



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
October 6, 2020
9:30 AM

Watch the virtual meeting through our You Tube Channel
<https://www.youtube.com/channel/UC7KDbF1XykrYlxnfhEH5XVA>

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

- A.** Proclamation of October 2020 as Domestic Violence Awareness Month

5. PUBLIC COMMENT

A. Citizen Communication

R. Members of the public may submit written comments on any matter within the Board's subject matter jurisdiction or request to speak at the meeting through our eComment system at <https://adccgov.legistar.com/Calendar.aspx>

Residents are encouraged to submit comments, prior to the meeting, through written comment using eComment; eComment is integrated with the published meeting agenda and individuals may review the agenda item details and indicate their position on each item. A request to speak at the meeting may also be submitted using the eComment feature. You will be prompted to set up a user profile to allow you to comment, which will become part of the official public record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting.

B. Elected Officials' Communication

6. CONSENT CALENDAR

- A. List of Expenditures Under the Dates of September 21-25, 2020
- B. Minutes of the Commissioners' Proceedings from September 29, 2020
- C. Resolution Approving Right-of-Way Agreement between Adams County and Ogden North Enterprises, LLC, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)
- D. Resolution Approving First Amendment to the TruStile Development Agreement
(File approved by ELT)
- E. Resolution Approving the Substantial Amendment to the Adams County 2019 Annual Action Plan for Northglenn Minor Home Repair Program
(File approved by ELT)
- F. Resolution Approving Commercial Property Lease between Sandra Rostie and Adams County for 36 South 18th Avenue - Unit A
(File approved by ELT)
- G. Resolution Approving Intergovernmental Agreement for Temporary Non-Congregate Activated Respite Housing
(File approved by ELT)
- H. Resolution Approving the Adams County Human Services Department Fiscal Year 2020-2021 CHAFEE Program Services Plan
(File approved by ELT)
- I. Resolution Approving Amendment 1 to the Property Lease Agreement between Adams County and Steven Murata
(File approved by ELT)
- J. Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County and Adams 12 Five Star Schools Regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)
- K. Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County and Adams County School District 14 Regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)
- L. Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County and Mapleton Public Schools Regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)
- M. Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County and Strasburg School District 31J Regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)
- N. Resolution Approving Intergovernmental Agreement between Adams County and Brighton Housing Authority Regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)

- O.** Resolution Appointing Aaron Herrera to the Adams County Liquor & Marijuana Licensing Authority Board as an Alternate Member
(File approved by ELT)
- P.** Resolution Appointing Dennis Tonsager to the Adams County Liquor & Marijuana Licensing Authority Board as a Regular Member
(File approved by ELT)
- Q.** Resolution Appointing Gene Ciancio to the Metropolitan Football Stadium District
(File approved by ELT)
- R.** Resolution Appointing John Dupriest to the Planning Commission as a Regular Member
(File approved by ELT)
- S.** Resolution Appointing Mark Miller to the Workforce Development Board as a Labor Representative
(File approved by ELT)
- T.** Resolution Appointing Maureen Rudy to the Workforce Development Board as an Adult Education Representative
(File approved by ELT)
- U.** Resolution Appointing Stephanie Sickler to the Veterans Advisory Commission as a Veteran Representative
(File approved by ELT)
- V.** Resolution Approving Amendment 1 to Intergovernmental Agreement between Adams County and Westminster Public Schools Regarding Disbursement of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)
- W.** Resolution Approving Agreement between Adams County and Early Childhood Partnership of Adams County Regarding Disbursement of Coronavirus Aid, Relief and Economic Security Act Funds
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

- 1.** Presentation of the County Manager's Recommended 2021 Preliminary Adams County Budget
(File approved by ELT)
- 2.** Resolution Approving Amendment Seven to the Agreement between Adams County and Quantum Water Consulting for Additional Services
(File approved by ELT)

B. COUNTY ATTORNEY

- 1.** 2020 Assessor Real and Personal Property Reports
(File approved by ELT)

8. LAND USE HEARINGS

A. Cases to be Heard

- 1.** PRC2019-00020 Brannan Sand & Gravel
(File approved by ELT)
- 2.** PRC2019-00009 Wolf Creek Run West
(File approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

From: noreply@granicusideas.com
Sent: Monday, October 5, 2020 3:55 PM
To: Erica Hannah
Subject: New eComment for Board of County Commissioners on 2020-10-06 9:30 AM

Please be cautious: This email was sent from outside Adams County

New eComment for Board of County
Commissioners on 2020-10-06 9:30 AM
Angie Allyn submitted a new eComment.
Meeting: Board of County Commissioners on 2020-10-06 9:30 AM
Item: 5. PUBLIC COMMENT

eComment: There will not be enough water supply for the new housing division and Wolf Creek Run. Will the roads be fixed? Will new businesses develop to support the growing population in Strasburg? Will a new school be built to educate our children? The schools are over the limit now.

[View and Analyze eComments](#)

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From: noreply@granicusideas.com
Sent: Monday, October 5, 2020 1:47 PM
To: Erica Hannah
Subject: New eComment for Board of County Commissioners on 2020-10-06 9:30 AM

Please be cautious: This email was sent from outside Adams County

New eComment for Board of County
Commissioners on 2020-10-06 9:30 AM
Natalie Winkler submitted a new eComment.
Meeting: Board of County Commissioners on 2020-10-06 9:30 AM
Item: 5. PUBLIC COMMENT

eComment: I am AGAINST this. This year 100% of Colorado was in drought for the 2nd time in 10 years, We don't have the water to support our farmers and the population we already have long term, we DO NOT have the water to support more people. We do not have the space in our schools OR the professionals to staff a new school. We do not have adequate access to medical care for everyone who needs it. Our roads are not set up to accommodate 429 more cars/families, SAFETY is an issue. This is NOT best for Strasburg.

[View and Analyze eComments](#)

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From: noreply@granicusideas.com
Sent: Monday, October 5, 2020 4:20 PM
To: Erica Hannah
Subject: New eComment for Board of County Commissioners on 2020-10-06 9:30 AM

Please be cautious: This email was sent from outside Adams County

New eComment for Board of County
Commissioners on 2020-10-06 9:30 AM
Roberta Curtis submitted a new eComment.
Meeting: Board of County Commissioners on 2020-10-06 9:30 AM
Item: 5. PUBLIC COMMENT
eComment: wolf creek run west hould not beapproved becaue of over-growth and limited
resources such as water
View and Analyze eComments

This email was sent from <https://granicusideas.com>.

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From: noreply@granicusideas.com
Sent: Monday, October 5, 2020 4:17 PM
To: Erica Hannah
Subject: New eComment for Board of County Commissioners on 2020-10-06 9:30 AM

Please be cautious: This email was sent from outside Adams County

New eComment for Board of County
Commissioners on 2020-10-06 9:30 AM
Valarie Branstetter submitted a new eComment.
Meeting: Board of County Commissioners on 2020-10-06 9:30 AM
Item: 5. PUBLIC COMMENT

eComment: Water availability is always an issue that will only get worse with over 400 new families/homes. We should not be constructing new developments at this time when existing families are struggling. The air quality will also get worse both during construction as well as when all homes are filled. Strasburg should be focusing on improving existing structures rather than building new ones. This development is a bad idea for the current families in Strasburg as well as others in Colorado.

[View and Analyze eComments](#)

This email was sent from <https://granicusideas.com>.

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Proclamation
“Domestic Violence Awareness Month”
October 2020

Whereas, one in every four women will experience domestic violence during her lifetime; one in every five women will experience sexual assault in her lifetime; and one in seven men have been the victim of severe physical violence by an intimate partner in their lifetime; and

Whereas, approximately 15.5 million children are exposed to domestic violence every year; and 7 million children live in families in which severe intimate partner violence occurred; and

Whereas, domestic violence is a serious crime that affects people of all races, ages, gender, and income levels; and

Whereas, the crimes of domestic and sexual violence violate an individual’s privacy, dignity, security, and humanity due to the systematic use of physical, emotional, sexual, psychological, and economic control and/or abuse; and

Whereas, victims of violence should have access to medical and legal services, counseling, emergency and transitional housing, and other supportive services so that they can safely escape the cycle of abuse especially during this current public health crisis; and

Whereas, we encourage domestic and sexual violence victims and their families to seek assistance from appropriate victims’ services organizations such as the dedicated systems and non-profit based victim advocates in Adams County; and

Whereas, the 17th Judicial District Domestic Violence Task Force, state coalitions, national organizations, and other agencies nationwide are committed to increasing public awareness of domestic and sexual violence and its prevalence, and to eliminating it through prevention and education; and

Whereas, important partnerships have been formed among criminal and juvenile justice agencies, healthcare providers, allied professionals, and victim services to assist victims of domestic and sexual violence and their families; and

Whereas, Adams County, Colorado, has a moral obligation to work to prevent domestic violence, address its brutal and destructive effects and make ending domestic violence a local priority; and

Now, Therefore, Be It Resolved That, the Board of County Commissioners of the County of Adams, State of Colorado, proclaims October 2020 as Domestic Violence Awareness Month and urges all citizens to actively support first responders, victim of crime and their service providers in our community to work towards the elimination of domestic violence and sexual assault.

In witness whereof, we have set our hands and caused the seal of the county to be affixed October 6, 2020.

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,182,736.96
4	Capital Facilities Fund	17,963.16
5	Golf Course Enterprise Fund	66,516.48
6	Equipment Service Fund	155,550.95
13	Road & Bridge Fund	204,548.39
19	Insurance Fund	1,021,816.87
25	Waste Management Fund	1,449,126.65
27	Open Space Projects Fund	3,750.00
28	Open Space Sales Tax Fund	8,303.68
30	Community Dev Block Grant Fund	30,014.00
31	Head Start Fund	32,971.64
34	Comm Services Blk Grant Fund	15,355.71
35	Workforce & Business Center	575.95
43	Colorado Air & Space Port	91,090.65
50	FLATROCK Facility Fund	2,368.80
		<u>4,282,689.89</u>

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006544	1054420	BAWDEN JANA E A	09/23/20	125.00
00006545	37193	CINA & CINA FORENSIC CONSULTIN	09/23/20	8,800.00
00006547	418678	CONVERCENT INC	09/23/20	16,300.00
00006553	962875	SPIEGEL INDUSTRIAL LLC	09/23/20	6,047.40
00006554	1053457	TRANSFORMATION POINT INC	09/23/20	250.00
00006569	1008782	ANGEL ARMOR LLC	09/25/20	704.18
00006570	37193	CINA & CINA FORENSIC CONSULTIN	09/25/20	11,000.00
00006572	1069107	MELLETTE COUNTY	09/25/20	1,320.00
00752611	236204	ABC ITECH	09/24/20	850.00
00752613	13884	ADAMS COUNTY SHERIFF	09/24/20	1,759.83
00752614	91631	ADAMSON POLICE PRODUCTS	09/24/20	1,620.48
00752615	492573	ADVANCED URGENT CARE AND OCC M	09/24/20	66,650.00
00752618	9507	ALLIED RECYCLED AGGREGATES	09/24/20	86.50
00752622	42415	AMERICAN INCOME LIFE INS CO	09/24/20	945.00
00752624	534739	APPLEONE EMPLOYMENT SERVICES	09/24/20	1,468.57
00752625	322973	ARMORED KNIGHTS INC	09/24/20	1,226.32
00752628	3020	BENNETT TOWN OF	09/24/20	79.05
00752631	40942	BI INCORPORATED	09/24/20	18,842.24
00752632	1044535	BONGO LOVE	09/24/20	9,500.00
00752633	13160	BRIGHTON CITY OF (WATER)	09/24/20	23,382.28
00752634	13160	BRIGHTON CITY OF (WATER)	09/24/20	7,345.71
00752635	463401	BUSH MELVIN E	09/24/20	65.00
00752636	8973	C & R ELECTRICAL CONTRACTORS I	09/24/20	3,931.03
00752637	726898	CA SHORT COMPANY	09/24/20	9,338.92
00752639	134733	CASA	09/24/20	2,000.00
00752640	134826	CASA OF ADAMS & BROOMFIELD COU	09/24/20	2,500.00
00752645	255194	CHAMBERS HOLDINGS LLC	09/24/20	33,407.96
00752648	80146	COLO DEPT OF PUBLIC HEALTH & E	09/24/20	93.75
00752649	5050	COLO DIST ATTORNEY COUNCIL	09/24/20	2,825.90
00752652	99357	COLO MEDICAL WASTE INC	09/24/20	1,459.00
00752653	209334	COLO NATURAL GAS INC	09/24/20	28.76
00752654	2157	COLO OCCUPATIONAL MEDICINE PHY	09/24/20	245.00
00752658	42984	CORECIVIC INC	09/24/20	412,309.42
00752659	37117	DATAWORKS PLUS LLC	09/24/20	2,200.00
00752660	4071	DEER TRAIL / EAST ADAMS	09/24/20	9,500.00
00752661	564091	DENTONS US LLP	09/24/20	12,000.00

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752665	370160	EIDE BAILLY LLP	09/24/20	23,025.93
00752668	47723	FEDEX	09/24/20	236.53
00752670	671123	FOUND MY KEYS	09/24/20	1,816.92
00752671	7262	FRONTIER FERTILIZER AND CHEMIC	09/24/20	2,700.00
00752672	463649	GABLEHOUSE GRANBERG LLC	09/24/20	3,154.59
00752673	12689	GALLS LLC	09/24/20	25,254.37
00752677	675517	GREEN THOMAS D	09/24/20	65.00
00752678	601576	GRIMM TRISTA	09/24/20	147.00
00752679	808845	GRONQUIST CHRIS	09/24/20	65.00
00752680	970284	HARNETT OWEN	09/24/20	65.00
00752681	699829	HILL'S PET NUTRITION SALES INC	09/24/20	331.20
00752682	993413	HOLOSUN TECHNOLOGIES INC	09/24/20	7,205.75
00752684	32276	INSIGHT PUBLIC SECTOR	09/24/20	58,479.02
00752685	13565	INTERMOUNTAIN REA	09/24/20	32.93
00752687	950388	INVESTIGATIONS LAW GROUP LLC	09/24/20	15,102.50
00752688	746356	J. BROWER PSYCHOLOGICAL SERVIC	09/24/20	1,000.00
00752689	535598	JACHIMIAK PETERSON LLC	09/24/20	19,236.00
00752691	513066	JAMES REAL ESTATE SERVICES INC	09/24/20	4,800.00
00752692	26418	JOHN DEERE COMPANY	09/24/20	15,590.96
00752693	678026	JUAREZ SANCHEZ DIANA	09/24/20	64.34
00752696	536256	KIMMEL KENZIE NICOLE	09/24/20	163.88
00752699	1020086	LABORATORY CORPORATION OF AMER	09/24/20	7,233.75
00752700	40843	LANGUAGE LINE SERVICES	09/24/20	73.80
00752701	48078	LARIMER COUNTY COMMUNITY CORRE	09/24/20	264.50
00752704	1039410	MECSTAT LABORATORIES	09/24/20	780.00
00752706	729564	METRO TRANSPORTATION PLANNING	09/24/20	1,809.75
00752708	289813	MILE HIGH SHOOTING SUPPLY	09/24/20	30,280.00
00752709	13719	MORGAN COUNTY REA	09/24/20	187.27
00752710	13591	MWI VETERINARY SUPPLY CO	09/24/20	5,590.60
00752713	430881	NEON RAIN INTERACTIVE LLC	09/24/20	1,079.00
00752714	16428	NICOLETTI-FLATER ASSOCIATES	09/24/20	1,500.00
00752715	13778	NORTH WASHINGTON ST WATER & SA	09/24/20	33,860.62
00752719	273935	OJEDA, KARLA G	09/24/20	191.66
00752720	669732	PATTERSON VETERINARY SUPPLY IN	09/24/20	498.83
00752721	100332	PERKINELMER GENETICS	09/24/20	50.00
00752722	150001	PERRY SCOTT ANDREW	09/24/20	13.78

Net Warrants by Fund Detail

1 General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752723	192059	POINT SPORTS/ERGOMED	09/24/20	1,220.00
00752726	725956	PRUDENTIAL OVERALL SUPPLY	09/24/20	55.28
00752727	308319	RHAMEY CHRISTOPHER	09/24/20	153.00
00752728	422902	ROADRUNNER PHARMACY INCORPORAT	09/24/20	319.80
00752730	145355	SANITY SOLUTIONS INC	09/24/20	18,232.50
00752731	13932	SOUTH ADAMS WATER & SANITATION	09/24/20	1,701.88
00752733	227044	SOUTHWESTERN PAINTING	09/24/20	54,036.00
00752735	315130	STANFIELD THOMSON	09/24/20	65.00
00752738	426037	SWIRE COCA-COLA USA	09/24/20	2,162.68
00752739	701506	TETRUS CORP	09/24/20	29,250.00
00752742	22538	THOMSON REUTERS - WEST	09/24/20	390.60
00752745	1065938	TSG REPORTING INC	09/24/20	492.45
00752746	666214	TYGRETTE DEBRA R	09/24/20	168.00
00752747	1007	UNITED POWER (UNION REA)	09/24/20	2,638.16
00752748	1007	UNITED POWER (UNION REA)	09/24/20	25,621.77
00752749	1007	UNITED POWER (UNION REA)	09/24/20	69.91
00752750	1007	UNITED POWER (UNION REA)	09/24/20	2,301.00
00752751	1007	UNITED POWER (UNION REA)	09/24/20	31,226.00
00752752	1007	UNITED POWER (UNION REA)	09/24/20	4,401.25
00752753	1007	UNITED POWER (UNION REA)	09/24/20	6,838.66
00752754	1007	UNITED POWER (UNION REA)	09/24/20	497.43
00752755	1007	UNITED POWER (UNION REA)	09/24/20	22,860.17
00752756	1007	UNITED POWER (UNION REA)	09/24/20	58.00
00752757	1007	UNITED POWER (UNION REA)	09/24/20	7,100.49
00752768	233754	UNIVERSITY OF COLO DENVER DEPT	09/24/20	34.00
00752769	51179	UPS	09/24/20	903.90
00752771	28566	VERIZON WIRELESS	09/24/20	489.69
00752774	956168	WERNER W ELIZABETH	09/24/20	253.12
00752775	46796	WESTMINSTER CITY OF	09/24/20	4,297.29
00752779	40340	WINDSTREAM COMMUNICATIONS	09/24/20	1,532.67
00752780	40340	WINDSTREAM COMMUNICATIONS	09/24/20	1,485.82
00752781	737980	WOLD ARCHITECTS AND ENGINEERS	09/24/20	5,029.60
00752783	260523	WOODZWAYZ	09/24/20	3,200.00
00752784	13822	XCEL ENERGY	09/24/20	4,644.42
00752785	13822	XCEL ENERGY	09/24/20	1,711.18
00752786	13822	XCEL ENERGY	09/24/20	86.11

Net Warrants by Fund Detail

1 **General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752787	13822	XCEL ENERGY	09/24/20	12,639.36
00752788	13822	XCEL ENERGY	09/24/20	832.34
00752789	13822	XCEL ENERGY	09/24/20	82.83
00752790	13822	XCEL ENERGY	09/24/20	83.67
00752791	13822	XCEL ENERGY	09/24/20	1,413.15
Fund Total				1,182,736.96

Net Warrants by Fund Detail

4Capital Facilities Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752650	1909	COLO DOORWAYS INC	09/24/20	4,465.56
00752711	13591	MWI VETERINARY SUPPLY CO	09/24/20	4,287.87
00752717	949999	OFFICESCAPES OF DENVER LLLP	09/24/20	1,604.33
00752758	1007	UNITED POWER (UNION REA)	09/24/20	23.86
00752782	737980	WOLD ARCHITECTS AND ENGINEERS	09/24/20	7,470.24
00752792	13822	XCEL ENERGY	09/24/20	111.30
Fund Total				17,963.16

Net Warrants by Fund Detail

5 Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006552	6177	PROFESSIONAL RECREATION MGMT I	09/23/20	57,132.10
00752616	8579	AGFINITY INC	09/24/20	4,329.46
00752620	12012	ALSCO AMERICAN INDUSTRIAL	09/24/20	159.04
00752641	25288	CEM LAKE MGMT	09/24/20	494.00
00752651	14008	COLO GOLF & TURF INC	09/24/20	517.44
00752676	160270	GOLF & SPORT SOLUTIONS	09/24/20	933.78
00752686	2202	INTERSTATE BATTERY OF ROCKIES	09/24/20	210.80
00752698	11496	L L JOHNSON DIST	09/24/20	1,240.97
00752712	41651	NAPA	09/24/20	3.68
00752724	152295	POTESTIO BROTHER EQUIPMENT	09/24/20	174.48
00752743	47140	TORO NSN	09/24/20	233.00
00752778	18645	WILBUR-ELLIS COMPANY LLC	09/24/20	700.00
00752793	13822	XCEL ENERGY	09/24/20	44.42
00752794	13822	XCEL ENERGY	09/24/20	343.31
Fund Total				66,516.48

Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752612	23962	ACS MANAGEMENT LLC	09/24/20	4,212.00
00752626	796846	BEARCOM	09/24/20	31,415.31
00752627	32682	BEARCOM WIRELESS WORLDWIDE	09/24/20	69,216.12
00752683	682207	INSIGHT AUTO GLASS LLC	09/24/20	249.68
00752729	16237	SAM HILL OIL INC	09/24/20	24,103.66
00752734	99671	SPRADLEY BARR FORD GREELEY	09/24/20	26,087.00
00752740	790907	THE GOODYEAR TIRE AND RUBBER C	09/24/20	267.18
Fund Total				155,550.95

Net Warrants by Fund Detail

13**Road & Bridge Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006549	171233	LAND TITLE GUARANTEE COMPANY	09/23/20	11,962.00
00006550	171233	LAND TITLE GUARANTEE COMPANY	09/23/20	8,720.80
00006551	171233	LAND TITLE GUARANTEE COMPANY	09/23/20	17,129.00
00006577	982994	WESTERN STATES LAND SERVICES L	09/25/20	19,352.47
00752609	11902	3M COMPANY	09/24/20	325.65
00752621	12012	ALSCO AMERICAN INDUSTRIAL	09/24/20	633.17
00752630	49497	BFI TOWER ROAD LANDFILL	09/24/20	2,883.35
00752646	43659	CINTAS FIRST AID & SAFETY	09/24/20	178.71
00752647	2305	COBITCO INC	09/24/20	965.58
00752666	534975	EP&A ENVIROTAC INC	09/24/20	35,644.18
00752667	873559	EST INC	09/24/20	77,695.29
00752675	212385	GMCO CORPORATION	09/24/20	2,410.75
00752690	1067782	JAMES HENSLEY SPECIAL FAMILY T	09/24/20	2,575.00
00752707	1068452	MIDTOWN AT CLEAR CREEK METRO D	09/24/20	6,345.00
00752718	1057457	OGDEN NORTH ENTERPRISES LLC	09/24/20	7,740.00
00752732	13932	SOUTH ADAMS WATER & SANITATION	09/24/20	595.01
00752741	790907	THE GOODYEAR TIRE AND RUBBER C	09/24/20	60.00
00752759	1007	UNITED POWER (UNION REA)	09/24/20	16.50
00752760	1007	UNITED POWER (UNION REA)	09/24/20	34.00
00752761	1007	UNITED POWER (UNION REA)	09/24/20	36.00
00752762	1007	UNITED POWER (UNION REA)	09/24/20	16.50
00752763	1007	UNITED POWER (UNION REA)	09/24/20	16.50
00752770	158184	UTILITY NOTIFICATION CENTER OF	09/24/20	162.41
00752773	7872	VULCAN INC	09/24/20	8,995.25
00752795	13822	XCEL ENERGY	09/24/20	55.27

Fund Total**204,548.39**

Net Warrants by Fund Detail

19**Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006555	523053	TRISTAR RISK MANAGEMENT	09/23/20	421.00
00006574	37223	UNITED HEALTH CARE INSURANCE C	09/25/20	393,100.99
00006575	37223	UNITED HEALTH CARE INSURANCE C	09/25/20	373,603.45
00006576	37223	UNITED HEALTH CARE INSURANCE C	09/25/20	188,282.19
00752623	217233	ANDERSON, ROBERT H	09/24/20	3,240.63
00752638	419839	CAREHERE LLC	09/24/20	59,890.14
00752655	2157	COLO OCCUPATIONAL MEDICINE PHY	09/24/20	910.00
00752669	986661	FIT SOLDIERS LLC	09/24/20	240.00
00752694	145356	KENNY ELECTRIC SERVICE INC	09/24/20	665.91
00752725	48924	PRO TECH COMPUTER SYSTEMS INC	09/24/20	1,129.00
00752744	1069345	TORREZ JOSE	09/24/20	333.56
Fund Total				1,021,816.87

County of Adams
Net Warrants by Fund Detail

25

Waste Management Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006548	1038368	IRON WOMAN CONSTRUCTION	09/23/20	1,449,126.65
Fund Total				1,449,126.65

Net Warrants by Fund Detail

27

Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752736	266133	STREAM LANDSCAPE ARCHITECTURE	09/24/20	3,750.00
			Fund Total	3,750.00

County of Adams
Net Warrants by Fund Detail

28

Open Space Sales Tax Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752629	3020	BENNETT TOWN OF	09/24/20	8,303.68
Fund Total				8,303.68

Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006556	1044009	WORLD JUICE BAR LLC	09/23/20	1,924.00
00006568	1039215	2ND TIME SPORTS	09/25/20	2,017.50
00006571	1041087	HAMPTON INN BRIGHTON	09/25/20	17,500.00
00006573	287034	SNAPNORTH LLC	09/25/20	2,972.50
00752663	1041510	DENVER STAIR LTD	09/24/20	5,600.00
Fund Total				30,014.00

Net Warrants by Fund Detail

31 **Head Start Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752610	382247	3WESOLUTIONS LLC	09/24/20	1,300.00
00752642	37266	CENTURY LINK	09/24/20	198.34
00752643	37266	CENTURY LINK	09/24/20	142.57
00752644	327914	CESCO LINGUISTIC SERVICE INC	09/24/20	60.00
00752656	2157	COLO OCCUPATIONAL MEDICINE PHY	09/24/20	50.00
00752657	248029	COMMUNITY REACH CENTER FOUNDAT	09/24/20	6,515.84
00752662	45567	DENVER CHILDREN'S ADVOCACY CTR	09/24/20	5,760.06
00752674	971545	GENESIS FLOOR CARE OF COLORADO	09/24/20	2,322.00
00752697	40323	L & N SUPPLY COMPANY INC	09/24/20	803.10
00752716	55021	NULINX INTERNATIONAL	09/24/20	10,740.00
00752776	31360	WESTMINSTER PRESBYTERIAN CHURC	09/24/20	2,267.73
00752777	59983	WESTMINSTER PUBLIC SCHOOLS	09/24/20	2,812.00
Fund Total				32,971.64

Net Warrants by Fund Detail

34

Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752619	5991	ALMOST HOME INC	09/24/20	14,704.72
00752664	190240	ECPAC	09/24/20	650.99
Fund Total				15,355.71

County of Adams
Net Warrants by Fund Detail

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Workforce & Business Center

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752703	62480	MARTINEZ MARTHA	09/24/20	575.95
Fund Total				575.95

Net Warrants by Fund Detail

43Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00006546	709816	CITY SERVICEVALCON LLC	09/23/20	34,285.44
00752617	88281	ALBERTS WATER & WASTEWATER SER	09/24/20	3,691.20
00752695	358103	KIMLEY-HORN AND ASSOCIATES INC	09/24/20	47,520.48
00752702	112383	LOTTMAN OIL COMPANY	09/24/20	383.50
00752705	871154	MEI TOTAL ELEVATOR SOLUTIONS	09/24/20	486.69
00752737	80267	SWIMS DISPOSAL	09/24/20	380.00
00752767	300982	UNITED SITE SERVICES	09/24/20	896.07
00752772	80279	VERIZON WIRELESS	09/24/20	761.73
00752796	13822	XCEL ENERGY	09/24/20	13.00
00752797	13822	XCEL ENERGY	09/24/20	14.15
00752798	13822	XCEL ENERGY	09/24/20	15.99
00752799	13822	XCEL ENERGY	09/24/20	47.91
00752800	13822	XCEL ENERGY	09/24/20	51.48
00752801	13822	XCEL ENERGY	09/24/20	59.72
00752802	13822	XCEL ENERGY	09/24/20	68.75
00752803	13822	XCEL ENERGY	09/24/20	82.59
00752804	13822	XCEL ENERGY	09/24/20	225.72
00752805	13822	XCEL ENERGY	09/24/20	407.03
00752806	13822	XCEL ENERGY	09/24/20	637.24
00752807	13822	XCEL ENERGY	09/24/20	1,061.96
Fund Total				91,090.65

Net Warrants by Fund Detail

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FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00752764	1007	UNITED POWER (UNION REA)	09/24/20	313.41
00752765	1007	UNITED POWER (UNION REA)	09/24/20	63.67
00752766	1007	UNITED POWER (UNION REA)	09/24/20	1,991.72
Fund Total				2,368.80

County of Adams
Net Warrants by Fund Detail

Grand Total 4,282,689.89

County of Adams
Vendor Payment Report

<u>3161</u>	<u>Animal Shelter Construction</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	UNITED POWER (UNION REA)	00004	981922	373757	09/18/20	23.86
	XCEL ENERGY	00004	981921	373757	09/18/20	111.30
					Account Total	135.16
	Minor Equipment					
	MWI VETERINARY SUPPLY CO	00004	981918	373757	09/18/20	4,287.87
					Account Total	4,287.87
					Department Total	4,423.03

County of Adams
Vendor Payment Report

<u>1011</u>	<u>Board of County Commissioners</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Events					
	CASA OF ADAMS & BROOMFIELD COU	00001	982075	373950	09/22/20	<u>2,500.00</u>
					Account Total	<u>2,500.00</u>
					Department Total	<u><u>2,500.00</u></u>

County of Adams
Vendor Payment Report

<u>1024</u>	<u>Budget Office</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	APPLEONE EMPLOYMENT SERVICES	00001	981909	373667	09/17/20	<u>1,468.57</u>
					Account Total	<u>1,468.57</u>
					Department Total	<u><u>1,468.57</u></u>

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	COLO OCCUPATIONAL MEDICINE PHY	00019	981978	373841	09/21/20	<u>910.00</u>
					Account Total	<u>910.00</u>
					Department Total	<u><u>910.00</u></u>

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	OFFICESCAPES OF DENVER LLLP	00004	982170	374161	09/24/20	1,604.33
	WOLD ARCHITECTS AND ENGINEERS	00004	982217	374169	09/24/20	1,470.24
	WOLD ARCHITECTS AND ENGINEERS	00004	982217	374169	09/24/20	6,000.00
					Account Total	<u>9,074.57</u>
					Department Total	<u><u>9,074.57</u></u>

County of Adams
Vendor Payment Report

<u>9263</u>	<u>CARES Act Funding</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Minor Equipment					
	MARTINEZ MARTHA	00001	981911	373743	09/18/20	<u>575.95</u>
					Account Total	<u>575.95</u>
					Department Total	<u><u>575.95</u></u>

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	982133	374038	09/23/20	13.00
	XCEL ENERGY	00043	982135	374038	09/23/20	15.99
					Account Total	28.99
	Telephone					
	VERIZON WIRELESS	00043	982132	374037	09/23/20	721.72
					Account Total	721.72
	Water/Sewer/Sanitation					
	SWIMS DISPOSAL	00043	982129	374037	09/23/20	400.00
	SWIMS DISPOSAL	00043	982129	374037	09/23/20	20.00-
	UNITED SITE SERVICES	00043	982130	374037	09/23/20	609.01
	UNITED SITE SERVICES	00043	982131	374037	09/23/20	287.06
					Account Total	1,276.07
					Department Total	2,026.78

County of Adams
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Airport Freight					
	LOTTMAN OIL COMPANY	00043	982139	374039	09/23/20	5.00
					Account Total	<u>5.00</u>
	Oil					
	LOTTMAN OIL COMPANY	00043	982139	374039	09/23/20	133.50
	LOTTMAN OIL COMPANY	00043	982139	374039	09/23/20	245.00
					Account Total	<u>378.50</u>
	Telephone					
	VERIZON WIRELESS	00043	982132	374037	09/23/20	40.01
					Account Total	<u>40.01</u>
					Department Total	<u><u>423.51</u></u>

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	982136	374038	09/23/20	47.91
	XCEL ENERGY	00043	982137	374038	09/23/20	51.48
	XCEL ENERGY	00043	982138	374038	09/23/20	59.72
	XCEL ENERGY	00043	982140	374040	09/23/20	68.75
	XCEL ENERGY	00043	982141	374040	09/23/20	82.59
	XCEL ENERGY	00043	982142	374040	09/23/20	688.06
	XCEL ENERGY	00043	982142	374040	09/23/20	67.84
	XCEL ENERGY	00043	982142	374040	09/23/20	530.18-
	XCEL ENERGY	00043	982143	374040	09/23/20	1,486.70
	XCEL ENERGY	00043	982143	374040	09/23/20	1,079.67-
	XCEL ENERGY	00043	982144	374040	09/23/20	576.34
	XCEL ENERGY	00043	982144	374040	09/23/20	60.90
	XCEL ENERGY	00043	982134	374038	09/23/20	14.15
					Account Total	1,594.59
					Department Total	1,594.59

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	2ND TIME SPORTS	00030	981766	373567	09/16/20	2,017.50
	DENVER STAIR LTD	00030	982148	374159	09/24/20	5,600.00
	HAMPTON INN BRIGHTON	00030	981908	373666	09/17/20	17,500.00
	SNAPNORTH LLC	00030	981767	373568	09/16/20	2,972.50
	WORLD JUICE BAR LLC	00030	981923	373762	09/18/20	1,924.00
					Account Total	30,014.00
					Department Total	30,014.00

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ALBERTS WATER & WASTEWATER SER	00043	982249	374169	09/24/20	3,300.00
	CITY SERVICEVALCON LLC	00043	982114	374022	09/23/20	21,621.17
	CITY SERVICEVALCON LLC	00043	982115	374022	09/23/20	12,664.27
	KIMLEY-HORN AND ASSOCIATES INC	00043	982174	374161	09/24/20	47,520.48
	MEI TOTAL ELEVATOR SOLUTIONS	00043	982216	374169	09/24/20	.01
	MEI TOTAL ELEVATOR SOLUTIONS	00043	982216	374169	09/24/20	486.68
					Account Total	85,592.61
					Department Total	85,592.61

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Court Reporting Transcripts					
	TSG REPORTING INC	00001	981979	373841	09/21/20	492.45
					Account Total	492.45
	Other Professional Serv					
	INVESTIGATIONS LAW GROUP LLC	00001	981973	373841	09/21/20	5,357.50
	INVESTIGATIONS LAW GROUP LLC	00001	981974	373841	09/21/20	4,300.00
	INVESTIGATIONS LAW GROUP LLC	00001	981975	373841	09/21/20	5,445.00
					Account Total	15,102.50
					Department Total	15,594.95

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CINA & CINA FORENSIC CONSULTIN	00001	981781	373640	09/17/20	8,800.00
	CINA & CINA FORENSIC CONSULTIN	00001	982123	374027	09/23/20	11,000.00
					Account Total	19,800.00
	Other Professional Serv					
	COLO MEDICAL WASTE INC	00001	982068	373946	09/22/20	1,459.00
	COLO OCCUPATIONAL MEDICINE PHY	00001	982072	373946	09/22/20	245.00
	FEDEX	00001	982070	373946	09/22/20	236.53
	LABORATORY CORPORATION OF AMER	00001	982066	373946	09/22/20	7,233.75
	LANGUAGE LINE SERVICES	00001	982069	373946	09/22/20	73.80
	MECSTAT LABORATORIES	00001	982061	373946	09/22/20	195.00
	MECSTAT LABORATORIES	00001	982062	373946	09/22/20	195.00
	MECSTAT LABORATORIES	00001	982063	373946	09/22/20	195.00
	MECSTAT LABORATORIES	00001	982064	373946	09/22/20	195.00
	NICOLETTI-FLATER ASSOCIATES	00001	982073	373946	09/22/20	1,500.00
	PERKINELMER GENETICS	00001	982067	373946	09/22/20	50.00
	THOMSON REUTERS - WEST	00001	982071	373946	09/22/20	390.60
	UNIVERSITY OF COLO DENVER DEPT	00001	982065	373946	09/22/20	34.00
	UPS	00001	982059	373946	09/22/20	476.58
	UPS	00001	982060	373946	09/22/20	427.32
					Account Total	12,906.58
					Department Total	32,706.58

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ALMOST HOME INC	00034	981828	373642	09/15/20	14,704.72
	ECPAC	00034	981825	373642	09/15/20	650.99
					Account Total	<u>15,355.71</u>
					Department Total	<u><u>15,355.71</u></u>

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	RHAMEY CHRISTOPHER	00001	982125	374030	09/23/20	<u>153.00</u>
					Account Total	<u>153.00</u>
					Department Total	<u><u>153.00</u></u>

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ACS MANAGEMENT LLC	00006	982177	374161	09/24/20	4,212.00
	BEARCOM	00006	982195	374161	09/24/20	15,828.00
	BEARCOM	00006	982196	374161	09/24/20	15,587.31
	BEARCOM WIRELESS WORLDWIDE	00006	982202	374161	09/24/20	17,307.03
	BEARCOM WIRELESS WORLDWIDE	00006	982203	374161	09/24/20	17,307.03
	BEARCOM WIRELESS WORLDWIDE	00006	982183	374161	09/24/20	17,301.03
	BEARCOM WIRELESS WORLDWIDE	00006	982184	374161	09/24/20	17,301.03
	INSIGHT AUTO GLASS LLC	00006	982201	374161	09/24/20	209.68
	INSIGHT AUTO GLASS LLC	00006	982178	374161	09/24/20	40.00
	SAM HILL OIL INC	00006	982179	374161	09/24/20	1,000.28
	SAM HILL OIL INC	00006	982180	374161	09/24/20	5,424.95
	SAM HILL OIL INC	00006	982198	374161	09/24/20	13,114.18
	SAM HILL OIL INC	00006	982199	374161	09/24/20	1,706.72
	SAM HILL OIL INC	00006	982200	374161	09/24/20	1,014.95
	SAM HILL OIL INC	00006	982256	374169	09/24/20	1,842.58
	SPRADLEY BARR FORD GREELEY	00006	982157	374161	09/24/20	26,087.00
	THE GOODYEAR TIRE AND RUBBER C	00006	982197	374161	09/24/20	267.18
					Account Total	155,550.95
					Department Total	155,550.95

County of Adams
Vendor Payment Report

<u>9243</u>	<u>Extension - Family & Consumer</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	25693	00001	982099	374008	09/23/20	<u>64.34</u>
					Account Total	<u>64.34</u>
					Department Total	<u><u>64.34</u></u>

County of Adams
Vendor Payment Report

<u>9244</u>	<u>Extension- 4-H/Youth</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Mileage Reimbursements					
	25563	00001	982097	374008	09/23/20	253.12
	25674	00001	982098	374008	09/23/20	163.88
					Account Total	417.00
	Operating Supplies					
	AMERICAN INCOME LIFE INS CO	00001	981764	373561	09/16/20	945.00
					Account Total	945.00
					Department Total	1,362.00

County of Adams
Vendor Payment Report

<u>6031</u>	<u>Extension- Soil Conservation</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	DEER TRAIL / EAST ADAMS	00001	981742	373542	09/16/20	<u>9,500.00</u>
					Account Total	<u>9,500.00</u>
					Department Total	<u><u>9,500.00</u></u>

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO - Adams County Svc Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11004	00001	981940	373818	08/21/20	<u>12,639.36</u>
					Account Total	<u>12,639.36</u>
					Department Total	<u><u>12,639.36</u></u>

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	CHAMBERS HOLDINGS LLC	00001	982126	374034	09/23/20	33,407.96
					Account Total	33,407.96
	Gas & Electricity					
	Energy Cap Bill ID=10998	00001	981944	373818	08/19/20	28.76
	Energy Cap Bill ID=11003	00001	981945	373818	08/19/20	832.34
	Energy Cap Bill ID=11005	00001	981946	373818	08/21/20	82.83
	Energy Cap Bill ID=11011	00001	981947	373818	08/19/20	83.67
					Account Total	1,027.60
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11001	00001	981948	373818	08/14/20	79.05
					Account Total	79.05
					Department Total	34,514.61

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11007	00001	981929	373818	09/02/20	<u>4,644.42</u>
					Account Total	<u>4,644.42</u>
					Department Total	<u><u>4,644.42</u></u>

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10997	00001	981951	373818	09/04/20	6,838.66
					Account Total	<u>6,838.66</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=10999	00001	981952	373818	08/07/20	7,345.71
					Account Total	<u>7,345.71</u>
					Department Total	<u><u>14,184.37</u></u>

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10985	00050	981957	373818	09/04/20	313.41
	Energy Cap Bill ID=10989	00050	981958	373818	09/04/20	63.67
	Energy Cap Bill ID=10991	00050	981959	373818	09/04/20	1,991.72
					Account Total	<u>2,368.80</u>
					Department Total	<u><u>2,368.80</u></u>

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10990	00001	981941	373818	09/04/20	2,301.00
	Energy Cap Bill ID=10995	00001	981942	373818	09/04/20	31,226.00
					Account Total	33,527.00
					Department Total	33,527.00

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11002	00001	981931	373818	09/01/20	1,711.18
	Energy Cap Bill ID=11006	00001	981932	373818	08/21/20	86.11
					Account Total	1,797.29
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=10982	00001	981933	373818	08/20/20	1,701.88
					Account Total	1,701.88
					Department Total	3,499.17

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=10983	00001	981943	373818	08/19/20	<u>4,297.29</u>
					Account Total	<u>4,297.29</u>
					Department Total	<u><u>4,297.29</u></u>

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10988	00001	981934	373818	09/04/20	25,621.77
	Energy Cap Bill ID=10994	00001	981935	373818	09/04/20	69.91
					Account Total	25,691.68
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11000	00001	981936	373818	08/07/20	23,382.28
					Account Total	23,382.28
					Department Total	49,073.96

County of Adams
Vendor Payment Report

<u>1069</u>	<u>FO - Old Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10996	00001	981930	373818	09/04/20	<u>2,638.16</u>
					Account Total	<u>2,638.16</u>
					Department Total	<u><u>2,638.16</u></u>

County of Adams
Vendor Payment Report

<u>1111</u>	<u>FO - Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11008	00001	981949	373818	09/01/20	<u>1,413.15</u>
					Account Total	<u>1,413.15</u>
					Department Total	<u><u>1,413.15</u></u>

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO - Sheriff HQ/Coroner Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10992	00001	981950	373818	09/04/20	<u>4,401.25</u>
					Account Total	<u>4,401.25</u>
					Department Total	<u><u>4,401.25</u></u>

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10984	00001	981953	373818	09/04/20	497.43
	Energy Cap Bill ID=10986	00001	981954	373818	09/04/20	22,860.17
	Energy Cap Bill ID=10987	00001	981955	373818	09/04/20	58.00
	Energy Cap Bill ID=10993	00001	981956	373818	09/04/20	7,100.49
					Account Total	<u>30,516.09</u>
					Department Total	<u><u>30,516.09</u></u>

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=10981	00001	981937	373818	08/20/20	32.93
	Energy Cap Bill ID=11009	00001	981938	373818	09/01/20	187.27
					Account Total	<u>220.20</u>
					Department Total	<u><u>220.20</u></u>

County of Adams
Vendor Payment Report

<u>3098</u>	<u>General Capital Improvements</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLO DOORWAYS INC	00004	981919	373757	09/18/20	3,699.36
	COLO DOORWAYS INC	00004	981920	373757	09/18/20	766.20
					Account Total	<u>4,465.56</u>
					Department Total	<u><u>4,465.56</u></u>

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Flex Plan Payable					
	OJEDA, KARLA G	00001	982076	373951	09/22/20	191.66
					Account Total	191.66
	Received not Vouchered Clrg					
	ADAMSON POLICE PRODUCTS	00001	982185	374161	09/24/20	858.60
	ADAMSON POLICE PRODUCTS	00001	982185	374161	09/24/20	460.25
	ADAMSON POLICE PRODUCTS	00001	982186	374161	09/24/20	71.08
	ADAMSON POLICE PRODUCTS	00001	982186	374161	09/24/20	165.90
	ADAMSON POLICE PRODUCTS	00001	982187	374161	09/24/20	64.65
	ADVANCED URGENT CARE AND OCC M	00001	982161	374161	09/24/20	32,605.00
	ADVANCED URGENT CARE AND OCC M	00001	982162	374161	09/24/20	25,955.00
	ADVANCED URGENT CARE AND OCC M	00001	982163	374161	09/24/20	7,995.00
	ADVANCED URGENT CARE AND OCC M	00001	982164	374161	09/24/20	95.00
	ANGEL ARMOR LLC	00001	982303	374298	09/25/20	704.18
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	68.83
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	68.83
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	68.83
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	136.08
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	136.08
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	68.83
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	339.42
	ARMORED KNIGHTS INC	00001	982022	373930	09/22/20	339.42
	BAWDEN JANA E	00001	982112	374022	09/23/20	125.00
	BI INCORPORATED	00001	982188	374161	09/24/20	8,535.29
	BI INCORPORATED	00001	982188	374161	09/24/20	10,306.95
	BONGO LOVE	00001	982172	374161	09/24/20	9,500.00
	CA SHORT COMPANY	00001	982209	374169	09/24/20	3,060.00
	CA SHORT COMPANY	00001	982210	374169	09/24/20	6,278.92
	COLO DIST ATTORNEY COUNCIL	00001	982208	374169	09/24/20	2,825.90
	CONVERCENT INC	00001	982113	374022	09/23/20	16,300.00
	CORECIVIC INC	00001	982218	374169	09/24/20	33,572.00
	CORECIVIC INC	00001	982219	374169	09/24/20	73,091.04
	CORECIVIC INC	00001	982221	374169	09/24/20	44,986.48
	CORECIVIC INC	00001	982222	374169	09/24/20	5,947.04
	CORECIVIC INC	00001	982223	374169	09/24/20	17,217.64

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	CORECIVIC INC	00001	982224	374169	09/24/20	10,391.10
	CORECIVIC INC	00001	982225	374169	09/24/20	3,989.50
	CORECIVIC INC	00001	982226	374169	09/24/20	5,035.00
	CORECIVIC INC	00001	982227	374169	09/24/20	8,996.95
	CORECIVIC INC	00001	982228	374169	09/24/20	57,024.44
	CORECIVIC INC	00001	982229	374169	09/24/20	35,682.24
	CORECIVIC INC	00001	982230	374169	09/24/20	60,525.52
	CORECIVIC INC	00001	982231	374169	09/24/20	30,454.60
	CORECIVIC INC	00001	982232	374169	09/24/20	1,486.76
	CORECIVIC INC	00001	982233	374169	09/24/20	1,199.00
	CORECIVIC INC	00001	982234	374169	09/24/20	1,199.00
	CORECIVIC INC	00001	982235	374169	09/24/20	623.48
	CORECIVIC INC	00001	982236	374169	09/24/20	4,460.28
	CORECIVIC INC	00001	982238	374169	09/24/20	3,180.00
	CORECIVIC INC	00001	982239	374169	09/24/20	4,141.85
	CORECIVIC INC	00001	982240	374169	09/24/20	3,070.00
	CORECIVIC INC	00001	982241	374169	09/24/20	5,803.00
	CORECIVIC INC	00001	982242	374169	09/24/20	232.50
	DATAWORKS PLUS LLC	00001	982159	374161	09/24/20	2,200.00
	DENTONS US LLP	00001	982169	374161	09/24/20	12,000.00
	EIDE BAILLY LLP	00001	982246	374169	09/24/20	20,250.00
	EIDE BAILLY LLP	00001	982246	374169	09/24/20	2,649.93
	EIDE BAILLY LLP	00001	982247	374169	09/24/20	126.00
	FOUND MY KEYS	00001	982189	374161	09/24/20	679.80
	FOUND MY KEYS	00001	982190	374161	09/24/20	1,137.12
	FRONTIER FERTILIZER AND CHEMIC	00001	982152	374161	09/24/20	2,700.00
	GABLEHOUSE GRANBERG LLC	00001	982206	374169	09/24/20	3,154.59
	GALLS LLC	00001	982165	374161	09/24/20	186.30
	GALLS LLC	00001	982263	374169	09/24/20	71.90
	GALLS LLC	00001	982264	374169	09/24/20	202.86
	GALLS LLC	00001	982265	374169	09/24/20	99.30
	GALLS LLC	00001	982266	374169	09/24/20	213.14
	GALLS LLC	00001	982267	374169	09/24/20	184.85
	GALLS LLC	00001	982268	374169	09/24/20	68.91
	GALLS LLC	00001	982269	374169	09/24/20	117.99
	GALLS LLC	00001	982270	374169	09/24/20	262.70

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GALLS LLC	00001	982270	374169	09/24/20	486.68
	GALLS LLC	00001	982271	374169	09/24/20	1,433.51
	GALLS LLC	00001	982272	374169	09/24/20	50.92
	GALLS LLC	00001	982273	374169	09/24/20	93.92
	GALLS LLC	00001	982274	374169	09/24/20	178.71
	GALLS LLC	00001	982275	374169	09/24/20	352.27
	GALLS LLC	00001	982276	374169	09/24/20	44.10
	GALLS LLC	00001	982277	374169	09/24/20	8.50
	GALLS LLC	00001	982278	374169	09/24/20	140.00
	GALLS LLC	00001	982279	374169	09/24/20	1,259.73
	GALLS LLC	00001	982280	374169	09/24/20	2,379.49
	GALLS LLC	00001	982281	374169	09/24/20	6,083.98
	GALLS LLC	00001	982282	374169	09/24/20	11,334.61
	HILL'S PET NUTRITION SALES INC	00001	982262	374169	09/24/20	331.20
	HOLOSUN TECHNOLOGIES INC	00001	982191	374161	09/24/20	7,205.75
	INSIGHT PUBLIC SECTOR	00001	982283	374161	09/24/20	58,479.02
	J. BROWER PSYCHOLOGICAL SERVIC	00001	982192	374161	09/24/20	1,000.00
	JACHIMIAK PETERSON LLC	00001	982207	374169	09/24/20	19,236.00
	JOHN DEERE COMPANY	00001	982168	374161	09/24/20	15,000.00
	JOHN DEERE COMPANY	00001	982168	374161	09/24/20	590.96
	LARIMER COUNTY COMMUNITY CORRE	00001	982211	374169	09/24/20	264.50
	MILE HIGH SHOOTING SUPPLY	00001	982193	374161	09/24/20	30,280.00
	MWI VETERINARY SUPPLY CO	00001	982251	374169	09/24/20	136.09
	MWI VETERINARY SUPPLY CO	00001	982251	374169	09/24/20	2,637.40
	MWI VETERINARY SUPPLY CO	00001	982252	374169	09/24/20	520.32
	MWI VETERINARY SUPPLY CO	00001	982253	374169	09/24/20	39.29
	MWI VETERINARY SUPPLY CO	00001	982254	374169	09/24/20	2,257.50
	PATTERSON VETERINARY SUPPLY IN	00001	982255	374169	09/24/20	498.83
	PRUDENTIAL OVERALL SUPPLY	00001	982250	374169	09/24/20	55.28
	ROADRUNNER PHARMACY INCORPORAT	00001	982260	374169	09/24/20	70.20
	ROADRUNNER PHARMACY INCORPORAT	00001	982261	374169	09/24/20	249.60
	SANITY SOLUTIONS INC	00001	982176	374161	09/24/20	18,232.50
	SOUTHWESTERN PAINTING	00001	982166	374161	09/24/20	27,018.00
	SOUTHWESTERN PAINTING	00001	982167	374161	09/24/20	27,018.00
	SPIEGEL INDUSTRIAL LLC	00001	982118	374022	09/23/20	6,047.40
	SWIRE COCA-COLA USA	00001	982257	374169	09/24/20	926.28

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	SWIRE COCA-COLA USA	00001	982258	374169	09/24/20	1,236.40
	TETRUS CORP	00001	982021	373930	09/22/20	29,250.00
	TRANSFORMATION POINT INC	00001	982119	374022	09/23/20	250.00
	TYGRETTE DEBRA R	00001	982194	374161	09/24/20	168.00
	WOLD ARCHITECTS AND ENGINEERS	00001	982160	374161	09/24/20	5,029.60
	WOODZWAYZ	00001	982171	374161	09/24/20	3,200.00
					Account Total	866,822.39
	Retirement Contribution Pay					
	PERRY SCOTT ANDREW	00001	982077	373951	09/22/20	13.78
					Account Total	13.78
					Department Total	867,027.83

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	18,353.06
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	2,110.96
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	7,159.13
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	793.92
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	476.14
					Account Total	28,893.21
	Fuel, Gas & Oil					
	AGFINITY INC	00005	981885	373657	09/17/20	1,752.08
	AGFINITY INC	00005	981886	373657	09/17/20	2,238.38
					Account Total	3,990.46
	Gas & Electricity					
	XCEL ENERGY	00005	981903	373657	09/17/20	44.42
	XCEL ENERGY	00005	981904	373657	09/17/20	47.83
					Account Total	92.25
	Grounds Maintenance					
	AGFINITY INC	00005	981883	373657	09/17/20	69.00
	AGFINITY INC	00005	981884	373657	09/17/20	270.00
	CEM LAKE MGMT	00005	981890	373657	09/17/20	494.00
	GOLF & SPORT SOLUTIONS	00005	981892	373657	09/17/20	542.90
	GOLF & SPORT SOLUTIONS	00005	981893	373657	09/17/20	390.88
	L L JOHNSON DIST	00005	981898	373657	09/17/20	705.86
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	129.75
	TORO NSN	00005	981901	373657	09/17/20	233.00
	WILBUR-ELLIS COMPANY LLC	00005	981902	373657	09/17/20	700.00
					Account Total	3,535.39
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	981887	373657	09/17/20	52.34
	ALSCO AMERICAN INDUSTRIAL	00005	981888	373657	09/17/20	54.36
	ALSCO AMERICAN INDUSTRIAL	00005	981889	373657	09/17/20	52.34
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	254.57
					Account Total	413.61
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	229.16

County of Adams
Vendor Payment Report

<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	229.16
	Vehicle Parts & Supplies					
	COLO GOLF & TURF INC	00005	981891	373657	09/17/20	517.44
	INTERSTATE BATTERY OF ROCKIES	00005	981894	373657	09/17/20	210.80
	L L JOHNSON DIST	00005	981895	373657	09/17/20	333.00
	L L JOHNSON DIST	00005	981896	373657	09/17/20	137.99
	L L JOHNSON DIST	00005	981897	373657	09/17/20	64.12
	NAPA	00005	981899	373657	09/17/20	3.68
	POTESTIO BROTHER EQUIPMENT	00005	981900	373657	09/17/20	174.48
					Account Total	1,441.51
					Department Total	38,595.59

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	19,707.94
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	2,373.60
					Account Total	22,081.54
	Equipment Rental					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	168.30
					Account Total	168.30
	Gas & Electricity					
	XCEL ENERGY	00005	981904	373657	09/17/20	295.48
					Account Total	295.48
	Golf Carts					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	156.69
					Account Total	156.69
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	137.49
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	794.50
					Account Total	931.99
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	51.75
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	491.28
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	636.40
					Account Total	1,179.43
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	944.00
					Account Total	944.00
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	693.76
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	647.50
					Account Total	1,341.26
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	64.00
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	81.37
					Account Total	145.37

County of Adams
Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	PROFESSIONAL RECREATION MGMT I	00005	982078	373952	09/22/20	676.83
					Account Total	676.83
					Department Total	27,920.89

County of Adams
Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	CESCO LINGUISTIC SERVICE INC	00031	982243	374169	09/24/20	60.00
	DENVER CHILDREN'S ADVOCACY CTR	00031	982244	374169	09/24/20	5,760.06
	GENESIS FLOOR CARE OF COLORADO	00031	982259	374169	09/24/20	2,322.00
					Account Total	<u>8,142.06</u>
					Department Total	<u><u>8,142.06</u></u>

County of Adams
Vendor Payment Report

<u>935120</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	982110	373836	09/21/20	6,515.84
	WESTMINSTER PRESBYTERIAN CHURC	00031	982080	373836	09/21/20	2,267.73
	WESTMINSTER PUBLIC SCHOOLS	00031	982081	373836	09/21/20	2,812.00
					Account Total	11,595.57
	Education & Training					
	3WESOLUTIONS LLC	00031	982074	373836	09/21/20	1,300.00
					Account Total	1,300.00
	Medical Services					
	COLO OCCUPATIONAL MEDICINE PHY	00031	981967	373836	09/21/20	50.00
					Account Total	50.00
	Operating Supplies					
	L & N SUPPLY COMPANY INC	00031	981968	373836	09/21/20	803.10
					Account Total	803.10
	Subscrip/Publications					
	NULINX INTERNATIONAL	00031	981969	373836	09/21/20	1,200.00
	NULINX INTERNATIONAL	00031	981970	373836	09/21/20	9,540.00
					Account Total	10,740.00
	Telephone					
	CENTURY LINK	00031	981965	373836	09/21/20	198.34
	CENTURY LINK	00031	981966	373836	09/21/20	142.57
					Account Total	340.91
					Department Total	24,829.58

County of Adams
Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	982127	374033	09/23/20	393,100.99
	UNITED HEALTH CARE INSURANCE C	00019	982296	374287	09/25/20	373,603.45
	UNITED HEALTH CARE INSURANCE C	00019	982297	374287	09/25/20	188,282.19
					Account Total	<u>954,986.63</u>
					Department Total	<u><u>954,986.63</u></u>

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CAREHERE LLC	00019	982212	374169	09/24/20	21,317.60
	CAREHERE LLC	00019	982213	374169	09/24/20	38,572.54
	FIT SOLDIERS LLC	00019	982151	374161	09/24/20	240.00
					Account Total	<u>60,130.14</u>
					Department Total	<u><u>60,130.14</u></u>

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	ANDERSON, ROBERT H	00019	981972	373839	09/21/20	3,240.63
					Account Total	3,240.63
	General Liab - Other than Prop					
	TORREZ JOSE	00019	981971	373838	09/21/20	333.56
	TRISTAR RISK MANAGEMENT	00019	982050	373937	09/22/20	421.00
					Account Total	754.56
	Prop Claims-Under Deduct					
	KENNY ELECTRIC SERVICE INC	00019	981976	373841	09/21/20	665.91
	PRO TECH COMPUTER SYSTEMS INC	00019	981977	373841	09/21/20	1,129.00
					Account Total	1,794.91
					Department Total	5,790.10

County of Adams
Vendor Payment Report

<u>1056</u>	<u>IT Help Desk & Servers</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	ABC ITECH	00001	982079	374005	09/23/20	850.00
					Account Total	850.00
					Department Total	850.00

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	WINDSTREAM COMMUNICATIONS	00001	981912	373744	09/18/20	1,485.82
	WINDSTREAM COMMUNICATIONS	00001	980339	371698	08/21/20	1,532.67
					Account Total	<u>3,018.49</u>
					Department Total	<u><u>3,018.49</u></u>

