECORDED NOVEMBER 17, 2005 AS INSTRUMENT NO. 20051117001270030 OF SAID ADAMS COUNTY RECORDS; THENCE SOUTH 00°01'22" EAST A DISTANCE OF 50.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF SAID EAST 21ST AVENUE AND THE NORTHEAST CORNER OF BLOCK 3, STRASBURG EAST SUBDIVISION THIRD FILING RECORDED NOVEMBER 16, 1978 IN FILE NO. 14 AT MAP NO. 468, RECEPTION NO. B166792 OF SAID ADAMS COUNTY RECORDS; THENCE NORTH 89°17'47" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID EAST 21ST AVENUE A DISTANCE OF 100.10 FEET; THENCE SOUTH 45°21'48" EAST ALONG THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF SAID EAST 21ST AVENUE A DISTANCE OF 21.06 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF BASIL STREET; THENCE SOUTH 00°01'22" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID BASIL STREET A DISTANCE OF 21.86 FEET; THENCE NORTH 89°58'38" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID BASIL STREET AND THE SOUTH LINE OF TRACT F OF SAID STRASBURG EAST SUBDIVISION SEVENTH FILING A DISTANCE OF 160.00 FEET TO A POINT ON THE WEST LINE OF TRACT G OF SAID STRASBURG EAST SUBDIVISION SEVENTH FILING; THENCE THE FOLLOWING FIVE (5) COURSES ALONG THE WEST LINE OF SAID TRACT G:

1. THENCE SOUTH 00°01'22" EAST A DISTANCE OF 260.00 FEET;
2. THENCE SOUTH 03°29'55" WEST A DISTANCE OF 65.12 FEET;
3. THENCE SOUTH 01°47'07" EAST A DISTANCE OF 65.03 FEET;
4. THENCE SOUTH 06°13'18" EAST A DISTANCE OF 65.38 FEET;
5. THENCE SOUTH 00°01'10" EAST A DISTANCE OF 1070.00 FEET;

THENCE SOUTH 89°58'38" WEST A DISTANCE OF 93.38 FEET TO A POINT OF CURVE; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 105°32'05", A RADIUS OF 60.00 FEET AND AN ARC LENGTH OF 110.54 FEET, WHOSE CHORD BEARS SOUTH 36°29'07" WEST A DISTANCE OF 95.56 FEET; THENCE SOUTH 89°09'08" WEST A DISTANCE OF 28.75 FEET; THENCE SOUTH 89°17'47" WEST A DISTANCE OF 101.94 FEET TO THE SOUTHEAST CORNER OF SAID STRASBURG EAST SUBDIVISION THIRD FILING, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF EAST 18TH AVENUE; THENCE NORTH 00°00'23" EAST ALONG THE EAST LINE OF SAID STRASBURG EAST SUBDIVISION THIRD FILING A DISTANCE OF 1638.86 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 443,140 SQUARE FEET OR 10.1731 ACRES.

SEPTEMBER 6, 2013
C. R. MOORE LAND SURVEYING
P. O. BOX 745153
ARVADA, CO. 80006-5153
303-422-1918
FILE: STRAS-8THFILING

EXHIBIT B

[see attached one page]

Kimley-Horn & Associates, Inc.

Opinion of Probable Construction Cost

Client: Pauls Development East	Date: 11/26/2013
Project: Coyote Ridge - Eighth Filing	Prepared By: BWV
KHA No.: 096195001	Checked By: RJP

Title: Coyote Ridge Eighth Filing (46 Lots)	Sheet: 1 of 1
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Kimley-Horn & Associates, Inc. has not prepared fully engineered construction drawings for this site; therefore, the final quantities are subject to change. Additionally, the final land plan could change significantly through the development process. This OPC is not intended for basing financial decisions, or securing funding. Review all notes and assumptions. Since Kimley-Horn & Associates, Inc. has no control over the cost of labor, materials, equipment, or services furnished by others, or over methods of determining price, or over competitive bidding or market conditions, any and all opinions as to the cost herein, including but not limited to opinions as to the costs of construction materials, shall be made on the basis of experience and best available data. Kimley-Horn & Associates, Inc. cannot and does not guarantee that proposals, bids, or actual costs will not vary from the opinions on costs shown herein. The total costs and other numbers in this Opinion of Probable Cost have been rounded.

Item No.	Item Description	Quantity	Unit	Unit Price	Item Cost
Infrastructure Basil Street (9+71-25+55)					
1	Roadway Earthwork (2' R&R/Base)	5,000	CY	\$3.70	\$18,500
2	6" Asphalt Section 32' wide	53,650	SF	\$3.60	\$193,140
3	Curb & Gutter & Sidewalk (7.5' Total)	2,944	LF	\$34.00	\$100,096
4	ADA Ramps	2	EA	\$850.00	\$1,700
5	Crossspan	530	SF	\$9.00	\$4,770
					\$318,206
Infrastructure 18th Avenue (10+44 - 12+30)					
6	Roadway Earthwork (2' R&R/Base)	590	CY	\$3.70	\$2,183
7	6" Asphalt Section 60' wide	11,160	SF	\$3.60	\$40,176
8	Curb & Gutter & Sidewalk (7.5' Total)	372	LF	\$34.00	\$12,648
9	ADA Ramps	2	EA	\$850.00	\$1,700
					\$56,707
Total:					\$374,913

- Basis for Cost Projection:**
- No Design Completed
 - Preliminary Design
 - Final Design

NOTES:

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EXHIBIT C

Public Improvements Package dated September 23, 2013 by Kimley-Horn and Associates, Inc.

Adams County Department of Public Works

Construction Management Section

ATTN: Permit Specialist

4430 S. Adams County Parkway, 1st Floor, Suite W2000B, Brighton, CO 80601

720-523-6821

Permit Requirement Letter

To: Kimley-Horn and Associates, Inc
 Randall J Phelps
 990 S Broadway, Suite 200
 Denver CO 80209
 303-228-2300

Date: October 7, 2013

Attn: Randall J Phelps

The Adams County Department of Public Works has reviewed the following case(s) listed below:

Construction Case Number: SUB2013-00003
Location: STRASBURG RD BET E 18TH & 21ST AVE
Type of Work: SWMP, Subdivision Improvements Agreement, Plans to include Cover Sheet, Detail Sheet, Erosion Control Notes, Demolition, Overlot Grading & Erosion Control Plan, Drainage Channel Improvements & Erosion Control Details, Erosion Control Details, Phasing Plan (for information only).
 The site is generally located on the E side of Strasburg Rd bet E 18th Ave and E 21st Ave.
 Resubmit on 6/20/13 - To include Transmittal/Cover Letter, SWMP Report, Drainage Compliance Letter, Subdivision Improvement Agreement, Construction Drawings, Comment Response Letter
 Re-submit on 7/2/13 - To include Construction Plans, SIA's, SWMP Report, Drainage Conformance Letter, Comment Responses.

Related Information:

Plat Name:	Planning Commission Case Number:	_____
Lot and Block:	Board of Adjustment Case Number:	_____
Section Location:	Building Permit Case Number:	_____
	Related Building Permit Number:	_____

The Department of Public Works requires that the following items be completed prior to the issuance of any Certificate of Occupancy related to any Building Permits issued for this site:

Is a Development Agreement required? If so, what type: _____
Is Right of Way Dedication required? If so, at what locations: _____
 Amount required? _____

The following Permits may or may not be required for construction of facilities on this site. The following items checked are required Permits to be issued by the Adams County Department of Public Works, Construction Management Section:

- On-Site Grading / Drainage Permit
- Street Cut Permits for Site Utilities (i.e., water, sewer, etc.)
- Culvert Permit / Permits for all Driveway Entrances
- Improvement Permits for all Street Construction within the Right of Way

If you should have any further questions regarding the above information, please feel free to contact me at any time.

Public Works Plan Review

Each section will sign off on the attached plans, if applicable

Case Name: Coyote Ridge Strasburg Best 8th Filing
 File Number: Sub 2013-00003

	APPROVED	REMARKS	DATE
Development Review	<input checked="" type="checkbox"/>		8/29/13
ROW	<input checked="" type="checkbox"/>		8/29/13
Stormwater Review	<input checked="" type="checkbox"/>		9/12/13
Construction Mgmt.	<input checked="" type="checkbox"/>		9/12/13
Traffic	<input checked="" type="checkbox"/>		9/24/13
Engineering Mgr.	<input checked="" type="checkbox"/>		9/24/13
PW Director	<input checked="" type="checkbox"/>		9/24/13

Requirements for all permit conditions must be met by the applicant

STRASBURG EAST SUBDIVISION EIGHTH FILING (COYOTE RIDGE)

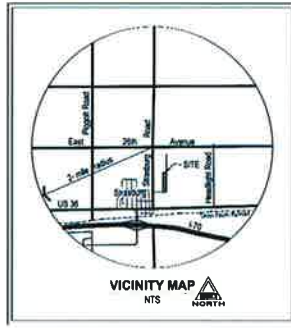
PUBLIC IMPROVEMENTS PACKAGE

GENERAL NOTES TO CONTRACTOR:

- THE FOLLOWING NOTES ARE PROVIDED TO THE CONTRACTOR FROM THE ENGINEER OF THE PLANS. THE COUNTY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL BY ANY OF THESE AGENCIES AND THE COUNTY WILL NOT BE HELD RESPONSIBLE FOR THE INFORMATION CONTAINED HEREIN.
- CONTRACTOR AGREES THAT HE/SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING, BUT NOT LIMITED TO, MAINTAINING RECORDS AND THAT THE CONTRACTOR SHALL MAINTAIN, REPAIR, AND HOLD IN OWNERSHIP AND MAINTENANCE FROM ANY AND ALL MAINTENANCE, REPAIR, OR RECONSTRUCTION WORK PERFORMED BY HIMSELF OR HIS EMPLOYEES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT 303-226-2200. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND DAMAGE THAT RESULTS FROM HIS OPERATIONS BY APPROPRIATE MEANS (LEAD BARRIERS, BAY BARRIERS, TEMPORARY EROSION CONTROL, STAKES, STORMING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY THE OWNER, AGENCY, OR ASSOCIATION TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
- A SLOPE SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY ANY UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
- THE LOCATION AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES SHOWN HEREON AND ANY OTHER UTILITIES NOT SHOWN ON THESE PLANS. ALL DAMAGES THERE TO CAUSED BY THE CONTRACTOR SHALL BE RETURNED TO THE APPROPRIATE OPERATOR AND REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- CONTRACTOR SHALL MAKE UNDERGROUND UTILITIES AND LEGAL EXISTING UNDERGROUND FACILITIES IN VERTICAL SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REPAIRS TO PLANS IF REPAIRS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES OR UTILITIES.
- FOR ALL UTILITY REPAIRS, SHALL BE MAINTAINED TO THE ENGINEER OR RECORD BY A QUALIFIED SALES ENGINEER UNDER SUPERVISION OF THE CONTRACTOR. THIS WORK SHALL BE COMPLETED AS DIRECTED BY THE ENGINEER OF RECORD OR THE CITY ENGINEER BEFORE ANY CONSTRUCTION BEGINS.
- ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE ENGINEER OF RECORD.
- FOR ALL CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL VERIFY ALL CITY PERMITS FOR DRAINAGE, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONFLICTS EXIST FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL STOP CONSTRUCTION UNTIL THE CONFLICTS HAVE BEEN RESOLVED.
- THE CONTRACTOR SHALL FURNISH ALL NECESSARY PERMITS WITH THE PLANS, THE NECESSARY CITY REPORTS, AND THE CITY ENGINEER PRIOR TO COMMENCING WORK.
- SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- APPROVAL OF THESE PLANS BY THE COUNTY DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
- THE APPROVAL OF THESE PLANS OR ANY PART THEREOF BY THE COUNTY DOES NOT AUTHORIZE THE CONTRACTOR OR OWNER TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL PREVENTION OF DISASTERS ACT OF 1974 AND AMENDMENTS THERE TO (42 USC SECTION 15121 ET SECS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND FOR VERTICAL CONTROL DEPARTMENTS WHOSE ARE LOCATIONS OR CONTROLLING MONUMENTS PRIOR TO ANY CONSTRUCTION. IF DESTROYED, A LAND SURVEYOR SHALL REPAIR SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. ALL MONUMENTS SHALL BE SET IN ACCORDANCE WITH COLORADO REVISED STATUTES TITLE 10, ARTICLE 25, PART 2. IF ANY VERTICAL CONTROL IS TO BE DESTROYED OR DESTROYED, THE COUNTY FIELD SURVEY SECTION MUST BE NOTICED IN WRITING AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL MONUMENTS DESTROYED BY HIS ACTIONS.
- OPERATIONS FROM THESE PLANS SHALL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR RECORDS THE CHANGE AND SAID CHANGE IS APPROVED BY THE ENGINEER AND OWNER.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE COUNTY. CONTACT THE ENGINEER FOR THE REQUIREMENTS OF THE AS-BUILT DRAWINGS.
- THE AREA HEREIN IS DESIGNATED AS A NON-GRADING AREA AND NEEDS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE COUNTY GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING, BUT NOT LIMITED TO, COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE, COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS OR COMPLIANCE WITH ORDINANCES OF ANY APPLICABLE STATE OR FEDERAL AGENCY.
- EXISTING TEMPORARY DRAINAGE WAS TAKEN FROM A SURVEY PROVIDED BY CDS CONSULTANTS, INC. DATED 7/18/2013.
- NOTES AND DRAWING DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNDESIRABLE GEOLOGICAL CONDITIONS ARE UNCOVERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CONSTRUCTION METHODS AND DRAINAGE HAVE BEEN INSTALLED AND CORRECT.
- STORM DRAINAGE SHALL BE MAINTAINED WITHIN CENTER LINES AND SPOT AT VERTICES, UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL EXISTING AND PROPOSED MATERIAL SHALL BE REPAIRED WITHIN THE TIME BY CONTRACTOR AND DEPOSITED IN AN APPROVED REPAIR AREA. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIALS TO AND FROM THE SITE.
- ENGINEERING TO PROTECT AND TO CONTROL UNLESS OTHERWISE NOTED.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- ALL UNDERGROUND WORK SHALL BE COMPLETED BY THE CONTRACTOR.
- SPOT GRADES ARE TO BE MAINTAINED ON EXISTING FACILITIES UNLESS OTHERWISE NOTED.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL CONSTRUCTION AND ALL UTILITIES.
- WATER SHALL BE PROVIDED ON-SITE AT CONTRACTOR'S EXPENSE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND QUALITY DRAINAGE OF THE SITE DURING REPAIR OPERATIONS OF CONSTRUCTION.

PROJECT SPECIFIC NOTES TO THE CONTRACTOR:

- THIS PROJECT IS TO BE PERFORMED IN ACCORDANCE WITH PLANS WHICH WILL BE RESPONSIBLE FOR COORDINATING COUNTY REQUIREMENTS OF ROADWAY IMPROVEMENTS.
- THIS PROJECT IS LOCATED IN ADAMS COUNTY, COLORADO. THE CONTRACTOR SHALL VERIFY THAT ALL CITY PERMITS AND THE STANDARD COUNTY NOTES, THE COUNTY NOTES SHALL APPLY.



SHEET INDEX

SHEET NO.	SHEET TITLE	FOR VERTICALS			
		1	2	3	4
CIVIL					
C1.0	CONTRACTOR'S NOTES				
C1.1	GENERAL NOTES				
C1.2	PROPOSED CONSTRUCTION NOTES				
C1.3	PROPOSED CONSTRUCTION NOTES				
C1.4	PROPOSED CONSTRUCTION NOTES				
C1.5	PROPOSED CONSTRUCTION NOTES				
DRAINAGE					
D1.0	STORM DRAINAGE PLAN				
ROADWAY					
R1.0	PAVEMENT PLAN & PROFILE				
R1.1	PAVEMENT PLAN & PROFILE				
R1.2	E. SIDEWALK & F. SIDEWALK PLAN & PROFILE				
UTILITIES					
U1.0	UTILITY UTILITY & WATER PLAN (GAS)				
U1.1	UTILITY UTILITY & WATER PLAN (GAS)				
U1.2	UTILITY UTILITY & WATER PLAN (GAS)				
U1.3	UTILITY UTILITY & WATER PLAN (GAS)				
U1.4	UTILITY UTILITY & WATER PLAN (GAS)				
U1.5	UTILITY UTILITY & WATER PLAN (GAS)				
U1.6	UTILITY UTILITY & WATER PLAN (GAS)				
U1.7	UTILITY UTILITY & WATER PLAN (GAS)				
U1.8	UTILITY UTILITY & WATER PLAN (GAS)				
U1.9	UTILITY UTILITY & WATER PLAN (GAS)				

BASIS OF BEARINGS

ASSUMED ALONG THE WEST LINE OF THE NW 1/4 SEC. 34, T2S, R62W, 6TH PAW. BE FROM THE W 1/4 COR. BEING A 3 1/4" ALUM. CAP. BEARINGS AND THE NW COR. BEING A 3 1/4" ALUM. CAP. IN RANGE, BOX IS 13.50. NORTH 27.75' SHELBY.