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Cllrg					
	STREAM LANDSCAPE ARCHITECTURE	00027	982248	374169	09/24/20	<u>3,750.00</u>
					Account Total	<u>3,750.00</u>
					Department Total	<u><u>3,750.00</u></u>

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BENNETT TOWN OF	00028	981744	373548	09/16/20	8,303.68
					Account Total	8,303.68
					Department Total	8,303.68

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	981993	373915	09/22/20	80.02
					Account Total	80.02
					Department Total	80.02

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Consultant Services					
	JAMES REAL ESTATE SERVICES INC	00001	982121	374023	09/23/20	<u>4,800.00</u>
					Account Total	<u>4,800.00</u>
					Department Total	<u><u>4,800.00</u></u>

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Advertising					
	NEON RAIN INTERACTIVE LLC	00001	981989	373915	09/22/20	1,079.00
					Account Total	1,079.00
	Other Communications					
	VERIZON WIRELESS	00001	982122	374023	09/23/20	360.09
					Account Total	360.09
					Department Total	1,439.09

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	981992	373915	09/22/20	49.58
					Account Total	49.58
					Department Total	49.58

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	ALLIED RECYCLED AGGREGATES	00001	982120	374023	09/23/20	86.50
					Account Total	<u>86.50</u>
	Water/Sewer/Sanitation					
	NORTH WASHINGTON ST WATER & SA	00001	981990	373915	09/22/20	3,998.27
	NORTH WASHINGTON ST WATER & SA	00001	981991	373915	09/22/20	29,862.35
					Account Total	<u>33,860.62</u>
					Department Total	<u><u>33,947.12</u></u>

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUSH MELVIN E	00001	981962	373829	09/21/20	65.00
	GREEN THOMAS D	00001	981961	373829	09/21/20	65.00
	GRONQUIST CHRIS	00001	981963	373829	09/21/20	65.00
	HARNETT OWEN	00001	981964	373829	09/21/20	65.00
	STANFIELD THOMSON	00001	981960	373829	09/21/20	65.00
					Account Total	325.00
					Department Total	325.00

County of Adams
Vendor Payment Report

<u>3056</u>	<u>PW - Capital Improvement Plan</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	LAND TITLE GUARANTEE COMPANY	00013	982015	373925	09/24/20	11,962.00
	LAND TITLE GUARANTEE COMPANY	00013	982017	373928	09/24/20	8,720.80
	LAND TITLE GUARANTEE COMPANY	00013	982018	373929	09/24/20	17,129.00
	MIDTOWN AT CLEAR CREEK METRO D	00013	981835	373456	09/17/20	6,345.00
					Account Total	44,156.80
	Road & Streets					
	JAMES HENSLEY SPECIAL FAMILY T	00013	981737	373456	09/16/20	2,575.00
	OGDEN NORTH ENTERPRISES LLC	00013	981661	373456	09/15/20	7,300.00
	OGDEN NORTH ENTERPRISES LLC	00013	982016	373927	09/24/20	440.00
					Account Total	10,315.00
					Department Total	54,471.80

County of Adams
Vendor Payment Report

<u>3031</u>	<u>PW - Operations & Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Debris Removal					
	SOUTH ADAMS WATER & SANITATION	00013	982100	374007	09/23/20	595.01
	THE GOODYEAR TIRE AND RUBBER C	00013	982096	374007	09/23/20	60.00
					Account Total	655.01
	Dust Abatement					
	COBITCO INC	00013	982095	374007	09/23/20	677.60
					Account Total	677.60
	Gas & Electricity					
	UNITED POWER (UNION REA)	00013	982105	374012	09/23/20	16.50
	UNITED POWER (UNION REA)	00013	982106	374012	09/23/20	34.00
	UNITED POWER (UNION REA)	00013	982107	374012	09/23/20	36.00
	UNITED POWER (UNION REA)	00013	982108	374012	09/23/20	16.50
	UNITED POWER (UNION REA)	00013	982109	374012	09/23/20	16.50
	XCEL ENERGY	00013	982104	374012	09/23/20	55.27
					Account Total	174.77
	Operating Supplies					
	ALSCO AMERICAN INDUSTRIAL	00013	982084	374007	09/23/20	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	982085	374007	09/23/20	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	982086	374007	09/23/20	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	982087	374007	09/23/20	102.77
	ALSCO AMERICAN INDUSTRIAL	00013	982088	374007	09/23/20	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	982089	374007	09/23/20	88.40
	ALSCO AMERICAN INDUSTRIAL	00013	982090	374007	09/23/20	88.40
	CINTAS FIRST AID & SAFETY	00013	982091	374007	09/23/20	101.86
	CINTAS FIRST AID & SAFETY	00013	982092	374007	09/23/20	76.85
					Account Total	811.88
	Repair & Maint Supplies					
	3M COMPANY	00013	982083	374007	09/23/20	325.65
					Account Total	325.65
	Road Oil					
	COBITCO INC	00013	982093	374007	09/23/20	135.52
	COBITCO INC	00013	982094	374007	09/23/20	152.46
					Account Total	287.98
	Traffic Signal Maintenance					

County of Adams
Vendor Payment Report

<u>3031</u>	<u>PW - Operations & Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	UTILITY NOTIFICATION CENTER OF	00013	982101	374007	09/23/20	162.41
					Account Total	162.41
					Department Total	3,095.30

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	BFI TOWER ROAD LANDFILL	00013	982155	374161	09/24/20	2,883.35
	EP&A ENVIROTAC INC	00013	982158	374161	09/24/20	35,644.18
	EST INC	00013	982214	374169	09/24/20	38,241.75
	EST INC	00013	982215	374169	09/24/20	39,453.54
	GMCO CORPORATION	00013	982150	374161	09/24/20	2,410.75
	VULCAN INC	00013	982173	374161	09/24/20	8,995.25
	WESTERN STATES LAND SERVICES L	00013	982304	374298	09/25/20	11,396.18
	WESTERN STATES LAND SERVICES L	00013	982305	374298	09/25/20	7,956.29
					Account Total	<u>146,981.29</u>
					Department Total	<u><u>146,981.29</u></u>

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	C & R ELECTRICAL CONTRACTORS I	00001	982054	373940	09/22/20	3,931.03
					Account Total	<u>3,931.03</u>
	Other Professional Serv					
	POINT SPORTS/ERGOMED	00001	982056	373940	09/22/20	1,220.00
					Account Total	<u>1,220.00</u>
	Public Relations					
	CASA	00001	982055	373940	09/22/20	2,000.00
					Account Total	<u>2,000.00</u>
					Department Total	<u><u>7,151.03</u></u>

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	METRO TRANSPORTATION PLANNING	00001	982058	373940	09/22/20	1,809.75
					Account Total	<u>1,809.75</u>
					Department Total	<u><u>1,809.75</u></u>

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Travel & Transportation					
	GRIMM TRISTA	00001	982124	374030	09/23/20	147.00
					Account Total	<u>147.00</u>
					Department Total	<u><u>147.00</u></u>

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Security Service					
	MELLETTTE COUNTY	00001	982291	374189	09/24/20	<u>1,320.00</u>
					Account Total	<u>1,320.00</u>
					Department Total	<u><u>1,320.00</u></u>

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Extraditions					
	ADAMS COUNTY SHERIFF	00001	982053	373940	09/22/20	1,759.83
					Account Total	1,759.83
					Department Total	1,759.83

County of Adams
Vendor Payment Report

<u>9295</u>	<u>Solid Waste Operations</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	COLO DEPT OF PUBLIC HEALTH & E	00025	981916	373754	09/18/20	<u>93.75</u>
					Account Total	<u>93.75</u>
					Department Total	<u><u>93.75</u></u>

County of Adams
Vendor Payment Report

<u>25</u>	<u>Waste Management Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	IRON WOMAN CONSTRUCTION	00025	982117	374022	09/23/20	949,282.35
	IRON WOMAN CONSTRUCTION	00025	982116	374022	09/23/20	576,114.13
					Account Total	1,525,396.48
	Retainages Payable					
	IRON WOMAN CONSTRUCTION	00025	982117	374022	09/23/20	47,464.12-
	IRON WOMAN CONSTRUCTION	00025	982116	374022	09/23/20	28,805.71-
					Account Total	76,269.83-
					Department Total	1,449,126.65

County of Adams
Vendor Payment Report

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Maint & Repair					
	ALBERTS WATER & WASTEWATER SER	00043	982128	374037	09/23/20	139.20
	ALBERTS WATER & WASTEWATER SER	00043	982128	374037	09/23/20	252.00
					Account Total	<u>391.20</u>
	Gas & Electricity					
	XCEL ENERGY	00043	982145	374040	09/23/20	1,061.96
					Account Total	<u>1,061.96</u>
					Department Total	<u><u>1,453.16</u></u>

County of Adams
Vendor Payment Report

Grand Total 4,282,689.89



**Board of County Commissioners
Minutes of Commissioners' Proceedings**

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Mary Hodge - District #5

**Tuesday
September 29, 2020
9:30 AM**

1. ROLL CALL

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner Henry, seconded by Commissioner O'Dorisio, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT

A. Citizen Communication

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner Tedesco, seconded by Commissioner Henry, that this Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

- A.** List of Expenditures Under the Dates of September 14-18, 2020
- B.** Minutes of the Commissioners' Proceedings from September 22, 2020
- C.** Resolution Approving Development Agreement between Adams County and Division 9 Construction, Inc.
(File approved by ELT)
- D.** Resolution Authorizing Casandra Vossler, Fair & Special Events Manager, Entering into Entertainment, Food Concessions, Sponsors, and Exhibitor Agreements for the Purpose of Securing Entertainment, Food Vending, Sponsorships, and Exhibitors for the 2021 Adams County Stars and Stripes Celebration, County Fair and Concert in the Park
(File approved by ELT)
- E.** Resolution Adopting Hearing Officer's Recommendations for Decisions Regarding Property Tax Abatement Petitions
(File approved by ELT)
- F.** Resolution Approving Right-of-Way Agreement between Adams County and Temptee Brand Steaks, Inc. and Kuettel + 2 LLC, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)
- G.** Resolution Approving Right-of-Way Agreement between Adams County and Kuettel + 2 LLC, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)
- H.** Resolution Approving Right-of-Way Agreement between Adams County and Ready Mixed Concrete Company, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)
- I.** Resolution Approving Right-of-Way Agreement between Adams County and KSKK, LLC, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)
- J.** Resolution Approving Right-of-Way Agreement between Adams County and Paris Family, LLC, for Property Necessary for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street
(File approved by ELT)

- K. Resolution Approving Contract to Buy & Sell Real Estate between Adams County and Maroon Creek Ventures, LLC for the Property Located at 10705 Fulton Street (File approved by ELT)
- L. Resolution Approving Abatement Petitions And Authorizing the Refund of Taxes for Account Numbers P0019293, R0182963, R0014585, P0004869, P0019293, R0104680, R0014130, P0036402, R0129953, R0189047, R0194326, and R0183437 (File approved by ELT)
- M. Resolution Adopting Hearing Officer's Recommendation for Decision Regarding Property Tax Abatement Petition R0059886 (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Authorizing Fourth Supplemental Appropriations to the 2020 Adams County Government Budget (File approved by ELT)
A motion was made by Commissioner O'Doriso, seconded by Commissioner Hodge, that this New Business be approved. The motion carried by the following vote:
Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Hodge
2. Resolution Approving a Purchase Order between Adams County and Honnen Equipment Company for Three 2020 John Deere 772GP Motor Graders (File approved by ELT)
A motion was made by Commissioner Tedesco, seconded by Commissioner O'Doriso, that this New Business be approved. The motion carried by the following vote:
Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Hodge
3. Resolution Approving a Purchase Order to Bruckner Truck Sales for the Purchase of Two Tandem Axle Dump Trucks with Front Plow and End Dump Bodies (File approved by ELT)
A motion was made by Commissioner O'Doriso, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:
Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Doriso, and Commissioner Hodge

4. Resolution Approving a Purchase Order between Adams County and HP, Inc., for the Voter Service and Polling Center Laptops
(File approved by ELT)

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Tedesco, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

5. Resolution Approving an Agreement between Adams County and Douglass Colony Group for the Service Center Roof Replacement
(File approved by ELT)

A motion was made by Commissioner Henry, seconded by Commissioner O'Dorisio, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Hodge

B. COUNTY ATTORNEY

8. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Resolution approving Right-of-Way Agreement between Adams County and Ogden North Enterprises, LLC, for property necessary for the East 58 th Avenue Improvements Project – East 58 th Avenue from Clarkson Street to York Street
FROM: Kristin Sullivan, AICP, Director of Public Works Brian Staley, P.E., PTOE, Deputy Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Right-of-Way Agreement for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way and temporary construction easements along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street, that includes reconstructing the roadway, improving drainage, and installing curb, gutter, sidewalk and accessible curb ramps in compliance with the Americans with Disabilities Act. Attached is a copy of the right-of-way agreement between Adams County and Ogden North Enterprises, LLC, for acquisition of road right-of-way for \$55,000.00. The attached resolution allows the County to acquire ownership of the needed property for the use of the public and provide the necessary documents to close on the property.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Right-of-Way Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 3056

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9135	30562001	\$10,000,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$10,000,000</u>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING RIGHT-OF-WAY AGREEMENT BETWEEN
ADAMS COUNTY AND OGDEN NORTH ENTERPRISES, LLC,
FOR PROPERTY NECESSARY FOR THE EAST 58TH AVENUE IMPROVEMENTS
PROJECT – EAST 58TH AVENUE FROM CLARKSON STREET TO YORK STREET

WHEREAS, Adams County is in the process of acquiring right-of-way and temporary construction easements along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street (the “Project”); and,

WHEREAS, the Project includes installation and construction of storm sewer facilities, curb, gutter, sidewalk and accessible curb ramps for street improvements for the use of the public within the right-of-way of East 58th Avenue; and,

WHEREAS, this right-of-way acquisition is a portion of 5811 Ogden Street located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, and owned by Ogden North Enterprises, LLC, (“Parcel 3”); and,

WHEREAS, Adams County requires ownership of Parcel 3 for construction of the street improvements; and,

WHEREAS, Ogden North Enterprises, LLC, is willing to sell Parcel 3 to Adams County under the terms and conditions of the attached Right-of-Way Agreement.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the attached Right-of-Way Agreement between Adams County and Ogden North Enterprises, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is hereby authorized to execute said Right-of-Way Agreement on behalf of Adams County.

RIGHT-OF-WAY AGREEMENT

This Agreement is made and entered into by and between Ogden North Enterprises, LLC, a Colorado limited liability company, whose address is PO Box 2, Brighton, Colorado 80601 (“Owner”), and the County of Adams, State of Colorado, a body politic, whose address is 4430 South Adams County Parkway, Brighton, Colorado, 80601 (“County”) for the conveyance of rights-of-way on property located at 5811 Ogden Street, Denver, Colorado 80216, hereinafter (the “Property”) for the East 58th Avenue Improvements Project (the “Project”). The legal description and conveyance documents for the interests on said Property are set forth in **Exhibit A** attached hereto and incorporated herein by this reference.

The compensation agreed to by the Owner and the County for the acquisition of the Property interests described herein is **FIFTY FIVE THOUSAND AND NO/100’S DOLLARS (\$55,000.00)** including the performance of the terms of this Agreement, the sufficiency of which is hereby acknowledged. The parties further agree that the consideration shall consist of \$55,000.00 for the conveyance of road right-of-way. This consideration has been agreed upon and between the parties as the total just compensation due to the Owner and the consideration shall be given and accepted in full satisfaction of this Agreement.

In consideration of the above premises and the mutual promises and covenants below, the Owner and the County agree to the following:

1. The Owner hereby warrants that the Owner is the sole Owner of the Property, that the Owner owns the Property in fee simple subject only to matters of record and that the Owner has the power to enter into this Agreement.
2. The Owner agrees to execute and deliver to the County the attached conveyance documents on the Property upon tender by the County of a warrant (check) for the compensation agreed upon on or before October 15, 2020.
3. Owner hereby irrevocably grants to the County possession and use of the property interests on the Property upon execution of this Agreement by the Owner and the County. This grant of possession shall remain in effect with respect to the Property until such time as the County obtains from the Owner the attached conveyance documents.
4. The County through its contractor shall assure that reasonable access shall be maintained to the Owner’s property at all times for ingress and egress. If necessary, any full closure of access shall be coordinated between the contractor and the Owner and/or its agent.
5. The County will remove and reset the gate posts and chains located on either side of the southerly driveway as part of the project.
6. The Owner has entered into this Agreement acknowledging that the County has the power of eminent domain and requires the Property for a public purpose.

7. If the Owner fails to consummate this agreement for any reason, except the County's default, the County may at its option, enforce this agreement by bringing an action against the Owner for specific performance.

8. This Agreement contains all agreements, understandings and promises between the Owner and the County, relating to the Project and shall be deemed a contract binding upon the Owner and County and extending to the successors, heirs and assigns.

9. Owner shall be responsible for reporting proceeds of the sale to taxing authorities, including the submittal of Form 1099-S with the Internal Revenue Service, if applicable.

10. This Agreement has been entered into in the State of Colorado and shall be governed according to the laws thereof.

Owner: Ogden North Enterprises, LLC, a Colorado limited liability

By: Larry J. Weiman
Print Name: LARRY J. WEIMAN
Title: PRESIDENT
Date: 9-11-20

Approved:

BOARD OF COUNTY COMMISSIONERS-COUNTY OF ADAMS, STATE OF COLORADO

Chair

Date

Approved as to Form:

County Attorney



Drexel, Barrell & Co.

JULY 12, 2019

EXHIBIT A

LEGAL DESCRIPTION PARCEL RW-3 RIGHT-OF-WAY DEDICATION

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

1800 38th Street
Boulder, CO 80301-2620

303.442.4338
303.442.4373 Fax

A TRACT OF LAND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AT RECEPTION NO. 2008000017289 IN THE ADAMS COUNTY RECORDS, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

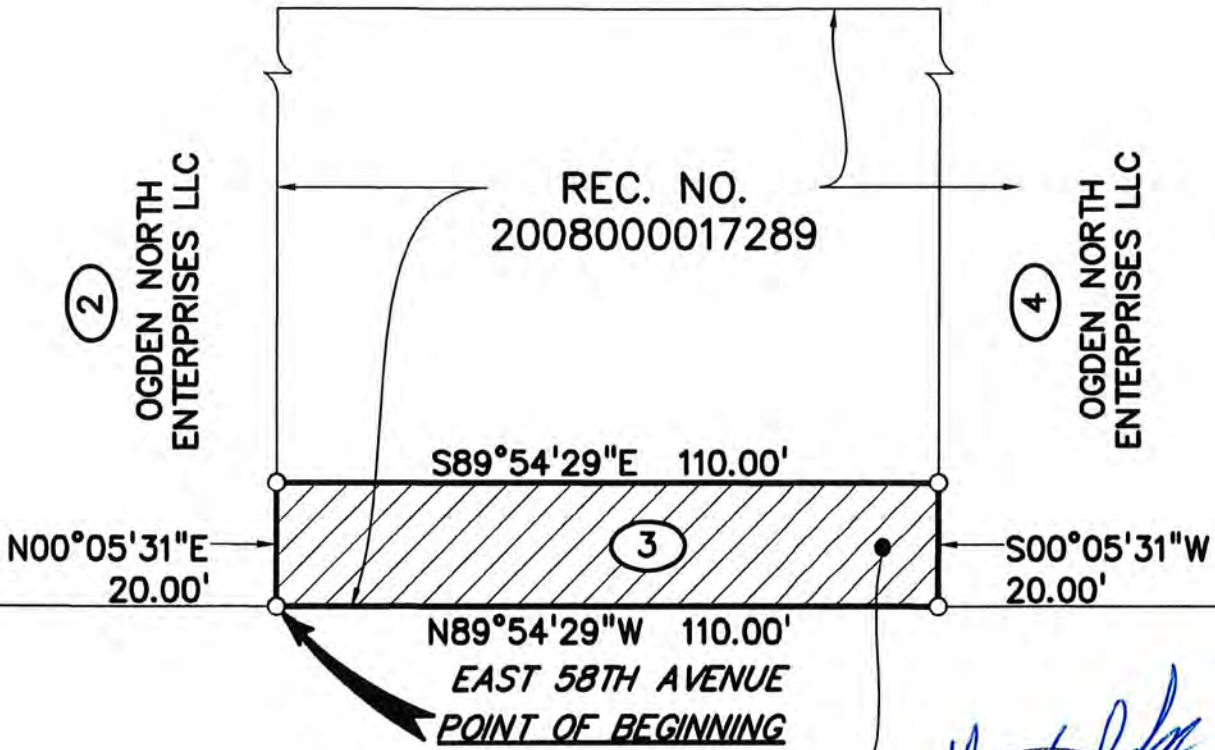
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT OF LAND DESCRIBED AT RECEPTION NO. 2008000017289, SAID POINT BEING ON THE NORTHERLY LINE OF EAST 58TH AVENUE, THENCE N00°05'31"E, 20.00 FEET ALONG THE WESTERLY LINE OF SAID TRACT OF LAND; THENCE S89°54'29"E, 110.00 FEET; THENCE S00°05'31"W, 20.00 FEET TO THE SOUTHERLY LINE OF SAID TRACT OF LAND AND TO SAID NORTHERLY LINE OF EAST 58TH AVENUE; THENCE N89°54'29"W, 110.00 FEET ALONG THE SOUTHERLY LINE OF SAID TRACT OF LAND AND ALONG SAID NORTHERLY LINE OF EAST 58TH AVENUE TO THE **POINT OF BEGINNING**.

CONTAINING 0.051 ACRES OR 2200 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY:
MATHEW E. SELTERS
DREXEL, BARRELL & CO.
1800 38TH STREET
BOULDER, CO 80301
(303) 442-4338



**EXHIBIT
PARCEL RW-3
R.O.W. DEDICATION**



OGDEN NORTH ENTERPRISES LLC
5811 OGDEN ST
AREA = 2200 SQ.FT. +/-,
0.051 ACRES +/-



SCALE 1" = 30'

NOTES

1. THIS MAP IS NOT A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
2. INFORMATION PERTAINING TO OWNERSHIP & RIGHT-OF-WAY IS BASED UPON PUBLIC INFORMATION AVAILABLE FROM THE ADAMS COUNTY ASSESSORS OFFICE, AND DOES NOT CONSTITUTE A TITLE SEARCH BY DREXEL, BARRELL & CO. TO DETERMINE OWNERSHIP & EASEMENTS OF RECORD.

IN ACCORDANCE WITH CRS 13-80-105;
NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drexel, Barrell & Co. Engineers/Surveyors
1800 38TH STREET BOULDER, COLORADO 80301 (303) 442-4338
BOULDER, COLORADO (303) 442-4338
COLORADO SPRINGS, COLORADO (719) 260-0887
GREELEY, COLORADO (970) 351-0845

Revisions - Date	Date	Drawn By	Job No.
	5/3/19	MNF	20961-00
	Scale	Checked By	Drawing No.
	1"=30'	MES	IN FILE

H:\20961-00\BTR\SURVEY\Drawings\R.O.W. TAKES AND CONSTRUCTION EASEMENTS\20961-00-R.O.W-EXHIBITS-RW-3.dwg, 7/11/2019 8:42:18 AM



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: 10/6/2020
SUBJECT: First Amendment to the TruStile Development Agreement
FROM: Jill Jennings Golich, Director
AGENCY/DEPARTMENT: Community and Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the First Amendment to the TruStile Development Agreement.

BACKGROUND:

TruStile Doors, LLC, the Developer, is the owner of the property located at 1780 East 66th Avenue in Adams County. The Developer shall be responsible for the design and installation of entrance aprons, sidewalk, ADA curb ramps, and roadway improvements adjacent to the site.

A Development Agreement was previously approved for this development on July 23, 2019. The original Development Agreement was approved at a public hearing (Case #SIA2019-00002). The Developer has completed construction of the Public Improvements identified in the Agreement and the County has inspected and accepted the Public Improvements. The accepted Public Improvements included the full-depth removal and replacement of 18,582 square feet of East 71st Avenue not adjacent to the Property in lieu of milling and overlaying the same area as identified in the Development Agreement. The County has determined that the Additional Reimbursable Public Improvements are non-site related roadway improvements and, as such, are eligible for reimbursement of Regional Traffic Impact Fees. The Developer has paid \$397,536.14 in Regional Traffic Impact Fees to date. It has been determined that the County will reimburse the Developer \$75,144.93 for the additional public improvements completed that were beyond the scope of the Development Agreement.

The subject request is consistent with the requirement for approval of a Development Agreement for new development within Adams County. In addition, staff reviewed the First Amendment to the TruStile Development Agreement and determined that the proposed reimbursement conforms to the requirements outlined in the County's Development Standard and Regulations.

The Departments of Community and Economic Development and Public Works also reviewed construction documents associated with the non-site related Additional Reimbursable Public Improvements and found the costs to be reasonable.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works

County Attorney's Office

ATTACHED DOCUMENTS:

Resolution

First Amendment to the TruStile Development Agreement

Cost Estimate for Additional Reimbursable Public Improvements

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 13
Cost Center: 13

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:	6850		(75,144.93)
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING FIRST AMENDMENT TO THE TRUSTILE
DEVELOPMENT AGREEMENT

Resolution

WHEREAS, the Adams County Development Standards and Regulations of the County of Adams, State of Colorado, require a developer to enter into a Development Agreement for the construction of certain public and private improvements; and,

WHEREAS, on July 23, 2019, the Board of County Commissioners approved a Development Agreement with TruStile Doors, LLC, for the public and private improvements for their development located at 1111 E 71st Avenue; and,

WHEREAS, the County and the Developer wish to amend the Development Agreement in order to allow for reimbursement for non-site related public improvements; and,

WHEREAS, the Adams County Community and Economic Development Department recommends approval of the attached First Amendment to the TruStile Development Agreement.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that First Amendment to the Development Agreement between Adams County and TruStile Doors, LLC, a copy of which is attached hereto and incorporated herein by this reference, be approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners be authorized to execute said First Amendment on behalf of the County of Adams, State of Colorado.

FIRST AMENDMENT TO THE TRUSTILE DEVELOPMENT AGREEMENT

THIS FIRST AMENDMENT TO THE TRUSTILE DEVELOPMENT AGREEMENT (this "Amendment") is made and entered into by and between the County of Adams, State of Colorado, hereinafter called "County," and TruStile Doors, LLC, located at 1780 E. 66th Avenue, Denver, CO, 80229, hereinafter called "Developer" and together hereinafter called "the Parties."

WITNESSETH:

WHEREAS, the Parties are party to that certain DEVELOPMENT AGREEMENT (the "Agreement") dated July 23, 2019, recorded in Adams County at Reception Number 2019000059070 on July 25, 2019 and as County Case Number SIA2019-00002, to install public and/or private improvements, and to deed land for public purposes or right-of-way; and,

WHEREAS, the Developer has completed construction of the Public Improvements identified in the Agreement and the County has inspected and accepted the Public Improvements; and,

WHEREAS, the accepted Public Improvements included the full-depth removal and replacement of 18,582 square feet of E. 71st Avenue not adjacent to the Property in lieu of milling and overlaying the same area as identified in the Development Agreement (the "Additional Reimbursable Public Improvements"); and,

WHEREAS, Section 5-02-04(1)(a) of the County's Development Standards and Regulations, states that the County may reimburse the Developer for the completion of off-site improvements in the form of credits for the payment of Regional Traffic Impact Fees; and,

WHEREAS, the County has determined that the Additional Reimbursable Public Improvements are non-site related roadway improvements and, as such, are eligible for reimbursement of Regional Traffic Impact Fees; and,

WHEREAS, Developer has paid \$397,536.14 in Regional Traffic Impact Fees to date.

NOW, THEREFORE, in consideration of the foregoing, the Parties promise, covenant, and agree as follows:

1. REIMBURSEMENT. Section 9 to the Agreement is hereby added as follows:

Section 9. Reimbursement. The County hereby agrees to reimburse Developer Seventy-Five Thousand One Hundred Forty-Four and 93/100ths Dollars (\$75,144.93), as shown on Exhibit B-2, from the Regional Traffic Impact Fees pursuant to Section 5-02-04(1) of the County's Development Standards and Regulations. The reimbursement payment shall be due and payable within ninety (90) days of Approval of this Amendment by the Adams County Board of Commissioners.

2. **REVISED EXHIBIT B.** Exhibit B of the Agreement is hereby amended to add Exhibit B-2 showing the Additional Reimbursable Improvements and delineating the cost.
3. **RELATIONSHIP TO THE AGREEMENT.** Except as modified as by this First Amendment, the terms of the Agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this First Amendment on the date first written.

TruStile Doors, LLC

By:

Scott Schmid, CEO

The foregoing instrument was acknowledged before me this 22 day of September,
2020, by Denise Folkert

My commission expires: 8-13-22

Address: 1111 S 71st Ave
Denver CO 80229

[Signature]
Notary Public

APPROVED BY resolution at the meeting of _____, 2020.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

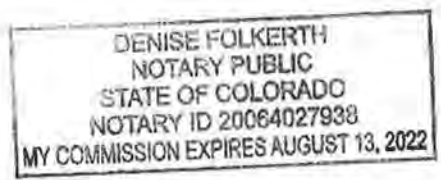


EXHIBIT B-2

Additional Reimbursable Public Improvements

TruStile E 71st Avenue Public Improvements

**71st Ave Mill & Overlay, per Development Agreement
 (Direct Costs)**

	Qty	Unit	Unit Price	Amount
2" Mill & Overlay	18,582	SF	\$ 3.09	\$ 57,418.38
Asphalt R&R 9" Depth	4,350	SF	\$ 7.66	\$ 33,321.00
Total				\$ 90,739.38

**71st Ave Full Depth Asphalt, actually installed
 (Direct Costs)**

	Qty	Unit	Unit Price	Amount
Full Depth Asphalt Removal 9" Depth	14,232	SF	\$ 1.38	\$ 19,640.16
Fine Grade for Asphalt Paving	18,582	SF	\$ 0.25	\$ 4,645.50
11.5" Full Depth Asphalt	18,582	SF	\$ 7.02	\$ 130,445.64
Traffic Control	5	Days	\$ 861.89	\$ 4,309.45
Survey	1	LS	\$ 956.63	\$ 956.63
Total				\$ 159,997.38

**Reimbursement Amount
 (Direct + Indirect Costs)**

Additional Direct Cost Incurred		\$ 69,258.00
Plus OH and Indirect Costs*	8.5%	\$ 5,886.93
Total		\$ 75,144.93

*GC Fee, Design, Permit, Insurance, Bond, Quality Assurance Testing, Inspections, As-builts, etc.

Construction Completion Date: May 1, 2020

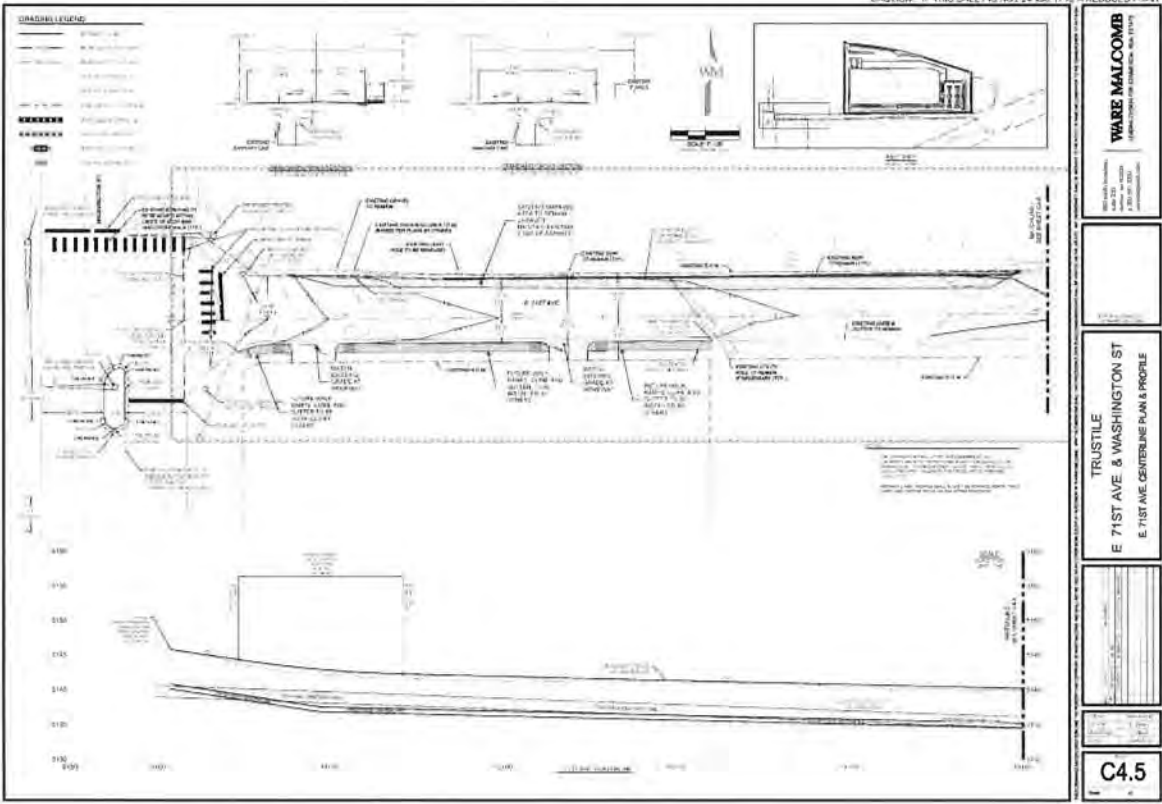
Initials or signature of Developer: _____



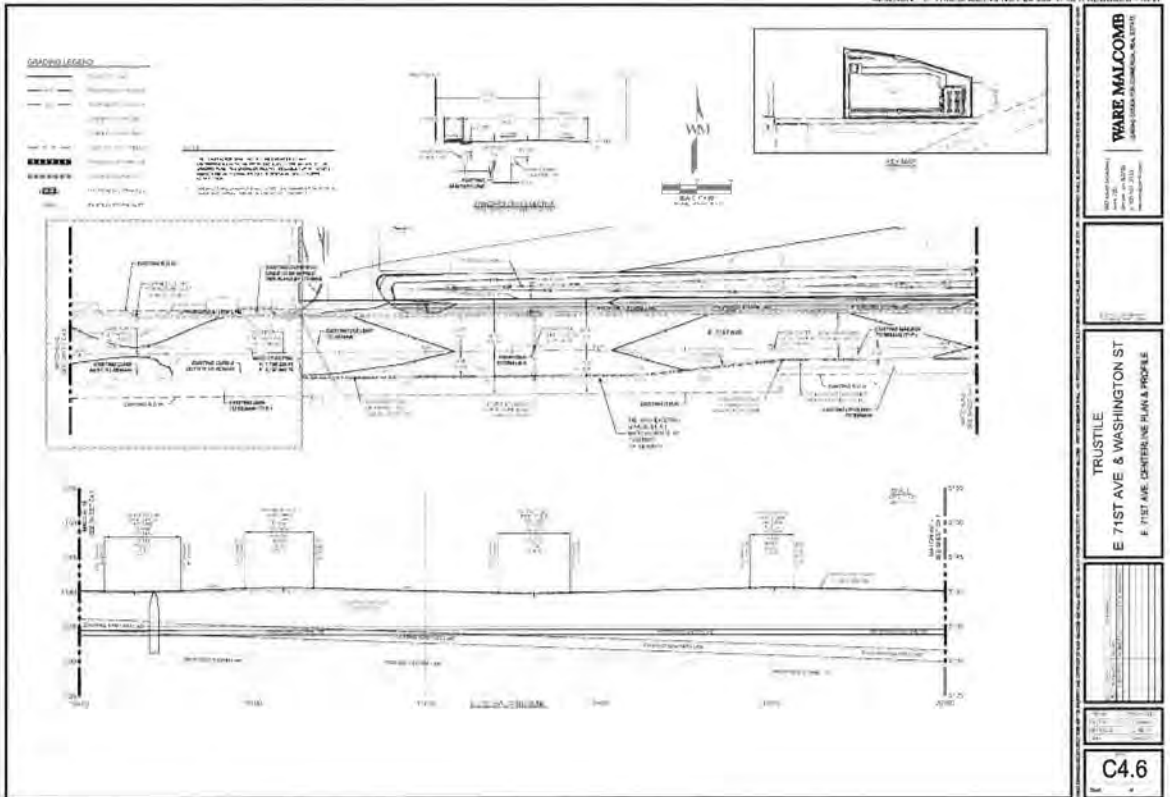
Additional Public Improvements

NORTH

WEST



CAUTION: IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED PRINT



PROPOSAL FOR: TruStile Doors - W. 71st Ave. Full Depth Asphalt Change



GILBERT CONTRACTING, INC.

7250 GILPIN WAY SUITE 150

DENVER, CO 80229

Contact: Kurt Franzen

Phone: 720.685.0684

Fax: 720.685.7093

Quote To: Ryan Companies
Attn: Nick Torgusson
Phone: 701-388-1564
Fax:

Job Name: TruStile Doors
Date of Plans: 8/19/2019
Revision Date:

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
ASPHALT					
30005	FULL DEPTH ASPHALT REMOVAL 9" DEPTH	14,232.00	SF	1.38	19,640.16
30010	FINE GRADE FOR ASPHALT PAVING	18,582.00	SF	0.25	4,645.50
30100	11.5" FD ASPHALT	18,582.00	SF	7.02	130,445.64
30200	TRAFFIC CONTROL	5.00	DAYS	861.89	4,309.45
30300	SURVEY	1.00	LS	956.63	956.63
Asphalt Subtotal					\$159,997.38
CREDITS					
90105	CREDIT - 2" MILL & OVERLAY	-18,582.00	SF	3.09	-57,418.38
90108	CREDIT - ASPHALT R&R 9" DEPTH	-4,350.00	SF	7.66	-33,321.00
Credits Subtotal					-\$90,739.38
GRAND TOTAL					\$69,258.00

NOTES:

Exclusions:
Per contract

Miscellaneous Notes:

**Assumes existing subgrade soil elevations balance for applying 11.5" asphalt to achieve design grades. Any export or import of soils is extra work.

Regards,

Kurt Franzen

Acceptance By: _____



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Substantial Amendment to the 2019 Annual Action Plan (AAP) for the Northglenn Minor Home Repair (MHR) Program funded by Community Development Block Grant (CDBG)
FROM: Jill Jennings Golich, Community & Economic Development Director
AGENCY/DEPARTMENT: Community & Economic Development
HEARD AT STUDY SESSION ON: September 1, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: Board of County Commissioners approve the Substantial Amendment to the 2019 AAP, which outlines the use of CDBG funds for the Northglenn MHR Program, and authorize the Chair to execute related agreements to carry out the program.

BACKGROUND:

Adams County is the participating jurisdiction for the Adams County Urban County which annually receives and allocates CDBG funds from the U.S. Department of Housing and Urban Development (HUD). As a requirement of HUD, to qualify for CDBG funds, Adams County developed the 2019 AAP in August 2019 to demonstrate how 2019 funds will be utilized to address community needs, and support the goals outlined in the 2015-2019 Adams County Consolidated Plan. Presently, the County's 2019 AAP requires a Substantial Amendment to commit unobligated CDBG funds in accordance with the County's Citizen Participation Plan.

City of Northglenn City Council voted on August 17, 2020 to utilize its 2019 CDBG allocation for the MHR Program. The total funding contribution is approximately \$223,590. The attached 2019 AAP amendment outlines the planned use of CDBG for the Northglenn MHR Program.

A public notice was posted in the Northglenn/Thornton Sentinel advertising a 30-day public comment period. The amendment was open for public comment from September 3, 2020 through October 5, 2020. Upon final approval by the Board, the amended AAP will be submitted to HUD.

Further, staff is seeking Board authorization to allow for the Chair to execute the final County Attorney approved agreement between Adams County and City of Northglenn to carry out the MHR Program.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney Office

ATTACHED DOCUMENTS:

Resolution

Draft Amended 2019 Annual Action Plan

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 30

Cost Center: 9479 (expenditures align to 941018)

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$6,710,658
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE SUBSTANTIAL AMENDMENT TO THE ADAMS
COUNTY 2019 ANNUAL ACTION PLAN FOR NORTHGLENN MINOR HOME REPAIR
PROGRAM

Resolution 2020-

WHEREAS, the U.S. Department of Housing and Urban Development (“HUD”) has designated Adams County (the “County”) as an Urban Entitlement County under the Community Development Block Grant (“CDBG”) Program; and,

WHEREAS, to qualify for CDBG funds, Adams County developed the 2019 Annual Action Plan (the “AAP”) to demonstrate how 2019 funds will be utilized to address community needs, and support the goals outlined in the 2015-2019 Adams County Consolidated Plan; and,

WHEREAS, a Substantial Amendment to the 2019 AAP is required in accordance with the County’s Citizen Participation Plan to obligate CDBG funds to the Northglenn Minor Home Repair Program; and,

WHEREAS, Adams County has made the Substantial Amendment available to the public for comment for 30-days; and,

WHEREAS, after HUD approves the Substantial Amendment, the County will prepare appropriate agreements to expend funds contingent upon the necessary environmental clearances.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Substantial Amendment to the 2109 Annual Action Plan be approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute the final agreement, contingent on approval by the County Attorney, between Adams County and City of Northglenn to carry out the Minor Home Repair Program.

BE IT FURTHER RESOLVED, that the Director of the Community & Economic Development Department and the Community Development Manager are hereby authorized to sign necessary non-contractual documents to carry out the ongoing activities of the 2019 AAP Substantial Amendment.

Adams County1. CARES Act Amendment, CDBG-CV Projects (July 2020)2. COVID Response, Special Economic Development program (April 2020), prior year resources3. COVID Response, Tenant based rental assistance program (May 2020), prior year resources4. CARES Act Amendment SF-424 and supporting documentation submitted 8/12/20.Thornton: 1. 5/14/20: Revised Thornton CDBG-CV SubmissionWestminster1. CDBG-CV Submission (TBD)

Executive Summary

AP-05 Executive Summary - 91.200(c), 91.220(b)

1. Introduction

An Annual Action Plan (AAP) is required by the U.S. Department of Housing and Urban Development (HUD) from all jurisdictions receiving Community Development Block Grant (CDBG) and HOME Investment Partnerships Program (HOME) funds. The 2019 AAP is Adams County's (County) fifth program year Action Plan for the 2015-2019 Consolidated Plan (Con Plan). It outlines the County's needs, goals, and strategies for the 2019 program year (July 1, 2019 – June 30, 2020) and addresses citizen involvement, including information on available and potential resources. The priorities developed in this plan target a wide range of issues from basic needs, such as the availability of affordable housing for families and individuals, to overall community quality of life issues, such as improving facilities that provide services to low- and moderate- income (LMI) residents

The 2019 AAP was developed in accordance with HUD guidelines 24 Code of Federal Regulations (CFR) Part 91.220. This document represents a cooperative effort between the County, cities of Thornton, Westminster, Northglenn, Federal Heights, Brighton, and Town of Bennett, the public, and housing and service providers.

Adams County Community Development administers of the CDBG and HOME programs and works with the Urban County and HOME Consortia members to accomplish the goals in the Consolidated Plan. The Urban County areas consists of the cities of Northglenn, Federal Heights, Brighton, Town of Bennett, and unincorporated Adams County. The HOME Consortia areas include the Urban County areas, as well as the cities of Thornton and Westminster.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

Adams County has set the below Priorities and Objectives for the term of the Con Plan. These priorities and objectives were discussed with key community members, Urban County members, and used to solicit applications for CDBG and HOME funding for the 2019 program year. The proposed activities for the 2019 program year must align to the Con Plan's Priorities and Objectives outlined below:

Priorities & Objectives

Priority: Housing

Objective #1 Rental housing is available for the low and very low-income populations where rental housing rates are low

Objective #2 Affordable housing is located in areas easily adjacent to services including transit by the low to moderate-income populations

Objective #3 Affordable housing is available for low-income renters that want to buy

Objective #4 Aging housing stock of low to moderate-income owner-occupied units is rehabilitated and/or repaired

Priority: Community and Economic Development

Objective #1 More job services and job creation for Adams County residents

Objective #2 Public facilities and community resources are created and enhanced to support low to moderate-income populations

Objective #3 Invest strategically in neighborhoods to assist in revitalization

Priority: Seniors and other Prioritized Populations

Objective #1 Prioritized populations have housing options, especially those earning less than 40% AMI

Objective #2 Services available for at-risk children

Objective #3 Prioritized populations are educated about housing and service options

Objective #4 Housing and services options near transit are enhanced for prioritized populations

Objective #5 Integration of prioritized populations into the community

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

The County maintains positive relationships with organizations and Urban County members responsible for undertaking many of the projects described in the AAP. Past project and program successes with these partners helped shape the County's goals for the 2019 program year. Due to historic commitment deficiencies, the County has been proactively setting the stage to commit and spend prior year resources by prioritizing "shovel ready" projects. The County has also continued to meet its timeliness ratio since 2015 program year. This outcome is a result of the County being committed to ensuring timeliness by choosing realistic and feasible projects that met those goals and objectives defined in the Con Plan. In addition, the County has taken several steps to improve the required monitoring process for Subgrantees and Subrecipients. This has improved the County's communication with all partners and ensures a positive relationship with any compliance issues. The County continues to have ongoing conversations with the HOME Consortia members regarding the County's expectations for long-term monitoring. The County is committed to ensuring compliance with all federal regulations through its monitoring obligations.

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

The County included a variety of outreach efforts to have optimal public input that would inform the AAP. These efforts included service provider/key partner meetings, newspaper notifications, Urban County and HOME Consortia meetings, the County's webpage, and public hearings. Information regarding the proposed 2019 activities was available on the County's website for public comment for more than 30 days. Outreach efforts varied to reach diverse populations and ensure that the input received was insightful and representative of all County residents. It also encouraged the participation of those in specialized populations such as non-English speaking, persons with disabilities, residents of public housing, low-income residents and seniors. Adams County published the draft AAP, solicited input from providers and the public, and held a public hearing to approve the final plan for submittal to HUD.

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

Adams County held a public comment period from June 19, 2019 to July 23, 2019 for the Annual Action Plan. No public comments were received during this time. Furthermore, no public comments were

provided at the July 23, 2019 Public Hearing for the Annual Action Plan. Notice of the public comment period and public hearing were posted in three local papers: the Northglenn-Thornton Sentinel and Brighton Standard Blade. Additionally, notice of the public comment period was posted on the Adams County website.

Adams County held a public comment period from April 15, 2020 to April 20, 2020 for the AAP CARES Act Amendment. No public comments were received during this time. Furthermore, no public comments were provided at the April 21, 2020 Public Hearing for the AAP. Notice of the public comment period and public hearing was posted on the Adams County website in accordance with the Adams County Citizen Participation Plan.

Adams County will hold a public comment period from September 3, 2020 to April 20, 2020 for a substantial amendment to the AAP, with a final opportunity for public comment at the October 6, 2020 Adams County Board of County Commissioners public hearing. Notice of the public comment period and public hearing was posted on the Adams County website in accordance with the Adams County Citizen Participation Plan.

6. Summary of comments or views not accepted and the reasons for not accepting them

No comments were received.

7. Summary

No comments were received.

PR-05 Lead & Responsible Agencies - 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

The following are the agencies/entities responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	ADAMS COUNTY	Adams County Community Development
HOME Administrator	ADAMS COUNTY	Adams County Community Development
ESG Administrator		Adams County Community Development

Table 1 – Responsible Agencies

Narrative

The County’s strives to improve the quality of life for its residents through the management of grant-funded programs for housing, community development, and neighborhood revitalization. The common thread of the funds administered by the County is to benefit low- and moderate-income residents. Eighty percent (80%) of all funds and programs administered by the County directly impact the lives of low- and moderate-income residents. The County continues to opt out of Emergency Services Grant (ESG) funding and allocates those funds to the State of Colorado who administers the grant. With this arrangement, non-profits only have to apply to the State for ESG and are considered a first priority for the County's ESG allocation.

Consolidated Plan Public Contact Information

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AP-10 Consultation - 91.100, 91.200(b), 91.215(l)

1. Introduction

Adams County worked with a variety of agencies and municipalities that provide services to residents in order to collect data around housing, services and community development needs. Key partner focus groups and interviews were held to collect the data to inform the development of the Con Plan, the AAP, the 2017 Housing Needs Assessment (HNA), and the County's 2018 Balanced Housing Plan (BHP).

To gain a more thorough understanding of the housing situation in Adams County, three focus groups and a series of interviews with community leaders were conducted in late 2016 for the HNA. The County then held additional stakeholder engagement events to shape the BHP. The BHP's purpose is to take the information collected from the HNA and stakeholder input, and present defined goals and outcomes through a multifaceted and collaborative approach. As a result, the following goals were created to further speak to the many barriers in achieving "balanced housing" across a county with a diverse population and housing needs:

- Utilize New and Existing Tools
 - Reduce Constraints to Development
 - Expand Opportunities for Housing
- For more information, the final HNA and BHP can be found at <https://www.adcogov.org/BHP>. The BHP was ratified in July 2018.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).

Adams County works in collaboration with the cities of Westminster and Thornton through the HOME Consortia to distribute HOME funds for eligible projects that create or preserve housing. Adams County also works with local certified Community Housing Development Organizations (CHDOs) and local housing authorities to provide essential services. These organizations include Community Resources and Housing Development Corporation (CRHDC), Unison Housing Partners (UHP), formally Adams County Housing Authority, and the Brighton Housing Authority (BHA).

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

Metro Denver Homeless Initiative (MDHI) works with homeless providers throughout the metro Denver region to coordinate homeless service efforts. In Adams County specifically, MDHI has a VISTA member placement with UHP to assist with coordinating the annual Point-in-Time homeless count. MDHI is developing a regional coordinated assessment system, building a housing pipeline, and engaging other community partners to provide services to individuals homeless or at risk of becoming homeless throughout the metro Denver region. MDHI staff was consulted during the development of the 2015-2019 Con Plan. Adams County continues to coordinate with homeless providers working in the County to fund programs serving homeless individuals, families, families with children, veterans, youth, and persons at risk of becoming homeless.

In 2017, the Burnes Center presented the results of their study on homelessness in the County to the County to the Board of County Commissioners. The plan provided a number of short- and long-term recommendations. Since then the County has a team dedicated to addressing poverty and homelessness in Adams County.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

Not applicable.

2. Agencies, groups, organizations and others who participated in the process and consultations

Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	City of Westminster
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Public Housing Needs Economic Development
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed HOME activities.
2	Agency/Group/Organization	City of Thornton
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Public Housing Needs Economic Development
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed HOME activities.
3	Agency/Group/Organization	ADAMS COUNTY HOUSING AUTHORITY
	Agency/Group/Organization Type	Housing Services - Housing
	What section of the Plan was addressed by Consultation?	Public Housing Needs Affordable Housing
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed HOME activities.

4	Agency/Group/Organization	BRIGHTON HOUSING AUTHORITY
	Agency/Group/Organization Type	Housing
	What section of the Plan was addressed by Consultation?	Public Housing Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed HOME activities.
5	Agency/Group/Organization	Community Resources and Housing Development Corp
	Agency/Group/Organization Type	Housing Services - Housing
	What section of the Plan was addressed by Consultation?	Public Housing Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed CHDO activities.
9	Agency/Group/Organization	CITY OF FEDERAL HEIGHTS
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Economic Development Minor Home Repair Program
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed CDBG activities.
10	Agency/Group/Organization	City of Brighton
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Seniors and Other Prioritized Populations, Minor Home Repair Program

	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed CDBG activities.
11	Agency/Group/Organization	CITY OF NORTHGLENN
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Economic Development Infrastructure Improvements
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed CDBG activities.
12	Agency/Group/Organization	TOWN OF BENNETT
	Agency/Group/Organization Type	Other government - Local
	What section of the Plan was addressed by Consultation?	Economic Development Public Facility
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Agency participated in the development of the 2019 AAP by discussing proposed CDBG activities.
13	Agency/Group/Organization	ADAMS COUNTY
	Agency/Group/Organization Type	Other government - County Grantee Department
	What section of the Plan was addressed by Consultation?	Sustainability, Minor Home Repair Program and Infrastructure Improvements

<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>Adams County Community and Economic Development Department and the Board of County Commissioners participated in the development of the 2019 AAP by discussing proposed CDBG and HOME activities.</p>
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Identify any Agency Types not consulted and provide rationale for not consulting

Not applicable.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Metro Denver Homeless Initiative (MDHI)	Adams County uses the MDHI Point in Time annual homeless count, and other research and coordination efforts to develop plans for serving homeless persons in Adams County.

Table 3 – Other local / regional / federal planning efforts

Narrative

Not required - NA

AP-12 Participation - 91.401, 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

The County included a variety of outreach efforts for citizen participation to provide valuable input included in the AAP. These efforts included service provider/key partner meetings, newspaper notifications, Urban County and HOME Consortia meetings, the County's webpage, and public hearings. The County has also made available information regarding the AAP and related citizen participation process on the County's website. Outreach efforts varied to reach diverse populations to include input that was insightful and representative of all Adams County residents. It also encouraged the participation of those in specialized populations such as non-English speakers, persons with disabilities, residents of public housing, low-income residents and seniors. Adams County encouraged participation by local institutions, members of the Continuum of Care, service providers, special needs providers, nonprofit organizations, and housing developers. This data was then analyzed by staff who incorporated the findings on housing, special needs, and community development into the priority outcomes. By determining the Priorities, the County was able to allocate funds to the appropriate agencies to provide those necessary services. Residents were encouraged to provide comments on the draft AAP through a publicized thirty (30) day public review period. The County publicized the availability of the draft AAP in multiple local newspapers and on the County's webpage on the County's website.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Internet Outreach	Non-targeted/ broad community	The County utilized its website to continually updates the public on upcoming public hearings, funding allocations, and reports, including the AAP.			www.adcogov.org/community-development
2	Public Hearing	Non-targeted/ broad community	The AAP Public Hearing on July 23, 2019.			http://adcogov.legistar.com/calendar.aspx
3	Newspaper Ad	Non-targeted/ broad community	The County published a Notice of Public Hearing and Request for Public Comments on June 19, 2019 in multiple local newspapers.			

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
4	Urban County Hearings	Urban County Members	Urban County members had public hearings for the proposed 2019 CDBG activities.			

Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources - 91.420(b), 91.220(c)(1,2)

Introduction

Adams County's allocation of HUD funds (CDBG and HOME) is determined annually, and only after it receives a formal letter from HUD regarding the amount for each program. CDBG funds are allocated to jurisdictions that are Urban County members with projects in the County. Adams County is a HOME consortia, which includes the cities of Thornton and Westminster, as well as the Urban County areas. HOME funds are allocated to the two Consortia cities, and throughout the year to housing projects within the HOME Consortia and Urban County areas.

Federal dollars leverage additional funds in many of the projects completed as part of the Con Plan. Federal dollars are limited, and agencies completing projects will often utilize other funds to complete projects. The leveraged dollars represent a benefit to all Adams County residents. They stretch the grant funds received by the County, while allowing projects to precede that benefit either the area or a specific clientele. At the same time, it aids the agencies supplying the leveraged funds in meeting their goals. In addition to CDBG and HOME funds, Adams County provides local grants to human service organizations serving the County's low income individuals and families through its Community Enrichment Grant.

Each of these funding streams has allowed Adams County to target at-risk populations and leverage fixed program year allocations. These funding streams helped provide resources, services, and opportunities to people that may not qualify under HOME or CDBG guidelines and to neighborhoods that may not have been targeted with regular program year funding.

CDBG prior year resources total \$0 and \$948,000 in Program Income is projected.

HOME Prior Year Resources total \$878,762. Program Income that will be programmed in the 2019 program year is \$316,867 for activities related to HOME approved activities.

CDBG-CV Amendment

In the spring of 2020, Adams County was allocated \$830,131 in additional CDBG Coronavirus (CDBG-CV) funding under the Coronavirus Aid, Relief, and Economic Security Act (CARES) Act to address households and businesses throughout the county dealing with economic turbulence from the Coronavirus pandemic.

Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	1,364,927	948,000	0	2,312,927	0	Adams County will allocate 2019 CDBG funds to its Urban County members (four local jurisdictions) for their proposed projects.

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
HOME	public - federal	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	949,905	316,867	878,762	2,145,534	0	HOME funds are allocated in Thornton, Westminster (HOME Consortia), and throughout the county. Adams County uses 10% of HOME funds for administration of programs.
ESG	public - federal	Conversion and rehab for transitional housing Financial Assistance Overnight shelter Rapid re-housing (rental assistance) Rental Assistance Services Transitional housing	0	0	0	0	0	ESG funds are allocated to the State of Colorado.

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
Other	public - federal	Other	830,131	0	0	830,131	0	CDBG-CV funds to prevent, prepare for, and respond to coronavirus (COVID-19).

Table 2 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

County funded projects use a variety of other leveraged funds to cover the total cost of projects. HOME funded projects use Low Income Housing Tax Credit (LIHTC) equity, State of Colorado funds, private equity, and other resources to cover the cost of the development. CDBG typically leverage locally funded projects and/or help support gaps in funding that meet the goals of the Con Plan. Activities funded by HOME will have the required twenty-five (25%) match from previous program years and from fee reductions by local jurisdictions. In order to be considered HOME match, the funding must be a non-federal permanent contribution to affordable housing contributed in an eligible manner and properly documented. Adams County encourages all HOME funded projects to have program funding match.

If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

Adams County and local jurisdictions may choose to provide publically held land for housing, community facility, and other eligible HOME and CDBG projects. No specific parcels are being used in the 2019 program year.