REMARKS AND DATUM

2-1/2" DIAMETER BRASS CAP STAMPED "L 58 1930" LOCATED AT THE INTERSECTION OF US HIGHWAY 40 IN THE TOP OF THE SOUTH ADJUTANT AND TO THE CENTERLINE OF THE CENTERLINE OF THE RAILROAD TRACK. LOCAL BENCHMARK - CHECKED "C" IN CONCRETE BULK ON THE NORTH SIDE OF 19TH AVENUE EAST AT ASHKA STREET AS SHOWN HEREON. ELEVATION CHECKED AND USED DATUM.

NOTES TO CONTRACTOR:

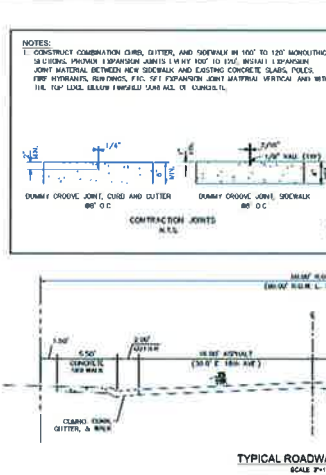
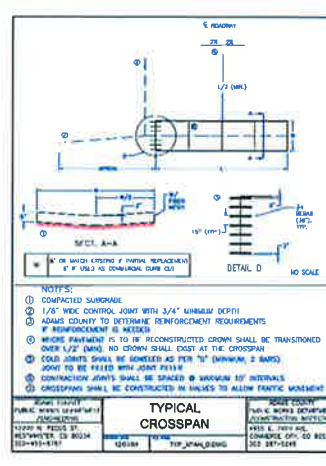
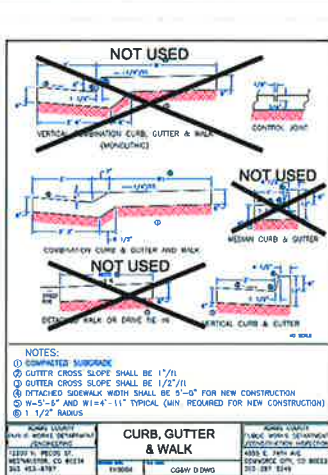
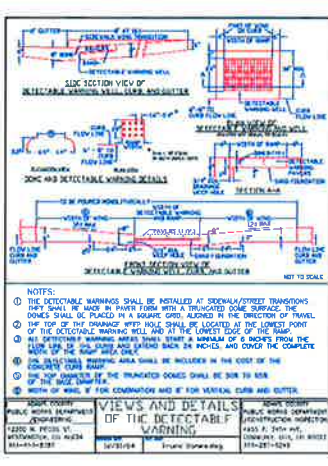
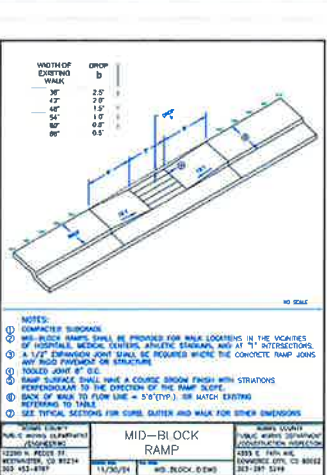
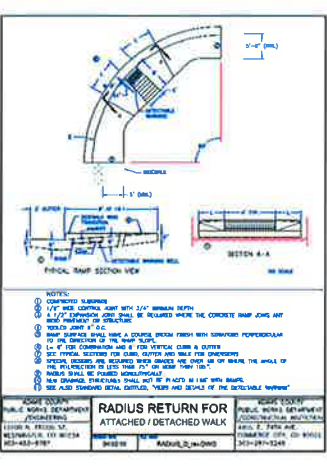
THE OWNER/CONTRACTOR SHALL OBTAIN A COPY STORM WATER UNDERGROUND PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT IN ASSISTANCE TO ANY COUNTY REQUIRED PERMITS.

Kimley-Horn and Associates, Inc.
 1000 14th Street, Suite 100
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 Website: www.kimley-horn.com

STRASBURG EAST SUBDIVISION EIGHTH FILING
 (COYOTE RIDGE)
 STRASBURG, COLORADO
 COVER SHEET

DRAWN BY: BWW
 CHECKED BY: BWW
 DATE: 02/11/13

PROJECT NO.: 13-001
 DRAWING NO.: COVER
 C1.0



CONCRETE NOTE:
 1. ALL CONCRETE (CROSS PAVEMENT, CURB, RAMP, EXHAUSTION CHIMNEY, AND RAILS) TO BE PLACED IN PLACE. ALL CONCRETE TO CONFORM TO LOCAL CLASS D SPECIFICATION.

NOTES:
 1. COMPACTED SUBGRADE
 2. 1/2" MIN. CONTROL JOINT WITH 3/4" MINIMUM DEPTH
 3. 1/2" MIN. CONTROL JOINT SHALL BE REQUIRED WHERE THE CONCRETE RAMP JOINT MEETS THE CURB
 4. RAMP SURFACE SHALL HAVE A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE
 5. 1" OF THE CURB AND 2" OF THE RAMP SHALL BE COVERED WITH A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE
 6. 2" OF THE CURB AND 2" OF THE RAMP SHALL BE COVERED WITH A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE
 7. 2" OF THE CURB AND 2" OF THE RAMP SHALL BE COVERED WITH A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE

NOTES:
 1. THE DETECTABLE WARNING SHALL BE INSTALLED AT SIDEWALK/STREET TRANSITIONS
 2. THE DETECTABLE WARNING SHALL BE MADE IN PAPER FORM WITH A BEVELLED CORNER SURFACE. THE CORNER SHALL BE PLACED IN A SQUARE GRID, ALIGNED IN THE DIRECTION OF TRAVEL
 3. THE TOP OF THE DETECTABLE WARNING SHALL BE LOCATED AT THE LOWEST POINT OF THE DETECTABLE WARNING AND AT THE LOWEST EDGE OF THE RAMP
 4. THE DETECTABLE WARNING SHALL HAVE A MINIMUM OF 24 INCHES FROM THE EDGE OF THE RAMP TO THE DETECTABLE WARNING
 5. THE DETECTABLE WARNING SHALL HAVE A MINIMUM OF 24 INCHES FROM THE EDGE OF THE RAMP TO THE DETECTABLE WARNING
 6. THE DETECTABLE WARNING SHALL BE COVERED WITH A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE
 7. THE DETECTABLE WARNING SHALL BE COVERED WITH A COURSE FINISH WITH SLOPE PERPENDICULAR TO THE DIRECTION OF THE RAMP SLOPE

NOTES:
 1. COMPACTED SUBGRADE
 2. 1/2" MIN. CONTROL JOINT WITH 3/4" MINIMUM DEPTH
 3. ADAMS COUNTY TO DETERMINE REINFORCEMENT REQUIREMENTS
 4. IF REINFORCEMENT IS NEEDED
 5. REINFORCEMENT IS TO BE RECONSTRUCTED CROSS SHALL BE TRANSFERRED OVER 1/2" (MIN) NO CROWN SHALL EXIST AT THE CROSSSPAN
 6. CURB JOINTS SHALL BE SPACED AS PER "2" (MINIMUM 2' SPACING)
 7. JOINTS TO BE KEPT WITH JAWTS PER 18"
 8. CONSTRUCTION JOINTS SHALL BE SPACED @ MINIMUM 10' INTERVALS
 9. CROSSSPAN SHALL BE CONSTRUCTED IN PLACES TO ALLOW FUTURE WIDENING

ADAMS COUNTY
 PUBLIC WORKS DEPARTMENT
 ENGINEERING
 12200 N. PUEBLO ST.
 DENVER, CO 80242
 303-443-8187

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 303-443-8187

MID-BLOCK RAMP
 1/4" SLOPE
 1/2" CURB

CURB, GUTTER & WALK
 1/4" SLOPE
 1/2" CURB

TYPICAL ROADWAY SECTION
 SCALE: 1/4" = 1'-0"

ADAMS COUNTY GENERAL NOTES:

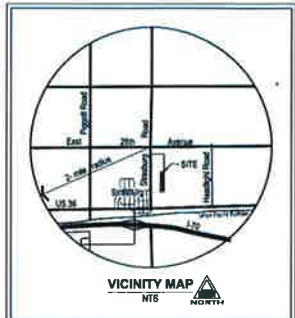
1. OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STATE OF COLORADO, VEHICULAR IMPAIRMENT OF PUBLIC HEALTH AND ENVIRONMENTAL CONTROL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY 008-0000 PRIOR TO CONSTRUCTION (COPS STORMWATER CONSTRUCTION PERMIT).
2. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS COPS STORMWATER CONSTRUCTION PERMIT (1) WITH APPROVAL AND CERTIFICATION FROM THE STATE PRIOR TO BEGINNING A CONSTRUCTION ACTIVITY. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THIS COPS STORMWATER CONSTRUCTION PERMIT.
3. A COPY OF THE COPS STORMWATER CONSTRUCTION PERMIT FEE SCHEDULE AND THE APPROVED STORMWATER MANAGEMENT PLAN (SWMP) WITH AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE COPS STORMWATER CONSTRUCTION PERMIT.
4. OWNER/CONTRACTOR IS RESPONSIBLE FOR FINING A DRAINAGE MAINTENANCE CONTRACTOR TO MAINTAIN STORMWATER DRAINAGE SYSTEMS GENERAL PERMIT CERTIFICATE, ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED IN COMPLIANCE WITH THE COPS STORMWATER CONSTRUCTION PERMIT.
5. THE OWNER/CONTRACTOR SHALL PROVIDE ADAMS COUNTY WITH A COPY OF THIS MAINTENANCE NOTICE. THESE WILL BE NO FEE CHARGED TO ADAMS COUNTY FOR THE MAINTENANCE NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO FILE THIS NOTICE.
6. THE SWMP ADMINISTRATOR IS RESPONSIBLE FOR MONITORING AND MAINTAINING DRAINAGE AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE SWMP SHALL BE MONITORED IN COMPLIANCE WITH THE COPS STORMWATER CONSTRUCTION PERMIT.
7. STANDARD SPECIFICATIONS - THROUGH SPECIFICATIONS OF THE BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PROVIDED EVERY FOURTEEN (14) CALENDAR DAYS AND REVIEWED EVERY FOUR (4) HOURS AFTER ANY PRECIPITATION ON CONCRETE THAT CAUSES SURFACE DRAINAGE.
8. USE APPROPRIATE PROTECTIVE MEASURES (E.G. STORM CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS EXPOSED.
9. ALL SOIL EXPOSED TO OR EXPOSED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT THE LOSS OF MATERIAL DURING TRANSPORT. THIS PROTECTIVE MEASURE SHALL BE KEPT ON SITE AND UPDATED AT ALL TIMES IN COMPLIANCE WITH THE COPS STORMWATER CONSTRUCTION PERMIT.
10. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE SHALL CONTAIN ALL CONCRETE WASHOUT WATER. STORMWATER SHALL NOT CARRY SOLIDS FROM THE DESIGNATED CONCRETE WASHOUT AREA AND SHALL BE LOCATED A MINIMUM OF FIFTY (50) FEET HORIZONTAL FROM WATERS OF THE STATE.
11. THE ACTUAL SCHEDULE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS. SOME SILENT PROTECTIVE MEASURES (E.G. STORM CONTROL BARRIERS) MUST ALWAYS BE IN PLACE BEFORE SOIL IS EXPOSED.
12. INSTALL SEDIMENT CONTROL BARRIERS DOWN SLOPE FROM CONSTRUCTION THAT EXPOSES SOIL. SEDIMENT CONTROL BARRIERS SHOULD BE INSTALLED IN THE OCCASIONAL CORNERS OF THE EROSION AND SEDIMENT CONTROL PLAN, AS WELL AS OTHER LOCATIONS AS DEEMED NECESSARY BY THE CONTRACTOR, INSPECTOR OR OWNER.

PERFORMANCE STANDARDS:

1. EROSION AND/OR SEDIMENT CONTROL MEASURES TO CONTROL EROSION OF AN EXISTING OPERATION SHALL BE INSTALLED BEFORE ANY FURTHER DISTURBANCE OPERATIONS START IN A SPECIFIC WORK AREA.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBANCE AND PROTECT NATURAL FEATURES, SOIL, AND VEGETATION.
3. MEASURES INSTALLED TO CONTROL EROSION AND SEDIMENTATION SHALL BE MAINTAINED AND OPERATED IN ACCORDANCE WITH THE COPS STORMWATER CONSTRUCTION PERMIT.
4. FURTHER DISTURBANCE SHALL BE STOPPED, CONSIDERED AND CORRECTED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY INSTALLED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
5. SEDIMENT CAUSED BY ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE IT LEAVES THE SITE OF THE EARTH DISTURBANCE.
6. EXCAVATED MATERIAL AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE STOCKPILED WITHIN THE ROADWAY SECTION. EXCAVATED MATERIALS UP TO A MAXIMUM OF 18" TO MAY BE STOCKPILED, WITH APPROPRIATE EROSION CONTROL MEASURES, BUT MUST BE REMOVED OR PLACED BY THE END OF EACH WORK WEEK.
7. ANY CONSTRUCTION AREA, NOT DRAWN TO FINAL GRADE, BEFORE TEMPORARY BMPs FOR SITE STABILIZATION.
8. AS NECESSARY, CONTRACT A TEMPORARY FACILITY DESIGNATED FOR CONVEYING OF STORMWATER, THROUGH OR FROM THE CONSTRUCTION SITE.
9. PLUMBING, EROSION AND SEDIMENT CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY EXPOSED LAND AREA SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADE.
10. ALL SLOPES SHALL BE CLEANED UP IMMEDIATELY AFTER CONSTRUCTION. UNLESS OTHERWISE SPECIFIED, CLEANER MATERIALS CAN BE IMPORTED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
11. CONCRETE WASHOUTS SHALL NOT BE PLACED IN LOW AREAS, EXCEPT AS APPROVED TO STATE WATERS.
12. THE OWNER/CONTRACTOR SHALL CHECK THE CAPACITY FOR ALL EXISTING WASHOUT AREAS. EXISTING WASHOUTS MUST BE REMOVED BY THE CONTRACTOR AND LEGALLY DISPOSED OF IN AN APPROPRIATE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN CAPACITY FOR WASHOUT AREAS.
13. ALL CONCRETE WASHOUT AREAS SHALL BE CLEARLY MARKED. THE CONCRETE WASHOUT CONTAINMENT STRUCTURE WILL INCLUDE A 3" X 3" SIGN PLACED WITHIN THE WASHOUT AREA. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASHOUT AREAS.
14. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. CONCRETE WASHOUT BASTE MUST NOT BE BURIED.
15. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE SHALL BE TEMPORARILY STABILIZED IMMEDIATELY AFTER INTERIM FINISHING.
16. FINAL STABILIZATION IS REQUIRED WHEN ALL SOIL EXPOSURE ACTIVITIES AT THE JOB HAVE BEEN COMPLETED, AND UNLESS OTHERWISE STATED, THIS SHALL BE ESTABLISHED WITH A COVER OF AT LEAST SEVENTY PERCENT (70%) OF THE SURFACE AREA OF THE SITE. PHYSICAL PROTECTION OF STOCKPILES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
17. RECORDS OF SPILLS, LEAKS OR OVERFLOWS THAT RESULT IN THE EXPOSURE OF POLLUTANTS MUST BE DOCUMENTED AND MAINTAINED. SOILS SHALL NOT BE EXPOSED TO THE EROSION IMPACTS OF OPERATIONS. A RELEASE OF ANY POLLUTANT, INCLUDING BUT NOT LIMITED TO FERTILIZERS, PESTICIDES, OILS, FUELS, OR OTHER MATERIALS, SHALL BE REPORTED IMMEDIATELY TO THE ADAMS COUNTY HEALTH DEPARTMENT AT 303-555-8787 AND THE 19-COUNTY HEALTH DEPARTMENT AT 303-555-9900.