Discussion

Not required - NA

Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Construction of New Rental Housing	2015	2019	Affordable Housing	County-Wide City of Westminster	Housing Needs Seniors and other Prioritized Populations	HOME: \$848,635	Rental units constructed: 356 Household Housing Unit
3	Preservation of Existing Housing Stock	2015	2019	Affordable Housing	County-Wide City of Federal Heights City of Brighton City of Northglenn	Housing Needs Community and Economic Development Needs Seniors and other Prioritized Populations	CDBG: \$881,298	Rental units rehabilitated: 10 Household Housing Unit Homeowner Housing Rehabilitated: 40 Household Housing Unit Housing Code Enforcement/Foreclosed Property Care: 625 Household Housing Unit
7	Infrastructure Improvements	2015	2019	Non-Housing Community Development	County-Wide City of Northglenn City of Brighton	Community and Economic Development Needs	CDBG: \$586,501	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: 7980 Persons Assisted
8	Emergency Housing and Shelter for the Homeless	2015	2020	Homeless	County-Wide	Homelessness	CDBG: \$150,000	Overnight/Emergency Shelter/Transitional Housing Beds added: 48 Beds

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
9	Increase Job Services and Job Creation	2015	2020	Non-Housing Community Development	County-Wide	Community and Economic Development Needs	CDBG: \$640,000	Jobs created/retained: 40 Jobs

Table 3 – Goals Summary

Goal Descriptions

1	Goal Name	Construction of New Rental Housing
	Goal Description	<p>St. Mark Village is a 216, six (6) building, LIHTC project located at the NW corner of 97th Avenue and Federal Boulevard. The project will be financed with non-competitive private activity bonds issued by CHFA. One hundred percent (100%) of the units in the community will serve families earning at or below 60% AMI.</p> <p>Harris Park Apartments is a 24 unit of senior housing development. The development will offer community space and will be located at 73rd and Lowell Blvd. The project will serve households at or below 80% AMI.</p> <p>7401 Broadway is the County's first land contribution for affordable housing. The existing building is the former Adams County Child and Family Service Center donated to Unison Housing Partners. The office building will be an adaptive reuse into residential units and new walkup units will be constructed. The project will result in 116 units of affordable housing, all serving 70% or less AMI.</p>

3	Goal Name	Preservation of Existing Housing Stock
	Goal Description	<p>The Minor Home Repair (MHR) Program will serve low-to-moderate income homeowners throughout the City of Federal Heights and the City of Northglenn. The program will address essential home repairs to promote decent, safe and sanitary conditions as well as accessibility issues. County staff will administer the MHR program for the City. The City of Federal Heights has allocated \$23,386 in CDBG for the MHR program. The City of Northglenn has allocated \$223,590 in CDBG for the MHR program.</p> <p>City of Federal Heights will utilize its remaining CDBG allocation (\$79,701) to continue operating its Rental Inspection Program. The Rental Inspection Program promotes affordable, safe rental housing for its residents by administering a city-wide program to bring rental properties into code compliance.</p> <p>GRID Alternatives will utilize a portion of Adams County CDBG funds (\$154,621) to provide rooftop solar photovoltaic systems on owner occupied low-to-moderate income homes in unincorporated Adams County.</p> <p>Brighton Housing Authority (BHA) will utilize \$400,000 in HOME funds to rehabilitate BHA owned North 5th Avenue and South 18th Avenue duplexes. Rehabilitations will improve site accessibility and energy efficiency to ten (10) units benefiting persons of under 80% AMI. All units are three and four bedroom units.</p>
7	Goal Name	Infrastructure Improvements
	Goal Description	<p>City of Brighton is proposing to utilize its CDBG allocation (\$186,501) to improve Southern Street for pedestrian and multi-modal connectivity. The project will improve overall mobility and accessibility to the community. The surrounding areas meet the low-to-moderate income requirement.</p> <p>Adams County Public Works is proposing to use a portion of Adams County's CDBG allocation (\$400,000) to provide safe and adequate public improvements in a low-to-moderate income neighborhood, Sherrelwood. Improvements will focus on ADA compliant sidewalks and overall safe connectivity.</p>

8	Goal Name	Emergency Housing and Shelter for the Homeless
	Goal Description	Adams County will support the “Aurora Emergency Respite Center” at 1101 S. Abilene Street, Aurora, Colorado 80012, for the purpose of housing the homeless and individuals in vulnerable housing situations for short-term stays in the non-congregant Aurora Emergency Respite Center shelter during the emergency declared by Governor Polis due to the coronavirus COVID-19 outbreak.
9	Goal Name	Increase Job Services and Job Creation
	Goal Description	In response to the COVID-19 pandemic, Adams County is putting together a program to assist for-profit businesses to avoid job loss caused by business closures related to social distancing. Funding can provide short-term working capital assistance to small businesses to enable retention of jobs and provide organizational stability. The program would allow local businesses to apply for a small business grant, up to \$35,000, to retain jobs, following specified criteria.

AP-35 Projects - 91.420, 91.220(d)

Introduction

Adams County has allocated CDBG and HOME funds to projects in 2019 that meet the County's 2015-2019 Con Plan's Priority Needs and Annual Goals.

CDBG projects include minor home rehabilitation and public infrastructure. Adams County and the cities of Brighton, Northglenn and Federal Heights have prioritized projects in their jurisdictions and will oversee projects within their communities.

HOME projects include the creation of two new affordable housing rental projects.

CDBG-CV Amendment

CDBG-CV funds are to prepare for, prevent, and reponse to the COVID-19 pandemic. The projects outlined below the begin with "CV" are projects funded with CDBG-CV.

#	Project Name
1	CDBG: Housing
2	CDBG: Infrastructure
3	CDBG: Administration
4	CDBG: Economic Development
5	CDBG: Public Service
6	HOME: Adams County
7	HOME: CHDO
8	HOME: Administration
9	HOME: Westminster
10	HOME: TBRA
11	CV-Economic Development
12	CV-Administration
13	CV-Mortgage Assistance

Table 4 – Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

Community input from the Urban County members, community organizations, and non-profits determined how the County will allocate priorities described in the Con Plan. Urban County members participate in the Urban County through a formula basis and after receiving their allocation, the County works with each to identify a project that addresses the Con Plan goals and meets the needs of their respective residents. While the current housing market creates barriers to addressing many of the issues contributing to the increase in need for affordable housing, the County continues to improve its working

relationships with developers, housing authorities and others to overcome this obstacle. In addition, the County dedicated part of its 2016 CDBG administration costs to the development of the County's 2017 Housing Needs Assessment and 2018 Balanced Housing Plan to address the issues that were raised in the 2015 Analysis of Impediments to Fair Housing Choice.

AP-38 Project Summary
Project Summary Information

1	Project Name	CDBG: Housing
	Target Area	County-Wide City of Federal Heights City of Northglenn
	Goals Supported	Construction of New Rental Housing Preservation of Existing Housing Stock
	Needs Addressed	Housing Needs Seniors and other Prioritized Populations Community and Economic Development Needs
	Funding	CDBG: \$789,298
	Description	The Minor Home Repair (MHR) Program will serve low-to-moderate income homeowners throughout the City of Federal Heights and the City of Northglenn. The program will address essential home repairs to promote decent, safe and sanitary conditions as well as accessibility issues. County staff will administer the MHR program for the cities. The City of Federal Heights has allocated \$23,386 in CDBG for the MHR program. The City of Northglenn has allocated \$223,590 in CDBG for the MHR program. The City of Federal Heights will utilize its remaining CDBG allocation (\$79,701) to continue operating its Rental Housing Inspection Program. The Rental Housing Inspection Program promotes affordable, safe rental housing for its residents by administering a city-wide program to bring rental properties into code compliance. GRID Alternatives will utilize a portion of Adams County CDBG funds (\$154,621) to provide rooftop solar photovoltaic systems on owner occupied low-to-moderate income homes in unincorporated Adams County. 7401 Broadway is the County's first land contribution for affordable housing. The existing building is the former Adams County Child and Family Service Center donated to Unison Housing Partners. The office building will be an adaptive reuse into residential units and new walkup units will be constructed. The project will result in 116 units of affordable housing, all serving 70% or less AMI. CDBG will be utilized to pay for eligible soft costs.
	Target Date	6/30/2020

<p>Estimate the number and type of families that will benefit from the proposed activities</p>	<p>The Minor Home Repair (MHR) Program will serve approximately two (2) low-to-moderate income homeowners throughout the City of Federal Heights and approximately 18 low-to-moderate income homeowners throughout the City of Northglenn.</p> <p>The Rental Housing Inspection Program will inspect approximately 625 units in the City of Federal Heights.</p> <p>GRID Alternatives solar installation program will serve approximately 20 low-to-moderate income homeowners throughout unincorporated Adams County.</p> <p>7401 Broadway will result in 116 units of affordable housing, all serving 70% or less AMI.</p>
<p>Location Description</p>	<p>See above.</p>

	Planned Activities	<p>The Minor Home Repair (MHR) Program will serve low-to-moderate income homeowners throughout the City of Federal Heights and throughout the City of Northglenn. The program will address essential home repairs to promote decent, safe and sanitary conditions as well as accessibility issues. County staff will administer the MHR program for these cities. The City of Federal Heights has allocated \$23,386 in CDBG for the MHR program. The City of Northglenn has allocated \$223,590 in CDBG for the MHR program. The MHR program meets the matrix code 14A, Rehab: Single-Unit Residential and meets the national objective benefiting low and moderate-income persons.</p> <p>City of Federal Heights will utilize its remaining CDBG allocation (\$79,701) to continue operating its Rental Housing Inspection Program. The Rental Housing Inspection Program promotes affordable, safe rental housing for its residents by administering a city-wide program to bring rental properties into code compliance. The Rental Housing Inspection Program meets the matrix code 15, Code Enforcement and meets the national objective benefiting low and moderate-income persons (area benefit) and preventing or eliminating slums or blight.</p> <p>GRID Alternatives will utilize a portion of Adams County CDBG funds (\$154,621) to provide rooftop solar photovoltaic systems on owner occupied low-to-moderate income homes in unincorporated Adams County. The GRID Alternatives project meets the matrix code 14F, Rehab: Energy Efficiency Improvements and meets the national objective benefiting low and moderate-income persons.</p> <p>7401 Broadway is the County's first land contribution for affordable housing. The existing building is the former Adams County Child and Family Service Center donated to Unison Housing Partners. The office building will be an adaptive reuse into residential units and new walkup units will be constructed. The project will result in 116 units of affordable housing, all serving 70% or less AMI. CDBG will be utilized to pay for eligible soft costs. The projects meets the matrix code 03J, Water/Sewer Improvements and meets the national objective benefiting low and moderate-income persons.</p>
2	Project Name	CDBG: Infrastructure
	Target Area	County-Wide City of Northglenn City of Brighton
	Goals Supported	Infrastructure Improvements

	Needs Addressed	Seniors and other Prioritized Populations Community and Economic Development Needs
	Funding	CDBG: \$596,501
	Description	CDBG funding will be utilized for infrastructure projects in the cities of Brighton and unincorporated Adams County.
	Target Date	6/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	The proposed activities will benefit approximately 7980 low-to-moderate income families.
	Location Description	The proposed activities will be undertaken in the City of Federal Heights, the City of Brighton, and the Sherrelwood neighborhood of unincorporated Adams County.
	Planned Activities	<p>City of Brighton is proposing to utilize its CDBG allocation (\$186,501) to improve Southern Street for pedestrian and multi-modal connectivity. The project will improve overall mobility and accessibility to the community. The surrounding areas meet the low-to-moderate income requirement. This projects meets the matrix code 03K, Street Improvements and meets the national objective benefiting low and moderate-income persons (area benefit).</p> <p>Adams County Public Works is proposing to use a portion of Adams County's CDBG allocation (\$400,000) to provide safe and adequate public improvements in a low-to-moderate income neighborhood, Sherrelwood. Improvements will focus on ADA compliant sidewalks and overall safe connectivity. This projects meets the matrix code 03K, Street Improvements and meets the national objective benefiting low and moderate-income persons (area benefit).</p>
3	Project Name	CDBG: Administration
	Target Area	County-Wide
	Goals Supported	Preservation of Existing Housing Stock Infrastructure Improvements
	Needs Addressed	Housing Needs Seniors and other Prioritized Populations Community and Economic Development Needs
	Funding	CDBG: \$272,995

	Description	Adams County will retain the allowable twenty percent (20%) of 2019 CDBG funding for Adams County Community Development staff to administer the program.
	Target Date	6/30/2020
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	
	Planned Activities	CDBG administration costs meet the matrix code 20, Planning. The use of the funds are presumed to meet the national objective benefiting low and moderate-income persons since 100% of Adams County CDBG funds are used to benefit for low-to-moderate income persons or areas.
4	Project Name	CDBG: Economic Development
	Target Area	County-Wide
	Goals Supported	Increase Job Services and Job Creation
	Needs Addressed	Community and Economic Development Needs
	Funding	:
	Description	In response to COVID-19, Adams County is launching a small business stabilization program to fund small businesses that have been impacted by public health orders.
	Target Date	8/31/2022
	Estimate the number and type of families that will benefit from the proposed activities	This program will assist a minimum of 40 low to moderate-income individuals (80% AMI or below) by creating & retaining jobs.
	Location Description	County-wide.
	Planned Activities	Grants of up to \$35,000 will be offered to eligible businesses for Special Economic Development to create/retain jobs for 80% AMI and below individuals.
5	Project Name	CDBG: Public Service
	Target Area	County-Wide

	Goals Supported	Emergency Housing and Shelter for the Homeless
	Needs Addressed	Homelessness
	Funding	:
	Description	Adams County will support the “Aurora Emergency Respite Center” at 1101 S. Abilene Street, Aurora, Colorado 80012, for the purpose of housing the homelessness and individuals in vulnerable housing situations for short-term stays in the non-congregant Aurora Emergency Respite Center shelter during the emergency declared by Governor Polis due to the coronavirus COVID-19 outbreak.
	Target Date	7/31/2020
	Estimate the number and type of families that will benefit from the proposed activities	This project will provide 48 beds for homeless individuals and families affected by the COVID-19 pandemic at the Aurora Emergency Respite Center.
	Location Description	1101 S. Abilene Street, Aurora, Colorado 80012
	Planned Activities	Adams County will support the “Aurora Emergency Respite Center” at 1101 S. Abilene Street, Aurora, Colorado 80012, for the purpose of housing the homelessness and individuals in vulnerable housing situations for short-term stays in the non-congregant Aurora Emergency Respite Center shelter during the emergency declared by Governor Polis due to the coronavirus COVID-19 outbreak.
6	Project Name	HOME: Adams County
	Target Area	County-Wide City of Brighton
	Goals Supported	Construction of New Rental Housing Preservation of Existing Housing Stock
	Needs Addressed	Housing Needs
	Funding	HOME: \$709,557

	Description	Brighton Housing Authority (BHA) will utilize \$400,000 in HOME funds to rehabilitate BHA owned North 5th Avenue and South 18th Avenue duplexes. Rehabilitations will improve site accessibility and energy efficiency to ten (10) units benefiting persons of under 80% AMI. All units are three and four bedroom units. 7401 Broadway is the County's first land contribution for affordable housing. The existing building is the former Adams County Child and Family Service Center donated to Unison Housing Partners. The office building will be an adaptive reuse into residential units and new walkup units will be constructed. The project will result in 116 units of affordable housing, all serving 70% or less AMI.
	Target Date	6/30/2021
	Estimate the number and type of families that will benefit from the proposed activities	Brighton Housing Authority will improve site accessibility and energy efficiency to ten (10) units benefiting persons of under 80% AMI. 7401 Broadway will result in 116 units of affordable housing, all serving 70% or less AMI.
	Location Description	Brighton Housing Authority will improve two sites in the City of Brighton: North 5th Avenue and South 18th Avenue. Unison Housing Partners will be rehabilitating and creating new rental housing at 7401 Broadway, Denver, CO.
	Planned Activities	Brighton Housing Authority (BHA) will utilize \$400,000 in HOME funds to rehabilitate BHA owned North 5th Avenue and South 18th Avenue duplexes. Rehabilitations will improve site accessibility and energy efficiency to ten (10) units benefiting persons of under 80% AMI. All units are three and four bedroom units. 7401 Broadway is the County's first land contribution for affordable housing. The existing building is the former Adams County Child and Family Service Center donated to Unison Housing Partners. The office building will be an adaptive reuse into residential units and new walkup units will be constructed. The project will result in 116 units of affordable housing, all serving 70% or less AMI.
7	Project Name	HOME: CHDO
	Target Area	City of Westminster
	Goals Supported	Construction of New Rental Housing

	Needs Addressed	Housing Needs Seniors and other Prioritized Populations
	Funding	HOME: \$347,495
	Description	Harris Park Apartments is a twenty four (24) units of senior housing. The development will offer community space and will be located at 73rd and Lowell Blvd. The project will serve households at or below 80% AMI. Additionally, CRHDC will be receiving CHDO Operating funds.
	Target Date	12/31/2020
	Estimate the number and type of families that will benefit from the proposed activities	Harris Park Apartments is a twenty four (24) units of senior housing for households at or below 80% AMI.
	Location Description	Harris Park will be located at 73rd and Lowell Blvd. in Westminster, CO.
	Planned Activities	Harris Park Apartments is a twenty four (24) units of senior housing. The development will offer community space and will be located at 73rd and Lowell Blvd. The project will serve households at or below 80% AMI. Additionally, Community Resources & Housing Development Corporation will be receiving CHDO Operating funds.
8	Project Name	HOME: Administration
	Target Area	County-Wide
	Goals Supported	Construction of New Rental Housing Preservation of Existing Housing Stock
	Needs Addressed	Housing Needs Seniors and other Prioritized Populations Community and Economic Development Needs
	Funding	HOME: \$94,990
	Description	Adams County will retain ten percent (10%) of 2019 HOME funding for Adams County Community Development staff for HOME program administration. Further, ten percent (10%) of applicable Program Income (PI) from prior year(s) activities will also be used for administration.
	Target Date	6/30/2020

	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	
	Planned Activities	
9	Project Name	HOME: Westminster
	Target Area	City of Westminster
	Goals Supported	Construction of New Rental Housing
	Needs Addressed	Housing Needs
	Funding	CDBG: \$548,635
	Description	St. Mark Village is a 216 unit, six (6) building LIHTC project located at the NW corner of 97th Avenue and Federal Boulevard. The project will be financed with non-competitive private activity bonds issued by CHFA. One hundred percent of the units in the community will serve families earning at or below sixty percent (60%) AMI.
	Target Date	12/31/2020
	Estimate the number and type of families that will benefit from the proposed activities	St. Mark Village will consist of 216 units of housing for families at or below 60% AMI.
	Location Description	St. Mark Village will be located at the NW corner of 97th Avenue and Federal Boulevard.
Planned Activities	St. Mark Village is a 216 unit, six (6) building LIHTC project located at the NW corner of 97th Avenue and Federal Boulevard. The project will be financed with non-competitive private activity bonds issued by CHFA. One hundred percent of the units in the community will serve families earning at or below sixty percent (60%) AMI.	
	Project Name	HOME: TBRA

10	Target Area	County-Wide City of Thornton City of Federal Heights City of Northglenn Town of Bennett City of Brighton City of Westminster
	Goals Supported	Preservation of Existing Housing Stock Emergency Housing and Shelter for the Homeless
	Needs Addressed	Housing Needs Seniors and other Prioritized Populations
	Funding	HOME: \$800,000
	Description	Adams County will provide rental housing assistance through its Tenant Based Rental Assistance Program.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	It is estimated that over 400 individuals will benefit from this program, approximately 100 households.
	Location Description	Cities of Thornton, Westminster, Northglenn, Federal Heights, Town of Bennett, and unincorporated Adams County.

	Planned Activities	<p>HOME funds will be provided to Maiker Housing Partners and Brighton Housing Authority to operate the program. The program provides rental assistance to tenants if the household is 60% area median income (AMI) or less, and the landlord agrees to the program parameters. The program will serve rental units located in unincorporated Adams County, Town of Bennett, and the cities of Northglenn, Brighton, Federal Heights, Thornton, and Westminster.</p> <p>The program will be structured to set-aside \$300,000 to individuals and/or families currently in need of housing, \$500,000 for individuals and/or families currently renting, and \$65,000 for Maiker Housing Partners and Brighton Housing Authority staff administration costs from HOME administration. Brighton Housing Authority will administer the portion of the program for individuals and/or families in need of housing. Maiker Housing Partners will administer the portion of program for individuals and/or families currently in housing. The administration costs will be proportionately shared to Brighton Housing Authority and Maiker Housing Partners.</p>
11	Project Name	CV-Economic Development
	Target Area	County-Wide City of Federal Heights City of Northglenn Town of Bennett City of Brighton
	Goals Supported	Increase Job Services and Job Creation
	Needs Addressed	Community and Economic Development Needs
	Funding	CDBG-CV: \$360,000
	Description	Supplemental funding to the COVID-19 response Small Business Stabilization Program that provides grant to local businesses affected by public health orders related to COVID-19.
	Target Date	12/31/2020
	Estimate the number and type of families that will benefit from the proposed activities	The supplemental funding to the COVID response Small Business Stabilization Program will serve a minimum of ten (10) businesses.
	Location Description	Urban County areas: Northglenn, Federal Heights, Brighton, Bennett, and unincorporated Adams County.

	Planned Activities	Grants of up to \$35,000 will be offered to eligible businesses for Special Economic Development to create/retain jobs for 80% AMI and below individuals.
12	Project Name	CV-Administration
	Target Area	County-Wide City of Federal Heights City of Northglenn Town of Bennett City of Brighton
	Goals Supported	
	Needs Addressed	Community and Economic Development Needs
	Funding	CDBG-CV: \$166,026
	Description	20% of the allowable administration costs will be utilized to conduct an Infectious Disease Impact Study on Adams County's low-to-moderate income neighborhoods.
	Target Date	
	Estimate the number and type of families that will benefit from the proposed activities	
	Location Description	Urban County areas: Northglenn, Brighton, Federal Heights, Bennett, and unincorporated Adams County.
	Planned Activities	In lieu of using the allowable 20% of administration costs, an infection disease impact study would focus on the impacts of COVID-19 to low-to-moderate income neighborhoods/areas in the Adams County Urban County areas. The study would assist with strategizing how future CDBG funding could focus on COVID-19 recovery.
13	Project Name	CV-Mortgage Assistance
	Target Area	County-Wide City of Federal Heights City of Northglenn Town of Bennett City of Brighton
	Goals Supported	Preservation of Existing Housing Stock
	Needs Addressed	Housing Needs

Funding	CDBG-CV: \$304,105
Description	Offer interim mortgage assistance for households affected by the COVID-19 pandemic.
Target Date	12/31/2020
Estimate the number and type of families that will benefit from the proposed activities	It is estimated approximately 60 households will benefit from the proposed activities.
Location Description	Urban County areas: Northglenn, Brighton, Federal Heights, Bennett, and unincorporated Adams County
Planned Activities	<p>Provide Community Resources & Housing Development Corp. (CRHDC) with funding to operate a short-term mortgage assistance program. Program would allow for up to 3 months of mortgage assistance. Funding would be broken out as follows:</p> <ul style="list-style-type: none"> • 0-80% AMI households: \$221,092 • 81-120% AMI households (urgent need National Objective): \$83,013

AP-50 Geographic Distribution - 91.420, 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

Adams County encompasses approximately 1,183.6 square miles. It extends 72 miles west to east, and 18 miles north to south. It is adjacent to Denver and is one of the five counties that make up the Denver metropolitan area. All of Colorado's interstate highways (I-25, I-70, and I-76) and their associated loops (I-225, I-270) converge in Adams County. In addition, US Highways 36, 287, 6 and 85 also run through the County. E-470 completes the connection from C-470 in the south, through Denver International Airport and finally to I-25.

Adams County, which historically has been agricultural in nature, has undergone a development typical to counties in close proximity to a major metropolitan city. Urbanization has occurred most rapidly in the western part of the County as a result of the continued growth in the Denver Metro region. The eastern section of the County, with the exception of the Towns of Bennett and Strasburg, are comprised mainly of farms and rangeland. The Town of Bennett has experienced historic growth throughout the last year and has developed a strategic plan for growth largely due to its proximity to Front Range Airport and downtown Denver.

Cities within the geographic county include Arvada, Aurora, Brighton, Commerce City, Federal Heights, Northglenn, Strasburg, Thornton and Westminster and the Town of Bennett. Adams County has a diverse mix of large, suburban communities, smaller towns, and rural farming communities that have an extensive range and mix of housing, commercial enterprises and public services.

Adams County does not plan to target funds to "geographic priority" areas, however, allocations have been made to specific communities throughout Adams County for projects that are local priorities. The following communities receive allocations of CDBG funds based upon their total populations and low income populations, and apply to Adams County to use the funds within their own communities based on local priorities and needs: Town of Bennett, Unincorporated Adams County, and the Cities of Brighton, Federal Heights, and Northglenn.

The communities of Thornton and Westminster receive direct CDBG allocations from HUD, and are part of the Adams County HOME consortia. Consortia members are allocated a set-aside of HOME funds for projects within their communities. The remaining HOME funds are allocated by Adams County.

Geographic Distribution

Target Area	Percentage of Funds
County-Wide	55

Target Area	Percentage of Funds
City of Thornton	6
City of Federal Heights	4
City of Northglenn	8
City of Commerce City	0
Town of Bennett	1
City of Brighton	7
City of Westminster	19

Table 5 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

In 2019, the Urban County IGA will be recertified for another three (3) year requalification period. CDBG funding allocations can be made up to the amounts in the agreement, if the local governments have eligible projects each year. Applications for funding are made to Adams County, and reviewed for eligibility within the CDBG and HOME program guidelines. Public improvements are made in jurisdictions mentioned throughout the AAP, and must serve low-to-moderate income census tracts.

Discussion

Not required - NA

Affordable Housing

AP-55 Affordable Housing - 91.420, 91.220(g)

Introduction

Adams County will fund many affordable housing projects, including homeowner rehabilitation and new construction of affordable rental.

One Year Goals for the Number of Households to be Supported	
Homeless	0
Non-Homeless	388
Special-Needs	0
Total	388

Table 6 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	356
Rehab of Existing Units	32
Acquisition of Existing Units	0
Total	388

Table 7 - One Year Goals for Affordable Housing by Support Type

Discussion

AP-60 Public Housing - 91.420, 91.220(h)

Introduction

Actions planned during the next year to address the needs to public housing

The housing authorities have not determined any needs to address at this time.

Actions to encourage public housing residents to become more involved in management and participate in homeownership

Unison Housing Partners (UHP) values the input of its residents. UHP's Resident Advisory Board, made up of residents who reside at UHP properties, meets quarterly to discuss UHP's priorities and property improvements. The UHP Board is responsible for establishing the policies of the Authority and for oversight of the fiscal and practical implementation of those policies. Members of the Board are appointed by the Adams County Commissioners and serve staggered terms. UHP's Board includes a seat for an Adams County resident of low-income housing; currently this seat is held by a resident of an UHP property. Annually, UHP surveys all residents of its properties to get feedback across a wide array of topics pertaining to resident housing. Additionally, during the planning stage of any future developments, UHP will solicit input from residents of its existing properties and area residents for design and programming.

If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance

Not applicable, PHA is not designated as troubled.

Discussion

Not required - NA

AP-65 Homeless and Other Special Needs Activities - 91.420, 91.220(i)

Introduction

The County works with local homeless providers and municipalities to reduce homelessness throughout Adams County and the region. Additionally, the Burnes Center on Poverty and Homelessness in Denver, Colorado conducted a homelessness study in 2016 and provided recommendations for the County to consider in proactively addressing homelessness. In response to the study, Adams County hired a Homelessness Outreach Liaison to convene and coordinate homelessness efforts with community partners and municipalities. The Liaison is actively a) coordinating the Adams County Coalition for the Homeless, b) researching initiatives such as tiny home villages and a workforce program for people currently homeless, and c) working with partners to address homeless encampments, support current services, expand outreach efforts, create a resource navigation network and a coordinated entry system.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including

Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

The Board has identified homelessness and reducing poverty as priority needs for the County. The County has laid out homeless assistance, homeless prevention goals and is working on implementing its Community Enrichment Plan developed by Human Services. The County administers a variety of housing and non-housing community development resources which are used to support the efforts of a broad based community network of service providers which provide homeless assistance in the County and the municipalities. Service providers supported by the County provide outreach and case management which assess individual needs and links them with the continuum of services available in the County.

Addressing the emergency shelter and transitional housing needs of homeless persons

There is a shortage of emergency and transitional housing in the County. Three of the four current shelters serve families with minor aged children, one shelter serves individuals but is a cold weather shelter and is closed in the summer months (April to October). There is little public support for creation of mass shelters. The County and most shelter providers have resorted to a housing first model and a rapid re-housing approach to find shelter for those with no shelter options. Because of the lack of affordable rental units, service providers often have to refer households needing emergency shelter or transitional housing to housing providers in surrounding jurisdictions. The County is aligning partnerships and resources to address the shortage of affordable units by working with non-profit and private developers, encouraging new developments that would add to the affordable housing inventory. The Homelessness Outreach Liaison is working with existing homeless providers to increase

the number of beds and transitional housing opportunities available through existing homeless providers. The Liaison is also meeting and coordinating with municipal governments to identify development opportunities in their jurisdictions and will be supportive of new affordable developments that municipalities bring forth.

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again

While some shelters adopted a housing focused approach, it is often difficult to move people experiencing homelessness into permanent housing because of the shortage of transitional units in the County. If shelter and service providers are unable to place a household in permanently affordable housing in Adams County, they work with housing providers in surrounding jurisdictions to find suitable housing. In addition to looking for housing in surrounding jurisdictions, some shelters and service providers have the ability and funds to provide the necessary financial assistance to keep them in their current housing. If the household obtains stable housing, the service providers funded by the County will provide the necessary supportive services to assist that family in maintaining stability and moving toward independence. The supportive services continue so that the formerly homeless households have less chance of experiencing another episode of homelessness.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs.

The County funds and supports the local network of service providers which provide homelessness prevention services to households in danger of homelessness. By using a prevention strategy, service providers are better able to help households maintain stability in their housing. In order to maintain stability, financial assistance for rent, mortgage, utility and other household necessities is provided by partner agencies. The programs also provide case management and referral services to assist that family in overcoming the challenges that brought them to the brink of homelessness. The County is partnering with and supporting Colorado Legal Services to target individuals and families on the brink of losing their current housing due to an eviction. Services are provided by appointment at a Westminster Public Library (Irving St.) as well as a walk-in basis at the County Courthouse. Service providers are also working to coordinate and implement a diversion or rapid resolution program for people who may

resolve their housing crisis before entering the homelessness service system. The County is also proactively looking at zoning and code to preserve and prevent displacement of current mobile home communities.

Discussion

Not required - NA

AP-75 Barriers to affordable housing -91.420, 91.220(j)

Introduction

Over the last decade Adams County has experienced a wide range of economic and demographic transitions. These transitions have led to a county that can pride itself on becoming a desirable destination for those looking to live in a community that is inclusive and that provides lifestyle opportunities that fail to exist in other areas in the seven (7) county Denver Metro region (Adams, Arapahoe, Boulder, Broomfield, Denver, Douglas and Jefferson). The County's current housing climate and geographic location have contributed to the County's growing population – fifth largest and second fastest in the region. In addition, a diversity of land uses from dense cities to suburbs and open range-land, gives the County a unique identity aiding in its growth. The resulting pressures of this growth and housing stock demands have pushed housing prices to a point where many residents struggle to either find attainable housing or maintain their housing.

In a proactive effort to create solutions to the County's housing challenges, the County commissioned the 2017 Housing Needs Assessment (HNA). The HNA created a thorough economic and demographic description of the County, including its strengths and challenges as they relate to housing. The HNA identified findings that were then presented to various stakeholders who provided valuable input and possible solutions. This input also helped build the framework for developing the County's 2018 Balanced Housing Plan (BHP). The BHP's purpose is to take the information collected from the HNA and stakeholder input, and present defined goals and outcomes through a multifaceted and collaborative approach. This plan is truly a balanced housing plan as it seeks to build a platform that allows all areas of the County to achieve housing of all types, and meets the needs of the County's diverse and growing population.

BHP provides recommendations on how to address the following findings:

- Finding 1: Housing is less affordable
- Finding 2: Increasing affordability gap at all income levels
- Finding 3: Housing supply is not meeting demand
- Finding 4: Adams County has distinct socioeconomics

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

Adams County has identified affordable housing as a high priority and has moved to address this through several planning efforts including the Adams County 2015-2019 Con Plan. Through the

development of the HNA and BHP, the county focused on creating a plan that provides a roadmap to addressing some of the County's housing barriers by focusing on a balance of the housing.

Balanced Housing is achieved by a community's ability to provide a variety of housing choices that reflect an individual's financial and lifestyle needs. By recognizing that housing needs are shaped by access to jobs, education, and amenities, the BHP is designed as a guide for the County as it strives to provide its residents with housing opportunities that meet their needs and achieving a greater quality of life. The BHP was the next step in county-wide recommendations and set forth the following goals and policies:

Goals

1. Utilize New and Existing Tools
2. Reduce constraints to development
3. Expand Opportunities

Policies

1. Improve and support housing opportunities for all residents in Adams County
2. Foster an environment the promotes "balanced housing"
3. Encourage connection and access between schools and housing
4. Promote the preservation of the County's current housing stock
5. Integrate development practices the increase diversity in housing options

Discussion

Not required - NA

AP-85 Other Actions - 91.420, 91.220(k)

Introduction

Actions planned to address obstacles to meeting underserved needs

Adams County is a large county making it difficult to adequately deliver services to both urban and rural constituencies. The mixture of urban and rural land throughout the county poses both service delivery and service recipient challenges. Many of the core agencies are located in the more urban portions of the County which makes service delivery in the eastern and northern rural portions of the county difficult. The lack of adequate transportation and service providers in the rural areas are a hindrance to meeting the needs of the underserved throughout the County.

One of the major problems associated with meeting the needs of the underserved is the levels of funding. In today's economy, more and more county residents are requesting services, which places strains on the County's capacity to adequately provide appropriate care.

One of the areas of weakness that Adams County continues to face is a fully functional referral system. This can be attributed to the recent funding uncertainties within all federally-funded areas (TANF, Food Stamps, Medicaid, etc.) and the vast geographic parameters of service-delivery agencies. The County is working to increase the availability of information for both service-providers and residents. The County and local service-delivery agencies strive to increase the availability of information online, to minimize the number of unassisted referrals. With additional collaboration with the County's public information office, Communications, the County hopes to increase its outreach at community meetings hosted by other departments, public input gained through public hearings, working with senior centers, non-profits who work directly with citizens, and County Poverty Symposiums with regional non-profits addressing the reduction of poverty.

Actions planned to foster and maintain affordable housing

Adams County has made new construction of affordable rental housing and preservation of existing affordable housing priorities for receiving HOME and CDBG funds. Adams County works with the local housing authorities, nonprofit housing agencies and private developers to expand and preserve the affordable housing stock throughout the county.

Actions planned to reduce lead-based paint hazards

The local Housing Authorities, the Minor Home Repair Program, and other Section 8 provider agencies strictly adhere to the Uniform Property Condition Standards (UPCS) for public housing and Section 8 tenants, and the Lead Safe Housing Rule. Housing Authorities will not allow Section 8 tenants to rent units with lead hazards that are not mitigated by the landlord. In addition, all units owned and purchased and rehabilitated by the housing authorities are mitigated for lead.

Grantees receiving HOME or CDBG funds to purchase and renovate properties which contain lead-based paint are responsible for paying for and coordinating detection and mitigation of lead hazards within the property.

The Adams County Minor Home Repair program requires lead hazard testing when conducting rehabilitation that could involve lead-based paint, and achieve clearance from certified inspectors when the rehabilitation is required per 24 CFR Part 58. All work is completed in accordance with the Lead Safe Housing Rule.

Actions planned to reduce the number of poverty-level families

The Adams County Workforce and Business Center, the County's Community Enrichment Committee, local municipalities, and community agencies work together to identify the emergent employment needs of the low income population and develop appropriate responses to these needs. The Workforce and Business Center provides routine classes and training to enhance the skills of the emerging labor force. The County can also identify qualified and interested business owners, potential business owners and small business owners, as well as those interested in learning a new trade, all of which will foster a comprehensive Section 3 list for future projects. Housing authorities and housing providers are engaged to identify those residents in need of training and/or interested in participating with the Section 3 initiative.

The UHP provides self-sufficiency services to residents of their housing units and clients of the Section 8 voucher program. The FSS program has a proven track record of helping residents gain the skills

necessary to move themselves out of poverty.

Actions planned to develop institutional structure

The County is the lead agency in both the CDBG Urban County and the HOME Consortia. Adams County's Urban County consists of:

- Town of Bennett
 - City of Brighton
 - City of Federal Heights
 - City of Northglenn
- Every three years, these jurisdictions are re-invited to renew their Intergovernmental Agreement (IGA) with the County. Each of them receives a percentage of the County's CDBG allocation based on a formula allocation (total and low-income populations). As the lead agency, the County monitors each jurisdiction's projects to ensure they meet national objectives, eligibility, and compliance issues such as environmental review clearances. All projects are assessed through an application process for eligibility and feasibility. In addition to the Urban County, Adams County leads a HOME Consortia with the cities of Westminster and Thornton. A percentage of the county's annual HOME allocation is reserved to each of these municipalities based on a formula determined and posted annually by HUD. The County recertified the HOME Consortia and Urban County IGAs for an additional three (3) year period in 2019. The County also provides portions of its HOME allocation to: Community Development Housing Organizations (CHDO's) (15% requirement) Local Housing Authorities Non-profit housing developers For-profit developers Adams County has increased CHDO qualification strategies to align with the 2013 HOME Final Rule amendments and HUD best practices. Adams County will continue to seek and certifying new CHDOs throughout the County for the purposes of expanding the County's capacity to undertake projects. The County also provides operating expenses to certified CHDOs to help increase capacity and administer HOME projects.

Actions planned to enhance coordination between public and private housing and social service agencies

Adams County will continue efforts to provide technical assistance to community partners as part of its coordination between public and private housing and social service agencies, as well as encouraging sub-recipients to work together to leverage resources and knowledge. The County fosters collaboration between departments to determine the highest and best use of all funding received by the division. These departments include, but not limited to, Public Works, Human Services, Workforce Business Center, and the County Manager's Office and other partners to strengthen the delivery of

services to all areas of the County.

Discussion

Not required - NA

Program Specific Requirements

AP-90 Program Specific Requirements - 91.420, 91.220(I)(1,2,4)

Introduction

Community Development Block Grant Program (CDBG)

Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	80.00%

HOME Investment Partnership Program (HOME)

Reference 24 CFR 91.220(I)(2)

1. A description of other forms of investment being used beyond those identified in Section 92.205 is as follows:

Adams County is not utilizing other forms of investment outside as outlined in CFR 92.205.

2. A description of the guidelines that will be used for resale or recapture of HOME funds when used for homebuyer activities as required in 92.254, is as follows:

In regard to activities carried out during the 2019 program year (identified in the 2017 AAP), recapture provisions are relevant to the Community Resources and Housing Development Corporation's (CRHDC) proposed HOME activities for low-to-moderate income homebuyers.

CRHDC will acquire and rehabilitate affordable homes and sell to eligible homebuyers. Through this program, the homebuyer will also receive HOME assistance by the reduction of the purchase price of the home through the utilization of HOME funds for acquisition and rehabilitation. Proceeds from the sale of the property to an eligible homebuyer will be returned to the County as program income and revolved back into another home for acquisition and rehabilitation – similar to NSP. The HOME assistance provided to the homebuyer will follow Recapture Provisions as set forth in a Deed of Trust and Promissory Note to reduce/forgive the direct subsidy of the HOME investment on a pro-rata basis for the amount of time the homeowner owned and occupied the housing measured against the affordability period. The recaptured amount is not based on net-proceeds of the sale of the home, it is based solely on the amount that has not been forgiven. The period of affordability will be set by the applicable period in the HOME rule based on the direct subsidy amount. Resale provisions will not apply to this activity.

The County will not be participating in the First Time Homebuyer Program (FTHB) program in the 2019 program year; however, it is expected that there will be recapture from FTHB participants who did not meet the affordability period. UHP operated the FTHB program, and adhered to the affordability requirements as set forth in 24 CFR Part 92.254(a)(4) based on the per unit direct HOME subsidy a on a pro-rata basis per the recapture provision. The recaptured amount is not based on net-proceeds of the sale of the home, it is based solely on the amount that has not been forgiven.

3. A description of the guidelines for resale or recapture that ensures the affordability of units acquired with HOME funds? See 24 CFR 92.254(a)(4) are as follows:

The period of affordability is set by the applicable period in the HOME rule based on the direct subsidy amount to the homebuyer, which will be as outlined in the Deed of Trust and Promissory Note. The direct subsidy amount is determined by the difference in reduced purchase price and market value. The recorded Deed of Trust secures the HOME direct subsidy for the term of the affordability period and references the Promissory Note which outlines the recapture provisions.

Recapture provisions reduce/forgive the HOME investment on a pro-rata basis for the amount of

time the homebuyer owned and occupied the housing measured against the affordability period. For example, if \$10,000 in direct subsidy was provided with a five (5) year affordability period and the homeowner sells the home after two (2) years, the affordability period would not be met. The homeowner would then be required to pay 60% of the direct subsidy or \$6,000 in recapture, while \$4,000 is forgiven. If the homeowner refinances and stays in the home, the affordability period is still being met and no payments are due to the County. If the homeowner refinances to take cash out or takes out a home equity loan, the affordability period is not met and the homeowner is obligated to pay the remaining balance of the loan as outlined above. The County will never recapture more than the unforgiven amount of the direct subsidy.

As part of the County's annual monitoring process, CRHDC will be required to submit annual monitoring documents to ensure continued occupancy.

4. Plans for using HOME funds to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds along with a description of the refinancing guidelines required that will be used under 24 CFR 92.206(b), are as follows:

24 CFR 92.206 does not apply as the County does not utilize HOME funds to refinance existing debt of multi-family housing.

Emergency Solutions Grant (ESG)

1. Include written standards for providing ESG assistance (may include as attachment)

NA

2. If the Continuum of Care has established centralized or coordinated assessment system that meets HUD requirements, describe that centralized or coordinated assessment system.

NA

3. Identify the process for making sub-awards and describe how the ESG allocation available to private nonprofit organizations (including community and faith-based organizations).

NA

4. If the jurisdiction is unable to meet the homeless participation requirement in 24 CFR 576.405(a), the jurisdiction must specify its plan for reaching out to and consulting with

homeless or formerly homeless individuals in considering policies and funding decisions regarding facilities and services funded under ESG.

NA

5. Describe performance standards for evaluating ESG.

NA

NA



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Lease – Workforce Business Center – Brighton Location
FROM: Nicci Beauprez, Project Manager – Land & Assets
AGENCY/DEPARTMENT: Facilities & Fleet Management
HEARD AT STUDY SESSION ON: AIR 9/15/2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the Commercial Property Lease between Adams County and Sandra Rostie.

BACKGROUND:

The Brighton Workforce Center is one of six Workforce Centers (WBC) in Colorado that has been federally designated as a Significant Office. As such, the WBC must have a full-service office located in Brighton. This program is operated under the direction of the United States Department of Labor (USDOL) Employment and Training Administration (ETA). Staff toured available properties to lease and surveyed tolerances thereto. The site at 36 South 18th Avenue, Unit A, in Brighton was approved and preferred by the program administration. To that, the lease offers a three-year term with two one-year renewal options, totaling 5 years. The initial annual base rent is \$ 31,200, reoccurring costs associated with the property are estimated on an annual basis to be \$ 15,700 and includes EVS/Janitorial, Maintenance, ITi, and Utilities.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's office, County Attorney's office, Human Services Center - Workforce Business Center, Facilities and Fleet Management

ATTACHED DOCUMENTS:

Resolution
Commercial Property Lease

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 1091

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7915		530,510
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>530,510</u>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

Final estimates have been requested and the costs associated are: Annual base rent of \$31,200, reoccurring costs (annual estimates): EVS/Janitorial, Maintenance, ITi, & Utilities of \$15,700, and one-time move costs including furnishings repurposed is estimated at \$ 13,100.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING COMMERCIAL PROPERTY LEASE
BETWEEN SANDRA ROSTIE AND ADAMS COUNTY FOR
36 SOUTH 18th AVENUE – UNIT A

Resolution 20xx-xxx

WHEREAS, Adams County (the “County”) wishes to lease a portion of 36 South 18th Avenue in Brighton, Colorado for use of offering Social Services, Workforce, and Business Center offices; and,

WHEREAS, Sandra Rostie (the “Landlord”) wishes to lease that portion designated as Unit A (the “Property”) to the County according to the terms and conditions of the attached Commercial Property Lease; and,

WHEREAS, the proposed use of the lease space at the Property is a legitimate governmental use and County leases space in other locations for the same purpose, and this will enhance access to and the welfare of residents of Brighton and surrounding areas within Adams County; and,

WHEREAS, commencement of the lease begins upon approval by the Board of County Commissioners, and with an initial term of three years, plus two one-year renewal options, for an initial annual base rent of \$31,200.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Commercial Property Lease between Adams County and Sandra Rostie for Brighton Workforce Business offices, a copy of which is attached hereto, is hereby approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is authorized to execute said Commercial Property Lease on behalf of Adams County.

Commercial Property Lease

Sandra Rostie

36 So. 18th Ave - Unit A
Brighton CO 80601

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.....

This agreement to lease commercial zoned property (Lease) is made and entered into by and between **Sandra Rostie** ("Landlord") and **Adams County, Colorado** ("Tenant"), Collectively the "Parties", on this _____ day of August, 2020 (the "Effective Date").

BASIC LEASE PROVISIONS

1. **Tenant:** Adams County, Colorado, a political subdivision of the State of Colorado
2. **Description of Premises hereby collectively referred to as the Property:** Rostie Professional Plaza: 36 South 18th Ave, Brighton CO 80601
 - Usable Area: The entirety of the rentable areas as well as the right to use in common with others the common sidewalk areas, access ways and parking areas, and other areas designated by Landlord from time to time for public use in common with Landlord, other Tenants or occupants of the property, and their visitors, invitees, employees, agents and contractors (the "Common Areas"). The Common Areas will be subject to the exclusive management and control of Landlord.
 - Rentable Area of the Property ("rsf"): A portion of Lot 2, Bridge Square Subdivision being more particularly described as Unit A. Tenants proportionate share shall be computed as 11% of the total rentable square foot of the building within the Usable Area and includes 1,600 square feet, rsf, as depicted in Exhibit A.
3. **Term:** A period beginning on the Commencement Date and ending on the Expiration Date, unless terminated according to this Lease.
4. **Commencement Date:** Upon occupancy.
5. **Rent commencement:** rents and fees will commence upon occupancy, should occupancy be other than the first day of any applicable month, rents and fees will be prorated on a per day basis for the first month calculated at 1/30th of the applicable monthly rent for each day that applies..
7. **Expiration Date:** The last day of the 36th month following the commencement date of this agreement.
8. **Extension Option:** Tenant has the option to extend this agreement for two additional periods of 12-months following the expiration of the initial 36-month period.
9. **Base Rent:** The base rent shall be calculated at \$16.00 per rentable square foot identified above with an increase of %2.25 commencing on the first month full month of each lease year as illustrated in the table below.

Example: 1,600 rsf x \$16.00/rsf per year = \$25,600 Annual Base Rent

Period – Months	Annual Base	Mo Base (*2.25% annual increase)	Mo Additional Rent (CAM Charges)	Mo Pmt
1-12	\$25,600.00	\$2,133.33	\$466.67	\$2,600.00
13-24	\$26,176.00	\$2,181.33*	\$490.00 (est)	\$2,671.33 (est)
25-36	\$26,764.96	\$2,230.41*	\$514.50 (est)	\$2,744.90 (est)
Extension Option Period				
37-48	\$27,367.17	\$2,280.59*	\$540.22 (est)	\$2,820.81 (est)
49-60	\$27,982.93	\$2,331.91*	\$567.23 (est)	\$2,899.14 (est)

Additional Provisions:

A. **Insurance:** Landlord shall be responsible for maintaining insurance for the building and grounds covering damage or destruction, and or loss of use. Such insurance will not cover any personal property or trade fixtures belonging to Tenant or Tenants’ clients or insure against any liability the Tenant or their clients may incur from use of the building.

B. **Taxes:** Tenant is an entity exempt from property taxes, no charges for such will be billed to Tenant though rent, CAM, or other charges. Landlord will apply for waiver through the applicable governing bodies. In the event that waiver of property taxes is denied or until approved, Tenant will be responsible for and reimburse Landlord for the annual property tax liability reflective of Tenants proportionate share as described in the Basic Lease Provisions Rentable Area above. The Parties agree, when applicable, the calculations for such tax liability shall be pro-rated based on Tenant’s occupancy of the Rentable Area, if not occupied by Tenant for the entire year, by using 1/365th for each day that applies to Tenants occupancy.

C. **Maintenance and Grounds:** Tenant will pay their portion of the grounds and common area maintenance (CAM) costs on that estimated per square foot basis described in the Basic Lease Provisions Rentable Area above.

D. **Utilities:** The Tenant(s) shall arrange prior to occupancy for billing to Tenant address, in Tenants name, and be responsible to pay for the following utilities: 1. Electricity 2. Gas 3. Any internet or phone or other desired services. Tenant is responsible for paying all transfer fees assessed by the Utility Companies. Tenant agrees to provide continuous utility service from the date of move in or beginning of the lease, whichever comes first, for which Tenant is responsible for, as noted above, for the entire term of the lease. Landlord will provide water to the unit, Landlord will provide communal trash receptacles on the property to be used at the Tenants convenience, Tenant’s reimbursement to Landlord for water, trash and other fees will be calculated in the regular CAM fees.

E. **Signage:** Landlord will at Landlords expense provide signage for Tenant in the space dedicated to the applicable unit in the marquee. Tenant may at Tenants expense, use vinyl stickers or other similar temporary signage on windows and doors servicing Tenants space. No permanent signage will be attached to the building.

F. **Early Termination:** Tenant may terminate this agreement without penalty in accordance with the conditions stated here:

G. County Fund Availability Termination Clause

1. Payments made pursuant to this Lease, whether in whole or in part, are subject to and contingent upon the continuing availability of County Funds ("County Funds") for the purposes hereof. In the event that said County Funds, or any part thereof, become unavailable as determined by Tenant, then Tenant may terminate this Lease with ninety (90) days written notice to Landlord. Termination of Lease by Tenant.

2. **New Facility Termination:** In addition to Section G.1 above regarding termination provisions set forth therein, Tenant shall also have a continuing right to terminate the Lease as follows: if Tenant has acquired or constructed a building that can accommodate the business function that is proposed as the permitted use in Unit A., Tenant may exercise this option to terminate the Lease by giving written notice of the termination to Landlord not later than six (6) months prior to the date of Lease termination.

3. **Tabor:** This Lease shall not constitute a multi-year fiscal obligation. This Lease is subject to annual appropriation. In the event the County fails to appropriate sufficient funds for this Lease in any given fiscal year, County may terminate this Lease.

H. **Tenant Improvement and Allowance:** ("TIA") N/A

I. **Security Deposit :** None, Security deposit will be waived.

J. **Broker:** ReMax Momentum Realty for Landlord. CBRE for Tenant, as represented through 6/24/21 and as amended.

K. **Permitted Use:** Professional office to support the needs of the County.

Exhibits B & C attached hereto are hereby incorporated into this lease.

Addresses for Notices: To Tenant: Adams County, Colorado: Nicci Beauprez

Project Manager – Land and Assets 720.523.6060

NBeauprez@adcogov.org

4430 S Adams County Pkwy, Brighton, CO 80601

With a copy to

County Attorney's Office

4430 S Adams County PKWY

Brighton CO 80601

To Landlord: Sandra Rostie

24100 E 160th Ave

Brighton CO 80603 Phone:303-548-2249

Email: sandraro@comcast.net

STANDARD LEASE PROVISIONS

ARTICLE 1 – PREMISES.

Landlord leases the Property to Tenant, and Tenant leases the Property from Landlord for the Term according to this Lease. The Rentable and Usable Areas of the Property have been determined substantially in accordance with the standard method for measuring floor area and is not subject to remeasurement. Except as set forth in this Lease, Landlord has not made any representation or warranty with respect to the condition of the Property or grounds or their suitability or fitness for the conduct of the Permitted Use, and Tenant acknowledges that it has had a full opportunity to make its own determination in this regard. Tenant acknowledges that the "Rentable Area" of the Property shall consist of the "Usable Area" of the Property, together with an allocation of certain Building common areas and services areas.

ARTICLE 2 – TERM:

2.1 The Term is for a period of Three (3) Lease Years consisting of 36 months and will commence on the Commencement Date. Tenant is deemed to occupy the Property when Tenant takes possession of any part of the Property for any purpose, including placing furniture and installing Tenant's equipment in the Property. Thirty days prior to the anticipated Commencement Date, Tenant, at its expense, along with contractors or agents, shall be permitted to enter the Property for the purpose of installing its movable trade fixtures, furnishings and equipment with no obligation to pay Base Rent or Additional Rent for such period. Further, Tenant, or its agents, employees or contractors shall not interfere with the performance by Landlord of the Tenant Improvements. If any dispute arises regarding the Commencement Date, the date of the issuance of the approval by Tenants governing board shall be binding upon Landlord and Tenant.

2.2 "Lease Year" means each consecutive twelve (12) month period during the Term; however, the first Lease Year will commence on the Lease Commencement Date and end on the last day of the month in which the first anniversary of the Commencement Date occurs and the second and each succeeding Lease Year will commence on the first day of the next month.

2.3 "Option Term" means Tenant will have the option to extend this agreement for 2 separate 1-year terms. Tenant must provide written notice to exercise this option not less than ninety (90) days, prior to the then current Termination date.

(a) Cam Charges for the two (2) option years will be evaluated and charged according to the actual cost of utilities and other expenses at the time of the execution of said option.

ARTICLE 3 – RENT; LATE CHARGES.

3.1 Base Rent; Rent. Tenant agrees to pay Base Rent for the Property in consecutive, monthly installments, in advance, commencing on the Commencement Date and continuing the first day of each calendar month. If the Commencement Date is a day other than the first day of a month, the Base Rent for that month will be calculated on a per diem basis as outlined in Basic Lease Provisions above, and shall include the Commencement Date and will be due and payable within 30 days of Tenants receipt of an invoice. Tenants failure to receive invoices will not mitigate tenants financial responsibility related to this contract, however issues regarding the receipt of invoicing will void applicable late fees and default

penalties that may apply in regards to late payments. All amounts (other than Base Rent) payable by Tenant to Landlord are called "Additional Rent." Base Rent and Additional Rent are sometimes called "Rent." Additional Rents shall be assessed on a monthly basis and as reconciled periodically for the period that applies, typically annually. Additional Rents are due and payable within 30-days of Tenants receipt of said invoice. Rent shall be paid in lawful money of the United States and without any abatement, offset or deduction whatsoever, unless indicated otherwise herein, and at Landlord's Address or to such other person or to such other place as Landlord may from time to time designate in writing to Tenant.

3.2 Late Charge; Interest. The late payment of Rent will cause Landlord to incur administrative costs and other damages, the exact amount of which would be impracticable or extremely difficult to ascertain. Landlord and Tenant agree that if Landlord does not receive any such payment on or before the date thirty (30) days after the date the payment is due or invoice is received, Tenant will pay to Landlord, as Additional Rent, (a) a late charge ("Late Charge") equal to five percent (5%) of the overdue amount to cover additional administrative costs, and (b) interest on all amounts more than 30 days overdue at a rate of (18%) per annum (the "Interest Rate") from the date due until the date paid. Landlord may accept partial payments without prejudice to Landlord's right to pursue any other remedy in this Lease.

ARTICLE 4 – OPERATING EXPENSES.

4.1 Payment of Operating Expenses.

(a) In addition to Base Rent, Tenant will pay Tenant's Common Areas fees allocable to each calendar year for the sake of efficiency, Landlord is combining the Operating Expenses incurred in operating, maintaining, managing and repairing the property.

(b) "Operating Expenses" means all costs, fees, amounts, disbursements and expenses of every kind and nature paid or incurred by or on behalf of Landlord with respect to any Expense Year in connection with the operation, ownership, maintenance, insurance, restoration, management, replacement or repair of the Property a similar to existing class manner, including, without limitation, any amounts paid or incurred with respect to:

- (1) insuring (including, but not limited to, fire and extended coverage insurance on the Project Office Space), insurance against liability for personal injury, death and property damage and workmen's compensation insurance, business interruption insurance and rent loss insurance;
- (2) removal of snow, ice and debris;
- (3) cost and expense of routine maintenance of landscape and exterior plants
- (4) expense of administrative overhead costs, including, but not limited to, reasonable management fees, legal, accounting, or other such administrative costs as may be necessary for the regular operation of the property.
- (5) Water service and sewer service for the property

4.2 Operating Expenses do not include:

(a). expenses relating to leasing the property, Tenant improvements, leasing and brokerage commissions and advertising expenses;

(b). legal fees and disbursements incurred for negotiation of leases

(c). Costs of replacement of mechanical HVAC, electrical, or life safety systems unless specifically permitted by this Section;

(d). Utility services including but not limited to; gas, electric, water or other that is required for the common use of the building.

(e). All decisions regarding Operating Expenses will be made in accordance with the good faith determination of Landlord applying sound accounting and property management principles consistently applied. From time to time Landlord will have the right to expand or contract the amount, scope, level or types of services, work, items or benefits, the cost of which is included within Operating Expenses, so long as Landlord's treatment of them for purposes of the calculation of Operating Expenses is generally consistent. All discounts, reimbursements, rebates, refunds, or credits (collectively, "Reimbursements") attributable to Landlord's out-of-pocket costs included in Operating Expenses received by Landlord in a particular year will be deducted from Operating Expenses in the year they are received. such. In the event that tenant is no longer occupying the property and is due a rebate or reimbursement of any kind, such rebate shall be disbursed to tenant within 30 days of the annual calculation of operating expenses.

(f). State, County, or Municipal taxes for the unit of portion of the property occupied by Tenant.

4.3 Review of Landlord's Statement. So long as no Event of Default then exists, Tenant may request, in writing, to review Landlord's supporting books and records for any Operating Expenses during the period of the lease and for substantiating proof.

ARTICLE 5 – TENANT IMPROVEMENTS.

5.1 The property is offered in "as is" condition, the Landlord will not be expected to improve the property in any way to accommodate the Tenants use.

5.2 Landlord will allow Tenant to make reasonable improvements at Tenant's expense.

5.3 All Tenant improvements must be approved by Landlord in writing prior to commencement.

ARTICLE 6 – USE OF PREMISES.

6.1 Tenant's Permitted Use. Tenant will use the Premises for the Permitted Use and no other purpose.

6.2 Tenants use will comply with all Laws and other governmental requirements.

(a) Tenant, at its cost, will obtain and maintain in full force and effect all governmental licenses, approvals and permits required to allow Tenant to conduct the Permitted Use. Tenant will timely take all action required to cause the Property to comply in all respects with all laws, ordinances, rules, regulations, orders and directives of any governmental authority having jurisdiction and recorded documents (including, without limitation, any certificate of occupancy) now or in the future which are applicable to the Property (collectively, "Laws"), including, without limitation, any Law requiring any form of improvement or alteration to the Property. Landlord warrants that to the best of their knowledge the Property complies with the Americans with Disabilities Act (ADA), and Landlord shall be responsible for Property's continued compliance with the ADA.

(b) Tenant will not use the Property, or permit the Property to be used, in any manner, or do or suffer any act in or about the Property which: 1. violates or conflicts with any applicable Law; 2. causes or is reasonably likely to cause damage to the Property including, without limitation, the life safety, electrical, heating, ventilation and air conditioning ("HVAC"), plumbing or sprinkler systems 3. violates a requirement or condition of any policy of insurance covering the Property or Landlord or increases the cost of such policy; 4. constitutes or is reasonably likely to constitute a nuisance.