EMP. MAINTENANCE NOTES:

1. THE EXISTING MAINTENANCE REQUIREMENTS FOR BMPs SHALL BE AS FOLLOWS:
2. THE OWNER/CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL SET POINTS TO THAT IT FUNCTIONS PROPERLY DURING CONSTRUCTION AND NON-CONSTRUCTION. ALL SET POINTS SHALL BE REMOVED BY THE CONTRACTOR UPON SUBSTANTIAL PLUMBING STABILIZATION UNLESS OTHERWISE SPECIFIED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
3. SET POINTS SHALL BE INSTALLED ALONG CONTIGUOUS AND PRIOR TO ANY EROSION OR GRADING ACTIVITY. IT SHALL BE LOCATED TO CAPTURE, COLLECT, AND CONVEY SOLIDS TO A POINT WHERE IT SHALL BE RECYCLED AT A FUTURE DATE.
4. IT IS RECOMMENDED THAT SET POINTS BE INSTALLED FIVE (5) FEET AWAY FROM THE TOE OF THE SLOPE OR STOCKPILE, AND FIVE (5) FEET FROM THE TOE OF THE SLOPE OR STOCKPILE.
5. DO NOT PLACE SET POINTS IN OR ADJACENT TO EXISTING MEADOWS WHERE DRIVING IMPACTS WILL OCCUR.
6. ALL SET POINTS SHALL BE CHECKED FOR MAINTENANCE AND FAILURE. SMALL SEDIMENT SHALL BE REMOVED AND BENTONITE COVERED TO PREVENT IT FROM ACCUMULATING TO THE POINT OF THE TRAP OR DAM DURING PERIODS OF CONCURRENT PRECIPITATION.
7. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE VEHICLE TRACKS CONTROL DURING CONSTRUCTION. THE VEHICLE TRACKS CONTROL SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED BY AUTHORIZED ADAMS COUNTY PERSONNEL.
8. TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE ROADWAY AREA. THE AREA BEFORE THE BARRIERS SHALL BE CLEANED, GRUBBED, AND SURVEYED FOR ALL VEGETATION AND ROOT MAT. SEDIMENT SHALL BE REMOVED WHEN NO LONGER FUNCTIONAL AND DISPOSED OF AT AN APPROVED LOCATION.
9. ROADWAY TRACKS CONTROL SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE. THIS SEDIMENT SHALL NOT BE REUSED OFF-SITE, BUT SHALL BE CAPTURED ON-SITE AND REUSED AT AN APPROVED LOCATION.
10. TEMPORARY ROCK CHECK DAMS - THE MAXIMUM HEIGHT OF THE ROCK DAM AT THE CENTER SHOULD NOT EXCEED ONE (1) FOOT. THE HEIGHT OF THE DAM SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE DAM SHALL BE LOCATED AT THE TOP OF THE DISTURBED AREA AS AT THE SAME ELEVATION AS THE TOP OF THE CONSTRUCTION DAM.
11. CONSTRUCTION SAFETY BARRIERS (EROSION CONTROL PERMIT) MUST BE USED TO PROTECT RETAINERS AND OTHER SENSITIVE AREAS AND TO PREVENT ACCESS.
12. WATER FROM RETAINING OPERATIONS SHALL NOT BE DIRECTLY DISCHARGED INTO ANY WATER CONVEYANCE SYSTEMS INCLUDING RETAINING OPERATIONS, CANALS, DITCHES, OR OTHER WATER SYSTEMS, UNLESS ALLOWED BY A STATE CONSTRUCTION DEPARTMENT PERMIT.



BASIS OF BEARINGS:
 ASSUMED ALONG THE WEST LINE OF THE W 1/4 SEC. 34, T28N, R27W, 8TH PAID BETWEEN THE W 1/4 COR. BEING A 3 1/4" ALUM. CAP - ELIGIBLE, AND THE NE COR. BEING A 3 1/4" ALUM. CAP IN RANGE BOX 12 (24), HORIZONTAL SHELTER.

CONTRACTOR:
 CHECKED "X" IN GENERAL WITH AS SHOWN ON PLANNING PLAN. LOCATION = SURETY ASSURANCE.

NPDES NOTE:
 THE OWNER/CONTRACTOR MUST OBTAIN A COPS STORM WATER DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, IF REQUIRED.

GENERAL NOTES:

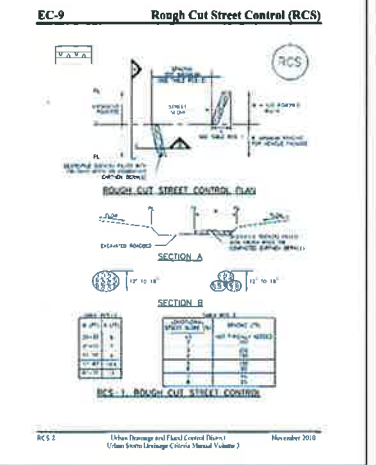
1. CONTRACTOR TO MAKE EVERY EFFORT TO REDUCE FUGITIVE DUST, BOTH DURING CONSTRUCTION ACTIVITIES AND DURING NON-ACTIVE TIMES (WEEKENDS). IMPACTED AREAS DUE TO FUGITIVE DUST SUBJECT TO CLEANING NOT LIMITED TO STREET SWEEPING AND PRESSURE WASHING OF HOMES.
2. REFER TO THE PROJECT STORMWATER MANAGEMENT REPORT FOR TIMING OF CONTROLS AND MEASURES, SPECIFICALLY AS IT RELATES TO THE CONTRACTORS ACTIVITIES AND TIME BETWEEN PHASES OF WORK.

MINIMUM SOIL SETTING RATES FOR ANNUAL GRASSES:

SPECIES/COMMON NAME	SEEDING RATE (LBS/1000 SQ YD)	PLANTING DEPTH (IN)	SPACING (IN)
BERMUDA GRASS	10	1/2"	12"
CRAB GRASS	10	1/2"	12"
DAKOTA BLUE GRASS	10	1/2"	12"
FLORIDA BLUE GRASS	10	1/2"	12"
HOLOGRASS	10	1/2"	12"
INDIAN BLUE GRASS	10	1/2"	12"
JOHNS GRASS	10	1/2"	12"
PARROT GRASS	10	1/2"	12"
PERennial GRASS	10	1/2"	12"

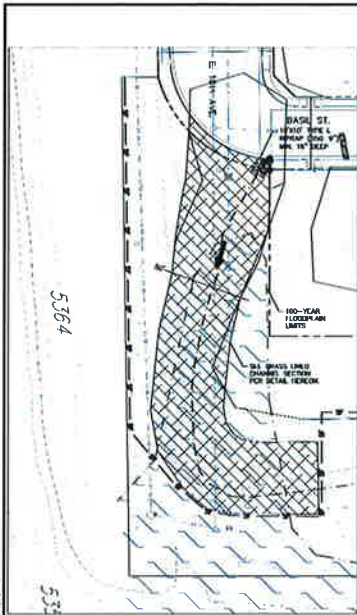
MINIMUM SOIL SETTING RATES FOR PERENNIAL GRASSES:

COMMON NAME	SEEDING RATE (LBS/1000 SQ YD)	PLANTING DEPTH (IN)	SPACING (IN)
BLUE GRASS	10	1/2"	12"
CRAB GRASS	10	1/2"	12"
DAKOTA BLUE GRASS	10	1/2"	12"
FLORIDA BLUE GRASS	10	1/2"	12"
HOLOGRASS	10	1/2"	12"
INDIAN BLUE GRASS	10	1/2"	12"
JOHNS GRASS	10	1/2"	12"
PARROT GRASS	10	1/2"	12"
PERennial GRASS	10	1/2"	12"

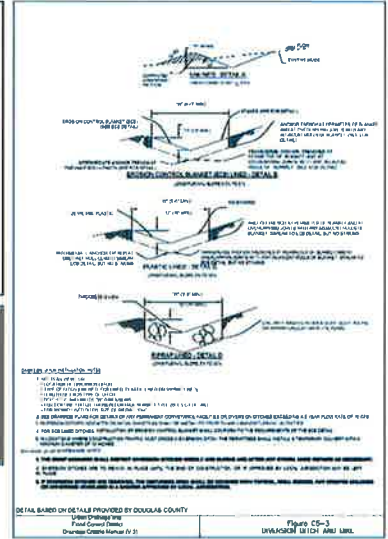
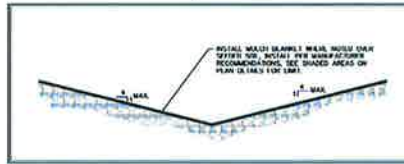
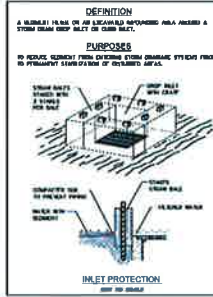
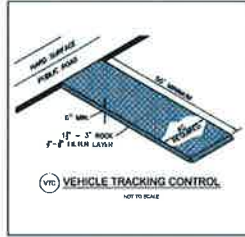
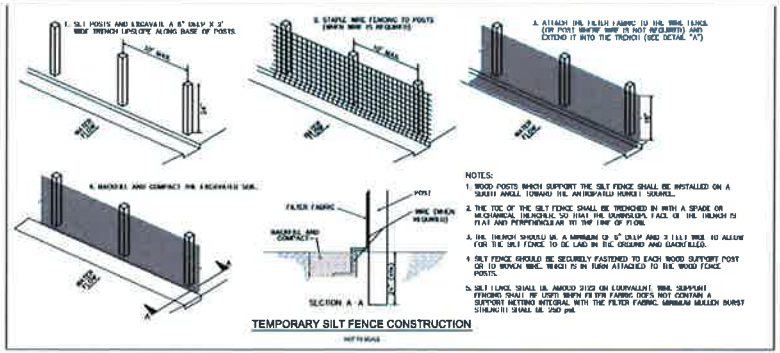
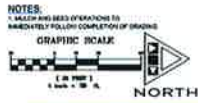