6.3 Hazardous Materials. No Hazardous Materials will be Handled (defined below) upon, about, in, above or beneath the Property or grounds by or on behalf of Tenant, its subTenants or its assignees, or their respective contractors, clients, officers, directors, employees, agents, or invitees (collectively, a "Tenant Party"); however, quantities of those Hazardous Materials customarily used in the conduct of general administrative and executive office activities such as copier fluids and cleaning supplies, may be used and stored at the Property without Landlord's prior written consent, but only in compliance with all applicable Environmental Laws (defined below), and with the highest prevailing industry standards. Tenant will, at its sole cost and expense, promptly take all actions (or at Landlord's election, reimburse Landlord for taking all actions) required by any Law that arises in connection with Tenant's Handling of Hazardous Materials. Such actions will include, but not be limited to, the investigation of the environmental condition of the Property, the preparation of any feasibility studies or reports and the performance of any cleanup, remediation, removal or restoration work. Tenant will take all actions (or, at Landlord's election, reimburse Landlord for taking all actions) necessary to restore the Property to the condition existing prior to the introduction of Tenant's Hazardous Materials, despite any less stringent standards or remediation allowable under applicable Environmental Laws. "Environmental Laws" means all Laws regulating, relating to, or imposing liability or standards of conduct concerning public health and safety or the environment. "Hazardous Materials" means: (a) any material or substance: 1. that is defined or becomes defined as a "hazardous substance," "hazardous waste," "infectious waste," "chemical mixture or substance," or "air pollutant" under Environmental Laws; 2. containing petroleum, crude oil or any fraction of them; 3. containing polychlorinated biphenyls (PCB's); 4. that constitutes asbestos or asbestos-containing material; 5. that is radioactive; 6. that is infectious; or (b) any other material or substance displaying toxic, reactive, ignitable or corrosive characteristics, as all such terms are used in their broadest sense. "Handle" means any installation, handling, generation, storage, treatment, use, disposal, discharge, release, manufacture, refinement, presence, migration, emission, abatement, removal, transportation, or any other activity of any type in connection with or involving Hazardous Materials.

6.4 Additional Taxes. Tenant is a tax-exempt government body; no pass-through taxes will apply.

6.5 Waiver of Liability and Indemnification. Tenant will, to the extent allowed by law, indemnify defend, protect and hold harmless Landlord and each of the Landlord Parties (except to the extent the losses described below are caused by the negligence or willful misconduct of Landlord, its agents or employees, or other Tenants), from and against any and all claims, losses, damages, obligations, liabilities, costs and expenses (including, but not limited to, reasonable attorneys' fees and legal costs) (collectively, "Claims, Damages and Costs") that arise out of, is occasioned by or is in any way attributable to

(a) Tenant's use or occupancy of the Property, or

(b) the acts or omissions of Tenant or any Tenant Party Tenant will, to the extent allowed by law, indemnify, defend, protect and hold harmless Landlord and each of the Landlord Parties (except to the extent the losses described below are caused by the negligence or willful misconduct of Landlord, its agents, or employees), from and against any and all environmental damages that arise from the Handling of Tenant's Hazardous Materials. "Environmental Damages" means all claims, judgments, damages, penalties, fines, costs, liabilities, and losses; all sums paid for settlement of claims, reasonable attorneys' fees, consultants' fees and experts' fees; and all costs incurred by Landlord in connection with investigation or remediation relating to the Handling of Tenant's Hazardous Materials.

(c) Nothing in this Lease shall be interpreted as waiving the Tenant's use of the Colorado Governmental Immunity Act.

ARTICLE 7 – MAINTENANCE AND REPAIRS.

7.1 Tenant's Obligations. Tenant will, at its sole cost and expense,

(a) Maintain the interior of the Property in good order and repair and in a safe, clean and neat condition.

(b) Make any and all repairs to the interior of the Property required with replacements of any materials to be made by use of materials of equal or better quality than those existing.

(c) Perform regular maintenance as recommended by manufacturer on HVAC (mechanical heating and air conditioning system dedicated to the specific unit.

(d) Maintain any electrical systems from the point in which they enter the unit, including lighting, plugs, switches, bulbs, or any other electrical fixture or appliance inside the leased unit.

(e) Maintain any piping or plumbing fixtures from the point which they enter the unit, including sinks, toilets, wash station and drains. Tenant will be responsible for all drain blockages caused by Tenants use.

(d) Tenant is responsible for all glass, including windows, doors, that serve their unit.

(e) Further, Tenant will be responsible during the term of this agreement for, and upon demand promptly reimburse Landlord for, any damage to any portion of Property or grounds caused by

(f) the performance or existence of any alterations, additions or improvements made by Tenant or for Tenant to the Property;

(g) the installation, use, operation or movement of Tenant's personal property in or about the Property;

(h) any act or omission by Tenant or any person permitted in or invited to the Property or grounds by Tenant.

7.2 Landlord's Obligation. Landlord will at Landlord's expense

(a) Repair and or Replace in a timely manner any "catastrophic" failure of the HVAC system not attributed to lack of regular maintenance as determined by a licensed technician.

(b) Maintain and repair or if needed replace in a timely manner all, plumbing, electrical, and mechanical systems from the point at which they exit the Tenant's unit, and any associated damage due to backup or discharge, except where such event is determined to be caused by tenants miss use of any such system

(c) Maintain and repair or if needed replace in a timely manner the hot water system which serves the building

(d) Maintain the exterior of the building including, wall, roofs, all parking areas including sidewalks, land scaping, and community areas.

7.3 Landlord's Rights. Landlord and its contractors will have the right, at all reasonable times, to enter upon the Property to make any repairs to the Property or fixtures reasonably required or deemed reasonably necessary by Landlord and to erect such equipment, including scaffolding, as is reasonably necessary to effect such repairs. In the event of any failure of Tenant to perform any of its obligations under this Article 7, or under Article 8 or Article 10, where such failure remains uncured for ten (10) days after delivery by Landlord to Tenant of written notice of such failure (or in the case of an emergency, after such oral or written notice, if any, as may be practical under the circumstances), Landlord may (but will not be obligated to) elect to perform such obligation of Tenant at Tenant's sole cost and expense, and in the event of such performance by Landlord, Tenant will pay to Landlord within ten (10) days of written demand one hundred ten percent (110%) of Landlord's actual direct and indirect costs (including interest, overhead, general conditions and administration) in performing obligations of Tenant.

ARTICLE 8- ALTERATIONS.

8.1 Landlord's Consent; Conditions. Tenant will not make or permit to be made any alterations, additions, or improvements in or to the Property ("Alterations") that could effect the use of the unit without first obtaining the prior written consent of Landlord, which consent will be requested in writing not less than fifteen (15) business days prior to the scheduled and actual commencement of any Alterations. Landlord will at no time be required to alter the property at Landlord expense after the commencement of this contract.

8.2 **Performance of Alterations Work.** All work relating to the Alterations will be performed in compliance with the plans and specifications approved by Landlord, all applicable Laws, ordinances, rules, regulations and directives of all governmental authorities having jurisdiction over the property and meet the requirements of all carriers of insurance on the Property

ARTICLE 9 – SURRENDER

At the end of this Lease, Tenant will surrender the Property to Landlord in the similar condition as when received at the inception of this Lease, subject to ordinary wear and tear. Alterations will become a part of the Property and will become the property of Landlord at the end of this Lease. Tenant will promptly remove, prior to the end of this Lease; any Alterations made by the Tenant or Landlord for the Tenants specific use as may be designated by Landlord and will promptly restore, patch and repair any resulting damage, all at Tenant's expense. All business and trade fixtures, machinery and equipment, furniture, movable partitions and items of personal property owned by Tenant or installed by Tenant at its expense in the Property will be and remain the property of Tenant; upon the end of this Lease. Tenant will, at its sole expense, remove all such items and repair any damage to the Property, common areas or grounds caused by such removal. If Tenant fails to remove any such items or repair such damage promptly before the end of this Lease, Tenant will be deemed to have abandoned it; Landlord may store it at Tenant's expense or appropriate it for itself, or sell or dispense of it in its discretion, with no liability to Tenant.

ARTICLE 10 – INSURANCE; WAIVER; INDEMNIFICATION.

10.1 **Property Insurance.** Landlord will maintain at its sole expense, property insurance in an amount not less than one hundred percent (100%) of replacement cost of the property. This policy will not cover Tenant's office furniture, business and personal trade fixtures, equipment, furniture system and other personal property from time to time situated in the Property. The proceeds of the insurance will be used for the repair and replacement of the property so insured.

10.2 **Liability Insurance.** Tenant will maintain, at its sole expense for the protection of Landlord and Tenant, commercial general liability insurance applying to the use and occupancy of the Property and the business operated by Tenant. The insurance will have a minimum combined single limit of liability of at least \$1,000,000 per occurrence and a general aggregate limit of at least \$2,000,000. All policies will be written to apply to all bodily injury (including death), property damage and personal injury losses, will include blanket contractual liability, broad form property damage, independent contractor's coverage, completed operations, products liability, cross liability and severance of interest clauses, and will be endorsed to include Landlord and its agents, property managers, beneficiaries, partners, employees, and any Holder as additional insured for general liability.

10.3 **Failure to Insure.** If Tenant fails to maintain any insurance that Tenant is required to maintain, Tenant will be liable to Landlord for any loss or cost resulting from such failure to maintain.

ARTICLE 11 – DAMAGE OR DESTRUCTION.

11.1 **Repair of the Premises.** Tenant will promptly notify Landlord in writing (a "Damage Notice") of any event, damage or condition to which this Article is or may be applicable. Landlord will, within a reasonable time after the discovery by Landlord of any damage, subject to reasonable delays for insurance adjustment or other matters beyond Landlord's reasonable control, and subject to all other

terms of this Article, begin to repair the damage to the Property resulting from such damage and will proceed with reasonable diligence to restore the Property to substantially the condition as existed immediately before such damage, except for modifications required by applicable Laws or covenants, conditions and restrictions, and modifications to the Property deemed desirable in good faith by Landlord. Landlord will not be required to repair or replace any of the Alterations, furniture, equipment, fixtures, and other improvements that may have been placed by, or at the request of, Tenant or other occupants in the Property. Landlord will have no liability for any inconvenience or annoyance to Tenant or injury to Tenant's business as a result of any damage, or Landlord's Restoration (defined in Section 0) activities hereunder, regardless of the cause therefor. Base Rent and Additional Rent, payable under Article 3, will abate if and to the extent damage occurs to the Property and as a result all or any material portion of the Property are rendered unfit for occupancy, and are not occupied by Tenant, commencing on the date Tenant vacates the affected portion of the Property and continuing until the date the Restoration to be performed by Landlord with respect to the Property is substantially complete. The abatement will be limited to the proceeds of rental interruption insurance proceeds with respect to the Property and such damage collected by Landlord.

11.2 Exceptions to Landlord's Obligations. Landlord will have no obligation to repair the Property and either party will have the right to terminate this Lease if (a) any portion of the Property is damaged and (1) Landlord estimates in good faith that the repair and restoration of such damage under Section 12 ("Restoration") cannot reasonably be completed within one hundred eighty (180) days after Landlord's actual discovery of such damage, (2) the Holder of any Security Document requires the application of any insurance proceeds with respect to such damage to be applied to the outstanding balance of the obligation secured by such Security Document, (3) the cost of Restoration is not fully covered by insurance proceeds available to Landlord (4) the Property is deemed "unrepairable" for any reason by any governing body, lean holder or insurance provider.

ARTICLE 12 – ASSIGNMENT AND SUBLETTING.

12.1 This contract may not be assigned by tenant to any other party.

12.2 The property nor any portion of the property leased to tenant under this agreement may be sublet to any other party

ARTICLE 13 - DEFAULT AND REMEDIES.

13.1 Events of Default.

- (a) Any failure by Tenant to pay any Rent in full within thirty (30) days' of the date it is due.
- (b) The making or furnishing by Tenant of any false or misleading representation.
- (c) The assignment, subletting or other Transfer, or any attempted assignment, subletting or other Transfer, of this Lease in violation of Article 16.
- (d) Any instance whereby Tenant or any general partner of Tenant will cease doing business as a going concern, make an assignment for the benefit of creditors, generally not pay its debts as they become due or admit in writing its inability to pay its debts as they become due, file a petition commencing a voluntary case under any chapter of the Bankruptcy Code, be adjudicated an insolvent, file a petition seeking for itself any reorganization, composition, readjustment, liquidation, dissolution or

similar arrangement under the Bankruptcy Code or any other present or future similar statute, law, rule or regulation, or file an answer admitting the material allegations of a petition filed against it in any such proceeding, consent to the filing of such a petition or acquiesce in the appointment of a trustee, receiver, custodian or other similar official for it or of all or any substantial part of its assets or properties, or take any action looking to its dissolution or liquidation.

(e) The appointment of a receiver, trustee or custodian to take possession of all or any substantial portion of the assets of Tenant, or the formation of any committee of Tenant's creditors, or any class of them, for the purpose of monitoring or investigating the financial affairs of Tenant or enforcing such creditors' rights.

(f) The attempted repudiation or revocation of any guaranty or assumption of this Lease or the participation by Guarantor in any event described in this Section.

(g) Any illegal activity, indictment or conviction by Tenant as it relates to the Property.

13.2 Landlord's Rights Upon Tenant Default. If an Event of Default occurs, Landlord will have the right to terminate this Lease and Demand:

(a) Any and all money's owed pertaining to Rent, additional rent, insurance, taxes or any other expenses that may be due.

(b) Any lost rent or revenue by Landlord determined to be caused by the Tenant's Default.

(c) Any other amount necessary to compensate Landlord for all the detriment expenses caused by Tenant's failure to perform its obligations under this Lease

(d) Amounts owed upon default and not paid within 30 days of Landlord's written demand will be subject to %18 interest per annual commencing on the day of the demand.

13.3 Non-Waiver. Landlord's rights to indemnification for liabilities arising before termination will survive this Lease. Landlord's acceptance of a lesser sum than the Rent then due will be on account of the earliest installment of Rent due. No endorsement or statement on any check or any letter accompanying any check or payment as Rent is an accord and satisfaction, and Landlord may accept payment without prejudice to its right to recover the balance of or pursue any other remedy. The delivery of keys to any employee or agent of Landlord will not operate as a surrender of the Premises.

13.4 Cumulative Remedies. The remedies to this Lease are cumulative and are not intended to be exclusive of any other remedies or means of redress in case of any breach or threatened breach by Tenant. In addition to the other remedies, Landlord will be entitled to an injunction of the breach or attempted or threatened specific performance of this Lease.

13.5 Default by Landlord. Landlord's failure to perform or observe any of its obligations under this Lease will constitute a default by Landlord under this Lease only if such failure will continue for a period of thirty (30) days (or the additional time, if any, that is reasonably necessary promptly and diligently to cure the failure) after Landlord receives written notice from Tenant specifying in reasonable detail the

nature and extent of the failure and the Lease provision containing the obligation in question. Subject to the remaining provisions of this Lease, following the occurrence of any such default, Tenant will have the right to pursue any remedy available under Law for such default by Landlord.

ARTICLE 14 – SUBORDINATION, ENCUMBERMENT, TRANSFER & ATTORNMENT

14.1 This lease is subject and subordinate to the lien of any trust deeds, mortgages, or similar encumbrances heretofore or hereafter executed by the Landlord upon or against the demised premises. And the Landlord expressly reserves the right to, at any time, mortgage or encumber the demised premises or the property of which the demised premises are a part, with the express agreement and understanding that such encumbrance shall be superior to and prior to this lease. The Tenant agrees to execute any instrument or instruments requested by Landlord subordinating this lease to the lien of any such trust deeds, mortgages, or encumbrances.

14.2 If any current or prospective mortgagee or ground lessor for the Property requires a modification of the Lease which will not cause an increased cost or expense to Tenant or in any other way materially and adversely change the rights and obligations of Tenant, then this Lease may be so modified and Tenant agrees to execute and deliver whatever documents are required within ten (10) days following the request therefor.

14.3 Tenant shall at any time and from time to time, upon not less than ten (10) days' prior written notice from Landlord, execute, acknowledge and deliver to Landlord a statement in writing certifying that this lease is unmodified and in full force and effect (or, if modified, stating the nature of such modification and certifying that this lease as so modified is in full force and effect) and the dates to which rental and other charges are paid in advance, if any, and acknowledging that there are not, to Tenant's knowledge, any uncured defaults on part of the Landlord hereunder or specifying such defaults, if they are claimed.

14.4 Attornment. If requested to do so, Tenant will attorn to and recognize as Tenant's Landlord any superior lessor, superior mortgagee or other purchaser or person taking title to the Building (a Holder) and Tenant will, within five (5) days of demand execute any instruments or other documents which may be required by Landlord or the Holder of any such Security Document to evidence the attornment. A Holder will have the right to subordinate any Security Documents to this Lease and in the event of the termination or transfer of Landlord's estate or interest in the Building by reason of any termination or foreclosure of the Security Documents, Tenant will attorn to and become Tenant of the successor.

ARTICLE 15 – QUIET ENJOYMENT.

Tenant will have and peaceably enjoy the Premises free from and against all persons holding an interest in the Building from and through Landlord.

ARTICLE 16 – ESTOPPEL CERTIFICATES

Tenant agrees to execute, acknowledge and deliver to Landlord from time to time a statement in writing certifying that (a) this Lease is unmodified and in full force and effect (or if there have been modifications, that this Lease is in full force and effect as modified and stating the modifications), (b) the dates to which the Rent has been paid (c) whether or not to the best knowledge of Tenant, Landlord is in default in the performance of this Lease and, if so, specifying each default, and (d) such other matters as Landlord may reasonably request. Tenant's failure to execute and deliver such statement after receipt of Landlord's request for it, at the option of Landlord, constitute an Event of Default.

ARTICLE 17 – ENTRY BY LANDLORD.

Upon reasonable prior notice (except in the case of an emergency when no such notice will be required), Landlord may enter the Property at all reasonable times to (1) inspect them; (2) exhibit them to prospective purchasers, lenders or Tenants; (3) determine whether Tenant is complying with all of its obligations; (4) post notices of non-responsibility; (5) make repairs or improvements in or to the Building or the Property. All such work will be done as promptly as reasonably possible and so as to cause as little interference to Tenant as reasonably possible. Tenant waives any claim for damages for any injury or inconvenience to, or interference with, Tenant's business, any loss of occupancy or quiet enjoyment of the Property or any other loss occasioned by such entry. Tenant will supply landlord with means to access the property in, the event of request or emergency. Any damage caused by landlord not being able to obtain timely access to the property will be billed to tenant as additional rent, furthermore, any entry to the Property obtained by Landlord will not be a forcible or unlawful entry into the Premises, or an eviction or a termination of Tenant's duties. If Landlord is required to obtain entry by means that incur costs to the landlord the cost of such entry will be payable by Tenant as Additional Rent. .

ARTICLE 18 – BROKERS.

Landlord will be responsible for the payment of any brokerage commissions to Landlord's Broker, Landlords Broker, RE/MAX Momentum will pay CBRE a commission equal to two percent (%2) of the first three lease years base rent. Neither Landlord nor Landlord's Broker will have any other obligation concerning compensation to any other party regarding this agreement.

ARTICLE 19 – Miscellaneous

19.1 Entire Agreement. This Lease encompasses any and all lease obligations and provisions all of which are incorporated by this reference. If the provisions of the Basic Lease Provisions and the Articles conflict, the Articles will control. This Lease contains all the agreements and understandings relating to the leasing of the Property and the obligations of Landlord and Tenant in connection with such leasing. Landlord has not made, and Tenant is not relying upon, any warranties, or representations, promises or statements made by Landlord or any agent of Landlord, except as expressly set forth. This Lease supersedes any and all prior agreements between Landlord and Tenant.

19.2 Amendments. This Lease will not be amended, changed, or modified in any way unless in writing executed by Landlord and Tenant. Landlord will not have waived or released any of its rights unless in writing.

19.3 **Successors.** This Lease will bind or inure to the benefit of Landlord and Tenant and their respective successors and assigns; this provision will not permit any Transfer by Tenant contrary to the provisions in this lease.

19.4 **Survival of Obligations.** Any obligations of Tenant accruing prior to the end of this Lease will survive this Lease, and Tenant will promptly perform all such obligations whether or not this Lease has ended.

19.5 **Governing Law.** This Lease will be governed by, and construed in accordance with, the laws of the State of Colorado. Any action pertaining to this agreement must be brought in Colorado, Adams County.

19.6 **Severability.** If any provision of this Lease is found to be unenforceable, the remainder will not be affected. Any provision found to be invalid will be enforceable to the extent permitted by law. If two interpretations may be given to any provision, one of which will render the provision unenforceable, and one of which will render the provision enforceable, the interpretation rendering the provision enforceable will be adopted.

19.7 **Interpretation.** Tenant acknowledges that it has read and reviewed this Lease and that it has had the opportunity to confer with counsel in the negotiation of this Lease. Accordingly, this Lease will be construed neither for nor against Landlord or Tenant, but will be given a fair and reasonable interpretation in accordance with the meaning of its terms and the intent of the parties. .

19.8 **Joint and Several Liability.** If Tenant comprises more than one person or entity, all such persons will be jointly and severally liable for payment of rents and the performance of Tenant's obligations.

19.9 **No Partnership or Joint Venture.** This Lease does not create the relationship of principal and agent, or partnership, or joint venture, or any other relationship between Landlord and Tenant other than Landlord and Tenant.

19.10 **ARTICLE 20 – SECURITY DEPOSIT.** deposit is waived.

ARTICLE 21- E-Verify and other required documents. Landlord/owner will sign Colorado C.R.S compliance for the execution of which will be an integral part of this agreement.

Landlord and Tenant executed this Lease as of the Effective Date.

LANDLORD: **Sandra Rostie**

Sandra Rostie 4-2-20

TENANT: **Adams County, Colorado**

By: _____

Its: Chair _____

1852

PROPOSED PROFESSIONAL OFFICE
JOHN ROSTIE CONSTRUCTION
659-6766

25 SPACES

24 SPACES

150'

SOUTH 18TH AVENUE

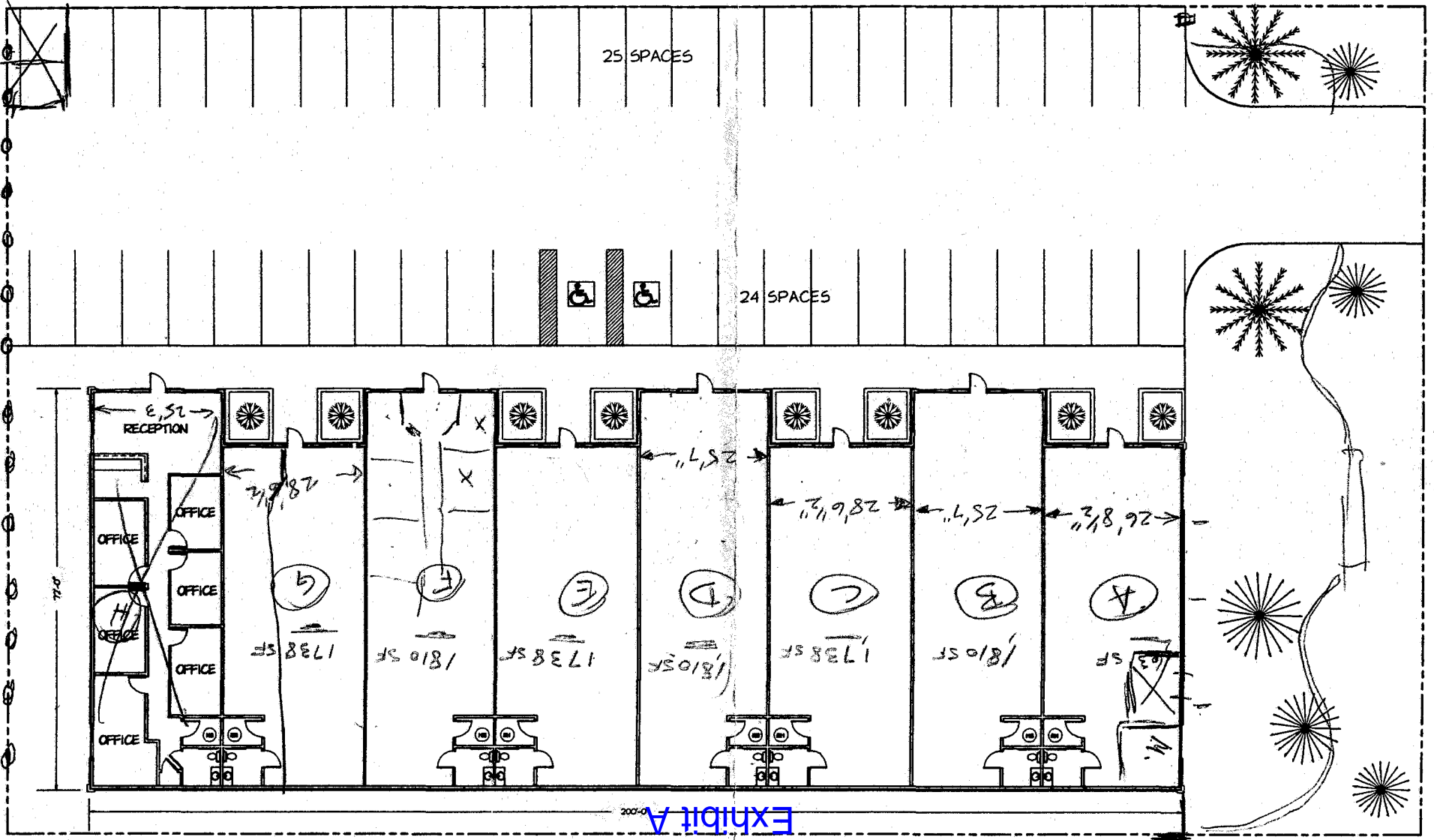


Exhibit A

Scale 1/16.89

COMPLIANCE WITH C.R.S. § 8-17.5-101, ET. SEQ. AS AMENDED 5/13/08

Pursuant to Colorado Revised Statute (C.R.S.), § 8-17.5-101, *et. seq.*, as amended 5/13/08, the Landlord shall meet the following requirements prior to signing this Agreement (public contract for service) and for the duration thereof:

- A. The Landlord shall certify participation in the E-Verify Program (the electronic employment verification program that is authorized in 8 U.S.C. § 1324a and jointly administered by the United States Department of Homeland Security and the Social Security Administration, or its successor program) or the Department Program (the employment verification program established by the Colorado Department of Labor and Employment pursuant to C.R.S. § 8-17.5-102(5)) on the attached certification.
- B. The Landlord shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- C. The Landlord shall not enter into a contract with a sublandlord that fails to certify to the Landlord that the sublandlord shall not knowingly employ or contract with an illegal alien to perform work under this public contract for services.
- D. At the time of signing this public contract for services, the Landlord has confirmed the employment eligibility of all employees who are newly hired for employment to perform work under this public contract for services through participation in either the E-Verify Program or the Department Program.
- E. The Landlord shall not use either the E-Verify Program or the Department Program procedures to undertake pre-employment screening of job applicants while this public contract for services is being performed.
- F. If Landlord obtains actual knowledge that a sublandlord performing work under this public contract for services knowingly employs or contracts with an illegal alien, the Landlord shall: notify the sublandlord and the County within three days that the Landlord has actual knowledge that the sublandlord is employing or contracting with an illegal alien; and terminate the subcontract with the sublandlord if within three days of receiving the notice required pursuant to the previous paragraph, the sublandlord does not stop employing or contracting with the illegal alien; except that the landlord shall not terminate the contract with the sublandlord if during such three days the sublandlord provides information to

establish that the sublandlord has not knowingly employed or contracted with an illegal alien.

- G. Landlord shall comply with any reasonable requests by the Department of Labor and Employment (the Department) made in the course of an investigation that the Department is undertaking pursuant to the authority established in C.R.S. § 8-17.5-102(5).
- H. If Landlord violates this Section of this Agreement, the County may terminate this Agreement for breach of contract. If the Agreement is so terminated, the Landlord shall be liable for actual and consequential damages to the County.

LANDLORD'S CERTIFICATION OF COMPLIANCE

Pursuant to Colorado Revised Statute, § 8-17.5-101, *et. seq.*, as amended 5/13/08, as a prerequisite to entering into a contract for services with Adams County, Colorado, the undersigned Landlord hereby certifies that at the time of this certification, Landlord does not knowingly employ or contract with an illegal alien who will perform work under the attached contract for services and that the Landlord will participate in the E-Verify Program or Department program, as those terms are defined in C.R.S. § 8-17.5-101, *et. seq.* in order to confirm the employment eligibility of all employees who are newly hired for employment to perform work under the attached contract for services.

LANDLORD:

Sandra Rostie
Company Name

9-15-20
Date

Sandra Rostie
Name (Print or Type)

Sandra Rostie
Signature

Owner/Landlord
Title

Note: Registration for the E-Verify Program can be completed at: <https://www.vis-dhs.com/employerregistration>. It is recommended that employers review the sample "memorandum of understanding" available at the website prior to registering



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Intergovernmental Agreement for Temporary Non-Congregate Activated Respite Housing
FROM: Paolo Diaz
AGENCY/DEPARTMENT: Community Safety and Well-Being
HEARD AT STUDY SESSION ON: September 22, 2020 (AIR)
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves

BACKGROUND:

Staff recommends entering into an Intergovernmental Agreement (IGA) with City and County of Denver, City of Aurora, Arapahoe County, and Jefferson County for a temporary non-congregate activated respite housing. The respite housing will provide a temporary shelter for homeless individuals or families that are required to isolate due to COVID-19. Adams County hospitals, facilities, and other referring agencies will work directly with the respite housing site when housing individuals or families is needed. Adams County's contributions is for \$15,930 per month.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney's Office
Community and Economic Development

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement for Temporary Non-Congregate Activated Respite Housing

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00001
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5255		90,285,974
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various		90,285,974
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

Currently discussing the possibility of using CARES Act funding to finance this project.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING INTERGOVERNMENTAL AGREEMENT FOR
TEMPORARY NON-CONGREGATE ACTIVATED RESPITE HOUSING

Resolution 2020-

WHEREAS, COVID-19 has highlighted the need for individuals to quarantine to prevent the spread of the virus; and,

WHEREAS, there are individuals who do not have the ability to quarantine should they test positive, such as people who are experiencing homelessness or living in a facility; and,

WHEREAS, in response to COVID-19, Adams County has identified housing needs as a matter that should be urgently addressed; and,

WHEREAS, the Intergovernmental Agreement on the Aurora Emergency Respite Center terminated on August 31, 2020; and,

WHEREAS, the City and County of Denver currently operates non-congregate activated respite housing for persons affected by COVID-19 located at 3500 Park Ave., Denver, CO 80216 (the "Activated Respite Shelter"); and,

WHEREAS, Adams County must enter into an Intergovernmental Agreement with the City and County of Denver, City of Aurora, Arapahoe County, and Jefferson County to fund the Temporary Non-Congregate Activated Respite Housing.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement for Temporary Non-Congregate Activated Respite Housing be approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to sign the Intergovernmental Agreement for Temporary Non-Congregate Activated Respite Housing be approved.

**INTERGOVERNMENTAL AGREEMENT FOR
TEMPORARY NON-CONGREGATE ACTIVATED RESPITE HOUSING**

THIS INTERGOVERNMENTAL AGREEMENT FOR TEMPORARY NON-CONGREGATE ACTIVATED RESPITE HOUSING (the “Agreement”) is made between the **CITY AND COUNTY OF DENVER**, a municipal corporation of the State of Colorado (“Denver”), and **THE CITY OF AURORA, JEFFERSON COUNTY and ADAMS COUNTY**, (collectively, the “Jurisdictions”), jointly “the parties” and individually a “party.”

RECITALS

WHEREAS, Denver currently operates non-congregate activated respite housing for persons affected by COVID-19 located at 3500 Park Ave., Denver, CO 80216 (the “Activated Respite Shelter”);

WHEREAS, the Jurisdictions wish to temporarily house eligible persons at the Activated Respite Shelter, and the Jurisdictions agree to such housing in accordance with the terms of this Agreement; and

WHEREAS, pursuant to Article XIV, § 18(2)(a), Colorado Constitution, and § 29-1-203, C.R.S., the parties have the authority to enter into this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties incorporate the recitals set forth above and agree as follows:

1. **AUTHORIZED REPRESENTATIVES**. Each party’s representative designated below shall be the point of contact to coordinate the obligations as provided herein. The parties designate their authorized representatives under this Agreement as follows:
 - 1.1. Denver designates the Executive Director of the Department of Housing Stability or their designee(s).
 - 1.2. The City of Aurora designates _____ .
 - 1.3. Adams County designates _____.
 - 1.4. Jefferson County designates _____.
 - 1.5. Arapahoe County designates _____.
2. **OBLIGATIONS OF THE JURISDICTIONS**
 - 2.1. The Jurisdictions may refer a maximum number of twenty-five (25) eligible persons at any given time as follows: Jefferson County, Adams County, and Arapahoe County may each refer five (5)

eligible persons; and the City of Aurora may refer ten (10) eligible persons to Denver for temporary housing at the Activated Respite Shelter (collectively, the “Jurisdictions’ Clients”).

- 2.2. To be eligible for housing at the Activated Respite Shelter, an individual must either have already been tested for COVID-19 and is awaiting the test results; or has tested positive for COVID-19. The Jurisdictions agree to follow all client referral procedures established by Denver and the Colorado Coalition for the Homeless, and to abide by Denver’s determinations as to client eligibility, availability of space and/or services, and all other conditions of client acceptance and continued housing in the Activated Respite Shelter.
- 2.3. The Jurisdictions shall provide Denver with such information as Denver needs to determine the eligibility of the Jurisdictions’ Clients and to provide appropriate services for those in the Activated Respite Shelter. Such information shall include, at a minimum, contact information for each of the Jurisdictions’ Client’s and any existing medical and behavioral healthcare providers, if known.
- 2.4. The Jurisdictions shall be responsible for transporting their individual clients to the Activated Respite Shelter upon referral and from the Activated Respite Shelter to the client’s home or other drop-off location upon discharge.
- 2.5. The Jurisdictions shall be responsible for providing housing navigation services to their individual clients during their stay at the Activated Respite Shelter.
- 2.6. The Activated Respite Shelter rooms shall be available on a first-come, first-served basis.
- 2.7. The Jurisdictions shall encumber the appropriate funds based on the following rates to reimburse Denver for housing the Jurisdictions’ Clients in the Activated Respite Shelter: \$3,186 per month per room. The Jurisdictions shall be responsible for paying the rates associated with each room allotted to them whether those rooms are occupied or not. Without invalidating the generality of the foregoing, the rates include the following services provided by Denver at no additional cost to the Jurisdictions:
 - 2.7.1. Meals to the Jurisdictions’ Clients housed at the Activated Respite Shelter;
 - 2.7.2. Medical and behavioral health services to Jurisdictions’ Clients;
 - 2.7.3. Shelter management services;
 - 2.7.4. Transportation and security services; and
 - 2.7.5. Supplies purchased by Denver for use in, around, and for the Activated Respite Shelter.

- 2.8. Denver shall invoice the Jurisdictions once per month for all rooms obligated and reserved for each party. Invoices shall be accompanied by supporting documentation as is reasonably requested by Denver. Upon Denver's receipt and acceptance of each invoice, the Jurisdictions shall promptly pay Denver the full amount of the invoice.
- 2.9. The Jurisdictions shall maintain complete and accurate records of its performance under this Agreement and shall provide Denver with access to such records as needed by Denver to comply with its accounting, reporting, or audit requirements.

3. **OBLIGATIONS OF DENVER**

- 3.1. Denver agrees to accept the Jurisdictions' Clients for housing at the Activated Respite Shelter subject to Denver's determination of the client's eligibility for temporary housing at the Activated Respite Shelter; the availability of space and/or ancillary services; and the Jurisdictions' compliance with the terms of this Agreement.
- 3.2. Denver will provide appropriate services to the Jurisdictions' Clients accepted at the Activated Respite Shelter.
- 3.3. Denver reserves the right to discharge any of the Jurisdictions' Clients who violate Activated Respite Shelter rules or is determined to be ineligible for continued housing at the Activated Respite Shelter.
- 3.4. Denver will notify the Jurisdictions if any of their clients are discharged or voluntarily departs from the Activated Respite Shelter. Denver will attempt to provide reasonable notice of any discharge or departure to permit the Jurisdictions time to arrange transportation for their respective clients.
- 3.5. Denver shall maintain complete and accurate records of its performance under this Agreement and shall provide access to such records as needed by the Jurisdictions to comply with its accounting, reporting, or audit requirements.

4. **INFORMATIONAL OBLIGATIONS.** Each party hereto will meet its obligations as set forth in C.R.S. § 29-1-205, as amended, to include information about this Agreement in a filing with the Division of Local Government; however, failure to do so shall in no way affect the validity of this Agreement or the remedies available to the parties hereunder.

5. **FINANCIAL MATTERS.** The continuation of this Agreement beyond the initial fiscal year is contingent upon funds for that purpose being appropriated, budgeted, or otherwise made available by the governing body of each party. Any party shall have the right to withdraw its participation from

this Agreement with thirty (30) days written notice to the other parties in the event that its governing body does not appropriate, budget, or otherwise make funds available for the purpose of fulfilling its obligations under the Agreement for any subsequent fiscal year.

6. **CONFIDENTIALITY**. The parties, for themselves, their agents, employees and representatives, agree that they will not divulge any confidential or proprietary information they receive from the other party or otherwise have access to, except as may be required by law.

7. **LIABILITY AND IMMUNITY**

7.1. Each party will be responsible for its own negligent or intentional acts or omissions and for those of its employees, officers, agents, and volunteers.

7.2. The parties agree that in the event any claim or suit is brought against any party by any third party as a result of the operation of this Agreement, the parties will cooperate with each other, and with the insuring entities of the parties, in defending such claim or suit.

7.3. The parties hereto intend that nothing herein shall be deemed or construed as a waiver by either party of any rights, immunities, limitations, or protections afforded to them under the Colorado Governmental Immunity Act (§ 24-10-101, C.R.S., *et seq.*) as now or hereafter amended or otherwise available at law or equity.

8. **TERM AND TERMINATION**

8.1. The term of this Agreement shall commence on the date the Agreement is executed by all parties and continue until December 31, 2021 (“Term”), provided, however, the parties agree that the Term shall not extend beyond the closing of the Activated Respite Shelter.

8.2. Any party may terminate this Agreement with or without cause upon ten (10) days’ prior written notice to the other parties, provided, however, that such early termination shall not result in the Jurisdictions’ Clients premature discharge from the Activated Respite Shelter.

8.3. In the event of termination, the Parties shall cooperate to ensure that all the Jurisdictions’ Clients are transitioned out of the Activated Respite Shelter by the date of termination or the closure of the Activated Respite Shelter, whichever is earlier.

9. **AMENDMENTS**. This Agreement contains the entire agreement of the parties relating to the subject matter hereof and, except as provided, this Agreement may not be modified or amended except by written agreement of the parties.

10. **NOTICES**

10.1. “Key Notices” under this Agreement are notices regarding contract default, contractual dispute, or termination of the Agreement. Key Notices shall be given in writing and shall be deemed received if given by: (a) confirmed electronic transmission (as defined below) when transmitted, if transmitted on a business day and during normal business hours of the recipient, and otherwise on the next business day following transmission; (b) certified mail, return receipt requested, postage prepaid, three business days after being deposited in the United States mail; or (c) overnight carrier service or personal delivery, when received. For Key Notices, the parties will follow up any electronic transmission with a hard copy of the communication by the means described above. All other communications or notices between the parties that are not Key Notices may be done via electronic transmission. Key Notices shall be given to the parties at the following addresses:

Jefferson County
Director of Community and Workforce
Development
3500 Illinois St
Golden, CO 80401
Email: kdouglas@jeffco.us

With a copy to:
Jefferson County
100 Aurora, Jefferson, Arapahoe Counties
Pkwy
Golden, CO 80419-5500
Tele: 303-271-8900
Email: CAOContracts@jeffco.us

Adams County
Community Safety and Well-Being
4430 S. Adams County Pkwy.
Brighton, CO 80601
Email: pdiaz@adcogov.org

Denver
Executive Director, Department of Housing
Stability
201 W. Colfax Ave.
Denver, CO 80202
720-913-1536
Britta.fishe@denvergov.org

With a copy to
Denver City Attorney’s Office
1437 Bannock St., Room 353
Denver, Colorado 80202

With a copy to:
Adams County Attorney's Office
4430 S. Adams County Parkway
Suite C5000B
Brighton, CO 80601
Phone: 720-523-6116

THE CITY OF AURORA

All Key Notices shall include a reference to the Agreement including the parties' names and the date of the Agreement.

10.2. Electronic Transmissions. The parties agree that: (a) any notice or communication transmitted by electronic transmission, as defined below, shall be treated in all manner and respects as an original written document; (b) any such notice or communication shall be considered to have the same binding and legal effect as an original document; and (c) at the request of any party, any such notice or communication shall be re-delivered or re-executed, as appropriate, by the party in its original form. The parties further agree that they shall not raise the transmission of a notice or communication, except for Key Notices, by electronic transmission as a defense in any proceeding or action in which the validity of such notice or communication is at issue and hereby forever waive such defense. For purposes of this Agreement, the term "electronic transmission" means any form of communication not directly involving the physical transmission of paper, that creates a record that may be retained, retrieved and reviewed by a recipient thereof, and that may be directly reproduced in paper form by such a recipient through an automated process, but specifically excluding facsimile transmissions and texts.

11. MISCELLANEOUS

11.1. Independent Entities. The parties enter into this Agreement as separate, independent governmental entities and shall maintain such status throughout.

11.2. Assignment. This Agreement shall not be assigned by any party without the prior written consent of all parties.

11.3. Integration and Amendment. This Agreement represents the entire agreement between the parties and terminates any oral or collateral agreement or understandings. This Agreement may be amended only by a writing signed by the parties. If any provision of this Agreement is held

invalid or unenforceable, no other provision shall be affected by such holding, and all of the remaining provision of this Agreement shall continue in full force and effect.

- 11.4. Officials Not to Benefit. No elected or employed member of any party shall be paid or receive, directly or indirectly, any share or part of this Agreement or any benefit that may arise therefrom.
- 11.5. Conflict of Interest. No party shall knowingly perform any act that would conflict in any manner with said party's obligations hereunder. Each party certifies that it is not engaged in any current project or business transaction, directly or indirectly, nor has it any interest, direct or indirect, with any person or business that might result in a conflict of interest in the performance of its obligations hereunder.
- 11.6. Governing Law. This Agreement shall be governed by the laws of the State of Colorado.
- 11.7. Venue. Venue for all disputes arising under this agreement shall be in the District Court of and for the County of Denver, State of Colorado.
- 11.8. Binding Effect. This Agreement shall inure to the benefit of, and be binding upon, the parties, their respective legal representative, successors, heirs, and assigns, provided that nothing in this paragraph shall be construed to permit the assignment of this Agreement except as otherwise expressly authorized herein.
- 11.9. Survival. Notwithstanding anything to the contrary, the parties understand and agree that all terms and conditions of this Agreement that require continued performance or compliance beyond the termination or expiration of this Agreement shall survive such termination or expiration and shall be enforceable against a party if such party fails to perform or comply with such term or condition.
- 11.10. Waiver. This Agreement or any of its provisions may not be waived except in writing by a party's authorized representative. The failure of a party to enforce any right arising under this Agreement on one or more occasions will not operate as a waiver of that or any other right on that or any other occasion.
- 11.11. No Third-Party Beneficiaries. It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement and all right of action relating to such enforcement shall be strictly reserved to the parties and nothing contained in this Agreement shall give or allow any such claim or right of action by any other third party. It is the express intention of parties that

any person other than parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

11.12. Records Retention. The parties shall maintain all records, including working papers, notes, and financial records. Copies of such records shall be furnished to the other party upon request.

11.13. Execution by Counterparts; Electronic Signatures. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which shall constitute one and the same instrument. The parties approve the use of electronic signatures for execution of this Agreement. All documents must be properly notarized, if applicable. All use of electronic signatures shall be governed by the Uniform Electronic Transactions Act, C.R.S. §§ 24-71.3-101, *et seq.*

11.14. Proper Execution. Each party represents that all procedures necessary to authorize such party's execution of this Agreement have been performed and that the person signing for such party has been authorized to do so.

[The remainder of this page intentionally left blank.]



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Approval of Chafee Foster Care Independence Program 2020-2021 Annual Plan
FROM: Human Services Department
AGENCY/DEPARTMENT: Human Services Department
HEARD AT STUDY SESSION ON n/a
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the 2020-2021 Chafee Foster Care Independence Program Plan

BACKGROUND:

In December of 1999, the Foster Care Independence Act of 1999 was signed into law. Title I of the Act is the Chafee Foster Care Independence Program (CFCIP). This legislation helps ensure that young people involved in the foster care system get the tools they need to make the most of their lives. They may have opportunities for additional education or training, housing assistance, counseling or other services.

The Chafee Foster Care Independence Program is a federally funded program that is county administered. The State requires a plan each year that is approved by the Board of County Commissioners and County Human Services Director in regard to expenditures and detailed program information. Upon plan approval, funds are allocated to the county to provide direct services to youth who have emancipated or are emancipating out of foster care in efforts to assist them in becoming self-sufficient.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

The Board of County Commissioners, Adams County Human Services Department, Colorado Department of Human Services and multiple community based programs

ATTACHED DOCUMENTS:

Resolution
2020-2021 Adams County Chafee Foster Care Independence Program Collaborative Plan and Budget
Worksheets

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 15
Cost Center: 99915

	Object Account	Subledger	Amount
Current Budgeted Revenue:	99915.5755		50,239,790.00
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>50,239,790.00</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various.764 5		6,078,100.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>6,078,100</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING THE ADAMS COUNTY HUMAN SERVICES
DEPARTMENT FISCAL YEAR 2020-2021 CHAFEE PROGRAM SERVICES
PLAN**

WHEREAS, in December of 1999, the Foster Care Independence Act of 1999 (the “Act”) was signed into law; and,

WHEREAS, the Act helps ensure that young people involved in the foster care system who have limited or no family resources have access to the tools they need to improve their lives as adults, including opportunities for additional education or training, housing assistance, counseling or other services; and,

WHEREAS, the Adams County Human Services Department has reviewed the attached plan for the time period of October 1, 2020 through September 30, 2021; and,

WHEREAS, the Adams County Board of County Commissioners has reviewed said plan and finds it to be appropriate and in the best interest of the youth of Adams County.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, acting in its own capacity and in its capacity as the Board of Social Services, that the Adams County Fiscal Year 2020-2021 Chafee Program Services Plan, a copy of which is attached, is hereby approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is authorized to execute said Chafee Program Services Plan on behalf of Adams County.



REQUEST FOR STATE APPROVAL OF PLAN

Please complete all portions of the plan for the Chafee Foster Care Independence Program (Chafee).

This Chafee Program Services Plan is hereby submitted for ADAMS COUNTY (*Indicate host county name*), for the performance period of **October 1, 2020 through September 30, 2021**.

The Plan includes the following:

- Completed and Signed "Request for State Approval" form
- Completed "FFY21 Program Plan Cover Page" form
- Completed "Statement of Assurances" form
- Completed "Narrative Summary and Program Description" form
- Completed and Signed "Regional Collaborative MOU(s)" (*if applicable*)
- Completed "Financial Pre-award Questionnaire" form
- Completed "Budget and Budget Justification Form Workbook"
- Completed "Population to be Served" Worksheet
- Completed "Budget Template" Worksheet
- Completed "Workload Worksheet" (for each worker)

This Chafee Program Services Plan has been developed in accordance with State Department of Human Services rules and is hereby submitted to the Colorado Department of Human Services, Division of Child Welfare for approval. If the enclosed proposed Chafee Program Services Plan is approved, the plan will be administered in conformity with its provisions and the provisions of State Department rules and plan requirements.

Contact Information:

Primary Contact:

Name: Susan Adams Phone: 720-523-4419
 Title: Chafee Program Coordinator/SCW IV Email: smadams@adcogov.org

Supervisor/Administrator Contact:

Name: Rick Schilling Phone: 720-523-4330
 Title: Community Services Supervisor Email: rschilling@adcogov.org

Accounting Contact:

Name: Brent Voge Phone: 720-523-2926
 Title: Accounting Supervisor Email: bvoge@adcogov.org

By signing below you verify that the information provided in this plan is correct and current and the county agrees to provide services in accordance with this plan. Your signature also acknowledges agreement to the statement of assurances found herein. If two or more counties propose this plan, the required signatures below are to be completed by each participant county. Please attach an additional signature page as needed.

Katie Diego 9.23.2020
 Signature, Director, County Department of Human Services DATE

 Signature, CHAIR, BOARD OF COUNTY COMMISSIONERS or Appointed Representative DATE



**CHAFEE PROGRAM SERVICES PLAN
 Federal Fiscal Year (FFY) 2021 PROGRAM PLAN COVER PAGE**

Period of Performance: October 1, 2020 to September 30, 2021

- Chafee Case Management and Support Services
- Education and Training Voucher (ETV) Services
- National Youth in Transition Database (NYTD) Services

Host County Name: Adams

Fiscal Agent:

Host County DUNS Number: 076476373

Regional Chafee Collaborative Counties:

- This section should be utilized to identify other counties which your program will be serving in FFY21.
- Identify the counties that your program has an official collaboration with (signed MOU - see page 11 for the template).
- It should also be used to designate those counties that aren't being served by an existing Chafee program where your program is willing to serve.
- For those counties that you include in this section they will be added to your county for the purposes of the calculation of your annual award.
- If two or more counties identify the same county that they are willing to serve the calculation will be split between those counties for the award.

Collaborative Counties (please indicate if you have an MOU with each county listed):

- | | | |
|----------------------|-----------|-------------------|
| 1. Washington County | MOU: Yes: | No: X (as needed) |
| 2. Yuma County | MOU: Yes: | No: X (as needed) |
| 3. | MOU: Yes: | No: |
| 4. | MOU: Yes: | No: |
| 5. | MOU: Yes: | No: |

Contracted Agency Name (if applicable)

Name of Agency Contracted to Provide Chafee Services on behalf of the County:

Agency Name: N/A

**CHAFEE PROGRAM SERVICES PLAN
STATEMENT OF ASSURANCES**

The following County(ies): ADAMS assure that, upon approval of the Chafee Program Services Plan and notice of funding, the following will be adhered to in the implementation of the Chafee Program Services Plan:

Chafee Program - Federal and State Required Statement of Assurances:

1. Funds shall be used exclusively for the purposes specified in the plan (12 CCR 2509-4 (7.305.41);
2. Funds shall not be used to supplant, duplicate, or replace existing child welfare funds and;
3. Funds shall not be used for county budget shortfalls;
4. Assistance and services shall be provided only to Chafee-eligible youth [Social Security Act (SSA), Title IV-E, Section 477(b)(3)(A)] on a voluntary basis;
5. Not more than 30 percent of the amounts allocated for Chafee for a fiscal year (performance period) will be expended for room and board for youth who have left foster care because they have attained 18 years of age and have not attained 21 years of age [SSA Section 477(b)(3)(B)];
6. None of the amounts paid to the County Department from its Chafee award will be expended for room and board for any child who has not attained 18 years old [SSA Section 477(b)(3)(C)];
7. The County Department will make every effort to coordinate the Chafee program receiving funds with other Federal and State programs for youth (especially transitional living youth projects funded under part B of Title III of the Juvenile Justice and Delinquency Prevention Act of 1974), abstinence education programs, local housing programs, programs for disabled youth (especially sheltered workshops), and school-to-work programs offered by high schools or local workforce agencies [SSA Section 477(b)(3)(F)];
8. Youth participating in the program under this section will participate directly in designing their own program activities that prepare them for independent living and the youth will be required to accept personal responsibility for living up to their part of the program [SSA Section 477(b)(3)(H)];
9. The County Department will enter data on services into the State automated reporting system (Colorado Trails);
10. The County Department will assure that National Youth in Transitions Database (NYTD) program evaluation and youth survey requirements are met; and
11. Ensure all youth 18 to 21 have documents that demonstrate legal presence in the United States before Chafee services are provided [SSA Section 472(a)(3), Immigration and Nationality Act (INA) Section 245A(h), and INA Section 210(f)].
12. Chafee services and funding are utilized only for those youth who qualify according to the eligibility standards contained in 12 CCR 2509-4 (7.305.42).

The County's Chafee Program Services Plan is required to be approved annually. Given that services are not standardized across counties, it is important to provide detailed bullets of information about a County's projected services.

According to Volume 7, the Chafee Program is a federally funded statewide independent living program that is county administered.

The purpose of the Chafee Program is to provide flexible funding to enable programs to be designed and conducted for the following purposes [SSA Section 477(a)]:

1. Support all youth who have experienced out-of-home placement at age 14 or older in their transition to adulthood through transitional services such as assistance in obtaining a high school diploma and post-secondary education, career exploration, vocational training, job placement and retention, training and opportunities to practice daily living skills, substance abuse prevention, and preventative health activities;
2. Help children who have experienced foster care at age 14 or older achieve meaningful, permanent connections with a caring adult;

3. Help children who have experienced foster care at age 14 or older engage in age or developmentally appropriate activities, positive youth development, and experiential learning that reflects what their peers in intact families experience;
4. Provide financial, housing, counseling, employment, education, and other appropriate support and services to former foster care recipients between 18 and 21 (or 23) years of age to complement their own efforts to achieve self-sufficiency and to assure that program participants recognize and accept their personal responsibility for preparing for and then making the transition from adolescence to adulthood;
5. Make available vouchers for education and training, including postsecondary training and education, to youths who have aged out of foster care;
6. Provide the services to children who, after attaining 16 years of age, have left foster care for kinship guardianship or adoption, and
7. Ensure children who are likely to remain in foster care until 18 years of age have regular, ongoing opportunities to engage in age or developmentally-appropriate activities.
8. These services shall supplement existing independent living resources and programs in county departments, residential child care facilities and child placement agencies, and by federal statute, shall not replace or duplicate existing services.

Chafee Program funds shall not exceed 30% of a counties budget or be used for room and board for a youth under eighteen (18) years of age.

NARRATIVE SUMMARY AND PROGRAM DESCRIPTION

It is acknowledged that the eligible youth for Chafee services per 12 CCR 2509-4 (7.305.42) represents a diverse population with many different developmental needs. For certain questions there is a request to provide information on how each population will be addressed by the department of human/social services and/or the Chafee program. It will be important to differentiate the services that are available when there is continued DHS/DSS involvement as opposed to when this is no longer an option.

When completing each section please provide the requested information for the two separate identified populations:

- **Population #1:** 14 through 17-year-olds.
- **Population #2:** 18 to 23-year-olds.

Positive Youth Development (PYD) is extremely important in guiding service implementation and should be taken into consideration and documented throughout the annual plan. The PYD principles are provided below.

- ***Strengths-based** - Taking a holistic approach that focuses on the inherent strengths of an individual, family or community, then building upon them.*
- ***Inclusive** - Addressing the needs of all youth by ensuring that our approach is culturally responsive.*
- ***Engaging youth as partners** - Ensuring the intentional, meaningful, and sustained involvement of youth as equitable partners in the programs, practices, and policies that seek to impact them.*
- ***Collaborative** - Creating meaningful partnerships within and across sectors to effectively align our work.*
- ***Sustainable** - Addressing long-term planning through funding, training, capacity building, professional development, and evaluation in order to ensure ongoing support and engagement of youth.*

Identification, Outreach, and Waitlist:

I. Describe in bulleted detail how the program will identify and engage youth eligible for Chafee services in each of the eligible populations.

Population #1: The Adams County Chafee program has offered skill building groups and other opportunities to youth 14 and older for over 20 years.

- A Trails report was developed to identify 14-15-year old youth in care in Adams County; outreach to caseworkers via email and phone calls in attempts to generate referrals
- Groups formerly known as Socialization Group, Youth Connections and most recently, Basic Life Skills have been offered yearly or biannually to youth ages 14 and older with limited success
- Weekly Life Skills groups are offered to open Chafee youth over age 16—due to COVID-19 they are currently being provided virtually and will continue to be offered either virtually or in person
- Agency contracts for Casey Life Skills Assessment and provides login and technical assistance to workers completing the assessment with youth on their workloads
- In October of 2018, we began sending agency staff a monthly email with tips designed to help youth build independent living skills through activities related to money management, time management, prepping for a new school year, grocery shopping tasks, using cleaning products, doing laundry, etc. These tips can easily be shared with providers and parents.
- When appropriate, youth ages 14 and older may be invited to attend special events or workshops hosted by Chafee such as Job Corps, bus riding practice, etc.
- When youth are approaching, or reach age 16, they are referred for regular Chafee services; an introduction to services and assessment is scheduled. A 15 year-old-youth may be opened for Chafee services depending on the youth's individual plan, needs, and if our caseload allows.
- Chafee staff work closely with our YIT (Youth in Transition)/HITT (Helping Integrate Teens and Tweens) teams to try to ensure eligible youth are receiving services

- We attend a joint monthly meeting with YIT/HITT to provide them with information about openings and program updates since they are most likely to refer to Chafee as they work with older youth
- Provide outreach and technical assistance to other programs within the agency that work with adolescents in placement
- Ensure that workers are aware of Chafee as a resource for the older youth on their workloads
- Attend team, unit or section meetings to present information about our program
- Communicate with group home staff and foster parents to generate referrals as they generally notify us when they have an eligible youth and we reach out to the caseworkers to initiate a referral
- Participate in a yearly Provider Resource Fair at our agency for additional outreach to staff. Provide a table to share program information, brochures, photos that reflect our work with youth and answer case specific questions from caseworkers
- Participate in New Caseworker Orientation
- Offer a yearly newsletter to agency staff with articles and poetry written by youth about their experiences, articles and photos reflecting events throughout the year, information about policy changes and resources, and eligibility information
- Developed a program brochure and a referral flowchart to simplify questions about eligibility and when to refer youth
- Pathways to Transition Snapshot reports are utilized on all referrals to confirm eligibility
- Assist with completing required NYTD surveys for youth in the current cohort

Population #2: Many youth make the transition from traditional Chafee to After Care when their child welfare case is closed and they choose to maintain involvement with the program

- Referrals for After Care youth may come from CDHS, DYS, GAL's, other professionals, community members, peers and the youth may self-refer
- Youth at Urban Peak are often referred if they plan to live in Adams County or were previously involved with the county; coordinate services with the Urban Peak staff and Pathways Navigator to best serve these youth
- We work with DYS staff to obtain referrals for youth on parole that are in community placement
- Referrals may come through CDHS if the youth aged out in another state and CDHS assists in confirming eligibility
- We maintain a program Facebook page that youth can access to connect to the program and see what we offer, as well as find current available resources

II. Describe (in bulleted format) how the county will verify a youth meets the citizenship or qualified alien requirements before accessing Chafee services [SSA Section 472(a)(3), INA Section 245A(h), and INA Section 210(f)].

- Referrals are not accepted as complete unless they include:
 - Copy of birth certificate
 - Copy of Social Security card or recently stamped (within 60 days) official request for a new card
 - A photo ID, if available
- Referrals for youth in the Unaccompanied Refugee Minor (URM) program must include at least two supporting documents that may include:
 - Colorado ID
 - Social Security card
 - Alien Registration card/Green Card
 - Employment Authorization card
 - Affidavit of Proof of Lawful Presence
- Youth must have an approved I-485. Eligible URM youth are in the custody of Denver, Clear Creek or El Paso County Human Services and are placed through Lutheran Family Services and have an approved I-485.

- SIJS status youth are not eligible

III. Describe how the program will operate a waitlist if there is a need for one. Include how the program will prioritize youth with the most need and on what criteria this is based.