Kimley-Horn and Associates, Inc.
 1001 14th Street, Suite 200, Boulder, CO 80502
 Phone: 303-440-1111
 Fax: 303-440-1112
 www.kimley-horn.com

STRAUSSBURG EAST SUBDIVISION EIGHTH FILING
 STORMWATER CONTROL PLAN
 EROSION CONTROL NOTES
 PREPARED BY: RFP
 CHECKED BY: RFP
 DATE: 08/21/13



CHANNEL DETAIL A
SCALE 1/4" = 1'-0"



DETAILS BASED ON DETAILS PROVIDED BY DOUGLAS COUNTY
DESIGNED BY: [Name]
DATE: [Date]

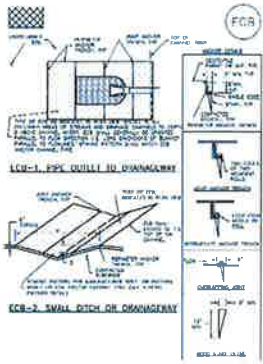
Kimley-Horn and Associates, Inc.
1000 N. 17th St., Suite 200
Durham, NC 27603
Tel: 919.487.2200
Fax: 919.487.2201
www.kimley-horn.com

DESIGNED BY: [Name]
CHECKED BY: [Name]
DATE: 08/23/13

STRASBURG EAST SUBDIVISION EIGHTH FILING
(COWYOTE RIDGE)
STRAVING, COLORADO
DRAINAGE CHANNEL IMPROVEMENTS &
EROSION CONTROL DETAILS

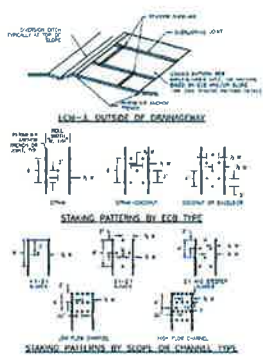
PROJECT NO: 08-11081
DRAWING NO: 200
SHEET NO: C2.2

EC-6 Rolled Erosion Control Products (RECP)



814 P-6 (Urban Drainage and Flood Control District) (Urban Storm Drainage Criteria Manual Volume 3) November 2010

Rolled Erosion Control Products (RECP) EC-6



November 2010 (Urban Drainage and Flood Control District) (Urban Storm Drainage Criteria Manual Volume 3) 814 P-7

EC-6 Rolled Erosion Control Products (RECP)

EROSION CONTROL PRODUCT MAINTENANCE NOTES

1. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
2. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
3. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
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10. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.

NO.	DESCRIPTION	PERCENT	STATUS
1	REPAIRS TO RECP	100%	COMPLETE
2	REPAIRS TO RECP	100%	COMPLETE
3	REPAIRS TO RECP	100%	COMPLETE
4	REPAIRS TO RECP	100%	COMPLETE
5	REPAIRS TO RECP	100%	COMPLETE
6	REPAIRS TO RECP	100%	COMPLETE
7	REPAIRS TO RECP	100%	COMPLETE
8	REPAIRS TO RECP	100%	COMPLETE
9	REPAIRS TO RECP	100%	COMPLETE
10	REPAIRS TO RECP	100%	COMPLETE

814 P-8 (Urban Drainage and Flood Control District) (Urban Storm Drainage Criteria Manual Volume 3) November 2010

Rolled Erosion Control Products (RECP) EC-6

EROSION CONTROL PRODUCT MAINTENANCE NOTES

1. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
2. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
3. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
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8. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
9. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.
10. REPAIRS TO RECP SHALL BE MADE AS SOON AS POSSIBLE TO PREVENT EROSION OF EXPOSED SOIL.

November 2010 (Urban Drainage and Flood Control District) (Urban Storm Drainage Criteria Manual Volume 3) 814 P-9

Kimley-Horn and Associates, Inc.
 1000 North Lincoln Street
 Suite 100
 Strausburg, Colorado 80652
 Phone: 970.261.1111
 Fax: 970.261.1112
 Email: info@kimley-horn.com
 Website: www.kimley-horn.com

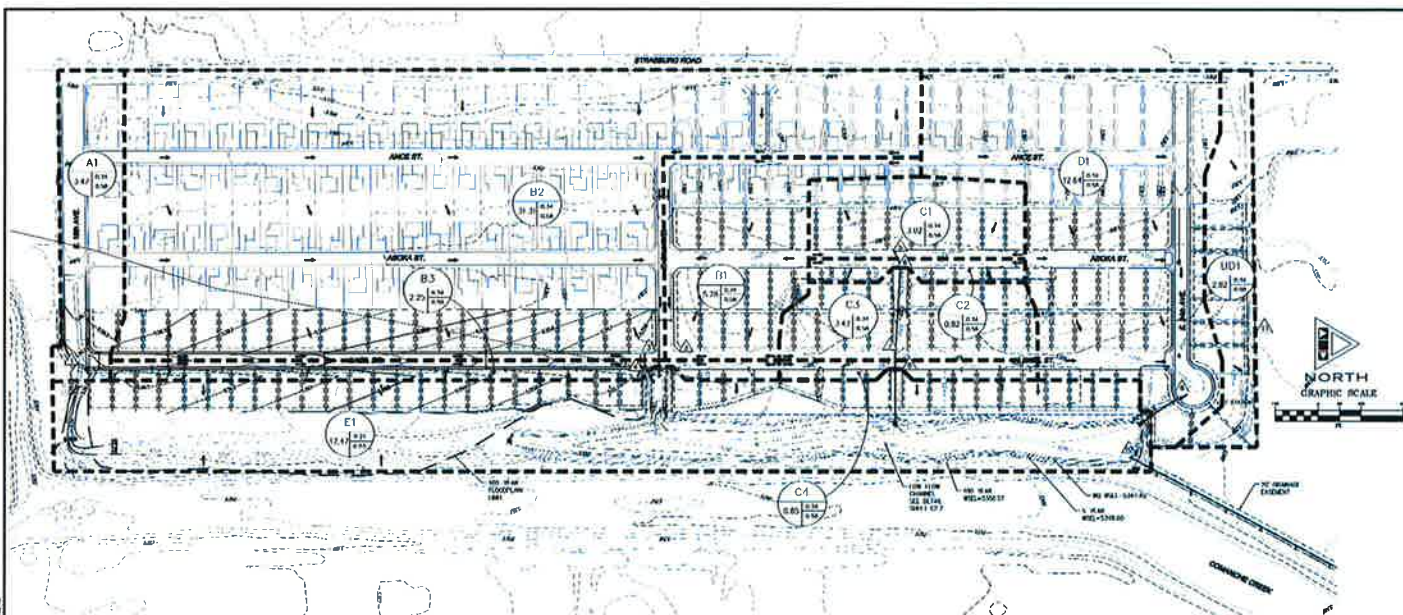
STRASBURG EAST SUBDIVISION EIGHTH FILING
 (COTWRIGHT RIDGE)
 STRASBURG, COLORADO

EROSION CONTROL DETAILS

DATE: 11/17/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]
 TOTAL SHEETS: [Number]

PHILIP C. HILL
 CIVIL ENGINEER
 LICENSE NO. [Number]
 STATE OF COLORADO

C23



LEGEND

- EXISTING CONTOURS
- PROPOSED OUTLET CONTOURS
- SUBDIVISION BOUNDARY LINE
- STORM DRAIN RIGHT OF WAY
- STREET RIGHT OF WAY
- 100-YEAR WATER SURFACE ELEVATION
- 5-YEAR WATER SURFACE ELEVATION
- 1-YEAR WATER SURFACE ELEVATION
- 100-YEAR FLOOD PLAIN 1981 188
- ANCHOR BENCHMARK
- BENCHMARK IN PLACE
- COMPOSITE SURVEY ADJUSTMENTS (C/A)
- SECTION POINT OF OBSERVATION (S/P)