1. Previous participation in Chafee services or transfer of services from another county or state
2. Emancipation or risk of emancipation from child welfare or exit from the Division of Youth Services after age 18
3. Risk or history of homelessness, human trafficking or runaway
4. Youth in RCCF placements may be opened when they are within 90 days of stepping down to a lower level of care
5. Youth ages 14-15
6. Youth who entered Adoption Assistance after age 16
7. Youth who entered Relative Guardian Assistance after age 16
8. Enrollment and progress in post-secondary educational activities, internships or apprenticeships
9. Enrollment and progress in workforce development opportunities

Program Narrative: *Describe in bulleted detail and short summary how the program will design and deliver individualized services to achieve the purposes below.*

Although the last half of 2019-20 and the beginning of 2020-21 have presented us with an unprecedented set of circumstances, we continue to provide service delivery to youth via in-person visits, individual youth virtual meetings/staffings/groups, texts, phone calls, emails and Facebook Messenger.

I. Legal permanency and lifelong connections

A. Describe how the County child welfare agency will help young people identify, develop, and strengthen relationships with family, kin, mentors, and other supportive adults through the course of ongoing casework practice for youth who continue to have ongoing involvement with child welfare.

Population #1: ACHSD utilizes a wide array of tools to ensure adolescents involved with the agency have every opportunity to have appropriate, supportive relationships with biological family, extended family, psychological family, mentors and other community supports. Sibling visits are a priority and contracted services for transportation and supervision may be utilized to ensure they occur regularly. Efforts to reunify with family and/or maintain family relationships are always a priority unless there are no viable options available. Among the resources available to caseworkers are:

- Family Team Meetings (FTM's)
- Permanency Round Tables (PRT's)
- Intensive Family Finding (IFF)
- Youth Voice meetings
- Prudent Parenting standards allowing for more extracurricular activities
- Diligent Search/Court Partners pilot program with Maplestar initiates the process at the shelter hearing
- Therapeutic services through our Internal Treatment Team
- Supportive services through our Life Skills Team
- Services through Griffith Center, Maplestar, Shiloh, Savio, The Hope Initiative and other contracted programs
- Permanency Pacts
- Snapshot of Support
- Youth Connectedness Scale
- Genograms
- Court Appointed Special Advocates (CASA)

- Child Family Resource Team (CFRT)
- Adoption
- Allocation of Parental Rights (APR)
- Relative Guardian Assistance (RGA)
- Dream Makers
- Youth Advocacy Program (YAP)
- Metro Youth Alliance
- Project Foster Power
- Lifelong, Inc. for youth mentors
- Choice Program through the Adoption Exchange

Population #2: All of the tools listed for population #1 may be used with youth 16 and older still in care. Youth who have emancipated from care may be able to utilize many of the same resources. See B.(Population 2) for related services for emancipated youth.

B. Describe how the Chafee program will serve as a support, rather than a replacement to the efforts described in question 1 above, to support the development of lifelong connections.

Population #1: Caseworkers will primarily work with the youth and/or family to identify possible connections and will request diligent searches, when needed.

- All tools listed above may be utilized in any case open to the agency
- Chafee provides consultation and resources as needed with this population
- Monthly BLS tips involve activities between the youth and their caregiver or other support person
- In situations where a Chafee case is open prior to age 16, Chafee workers may attend PRT's and FTM's to gain an understanding of the family history that may be useful in continued work with the youth and to support transition goals set by the team

Population #2: Although the caseworker would still be the primary on many of these cases, Chafee workers may be increasingly involved in the quest for permanent connections for our clients, especially for emancipated youth.

- We attend PRT's and FTM's whenever possible to gain a clear understanding of the family history and level of available, appropriate support
- Trails records may be more thoroughly reviewed to gain an understanding of the family dynamics and history, especially if related issues are affecting the youth's progress
- Chafee workers may be assigned tasks with the youth through PRT's that assist in the process of identifying supportive, permanent connections for youth
- We encourage youth to "think outside the box" when identifying possible supports in their Chafee plan
- We provide groups on healthy relationships and communication, as well as provide socialization activities to help youth build confidence in developing/maintaining relationships
- Support for youth reunifying with family members or supports post-emancipation
 - Chafee worker may help youth initiate contact with potential supports
 - Chafee worker may participate in reunification meetings to support the youth
 - Chafee may provide funding for activities/meals/snacks during initial contacts
 - Chafee has provided funding for youth to travel to reunify with supports

C. For Population #2 describe how your Chafee program will help young people identify, develop, and strengthen relationships with family, kin, mentors, and other supportive adults, including your program's use of the Youth Connections Scale and other tools to support the development of lifelong connections.

After Care youth are supported in developing and maintaining relationships with family, friends, coworkers, professionals, faith based organizations, etc.

- We provide opportunities for groups, experiential and social activities with peers

- We update Chafee plans as needed, and discuss changes in “supports” that may have impacted the youth
- We notify youth of any leadership opportunities through advisory boards or other youth-driven resources
- We refer and support youth in utilizing programs like Rainbow Alley and Urban Peak in efforts to build relationships with others who have had similar life experiences
- Funding to support connectedness (i.e.: restaurant gift card to take someone they cared for out to a meal over the holidays)
- We utilize the Youth Connectedness Scale and Circle of Support to revisit relationships that may have changed over time and to identify new supports
- We utilize the Permanency Pact as youth near transition to identify specific supportive adults and peers that may be available to help in specific situations (i.e.: where they can spend the holidays, help if their car breaks down, regular check ins, etc.). This document provides a chance to speak to youth about their identified supports to ensure they are viable.
- We accept a youth’s chosen relationships. We do not judge whether a relationship is positive or negative for the youth, but we do address any concerns we see that arise
- Provide ongoing support for youth who have chosen to reconnect with family after their child welfare case closes as these situations can be positive, but often result in retraumatizing the youth and creating emotional difficulties that derail a youth from their plan.
- Provide support and resources to youth dealing with grief and loss issues

II. Wellbeing

A. Describe the services the program will provide to help youth meet their physical, dental and mental health needs. Include your program’s efforts to educate and enroll youth in Former Foster Care Medicaid.

Although the last half of 2019-20 and the beginning of 2020-21 have presented us with an unprecedented set of circumstances, we continue to provide services to youth via in-person visits, individual virtual meetings/staffings/groups, texts, phone calls, emails and Facebook Messenger.

- Chafee can provide individual consultation to youth to assist with any personal and confidential issues and make referrals to appropriate resources when necessary.
- We collaborate with the University of Colorado School of Nursing to provide a Life Skills group centered on Health and Hygiene. The group covers general physical and dental health issues the youth may have and provides for a Q&A in an open, honest environment.
- We collaborate with a nutritionist through Tri-County Health to present information about choosing a diet that is beneficial to their overall health as well as signs of any vitamin deficiencies
- Through our collaboration with Tri-County Health Department and their Registered Dietician, we take youth grocery shopping and prepare a healthy, family-style meal
- We have utilized the Adams County Wellness Program and CSU Cooperative Extension to teach youth about health, nutrition and wellness
- Chafee provides education to youth about options for medical care based on level of need (i.e.: PCP, doctor’s office/clinic, Urgent Care, Emergency Room) and have created a “cheat sheet” about where to go along with local resources
- Chafee staff assists youth in locating medical, dental and mental health providers that accept Medicaid using online tools such as those available through the Psychology Today website and Colorado PEAK app
- We assist youth with the Colorado PEAK tools to apply for and monitor their benefits
- We provide youth a Health Record resource so they can use it to keep a record of their own providers, vaccinations, medical history, etc.
- Chafee staff ensures that all active After Care youth who are eligible for Former Foster Care Medicaid are currently enrolled. We can easily confirm if their FFC Medicaid case is open through a Trails search
- When in contact, Chafee staff provide former clients under the age of 26 with information about Former Foster Care Medicaid so they can confirm coverage or be quickly reactivated. We contact CDHS

when there are issues or errors with a youth's eligibility or inaccurate information in Trails. In addition, if a youth moves out of Colorado after their child welfare case is closed, Chafee staff ensure they are aware that their Former Foster Care Medicaid will be deactivated, but may be reinstated if they return to the state prior to age 26. We may facilitate reactivation or refer them to an appropriate resource if they are not living in Adams County. This is often the case with youth who go to Job Corps or those who find family members and move to reconnect.

- Workers attend available training related to youth health needs such as T1D, depression/suicide, etc.

B. Describe the services the program will provide to help young people make informed sexual health decisions and meet their sexual health needs.

- Life Skills group youth attend two groups presented by Tri-County Health Department: Abstinence/Birth Control Methods and Sexually Transmitted Infections. They receive the most accurate and up-to-date information possible from a public health nurse, as well as a variety of confidential resources they can access, including the teen clinic. They learn the proper way to use condoms and other forms of birth control to avoid unplanned pregnancies and STI's.
- Life Skills group members also participate in groups regarding Healthy Relationships and Healthy Sexuality presented by Rainbow Alley, our Internal Treatment Team, or Chafee staff. These are presented twice a year as part of our regular group curriculum.
- Through our partnership with Tri-County Health, the Chafee program has condoms available for all youth at all times. We regularly provide information about local resources (i.e. Planned Parenthood, Tri-County Health, local clinics, etc.) and make referrals, as needed.
- We have worked with several transgender and questioning youth and have utilized various community resources including Rainbow Alley, The Center, The Gender Identity Center and Corey Barrett (private provider) to assist in our work with these youth. We strive to ensure that these youth receive very specialized referrals and services as this population can be at increased risk if in the community without supports. Often, youth are coming to realizations about their sexuality after they have aged out of the program, and we continue to provide resources and support.

C. Describe the services and supports the program will provide to young people who are pregnant and parenting:

- Approximately every other summer, we collaborate with our Internal Treatment Team to provide a one-day workshop on relationships and parenting
- We utilize and refer youth to community based services such as Tri-County Health/Nurse Family Partnership, CSU Extension classes, Child Find, Head Start, A Precious Child, Megan's Wish, CCAP and Qualistar, parenting classes and fatherhood boot camps/rights resources, among others
- We may refer pregnant/parenting teens to available housing programs including Hope House, Warren Village, Mercy House, Decatur Place, Father Ed Judy House/Catholic Charities, Bannock Youth Center/Volunteers of America, etc.
- We provide ongoing, individual support to our young parents throughout the duration of their Chafee case. We assist them with gifts for their children at the holidays as most of them cannot afford to purchase anything on their own. Youth are also offered available donated resources such as grocery and furniture gift cards, when available.
- We attend FTM's and other staffings related to the child(ren) of clients when requested by the caseworker
- We support youth who choose to place their child up for adoption. We provide information about various local agencies so youth can decide what program feels right to them and have accompanied youth to appointments at agencies and provided support throughout the adoption process
- We work with struggling parents to locate supportive resources which at times, may require a child protection referral. We are honest and straightforward with our young parents if this is the case in the hopes we can continue to maintain our relationship with them while they work to resolve safety and well-being issues related to their children
- If requested, we may attend hearings with court-involved parents on our caseload to provide support

D. Describe the services the county and program will provide to help young people make healthy relationship decisions.

Population #1: Youth in this age range may receive support and services through:

- Chafee workshops/activities open to all clients
- Monthly BLS tips for caseworkers, providers and other supports to utilize
- Individual and group therapy
- Use of mentoring opportunities (i.e.: CASA, Lifelong, Inc., Choice, etc.)
- Early intervention through Fostering/Acing Healthy Futures between the ages of 9-12
- Various groups discussing Healthy vs. Unhealthy Relationships, healthy sexuality, discussing all types of relationships (intimate, friendships, family, etc.)
- Full-day workshop every other summer regarding relationships and parenting
- Utilizing “Tea Consent”, “Sandwich Consent” and similar online tools in group and individual discussions with youth
- PRT’s and FTM’s
- Utilizing programs such as the Youth Advocacy Program (YAP), CASA, Dream Makers, Lifelong Inc., Choice program
- Referrals to local mental health agencies for therapeutic intervention
- Individual, timely work based on a youth’s specific relationship situation; ongoing discussion about current relationship related issues/concerns
- Opportunities for appropriate pro-social and experiential activities with peers

Population #2: Older youth generally require a lot of support around relationships and this may be provided through:

- Ongoing individual meetings with youth
- After Care peer support
- Pro-social activities
- Workshops specific to healthy relationships and parenting
- Referrals to local mental health agencies or other resources for therapeutic intervention/crisis, grief and loss, individual or couples counseling, etc.
- Unfortunately, on occasion Chafee staff have had to involve law enforcement to ensure the safety of our clients when they have reported incidents of abuse or domestic violence

E. Describe the services the county and program will provide to help young people make healthy lifestyle decisions (including but not limited to substance use, exercise, tobacco use prevention, etc.).

Population #1: Youth in this age range may receive support and services through:

- Chafee workshops/activities open to all clients
- Monthly BLS tips for caseworkers, providers and other supports to utilize
- Individual and group therapy
- Use of mentoring opportunities (i.e.: CASA, Lifelong, Inc., Choice, etc.)
- Early intervention through Fostering/Acing Healthy Futures between the ages of 9-12
- Values/Lifestyle Choices group discussing personal values, habits and choices (substance abuse and sexual health), reputation and stress
- Health & Hygiene group facilitated by staff and students from the CU School of Nursing covering a variety of health-related topics, including dental health, and the impacts of smoking/substance abuse
- Food/Nutrition group with a nutritionist from Tri-County Health or the Adams County Wellness program discussing diet, exercise and general health
- Personal Branding workshop addressing internet safety, the use of social media, how they present themselves, how they can reinvent themselves, and how they wish to be regarded
- Specialized groups related to substance abuse, when needed
- Experiential activities that offer appropriate risk-taking challenges in a safe environment

- School programs such as PE, health classes and specialized activities
- Assistance with accessing the local recreation center/fitness centers
- Physicians/medical staff
- Individual meetings with Chafee worker
- Probation-UA's and/or classes
- Church/religious organizations
- Mentors
- Providers and caseworkers

Population #2: Youth in the Chafee program receive detailed information pertaining to these issues through as well as:

- After Care support group and peer discussions
- Utilizing Colorado Quitline for free support to stop tobacco use
- Online resources and research
- Individual discussions with youth, when pertinent
- Probation or Parole-UA's and/or classes
- Referrals to available/appropriate community resources

F. Describe how your program will collaborate with family, kin, mentors, other supportive adults, community health and mental health centers, and community partners to support the wellbeing of young people in the program.

- Youth are asked to identify specific support people and how they would utilize those supports. While one person may be a support for a place to stay, another might be utilized for a ride to a medical appointment. Youth are often surprised by the number of support people they have in their lives once they think about it, and others need assistance to build their network
- Youth often struggle after leaving the system and we work with those youth to access services they may need. We assist them in connecting or reconnecting to appropriate resources, when needed. Often, services through a mental health agency are necessary, especially for those having great difficulty adjusting to being out of care
- After Care group and socialization activities provide opportunities for youth who were in care to connect to other youth with similar experiences. They are often in a position to provide support and resources for each other through peer-to-peer support. They can provide each other with a different level of encouragement and support than they receive from professionals in their lives
- Youth are offered opportunities to participate in leadership and peer driven programs such as the Metro Youth Alliance, Project Foster Power, Elevating Connections and other community events
- Joint activities for all Chafee program youth can and have resulted in "natural mentoring" situations that benefit both the older and younger youth
- We recommend that youth get involved in the community through their school, volunteering, faith-based programs, community events, Rainbow Alley, Bridging the Gap events, etc. to encourage interactions with non-agency professionals
- Youth who reconnect to family members after leaving care are counseled and assisted with the process to help address issues as they arise
- Youth at certain postsecondary education programs are connected to Fostering Success, a program that assists former foster youth in adjusting to college life. They provide support in a multitude of ways including school/dorm supplies, counseling, activities and tutoring
- Youth have been utilizing Dream Makers, a program that reaches out to teens without family support who are aging out of the foster care system. They strive to empower youth by providing them opportunities to "dream about their future". They fulfill dreams related to employment and education needs for these youth.

G. Describe how the county and program will collaboratively serve young people with physical and developmental disabilities.

Population #1: When youth with disabilities are in care, their caseworker ensures they receive specific accommodations to meet their needs. Youth with disabilities will be referred to Chafee when the caseworker believes they may benefit from services. Collaborative efforts may include:

- Specialized foster care/medical foster care
- Contact with the schools to provide appropriate educational related services and accommodations; attendance at IEP and 504 Plan meetings
- Assessment/Referral for SSDI and/or CHRP
- Working with physicians to ensure medical needs are addressed and any necessary medical devices are made available to the youth (hearing aids, glasses, wheelchairs, diabetic supplies, dietary needs, etc.)
- Referrals to local community center boards for possible transition to adult services
- Assessment to determine appropriateness for the Chafee program
- Recommendations for services and/or activities based on the assessment
- Referrals to external programs such as Honeyman, Inc., school-based programs, Workforce & Business Center, SWAP and/or the Division of Vocational Rehabilitation (DVR)
- Open Chafee case if youth can understand the concepts of independent living at an approximate 9th grade level and is willing to engage in services; assessment and recommendations for available services
- Individual appointments and/or group attendance to build independent living skills, based on need
- Design individualized skills plans for youth to learn skills and to reinforce the learning in the foster home
- Appropriate transition support; connection to available community services

Population #2: Youth in this age group with disabilities may be receiving or have been referred to:

- We may attend Support Intensity Scale (SIS) meetings in preparation for youth leaving child welfare and entering adult services
- Adult services for transition between ages 18 and 21
- SWAP or DVR to build employment skills
- Honeyman, Inc. or community center board to build a support network, learn basic life skills and receive services specific to their disability
- Youth open to Chafee may continue to receive supportive services and resource referrals until they age out of the program
- Collaboration with young adult disability serving agencies such as North Metro Community Services, Dunganin, Developmental Pathways, available host homes, etc.
- Transition support, including intervention services, if the youth's child welfare case closed prior to them turning 21 and they were not appropriate for adult services
- Staff attends trainings related to assisting young adults in applying for SSI, applying for long-term care, etc., to understand the processes and eligibility.

H. Describe how the program will support the young people you serve when it comes to their culture, linguistic needs, racial and ethnic backgrounds, sexual orientations, and gender identities.

- The Adams County Human Services Department is very proud to have become the 1st Child Welfare Agency in Colorado to seek, and be awarded two seals through the Human Rights Campaign, the largest organization in the US that lobbies for LGBTQ equality. Our agency received the 2019 "You Are Welcome Here" seal and the 2019 "Recognized Innovator in Supporting and Serving LGBTQ Youth & Families" seal, which is currently the highest level of recognition awarded. Staff completed numerous trainings related to service provision for youth and families in regard to LGBTQ considerations, as well as recruiting and supporting foster and adoptive homes for LGBTQ youth. County staff are required to complete a minimum of 5 hours of LGBTQ related training each year to maintain the seals, which helps workers stay updated on terminology and ways to support our youth and providers.
- As the Adams County Chafee program has had several URM clients on our caseloads over the past four years, we are always trying to obtain more information on best practices in working with these youth. This includes participating in CDHS URM Quarterly meetings and/or trainings when possible, as well as

educating ourselves about the youth's history, region they came from and their specific cultural backgrounds

- Our program strives to provide culturally responsible services to our youth and if we cannot meet their needs, we try to locate and secure supplemental services that can fill that void. For example, Native American youth may be referred to DIFRC or DIC to receive additional services that are culturally specific. Mango House or the African Community Center may be utilized if a youth is a refugee.
- Several years ago, an incident with a youth led us to add a Prejudice & Tolerance group to our curriculum. The group discusses the meanings of the words and different groups that have faced prejudice in the past and present. Youth consistently bring up ethnicity, sexual identity/preferences, religious preferences and often, being a teenager in foster care. Current events are often a topic of what can become a lively conversation. The group watches "The Mighty Times of Rosa Parks" or "A Time for Justice" and then we discuss the issues and the difference one person was able to make. We encourage them to stand up for others when it is safe to do so.
- Adams County staff includes a Diversity & Inclusion Administrator who provides innovative cultural awareness and other related trainings to staff. In December 2019 we utilized his expertise to provide a group for Chafee program youth and plan to continue hosting this activity. Although we provide a group on Prejudice & Tolerance, his presentations are very unique and we feel youth benefit greatly from attending.
- Rainbow Alley staff provide a Life Skills group addressing healthy sexuality which includes information about consent, sexual identity, sexual preferences and supportive resources for struggling youth.
- Chafee clients at times have issues around sexual identity and sexual orientation. Chafee workers strive to have open, honest relationships with our youth that allow them to share their issues and concerns in a Safe Zone so we can help them to the best of our ability. Program staff has become increasingly familiar with local community resources that can offer them information and support. We refer youth to these resources any time they confide their struggles so they can have additional supports in place while determining who they are and what they envision for their future relationships and sexual identity. Campus resources are recommended to youth who are attending post-secondary institutions.
- As LGBTQJ youth would often benefit from additional support services, youth are often referred to community resources including The Center, Rainbow Alley and Cory Barrett, a private provider who was affiliated with The Center for many years and continues to work with LGBTQJ youth through grant funding. Program staff take extra care in working with these youth and seek applicable training to ensure their needs are being met as they can be at increased risk of maltreatment and self-harm.

III. Safe and stable housing

A. Describe how the county will strategically access the full continuum of financial housing resources for youth including Independent Living Arrangements (ILA), Chafee, and Family Unification Program (FUP) vouchers.

ACHSD may offer ILA stipends to youth 16 and older who meet specific criteria. When a supportive adult is identified, a background check is completed and if approved, monthly independent living contracts are created with goals and objectives the youth must complete to receive a stipend. Through the use of stipends, youth contract to receive a dollar amount attached to a certain task or goal. As they accomplish those tasks or goals, they receive an appropriate stipend to help support them in their IL situation. The caseworker documents the plan in Trails and provides monthly reports on progress, as well as works with the support person in providing independent living skill opportunities. The maximum amount a youth can earn is up to \$800/month, increased in 2016 from \$500/month. An ILA stipend may be approved for placement with a non-relative, positive permanent connection or for a scattered site apartment. They may be assisted with a deposit, purchasing a bed, etc. through county funds as they are still in care. On a case-by-case basis, administration may also approve a \$400 monthly incentive to providers when there is a need, for a total available stipend of \$1200. We also utilize transitional programs such as Third Way Lincoln and Next Steps to assist youth in preparing for their eventual emancipation. Adams County has had a contract in place with Shiloh Homes to operate a two-bedroom independent living house that youth may reside in to assist them in transitioning into independence.

Due to damages reportedly caused by a former client/tenant and a recent break-in, the house has been unavailable for use, however, the contract remains in place and we await the availability to utilize the house once again. When available, this house is assigned a "house caseworker" who works specifically with them on their day to day needs. Youth who meet the criteria to live in the IL House have the opportunity to practice living on their own with a safety net provided through continued involvement with ACHSD. The youth must have an OPPLA goal and the ability to demonstrate progress in treatment, consistent responsibility and consistent ability to make good decisions. Once it is determined that a youth can live independently, a staffing occurs and the transitional case manager works independently with the youth to assess their needs and determine what is required to ensure the youth's success. Youth are expected to be employed and/or attend an education program and to actively work toward their emancipation. When they are ready to move to an IL situation, youth who are still in care may receive county funding to pay application fees and deposits as well as set up their new home. They may also contract to earn a stipend until their child welfare case is closed. We are very excited about a new housing opportunity coming to our area in June 2021. In a collaboration between Adams County and Maiker Housing, our former offices at 7401 Broadway are being repurposed into an affordable housing complex called "Caraway". There will be 12 apartments available for foster and former foster youth over age 18. Youth will be living in a new, beautiful apartment they can be proud of and may be eligible for vouchers that will help them with the transition to self-sufficiency. This housing opportunity will provide an invaluable resource for this population. Unfortunately, this will not be a resource for clients who are sexual offenders, and housing continues to be a challenge for youth in this situation. For these After Care youth, we often utilize Craig's List and other sources offering "rooms for rent", as very few apartment complexes are an option. Adams County continues to support youth in utilizing FUP vouchers when available and appropriate. Youth must now complete the Service Prioritization Decision Assistance Tool (SPDAT) through the coordinated entry system to be placed on the waiting list for FUP and other types of housing vouchers. Youth staying at Urban Peak are automatically assessed, and we assist youth in need that are not staying at the shelter with transportation and scheduling at the Urban Peak Drop-In Center to complete the assessment. We also accompany eligible youth to MHUW when they offer their monthly housing pre-application meetings. Through this process, youth are placed on waiting lists for vouchers they are eligible for and will receive the first one that becomes available. As youth receive a voucher, Chafee staff may assist with apartment searching, applications and fees, hold fees, deposits, household items, furniture incentive cards, food, etc. After they move-in, they are no longer eligible for housing funds through Chafee as it is a duplication of funding, but we continue to work with them around budgeting, employment, education and any other daily living skills they may need. One other resource that has become available in the Denver Metro area is Open Up, a program that matches families with a room for rent with people in need of housing. We have met with the program staff and shared the information with county staff, however, we have been very sensitive about referring youth as they would be living in someone's home.

B. Describe the housing supports including financial assistance (fees, deposits, rental assistance, and emergency funds), referral services, and assistance locating housing the program will provide to help youth secure safe and stable housing.

Youth still in care are expected to work and save money to assist in the transition to their own housing. The county may assist with costs of deposits to help them secure a place to live, and they may receive further financial support through their stipend. After Care youth may be referred to Family Unification Program (FUP), Volunteers of America (VOA), Colorado Access or other programs for housing assistance. They may be assisted with application fees, deposits, household items, furniture, food, etc. through Chafee housing dollars (2810). FUP and VOA may also be utilized to provide financial assistance when youth are securing housing. As previously noted above, youth who receive a voucher may be assisted with costs related to secure housing, but once they receive benefits through the voucher (generally rent for a month or two), they are no longer eligible for Chafee After Care housing dollars, so we utilize other resources for assistance. Our collaboration with the Dream Makers program has become invaluable as they assist in providing items that support youth in their transition to independence. They are often able to assist with funding and household related items, including move-in kits and gift cards for furniture and groceries. Aurora Warms the Night offers furniture and household items, as well as daily meals, laundry facilities, etc. In the winter months, they offer emergency shelter and

clients may transition into permanent housing once in the program. Comitis Crisis Center is another local resource we may refer clients to for both shelter and potential transition services. In addition, ACHSD developed a program several years ago called Building Blocks for Young Adult Program (BBYAP). Youth who emancipated from ACHSD custody may request funding for a variety of needs, including housing costs until the age of 24. BBYAP funds have been used to meet the needs of a multitude of youth who were either not in Chafee, who have aged out of Chafee, or when Chafee funds were unavailable. Youth are also able to contact adolescent caseworkers or Chafee workers within Adams County through YIT and Chafee Facebook pages that are monitored daily. There are in-house Benefits Navigators that can assist youth in determining eligibility and signing up for appropriate benefits. Youth may also be referred to the new website at www.Benefits.gov to utilize the available benefit finder to determine what benefits they may be eligible to receive. We moved to a new county building in September 2017, affording clients the opportunity for “one stop shopping” as entitlement programs, the housing authority, Child Welfare, the Workforce and Business Center, Chafee, etc. are now housed under one roof. This has improved access to various supportive programs as we can walk them directly to the check-in area. We work closely with the youth to develop a reasonable, working budget prior to move out so they are as prepared as possible for the reality of being self-sufficient and revisit their budgets often when they are living on their own.

C. Briefly describe barriers to securing safe and stable housing in the communities you serve and efforts your county is engaged in to address those barriers.

There has been a consistent lack of transitional housing resources for our emancipating youth that can provide them with an opportunity to learn the skills they need while living in a realistic environment. The options for a youth who is out of care are very limited and if there are no vouchers available, they can be wait-listed for multiple months after their application is accepted. The housing coordinated entry system to get youth assessed for available housing has been a challenge since foster youth are no longer prioritized for FUP even if they are eligible for the voucher. They are added to the waitlist along with other youth who may or may not be eligible for the vouchers earmarked to assist former foster youth who are experience inadequate, unstable housing or near homelessness. In addition, it has been difficult to get updated information even after a youth has been added to the waitlist which makes planning for housing an issue until the youth has been issued a voucher. This makes the Caraway project even more exciting as we will have apartments dedicated for some of the youth in our program. Many of our youth have significant mental health needs or substance abuse issues and maintaining housing on their own proves very difficult. Housing programs through mental health, FUP and VOA are utilized when appropriate and available. Housing proves to be even more difficult for youth on the sex offender registry, so we assist with all efforts to help youth successfully complete treatment and be removed from the registry. We have requested guidance from CDHS regarding paying for offense specific therapy sessions for a youth who did not complete treatment before his child welfare case was closed. If approved, this could be a valuable opportunity to help youth who are truly ready to complete treatment move forward after foster care. Currently, the lack of affordable housing in the Denver metro area is a significant barrier for youth, even for those with housing vouchers as it is difficult to find housing that is within the payment standard, at times resulting in a youth's voucher expiring before they are able to secure stable housing. We are connected to a property manager who facilitates groups on searching for appropriate housing and understanding leases so youth have as much information as possible to make informed decisions about their housing. An updated 3- year MOU with Mile High United Way/Bridging the Gap was submitted in July 2018 and a fully executed copy was returned in December 2018. The MOU is in effect until 7/1/21, approximately the same time Caraway will be opening, and allows for youth currently in foster care to be referred and utilize the vouchers with a caseworker providing the case management. FUP vouchers have been extended from 18 months to 3 years, giving youth extra time to achieve stability.

While we feel strongly that moving directly from foster care to public housing is not an ideal transition plan, some youth have been referred during their transition due to limited options. FUP is our primary housing assistance resource for After Care youth, and we prefer to utilize it closer to age 21, when possible. Youth are now required to complete the SPDAT through MHUW, a shelter or the Urban Peak Drop-In Center, before they are placed on waiting lists for any vouchers they are eligible for. We work with youth to ensure they can

complete the SPDAT and have the documents needed to navigate the process and obtain housing. This new process makes youth transitioning from foster care a lower priority due to less vulnerability on the SPDAT and further limits housing accessibility to these youth who may not present as high needs at the time of the assessment due to just exiting care. In 2019, Jefferson County received FYI (Foster Youth to Independence) housing vouchers for use by youth who are at least 18 years old and not more than 24 years of age; who left foster care, or will leave foster care within 90 days, in accordance with their transition plan; and who is homeless or at risk of becoming homeless. We have worked with Jefferson County to access the available vouchers when a youth is eligible and willing to reside in Jefferson County. We assist with the application process, attend tenant briefings, assist with the apartment search and can offer assistance with the upfront housing costs such as application fees, deposits, etc. if needed.

D. Describe ways in which the program will collaborate with family, kin, mentors, supportive adults, housing authorities, or community partners to help young people secure safe and stable housing.

Chafee program staff work with youth to consider all possible housing options including housing vouchers, renting rooms, or living with a roommate. Many youth reconnect to family members or psychological family members after leaving care, more notably since the implementation of PRT's. We can assist them in exploring possible housing options with these resources. We may provide roommate questionnaires to address issues prior to move-in, assist with apartment searching, and provide simple leases to use in room rental situations. Our program works in conjunction with programs like FUP, VOA and Rox Place to help youth maintain housing once it has been secured. We are connected to a property manager who facilitates groups on searching for appropriate housing and understanding leases so youth have as much information as possible to make informed decisions about their housing. She has also assisted in helping some of our youth get housed as she often notifies us when there are apartments available at her properties. Dream Makers has assisted with funding to help youth obtain or maintain housing, and provided 2 Adams County After Care youth with donated vehicles so they could get to one or more jobs more easily and earn money to support themselves.

E. Describe the status of the county and Chafee partners with local runaway and homeless youth (RHY) providers, and/or continuums of care (CoC). Include efforts underway, through those partnerships, to prevent youth from discharging from foster care to a homeless shelter facility.

On occasion, a youth will transition out of care to a homeless shelter. This is never our first choice and occurs only after all efforts to stabilize a youth have been exhausted. Unfortunately, these youth are often struggling with mental health or substance abuse issues and are refusing to comply with agency recommendations and/or court orders. Many times, these youth are "done with being in the system" and request their child welfare case be closed, even if they do not have a housing plan. Fortunately, it is often the case that after some time away from the "system", they are more willing and able to follow through with the things they need to do to become stabilized. This is a prime opportunity for Chafee After Care services to be of benefit and if we have previously closed a case due to refusal of services, we can easily re-open their Chafee case and coordinate with shelter staff to help them obtain stability. We are often contacted by Urban Peak in these situations to reopen a case for a youth who left placement prior to their child welfare case being closed. We may also contact the shelter to outreach regarding clients who end up at their facility. We attend teaming's and Pathways staffing when we are working with a youth in common to provide the best support for youth working on their goals for education, employment, housing, connections and their health and well-being. In addition, for youth utilizing the FUP or other housing voucher, we are available to collaborate with the youth's assigned case manager, housing coordinator, or assigned IL coach.

F. Describe the status of the county and Chafee program efforts to re-engage youth who may be receiving services through an RHY provider and are Chafee Eligible, and/or may be on the run from foster care.

If a youth who is freed for adoption and has an OPPLA goal runs from care prior to their 18th birthday, the child welfare case is held open until their 18th birthday. If they do not return, a motion to dismiss is submitted to the court after their 18th birthday requesting approval to close the case. For youth with a goal of "Return

Home” where parental involvement is active, the case is held open for 30-60 days before a motion to dismiss is filed. The length of time a case is held open in this situation is on a case-by-case basis. For example, a case involving a teen mother may be held open longer with the hope she will return and re-engage with services. As Chafee services are available until age 23, the youth may reconnect for services any time and the case can be reopened as long as they are eligible. The current rule for this situation requires that a youth did not run prior to their 18th birthday and was in a paid placement on that date. We are often contacted by Urban Peak in these situations to reopen a case for a youth who left placement prior to their child welfare case being closed. We utilize Trails tools such as the Pathways to Success, Transition Snapshot and Client Placement History reports to determine eligibility. There have been instances where a youth is identified as Chafee eligible through their association with other youth who are participating in the program. When this occurs, we verify eligibility and work with the youth to complete a self-referral, complete an assessment and develop an IL plan to address their individual goals.

IV. Secondary educational attainment

A. Describe how the county and program will support or encourage young people as they work to complete their high school diploma or GED.

Population #1: Youth in this age group are supported in whatever ways possible to continue making educational progress and to limit school changes while in care. When appropriate, caseworkers try to place youth in or near their home school or make transportation arrangements if that is not possible. The county contracts for transportation services to ensure youth can continue attending their originating services, whenever possible. Caseworkers and Chafee workers attend school staffings including IEP’s, 504 meetings, safety meetings, etc. to ensure youth are receiving appropriate educational services and support the youth. Under ESSA guidelines, caseworkers are responsible to request BID meetings to discuss possible school changes to assure decision-making is sound, should a move be considered. All youth are encouraged to work toward an educational goal and we adjust programming for youth, as needed. For example, if a youth is in high school and it was determined they would benefit from Life Skills group but there is a scheduling issue, we will work with them one-to-one until their schedule allows for group attendance. Chafee workers always take a youth’s school schedule into account when scheduling appointments and if a meeting must occur during school hours, it will be scheduled during a less intrusive time such as lunch, study hall, or on early release days. In some cases, youth have been able to receive high school credits for attending Life Skills group when we have provided their school with information about the groups they attended. We support and encourage participation in extracurricular activities that allow for a more “normal” school experience, and we have often helped with funds to support those activities. We have often referenced HB 08-1019, Section 2, 22-32-128, (7) which states that foster youth will have all school related fees waived, however, we have had little success with fee waivers. Youth may be referred to the WIOA/Youth Succeed Program to be assessed for the GED. We assist with making the referral, getting the necessary paperwork to the Workforce Center for eligibility determination, and can help with applying for the GED waiver, if needed.

Population #2: We are strong advocates for youth who are struggling or may be behind in school and could consider alternative programs to reach a more attainable goal. Fortunately, there are many options available to youth who struggle in traditional public schools including alternative schools, online and credit recovery programs. If a youth has dropped out, is too far behind in credits and credit recovery either isn’t available or the youth is not interested, they are supported in getting their GED. Programs such as Emily Griffith High School, Academy of Urban Learning, Pathways Future Center and GOAL Academy may be excellent alternatives for youth who have struggled in traditional school settings. If an alternative is deemed appropriate, we can assist youth in the referral process, especially those who did not complete an educational goal while still in care. We assist youth with getting referred for the GED, through the Workforce & Business Center, EGOS or other approved provider, and may include pre-testing and paying the necessary fees for tests and retests when other resources are unavailable. We have added a Career/College Prep 101 group to our curriculum that covers the basics of college/trade program planning and timelines for FAFSA, scholarships and ETV. This has also been extended into a one-day workshop in the past.

B. Describe ways in which the program will collaborate with family, kin, mentors, supportive adults, and education and community partners to support the achievement of high school diplomas or GEDs by youth in your program.

While a youth is working on their educational goals, we are encouraging them throughout the process to attend each of their classes, to complete their homework assignments, manage their class schedules, access tutoring, etc. so they can see progress each term. This allows them to stay focused on the end goal. As a youth prepares to graduate from an educational program, Chafee may assist with the costs of a basic graduation package for program participants, refer them for senior pictures, etc. ACHSD consistently participates in the Celebration of Educational Excellence to ensure all foster youth who achieved an educational goal while in foster care, or Chafee youth involved with ACHSD are recognized. The Chafee Program Coordinator sends out the information agency-wide and reviews, documents and submits the referrals to ensure all eligible youth are offered the opportunity to participate. Youth are encouraged to bring family members, friends, foster parents/placement providers, therapists, teachers, coaches, CASA's, GAL's, YAP workers, or anyone else who supported them throughout their educational journey to the event. As CDHS provides each youth a significant graduation gift at the ceremony, we provide an incentive card to youth with open Chafee cases, when our budget allows. Chafee youth receive a congratulatory card and motivational pin from the program. We may also attend graduation ceremonies or parties for our clients if requested and we are available. Youth often ask us to attend so we can meet family and friends we would not necessarily have contact with through our services while they are in care.

V. Post-secondary training and educational attainment

A. Describe how the program will support and encourage young people as they work to complete their postsecondary educational goals.

Youth are encouraged to utilize the tools available through their high school, Chafee, the My Colorado Journey (formerly College in Colorado) website, the Educational Opportunity Center, the Workforce & Business Center, and other resources. We assist youth with exploring post-secondary education programs, as well as with applying to colleges/vocational programs, scholarship searching/applications, financial aid applications, ETV applications, College Opportunity Fund, etc. We may take them to tour a school or program they are interested in and meet with a school representative to make sure any questions they have are addressed. We refer youth to a multitude of scholarships including Helen M. McLoraine, Forward Steps, Family Fellowship, Excelsior Scholarship Fund and Daniel's Fund, and recommend the use of available online scholarship sites including Fastweb.com and Cappex.com. We provide technical support to youth during the application process, We may provide letters of recommendation, requests for fee waivers, when needed, and assist with medical insurance waivers. We often request the Confirmation of Foster Care Dependency court order for youth to use during the financial aid verification process and discuss with youth what financial aid is available including grants, loans (subsidized vs. unsubsidized), work study, as well as housing and meal plans. We advise youth about what financial aid to accept, what to decline and we provided input on whether they need to accept a student loan. If a youth plans to accept a loan, we discuss the amount they should accept and repayment requirements. Youth at certain postsecondary education programs are connected to Fostering Success, a program that assists former foster youth in adjusting to college life. The program provides support in a multitude of ways including school/dorm supplies, counseling, activities and tutoring. Youth may be referred to schools connected to the Western Undergraduate Exchange Program to help with costs if they want to attend school out of state. We refer youth to the Educational Opportunity Center and take them to meet with staff there, when appropriate. Chafee staff provide ongoing support while youth are in school which may be psychological or monetary, such as meeting with them on campus or at the dorms, or helping with rent during a difficult month. We recognize that attending a program while trying to maintain housing and employment is extremely difficult so we will support them in any way we can. Our program often refers youth to technical/trade programs, Job Corps, Mile-High Youth Corps, apprenticeships, and the military when a youth is not interested in a traditional college education. We provide specific Life Skills groups about Job Corps,

military careers and college preparation. In 2019, we added a workshop about the use of social media, and how colleges and other post-secondary programs are often making decisions about acceptance based on the content of their posts.

B. Describe how the program will collaborate with family, kin, mentors, supportive adults, institutions of higher education, and community partners to support the achievement of postsecondary certifications or degrees by youth in your program.

ACHSD participates annually in the Celebration of Educational Excellence to ensure all foster or Chafee After Care youth who obtained a diploma, GED, degree or vocational certificate are recognized. Again, the Chafee Program Coordinator sends out the information agency-wide and reviews, documents and submits the referrals to ensure all eligible youth are included. These youth have often aged out of care and often out of Chafee as well, however, we try to maintain contact and follow up with youth when they are graduating so they can be celebrated. Youth are encouraged to bring family members, friends, foster parents/placement providers, therapists, teachers/coaches, CASA's, GAL's YAP workers or anyone else who supports them to the event. As youth receive a substantial graduation gift from CDHS at the ceremony, Chafee provides a small token gift to active clients when our budget allows. All Adams County Chafee and former Chafee youth receive a congratulatory card and motivational pin from the program

VI. Adequate employment

A. Describe how the county and program will help young people gain the experience and skills needed to become or remain employed.

Population #1: Youth in this age group are fully capable of learning job related skills without being employed and can be easily supported by providers. Their skills can be enhanced through helping youth keep their school supplies and assignments organized, keeping their personal space clean and organized, assisting with household chores, volunteering, practicing good hygiene, etc. Many youth in higher levels of care are offered opportunities to work in the kitchen or with maintenance through their placement, skills which can transfer when a youth is ready for regular employment. Youth can begin working at selected jobs with limited hours as young as 14 years old. The Workforce & Business Center (WBC) offers employment opportunities for younger youth during the summer, such as the Governor's Summer Job Hunt, and some youth may to obtain a work permit to work during the school year if they are able to maintain their grades. Most activities involving a level of responsibility for the youth will benefit their ability to obtain and maintain employment. Use of the Casey Life Skills Assessment and free resources to identify appropriate activities and tasks is highly recommended and Chafee workers assist caseworkers and providers with the process. The Chafee program offers numerous opportunities for youth to gain employment skills as well as employment. Our WBC staff facilitate one of our weekly groups and youth learn about available services, filling out applications, interviewing skills and maintaining employment. They are encouraged to register on www.ConnectingColorado.com, a valuable, no cost resource for state and local jobs, during the group. The WBC is the primary resource for employment services for foster and Chafee youth and they offer a multitude of resources including WIOA services, job referrals, self-help computer stations, paid work experiences, skills classes, access to job listings and internships/apprenticeships. We are now housed in the same building with WBC, allowing us direct access services and collaborations with WBC professionals. We receive all job fair notices through the WBC and post them on our program Facebook page and attend events with our group when our schedule allows. When our budget allows, we may offer a "Work Experience" for our clients. Youth are "hired" to complete projects at ACHSD including manning our agency booth at different events, preparing mass mailings, assembling training binders or working on our Community Resources booklet when it is time to reprint them. Youth are paid minimum wage and in addition to earning a small amount of money, they gain on-the-job experience, professional office experience they can use on resumes, while also using program staff as a reference. We have offered a Personal Branding Workshop, where youth learn the impact their social media presence can have on future employment and how to correct it. Chafee staff also assist youth with developing their resumes and have flash drives with various resume templates they can choose from. After their resume is

completed, multiple copies are printed on the paper of their choice and they keep the flash drive so they can make changes easily and use it when uploading their resume on job search websites, and when completing online applications. If a youth is struggling to obtain employment or wants to improve their interviewing skills, we may do mock interviews and record them so we can show the youth areas for improvement. Program staff also assist with employment needs such as uniforms, specific footwear, tools/supplies and transportation costs to help them maintain employment. When youth have special needs they may be referred to SWAP/DVR services. Also for these youth, we may utilize an individualized IL skills list to address specific skills needed to obtain employment such as money recognition, counting, giving change, filling out applications, interviewing and job maintenance. When our budget allows, we have contracted with the Strive for Students/Career Services Network to provide either a one-day or three-day Work Readiness workshop for youth. Youth leave the workshop with exceptional skills for understanding their interests, completing a job application, developing their resume and increased confidence when interviewing for jobs. As we have been working with the program since 2003, they will plan trips to Colorado from Arizona around our schedule so we do not have to pay for their travel and we only pay lodging and transportation for the time they are in Denver for the workshop. Youth who have completed the workshop receive a certificate, a copy of their mock interview and a small incentive. We have not been able to schedule in the past few years due to funding. Through Dream Makers, we connected to a program called Thrive, a non-profit through Flatirons Church. Donors pay \$400/youth so they can attend a free multi-day workshop exploring living-wage jobs, networking with high level employers and access to an employment coach. We had planned a joint workshop with Jefferson County for summer 2020 but had to cancel due to COVID-19. They will remain a resource in the future. Youth in this population are encouraged to begin saving money as soon as they get their first job. It is recommended that they save 80% of each check and begin basic budgeting with the remaining 20% while they remain in foster care and likely have few expenses.

Population #2: It is an expectation that youth in this group are employed unless there are extenuating circumstances. We work with youth to obtain and maintain employment so they can begin to save money and/or support themselves. Chafee youth would attend employment group with the WBC to learn about basic skills and available services. If they are not employed or are underemployed, we may refer specific youth to the WBC for services, or work with them individually to practice filling out applications, learn to track applications and follow-up, practice interviewing to build skills and confidence, provide funds for interview clothes, etc. Youth are invited to the workshops noted in Population 1 to improve their employment related skills and gain perspective from professionals. We post job openings and information about job fairs on our program Facebook page and often contact specific youth when we learn about a particular job opportunity that might be a good fit and assist with referrals as needed. We try to make connections with employers in the area that might be willing to work with our youth, understanding they may have a lot of appointments, they may need some extra hand-holding as they build skills, and they may have limitations to the hours they are available. Often, these youth are struggling with untreated or mental health issues, and we encourage youth in these situations to obtain appropriate services so they can be more stabilized and begin to move forward. Unfortunately, not all youth can be persuaded to go to therapy, take recommended medications, participate in treatment, etc., it is often a matter of time and waiting until they are ready to take on these challenges. Youth who are unable to work full-time to support themselves are directed to services such as the Division of Vocational Rehab and may be assisted with the application process for disability. We believe that most youth are capable of working part-time and encourage them to work jobs and hours that meet their needs in these situations.

B. Describe how the county and program will collaborate with family, kin, mentors, supportive adults, local workforce centers (WIOA), and community-based workforce programs to help youth prepare for and attain adequate employment.

Population #1: While a youth is in care, they are given the opportunity to begin working when appropriate and approved by their team. Minimally, the provider is expected to be familiar and have open communication with the employer, although often a caseworker and /or Chafee worker will work with them directly, as well. Youth who are doing well in school and in the home are encouraged to work outside the home or facility so they can begin to save for their transition out of care. Work hours and number of hours worked are determined by their

schedule, progress and grades in school, as well as behavior at home and in the community. If a youth begins to struggle, those issues will be taken into consideration and adjustments will need to be made. If a youth is a sexual offender, great caution is taken to ensure they are not working in a situation that allows for contact with children or violates the terms and conditions of probation or diversion. The Chafee program offers numerous opportunities for youth to gain employment skills as well as employment. Our Workforce & Business Center staff facilitate one of our weekly groups and youth learn about available services, filling out applications, interviewing skills and maintaining employment. They are encouraged to register on www.ConnectingColorado.com during the group. The WBC is the primary resource for employment services for foster and Chafee youth through the WIOA program, and they offer a multitude of resources including job referrals, self-help computer stations, access to job listings, internships, and apprenticeships. We are now housed in the same building with WBC, allowing for easier access to services and direct contact with WBC professionals. We are able to make timely referrals and have utilized both our office space and/or walked youth to their offices to meet with a case manager immediately or set an appointment. We have added new workshops and groups related to employment to our curriculum. A workshop discussing social media and how youth develop their own personal brand was an addition that provided youth with insight as to what employers and colleges look for on social media sites. We also added a Payroll Education group to our curriculum to ensure youth understand the information on their pay stubs, how to complete a W-4, withholdings, and taxes. We receive notices of job fairs and training opportunities through the WBC and post them on our program Facebook page. Youth are encouraged to become responsible employees through the encouragement of their various supports, whether they be professional or personal. Assigning youth responsibilities and ensuring tasks are completed is a very basic tool that can help make them valuable employees. Many youth obtain their first, entry level job through a connection they have made via their support team/personal network. These resources often provide the basis for a youth's employment history and we utilize them whenever possible.

Population #2: Combining school and work, this population should have a full-time schedule and by age 17 we hope they have begun to build their savings for their eventual transition from care. Obtaining employment is a priority at this age and we may meet with youth several times and utilize individualized IL skills lists to build the skills they need if they have not been able to secure or maintain employment. We may help them develop or update their resume and provide them with multiple copies as well as a flash drive with their original for easy future updates. We work closely with our Workforce & Business Center and WIOA services are often utilized to help youth prepare for and secure employment. Depending on their age, they may be referred to either the youth or adult program. Internships or apprenticeships may be available to youth in the program when they are 18 years of age or older. We encourage them to talk to friends and family members about their jobs, the expectations and if there are openings. Many of these youth obtain employment through "word of mouth" from peers, often foster siblings, who let them know about immediate openings. Youth often have a YAP worker or CASA that may help them with job searching as an assigned task through a PRT. Chafee workers also assist with job searching, applications, interviewing, clothing, etc. in efforts to help youth obtain employment.

C. Describe how the County and Chafee utilize the Reasonable and Prudent Parent Standards to support youth in engaging with employment opportunities while in foster care.

While a youth is in care, they are given the opportunity to begin working when appropriate and approved by their team. When a youth is employed, the provider is expected to be familiar with and have open communication with the employer, although often a caseworker and /or Chafee worker will work with them directly, as well. Providers also help them set up a savings/checking account and they are encouraged to utilize Direct Deposit if it is an option through their employer. Youth who are doing well in school and in the home are encouraged to work outside the home or facility so they can begin to save for their transition out of care. Work hours and number of hours worked are determined by their schedule, progress and grades in school, as well as behavior at home and in the community. If a youth begins to struggle, those issues will be taken into consideration and adjustments will be made. In some cases, youth must earn the opportunity to be employed outside of the home by meeting certain conditions of probation, parole or therapy. If a youth is a

sexual offender, great caution is taken to ensure they are not working in a situation that allows for contact with children or violates the terms and conditions of probation or diversion.

VII. Financial stability

D. Describe how the county and program will work with youth to develop a functional knowledge of budgeting, money management, and basic financial literacy.

Population #1: There are a variety of resources that can be utilized with this age group to educate them and assist with beginning skills building. The Casey Life Skills Assessment website offers a multitude of resources and activities for not only this population, but also for children as young as 8 years old. Utilizing free tools such as Ready, Set, Fly gives parents, providers and professionals ideas regarding skills they can teach using the age appropriate recommendations and by utilizing “teachable moments”. Young American’s Bank is a brick and mortar resource where children of all ages can go to learn about financial literacy and savings at their level in a fun, youth-friendly environment. Youth often learn the basics of money management through observation, which can have a positive or negative influence. Providers and supports can model money management daily through the use of budgeting, common sense spending habits and by setting spending priorities. Simple tasks like having a youth utilize a piggy bank that allows them to see savings progress or planning to make a meal on a budget can have a positive effect on their future financial decisions. Budgeting and money management are concepts we address on an ongoing basis both through groups and individual work with youth and money management is probably the most revisited topic with Chafee youth throughout the duration of services. As part of the Chafee Life Skills group curriculum, youth begin to learn about money management through groups on budgeting, banking and credit over a three-week span. Bank or credit union representatives present information about savings, checking and credit so youth receive detailed information from professionals in the banking field, and have opportunities to practice the skills while in group. A new Payroll Education group was added to ensure youth understand how deductions and taxes impact their net pay so they can budget their income more effectively. Budgeting and money management are concepts we address on an ongoing basis both through groups and individual work with youth. Youth receive tools to use to learn the concepts of budgeting and ones they can use ongoing to be aware of their spending habits and to avoid overspending when planning for their transition from care. The Chafee worker may use a three-month bill pay exercise to help them understand the concepts of paying bills and knowing what their income vs. expenses are at all times. The worker mails “bills” to the youth and they must “pay” them in a timely manner or pay “late fees”. Youth must keep track of their account balance to ensure they do not “bounce checks”. It can be a useful tool for youth struggling with the concept of bill paying. Hands on Banking for Youth is another tool that we use and offers lessons for youth in elementary school, through high school and into young adulthood. The tool explores the topics and resources for banking, budgeting, saving, credit, investing, and planning for retirement. We also use self-sufficiency calculators to give them a realistic picture of life on their own or to help them budget when they are already emancipated. We provide a yearly Income Tax group to help youth either fill out their tax forms for the previous year or practice filling out the forms with a mock W-2 form. Youth are also provided with information on locating Volunteer Income Tax Assistance (VITA) sites for free tax assistance that they can access in the future. Youth are assisted individually with completing tax forms, as needed. The majority of youth are encouraged to save at least 80% of any income they have while they are still in care so they can be more prepared for the costs of moving out on their own. This is generally included in their Chafee Independent Living Plan.

Population #2: Most youth in this population have either attended the money management related Chafee Life Skills groups or have worked individually with their Chafee worker to enhance their skills. For older youth, developing and tracking their budget may take several months of work until they are more confident and competent regarding their spending. We may ask them to bring in pay stubs, bank statements and receipts for all of their purchases and chart them so they can see patterns in their spending and make adjustments, if needed. Youth on stipends are often required to complete a budget with their Chafee worker or caseworker, and this becomes even more crucial for youth who have aged out and are working to become self-sufficient. ETV applications also require a student budget and is a great reminder for youth to consider school

costs and scholarships when developing their budget. Youth who have become skilled at budgeting are supported in using available credit tools to begin appropriately building their financial future. In addition, it is recommended that youth over age 18 and out of foster care pull their own credit reports each year at a free, reputable site such as www.annualcreditreport.com. Reports are offered at no cost and a report can be pulled from each of the three credit bureaus to ensure that youth reports are accurate and that what is listed is their own. If needed, credit remediation is available to assist youth with issues that need corrected on their reports or if their identity has been compromised.

E. Describe how the county will provide youth in out-of-home care with practical money management experience prior to emancipation or discharge, including providing opportunities to open savings and/or checking accounts.

Population #1: As some of these youth are several years from aging out of foster care, they can begin with the basics of saving, and continue to improve their skills and knowledge over time. Challenging youth to consistently save a certain percentage of an allowance or gift money and providing safe places for them to keep their money is important. Young American's Bank provides the best opportunities for youth in this age range to open bank accounts and learn practical skills they will need as they begin to work and save more substantial amounts of money. Other banks offer youth programs as well, but are not necessarily as youth friendly as Young American's Bank. Hands on Banking for Youth, a free online resource, provides learning/games to teach banking skills and to increase a young person's awareness of banking, money and budgeting. As youth obtain employment and move closer to aging out, they work with caseworkers and/or Chafee workers to discuss budgets and the money it will take to live independently. Once foster youth are earning their own money, it is suggested that they save 80% of each check to go towards their emancipation and practice budgeting the remaining 20% to demonstrate their ability to manage their funds between pay periods. Youth are encouraged and assisted in opening checking and savings accounts to practice budgeting their money. Some foster parent providers will assist youth in investing their savings into CD's after they have saved a substantial sum. Youth are also required to complete a realistic budget per their IL plan. These discussions are documented in the Independent Living Plan section in Trails. In working with youth to develop a positive credit history, a local credit union suggested a program involving the use of secured credit cards to allow youth the opportunity to use credit in a less risky manner. A secured credit card can help establish, strengthen and even rebuild credit. Chafee would encourage exploration of a "pilot" program where youth on an IL stipend could be issued a credit card with a defined amount that they can spend and repay to demonstrate responsible credit card use. In addition, the Life Skills group curriculum provides for groups specific to budgeting, banking and credit where they receive information that will assist them in the beginning stages of money management. Chafee staff also work individually with emancipating youth around all aspects of money management as they prepare to leave care, and that work continues if they choose to stay involved in After Care services.

Population #2: Youth over age 18 continue to build their money management skills with their caseworker and/or Chafee worker on an ongoing basis. They may meet monthly with their Chafee worker to go over their budget and review their income and expenses. They may be asked to bring in receipts to chart their spending so they can recognize patterns in their spending and identify where changes can be made to live within their budget. The importance of savings is a common theme throughout their adolescence and continues into adulthood. We stress that although it can be difficult to save at times, putting away even a few dollars per pay period will add up over time.

F. Describe how your program will collaborate with family, kin, mentors, supportive adults, financial literacy programs, and community partners to support the financial education and decision making needs of young people in the program.

Budgeting and saving are topics discussed at most staffings and FTM's so the team working with the youth understands where they are at both fiscally, and in regard to their skills around money management. Youth who would benefit from more intensive education related to banking and investments are generally referred to

Young American's Bank as it specializes in working with young people. They offer financial literacy classes and make navigation through information about banking, credit and investments very suitable for youth. Youth who are on a FUP voucher automatically receive services through Bridging the Gap and Young American's Bank to help them save and plan for their expenses more efficiently through the use of IDA's. Youth may also be referred to a personal banker at their local bank. ETV applicants are required to complete a Student Budget Worksheet which allows for them to acknowledge real costs when living on their own, as well as school related expenses. They must take into account all of their income, including scholarships and student loans as well as the cost of tuition, fees, student housing and meal plans. We have previously collaborated with Banking on Our Future/Operation Hope to provide a one-day workshop addressing the importance of fiscal planning and the options available. They remain a resource for future workshops related to financial education for our clients.

VII. Successful transition to adulthood from foster care.

A. Describe ways in which the county and the Chafee program promotes and supports normalized experiences among young people through age or developmentally appropriate activities.

Although involvement in normalized activities for foster youth is supported at a younger age, Chafee workers develop individualized Chafee plans with each youth following their assessment beginning at age 16. We base it on their goals and needs and update it when there are major changes to the plan. The Chafee program provides many venues for developmentally appropriate activities including several levels of groups, experiential activities and socialization events. Youth are encouraged to participate in extracurricular activities at school and work outside of their placement when appropriate, and we will work with their schedules to accommodate these normalizing activities. The program's philosophy encourages that whenever possible, our clients should be treated like anyone else and that they should have as much of a "normal" teenage experience as possible. Sometimes this means having to deal with the consequences of their behaviors, such as getting fired from a job or not having money to pay their phone bill. We work with them individually to address decision-making and how they would handle a similar situation the next time. Throughout the summer and during the holiday's, we make extra efforts to offer program youth experiential and socialization activities so that they can have more normalized experiences and opportunities for growth.

B. Briefly describe any group classes or activities not already mentioned including the name of the group, purpose of the group, intended audience, expected frequency and length of time, and name of the curriculum used for the group, if applicable.

Population #1:

- Although we are no longer providing Basic Life Skills group to foster youth 14 and older due to under-utilization, we send out a monthly tip for caseworkers and/or providers with ideas and resources that can help their youth begin learning the skills they will eventually need to become self-sufficient. Tips may be related to time management, organization, saving money, etc. We have a multitude of resources available to caseworkers and providers that can assist them in turning everyday activities into learning opportunities.
- Chafee Life Skills Groups have been part of our program for over 20 years. Groups are held year-round on Wednesday's from 4:30-5:45pm, with the exception of summer workshops/activities and holidays. Zoom will be used during the pandemic until we are able to return to in person classes and youth are personally invited through a password protected link. Life Skills groups are attended by youth aged 15 to 21 who have an open/active Chafee case and have completed an assessment. Recommendations for Life Skills group attendance are based upon each youth's individual assessment. This group covers daily living skills such as money management, housing, employment, health, relationships, voting, etc. and we have secured an extensive group of professionals who volunteer their time and present on their area of expertise. There are 25+ group/workshop topics in our curriculum and we continue to add new topics based on need and new resources. When youth complete the groups, they receive a

binder with information about all of the topics covered and more. Life Skills groups not only provide youth with opportunities to learn new skills, but they are also essential to developing relationships with staff and peers. While we don't anticipate that they will remember everything presented in group, the lessons provide a foundation for learning. Our hope is they will remember enough detail to locate the resources they need, develop pro-social relationships with peers, and view Chafee staff as non-judgmental supports.

- Independent Living Issues Group is a 12-week group held on an as needed basis for youth on the verge of moving out on their own. This is a discussion group about issues such as problems with roommates or landlords, locating and utilizing local resources, and dealing with life issues such as buying a car. This group is appropriate for youth 17 and older who have completed Chafee Life Skills Groups and who are preparing for move out within approximately 6 months.

Population #2:

- Traditionally, we have held a weekly After Care drop-in support group for youth who emancipated on or after their 18th birthday and have a closed Child Welfare case. Following the move to our new location, we have found it difficult to maintain this group and since then, services have primarily been on an individual basis. Although individual services have always been provided, the group offered a unique support for After Care youth, and we are hoping we can resume at some point. We have considered a "traveling" group, meeting in different locations in the Metro area with reasonable access to public transportation. This may be re-evaluated after the pandemic subsides and we can safely meet in public. This group has been generally youth driven, based upon what they would like to discuss, although we may provide a timely topic from time to time. This group has been available for over 30 years and former Chafee youth have been welcome to drop in if they need support or want to share how they are doing. We encouraged this as they can often provide valuable advice to newly emancipated youth who may be struggling. We continue to utilize older youth for discussion panels or to share their story with a client we are working with if it may be beneficial.

C. Describe any services not addressed previously in this section that the program will provide to help young people develop life skills and self-sufficiency competencies.

Chafee is a program that allows for creative thinking when working with youth. Our direct services with a youth are client driven and based on their needs and issues that may arise. We are always open to new opportunities that allow us to assist them in becoming self-sufficient. Over the past two years, we have added topical workshops related to basic home maintenance, car ownership and automotive maintenance, and social media use and self-branding. Prior to the pandemic we had met with our Clerk and Recorder to plan for a group discussing elections and voting. While we have a lengthy history of encouraging youth to register to vote and discussing ballot issues and candidates, we were excited to bring in an expert to explain the process more thoroughly. We have also provided youth with updated information on the new rule that allows 17-year-olds who will turn 18 by the November 3rd, 2020 general election to register and vote in the primary election and on election day in an attempt to improve young voter turnout.

D. Describe collaborative partnerships or leveraging of resources not addressed previously in this section.

The Adams County Chafee program could not function without the support of our collaborative partners. Resources may assist youth in their transition out of care or provide support in maintaining their stability. They include group presenters, workshop facilitators, experiential programs, donors and community resources. Our collaborative partners include:

- A Precious Child
- ACHSD Internal Treatment Team
- ACHSD Youth In Transition Teams & High Intensity Treatment Team
- Adams County Clerk and Recorder
- Adams County Animal Shelter

- Adams County Fleet Management
- Adams County Workforce and Business Center
- Adoption Exchange
- All branches of the military
- American Payroll Association—Denver Chapter
- Banking on our Future/Operation Hope
- CASA
- CDHS-Emancipation Medicaid
- Choice Program
- Colorado Department of Higher Education
- Colorado Teen Project
- Community Choice Credit Union
- Community Reach Center
- Community Works/Faith-based non-profit
- Cross Purpose
- CU Ropes Course
- Developmental Pathways
- Dream Makers
- Dungarvin
- Educational Opportunity Center
- Education and Training Vouchers
- Elevating Connections
- Flatirons Church
- Forward Steps
- Front Range Community College (and other local community and state colleges)
- Hope Tank
- Informational meetings with the faith-based community upon request
- Integral Property Management
- IPie Pizzeria
- Jefferson County Chafee (joint activities)
- Job Corps
- Legacy Partners
- Lutheran Family Services/Unaccompanied Refugee Minor Program
- Maiker Housing
- McWilliams Group
- Medicine Horse Equine Assisted Therapy
- Metro Youth Alliance
- Mile High United Way/Bridging the GAP
- Project Foster Power
- Rainbow Alley
- Redwood Trust
- Rites of Passage (ROP)
- RTD
- Salvation Army
- SCL Health/West Pines Training Center
- Shiloh House
- Smart Enterprises
- Strive for Students/Career Services Network
- The Spot
- Thornton Police Department
- Tri-County Health Department/Nurse Family Partnership
- University of Colorado School of Nursing and Dental Programs
- Urban Peak
- Victory Outreach Fellowship
- Voluntary Income Tax Assistance (VITA)
- Wells Fargo Bank

- Westminster Police Department
- Youth Advocacy Program

VIII. Sex Trafficking Reporting requirement

A. Describe how your program will identify victims of sex trafficking according to the definition of Sexual Servitude of an Adult (C.R.S. § 18-3-504).

Chafee workers will identify adult, active After Care victims of sex trafficking through self-report and following up on any concerning information we may receive from third-party sources including other professionals, other clients, family members, etc.

B. Describe the county's reporting procedure including who from the county program will make the report to law enforcement and to which law enforcement agency this report will be made. If the county provides Chafee services through an independent contractor, include the procedure for how the contractor will notify the county and how the county will ensure a report is made to law enforcement.

Chafee workers who provide services to After Care youth will complete the High-Risk Victim Identification Tool for youth currently open to Chafee After Care services, and will contact law enforcement where the suspected trafficking occurred within twenty-four (24) hours of becoming aware of any alleged abuse. If the location is unknown, we will contact the agency's jurisdiction to file a report.

C. Identify what information will be presented in the report to law enforcement.

Whenever possible, information will include: name and demographics of alleged victim; dates and times of alleged trafficking; locations or any information that could identify the location of alleged trafficking; name and demographic information about suspected perpetrator(s); any available details related to trafficking, including third-party sources that may have information.

D. Detail how and what will be documented in Trails about the report law enforcement.

Information will be documented in the After Care Trails record for the youth and will include: date report was made; time report was made, name of law enforcement agency that was contacted; name of law enforcement representative taking the report; report number; disposition (assigned/not assigned), if available.

E. Discuss how your program will mitigate the potential effect of reporting youth to law enforcement and the impact that may have on the professional relationship.

When appropriate, the Chafee worker will discuss a pending report with the youth and let them know that while we are mandated to report, our goal is for them to be safe and supported. We will assist them with locating emergency shelter, therapeutic, and other supportive services if they are willing to utilize them. We will offer extended support throughout investigation and outcome (i.e. assistance with transportation to interviews, therapeutic appointments, medical appointment, attending court hearings, etc.), when appropriate and using caution to not impact any pending investigation.

There may be situations when we suspect a youth may run or disappear if they know we are making a report, so a report may be filed without their knowledge if it is deemed to be in their best interest. This may also occur if we have suspicions, but limited information, and need to discuss with law enforcement to determine how to proceed.

X. Training and Program Support

A. Describe the training needs of staff in your program, ways in which your county will help staff develop skills to more effectively work with youth and young adults, and gaps in training opportunities offered through the Child Welfare Training System and in the community.

All casework and Chafee staff are required to complete 40 hours of state approved, job related training each year. These trainings may be offered through the agency, county, CDHS, national programs and/or local resources. Adams County provides employees with a wide variety of trainings through our LEAD Learning & Development Program. Throughout 2018-19, ACHSD staff completed numerous trainings related to service provision for youth and families regarding LGBTQ considerations, as well as recruiting and supporting foster and adoptive homes for LGBTQ youth. As a result, our agency was the 1st in Colorado to be awarded 2 certifications through the Human Rights Campaign. All agency staff are required to complete 5 hours of LGBTQ training each year to maintain our certification.

Chafee staff are always an available resource for caseworkers and providers when they are looking for information or ideas in their work with adolescents. We present program information at New Worker Orientation, host a booth at the annual Resource Fair, and we offer to attend unit, team or section meetings when requested. The Chafee workers offer Casey Life Skills Assessment training on an ongoing or as needed basis. In addition, we provide support to workers through assistance with setting up accounts, providing an instruction sheet and technical assistance. The YIT supervisors offer adolescent training to new workers, CASA, foster parents, and on call workers. Our YIT teams provide ILP training on a regular basis to ensure all agency staff can create a substantive ILP with their youth. Staff can attend whenever needed to ensure they remain competent in the development of ILP's. Chafee staff are often asked to assist Ongoing workers with ILP's if a training is not available. With the changes to Volume VII that requiring IL services for foster youth beginning at age 14, new staff involved in managing Ongoing child protection cases will need initial training specific to creation of ILP's with youth. These trainings can be accessed through CWTA or through inter-agency trainings. We also provide technical assistance, upon request, to other Chafee Programs and workers in Colorado.

XI. Program Reporting

A. Describe in bulleted detail how your county will engage foster parents and caseworkers to ensure full documentation of all independent living skill activities in Trails.

Population #1:

- Professionals and providers involved in a youth's case may be tasked to complete IL activities with the youth. They will report back when activities are completed and workers will enter them into Trails as a specific IL activity.
- Chafee workers and caseworkers are expected to document all IL activities in Trails
- Chafee workers will continue to update the Chafee group/activity window to reflect IL activities, contacts and attempted contacts/services
- IL plans may also be reviewed during Family Team Meetings and changes are documented in Trails

Population #2:

- Chafee staff document all case related contacts and attempted contacts in Trails

B. Describe ways in which your county and program will support efforts to contact youth participating in National Youth in Transition Database (NYTD) surveys.

- Ongoing education of staff within ACHSD
- Workers must ensure Trails records are complete with addresses, phone numbers and emails of youth and anyone who may stay in contact with them
- Educate 17-year-old baseline youth about the NYTD surveys so they are aware they will be asked to complete them again at 19 and 21
- Chafee assists with contacting caseworkers and supervisors to ensure pending surveys are being completed
- Chafee communicates with CDHS regarding issues with surveys and updated youth contact information
- Encourage youth to be “Facebook Friends” with YIT and/or Chafee following closure so we can contact them through Messenger
- Utilization of various social media platforms to contact youth or known contacts

**CHAFEE PROGRAM
REGIONAL MEMORANDUM OF UNDERSTANDING**

Date: N/A

This Memorandum of Understanding (MOU) is between _____ County (Host County) and _____ County (Partnering County) regarding the provision of Chafee program services.

This MOU is entered into in order to clarify and define the roles and responsibilities for each County (listed above) in order to meet the requirements of the Chafee Program regarding Regional County agreements for service delivery to CFCIP participants.

It is the intent that by entering into this agreement that _____ County (Host County) and _____ County (Partnering County) mutually agree to adhere to State and Federal statutes and policies that apply to the CFCIP program.

General Provisions:

1. It is expected that the Directors (or Director's designee) from both the Host County and the Partnering County sign this MOU.
2. It is expected that both Counties entering this agreement shall be responsible to communicate and coordinate with each other regarding case referral and to provide each other with pertinent information regarding the child and any other issues deemed necessary for effective and constructive service delivery.
3. The Host County shall be responsible for Trails documentation.
4. The Host County is responsible for providing funds for a Chafee participant being served by the Host County.
5. The Host County shall be responsible for documenting and tracking the Chafee funds disbursed and such funds shall be reflected in the Host County's annual reporting.
6. The Host County shall be responsible for expending funds per CFCIP and Federal guidelines, documentation of expenditures and reporting the annual expenditures in annual reports.
7. The Host County shall be responsible for compiling the annual individual data reports and submit them to the Chafee Program Coordinator.
8. The writing and revision of Youth Transition Plans shall include the Chafee participant; care providers, and both the Host County and the Partnering County.
9. The Host County will agree to update the partnering County by use of Trails entry.
10. The Host County will provide any Chafee services determined necessary by the initial assessment in accordance with CFCIP regulations.
11. The Host County is responsible for initial follow up reports.
12. The Host County will inform the Partnering County of case closure through written documentation and will close the Independent Living case in Trails.
13. The Host County is responsible for providing a copy of the annual County Collaborative Chafee Plan to the Partnering County upon plan approval and ensures that expenditures are allowable costs.

Specific Provisions:

1. Please list specific services to be provided by the Host County:

2. Financial agreements: The Host County receives a total regional award of \$ _____ for the County Collaborative Chafee Plan submitted by the Host and Partnering Counties to the Division of Child Welfare. This award includes an amount of \$ _____ available for Chafee services to be provided to Chafee eligible youth from

the Partnering County and for which referral is made to the Host County by the Partnering County requesting services. Any funds not expended by August 31st shall be expended at the discretion of the Host County.

3. Chafee funds shall be used in accordance with Federal guidelines in Public Law 106-169 and 2 C.F.R. Part 200, and per federal statute Title IV-E of the Social Security Act at Section 477.

Signatures:

County, Host Collaborative County

Kate Shiego

Director (or Director's designee)

Administrator

Chafee Supervisor

Chafee Caseworker

County, Partner Collaborative County

_____ Director (or Director's designee)

_____ Administrator

_____ Chafee Supervisor

_____ Chafee Caseworker

**CHAFEE PROGRAM SERVICES PLAN
ABOUT THE AWARD AND SUB-RECIPIENT DETERMINATION**

Per the Uniform Administrative Requirements for grants and agreements at 2 CFR Part 200, DCW is required to notify funding recipients about the source of federal funds and about whether the recipient is considered a vendor or a sub-recipient of those federal funds. County recipients of Chafee Independent Living Awards are considered **sub-recipients** and are subject to the provisions of 45 CFR Part 92 and the Uniform Administrative Requirements of 2 CFR Part 200 (formerly OMB Circulars A-87, A-122, and A-133).

About the Award:

Federal Award Identification Number:	2001COCILP	Federal Award Date:	October 1, 2019 - September 30, 2021
Federal Award CFDA #:	93.674	Total Amount of Federal Award:	\$1,668,697
Awarding Agency:	US Department of Health and Human Services, Administration for Children & Families	Pass-through Entity:	Colorado Department of Human Services, Division of Child Welfare
Award Description:	John H. Chafee Foster Care Independence (Chafee ILP) Program under Title IV-E of the Social Security Act (42 U.S.C. 677 et. Seq.).		
Awarding Agency Contact Information:	Derek Blake, Chafee Program Coordinator 303-866-5995 / Derek.Blake@State.co.us		
Indirect cost rate for the Federal award (including if the de minimis rate is charged per 2 CFR §200.414 Indirect (F&A) costs).	CDHS uses an actual cost allocation model to assess indirect costs. The budget exhibit outlines any indirect costs assumed by the sub-recipient. 0% of this award is R&D.		

The tentative Federal Fiscal Year 2021 award for each county is shown in Attachment 1. This is for planning purposes only, and should be treated as an estimate. Only county programs that received Chafee funds in FFY 2020 are listed. The actual award may increase or decrease.

**CHAFEE PROGRAM SERVICES PLAN
FINANCIAL PRE-AWARD QUESTIONNAIRE**

Per 2 CFR Part 200, effective July 1, 2015, DCW is also required to conduct a financial risk assessment for all sub-recipients prior to awarding grant funds. Counties must complete and submit this financial pre-award questionnaire and submit it along with their county plan.

Name of organization: Adams County Human Services Department

Name and title of person completing this form: Brent Voge, Accounting Supervisor

1) Please complete the following table (adding lines as necessary) or attach your own document detailing your organization's current sources of funding for services for the Chafee-eligible population (including CDHS grants). Provide the funding agency, the program name, the types of funds (i.e., Federal, State, local, private, etc.), and the contract/award budget amount:

Grantor Agency	Type of Funds	Program	Contract/Award Budget Amount	Contract/Award Period
CDHS	Federal	Chafee Foster Care Independence Program	123,109	10/1/19 - 9/30/20

2) Describe your experience managing similar awards. You may use the table below as needed.

Program Name	Program Dates	Program Description	Granting Agency	Amount
Child Welfare Block Allocation	July 1, 2019 - June 30, 2020	Children, Youth & Family Services placement costs, staff payroll, case services, special circumstances daycare, etc.	CDHS	\$34.5 Million
Core Services	July 1, 2019 - June 30, 2020	Funding for Mental Health, Substance Abuse, Life Skills, Home Based Services, Day Treatment, etc. for Child Welfare clients	CDHS	\$5.5 Million
LEAP	July 1, 2019 - June 30, 2020	Low Income Energy Assistance for Adams County Residents	CDHS	\$.4 Million

3) For the accounting/fiscal FTE assigned to this project, provide their name, title, and how long they have worked for your organization in their current role. Identify the person that is in charge of maintaining your accounting and financial records for this project and provide a brief description of their accounting experience and qualifications. Identify any new accounting personnel assigned to this project within the previous 12 months, and whether any of your accounting systems have changed within the previous 12 months. Brent Voge, Accounting Supervisor, Human Services Finance. Brent has been a part of the Human Services Finance Team since September 2016. Brent worked for the State of Colorado in various Accountant, Controller, and Financial Management positions for 33 years. We have not had any changes in the accounting systems in the last 12 months.

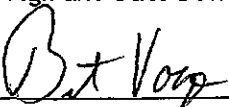
- 4) Does your organization receive an annual financial statement audit under:
- The Single Audit Act/OMB Circular A-133 (Government Auditing Standards) _____ OR
 - Generally Accepted Auditing Standards (GAAS)
 - Click [here](#) for more information on audit requirements for sub-recipients.
- <http://www.adcogov.org/documents/2019-comprehensive-annual-financial-report-cafr>

If yes, please provide a copy (electronic preferred) or link to your most recent audit report and STOP HERE AND SIGN/DATE BELOW.

IF NO, PLEASE ANSWER ALL THE REMAINING QUESTIONS AND SIGN/DATE BELOW.

- 5) Are your organization's financial records maintained in accordance with Generally Accepted Accounting Principles (GAAP)?
- 6) Are accounting records supported by original documentation specific to contracting with your vendors?
- 7) What controls are followed to ensure all of the following:
- a) The reasonableness of cost;
 - b) The allowability of costs;
 - c) The allocability of costs to a contract?
- 8) Do you have available accounting policies and procedures to review? If not, please describe your organization's overall fiscal controls and structure to sufficiently:
- a) Permit the preparation of financial statements.
 - b) Allow the organization's staff, in the normal course of performing their assigned functions, to prevent or detect misstatements in financial reporting or the loss of assets in a timely manner.
 - c) Compare the budget to actual expenditures.

Please Sign and Date Below:



Signature Brent Voge

9/11/2020
Date

**CHAFEE PROGRAM SERVICES PLAN
BUDGET AND BUDGET JUSTIFICATION FORM INSTRUCTIONS**

Introduction

All counties who submit a plan are required to submit a plan budget and budget justification using the attached budget form. This form is the same as last year application, but see additional information below:

1. *The Division of Child Welfare (DCW) has estimated county awards for federal fiscal year (FFY)21.*

Counties should use the tentative FFY21 county awards table to formulate their budget for FFY21.

2. *The budget categories and level of justification required are more closely aligned with standard federal grant budget categories and justification requirements.*

The budget and justification breaks out personnel, supplies and operating, travel, and indirect expenditures from the standard Chafee activities. Accordingly, please use the budget form to describe how the categorical costs are derived. In the "description" field discuss the necessity, reasonableness, and allocation of the proposed costs. Calculations should include estimation methods, quantities, unit costs, and other similar quantitative detail sufficient for the calculation to be duplicated.

For example: Telephone costs. Average cost is \$40 per month per staff. Two 0.5 FTE staff are assigned for 12 months. $\$40 \times 2 \times 12 \times 0.5 = \480 .

3. *DCW is requesting additional information about the additional funds that are utilized in meeting the needs for serving the Chafee population.*

In addition to knowing the planned use for your Chafee award, DCW is interested in knowing the actual total cost of serving the Chafee-eligible population, above and beyond what the Chafee grant is able to cover. Please include all of the costs of serving the Chafee population, and indicate in the appropriate column whether that cost is traditionally covered by Chafee or by another county funding source. DCW will not assume that the non-Chafee costs are match for the CFCIP funding.

Please use the following categories and guidelines for preparing the budget and budget justification form. If applicable, please review the guidance under 'Host Counties'. This form was designed to make automatic calculations. However, it is your responsibility to **DOUBLE CHECK ALL CALCULATIONS** to ensure accuracy before submitting your final application.

Personnel - CFMS - Program Code E010, Function Code 2850

Description: Costs of employee salaries/wages and benefits. If CFCIP is not funding 100% of the cost, please provide information about the other funding sources you are using and whether those are a part of your CFCIP match.

Justification: Indicate information for each employee for whom CFCIP funding is proposed in whole or in part. For each staff person, provide their title, monthly salary/wages/rates, monthly fringe/benefits costs, time commitment to the project as a percentage or full-time equivalent, and time commitment to the project in months per year. Do not include the costs of consultants or personnel costs of delegate agencies, unless otherwise indicated.

If Chafee is not funding 100% of the position, please provide information about the other funding sources you are using.

Example personnel line items include:

Chafee Coordinator: Direct program time associated with providing leadership to the program.

Adolescent caseworker*:

Administrative staff: Administrative support positions such as a receptionist, administrative assistant or program assistant, general clerical help, temporary help, etc.

*Federal IV-E requires a 20% match for the state/county programs to access Independent Living Funds. To meet the match requirement the county should code adolescent caseworkers currently reported in CFMS as (Program Code 3200, Function Code 1210) to an 80/20 (Program Code E050, Function Code 2875).

Supplies & Operating - CFMS - Program Code E010, Function Code 2850

Description: Costs of operating the program and of tangible personal property other than that included in the "Other" or "Indirect" categories. Such costs, where applicable and appropriate, may include but are not limited to: insurance, food, space and equipment rentals, printing and publication, computer use, training costs such as tuition and stipends, staff development costs, and administrative costs. This used to be included in the 'Personnel' budget category, which distorted budget projections for personnel. If Chafee is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your CFCIP match.

Justification: Specify general categories of supplies and operating expenses. Show computations and provide other information that supports the amount requested.

Travel - CFMS - Program Code E010, Function Code 2850

Description: Costs of employee's project-related travel (This item does not include costs of consultant travel). This used to be included in the 'Personnel' budget category, which distorted budget projections for personnel. If Chafee is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Justification: For each type of trip show: the purpose, the duration, per diem, mileage allowances, and other transportation costs and subsistence allowances.

Room and Board Reimbursement - CFMS - Program Code E010, Function Code 2810

Description: Reimbursement for room and board is available to young adults, ages 18-23, who emancipated from foster care on or after their 18th birthday. Room and board is defined as rent, rental deposits, furniture, and household start-up items. No more than 30% of your total award may be spent for room and board. If Chafee is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Justification: Indicate the number of young adults for whom reimbursement is to be provided, the estimated rate of reimbursement, the quantity, and the percent that will be billed to Chafee. If Chafee is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Purchase of Service Contracts - CFMS - Program Code E010, Function Code 2850

Description: Indicate information for each specific provider from whom Chafee services are proposed to be purchased. The definition of 'purchase of service contracts' is found in 12 CCR 2509-1 ([Volume 7.607](#)). If CFCIP is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Justification: The justification shall include the provider's name, the description of services provided, the rate of services, the quantity of services, and the percent of the cost assigned to Chafee. The description field shall describe the solicitation method for all known or anticipated purchase of service contracts greater than \$10,000.

Youth Direct Service - CFMS - Program Code E010, Function Code 2850

Description: Youth Direct Services shall be used according to federal guidelines [SSA Section 477(d)(1)] as incentives for completing goals in the plan for transition to independent living. It should include other expenditures that will assist Chafee youth to emancipate and when no other funding sources exist. ***This may not be used for Room and Board.*** If Chafee is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Justification: The justification shall include the provider's name, the description of services provided, the rate of services, the quantity of services, and the percent of the cost assigned to Chafee.

Host County/Other - CFMS - Program Code E010, Function Code 2810

Description: If you are a host county or the fiscal agent for a county, provide details for how much is being requested for each hosted county, including a description of the services offered and details about the calculation methodology.

Also, use this section to indicate any other types of services your Chafee program will provide. If CFCIP is not funding 100% of the cost, please provide information about the other funding sources you are using, and whether those are a part of your Chafee match.

Justification: Provide computations, a narrative description and a justification for each cost under this category.

Indirect Charges

Description: Indirect costs are those that have been incurred for common or joint purposes. These costs benefit more than one cost objective and cannot be readily identified with a particular final cost objective without effort disproportionate to the results achieved. After direct costs have been determined and assigned directly to federal awards and other activities as appropriate, indirect costs are those remaining to be allocated to benefited cost objectives. A cost may not be allocated to a federal award as an indirect cost if any other cost incurred for the same purpose, in like circumstances, has been assigned to a federal award as a direct cost.

Justification: Describe your indirect rate or allocation methodology, including whether that methodology has been approved by the federal government and whether it has changed with the introduction of 2 CFR Part 200, Appendix VII (Uniform Administrative Guidance for Grants and Cooperative Agreements, States and Local Government Indirect Cost Proposals).

CHAFEE PROGRAM ANNUAL PLAN

Attachment 1

PROJECTED FEDERAL FISCAL YEAR 2021 COUNTY FUNDING TABLE

County	Amount
Adams	\$122,945
Arapahoe	\$99,885
Boulder	\$75,841
Broomfield	\$11,431
Chaffee	\$8,880
Delta	\$16,059
Denver	\$198,875
El Paso	\$269,789
Garfield	\$9,005
Jefferson	\$103,001
La Plata	\$22,358
Larimer	\$88,720
Mesa	\$84,324
Montrose	\$20,450
Morgan	\$7,400
Pueblo	\$83,090
Weld	\$73,795
Balance of State	\$25,000
TOTAL	\$1,320,847

These funding amounts are tentative and shall be treated as an estimate for budgeting purposes only. If your county is not listed, you do not need to complete a plan unless you would like to apply for Chafee Program funds for FFY21.

If you have a need for Chafee funds but do not wish to apply for full funding, please review the Balance of State application process which can be found in the Informational Memorandum titled *Chafee Foster Care Independence Program Services Plan 2019-2020 Planning Package Due on September 25, 2020* (IM-CW_2019-xxxx). The memo can be found on the Memo Website (<https://sites.google.com/a/state.co.us/cdhs-memo-series/home>).

**CHAFEE SERVICES PROGRAM PLAN
FFY 2020-21 POPULATION TO BE SERVED FORM**

Projected No. Unaccompanied Youth to be served	Projected No. Youth with a Family To Be Served**	Chafee-Eligible Populations:
Regional County: ADAMS		
0	40	1) Youth, age 14 to 17, currently in out-of-home care and who have been in out-of-home care a minimum of 6 months, consecutive months not required.
0	10	2) Youth, age 17-23 currently in out-of-home care, 6 months not required.
0	1	3) Youth, age 16-23, who entered Adoption Assistance on or after age 16.
0	1	4) Youth, age 16-23, who entered Relative Guardianship Assistance on or after age 16.
0	20	5) Young adults, age 18-23, who are no longer in out-of-home care and who were in out-of-home care on their 18th birthday.
0	7	6) Youth, age 14-23, who meet community placement requirements for the Division of Youth Corrections, and were in community placement for a minimum of 6 months, consecutive months not required; or, were in community placement (Title IV-E paid placement that is in an unlocked facility) on their 18th birthday.
Regional County:		
		1) Youth, age 14 to 17, currently in out-of-home care and who have been in out-of-home care a minimum of 6 months, consecutive months not required.
		2) Youth, age 17-23 currently in out-of-home care, 6 months not required.
		3) Youth, age 16-23, who entered Adoption Assistance on or after age 16.
		4) Youth, age 16-23, who entered Relative Guardianship Assistance on or after age 16.
		5) Young adults, age 18-23, who are no longer in out-of-home care and who were in out-of-home care on their 18th birthday.
		6) Youth, age 14-23, who meet community placement requirements for the Division of Youth Corrections, and were in community placement for a minimum of 6 months, consecutive months not required; or, were in community placement (Title IV-E paid placement that is in an unlocked facility) on their 18th birthday.
Regional County:		
		1) Youth, age 14 to 17, currently in out-of-home care and who have been in out-of-home care a minimum of 6 months, consecutive months not required.
		2) Youth, age 17-23 currently in out-of-home care, 6 months not required.
		3) Youth, age 16-23, who entered Adoption Assistance on or after age 16.
		4) Youth, age 16-23, who entered Relative Guardianship Assistance on or after age 16.
		5) Young adults, age 18-23, who are no longer in out-of-home care and who were in out-of-home care on their 18th birthday.
		6) Youth, age 14-23, who meet community placement requirements for the Division of Youth Corrections, and were in community placement for a minimum of 6 months, consecutive months not required; or, were in community placement (Title IV-E paid placement that is in an unlocked facility) on their 18th birthday.
0	79	TOTALS

*NOTE 1: If you are part of a regional collaborative, please list all the counties for the regional collaborative, the projected total number of number of projected Chafee-eligible youth to be served for each county in the regional collaborative.

**NOTE 2: An unaccompanied youth is a lone client. A youth in a family may be a youth accompanied by a family as defined by the youth. This may be a youth who is a pregnant and/or parenting teen, with a dependent child, dependent parent, in an adoption assistance or guardianship assistance agreement, etc. Only the Chafee-eligible youth receives the direct services benefit.

**CHAFEE PROGRAM SERVICES PLAN
FFY 2019-20 BUDGET AND BUDGET JUSTIFICATION FORM**

County Name	ADAMS	Program Contact Name, Title, Phone and Email	Susan Adams/SCW IV--Chafee Program Coordinator 720-523-4419/smadams@adcogov.org
Budget Period	October 1, 2020 - September 30, 2021	Fiscal Contact Name, Title, Phone and Email	Brent Voge/Accounting Supervisor 720-523-2926/bvoge@adcogov.org
Project Name	Chafee Foster Care Independence Program		

CHAFEE FOSTER CARE INDEPENDENCE PROGRAM (FCIP) REIMBURSEMENT REQUEST							NOT COVERED BY CHAFEE*	
Expenditure Categories							*Please describe the costs to serve the Chafee population that are not a part of your Chafee reimbursement request. This information is voluntary, however it helps DCW gather information on the true cost to serve this population.	
PERSONNEL – CFMS – Program Code E010, Function Code 2850								

Position Title/Employee Name	Job Title or Description of Work (for hourly employees, please include the hourly rate and number of hours in your description)	Monthly Salary	Monthly Fringe	Percent FTE assigned to FCIP	No. Months of Cost	Total Direct Chafee Cost	Total annual cost covered by Other Funding	Description of other funding source
Caseworker IV/Chafee Program Coordinator Susan Adams (this worker is at the salary cap and receives a lump sum payment in April if there are county approved performance raises)	Program Coordinator provides direct services to 20+ clients per month and also functions as the program administrator. Reviews and assigns referrals, monitors monthly stats, reconciles CFMS report, completes yearly plan and presents it to the BOCC, completes yearly report, provides NYTD support to CDHS, updates Adco Chafee Policy and Procedures Manual, schedules groups, participates in various task groups and committees, provides coverage for sup, team leader	\$6,282	\$1,743	100%	12	\$96,300	\$0	
Caseworker III/Chafee Counselor Brenda Redding	Carries a caseload of 25+ cases, completes assessments and provides direct services to clients, collaborates regarding program development, participates in various committees, completes monthly financial inventory when Case Aide position is vacant.			0%		\$0	\$98,000	approximate amount from Child Welfare Block Grant
Chafee Project Designated Case Aide III/Aleesa Nutting	Up to 29.75 hours/week at approx. \$16/hour. This position provides support services to youth and staff in the Chafee program/salary and fringe are approximate and vary month to month depending on hours.			0%		\$0	\$18,000	approximate amount from Child Welfare Block Grant
Caseworker III /Kerri McAuley	Social Caseworker III with Youth In Transition Team/E050 match position			0%		\$0	\$78,000	approximate amount from Child Welfare Block Grant
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
						\$0	\$0	
Total Personnel Services						\$96,300	\$194,000	

SUPPLIES & OPERATING – CFMS – Program Code E010, Function Code 2850

Item Name	Description of Item / Justification for Item	Rate	Qty	% of cost assigned to FCIP	Total Direct Chafee Cost	Other Funding	Description of other funding source	
general office supplies	toners/appointment books/youth group binders/general operating supplies	\$800.00	1	100%	\$800	\$0		
Verizon Wireless	Wireless Hot Spot	\$40.01	12	100%	\$480	\$0		
group supplies/snacks	purchased as needed	\$50.00	25	100%	\$1,250	\$0		
overhead	office space/equipment for 3 program staff				\$0	\$6,556	Child Welfare Block Grant + Fund 15 Programs	
storage space	in-house storage room/previously rented space				\$0	\$2,300	Child Welfare Block Grant + Fund 15 Programs	
conference/youth room	space for groups/workshops				\$0	\$6,200	Child Welfare Block Grant + Fund 15 Programs	
cell phone reimbursement	Susan Adams	\$115.00	12	100%	\$1,380	\$0		
cell phone reimbursement	Brenda Redding/Aleesa Weins/Kerri McAuley			0%	\$0	\$4,140	Child Welfare Block Grant + Fund 15 Programs	
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
Total Supplies						\$3,910	\$19,196	

TRAVEL – CFMS – Program Code E010, Function Code 2850

						NOT COVERED BY CHAFEE*	
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Item Name	Description of Item / Justification for Item	Rate	Qty	% of cost assigned to CFCIP	Total Direct Chafee Cost	Other Funding	Description of other funding source
Susan Adams	mileage/Client transportation/visits, activities, meetings, program errands	\$0.58	1800	100%	\$1,035	\$0	
Brenda Redding	mileage/Client transportation/visits, activities, meetings, program errands	\$0.58			\$0	\$2,160	Child Welfare Block Grant
Aleesa Nutting	mileage/Client transportation/visits, activities, meetings, program errands	\$0.58			\$0	\$350	Child Welfare Block Grant
Kerri McAuley	mileage/YIT case management	\$0.58			\$0	\$2,170	Child Welfare Block Grant
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
Total Travel						\$1,035	\$4,680
Room and Board Reimbursement – CFMS – Program Code E010, Function Code 2810						NOT COVERED BY CHAFEE*	
Definition: Reimbursement for room and board is available to young adults, ages 18-23, who emancipated from foster care on or after their 18th birthday. Room and board is defined as rent, rental deposits, furniture, and household start-up items.							
Provider Name	Description of Services/goods	Rate	Qty	% of cost assigned to CFCIP	Total Direct Chafee Cost	Other Funding	Description of other funding source
rental property/landlord	application fees, hold fees, deposits, emergency rent	\$2,000	5	100%	\$10,000	\$0	
client specific	furniture, household items, food, utility assistance, renters insurance, etc.	\$1,250	5	100%	\$6,250	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
Total Room and Board						\$16,250	\$0
Purchase of Service Contracts – CFMS – Program Code E010, Function Code 2850						NOT COVERED BY CHAFEE*	
Indicate information for each specific provider from whom CFCIP services are proposed to be purchased.							
Provider Name	Description of Services	Rate	Qty	% of cost assigned to CFCIP	Total Direct Chafee Cost	Other Funding	Description of other funding source
Medicine Horse	yearly equine therapy experience for youth	\$900	1	100%	\$900	\$0	
CU Student Rec Center	yearly challenge-by-choice ropes course (deposit + per youth charge)	\$45	8	100%	\$360	\$0	
SCL Health/West Pines Training Center	therapeutic facilitation for yearly ropes course	\$500	1	100%	\$500	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
Total Purchase of Service Contracts						\$1,760	\$0
YOUTH DIRECT SERVICE – CFMS – Program Code E010, Function Code 2810						NOT COVERED BY CHAFEE*	
Definition: Youth Direct Services shall be used according to federal guidelines as incentives for completing goals in the plan for transition to independent living and for other expenditures that will assist Chafee youth to emancipate; and, when no other funding sources exist. This may not be used for Room and Board.							
Provider Name	Description of Services	Rate	Qty	% of cost assigned to CFCIP	Total Direct Chafee Cost	Other Funding	Description of other funding source
RTD/tickets & passes	Transportation assistance for school, work, appointments, job search, apartment search, groups, etc.	\$34	30	100%	\$1,020	\$0	
incentive cards	Rewards for group completion, employment needs, educational accomplishments, etc.	\$50	12	100%	\$600	\$0	
incentive cards	Emergency meals, rewards for task completion, After Care Incentive, workshop incentives, etc.	\$10	70	100%	\$700	\$0	
Chafee Work Experience	Working the Foster Kids Holiday Party, Foster Parent Banquet childcare and/or Adams County Foster Parent Recruitment booth at various events, putting together binders, general office work (non-confidential)	\$12	15	100%	\$180	\$0	
food/workshops and activities	snacks/meals for youth during special workshops and activities	\$15	50	100%	\$750	\$0	
group incentives	weekly Life Skills group incentive	\$1	450	100%	\$450	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	
					\$0	\$0	

Total Youth Direct						\$3,700	NOT COVERED BY CHAFEE*	
HOST COUNTIES/ OTHER – CFMS – Program Code E010, Function Code 2810								
Name	Description of Services	Rate	Qty	% of cost assigned to CFCJP	FFY19 Total Requested	Other Funding	Description of other funding source	
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
Total Host County/Other						\$0	\$0	
SUB-TOTAL BEFORE INDIRECT						\$122,955	\$217,876	
Indirect – CFMS – Program Code E010, Function Code 2810							NOT COVERED BY CHAFEE*	
Rate	Description				Amount	Other Funding	Description of other funding source	
					\$0	\$0		
					\$0	\$0		
					\$0	\$0		
Total Indirect						\$0	\$0	\$0
TOTAL						\$122,955	\$217,876	\$0

Chafee Worker #1: Susan Adams--100% Chafee funded SCW IV position

Key Tasks, Requirements, and Standards of Practice		Hrs/Week	Hrs/Month	Hrs/Year	% of Time
1	<p>Case Management and Support Services</p> <p>Recommended full-time caseloads:</p> <ul style="list-style-type: none"> • Single County Metro, Suburban and Second City Programs - 25 youth • Rural and Regional Collaborative Programs -- 15-20 youth <p>This position includes administrative functions and requires a smaller ongoing caseload of 20-25 youth</p> <p>May include: review and assignment of referrals; assessment and IL planning; home, school, office and community visits with youth; weekly group scheduling and facilitation; educational and placement staffings; Youth Voice meetings; PRT's, FTM's; collateral contacts; Trails documentation of all contacts and activities; state and agency task groups/committees</p>	30	120	1440	75%
2	<p>Reports</p> <p>Program reporting requirements:</p> <ul style="list-style-type: none"> • Annual County Chafee Program Plan • Annual County Chafee Program Report • Ongoing Referrals and Wait-List Report <p>Monthly Caseload Reports, monthly CFMS Reconciliation, yearly spend-down, tracking of out of county referrals, weekly tracking of expenditures, updating Adco Chafee policy manual and Sex Trafficking Procedure for adult participants as needed</p>	3	12	144	8%
3	<p>Technical Assistance</p> <p>Training and technical assistance with caregivers, new Chafee workers, caseworkers, CASAs, Guardians ad Litem, and community partners, Casey Life Skills assessment training and support for case workers and providers. Individual/group IL Plan trainings with caseworkers. Supervision of case aide position.</p>	1	4	48	3%
4	<p>Collaborative Services Development</p> <p>Chafee program staff may engage in:</p> <ul style="list-style-type: none"> • Local collaborative service and resource development • Local youth advisory board development and support <p>Monthly joint team meetings with YIT/HITT, ACHSD committees and projects, Youth Services meetings, Caraway Housing project development, program and team meetings, State Chafee program projects, committees and Chafee Program related Task groups</p>	2	8	96	5%
5	<p>Program Evaluation</p> <p>National Youth in Transition Database Youth Surveys (NYTD)--emails and follow-ups with workers and sups to ensure surveys are completed. County quality improvement efforts (including young people and stakeholders)--utilizing program surveys to improve services to youth</p>	1	4	48	3%
6	<p>Continuing Education: Minimum 40 hours per year</p> <ul style="list-style-type: none"> • Required Chafee/Adolescent Services Quarterlies (four full-day meetings annually) to receive training, updates, and to provide county input on program decisions. • Required minimum of 40 hours of training per year including 5 hours of LGBTQ related training 	1	4	48	3%
7	<p>Staff Support Time (e.g. annual leave, sick leave, holidays, etc.)</p>	2	8	96	5%
Totals:		40	160	1920	100%

Chafee Worker #2: Brenda Redding--100% Child Welfare funded SCW III position

Key Tasks, Requirements, and Standards of Practice		Hrs/Week	Hrs/Month	Hrs/Year	% of Time
1	Case Management and Support Services Recommended full-time caseloads: • Single County Metro, Suburban and Second City Programs - 25 youth • Rural and Regional Collaborative Programs – 15-20 youth May include: assessment and IL planning; home, school, office and community visits with youth; weekly group prep and facilitation; educational and placement staffings, Youth Voice meetings, PRT's, FTM's; collateral contacts; Trails documentation of all contacts and activities	32	128	1536	80%
2	Reports Program reporting requirements: Monthly Caseload Report Review and edit Annual County Chafee Plan Report and Program Report Financial report monthly when case aide position is vacant	1.5	6	72	4%
3	Technical Assistance Training and technical assistance with caregivers, new Chafee workers, caseworkers, CASAs, Guardians ad Litem, and community partners, Casey Life Skills assessment training and support for case workers and providers. IL Plan support for caseworkers BLS tips for caseworkers and providers	1.5	6	72	4%
4	Collaborative Services Development Chafee program staff may engage in: Local collaborative service and resource development and outreach ACHSD special committees/projects State Chafee program projects, committees and specialized task groups	1	4	48	3%
5	Program Evaluation National Youth in Transition Database Youth Surveys (NYTD). Agency education regarding NYTD and follow up to ensure surveys are completed County quality improvement efforts (including young people and stakeholders)	1	4	48	3%
6	Continuing Education: Minimum 40 hours per year Required Chafee/Adolescent Services Quarterlies (four full-day meetings annually) to receive training, updates, and to provide county input on program decisions. Required minimum of 40 hours of training per year including 5 hours of LGBTQ related training	1	4	48	3%
7	Staff Support Time (e.g. annual leave, sick leave, holidays, etc.)	2	8	96	5%
Totals:		40	160	1920	100%

Chafee Worker #3: Aleesa Nutting/100% Child Welfare funded part-time project-designated Case Aide position

Key Tasks, Requirements, and Standards of Practice		Hrs/Week	Hrs/Month	Hrs/Year	% of Time
1	Case Management and Support Services Support services to Chafee workers through Trails documentation; monthly tracking of incentive cards, bus tickets and household items; tracking of weekly incentive and storage unit inventory; assistance with group prep/facilitation; assist youth with college related applications and searches; assistance with youth apartment searches; general support for program	24.75	99	1188	83%
2	Reports Weekly group ROC notes and monthly tracking report of incentives	1	4	48	3%
3	Technical Assistance Assists workers with referral process	1	4	48	3%
4	Collaborative Services Development Chafee team and Community Services team meetings	1	4	48	4%
5	Program Evaluation National Youth in Transition Database Youth Surveys (NYTD)/social media and internet searches to locate survey youth Compile data from youth program surveys	1.5	6	72	5%
6	Continuing Education: Minimum 20 hours per year Required minimum of 20 hours of training per year	0.5	2	24	2%
7	Staff Support Time (e.g. annual leave, sick leave, holidays, etc.)	0	0	0	0%
Totals:		29.75	119	1428	101%

Chafee Worker #4 Name:					
Key Tasks, Requirements, and Standards of Practice		Hrs/Week	Hrs/Month	Hrs/Year	% of Time
1	Case Management and Support Services Recommended full-time caseloads: <ul style="list-style-type: none"> • Single County Metro, Suburban and Second City Programs - 25 youth • Rural and Regional Collaborative Programs – 15-20 youth 	0	0	0	#DIV/0!
2	Reports Program reporting requirements: <ul style="list-style-type: none"> • Annual County Chafee Program Plan • Annual County Chafee Program Report • Monthly Wait-List Report 	0	0	0	#DIV/0!
3	Technical Assistance Training and technical assistance with caregivers, new Chafee workers, caseworkers, CASAs, Guardians ad Litem, and community partners.	0	0	0	#DIV/0!
4	Collaborative Services Development Chafee program staff may engage in: <ul style="list-style-type: none"> • Local collaborative service and resource development • Local youth advisory board development and support • State Chafee program projects, committees and task groups, including: <ul style="list-style-type: none"> o Celebration of Educational Excellence Planning Team o Colorado 9 to 25 Youth Summit Planning Team o Colorado Youth Leadership Network o Chafee assessment review committee o Chafee program guidance development team 	0	0	0	#DIV/0!
5	Program Evaluation <ul style="list-style-type: none"> • National Youth in Transition Database Youth Surveys (NYTD) • County quality improvement efforts (including young people and stakeholders) 	0	0	0	#DIV/0!
6	Continuing Education: Minimum 40 hours per year <ul style="list-style-type: none"> • Required Chafee/Adolescent Services Quarterlies (four full-day meetings annually) to receive training, updates, and to provide county input on program decisions. • Required minimum of 40 hours of training per year. 	0	0	0	#DIV/0!
7	Staff Support Time (e.g. annual leave, sick leave, holidays, etc.)	0	0	0	#DIV/0!
Totals:		0	0	0	#DIV/0!



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Shop Lease Extension – Murata Brothers Farm -
FROM: Marc Pedrucci, Natural Resource Manager, Parks, Open Space, & Cultural Arts Nicci Beauprez, Project Manager – Land & Assets, Facilities & Fleet Management
AGENCY/DEPARTMENT: Parks, Open Space, & Cultural Arts and Facilities & Fleet Management
HEARD AT STUDY SESSION ON: Not Applicable
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves Amendment 1 to Property Lease Agreement.

BACKGROUND:

Adams County acquired the Murata Brothers Farm located at 14151 Potomac Street from The Conservation Fund in 2019. Steven Murata (Murata) sold the property to the Conservation fund and was subsequently afforded the opportunity to remain in the home and shop on the property for a period of time. The property is located within the Brighton Historic Splendid Valley and consists of approximately 37 acres and includes irrigated farmlands. Murata vacated the home in February 2020. However, Murata's contents remained in the shop and he leased the shop from the County to allow time to vacate the shop through June 30, 2020. The pandemic coupled with shelter in place orders due to his age and a wedding has challenged Murata's ability to clear belongings from the shop. This Amendment provides Murata through September 30, 2020 to remove personal belongings. Staff has toured the shop and the majority of contents have been removed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Parks, Open Space, & Cultural Arts, Facilities & Fleet Management, County Attorney

ATTACHED DOCUMENTS:

Resolution
Amendment 1 to Property Lease Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00027
Cost Center: 27

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:	6736		\$900.00
Total Revenues:			<u>\$900.00</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>0</u>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

**RESOLUTION APPROVING AMENDMENT 1 TO THE PROPERTY LEASE
AGREEMENT BETWEEN ADAMS COUNTY AND STEVEN MURATA**

WHEREAS, Adams County acquired the Murata Brothers Farm located at 14151 Potomac Street from The Conservation Fund on April 29, 2019; and,

WHEREAS, Steven Murata (“Murata”) vacated the home in February 2020; however, Murata’s contents remain in the shop; and,

WHEREAS, the lease on the shop expired on June 30, 2020; and,

WHEREAS, the pandemic along with public health orders have affected Murata’s ability to clear all contents of the shop; and,

WHEREAS, both the County and Murata wish to extend the lease according to the terms and conditions more particularly described in the attached Amendment 1 to Property Lease Agreement;

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that Adams County, Colorado that Amendment 1 to Property Lease Agreement between Adams County and Steven Murata, a copy of which is attached hereto and incorporated herein by this reference, is hereby approved.

BE IT FURTHER RESOLVED that the Chair of the Board of County Commissioners is authorized to sign said Amendment 1 to Property Lease Agreement on behalf of Adams County.

**AMENDMENT 1 TO PROPERTY LEASE AGREEMENT BETWEEN
ADAMS COUNTY AND STEVEN MURATA**

THIS AMENDMENT 1 is made and entered into this 5th day of July, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("Lessor") and Steven Murata, located at 16595 Ellingwood Drive, Broomfield, CO 80023 ("Lessee").

RECITALS

A. WHEREAS, by means of a Property Lease Agreement ("Lease") between the parties dated July 1, 2020, Lessor agreed to lease to Lessee, and Lessee agreed to lease from Lessor, a portion of the property located at 14151 Potomac Street, Brighton, CO 80601 and as more particularly described in the Lease; and,

B. WHEREAS, the Lease expired on June 30, 2020; and,

C. WHEREAS, by means of this Amendment 1, the parties wish to extend the term of the Lease through September 30, 2020.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The term of the Lease is extended through September 30, 2020. The Lease shall not be extended beyond September 30, 2020, and Lessee shall vacate the Property and remove his personal property from the Property no later than the Lease termination date.
2. Except as modified by this Amendment 1, the terms of the Lease shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

Date

APPROVED AS TO FORM:

Adams County Attorney's Office

Deputy Clerk

STEVEN MURATA

Steven Murata 07-05-2020



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Amendment 1 to an Intergovernmental Agreement with Adams 12 Five Star Schools for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 15, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment 1 to the IGA to distribute CARES funds to Adams 12 Five Star Schools.

BACKGROUND:

Attached is Amendment 1 to an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to school districts serving Adams County. Subsequently, the Board awarded additional funding to several school districts who expressed a need for additional support for items such as COVID-19 testing, face shields and other personal protective equipment (PPE), and support for remote and pod-based educational instruction. That additional award is formalized in the attached amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

RESOLUTION APPROVING AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT BETWEEN ADAMS COUNTY AND ADAMS 12 FIVE STAR SCHOOLS REGARDING DISBURSEMENTS OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, Adams County wishes to disburse to Adams 12 Five Star Schools, and Adams 12 Five Star Schools wishes to receive from Adams County, CARES funds for COVID-19 related costs incurred by Adams 12 Five Star Schools.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment 1 to Intergovernmental Agreement between Adams County and Adams 12 Five Star Schools regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Amendment 1 to the Intergovernmental Agreement.

**AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT
BETWEEN ADAMS COUNTY AND ADAMS 12 FIVE STAR SCHOOLS
REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

THIS AMENDMENT 1 is made and entered into this 21st day of SEPTEMBER, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("County") and Adams 12 Five Star Schools ("District"), located at 1500 E. 128th Avenue, Thornton, CO 80241.

RECITALS

A. WHEREAS, by means of an Intergovernmental Agreement between the parties regarding disbursement of Coronavirus Aid, Relief and Economic Security Act ("CARES") funds dated July 30, 2020 ("IGA") the parties set forth the terms and conditions for County to disburse CARES funds to District for use paying costs for and ameliorating effects of the COVID-19 pandemic; and,

B. WHEREAS, the parties now wish to increase the amount of the disbursed funds as set forth in this Amendment 1.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The amount of CARES funds to be disbursed by County to District shall be increased from \$4,115,978.47 to \$8,116,860.47. The additional funds shall be paid within 14 days of the date this Amendment 1 is fully executed and invoice submitted to the County.
2. Except as modified by this Amendment 1, the terms of the IGA shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

Deputy Clerk

Adams 12 Five Star Schools



By: Chris Gdowski, Superintendent
Adams12 Five Star Schools

Date

APPROVED AS TO FORM:

Adams County Attorney's Office

9-21-20

Date

APPROVED AS TO FORM:



Philip Spare, General Counsel
Adams 12 Five Star Schools



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Amendment 1 to an Intergovernmental Agreement with Adams County School District 14 for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 15, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment 1 to the IGA to distribute CARES funds to Adams County School District 14.

BACKGROUND:

Attached is Amendment 1 to an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to school districts serving Adams County. Subsequently, the Board awarded additional funding to several school districts who expressed a need for additional support for items such as COVID-19 testing, face shields and other personal protective equipment (PPE), and support for remote and pod-based educational instruction. That additional award is formalized in the attached amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>90,300,000</u>

New FTEs requested: **YES** **NO**

Future Amendment Needed: **YES** **NO**

Additional Note:

**RESOLUTION APPROVING AMENDMENT 1 TO INTERGOVERNMENTAL
AGREEMENT BETWEEN ADAMS COUNTY AND ADAMS COUNTY SCHOOL
DISTRICT 14 REGARDING DISBURSEMENTS OF CORONAVIRUS AID, RELIEF
AND ECONOMIC SECURITY ACT FUNDS**

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Amendment 1 to the Intergovernmental Agreement, Adams County wishes to disburse to Adams County School District 14 (the "District"), and the District wishes to receive from Adams County, CARES funds for COVID-19 related costs incurred by the District.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment 1 to Intergovernmental Agreement between Adams County and Adams County School District 14 regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds , is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Amendment 1 to Intergovernmental Agreement.

**AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT
BETWEEN ADAMS COUNTY AND ADAMS COUNTY SCHOOL
DISTRICT 14 REGARDING DISBURSEMENT OF CORONAVIRUS AID,
RELIEF AND ECONOMIC SECURITY ACT FUNDS**

THIS AMENDMENT 1 is made and entered into this ____ day of _____, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 (“County”) and Adams County School District 14 (“District”), located at 5291 E. 60th Ave., Commerce City, CO 80022.

RECITALS

A. WHEREAS, by means of an Intergovernmental Agreement between the parties regarding disbursement of Coronavirus Aid, Relief and Economic Security Act (“CARES”) funds dated June 25, 2020 (“IGA”) the parties set forth the terms and conditions for County to disburse CARES funds to District for use paying costs for and ameliorating effects of the COVID-19 pandemic; and,

B. WHEREAS, the parties now wish to increase the amount of the disbursed funds as set forth in this Amendment 1.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The amount of CARES funds to be disbursed by County to District shall be increased from \$947,707.54 to a total \$2,038,983.54 (after an increase in funds of \$1,091,276). The additional funds shall be paid within 14 days of the date this Amendment 1 is fully executed and invoice submitted to the County.
2. Except as modified by this Amendment 1, the terms of the IGA shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

Deputy Clerk

Adams County School District 14

Date

APPROVED AS TO FORM:

Adams County Attorney's Office

Date



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Amendment 1 to an Intergovernmental Agreement with Mapleton Public Schools for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 15, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment 1 to the IGA to distribute CARES funds to Mapleton Public Schools.

BACKGROUND:

Attached is Amendment 1 to an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to school districts serving Adams County. Subsequently, the Board awarded additional funding to several school districts who expressed a need for additional support for items such as COVID-19 testing, face shields and other personal protective equipment (PPE), and support for remote and pod-based educational instruction. That additional award is formalized in the attached amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING AMENDMENT 1 TO INTERGOVERNMENTAL
AGREEMENT BETWEEN ADAMS COUNTY AND MAPLETON PUBLIC SCHOOLS
REGARDING DISBURSEMENTS OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the Adams County (the "County") to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Amendment 1 to the Intergovernmental Agreement, the County wishes to disburse to Mapleton Public Schools (the "District"), and the District wishes to receive from the County, CARES funds for COVID-19 related costs incurred by the District.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment 1 to Intergovernmental Agreement Between Adams County and Mapleton Public Schools regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Amendment 1 to Intergovernmental Agreement.

**AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT
BETWEEN ADAMS COUNTY AND MAPLETON PUBLIC SCHOOLS
REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

THIS AMENDMENT 1 is made and entered into this 25th day of September, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("County") and Mapleton Public Schools ("District"), located at 7350 North Broadway, Denver, CO 80221.

RECITALS

A. WHEREAS, by means of an Intergovernmental Agreement between the parties regarding disbursement of Coronavirus Aid, Relief and Economic Security Act ("CARES") funds dated July 28, 2020 ("IGA") the parties set forth the terms and conditions for County to disburse CARES funds to District for use paying costs for and ameliorating effects of the COVID-19 pandemic; and,

B. WHEREAS, the parties now wish to increase the amount of the disbursed funds as set forth in this Amendment 1.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The amount of CARES funds to be disbursed by County to District shall be increased from \$1,048,049.00 to \$4,153,049.00. The additional funds shall be paid within 14 days of the date this Amendment 1 is fully executed and invoice submitted to the County.
2. Except as modified by this Amendment 1, the terms of the IGA shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

Date

ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

APPROVED AS TO FORM:

Adams County Attorney's Office

Deputy Clerk

Adams County School District #1, Mapleton Public Schools

Charlotte Cincio

Signature

9.29.2020

Date



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Amendment 1 to an Intergovernmental Agreement with Strasburg School District 31J for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 15, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment 1 to the IGA to distribute CARES funds to Strasburg School District 31J.

BACKGROUND:

Attached is Amendment 1 to an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to school districts serving Adams County. Subsequently, the Board awarded additional funding to several school districts who expressed a need for additional support for items such as COVID-19 testing, face shields and other personal protective equipment (PPE), and support for remote and pod-based educational instruction. That additional award is formalized in the attached amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING AMENDMENT 1 TO INTERGOVERNMENTAL
AGREEMENT BETWEEN ADAMS COUNTY AND STRASBURG SCHOOL DISTRICT
31J REGARDING DISBURSEMENTS OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows Adams County (the "County") to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Amendment 1 to Intergovernmental Agreement, the County wishes to disburse to Strasburg School District 31J (the "District"), and the District wishes to receive from the County, CARES funds for COVID-19 related costs incurred by the District.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment 1 to Intergovernmental Agreement Between Adams County and Strasburg School District 31J regarding Disbursements of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Amendment 1 to Intergovernmental Agreement.

**AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT
BETWEEN ADAMS COUNTY AND
Strasburg 31j REGARDING DISBURSEMENT
OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT
FUNDS**

THIS AMENDMENT 1 is made and entered into this 23rd day of September, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("County") and Strasburg 31j ("District"), located at 51729 Colorado Ave. Strasburg, CO 80136.

RECITALS

A. WHEREAS, by means of an Intergovernmental Agreement between the parties regarding disbursement of Coronavirus Aid, Relief and Economic Security Act ("CARES") funds dated June 24, 2020 ("IGA") the parties set forth the terms and conditions for County to disburse CARES funds to District for use paying costs for and ameliorating effects of the COVID-19 pandemic; and,

B. WHEREAS, the parties now wish to increase the amount of the disbursed funds as set forth in this Amendment 1.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The amount of CARES funds to be disbursed by County to District shall be increased from 98,141.67 to 233,973.67. The additional funds shall be paid within 14 days of the date this Amendment 1 is fully executed and invoice submitted to the County.
2. Except as modified by this Amendment 1, the terms of the IGA shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

Date

ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

APPROVED AS TO FORM:

Adams County Attorney's Office

Deputy Clerk

School District's proper name
Strasburg School District 31J

Adams & Arapahoe Counties
Strasburg 31J
Christina Stueh

9/23/2020

Date



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: September 29, 2020
SUBJECT: Intergovernmental Agreement with Brighton Housing Authority for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 15, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the IGA to distribute CARES funds to Brighton Housing Authority.