SUMMARY RUNOFF TABLE

DESIGN POINT DESIGNATION	BASEIN	CONTRIBUTING AREA (ACRES)	COEFFICIENT (1 YEAR)	COEFFICIENT (10 YEARS)	COEFFICIENT (100 YEARS)	TIME OF CONCENTRATION (MIN)	RUNOFF (1 YEAR)	RUNOFF (10 YEARS)	RUNOFF (100 YEARS)
1	A1	1.47	0.38	0.44	0.50	21.4	4.36	5.28	7.25
2	B1	1.38	0.38	0.44	0.50	21.4	4.36	5.28	7.25
3	C1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
4	D1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
5	E1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
6	F1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
7	G1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
8	H1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
9	I1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
10	J1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
11	K1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
12	L1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
13	M1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
14	N1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
15	O1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
16	P1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
17	Q1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
18	R1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
19	S1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
20	T1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
21	U1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
22	V1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
23	W1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
24	X1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
25	Y1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50
26	Z1	2.75	0.38	0.44	0.50	21.4	8.72	10.56	14.50

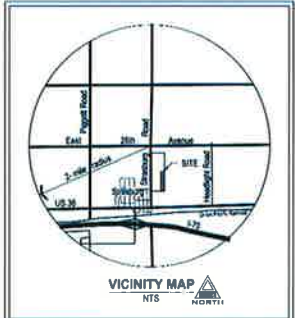
STORM INLET TABLE

INLET S.P.	SIZE	TYPE
1	18" x 18"	TYPE 18 INLET
2	18" x 18"	TYPE 18 INLET
3	18" x 18"	TYPE 18 INLET
4	18" x 18"	TYPE 18 INLET
5	18" x 18"	TYPE 18 INLET
6	18" x 18"	TYPE 18 INLET
7	18" x 18"	TYPE 18 INLET
8	18" x 18"	TYPE 18 INLET
9	18" x 18"	TYPE 18 INLET
10	18" x 18"	TYPE 18 INLET
11	18" x 18"	TYPE 18 INLET
12	18" x 18"	TYPE 18 INLET
13	18" x 18"	TYPE 18 INLET
14	18" x 18"	TYPE 18 INLET
15	18" x 18"	TYPE 18 INLET
16	18" x 18"	TYPE 18 INLET
17	18" x 18"	TYPE 18 INLET
18	18" x 18"	TYPE 18 INLET
19	18" x 18"	TYPE 18 INLET
20	18" x 18"	TYPE 18 INLET
21	18" x 18"	TYPE 18 INLET
22	18" x 18"	TYPE 18 INLET
23	18" x 18"	TYPE 18 INLET
24	18" x 18"	TYPE 18 INLET
25	18" x 18"	TYPE 18 INLET
26	18" x 18"	TYPE 18 INLET
27	18" x 18"	TYPE 18 INLET
28	18" x 18"	TYPE 18 INLET
29	18" x 18"	TYPE 18 INLET
30	18" x 18"	TYPE 18 INLET

DETENTION POND DATA

WATER CAPACITY DETENTION VOLUME	VOLUME	WELL
5-YEAR FLOOD	8.41 AC-FI	5347.65
10-YEAR FLOOD	8.41 AC-FI	5348.63
100-YEAR DETENTION	18.28 AC-FI	5350.57

BENCHMARK AND DATUM
 3-1/2" DIAMETER BRASS CAP STAMPED '2 AS 1981' LOCATED AT THE UNDERPASS OF US HIGHWAY 40 IN THE TOP OF THE SOUTH ALTIMOUNT AND 10 FEET SOUTHEAST OF THE CENTERLINE OF THE MAINLINE TRUCK ELEVATION 888.27 NAVD 83 DATUM.



FOR INFORMATION ONLY - DRAINAGE MAP FROM LEVEL 3 DRAINAGE REPORT FOR COVOTE RIDGE PHASE 3 DATED MARCH 29, 2005 WITH UPDATED FLOODPLAN

Kimley-Horn and Associates, Inc.
 2205 W. 10th Ave., Suite 200
 Denver, CO 80202
 Phone: (303) 733-8200
 Fax: (303) 733-8201
 www.kimley-horn.com

STRASBURG EAST SUBDIVISION EIGHTH FILING
 (COVOTE RIDGE)
 STRASBURG, COLORADO
 DRAINAGE PLAN
 D1.0

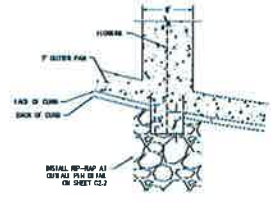
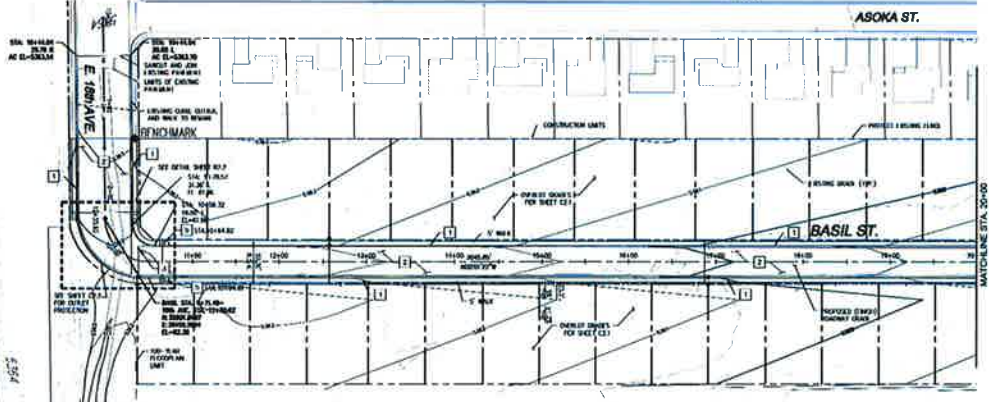
DRAWN BY: PFW
 REVISION BY: PFW
 CHECKED BY: PFW
 DATE: 08/21/13



CONSTRUCTION NOTES

- [1] CONSTRUCT CURB AND RAMP FROM CATCH BASIN, SIDEWALK AND DRIVE PER ADAMS COUNTY STANDARD DETAIL ON SHEET C11
- [2] CONSTRUCT ASPHALT CONCRETE AND/OR BASE PER GEOTECHNICAL RECOMMENDATIONS
- [3] CONSTRUCT TYPICAL CROSSFAN PER ADAMS COUNTY STANDARD DETAIL ON SHEET C11, 9'-8"
- [4] CONSTRUCT CURB FROM THE ADAMS COUNTY STANDARD DETAIL ON SHEET C11
- [5] CONSTRUCT 180 BLOCK CURB RAMP PER ADAMS COUNTY STANDARD DETAIL ON SHEET C11. STATION NOTED IS AT CENTERLINE OF CURB RAMP.

GENERAL CONSTRUCTION NOTE:
 SUPPLEMENT THESE NOTES BY REVIEWING THE DESCRIPTION OF MATERIALS FROM THE FURTHEST BARRETT LINE TO THE LEFT OF THE CUTLINE. A BARRETT WILL BE MADE Y INTO DISTRICT PAYMENT FOR THE "Y" PAVER.

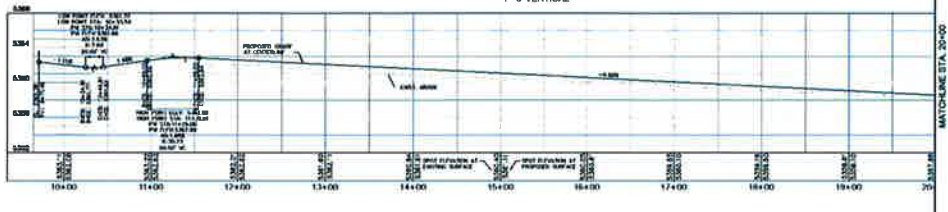


CURB CHASE DETAIL
NOT TO SCALE



CURB CHASE SECTION
NOT TO SCALE

SCALES:
 1"=50' HORIZONTAL
 1"=5' VERTICAL



BASIL STREET



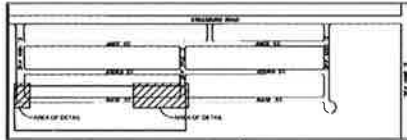
LOCAL BENCHMARK:
 CHISELED "M" IN CONCRETE WALK ON THE NORTH SIDE OF 18TH AVENUE EAST OF ASOKA STREET AS SHOWN HEREON. ELEVATION 5293.35 NAVD 88 DATUM