BACKGROUND:

Attached is an Intergovernmental Agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to allocate \$182,938 to Brighton Housing Authority in support of supplemental housing assistance payments, technological support for housing services, hotel vouchers and other COVID-related response services.

Subsequently, Brighton Housing Authority advised the County they would not be able to carry out one of the programs funded, turning back \$62,158. The remaining funding is \$120,780 and is included in the attached Intergovernmental Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		\$90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING INTERGOVERNMENTAL AGREEMENT ADAMS
COUNTY AND THE BRIGHTON HOUSING AUTHORITY REGARDING
DISBURSEMENTS OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY
ACT FUNDS**

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief and Economic Security Act ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, Adams County (the "County") wishes to disburse to Brighton Housing Authority, and Brighton Housing Authority wishes to receive from County, CARES funds for COVID-19 related costs incurred by Brighton Housing Authority.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Intergovernmental Agreement between Adams County and Brighton Housing Authority regarding disbursements of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Intergovernmental Agreement.

INTERGOVERNMENTAL AGREEMENT BETWEEN
ADAMS COUNTY AND THE BRIGHTON HOUSING AUTHORITY
REGARDING DISBURSEMENT OF
CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY ACT FUNDS

THIS INTERGOVERNMENTAL AGREEMENT ("Agreement"), is made this 16th day of September, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("County") and the Brighton Housing Authority, a body corporate and politic created and existing under the Housing Authorities Law of the State of Colorado located at 22 South 4th Avenue, Suite 202, Brighton, Colorado 80601 ("BHA") for the purpose of disbursing funds provided by the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES").

WITNESSETH:

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted CARES to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to BHA, and BHA wishes to receive from County, CARES funds for COVID-19 related costs incurred by BHA.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the Parties agree as follows:

I. FUNDING

County will disburse a maximum of One Hundred Twenty Thousand Seven Hundred Eighty Dollars (\$120,780) to BHA. Payments will be disbursed to BHA monthly, only after County receives an invoice from BHA for each month's payment, based upon the reimbursement of itemized expenses. BHA understands and agrees that the County's obligation to disburse these CARES funds is expressly contingent upon the County receiving said funds from the federal government. In the event the federal government fails to remit said funds, or reduces said funds, the County may reduce or terminate its payment accordingly. No Adams County funds shall be encumbered or involved in this Agreement.

BHA must submit reports on the expenditure of its CARES funds, including the amount and purpose of each expenditure, to County monthly, by the 5th day of each month. Any CARES funds not spent by December 4, 2020, shall be returned to the County so that the County's obligation to return unspent CARES funds to the Federal Treasury may be timely fulfilled.

II. SCOPE OF PROJECT AND ACCOUNTING

CARES funds shall be spent solely for the COVID-19 related costs set forth in CARES. CARES imposes expenditure and accounting obligations upon local governments receiving CARES funds. BHA agrees to be solely responsible for ensuring that it spends and accounts for the CARES funds received from the County in strict compliance with CARES requirements. Because CARES is recent legislation, the parties anticipate that additional federal legislation, rules, and regulations may be promulgated regarding the expenditure and accounting requirements. BHA shall familiarize itself with, and shall adhere to, all current and subsequent legislation, rules, and regulations. In the event of non-compliance with its legislative and regulatory mandates, the federal government may seek reimbursement of funds it deems were not spent in compliance with its legislation and rules. In the event the federal government seeks reimbursement of funds spent by BHA, BHA shall be solely responsible for reimbursing said funds, and, in the event the federal government seeks reimbursement of funds spent by BHA from County, BHA shall reimburse County for any funds returned by County on BHA's behalf within thirty days of County's reimbursement.

III. PUBLIC NECESSITY

The Parties agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people in Adams County in the fight against COVID-19.

IV. LIABILITY

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

The Parties hereto understand and agree that BHA, the County, their officers and employees are relying on, and do not waive or intend to waive by any provision of the Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as from time-to-time amended, or otherwise available to either party, their officers, or their employees.

V. NOTICES

A. Any notices, demands, or other communications required or permitted to be given by any provision of this Agreement shall be given in writing, delivered personally or sent by registered mail, postage prepaid and return receipt requested, addressed to Parties at the addresses set forth below or at such other address as either party may hereafter or from time to time designate by written notice to the other party given when personally delivered or mailed, and shall be considered received in the earlier of either the day on which such notice is actually received by the party to whom it is addressed or the third day after such notice is mailed.

For Adams County:

Adams County Manager's Office
4430 S. Adams County Parkway
Brighton, Colorado 80601-8206

Adams County Attorney's Office
4430 South Adams County Parkway, Suite C5000B
Brighton, Colorado 80601-8206

For Brighton Housing Authority:

Brighton Housing Authority
22 South 4th Avenue, Suite 202
Brighton, Colorado 80601
Attn: Joseph Espinosa, Executive Director

Law Office of Mark Berry
1 Wren
Littleton, CO 80127

B. The Parties each agree to designate and assign a representative to act on the behalf of said Parties in all matters related to this Agreement. Each representative shall coordinate all Agreement-related issues between the Parties, shall attend all necessary meetings, and shall be responsible for providing all available related information upon request by the County or BHA. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement, but shall not be authorized to amend the terms of this Agreement.

VI. AMENDMENTS

This Agreement contains all of the terms agreed upon by and among the Parties. Any amendments or modifications to this Agreement shall be in writing and executed by the Parties hereto to be valid and binding.

VII. SEVERABILITY

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

VIII. APPLICABLE LAWS

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Venue for any and all legal actions regarding the transaction covered herein shall lie in Adams County, Colorado.

IX. ASSIGNABILITY

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the non-assigning party or parties to this Agreement.

X. BINDING EFFECT

The provisions of this Agreement shall bind and shall inure to the benefit of the Parties hereto and to their respective successors and permitted assigns.

XI. EMPLOYMENT STATUS

This Agreement shall not change the employment status of any employees of the Parties. No party shall have the right to control or direct the activities of any employees of another related to this Agreement.

XII. NO DISCRIMINATION IN EMPLOYMENT

In connection with the performance of work under this Agreement, the Parties agree not to refuse to hire, discharge, promote or demote, or to discriminate in matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

XIII. APPROPRIATIONS

Notwithstanding any other term, condition, or provision herein, each and every obligation of the Parties stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the appropriate governing body of the BHA and/or the County.

XIV. NO THIRD PARTY BENEFICIARIES

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the Parties that any person or party other than either one of the Parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

XV. ILLEGAL ALIENS

The Parties agree that any public contract for services executed as a result of this intergovernmental agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. et seq.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

Signatures on next page.

BRIGHTON HOUSING AUTHORITY

By: Joseph Espinosa, Executive Director

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:

Erica Hannah, Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING AARON HERRERA TO THE ADAMS COUNTY LIQUOR &
MARIJUANA LICENSING AUTHORITY BOARD AS AN ALTERNATE MEMBER

WHEREAS, a vacancy currently exists for a member for the Adams County Liquor & Marijuana Licensing Authority Board; and,

WHEREAS, Aaron Herrera has expressed an interest in serving on the Adams County Liquor & Marijuana Licensing Authority Board; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected Aaron Herrera to fill this vacancy as an Alternate Member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Aaron Herrera is hereby appointed as a member of the Adams County Liquor & Marijuana Licensing Authority Board as an Alternate Member for the term as listed below:

Aaron Herrera

Term Expires
January 31, 2021

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Aaron Herrera to the Adams County Liquor & Marijuana Licensing Authority Board on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING DENNIS TONSAGER TO THE ADAMS COUNTY LIQUOR
& MARIJUANA LICENSING AUTHORITY BOARD AS A REGULAR MEMBER

WHEREAS, a vacancy currently exists for a member on the Adams County Liquor & Marijuana Licensing Authority Board; and,

WHEREAS, Dennis Tonsager has expressed an interest in serving on the Adams County Liquor & Marijuana Licensing Authority Board; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected Dennis Tonsager to fill this vacancy as a Regular Member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Dennis Tonsager is hereby appointed as a member of the Adams County Liquor & Marijuana Licensing Authority as a Regular Member for the term as listed below:

Dennis Tonsager	Term Expires January 31, 2021
-----------------	----------------------------------

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Dennis Tonsager to the Adams County Liquor & Marijuana Licensing Authority on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING GENE CIANCIO TO THE METROPOLITAN FOOTBALL
STADIUM DISTRICT

WHEREAS, a vacancy currently exists for a member for the Metropolitan Football Stadium District; and,

WHEREAS, Gene Ciancio has expressed an interest in serving on the Metropolitan Football Stadium District; and,

WHEREAS, the Board of County Commissioners selected Gene Ciancio to fill this vacancy.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Gene Ciancio shall be appointed as a member of the Metropolitan Football Stadium District as a regular member for the term as listed below:

Gene Ciancio

Term Expires
October 6, 2024

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Gene Ciancio as a member for Metropolitan Football Stadium District on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING JOHN DUPRIEST TO THE PLANNING COMMISSION AS A
REGULAR MEMBER

WHEREAS, a vacancy currently exists for a regular member on the Planning Commission; and,

WHEREAS, John Dupriest has expressed an interest in serving on the Planning Commission; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified;
and,

WHEREAS, the Board of County Commissioners selected John Dupriest to fill this vacancy as a
Regular Member.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of
Adams, State of Colorado, that John Dupriest is hereby appointed as a regular member of the
Planning Commission for the term as listed below:

John Dupriest

Term Expires
January 31, 2021

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby
authorized to appoint John Dupriest as a regular member of the Planning Commission on behalf
of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING MARK MILLER TO THE WORKFORCE DEVELOPMENT
BOARD AS A LABOR REPRESENTATIVE

WHEREAS, a vacancy currently exists for a member on the Workforce Development Board; and,

WHEREAS, Mark Miller has expressed an interest in serving on the Workforce Development Board; and,

WHEREAS, the Board of County Commissioners has reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected Mark Miller to fill this vacancy as a Labor Representative.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Mark Miller shall be appointed as a member of the Workforce Development Board as a Labor Representative for the term as listed below:

Mark Miller	Term Expires Feb 1, 2022
-------------	-----------------------------

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Mark Miller to the Workforce Development Board as a Labor Representative on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING MAUREEN RUDY TO THE WORKFORCE DEVELOPMENT
BOARD AS AN ADULT EDUCATION REPRESENTATIVE

WHEREAS, a vacancy currently exists for a member on the Workforce Development Board; and,

WHEREAS, Maureen Rudy has expressed an interest in serving on the Workforce Development Board; and,

WHEREAS, the Board of County Commissioners has reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected Maureen Rudy to fill this vacancy as an Adult Education Representative.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Maureen Rudy shall be appointed as a member of the Workforce Development Board as an Adult Education Representative for the term as listed below:

Maureen Rudy	Term Expires Jan. 30, 2021
--------------	-------------------------------

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Maureen Rudy to the Workforce Development Board as an Adult Education Representative on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Boards and Commissions Appointments
FROM: Erica Hannah, Clerk to the Board of County Commissioners
AGENCY/DEPARTMENT: County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolutions for the boards and commissions appointments.

BACKGROUND:

The Board of County Commissioners recently held a process to fill upcoming vacancies on the county's boards and commissions. These resolutions are to formally approve the appointments to the boards and commissions accordingly.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolutions

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPOINTING STEPHANIE SICKLER TO THE VETERANS ADVISORY
COMMISSION AS A VETERAN REPRESENTATIVE

WHEREAS, a vacancy currently exists for a member on the Veterans Advisory Commission; and,

WHEREAS, Stephanie Sickler has expressed an interest in serving on the Veterans Advisory Commission; and,

WHEREAS, the Board of County Commissioners have reviewed all candidates deemed qualified; and,

WHEREAS, the Board of County Commissioners selected Stephanie Sickler to fill this vacancy on the Veterans Advisory Commission as a Veteran Representative.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Stephanie Sickler is hereby appointed as a member of the Veterans Advisory Commission as a Veteran Representative for the term as listed below:

Stephanie Sickler	Term Expires January 31, 2021
-------------------	----------------------------------

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to appoint Stephanie Sickler to the Veterans Advisory Commission as a Veteran Representative on behalf of Adams County.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Amendment 1 to an Intergovernmental Agreement with Westminster Public Schools for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 29, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment 1 to the IGA to distribute CARES funds to Westminster Public Schools.

BACKGROUND:

Attached is Amendment 1 to an intergovernmental agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to school districts serving Adams County. Subsequently, the Board awarded additional funding to several school districts who expressed a need for additional support for items such as COVID-19 testing, face shields and other personal protective equipment (PPE), and support for remote and pod-based educational instruction. That additional award is formalized in the attached amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Intergovernmental Agreement Amendment 1

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 0001
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		\$90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING AMENDMENT 1 TO INTERGOVERNMENTAL
AGREEMENT BETWEEN ADAMS COUNTY AND WESTMINSTER PUBLIC
SCHOOLS REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

WHEREAS, Section 18(2) of Article XIV of the Colorado Constitution and Sections 29-1-201, *et seq.* and 29-20-105 of the Colorado Revised Statutes authorize and encourage governments to cooperate by contracting with one another for their mutual benefit; and,

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows Adams County (the "County") to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to Westminster Public Schools (the "District"), and the District wishes to receive from the County, CARES funds for COVID-19 related costs incurred by the District.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment 1 to Intergovernmental Agreement between Adams County and Westminster Public Schools regarding disbursement of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Amendment 1 to the Intergovernmental Agreement.

**AMENDMENT 1 TO INTERGOVERNMENTAL AGREEMENT
BETWEEN ADAMS COUNTY AND WESTMINSTER PUBLIC SCHOOLS
REGARDING DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND
ECONOMIC SECURITY ACT FUNDS**

THIS AMENDMENT 1 is made and entered into this 1 day of October , 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, Colorado, 80601 ("County") and Westminster Public Schools ("District"), located at 6933 Raleigh St., 2nd Floor, Westminster, CO 80030.

RECITALS

A. WHEREAS, by means of an Intergovernmental Agreement between the parties regarding disbursement of Coronavirus Aid, Relief and Economic Security Act ("CARES") funds dated July 28, 2020 ("IGA") the parties set forth the terms and conditions for County to disburse CARES funds to District for use paying costs for and ameliorating effects of the COVID-19 pandemic; and,

B. WHEREAS, the parties now wish to increase the amount of the disbursed funds as set forth in this Amendment 1.

NOW, therefore, in consideration of the promises, conditions and covenants contained herein, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

1. The amount of CARES funds to be disbursed by County to District shall be increased from \$1,218,481.12 to a total \$4,334,014.12 (after an increase in funds of \$3,115,533). The additional funds shall be paid within 14 days of the date this Amendment 1 is fully executed and invoice submitted to the County.
2. Except as modified by this Amendment 1, the terms of the IGA shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have caused their names to be affixed hereto.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

Date

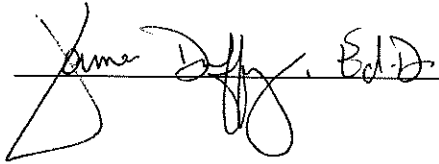
ATTEST:
JOSH ZYGIELBAUM
CLERK AND RECORDER

APPROVED AS TO FORM:

Adams County Attorney's Office

Deputy Clerk

Westminster Public Schools



1 October 2020

Date



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Funding Agreement with the Early Childhood Partnership of Adams County (ECPAC) for distribution of CARES funds.
FROM: Alisha Reis, Deputy County Manager
AGENCY/DEPARTMENT: County Manager's Office/County Attorney's Office/Budget & Finance Department
HEARD AT STUDY SESSION ON: September 29, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves a funding agreement with ECPAC to distribute CARES funds.

BACKGROUND:

Attached is a funding agreement for the Board's consideration to distribute a portion of funding allocated to the County by the Coronavirus Aid, Relief, and Economic Security Act (CARES). The County was allocated about \$90.3 million, and the Board of County Commissioners previously agreed to funding to organizations serving Adams County.

The funding agreement with ECPAC will go to support for child care centers and homes, child care tuition and support for family-based/informal child care providers.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office
County Attorney's Office
Budget & Finance Department

ATTACHED DOCUMENTS:

Resolution
Funding Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 00001
Cost Center: 9263

	Object Account	Subledger	Amount
Current Budgeted Revenue:	5575		\$90,300,000
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$90,300,000</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	8810		\$90,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$90,300,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

**RESOLUTION APPROVING AGREEMENT BETWEEN ADAMS COUNTY AND
EARLY CHILDHOOD PARTNERSHIP OF ADAMS COUNTY REGARDING
DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY
ACT FUNDS**

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES") to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows Adams County (the "County") to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to the Early Childhood Partnership of Adams County ("ECPAC"), and ECPAC wishes to receive from the County, CARES funds for disbursement to organizations and entities serving Adams County residents for COVID-19 related costs.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Early Childhood Partnership of Adams County regarding disbursement of Coronavirus Aid, Relief and Economic Security Act Funds, is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is authorized to execute said Agreement.

AGREEMENT BETWEEN ADAMS COUNTY AND EARLY CHILDHOOD
PARTNERSHIP OF ADAMS COUNTY REGARDING
DISBURSEMENT OF CORONAVIRUS AID, RELIEF AND ECONOMIC SECURITY
ACT FUNDS

THIS AGREEMENT ("Agreement"), is made this _____ 1st _____ day of October, 2020, by and between Adams County, Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 ("County") and Early Childhood Partnership of Adams County, located at 8859 Fox Drive, Suite 205, Thornton, CO 80260 ("ECPAC") for the purpose of disbursing funds provided by the Coronavirus Aid, Relief, and Economic Security Act, P.L. 116-136 ("CARES").

WITNESSETH:

WHEREAS, the COVID-19 pandemic has created myriad economic distress and unanticipated costs in American society to individuals and families, to businesses, and to the state and local governments addressing the pandemic's effects; and,

WHEREAS, Congress recently enacted CARES to provide relief funds to individuals, businesses, and state and local governments; and,

WHEREAS, CARES allows the County to directly receive funds for costs incurred in fighting and ameliorating the effects of COVID-19; and,

WHEREAS, pursuant to the terms of this Agreement, the County wishes to disburse to ECPAC, and ECPAC wishes to receive from the County, CARES funds for disbursement to entities serving Adams County residents for COVID-19 related costs.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the Parties agree as follows:

I. FUNDING

County will disburse a maximum of one million dollars (\$1,000,000) to ECPAC in no more than three equal payments. Each payment of one-third of the total allocation will be disbursed to ECPAC only after County receives an invoice from ECPAC for each one-third payment. Funds from each one-third payment must be fully expended before ECPAC invoices County for the next one-third payment. ECPAC understands and agrees that the County's obligation to disburse these CARES funds is expressly contingent upon the County receiving said funds from the federal government. In the event the federal government fails to remit said funds, or reduces said funds, the County may reduce or terminate its payment accordingly. No Adams County funds shall be encumbered or involved in this Agreement.

ECPAC must submit reports no later than the 10th day of each month on the expenditure of its CARES funds, including the amount and purpose of each expenditure, to County monthly. Any CARES funds not spent by December 4, 2020, shall be returned to the County so that the County's obligation to return unspent CARES funds to the Federal Treasury may be timely fulfilled.

II. SCOPE OF PROJECT AND ACCOUNTING

CARES funds shall be spent solely for the COVID-19 related costs set forth in CARES. CARES imposes expenditure and accounting obligations upon local governments receiving CARES funds. ECPAC agrees to be solely responsible for ensuring that it disburses and accounts for the CARES funds received from the County in strict compliance with CARES requirements. Because CARES is recent legislation, the parties anticipate that additional federal legislation, rules, and regulations may be promulgated regarding the expenditure and accounting requirements. ECPAC shall familiarize itself with, and shall adhere to, all current and subsequent legislation, rules, and regulations. In the event of non-compliance with its legislative and regulatory mandates, the federal government may seek reimbursement of funds it deems were not spent in compliance with its legislation and rules. In the event the federal government seeks reimbursement of funds disbursed by ECPAC, ECPAC shall be solely responsible for reimbursing said funds, and, in the event the federal government seeks reimbursement of funds disbursed by ECPAC from County, ECPAC shall reimburse County for any funds returned by County on ECPAC's behalf within thirty days of County's reimbursement.

III. PUBLIC NECESSITY

The Parties agree that the work performed pursuant to this Agreement is necessary for the health, safety, comfort, convenience, and welfare of all the people in Adams County in the fight against COVID-19.

IV. LIABILITY

Each party hereto shall be responsible for any suits, demands, costs or actions at law resulting from its own acts or omissions and may insure against such possibilities as appropriate.

The Parties hereto understand and agree that the County, its officers and employees are relying on, and do not waive or intend to waive by any provision of the Agreement, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. 24-10-101 *et seq.*, as from time-to-time amended, or otherwise available to either party, their officers, or their employees.

V. NOTICES

A. Any notices, demands, or other communications required or permitted to be given by any provision of this Agreement shall be given in writing, delivered personally or sent by registered mail, postage prepaid and return receipt requested, addressed to Parties at the addresses set forth below or at such other address as either party may hereafter or from time to time designate by written notice to the other party given when personally delivered or mailed, and shall be considered received in the earlier of either the day on which such notice is actually received by the party to whom it is addressed or the third day after such notice is mailed.

For Adams County:

Adams County Manager's Office
4430 S. Adams County Parkway
Brighton, Colorado 80601-8206
Attn: Alisha Reis, areis@adcogov.org

Adams County Attorney's Office
4430 South Adams County Parkway, Suite C5000B
Brighton, Colorado 80601-8206

For ECPAC:

Early Childhood Partnership of Adams County
8859 Fox Drive, Suite 205
Thornton CO 80260
Attn: Lisa Jansen Thompson lisa@ecpac.org

B. The Parties each agree to designate and assign a representative to act on the behalf of said Parties in all matters related to this Agreement. Each

representative shall coordinate all Agreement-related issues between the Parties, shall attend all necessary meetings, and shall be responsible for providing all available related information upon request by the County or ECPAC. Said representatives shall have the authority for all approvals, authorizations, notices or concurrences required under this Agreement, but shall not be authorized to amend the terms of this Agreement.

VI. AMENDMENTS

This Agreement contains all of the terms agreed upon by and among the Parties. Any amendments or modifications to this Agreement shall be in writing and executed by the Parties hereto to be valid and binding.

VII. SEVERABILITY

If any clause or provision herein contained shall be adjudged to be invalid or unenforceable by a court of competent jurisdiction or by operation of any applicable law, such invalid or unenforceable clause or provision shall not affect the validity of the Agreement as a whole and all other clauses or provisions shall be given full force and effect.

VIII. APPLICABLE LAWS

This Agreement shall be governed by and construed in accordance with the laws of the State of Colorado. Venue for any and all legal actions regarding the transaction covered herein shall lie in Adams County, Colorado.

IX. ASSIGNABILITY

No party to this Agreement shall assign or transfer any of its rights or obligations hereunder without the prior written consent of the non-assigning party or parties to this Agreement.

X. BINDING EFFECT

The provisions of this Agreement shall bind and shall inure to the benefit of the Parties hereto and to their respective successors and permitted assigns.

XI. EMPLOYMENT STATUS

This Agreement shall not change the employment status of any employees of the Parties. No party shall have the right to control or direct the activities of any employees of another related to this Agreement.

XII. NO DISCRIMINATION IN EMPLOYMENT

In connection with the performance of work under this Agreement, the Parties agree not to refuse to hire, discharge, promote or demote, or to discriminate in matters of compensation against any person otherwise qualified because of race, color, ancestry, creed, religion, national origin, gender, age, military status, sexual orientation, marital status, or physical or mental disability and further agree to insert the foregoing provision in all subcontracts hereunder.

XIII. APPROPRIATIONS

Notwithstanding any other term, condition, or provision herein, each and every obligation of the Parties stated in this Agreement is subject to the requirement of a prior appropriation of funds therefor by the appropriate governing body of the County.

XIV. NO THIRD PARTY BENEFICIARIES

It is expressly understood and agreed that enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the Parties, and nothing contained in this Agreement shall give or allow any such claim or right of action by any other or third person on such Agreement. It is the express intention of the Parties that any person or party other than either one of the Parties receiving services or benefits under this Agreement shall be deemed to be an incidental beneficiary only.

XV. ILLEGAL ALIENS

The Parties agree that any public contract for services executed as a result of this agreement shall prohibit the employment of illegal aliens in compliance with §8-17.5-101 C.R.S. et seq.

IN WITNESS WHEREOF, the Parties hereto have caused this instrument to be executed by properly authorized signatories as of the date and year first above written.

Signatures on next page.

Early Childhood Partnership of Adams County



By: Lisa Jansen Thompson, Executive Director

ATTEST:

APPROVED AS TO FORM:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

ATTEST:

Erica Hannah, Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: County Manager's Recommended 2021 Adams County Budget
FROM: Nancy Duncan, Budget & Finance Director; Marc Osborne, Deputy Budget Director
AGENCY/DEPARTMENT: County Manager's Office and Budget Department
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners considers the 2021 Proposed Adams County Budget being recommended by the County Manager

BACKGROUND:

As a political subdivision of the State of Colorado, Adams County prepares an annual budget as required by Colorado State Statutes (CRS 29-1-103). As part of the 2021 annual budget development process, the 2021 Proposed Budget is being proposed during Public Hearing on October 6, 2020. In addition to this Public Hearing, the Board of County Commissioners will review the 2021 Proposed Budget at working sessions in October and November 2020, as needed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Budget & Finance Department and County Manager's Office

ATTACHED DOCUMENTS:

PowerPoint Presentation

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/> <hr/>

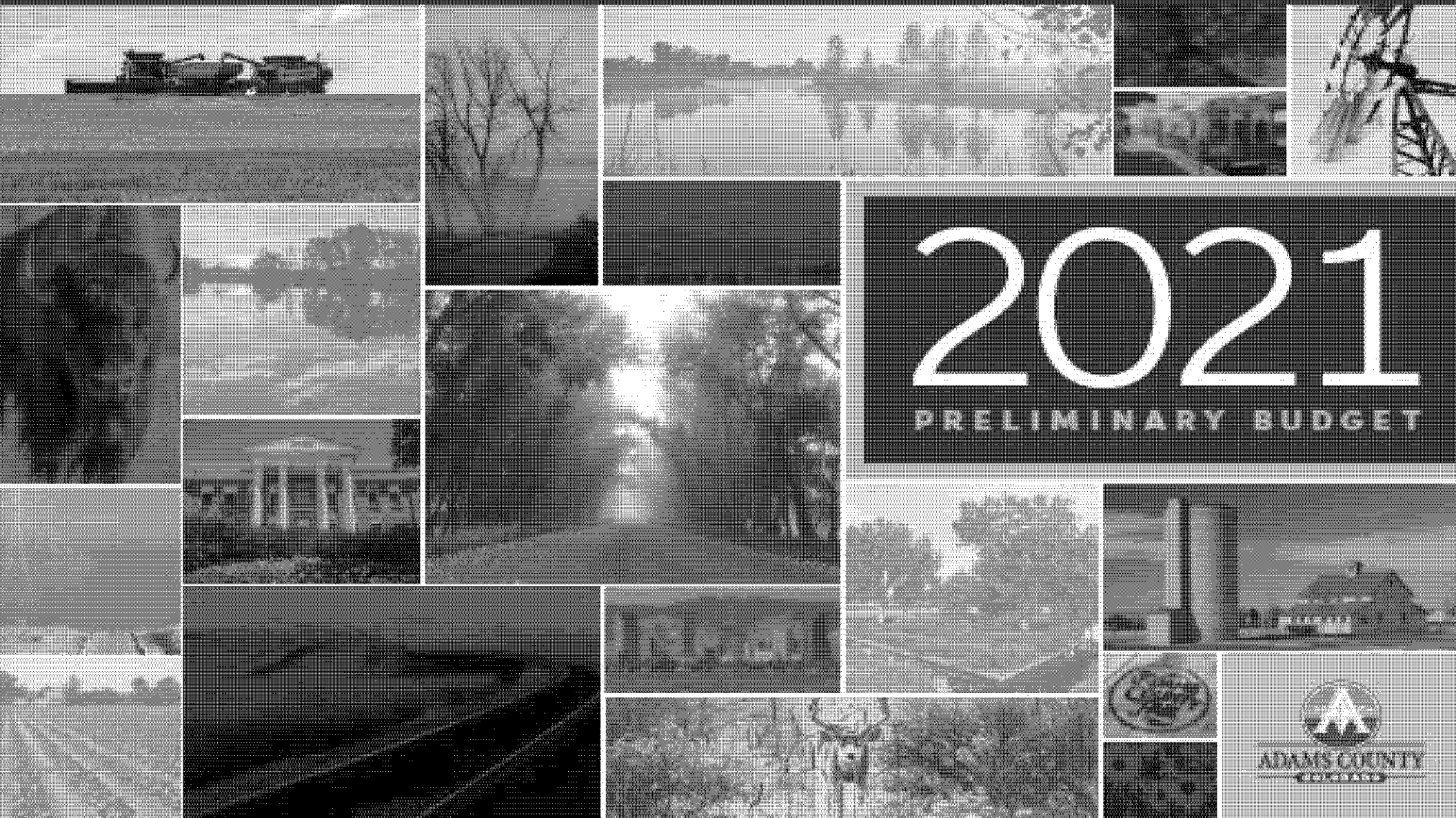
	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/> <hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

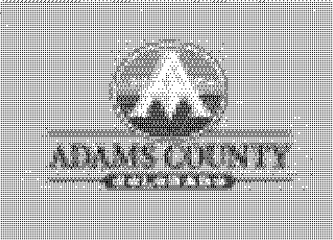
Additional Note:

Informational Only

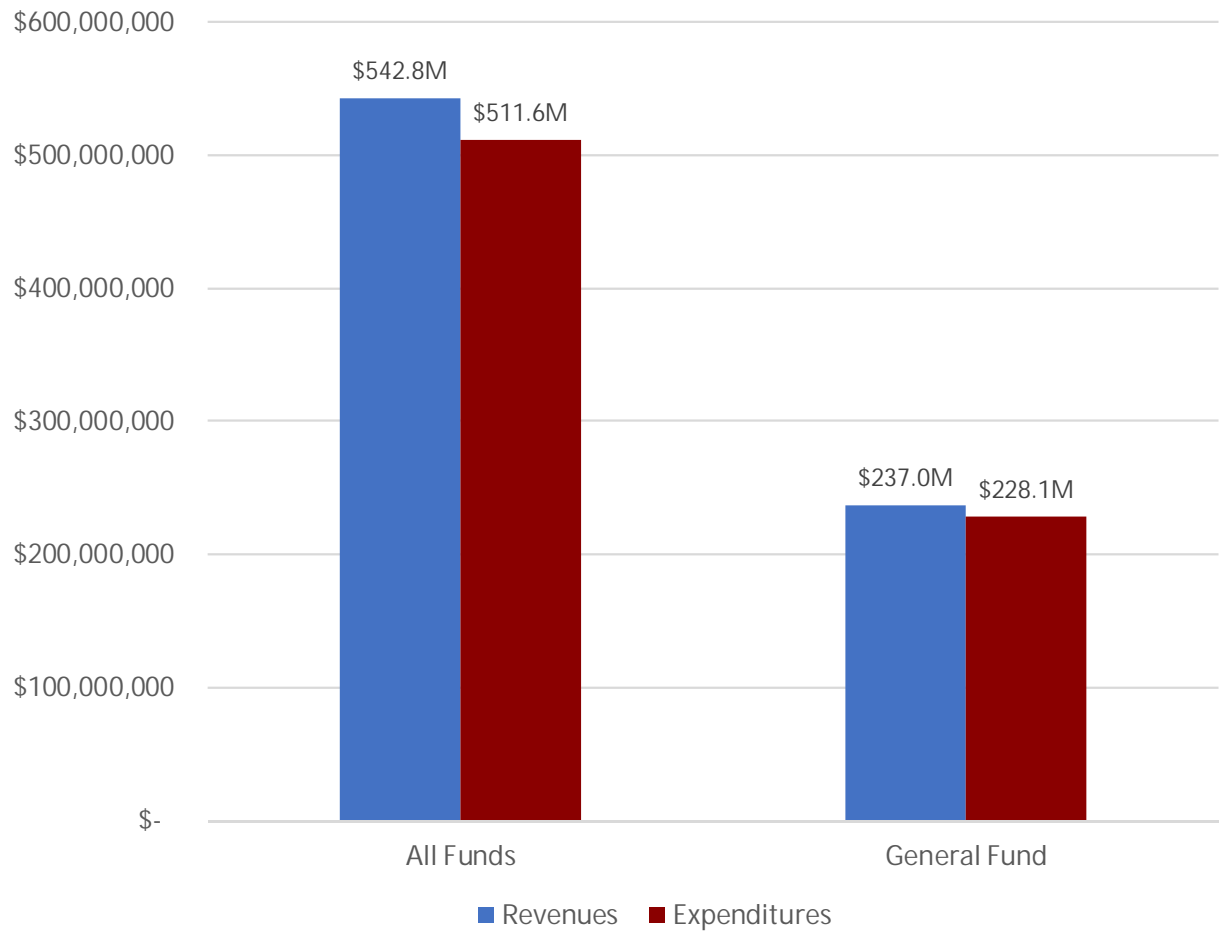


2021

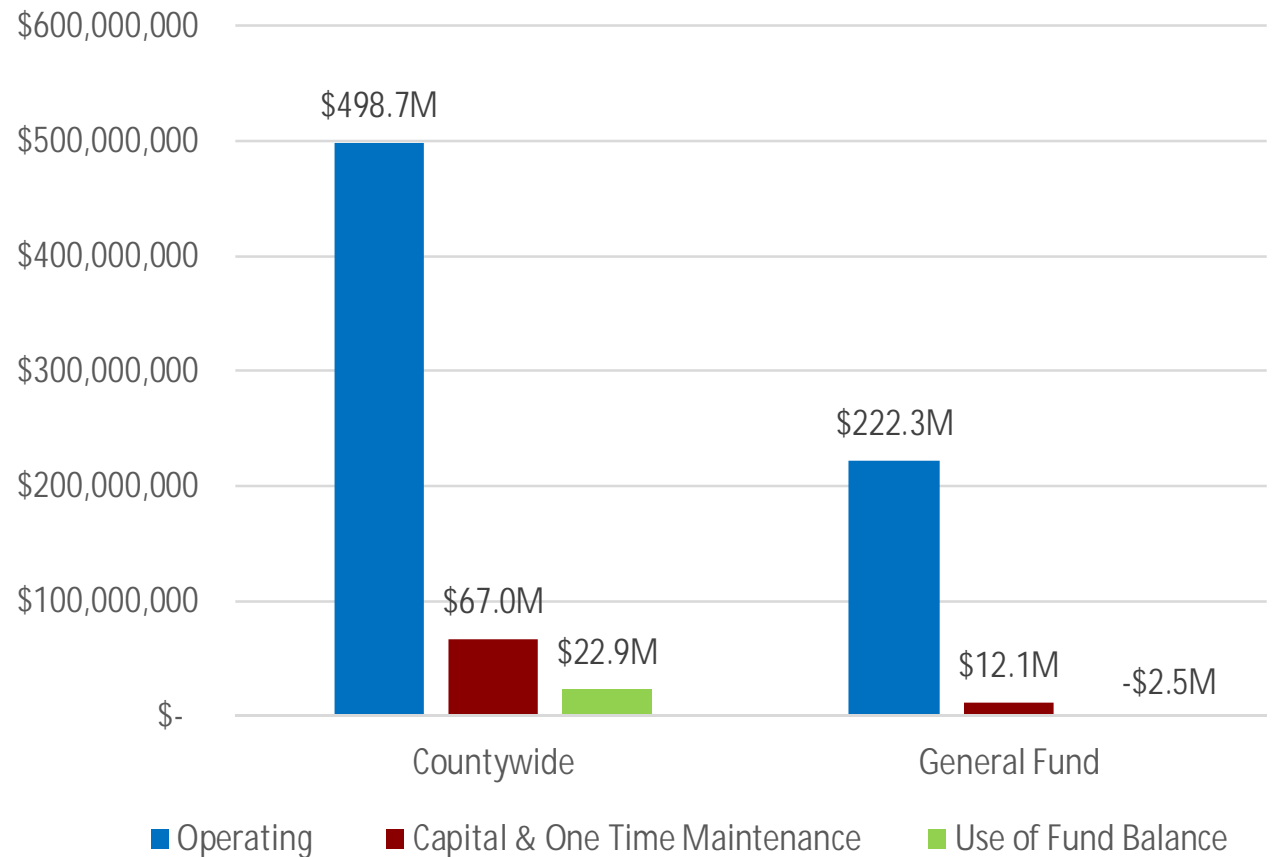
PRELIMINARY BUDGET



2021 Proposed Revenue and Proposed Operating Expenditures



2021 Proposed Expenditures and Use of Fund Balance



Next Steps to Adopting the 2021 Budget

- October 15 – County Manager’s 2021 Preliminary Budget Posted at adcogov.org for resident review.
- October 27 – Review of County Manager’s Preliminary Budget Study Session.
- November – Review of County Manager’s Preliminary Budget Study Sessions, as requested.
- December 8 – First Reading of the 2021 Proposed Budget at Public Hearing.
- December 15 – Second Reading and Adoption of the 2021 Adams County Budget.
- December 15 – Certification of Mill Levies.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Shooting Range Remediation
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Seven to the agreement with Quantum Water Consulting for the remediation planning of the Sheriff's Office Old Shooting Range.

BACKGROUND:

Quantum Water Consulting was awarded an agreement in 2015, for consulting services for remediation planning at the Sheriff's Office Old Shooting Range. Quantum's initial work scope was to perform Environmental Site Assessment, identify the potential work scope, and coordinate preliminary plans with Colorado Department of Public Health and Environment (CDPHE) for eventual remediation.

Quantum Water has been providing consulting and construction oversight for the duration of the project. The project fee structure was set-up to be flexible and "add on" services only as needed by on-site field conditions and jurisdictional CDPHE requirements. Costs for 2020, have fluctuated and are adjusted as needed based on the field conditions and considerable extension of schedule. Amendment Seven will cover third-party testing in relation to asbestos and material sampling. The project breakdown is as follows:

Original Agreement	Approved October 2015	Shooting Rang Clean-up	\$100,000.00
Amendment One	Approved April 2016	Testing and Phase II	\$270,000.00
Amendment Two	Approved March 2017	Development of Action Plan	\$98,960.00
Amendment Three	August 22, 2017	Design of Landfill Cover and Solar Panels	\$165,125.00

Amendment Four	April 17, 2018	Construction, remediation oversight, ground water testing	\$292, 310. 00
Amendment Five	October 16, 2018	Time Extension	\$0.00
Amendment Six	March 12, 2019	Oversight of the remediation work	\$761, 440.00
Amendment Seven		Additional Work related to Asbestos	\$153,210.00

It is recommended to approve Amendment Seven to cover the cost of third-party testing, as well as extend this agreement to the end of project which is anticipated to be fully completed by December 31, 2020. Amendment Seven with Quantum Water Consulting is in the not to exceed amount of \$153,210.00 for a total agreement amount of \$1,841,045.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Fleet and Facilities Management

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund: 1
Cost Center: 9295.7685

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u> </u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	7685	92951701	\$2,700,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u> </u> <u>\$2,700,000</u>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT SEVEN TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND QUANTUM WATER CONSULTING FOR ADDITIONAL
SERVICES

WHEREAS, on September 23, 2015, Quantum Water Consulting was awarded an agreement to provide consulting and remediation services for the Sheriff's Office Old Shooting Range; and,

WHEREAS, additional services and third party testing needed to be added to the scope of work; and,

WHEREAS, Quantum Water Consulting agrees to provide the additional services in the not to exceed amount of \$153,210.00, for a total agreement price of \$1,841,045.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Seven to the agreement between Adams County and Quantum Water Consulting is hereby approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to sign said Amendment Seven to the Agreement after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: October 6, 2020
SUBJECT: Assessor Reports Pursuant to C.R.S. §39-8-105
FROM: Jacquelyn Headley, Administrative Manager
AGENCY/DEPARTMENT: Assessor's Office
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION:

BACKGROUND:

Under §39-8-105 the Assessor's Office shall make the following reports to the Board of County Commissioners sitting as the Board of Equalization on or before September 15 of each year: the valuation for assessment of all taxable real and personal property, a list of all persons who failed to return personal property schedules, and a list of all persons who appeared before the Assessor to protest the values of their property and the outcome of those protests. Pursuant to emergency rules issued by the State Board of Equalization this September 15 due date was extended to October 15, 2020.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

2020 Assessed Value of all Taxable Property
2020 List of Assessor Level Appeals
2020 List of Personal Property Non-Filers

FISCAL IMPACT:

Please check if there is no fiscal impact . If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<hr/>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<hr/>

New FTEs requested: YES NO

Future Amendment Needed: YES NO

Additional Note:

ADAMS COUNTY Short Abstract Summary

<i>Abstract Code</i>	<i># of Accts</i>	<i>Assessed Value</i>	<i>Actual Value</i>	<i>Acres</i>	<i>Square Feet</i>
0010	52	82,880	285,870	320.00	13,939,200.00
0100	11,823	107,383,250	382,054,424	4,878.82	212,572,685.16
0200	1,103	106,481,500	367,177,702	3,178.81	138,472,211.90
0300	271	33,657,130	116,059,042	1,152.58	50,207,193.63
0510	79	680,250	2,345,374	32.14	1,399,975.37
0520	70	2,522,590	8,698,551	191.21	8,328,998.21
0530	26	1,414,080	4,876,078	178.61	7,780,419.94
0540	61	6,215,120	21,431,375	1,059.91	46,169,495.28
0550	40	5,503,460	18,977,380	1,748.00	76,143,064.46
0560	1	146,830	506,299	329.02	14,332,285.44
<i>Class Totals</i>	13,526	264,087,090	922,412,095	13,069.10	569,345,529.40
<i>Running Totals</i>	13,526	264,087,090	922,412,095	13,069.10	569,345,529.40
1112	123,628	823,916,890	11,523,442,848	53,926.69	2,350,486,112.06
1115	1,119	9,566,220	133,778,605	227.06	11,462,739.40
1120	426	1,685,150	23,569,856	109.32	4,784,202.74
1125	525	32,004,850	447,617,792	1,463.29	63,760,482.58
1135	1,130	2,922,400	40,884,674	162.50	7,077,162.08
1140	87	38,607,350	539,961,568	1,484.95	64,684,784.60
1177	86	523,170	7,317,600	172.00	7,492,320.00
1212	121,714	2,424,681,130	33,911,603,115	0.00	0.00
1215	1,136	23,496,010	328,616,278	0.00	0.00
1220	426	19,390,240	271,193,476	0.00	0.00
1225	520	380,853,960	5,326,628,594	0.00	0.00
1230	9,365	167,338,150	2,340,378,344	377.14	16,443,932.58
1235	11,352	26,258,770	367,236,050	0.00	0.00
1235	469	5,785,590	80,918,696	0.00	0.00
1240	70	176,720	2,463,450	0.00	0.00
1277	98	1,878,590	26,273,613	0.00	0.00
4277	775	18,556,760	259,532,482	0.00	0.00
4278	5	16,940	236,796	0.00	0.00
<i>Class Totals</i>	272,931	3,977,658,890	55,631,653,837	57,922.94	2,526,191,736.05
<i>Running Totals</i>	286,457	4,241,745,980	56,554,065,932	70,992.04	3,095,537,265.45
1410	141	5,783,510	19,943,052	0.00	0.00
2020	4	85,920	296,300	15.48	674,190.00
2023	7	1,027,080	3,541,700	0.00	0.00
2112	1,594	263,033,890	907,012,486	3,033.70	132,147,810.02
2115	67	20,874,780	71,981,982	149.26	6,502,978.20
2120	553	44,854,750	154,671,317	642.31	27,975,508.62
2125	42	8,311,580	28,660,602	580.52	25,294,668.68
2130	1,301	167,018,660	575,927,377	3,244.13	141,309,424.02
2135	1,527	330,984,720	1,141,327,864	6,041.68	263,183,474.69
2140	2	249,380	859,924	7.26	316,245.60
2150	1	102,770	354,375	1.55	67,500.00
2212	1,600	464,787,460	1,602,714,871	0.00	0.00

<i>Abstract Code</i>	<i># of Accts</i>	<i>Assessed Value</i>	<i>Actual Value</i>	<i>Acres</i>	<i>Square Feet</i>
2215	67	172,974,180	596,462,593	0.00	0.00
2220	447	117,922,800	406,630,418	0.00	0.00
2225	40	31,328,300	108,028,595	0.00	0.00
2230	1,059	286,374,130	987,496,090	0.00	0.00
2235	1,436	774,688,420	2,671,338,927	0.00	0.00
2240	2	61,070	210,574	0.00	0.00
2245	816	30,960,710	106,761,008	4.33	188,229.16
2410	7,328	505,246,900	1,742,229,795	0.00	0.00
2415	44	3,111,820	10,730,254	0.00	0.00
<i>Class Totals</i>	18,078	3,229,782,830	11,137,180,104	13,720.22	597,660,028.98
<i>Running Totals</i>	304,535	7,471,528,810	67,691,246,036	84,712.26	3,693,197,294.43
3112	110	32,203,610	111,046,962	541.09	23,570,783.95
3115	118	43,869,710	151,274,910	793.59	34,568,829.08
3125	7	4,870,090	16,793,418	259.88	11,320,242.00
3212	160	166,358,040	573,648,394	0.00	0.00
3215	114	60,803,460	209,667,196	0.00	0.00
3225	6	1,728,890	5,961,690	0.00	0.00
3230	1	10,150	35,000	0.11	4,740.00
3410	87	190,915,350	658,328,934	0.00	0.00
<i>Class Totals</i>	603	500,759,300	1,726,756,504	1,594.66	69,464,595.03
<i>Running Totals</i>	305,138	7,972,288,110	69,418,002,540	86,306.92	3,762,661,889.47
4107	130	2,607,590	8,991,608	13,664.63	595,231,409.87
4117	218	1,149,210	3,962,661	5,209.61	226,930,696.16
4127	4,902	16,319,140	56,254,087	387,816.00	16,839,730,307.78
4147	1,641	1,762,590	6,071,251	136,636.62	5,951,891,374.15
4167	518	45,350	153,534	15,070.29	656,461,630.90
4180	25	657,940	2,268,744	205.42	8,947,979.00
4279	872	10,905,690	37,606,050	0.00	0.00
4280	22	2,211,360	7,625,322	0.00	0.00
4410	1	60	220	0.00	0.00
<i>Class Totals</i>	8,329	35,658,930	122,933,477	558,602.57	24,279,193,397.85
<i>Running Totals</i>	313,467	8,007,947,040	69,540,936,017	644,909.50	28,041,855,287.32
5120	7	595,170	2,052,300	207.38	9,033,363.40
5170	782	594,300	2,049,613	297,079.30	12,940,774,294.93
5420	9	3,072,550	10,594,995	0.00	0.00
<i>Class Totals</i>	798	4,262,020	14,696,908	297,286.68	12,949,807,658.33
<i>Running Totals</i>	314,265	8,012,209,060	69,555,632,925	942,196.17	40,991,662,945.65
7110	920	326,853,470	373,546,940	0.00	0.00
7111	810	0	0	0.00	0.00
7120	9	248,990	331,998	0.00	0.00
7130	832	39,609,120	45,267,479	0.00	0.00
7140	8	0	0	0.00	0.00
7155	748	4,203,080	4,803,494	0.00	0.00
7410	178	2,465,630	8,501,397	0.00	0.00
7420	17	64,950	223,984	0.00	0.00
7430	768	7,146,830	24,644,568	0.00	0.00

<i>Abstract Code</i>	<i># of Accts</i>	<i>Assessed Value</i>	<i>Actual Value</i>	<i>Acres</i>	<i>Square Feet</i>
7460	122	36,817,220	126,955,823	0.00	0.00
7470	5	2,032,400	7,008,242	0.00	0.00
<i>Class Totals</i>	4,417	419,441,690	591,283,925	0.00	0.00
<i>Running Totals</i>	318,682	8,431,650,750	70,146,916,850	942,196.17	40,991,662,945.65
8299	2,155	61,517,470	212,127,704	0.00	0.00
8499	2,345	570,623,420	1,967,669,827	0.00	0.00
<i>Class Totals</i>	4,500	632,140,890	2,179,797,531	0.00	0.00
<i>Running Totals</i>	323,182	9,063,791,640	72,326,714,381	942,196.17	40,991,662,945.65
9010	1	158,670	158,670	0.00	0.00
9110	1	4,220	59,000	0.14	6,011.00
9119	62	67,134,050	231,496,757	17,258.00	751,758,272.97
9120	2	73,820	1,032,472	4.09	177,965.00
9129	173	20,569,560	70,929,478	19,433.65	846,530,212.36
9130	9	150,950	2,110,950	170.56	7,429,792.24
9139	558	28,989,300	99,963,026	3,088.30	134,524,739.69
9140	111	3,587,370	50,172,014	225.22	9,810,746.17
9149	3,914	229,764,030	792,284,027	30,376.91	1,323,219,750.49
9150	50	1,404,550	6,326,330	117.63	5,124,051.19
9159	293	28,194,610	97,222,698	781.75	34,053,562.30
9169	11	1,259,620	4,343,479	20.91	912,099.40
9170	31	906,220	8,859,952	79.07	3,444,466.48
9179	125	26,836,690	92,540,202	469.34	20,445,277.40
9199	66	8,944,830	30,844,262	3,494.72	152,229,793.65
9210	1	14,980	209,557	0.00	0.00
9219	2	1,107,350	3,818,460	0.00	0.00
9220	2	1,632,450	22,831,491	0.00	0.00
9229	34	177,619,820	612,482,118	0.00	0.00
9230	10	242,920	3,397,237	0.00	0.00
9239	278	75,638,810	260,823,928	0.00	0.00
9240	60	34,755,980	486,097,796	0.00	0.00
9249	566	743,698,770	2,564,478,408	0.00	0.00
9250	65	2,198,870	30,753,581	0.00	0.00
9259	216	44,286,900	152,713,538	0.00	0.00
9269	8	5,964,210	20,566,305	0.00	0.00
9270	26	4,606,890	64,432,029	0.00	0.00
9279	98	141,321,170	487,314,358	0.00	0.00
9299	23	10,642,660	36,698,766	0.00	0.00
9431	1	57,340	197,708	0.00	0.00
9440	10	137,540	474,237	0.00	0.00
9451	1	12,900	44,475	0.00	0.00
9455	7	1,824,850	6,292,611	0.00	0.00
9457	1	35,450	122,245	0.00	0.00
9464	1	14,370	49,549	0.00	0.00
9472	10	117,880	406,457	0.00	0.00
9474	1	108,650	374,666	0.00	0.00
<i>Class Totals</i>	6,828	1,664,019,250	6,242,922,837	75,520.28	3,289,666,740.34
<i>Running Totals</i>	330,010	10,727,810,890	78,569,637,218	1,017,716.45	44,281,329,685.99
<i>Report Totals</i>	330,010	10,727,810,890	78,569,637,218	1,017,716.45	44,281,329,685.99

<i>Abstract Code</i>	<i># of Accts</i>	<i>Assessed Value</i>	<i>Actual Value</i>	<i>Acres</i>	<i>Square Feet</i>
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2020	ASR LEVEL	R0200821
2020	ASR LEVEL	R0200822
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2020	ASR LEVEL	R0200824
2020	ASR LEVEL	R0200825
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2020	ASR LEVEL	R0200827
2020	ASR LEVEL	R0200828
2020	ASR LEVEL	R0200829
2020	ASR LEVEL	R0201373

NAME1
FORD LORRI L
COFFMAN GAIL ELLEN
HUTTON CONTRACTING COMPANY INC
BAUHS TINA J AND
LAMBERT INVESTMENT 1 LLC 50% UND INT
WEHRLE CARL A AND
THOMPSON MARY M
SHELTON SHIRLEY K REVOCABLE TRUST
SPARKS DEVIN B AND
SALAZAR FRANK J AND
FAJARDO CLEO
MCDONALDS USA LLC
HAMILTON MITCHELL ROSS AND
CRANWILL KIMBERLY K RUMLEY AND
HENKEL MONTY L AND
ARJUNA JAMES AND ARJUNA SANDRA A
LO YIA AND
DE LONG CAROL JEAN TRUSTEE OF THE CAROL
LITTLE COLORADO LIMITED LIABILITY
BROWN SCOTT A AND
JORDAN DOUGLAS TODD
FISK DALE L AND
NAVARRETE ROSA MARIA AND
BRANVOLD ANITA J
CR WESTBURY COMMUNITIES LLC
BRICK AARON AND
MILLER WILLIAM E AND
J & B REALTY LLC
SHAMROCK PROPERTIES LLLP
BEST BUY STORES LP
HUBBARD-GRIFFITHS LETA B
SANDBERG BRIAN L AND BEVERLY E
RAINWATER III CRAWFORD
THOMSON SHARON M
GADDES RONALD E AND
WYCOFF ERIC D
HOWE TIA AND
TUCKER NATALIA NIKOLAEVNA AND
SPARKS CINDY S
HARO CONRADO
HARO ARACELI
MORENO PEREZ JOSE CARLOS
CASTILLO RICKY V AND
NELSON LUCINDA L
MARQUEZ EDWARD AND
COLORADO STATE LODGE (FRATERNAL ORDER OF POLICE)
TUNEBERG RUTH M AND
DMTST TRUST THE

SMITH WILLIAM HOWARD AND
EMISON JERRILYN J
WESTMINSTER LLC
DIONESE MARLA MAE
ANTHONY MARGARET L
SCHULTZ CAROLE S
FLETCHER JOAN B
JARAMILLO ELLEN R
WELBY GARDENS CO
LINK MATTHEW TIMOTHY
THE LAURA TRUJILLO TRUST
JOHNSON PER STEN III AND
PIETERS JAMES V AND
SUPPI BARBARA J
MILES FAMILY LIMITED LIABILITY LIMITED
MANNA LLC
EBERLY RONALD P ET AL
GALLAGHER JOHN C AND
OGDEN TERRY L AND
LA TRENZA COUNSELING INC
NEW DIMENSIONS TRUST TWO LLC
TRIAMM INVESTMENT INC
9700 MONTVIEW LLC
C & X LLC
NAVA-RUBIO GUSTAVO
7156 N PECOS STREET LLC
HOLLAND NOEL D AND
7188 LOWELL BLVD LLC
MADDEN RONALD DAVID
MADDEN RONALD DAVID
MADDEN RONALD W
64TH & CLAY STORAGE LLC
WAGNER PAUL A AND
DARLING KRISTINA
CAMARGO JAIME JR
PAULICK NATHAN ALEXANDER AND
PROLOGIS L P
OWENS CORNING ROOFING AND ASPHALT LLC
VARELA GENEVIEVE G
VARELA GENEVIEVE G
JUAREZ MACARIA
CARNEAL MICHELLE GORDON
VALDEZ MICHAEL V
O'NEILL KIMBERLY L
ELMS HAVEN PROPCO LLC
DINGLER VALERIE
ARNSPIGER SHANE E AND ANGELA M
CABRIALES CHRISTOPHER L
FEDERAL HEIGHTS STORAGE LLLP

MILLER SHANNON L AND
LTC PROPERTIES INC
LTC PROPERTIES INC
FEUERBORN ANDREW L AND
BAUKOL MARCUS M AND
GRAMS JASON J AND
WEISS ABE AND
NORTHGLENN GRANT DRIVE LLC
NORTHGLENN GRANT DRIVE LLC
MAZZO ENTERPRISES LLLP
LEWIS FAMILY TRUST THE
BARNES BILLY B AND
SEIBEL EDWARD AND
TRIAD ENTERPRISES LLC
FRIEDLAN KAELA
BOLZAK KATERYNA
HASENKAMP TAMARA JO
WEST 62ND AVE LLC
KINCADE ROGER
KCK ENDEAVORS LLC
BMEF RED HAWK LLC
ARMSTRONG ADAMS REVOCABLE TRUST THE
PK ASSISTED LIVING LLC
WALTERS CHARLES W AND
NORTHRIDGE PROPERTY OWNER LLC UND 64.29% INT AND
PONY EXPRESS MINI STORAGE II LLC
EHMKA CHARLES AND
DRGINVEST 1923 DALLAS LLC
N/A LAMBERTSON FARMS 86 LP
FIELD STONE INVESTMENTS LLC
BANUELOS MIGUEL
MP NORTHGLENN LLC
RUSSELL LAWRENCE M AND
HORST SHAWN D AND
HORTON FAMILY TRUST THE
STRANGE JONATHAN LEE AND
SRGMF II IRMA NORTHGLENN LLC
SANCHEZ RICHARD P AND
NEARY KRISTY
HAKE AGNES PATRICIA
MCCORMICK SUSAN L AND
WYNKOOP ZACKARY JON
MENDOZA RAFAEL JR
AMERICAN FURNITURE WAREHOUSE CO
MILLER MARK E AND
KATSAM LLC
ROBSON ROBIN DAWN AND
CADENA NATHAN R
CLAYCOMB LLOYD III

ROBINSON ANDREW
INGRAHAM GERALD L AND
HOGE KENNETH C
DOMINGUEZ SHABREE
PLAZA CCV LLC
WREN JASON AND
TOMLINSON BRYANT ROBERT AND
JUCEAM DUSTIN C AND
MANSUR MARC STEVEN
DRUMMOND CHRISTOPHER M AND
THOMPSON KENNETH R AND
KEYSTONE WESTMINSTER LLC 79.6% INT AND
MS AURORA DE LLC
DE MATTEE INDUSTRIAL PARK LLC
MSR LLC III
SEXTON GERALD EARNEST JR AND
KING JOHN P AND
SOWERS MELISSA ELAINE AND
SHANLEY JOHN M AND
LINN JOSHUA WILLIAM AND
WITHERS CAROL B
GORDON ANDREW AND
STEVES MARY-MARGARET VIRGINIA AND
CARTER MICHAEL ALLISON AND
REITER BENJAMIN DAVID AND
MEYER RYAN JOHN AND
HEASLEY SHEILA MAY AND
BRIGHT JAMES EMORY AND
HILSINGER RACHAEL ANN AND
GOULD GLENN GILBERT AND
OFFEN JASON TYLER AND
SHANLEY WILLIAM EDWARD AND
MAPES KEVIN LEE AND
KERR LORI LYNNE
LEUPOLD MICHAEL AND
HUML CLAYTON EDWARD AND
WARD MICHAEL BLAIN AND
MCCUNE ERIC LEE AND
FEDORCHIK JOSEPH JOHN III AND
TRITTEN BRANDON C
RUSSELL CHRISTOPHER J AND
BEVERLIN TODD K
PHAM JULIE THUY AND
SOLANIK JOHN M AND
KHWAJAZADA SARAH
BURROWS ROBIN A AND
HALL RANDY K AND
HAMPSON DENNIS ALLEN AND
PEPIN RICHARD ALLEN AND