STRASSBURG EAST SUBDIVISION EIGHTH FILING
 (CIVOTEL RIDGE)
 STANFORD, COLORADO
BASIL STREET PLAN & PROFILE
 R2.0

PREPARED BY: RFP
 CHECKED BY: RFP
 DATE: 06/21/17

PREPARED BY: RFP
 CHECKED BY: RFP
 DATE: 06/21/17

Kimley-Horn and Associates, Inc.
 1001 14TH AVENUE, SUITE 100
 BOULDER, COLORADO 80502
 TEL: 303.440.1400
 FAX: 303.440.1401
 WWW.KIMLEY-HORN.COM

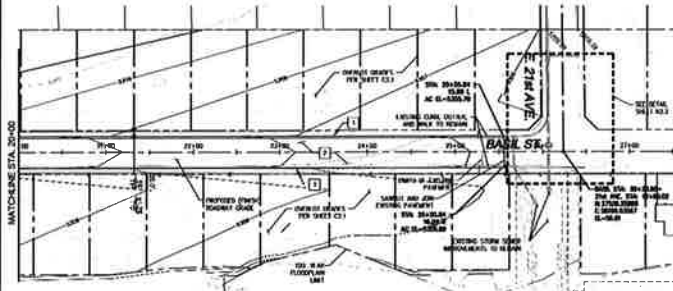


CONSTRUCTION NOTES

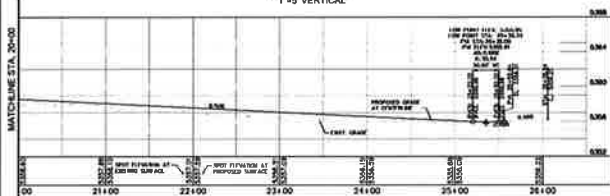
1. CONSTRUCT CURB RAMP CATCH CURB, GUTTER, AND WALK PER ADAMS COUNTY STANDARD DETAIL OR SHEET C11
2. CONSTRUCT ASPHALT CONCRETE AND/OR BASE PER GEOTECHNICAL RECOMMENDATIONS
3. CONSTRUCT FINAL CROSSFAN PER ADAMS COUNTY STANDARD DETAIL OR SHEET C11, W & E
4. CONSTRUCT CURB RAMP PER ADAMS COUNTY STANDARD DETAIL OR SHEET C11
5. CONSTRUCT AND BLOCK CURED RAMP PER ADAMS COUNTY STANDARD DETAIL OR SHEET C11. STATION NOTED IS AT CENTERLINE OF CURB RAMP.

GENERAL CONSTRUCTION NOTE

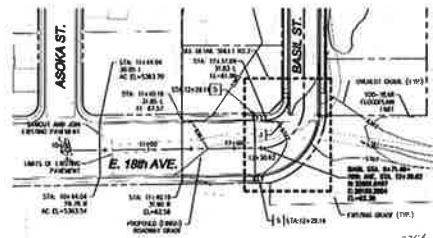
ASPHALT FINISHING SHALL INCLUDE THE REMOVAL OF ASPHALT FROM THE FURTHEST SIDEWALK TO THE TOP OF THE GUTTER. A SCHEDULE SET BY MADE IT INTO EXISTING PAVEMENT FOR THE 1" PAVER.



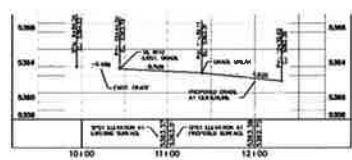
SCALES:
1"=50' HORIZONTAL
1"=4' VERTICAL



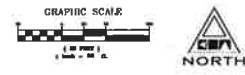
BASIL STREET



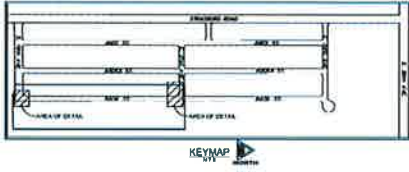
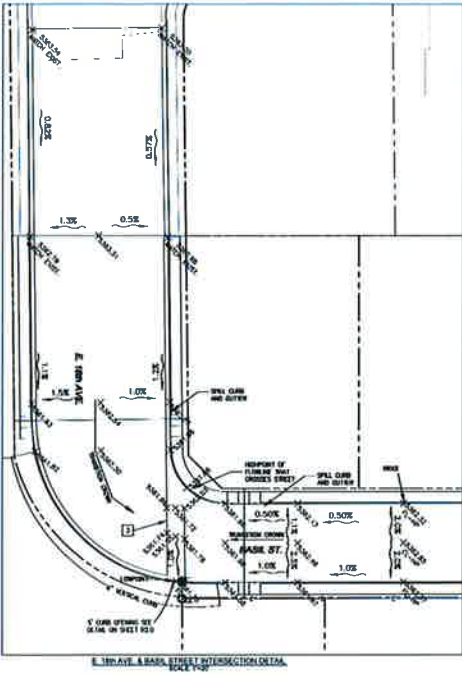
SCALES:
1"=50' HORIZONTAL
1"=5' VERTICAL



E. 18TH AVE.



STRASBURG EAST SUBURSION EIGHTH FILING
 COUNTY INDEX
 STRASBURG, COLORADO
BASIL STREET PLAN & PROFILE
 PROJECT NO. 10010000
 DRAWING NO. 10010000
 R2.1



CONSTRUCTION NOTES

1. CONTRACTOR COMPARE CATCH CURB, GUTTER, AND WALK PER ADAMS COUNTY STANDARD DETAIL (ON SHEET C1).
2. CONTRACTOR SUPPLY CONCRETE AND/OR BASE PER GEOLOGICAL RECOMMENDATIONS.
3. CONTRACTOR TYPICAL CROSS-PAN PER ADAMS COUNTY STANDARD DETAIL (ON SHEET C1). IF NOT.
4. CONTRACTOR CURB RAMP PER ADAMS COUNTY STANDARD DETAIL (ON SHEET C1).
5. CONTRACTOR AND CLOCK CURB RAMP PER ADAMS COUNTY STANDARD DETAIL (ON SHEET C1). STARTING NOTED IS AT CENTERLINE OF CURB RAMP.

GENERAL CONSTRUCTION NOTE
 ASPHALT PAVING SHALL INCLUDE THE REMOVAL OF ASPHALT FROM THE FURROWS SUBJECT TO TOP OF THE CURB. A SAWCUT SET BY MAKE 1" INTO CURB PARALLEL FOR THE 18" TYPICAL.



STRASSBURG EAST SUBDIVISION EIGHTH FILING
(COYOTE RIDGE)
 STRASSBURG, COLORADO
E. 18TH AVE. & E. 21ST AVE. PLAN & PROFILE
 PREPARED FOR: [unreadable]
 DRAWING NO.: [unreadable]
 DATE: 06/23/17
Kimley-Horn and Associates, Inc.
 1200 14th Street, Suite 100
 Fort Collins, CO 80526
 (970) 226-1000
 www.kimley-horn.com

February 28, 2014

International Bank
200 S 2nd Street
PO Drawer 1028
Raton, NM 87740-1028

Beneficiary:
The Board of County Commissioners
of the County of Adams
4430 S Adams County Parkway
Brighton, CO 80601

RE: IRREVOCABLE STANDBY LETTER OF CREDIT
Case No.: PLT 2013-00013
Strasburg East Subdivision Filing No. 8

We authorize you to draw on International Bank, 200 S 2nd Street, Raton, NM for the account of Pauls Development East LLC, 270 St Paul Street Suite 300, Denver, CO 80206, up to an aggregate amount of \$468,641.25 (Four Hundred Sixty Eight Thousand Six Hundred Forty One and 25/100) available by your drafts at sight accompanied by a certificate purportedly signed by the Chairman or the Acting Chairman of the Board of County Commissioners of Adams County stating:

- 1) That Adams County is entitled to draw under this Letter of Credit pursuant to that certain Subdivision Improvement Agreement between the Board of County Commissioners of the County of Adams and Pauls Development East, LLC for completion of those public improvements identified on Exhibit B to the Subdivision Improvement Agreement pertaining to Strasburg East Subdivision Filing No. 8, Case No. PLT 2013-00013.
- 2) The amount of money to be drawn on this Letter of Credit.

This Letter of Credit shall expire on February 28, 2015. The Letter shall expire prior to said date if International Bank receives a release purportedly signed by the Chairman or Acting Chairman of the Board of County Commissioners stating that all or a portion of the Letter of Credit is to be released.

Drafts under this Letter of Credit must state "drawn under International Bank, 200 S 2nd Street, PO Drawer 1028, Raton, NM 87740-1028, Letter of Credit dated February 28, 2014 and Letter of Credit Number 0228-02282015.

This Credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce, Publication No. 500 (or Latest Revision).

Sincerely,

By: 
Daniel J Barnes/SVP - Southlands

By: 
Ronald L Schmeits/President and CEO