PUEPPKE AIRLIA ASHLIE
PAGE JOHN D
EAST BRIDGE STREET LLC
GARZA DUSTIN
HTA NORTHGLENN HOSPITAL LLC
SKINAS THOMAS JOHN
TASAYCO DAVID B AND
CLAY F CARLSON 2012 TRUST UND 14.945 % INT AND
KALAN MATTHEW AND
NEWSUM JAMIE F AND
MUNOZ MICHAEL AND
DINH DUNG M AND
BARTELL TRAVIS EMERY AND
ENNIS KANG MEI
KOWALSKI ASHLEY B
HAWKES JACKIE L
FCA REALTY LLC
76 COMMERCE CENTER 5 LLC
SILVERPEAK HOMES INC
PHILLIPS KELLAN AND
76 COMMERCE CENTER 4 LLC
FALLON MICHAEL JOHN AND
HURST KENNETH JOHN AND
PETTITT NANCI E AND
WOODARD THOMAS M AND
SCHUTZ JOHN P AND
BEAUCHAMP ALICE SCHENKENBERGER AND
SCHMIDT FAMILY TRUST THE
JENIK KYLE LEE AND
WILMORE ROBERT WILBUR AND
ALDRICH ALAN EDISON AND
COON SPENCER M AND
HULL BRIAN M AND
GUARDIAN STORAGE AURORA LLC
BURGESS BRENDA
FREI ASSOCIATES LTD II
FREI ASSOCIATES LTD II
KYCO REAL ESTATE HOLDINGS LLC
LOVATO DAVID
TENORIO FRANK E/LOHMANN KAREN K TRUSTEES
LOHMANN KAREN K/TENORIO FRANK E TRUSTEES
LOHMANN KAREN K/TENORIO FRANK E TRUSTEES
LOHMANN KAREN K/TENORIO FRANK E TRUSTEES
TENORIO FRANK E/KAREN K TRUSTEES UNDER
LOHMANN KAREN K/TENORIO FRANK E TRUSTEES
AMALGAMATED SUGAR COMPANY LLC
SILVERROCK LLC

BROADVIEW LLC
PLOCK GARY A AND
PLOCK GARY A AND
PLOCK GARY AND
PLATTE VALLEY PLAZA LLC
CANVAS CREDIT UNION
SCHULZ RUDOLF AND
WATER DROP TRUST
WATERMILL EXPRESS LLC
BLACK JOANNE
CCP BRIGHTON 0873 LLC
ENGLE RICHARD H AND
ATLAS PROPERTIES LLC
WILLOX ROBERT AND
FARLEY WILLIAM
SUN DEVELOPMENT LP
BRANNAN SAND AND GRAVEL CO LLC
EHMKA CHARLES AND
KOHL S DEPARTMENT STORES INC
TRUNKENBOLZ LLC
BISSELL DAVE R AND
COOPER RAY AKA
MACLENNAN DEAN K AND
BJJ PROPERTIES LLC
GONZALES GENE G
CROSSCHECK LLC
BEACHWALKER PROPERTIES LLC
BEACHWALKER PROPERTIES LLC
WW ENTERPRISES LLC
WW ENTERPRISES LLC
CANVAS CREDIT UNION
WASHINGTON TECH LLC
SD INVESTMENTS LLC
KGL LLC
LQ PROPERTIES LLC
LQ PROPERTIES LLC
LQ PROPERTIES LLC
BRE/LQ PROPERTIES LLC
MAR CANYON CHASE LP
HARMAN MANAGEMENT CORPORATION
HOPPE GERALD L AND
SOOK INVESTMENTS CORP
MORGAN BARBARA J
PFEIFER RONALD J AND
PEERLESS TYRE CO
SPIEWAK HOLDINGS LLC
KATSAM LLC
WEBSTER LAKE LLC
CHP METRO NORTH LLC

SQUIRE VILLAGE INVESTORS LLC
MARKS BILL
CANYON RESERVE LLC
CANYON RESERVE LLC
IRONWOOD APARTMENTS LLC
KONZ MAX V AND
J-R MOTORS COMPANY NORTH
VBTP LLC 64/3653% INT AND
POLZIN LARRY AND
ADAM JULIE A AND
MAC MANAGEMENT NORTHGLENN LLC
MAC MANAGEMENT NORTHGLENN LLC
MAC MANAGEMENT NORTHGLENN LLC
BEACON HOUSE LLC
BFS RETAIL AND COMMERCIAL OPERATIONS LLC
TWC2 LLC
TWC2 LLC
O MEARA FORD CENTER INC
O MEARA FORD CENTER INC
EHMKA CHARLES
COVINGTON RIDGE LP
EHMKA CHARLES WILLIAM AND
2090 E 104TH LLC
GULLY DONNA ANN
MC DONALDS CORPORATION
TRUSTEE OF THE QUE MINH TRUONG REV
SHAMROCK PROPERTIES LLLP
SHAMROCK PROPERTIES LLLP
SHAMROCK PROPERTIES LLLP
SHAMROCK PROPERTIES LLLP
SHAMROCK PROPERTIES LLLP
SHAMROCK PROPERTIES LLLP
BROADRIDGE APARTMENTS LLC
WESTMINSTER WISHBONE INC
HELMERS RONALD D AND LINDA L
JFRCO LLC
JFRCO LLC
TARA LLC
COLD WAREHOUSE LLC
CR PARK PLACE ON 92ND
ENGER FAMILY PARTNERSHIP LLLP
2247 LARIMER LLC
NORTH VALLEY BANK
NOREEN ANNE M AND
WEBER INCORPORATED
DEVONSHIRE SELF STORAGE LLC
EW GP ASSOCIATES LLC
DAY CHARLES RUSSELL AND
GELT TIMBER LODGE FEE OWNER LLC AND

GELT TIMBER LODGE FEE OWNER LLC AND
GELT TIMBER LODGE FEE OWNER LLC AND
GELT TIMBER LODGE FEE OWNER LLC AND
HC-8451 PEARL STREET LLC
HC-8451 PEARL STREET LLC
HC-8451 PEARL STREET LLC
HC-8451 PEARL STREET LLC
BURKE DAVID M
ROSEN HAROLD F AND
OTTERFAM LLC
LUXMANA INVESTMENTS LLC
DEAN VENTURES LLC
2121 W 84TH LLC
CROSSCHECK LLC
CR TUSCAN HEIGHTS COMMUNITIES LLC
WATSON GEORGE AND DEBORAH JOINT
CR TUSCAN HEIGHTS COMMUNITIES LLC
BURGEON PROPERTIES DENVER LLC
BURGEON PROPERTIES DENVER LLC
DI GIACOMO MARY ANNE
CSI BUSINESS CENTER LLC
GA HC REIT II ST ANTHONY NORTH DENVER
MARSHALL WILLIAM FREDERICK
LQ PROPERTIES LLC
BRT PROPERTIES LLC
LUEVANO INVESTMENTS LLC
CL ROCKY MOUNTAINS LP UND 83.358548% AND
CR SANDPIPER COMMUNITIES LLC
CR SANDPIPER COMMUNITIES LLC
CR SANDPIPER COMMUNITIES LLC
NOEL LARRY D AND
SCOMA SAMMY J AND
LUCERO FRANK AND
PARKSIDE APARTMENTS 2 LLC
LMC PROPERTIES INC
LMC PROPERTIES INC
7440 PECOS LP
7475 DAKIN LLC
1345 CORTEZ L.L.C.
WPC-CORPORATE I LLC
WPC-CORPORATE I LLC
WPC-CORPORATE I LLC
WPC-CORPORATE I LLC
WPC-CORPORATE I LLC
WPC - CORPORATE II LLC
CHESROWN CHEVROLET LLC
STORAGE TRUST PROPERTIES LP
CENTER PLAZA LLC
T & G PECOS LLC

NORVIC PROPERTIES LLC
ARMOS GROUP LLC THE
NORVIC PROPERTIES LLC
BRANNAN SAND AND GRAVEL COMPANY LLC
BLYST HOLDINGS LLC
KM ELLIS PROPERTIES
BURCH FAMILY PARTNERSHIP LLP
LOG JAMMER LLC
MYR REAL ESTATE HOLDINGS LLC
RJR INVESTMENTS LLC
DENVER INVESTMENT AND MANAGEMENT LLC
WARD REALTY CORPORATION
MILES FAMILY LIMITED LIABILITY LIMITED
INTERMOUNTAIN WHOLESAL
HONNEN PARTNERS L L C
HONNEN PARTNERS L L C
HONNEN PARTNERS L L C
HONNEN PARTNERS L L C
JACILDO BRIAN
ME AND THEE LLC
FERNANDEZ ROBERT AND
HIGHWAY 2 HOLDINGS LLC
H2 PROPERTIES INC
SUN DEVELOPMENT LP
SUN DEVELOPMENT LP
POOL IV FINANCE LLC
POOL IV FINANCE LLC
HOFF COMPANIES INC
WPC-ABC LLC
ADCIR (CO) QRS 16-60 INC
LMRT HOLDINGS LLC
COMMERCENTER #3
SEVEN SEAS HOLDING COMPANY LLC
APLAND LLC
DAYTON STREET LLC
QUIKTRIP CORPORATION
ST PAUL FIRE AND MARINE INSURANCE COMPANY
CABOT IV CO1M01 LLC
ST PAUL FIRE AND MARINE INSURANCE
LBA RV-COMPANY XVII LP
L AND S LLC
L AND S LLC
BOSS LELAND A AND BOSS JUDY R
MAZZO ENTERPRISES LLLP
RAWLINS VANITA L HALL
MONTVIEW INVESTORS LLC
MC DONALDS USA LLC
CHAMBERS PLAZA LLC
1790 JASPER STREET LLC

SRB PROPERTIES LLC
SRB PROPERTIES LLC
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
FOUNTAIN PLACE APARTMENTS II LIMITED
WAGNER EQUIPMENT CO
KEG-MS LLC
KEG-MS LLC
LYONS REAL ESTATE HOLDINGS LLC
MEDINA GEORGE AND
MEDINA GEORGE P AND
BRATSKO BILLIE JEAN AND
RMR PROPERTIES BRIGHTON I LLC
HARMAN-MANAGEMENT CORPORATION
GEVERETTA LLC
BOYLES GALVANIZING COMPANY
G AND G REALTY LIMITED
DEXTER SITE LLC
CRFOLSOM REAL ESTATE LLC
J W BREWER TIRE CO INC
J W BREWER TIRE CO INC
J W BREWER TIRE CO INC
J L FAIRFAX LLC
5790 EUDORA LLC
2220 RAND LLC
DONGARY INVESTMENTS LTD
MURPHY CHARLES J
MURPHY CHARLES J
NAZCA LAND HOLDINGS LLC
NAZCA LAND HOLDINGS LLC
LEVY GENE
BROWN-ADEN COMMERCE CITY LLC
JACOBS BRENDA SUE
NEW PORTS LLC
6470 LLC
REDMAN LAND COMPANY LLC
WHITE QUAIL LAND COMPANY LLC
WPC-49TH LLC
WPC 50TH LLC
7033 E 49TH AVE REAL ESTATE LLC
EKB PROPERTY LLC
WAGNER EQUIPMENT CO
TRIAD INVESTMENTS LLC
TRIAD INVESTMENTS LLC
J TRUJILLO ENTERPRISES LTD

SUN DEVELOPMENT LP
IC INDUSTRIAL REIT
IC INDUSTRIAL REIT
KENNEDY DIANNE JACQUELINE
AUTO TRUCK GROUP LLC
3250 OAKLAND LLC
COOPER ADAM B
DAYTON STREET LLC
DAYTON STREET LLC
MORRISON COLIN AND
CARPENTER-STANLEY MARGIE A AND
JADETREE EQUITIES INC
MANGO HOUSE LLC
ORTEGA ARTURO
MASSEY AARON
GARDENS ON PARIS LLC
GARDENS ON PARIS LLC
OSWEGO COURTWAY APARTMENTS LLC
OSWEGO COURTWAY APARTMENTS LLC
OSWEGO COURTWAY APARTMENTS LLC
GOLDWEST PROPERTIES AND INVESTMENTS LLC
BURKE DAVID M
INDUSTRIAL CONSTRUCTORS PROPERRTIES LLC
RICHARDS & 69TH LLC
JBTK PARTNERSHIP LTD
KSTAR INVESTMENTS LLC
ARMOS GROUP LLC THE
KSTAR INVESTMENTS LLC
DARANT INVESTMENT CO
JD & S LLC
SUBLETTE JACOBS PROPERTIES LLC
LEGARDE LISA A
BARNETT/BISTLINE LLC
SHANGHAI LAND INVESTMENT LLC
SHANGHAI LAND INVESTMENT LLC
SHANGHAI LAND INVESTMENT LLC
JORGENSEN COMPANIES LIMITED LLC
DIGBY FAMILY LLLP
7160 IRVING STREET LLC
7160 IRVING STREET LLC
KEW REALTY CORPORATION
WILLOWBROOK APTS LLC
3755 PROPERTY LLC
CARLSON RONALD A AND
SOUR WILLIAM I JR AND
MELLOR ROBERT WILLIAM JR
SKARIE SARAH B
HOOD TOBY D
HERNANDEZ RICHARD B AND

5195 LLC
LU-TEK INCORPORATED
UNC'S LLC
TDSO HOLDINGS LLC
CIROCKI VIOLA M TRUST THE UND 64.4% AND
VANCE BROTHERS INC
BRANNAN SAND AND GRAVEL COMPANY LLC
P AND J TRUJILLO LLLP
WSM 5925 BROADWAY LLC
FREIGHTLINK OF COLORADO LLC
WESTERN BUILDING GROUP LLC
SCHULTZ DARREL
2700 BLAKE STREET LLC
BILL AND TODD LLC
WALKER PROPERTY GROUP INC
BATS INVESTMENTS LLC
MC DONALD S CORPORATION
THOMPSON PARTNERSHIP
THOMPSON PARTNERSHIP
THOMPSON PARTNERSHIP
THOMPSON PARTNERSHIP
DARLING NATIONAL LLC
OWENS CORNING ROOFING AND ASPHALT LLC
5445 BANNOCK LIMITED LIABILITY LIMITED
FURNITURE ROW COLO LLC
OWENS CORNING ROOFING AND ASPHALT LLC
L AND R PARTNERSHIP
GARRETT DWAYNE D TRUST UA THE
FOSTER WILLIAM ROBERT AND FOSTER TIMOTHY AND
READY MIXED CONCRETE COMPANY
READY MIXED CONCRETE COMPANY
JCK PECOS MANAGEMENT LLC
GUILDNER INVESTMENTS LLC
BBV-DEN LLC
ARA USH CHICAGO TENANT LLC
JBTK PARTNERSHIP LLLP ET AL
RUIZ MARIO RUIZ
120TH STREET LLC
GATEWAY HOTEL LLC
NORTHPARK RETAIL CENTER III LLC
NORTHPARK RETAIL CENTER III LLC
NORTHPARK RETAIL CENTER III LLC
SS COUNTRY MEADOWS LLC
KEAVENY MICHAEL P AND
THRITTEEN LINE INC
RMNM LLC
H.N.K. INVESTMENT LLC
CASCETTE PROPERTIES LLC
CASCETTE PROPERTIES LLC

COMMERCENTER NO.7 LIMITED LIABILITY
MAR LEGACY HEIGHTS LLC
MAR LEGACY HEIGHTS LLC
ENVIRONMENTAL TESTING CORPORATION
ALPINE LUMBER COMPANY
ALPINE LUMBER COMPANY
TOLFAN VENTURES LLC
K-W ENTERPRISES
HARMAN-MANAGEMENT CORPORATION
ROLLER INVESTMENT CO LLC
TUNEBERG MARY FRANCES
120TH STREET LLC
ARBOR COLONY LLC
DENVER PLUMBERS HOMEBUILDING
UNLIMITED STORAGE LLC
INTERSTATE SHIPPERS SERVICE INC
8778 WOLFF LLC
CHESROWN COLLISION CENTER INC
FOUR H PROPERTIES
HEINZ WAY LLC
SUSO 4 WESTMINSTER LP
SUSO 4 WESTMINSTER LP
SUSO 4 WESTMINSTER LP
SUSO 4 WESTMINSTER LP
SUSO 4 WESTMINSTER LP
WAX WORKS LLC
CASAROSA LLLP
TRIAD INVESTMENTS LLC
TKG SHERIDAN CROSSING DEVELOPMENT
PLATTE RIVER PROPERTY LLC
MANHATTAN FUND XXI LLC
BEARD ALLISON BAILEY
SRB PROPERTIES LLC
NORTH KENDALL PROPERTIES INC
SALTER AND SALTER LLC
NORTH AMERICAN GALVANIZING COMPANY
CCP MALLEY 0859 LLC
GEP INVESTMENTS INC
BUCKINGHAM WEST - FEDERAL PLAZA LLC
BRIDGESTONE/FIRESTONE INC
BUCKINGHAM WEST - FEDERAL PLAZA LLC
CHICK-FIL-A- INC
BUCKINGHAM WEST - FEDERAL PLAZA LLC
LOHMANN KAREN K/TENORIO FRANK E TRUSTEES
B L D INVESTMENTS IV
GEP X THORNTON LLC
GEP X THORNTON LLC
GEP X THORNTON LLC
GEP X THORNTON LLC

JEAKINS MATTHEW
MARRS PAIGE A AND
ANCHOR BUSINESS PARK LLC
OSO VERDE LLC
FAMILY RESTAURANTS INC
KOSMIDER BEATA W AND
CHOQUETTE LEE ANN
2780 NORTH TOWER ROAD LLC
DECLAW FRANCISCO AND
BSF INVESTMENT GROUP LLC
ARCHLAND PROPERTY I LLC
CAR BIS CO AURA LLC C/O CAPITAL
RAND VALERIE A AND
BEL NORTH CREEK LLC
MAR LEGACY RIDGE LLC
NORTHGLENN XXL STORAGE LLC
EHMKA CHARLES AND
PRCP-CO STONE MOUNTAIN LLC
CHIVERS MARSHA AND
NORTHGLENN LLC
L NOTHHAFT AND SON INC
MCDONALDS REAL ESTATE COMPANY
FAUS MICHAEL W
WESTERN UNITED ELECTRIC
COMMERCENTER NO.22 LIMITED LIABILITY
COMMERCENTER NO.23 LLC
DOMENICO REAL ESTATE PARTNERSHIP
GUSTAFSON ANTHONY AND
HOFFMAN DANIEL
KTP PROPERTIES LLC
LIDDLE CAROLYN L AND
SCG ATLAS TANGLEWOOD LLC
KUSHNIROFF INVESTMENTS LLC
KUSHNIROFF INVESTMENTS LLC
L AND R PROPERTIES LLLP
BRISBEN STERLING PARK LIMITED
RINGSBY TERMINALS INC
FURNITURE ROW USA LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
MP NORTHGLENN LLC
ASK BHOOMI LLC
WAGNER EQUIPMENT CO
WAGNER EQUIPMENT CO
K & A HOLDINGS LLC
COLORADO CENTRAL CREDIT UNION

AMERICAN HOMES INVESTMENTS LLC
AMERICAN HOMES INVESTMENTS LLC
GATEWAY RI LLC
ROSEROCK HOLDINGS LLC
WINDMILL CREEK ENTERPRISES INC
INDEPENDENT HOLDING LLC
BIESEMEIER INDUSTRIAL PARK
INDUSTRIAL CHEMICALS
CFT DEVELOPMENTS LLC
MAC MANAGEMENT BUILDING 12 LLC
NATIONAL RETAIL PROPERTIES LP
COLORADO MUSLIMS COMMUNITY CENTER
BUEHLER GROUP LLC
SAWAGED INVESTMENT GROUP LLC
FRONT RANGE AUTO SALES LLC
J3B2 PROPERTIES LLC
J3B2 PROPERTIES LLC
BRIGHTVIEW PROPERTIES LLC
DENNER DON W II AND
RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
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RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
RLI MANAGEMENT INC 39/3826%/IS EXCHANGE
ROBEY GINA
STEVENSON TODD D AND
DOUGLAS STEVEN J AND
SCOTT GREGORY G
MYERS FAMILY TRUST THE
REALTY INC
CHICK-FIL-A INC
102ND AVENUE LLC
102ND AVENUE LLC
102ND AVENUE LLC
HOSKER ROBERT P AND
BNH INVESTMENTS LLC
ELIO SPORTS MARKETING INC
CFT DEVELOPMENTS LLC

LENNAR COLORADO LLC
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
PARK CENTRE 120TH LLC
COMMERCENTER #25 LIMITED LIABILITY COMPANY
COMMERCENTER #26 LIMITED LIABILITY COMPANY
GATEWAY PLAZA LLC
HERMAN KATHLEEN G
SOMERSET LAND COMPANY V LLC
TREMBATH LAND COMPANY LLC
KOHL'S DEPARTMENT STORE NO.345
AIMCO 21 FITZSIMONS LLC
AIMCO 21 FITZSIMONS LLC
COX JOAN AND
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
MMI ABERDEEN LLC
AP INVESTMENTS LLC
LEE KHANH VIEM/CHUNG KAREN LEE AND
BACKFLIP LLC
AL-ABSSI RAMMY M AND
FRRE LLC
WASTE MANAGEMENT OF COLORADO INC
LIGHT GROUP LLC
PARAMOUNT COMMERCIAL REALTY LLC
DIA LOFT LLC
BRIDGESTONE RETAIL OPERATIONS LLC
13591 HURON STREET LLC
PT ABERDEEN LLC
PWN1 LLC
SHEETS JOSHUA MICHAEL ANTHONY AND
RICHMOND AMERICAN HOMES OF COLORADO INC
RICKS AYESHA AND
UZETA ISAAC AND
WILLIAMS JASON
GARCIA-MEDINA GUADALUPE AND
RICHMOND AMERICAN HOMES OF COLORADO INC
MARQUEZ LUIS RAUL AND

RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
DELATORRE-CAMACHO CARLOS AND
ASCHERL EVAN PAUL ANTON
NEALLY LANE THOMAS
RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
MCFARLAND RYAN AND
HAGERMAN ALAN CHARLES
ZHONG LIYU
RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
SHAW SYLVIA AND
FELIX JORGE GALLEGOS AND
SANTUARIO RODOLFO JR
HOLMES STEPHEN C AND
RICHMOND AMERICAN HOMES OF COLORADO INC
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RICHMOND AMERICAN HOMES OF COLORADO INC
ELMORE KENA LANICES AND
RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
WOLFARD ERIC HARRIS
KASTBERG MARGARET M AND
RICHMOND AMERICAN HOMES OF COLORADO INC
NGUYEN QUYNH VIET AND
RICHMOND AMERICAN HOMES OF COLORADO INC
RASCONVEGA JESUS ANTONIO AND
RICHMOND AMERICAN HOMES OF COLORADO INC
TICHOTA DAVID EUGENE AND
GAUTAM PRABIN AND
THAMMAVONGSA WILLIAM BO AND
ALLEN TERRI
ORTIZ KIMI
RICHMOND AMERICAN HOMES OF COLORADO INC

RICHMOND AMERICAN HOMES OF COLORADO INC
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RICHMOND AMERICAN HOMES OF COLORADO INC
RICHMOND AMERICAN HOMES OF COLORADO INC
MCDONALDS REAL ESTATE COMPANY
BOYLE PATRICK W AND
RAH ENTERPRISES LLC
ARVADA RIDGE PROPERTIES LLC
MORELAND ARIZONA PROPERTIES LLC
ASCENDANT CAPITAL PARTNERS MF LLC
AIRGAS USA LLC
RIVERDALE CARWASH LLC
VM PROPERTIES LLC
VM PROPERTIES LLC
HARMAN MANAGEMENT CORPORATION
J C PENNEY PROPERTIES LLC
MC DONALDS CORPORATION
MCDONALDS REAL ESTATE COMPANY
18TH AND BRIDGE LLC
D AND L LEASING LLC
2555 PRAIRIE LLC
THORNTON MULTIFAMILY DST
THORNTON MULTIFAMILY DST
THORNTON MULTIFAMILY DST
THORNTON MULTIFAMILY DST
AVENA HOLDINGS LLC
MAZZO ENTERPRISES LLLP
148TH AND SABLE BOULEVARD
121ST PROPERTY PARTNERS LLC
NORTHPARK RETAIL CENTER III LLC
PG REAL PROPERTY PARTNERSHIP RLLLP
AIMCO 21 FITZSIMONS LLC
AIMCO 21 FITZSIMONS LLC
A2K GILLESPIE LLC
LEJ PROPERTIES LLC
MCDONALDS REAL ESTATE COMPANY
HURON PLAZA LLC
ADCIR EXP CO LLC
NEXT GENERATION PROPERTIES OF
PROPERTY LEASING DENVER LLC
BRANNAN SAND AND GRAVEL COMPANY LLC
EP INVESTMENTS LLC
EP INVESTMENTS LLC
BRIARWOOD NORTH LLC
INDIGO CREEK II HOLDINGS LLC
HD NORTHGLENN LLC C/O DENNA TAYLOR
J AND N DENVER IV LLC
THORNTON LLC

LENNAR COLORADO LLC
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
LENNAR COLORADO LLC
HOBBY LOBBY STORES INC
CROSS/STEVENS LLC
PERAZZO JENNIE M AND
COHEN PARTNERSHIP LP AND
MILE HIGH HOSPITALITY LLC
GKT BRADBURN VILLAGE LLC
HERMAN JOSEPH J JR AND LAVIOLETTE CHARLES A
LIT INDUSTRIAL LIMITED PARTNERSHIP
BARNES TRINA D AND
LYK WELBY LLC
LYK WELBY LLC
BK ENTERPRISES LLC
FD INTERESTS LLC
COUNTRY CLUB VILLAGE TWO LLC
COUNTRY CLUB VILLAGE TWO LLC
WRPV XIII RIDGE THORNTON LLC
WRPV XIII RIDGE THORNTON LLC
WRPV XIII RIDGE THORNTON LLC
SMEDLEY RICHARD AND
MEDLINE INDUSTRIES INC
D AND M INVESTMENTS LLC
JAMM PROPERTIES LLC
KELLER TIMOTHY D JR AND
ESPINOZA ROBERT MICHAEL / RENEE SANTOS AND
MWSH THORNTON LLC
S & Z REALTY LLLP
WRPV XIII RIDGE THORNTON LLC
WRPV XIII RIDGE THORNTON LLC
TARLECKI PINA
PRENTICE AVE APARTMENTS LLC
148TH AND SABLE BOULEVARD BUILDING
136 HURON DEVELOPMENT CO LLC
CENTURY AT TANGLEWOOD LLC
ZARLENGO RYAN SCOTT AND
SARCONI EUGENE MICHAEL AND
STASTNY EVAN WILLIAM AND
MAJESTIC COMMERCENTER PHASE 9 LLC
MAJESTIC COMMERCENTER PHASE 9 LLC
PARK 70 BUILDING VENTURE #11 LLC
FRONT RANGE RV STORAGE LLC

LENNAR COLORADO LLC
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DEL ROSARIO MENDOZA PERLA AND
LENNAR COLORADO LLC
BURNS WILLIAM EUGENE AND
HINOJOSA HERMAN BERNARD II AND
LENNAR COLORADO LLC
LENNAR COLORADO LLC
MARTSON LEVI JOSEPH ALAN AND
WHITE JANICE LYNN
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
SCF RC FUNDING IV LLC
ASK BHOOMI LLC
THE OAK GROUP LP
PRAIRIE CENTER RETAIL ONE LLC C/O OLD CHICAGO
BRIGHTON SELF STORAGE LLC
VESTAR ORCHARD TOWN CENTER LLC

TOLL SOUTHWEST LLC
TOLL SOUTHWEST LLC
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TOLL SOUTHWEST LLC
DUONG THANH AND
TOLL SOUTHWEST LLC
TOLL SOUTHWEST LLC
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PETERSON SHAWN J AND
DONNICI JEFFEREY A AND
TOLL SOUTHWEST LLC
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TOLL SOUTHWEST LLC
HARMAN MANAGEMENT CORPORATION
STELTER ROBERT L JR AND
ITS WESTMINSTER LP
THORNCREEK PROPERTIES LLC
EFP INVESTMENTS LLC
8251 QUINTERO STREET COLORADO BRECKNELL INVESTORS LLC
WL PARK 12 HUNDRED OWNER LLC
WL PARK 12 HUNDRED OWNER LLC
M&G MULLIN LLC
CA SENIOR WESTMINSTER CO PROPERTY OWNER LLC
LIT INDUSTRIAL LIMITED PARTNERSHIP
LIT INDUSTRIAL LIMITED PARTNERSHIP
900 FLUID LLC

CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
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CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
CCC HOLDINGS LLC
MARTINEZ RAYLIN JOEL AND
VIGIL BOBBY JOHN
GUERRERO DANIEL ANGEL AND
LENNAR COLORADO LLC
BUETTENBACK JOHN DEWEY AND
LENNAR COLORADO LLC
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BROOKFIELD RESIDENTIAL (COLORADO) LLC
BROOKFIELD RESIDENTIAL (COLORADO) LLC
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
BORJA DIEGO EMANUEL AND
MARTINEZ BRANDON JACOB AND

MIDTOWN LLC
MIDTOWN LLC
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MIDTOWN LLC
LENNAR COLORADO LLC
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LANGLEY JASON
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LENNAR COLORADO LLC
FOUST JOHN WESLEY AND
LENNAR COLORADO LLC
LENNAR COLORADO LLC
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
BOSS JEFFREY WILLIAM AND
BEETS ROY HENRY

HASSEL MARK HOWARD AND
POSEY DOUGLAS J AND
LENNAR COLORADO LLC
LENNAR COLORADO LLC
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LENNAR COLORADO LLC
AULT ROBERT MICHAEL
THE JOAN M SEVERNS LIVING REVOCABLE TRUST
LENNAR COLORADO LLC
NPH TRUST
LENNAR COLORADO LLC
LENNAR COLORADO LLC
LENNAR COLORADO LLC
LENNAR COLORADO LLC
LENNAR COLORADO LLC
PAPA JAIME AND
KRUSEMARK HARLAN JOHN AND
ARNOLD RANDALL G AND
FREI ASSOCIATES LTD II

NAME2	APPEALDECISION
	Adjust
	Adjust
	Adjust
PRUETT CALVIN A	Adjust
LAMBERT INVESTMENT 2 LLC 50% UND INT	Adjust
WEHRLE VIVIAN D	Adjust
	Adjust
	Adjust
SPARKS LONNA T	Adjust
SALAZAR VIRGINIA L	Adjust
	Adjust
	Adjust
HAMILTON SANDRA	Adjust
CRANWILL PATRICIA A	Adjust
HENKEL NOLA J	Adjust
	Adjust
LO YING	Adjust
JEAN DE LONG REVOCABLE TRUST	Adjust
COMPANY	Adjust
BROWN MARILYN J	Adjust
	Adjust
FISK DIANA R	Adjust
MALDONADO LEAL ADRIAN EMMANUEL	Adjust
	Adjust
ATTN DANNY GABRIEL	Adjust
BRICK TYLYNN	Adjust
MILLER LUCILLE A	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
GADDES PAMELA	Adjust
	Adjust
PATTON ZACARY	Adjust
MOORE NORMAN L JR	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
ZAMORA RICHARD	Adjust
	Adjust
MARQUEZ JUANITA A	Adjust
	Adjust
TUNEBERG MARY FRANCES	Adjust
ATTN SCOTT OPIE TRUSTEE OF DMTST TRUST	Adjust

SMITH ANDREA LYNN	Adjust
	Adjust
	Adjust
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	Adjust
	Adjust
JOHNSON ARLA J	Adjust
PIETERS PAMELA J	Adjust
	Adjust
PARTNERSHIP	Adjust
	Adjust
	Adjust
GALLAGHER AMY J	Adjust
OGDEN SALLY A	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
SHANNON-HOLLAND EDIE R	Adjust
C/O KARA HUCKE	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
RICHARDS DAWN M	Adjust
	Adjust
	Adjust
BLACK PAULICK ALEXANDRA MARIE	Adjust
C/O PROLOGIS TAX COORDINATOR	Adjust
ATTN TAX DEPARTMENT	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
C/O GMF CAPITAL	Adjust
	Adjust
	Adjust
	Adjust
	Adjust

EASTMAN EMILY	Adjust
	Adjust
	Adjust
FEUERBORN KRISTINE L	Adjust
BAUKOL DEBORAH B	Adjust
GRAMS SUE	Adjust
WEISS DORIS	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
BARNES DARLENE A	Adjust
PAUL JENNIFER K	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
C/O ARMSTRONG CHRISTOPHER/JENNIFER W	Adjust
	Adjust
WALTERS ANTOINETTE S	Adjust
WESTMINSTER 121 LLC UND 35.71% INT	Adjust
	Adjust
EHMKA TERI ANN	Adjust
	Adjust
	Adjust
	Adjust
	Adjust
C/O THE HUTENSKY GROUP LLC	Adjust
RUSSELL PEGGY J	Adjust
HORST WENDY	Adjust
	Adjust
RAY JULIE LOUISE	Adjust
C/O SARES-REGIS MULTIFAMILY VALUE ADD FUND II LP	Adjust
SANCHEZ ANITA I	Adjust
	Adjust
	Adjust
MCCORMICK BRIAN	Adjust
	Adjust
	Adjust
	Adjust
MILLER JAIME A	Adjust
C/O DENNIS BASSFORD	Adjust
ROBSON SEAN WAYNE	Adjust
	Adjust
	Adjust

	Adjust
INGRAHAM KATIE E	Adjust
	Adjust
	Adjust
	Adjust
WREN KIMBERLY M	Adjust
TOMLINSON MARIANA ELIZABETH	Adjust
JUCEAM AMBER R	Adjust
	Adjust
DRUMMOND CHARITY J	Adjust
THOMPSON VERA A	Adjust
KEYSTONE FEDERAL LLC 20.4% INT	Adjust
	Adjust
	Adjust
	Adjust
SEXTON ROBYN ELIZABETH	Adjust
KING RUTH E	Adjust
SOWERS JUSTIN CHARLES	Adjust
SHANLEY CAROLYN A	Adjust
LINN KYLEE ANN	Adjust
	Adjust
PALMER ALLISON MARIE	Adjust
STEVES MARSHAL ALLAN	Adjust
BOZINOVSKI SUSANNA D	Adjust
REITER KELLEY ANNE	Adjust
HILL LAUREN K	Adjust
HEASLEY JOHN WILLIAM	Adjust
BRIGHT LENORE JOAN	Adjust
HILSINGER JOSHUA PAUL	Adjust
GOULD SARAH NICOLE	Adjust
OFFEN WENDI NICHOLE	Adjust
SHANLEY ANN MARIE	Adjust
MAPES NANCY CAROL	Adjust
	Adjust
HILL RENEE	Adjust
HUML LORI LEE	Adjust
WARD MICHELE LANE	Adjust
MCCUNE DANA LYNN	Adjust
HSU EMILY S	Adjust
CORRICK ANGELA M	Adjust
CHAVEZ NICOLE V	Adjust
	Adjust
VU TONY T	Adjust
SOLANIK LINDA W	Adjust
	Adjust
BURROWS BURTON K	Adjust
HALL LUCINDA L	Adjust
HAMPSON BECKY ANN	Adjust
DOERR ANDREW JOHN	Adjust

	Adjust
	Adjust
	Adjust
GARZA JENNIFER	Adjust
	Adjust
	Adjust
SHAMON-TASAYCO MARLIN	Adjust
JEANIE D MCDONALD CARLSON 2012 TRUST UND 14.945 % INT ET AL	Adjust
KALAN MEGAN	Adjust
NEWSUM JOSHUA K	Adjust
MUNOZ AMY	Adjust
LE VAN THI BICH	Adjust
BARTELL CHARLENE MARIE	Adjust
	Adjust
	Adjust
	Adjust
TAX AFFAIRS 485-12-30	Adjust
	Adjust
	Adjust
PHILLIPS KATHERINE	Adjust
	Adjust
FALLON CHARLOTTE FRANCES	Adjust
THOMPSON PAMELA DAWN	Adjust
PETTITT JEFFREY R	Adjust
BURTON SUSAN LYNN	Adjust
SCHUTZ MAUREEN C	Adjust
BEAUCHAMP JOHN	Adjust
	Adjust
JENIK VICKY LYNN	Adjust
WILMORE KAREN SUE	Adjust
ALDRICH DONNA	Adjust
COON KELLY ANN	Adjust
HULL DANIELLE M	Adjust
	Adjust
	Adjust
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	Deny
UNDER THE FRANK E TENORIO LIVING TRUST	Deny
UNDER THE KAREN K LOHMANN LIVING TRUST	Deny
UNDER THE KAREN K LOHMANN LIVING TRUST	Deny
UNDER THE KAREN K LOHMANN LIVING TRUST	Deny
THE FRANK E TENORIO LIVING TRUST	Deny
UNDER THE KAREN K LOHMANN LIVING TRUST	Deny
	Deny
	Deny

	Deny
	Deny
	Deny
	Deny
C/O GRAND PEAKS PROPERTIES	Deny
KONZ ANITA KAY	Deny
	Deny
UVECTOR VILLAGE BY THE PARK LLC 35/6347% INT	Deny
POLZIN CATHY	Deny
ADAM CHRISTI L	Deny
	Deny
	Deny
	Deny
C/O WIENER WEST GROUP INC	Deny
C/O BRIDGESTONE /FIRESTONE TAX DEPT	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
EHMKA TERI ANN	Deny
	Deny
	Deny
C/O BOSELLI OF COLO INC	Deny
TRUST 50% /TRUONG UY THI FAMILY TRUST 50%	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
COLORADO CENTER TOWER	Deny
COLORADO CENTER TOWER	Deny
	Deny
	Deny
COMMUNITIES LLC	Deny
	Deny
	Deny
	Deny
NOREEN PHILLIP T	Deny
	Deny
	Deny
	Deny
DAY DONNA JEAN	Deny
SMARTWIN TIMBER LODGE LLC AND UHON TIMBER LODGE LLC	Deny

	Deny
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	Deny
	Deny
	Deny
	Deny
C/O FLORENCE S POWERS	Deny
PARTNERSHIP	Deny
INC	Deny
	Deny
	Deny
	Deny
JACILDO DANIELLE MARIE	Deny
	Deny
FERNANDEZ LINDA C	Deny
	Deny
	Deny
C/O PETROLEUM WHLSALE /JENNIFER ARNOLD	Deny
C/O PETROLEUM WHLSALE /JENNIFER ARNOLD	Deny
	Deny
	Deny
	Deny
C/O W P CAREY AND CO LLC	Deny
C/O RESOLUTE INVESTMENTS INC	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
	Deny
COMPANY ATTN JAMES C ADAMS	Deny
C/O LBA REALTY	Deny
	Deny
	Deny
C/O LEE CUSTOM WOODWORK LLC	Deny
	Deny
	Deny
	Deny
	Deny
ATT PROPERTY ASSETT MANAGEMENT	Deny
	Deny

	Deny
	Deny
C/O FACILITIES DEPARTMENT	Deny
C/O FACILITIES DEPARTMENT	Deny
	Deny
C/O FACILITIES DEPARTMENT	Deny
C/O FACILITIES DEPARTMENT	Deny
C/O FACILITIES DEPARTMENT	Deny
PARTNERSHIP	Deny
	Deny
	Deny
	Deny
	Deny
MEDINA ROSEMARIE	Deny
MEDINA ROSEMARIE	Deny
BRATSKO CHRISTOPHER MICHAEL	Deny
	Deny
C/O HARMAN-GRAY NO.487	Deny
	Deny
OF COLORADO	Deny
LIABILITY COMPANY	Deny
	Deny
	Deny
C/O TAX DEPT	Deny
C/O TAX DEPT	Deny
C/O TAX DEPT	Deny
	Deny
	Deny
C/O TAX DEPT	Deny
C/O RINGSBY TERMINALS	Deny
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C/O FACILITIES DEPARTMENT	Deny
	Deny
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	Deny

C/O PETROLEUM WHLSALE /JENNIFER ARNOLD	Deny
	Deny
C/O IVANHOE CAMBRIDGE INC	Deny
	Deny
	Deny
C/O MICHAEL BLOOM REALTY COMPANY	Deny
	Deny
	Deny
	Deny
MORRISON HEATHER	Deny
KRAMER ALLIAN JOHN	Deny
	Deny
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C/O ENOCH HOLDINGS LLLP/JERRY BERGLUND	Deny
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C/O AW FINANCIAL SERVICES LLC	Deny
C/O AW FINANCIAL SERVICES LLC	Deny
C/O AW FINANCIAL SERVICES LLC	Deny
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	Deny
CARLSON BRENDA J	Deny
SOUR JUDY M	Deny
	Deny
	Deny
	Deny
HERNANDEZ CARMEN	Deny

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	Deny
CIROCKI FAMILY TRUST THE UND 35.6% INT	Deny
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C/O HILL SEVEN #2 LLC	Deny
	Deny
	Deny
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	Deny
ATTN TAX DEPARTMENT	Deny
PARTNERSHIP/C/O PATRICIA B MURRAY	Deny
	Deny
ATTN TAX DEPARTMENT	Deny
	Deny
	Deny
FOSTER ELLEN P	Deny
	Deny
	Deny
	Deny
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	Deny
C/O RYAN, LLC - PROPERTY TAX	Deny
C/O ENOCH HOLDINGS/JERRY BERGLUND	Deny
	Deny
C/O RAM INTERNATIONAL	Deny
C/O STANLEY A GALLERY	Deny
C/O THOMSON PROPERTY TAX SERVICES	Deny
C/O THOMSON PROPERTY TAX SERVICES	Deny
C/O THOMSON PROPERTY TAX SERVICES	Deny
	Deny
KEAVENY MARTHA	Deny
	Deny
	Deny
	Deny
	Deny
	Deny

COMPANY	Deny
	Deny
	Deny
	Deny
	Deny
C/O MARK MORRISON	Deny
	Deny
	Deny
NO.463	Deny
	Deny
	Deny
	Deny
	Deny
ASSOCIATION	Deny
	Deny
	Deny
C/O HOLDER R BRUCE/R WAYNE	Deny
	Deny
	Deny
	Deny
C/O PARADIGM TAX GROUP/ALBERTSONS	Deny
C/O PARADIGM TAX GROUP/ALBERTSONS	Deny
C/O PARADIGM TAX GROUP/ALBERTSONS	Deny
C/O PARADIGM TAX GROUP/ALBERTSONS	Deny
C/O PARADIGM TAX GROUP/ALBERTSONS	Deny
	Deny
	Deny
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LLC	Deny
	Deny
	Deny
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BURGER KING NO.457 /ATTN RYAN	Deny
	Deny
	Deny
C/O ALTUS GROUP US 0859	Deny
	Deny
C/O WESTSTAR MANAGEMENT CORPORATION	Deny
ATTN: TAX DEPT NO.163430	Deny
C/O WESTSTAR MANAGEMENT CORPORATION	Deny
	Deny
C/O WESTSTAR MANAGEMENT CORPORATION	Deny
UNDER THE KAREN K LOHMANN LIVING TRUST	Deny
	Deny
C/O GREYSTAR	Deny
C/O GREYSTAR	Deny
C/O GREYSTAR	Deny
C/O GREYSTAR	Deny

	Deny
MAUL LAWRENCE R	Deny
	Deny
	Deny
	Deny
BAHMED KARIM	Deny
	Deny
	Deny
DECLAW JESSICA MARIE	Deny
	Deny
	Deny
AUTOMOTIVE REAL ESTATE SERVICES INC	Deny
KNORR WILLIAM ROBERT	Deny
C/O EATON VANCE MANAGEMENT	Deny
C/O MILESTONE INVESTMENTS LLC	Deny
	Deny
EHMKA TERI	Deny
	Deny
CHIVERS LARRY	Deny
	Deny
	Deny
	Deny
	Deny
SUPPLY CORPORATION	Deny
COMPANY/C/O MAJESTIC REALY CO	Deny
C/O MAJESTIC REALTY CO	Deny
II LLLP	Deny
GUSTAFSON PAMELA	Deny
	Deny
	Deny
PAULSEN RICHARD A	Deny
C/O STARWOOD CAPITAL GROUP GLOBAL LP	Deny
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PARTNERSHIP	Deny
	Deny
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C/O THE HUTENSKY GROUP LLC	Deny
C/O THE HUTENSKY GROUP LLC	Deny
C/O THE HUTENSKY GROUP LLC	Deny
C/O THE HUTENSKY GROUP LLC	Deny
C/O THE HUTENSKY GROUP LLC	Deny
C/O THE HUTENSKY GROUP LLC	Deny
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C/O FACILITIES DEPARTMENT	Deny
C/O FACILITIES DEPARTMENT	Deny
	Deny
C/O CITY OF ARVADA	Deny

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INC	Deny
CORPORATION	Deny
	Deny
ATTN ALEX CHLEBEK	Deny
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	Deny
DENNERT ALIYAH C	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
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LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
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LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
LLC 30/6174%/LONG-BRIGHTON PLAZA LLC 30%	Deny
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KING NICOLE I	Deny
DOUGLAS KRISTI R	Deny
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SHIPPY BERTHA SUE	Deny
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ATTN MATT HENGEL	Deny
ATTN MATT HENGEL	Deny
ATTN MATT HENGEL	Deny
DELATTORRE GILBERT JR	Deny
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ATTN MATT HENGEL	Deny
ATTN MATT HENGEL	Deny
BROWN ACACIA	Deny
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ATTN MATT HENGEL	Deny
ATTN MATT HENGEL	Deny
SHAW ROBERT	Deny
DE LA ROCHA JERRICA	Deny
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ROSE MEGAN M	Deny
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ELMORE KENNETH LEE	Deny
ATTN MATT HENGEL	Deny
ATTN MATT HENGEL	Deny
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KASTBERG DAVID J	Deny
ATTN MATT HENGEL	Deny
LE THU THI ANH	Deny
ATTN MATT HENGEL	Deny
RASCON LUDIVINA	Deny
ATTN MATT HENGEL	Deny
TICHOTA GEORGIA DEAN	Deny
GAUTAM SHOBHA	Deny
VORAKOUMMANE GAIL KHANKEO	Deny
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ATTN MATT HENGEL	Deny

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HACKETT BETH ANN	Deny
ATTN MATT HENGEL	Deny

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C/O RYAN LLC	Deny
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GARCIA PATRICK	Deny
SOUTHERN CALIFORNIA BUILDERS	Deny
	Deny
C/O TKG MANAGEMENT	Deny
HERMAN NATALLEE C AND LAVIOLETTE ANNE K	Deny
	Deny
BREWER DOYLE M III	Deny
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SMEDLEY LORRAINE	Deny
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KELLER KIMBERLY A	Deny
PEREA KENNETH SAMUEL	Deny
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LOT 3 LLC	Deny
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ZARLENGO CORTNEY RAE	Deny
SARCONI JEANNETTE BERNICE	Deny
LE ROBIN DANIELLE	Deny
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GONZALEZ MENDOZA RICARDO	Deny
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BURNS CRYSTAL ANN	Deny
HINOJOSA VERONICA LYNN	Deny
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MARTSON BRITTANY NICOLE	Deny
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OF COLORADO INC/ATTN AARON RUBEN	Deny
	Deny
C/O VESTAR PROPERTIES INC	Deny

HASSEL LISA GALE	Deny
POSEY KAREN M	Deny
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PAPA LAURIE ANN	Deny
MOSER MARYANN MARIE CARROLL	Deny
FERNANDEZ GREGG	Deny
	Deny

BEGINNINGACCOUNTVALUE	APPEALACCOUNTENDVALUE	Difference
12,185	3,600	-8,585
51,265	42,404	-8,861
30,653	1,000	-29,653
503,345	389,225	-114,120
875,000	875,000	0
283,356	235,000	-48,356
340,274	332,050	-8,224
2,629,071	1,619,807	-1,009,264
704,029	640,000	-64,029
727,627	702,667	-24,960
432,267	324,000	-108,267
2,014,380	1,678,650	-335,730
324,302	300,000	-24,302
416,387	350,000	-66,387
758,826	688,512	-70,314
665,069	550,000	-115,069
709,735	606,408	-103,327
471,625	419,500	-52,125
6,560,000	3,500,000	-3,060,000
363,135	338,034	-25,101
309,489	297,000	-12,489
303,415	260,000	-43,415
368,842	329,280	-39,562
527,704	479,000	-48,704
26,559,998	20,703,798	-5,856,200
461,824	439,000	-22,824
400,283	375,000	-25,283
275,960	270,725	-5,235
6,735,700	5,721,649	-1,014,051
3,024,585	2,714,206	-310,379
483,246	450,000	-33,246
837,427	760,000	-77,427
360,670	121,000	-239,670
322,944	302,000	-20,944
336,694	325,000	-11,694
317,103	290,000	-27,103
334,249	308,000	-26,249
369,008	354,000	-15,008
303,533	290,000	-13,533
224,665	203,569	-21,096
223,947	185,000	-38,947
293,336	285,000	-8,336
282,705	267,000	-15,705
338,033	310,000	-28,033
322,941	296,000	-26,941
945,000	945,000	0
307,000	289,000	-18,000
363,258	330,000	-33,258

314,625	278,000	-36,625
310,697	289,000	-21,697
511,725	445,000	-66,725
326,504	298,000	-28,504
325,152	298,000	-27,152
315,494	285,000	-30,494
322,170	275,000	-47,170
326,257	298,000	-28,257
82,770	62,147	-20,623
637,767	606,000	-31,767
331,339	310,000	-21,339
878,585	500,000	-378,585
1,100,000	975,825	-124,175
655,264	400,000	-255,264
1,063,166	909,395	-153,771
1,817,789	1,750,000	-67,789
1,033,291	749,000	-284,291
476,246	356,501	-119,745
451,090	396,000	-55,090
358,864	299,000	-59,864
322,395	310,000	-12,395
398,928	375,000	-23,928
430,000	259,470	-170,530
568,481	440,000	-128,481
337,450	320,000	-17,450
1,526,757	1,450,000	-76,757
327,720	315,000	-12,720
1,068,610	968,000	-100,610
336,944	280,000	-56,944
239,093	150,000	-89,093
368,717	340,000	-28,717
2,952,751	1,935,000	-1,017,751
592,104	550,000	-42,104
586,699	500,000	-86,699
661,780	330,000	-331,780
347,935	290,789	-57,146
6,675,000	5,100,000	-1,575,000
7,314,000	6,600,000	-714,000
373,131	300,000	-73,131
386,202	200,000	-186,202
169,500	113,000	-56,500
438,641	390,000	-48,641
348,631	300,000	-48,631
403,922	360,000	-43,922
27,657,350	25,000,000	-2,657,350
607,451	512,500	-94,951
632,342	600,000	-32,342
598,023	575,000	-23,023
4,313,396	2,955,000	-1,358,396

325,495	302,500	-22,995
10,192,126	9,000,000	-1,192,126
8,098,869	7,300,000	-798,869
509,558	467,883	-41,675
761,144	695,000	-66,144
735,128	670,000	-65,128
861,418	830,000	-31,418
1,563,653	1,169,640	-394,013
1,563,653	1,169,640	-394,013
650,000	635,000	-15,000
649,874	608,256	-41,618
727,409	661,150	-66,259
717,526	657,438	-60,088
2,922,129	2,761,001	-161,128
237,487	225,000	-12,487
226,540	219,216	-7,324
650,390	605,000	-45,390
3,013,100	2,500,000	-513,100
379,709	350,000	-29,709
429,125	411,375	-17,750
100,607,999	92,160,000	-8,447,999
801,386	757,462	-43,924
407,563	385,000	-22,563
394,833	380,000	-14,833
17,778,300	17,000,000	-778,300
4,670,000	4,500,000	-170,000
885,465	820,512	-64,953
876,000	798,000	-78,000
115,539,998	105,512,000	-10,027,998
1,193,090	1,100,000	-93,090
646,259	550,000	-96,259
46,479,334	43,018,997	-3,460,337
454,141	430,800	-23,341
430,674	415,700	-14,974
418,461	410,200	-8,261
900,581	810,000	-90,581
94,496,790	84,480,000	-10,016,790
666,049	626,000	-40,049
718,704	659,000	-59,704
368,220	350,000	-18,220
999,279	845,680	-153,599
386,512	360,500	-26,012
407,987	360,000	-47,987
28,829,000	22,200,000	-6,629,000
514,554	490,688	-23,866
948,967	830,000	-118,967
494,933	460,000	-34,933
439,498	412,000	-27,498
460,500	287,000	-173,500

372,239	290,000	-82,239
591,449	559,947	-31,502
593,005	580,000	-13,005
402,281	368,000	-34,281
926,068	792,000	-134,068
763,379	730,000	-33,379
465,876	457,000	-8,876
493,696	455,000	-38,696
457,725	430,000	-27,725
500,500	478,000	-22,500
3,710,001	3,500,000	-210,001
82,323,042	45,299,530	-37,023,512
37,295,512	23,500,000	-13,795,512
3,000,000	2,400,000	-600,000
2,028,000	505,000	-1,523,000
529,316	479,700	-49,616
582,530	517,300	-65,230
568,561	520,900	-47,661
585,186	508,800	-76,386
626,699	575,000	-51,699
583,604	518,300	-65,304
607,630	545,000	-62,630
649,764	585,000	-64,764
616,664	522,300	-94,364
611,060	534,900	-76,160
566,189	525,000	-41,189
600,541	500,000	-100,541
614,940	520,300	-94,640
620,269	571,590	-48,679
607,085	540,000	-67,085
558,208	492,000	-66,208
617,170	509,200	-107,970
520,231	469,900	-50,331
522,076	467,400	-54,676
565,233	479,900	-85,333
607,897	549,900	-57,997
607,912	530,800	-77,112
608,174	526,500	-81,674
517,660	465,900	-51,760
529,443	459,900	-69,543
526,969	490,000	-36,969
595,281	555,000	-40,281
568,802	461,700	-107,102
512,358	465,018	-47,340
511,895	462,200	-49,695
552,949	492,480	-60,469
475,000	437,500	-37,500
572,669	506,570	-66,099
564,345	517,100	-47,245

435,354	409,900	-25,454
639,239	600,000	-39,239
295,652	173,323	-122,329
428,014	400,000	-28,014
20,000,000	15,750,000	-4,250,000
600,347	583,300	-17,047
615,143	575,800	-39,343
6,254,001	6,254,000	-1
576,373	568,200	-8,173
508,000	496,000	-12,000
1,004,504	545,817	-458,687
496,456	465,000	-31,456
496,272	495,800	-472
391,638	370,000	-21,638
390,643	354,000	-36,643
647,122	346	-646,776
5,482,974	5,300,000	-182,974
21,425,000	18,517,000	-2,908,000
412,432	362,500	-49,932
541,967	535,200	-6,767
12,755,600	11,190,000	-1,565,600
648,327	565,075	-83,252
579,559	539,500	-40,059
608,210	542,300	-65,910
615,883	569,300	-46,583
564,414	533,600	-30,814
681,729	560,500	-121,229
616,164	551,300	-64,864
614,262	579,000	-35,262
614,262	582,700	-31,562
605,490	569,160	-36,330
159,080	79,200	-79,880
460,982	447,000	-13,982
8,500,000	6,100,000	-2,400,000
430,935	290,000	-140,935
248,347	386,066	137,719
248,347	7,166	-241,181
4,453,595	4,100,000	-353,595
843,331,648	704,337,937	-138,993,711
29,013	29,013	0
62,789	62,789	0
1,014,000	1,014,000	0
1,014,000	1,014,000	0
63,597	63,597	0
63,597	63,597	0
63,597	63,597	0
1,979,586	1,979,586	0
155,520	155,520	0

2,137,149	2,137,149	0
168,656	168,656	0
169,405	169,405	0
597,143	597,143	0
854,640	854,640	0
357,200	357,200	0
272,454	272,454	0
1,328,486	1,328,486	0
669,900	669,900	0
400,860	400,860	0
8,320,770	8,320,770	0
263,598	263,598	0
1,691,029	1,691,029	0
459,499	459,499	0
130,000	130,000	0
2,613,600	2,613,600	0
102,351	102,351	0
375,494	375,494	0
7,011,086	7,011,086	0
232,221	232,221	0
640,166	640,166	0
169,000	169,000	0
955,060	955,060	0
257,000	257,000	0
813,900	813,900	0
4,914,000	4,914,000	0
3,490,460	3,490,460	0
381,714	381,714	0
1,147,260	1,147,260	0
1,434,075	1,434,075	0
985,286	985,286	0
5,505,867	5,505,867	0
3,706,736	3,706,736	0
2,789,988	2,789,988	0
43,502	43,502	0
57,568	57,568	0
7,512,000	7,512,000	0
989,321	989,321	0
60,858,959	60,858,959	0
1,069,785	1,069,785	0
393,377	393,377	0
2,762,101	2,762,101	0
310,136	310,136	0
343,309	343,309	0
689,000	689,000	0
1,018,587	1,018,587	0
661,446	661,446	0
26,106,713	26,106,713	0
13,400,000	13,400,000	0

6,411,600	6,411,600	0
411,000	411,000	0
27,758,986	27,758,986	0
25,838,829	25,838,829	0
45,651,999	45,651,999	0
360,755	360,755	0
8,144,320	8,144,320	0
31,115,731	31,115,731	0
374,872	374,872	0
344,376	344,376	0
2,515,723	2,515,723	0
2,515,722	2,515,722	0
2,515,000	2,515,000	0
15,162,000	15,162,000	0
812,645	812,645	0
1,696,841	1,696,841	0
330,917	330,917	0
2,337,682	2,337,682	0
488,480	488,480	0
326,942	326,942	0
50,500,000	50,500,000	0
364,874	364,874	0
1,478,420	1,478,420	0
299,093	299,093	0
2,056,540	2,056,540	0
1,374,531	1,374,531	0
1,108,164	1,108,164	0
400,198	400,198	0
663,180	663,180	0
1,331,011	1,331,011	0
897,859	897,859	0
275,996	275,996	0
1,517,730	1,517,730	0
1,267,200	1,267,200	0
367,410	367,410	0
1,304,793	1,304,793	0
1,795,207	1,795,207	0
1,434,074	1,434,074	0
1,393,500	1,393,500	0
38,605,825	38,605,825	0
2,296,515	2,296,515	0
593,074	593,074	0
1,429,811	1,429,811	0
282,723	282,723	0
1,092,465	1,092,465	0
1,775,000	1,775,000	0
3,686,403	3,686,403	0
311,162	311,162	0
19,475,006	19,475,006	0

16,715,008	16,715,008	0
229,998	229,998	0
18,200,000	18,200,000	0
445,947	445,947	0
575,000	575,000	0
24,314,252	24,314,252	0
2,494,800	2,494,800	0
802,196	802,196	0
1,006,849	1,006,849	0
1,462,456	1,462,456	0
151,939	151,939	0
6,800,000	6,800,000	0
495,820	495,820	0
769,371	769,371	0
37,286,543	37,286,543	0
1,541,993	1,541,993	0
32,102,882	32,102,882	0
62,123	62,123	0
844,200	844,200	0
321,816	321,816	0
1,157,672	1,157,672	0
3,964,585	3,964,585	0
343,179	343,179	0
7,914,000	7,914,000	0
3,516,001	3,516,001	0
1,607,040	1,607,040	0
74,134,116	74,134,116	0
16,807,218	16,807,218	0
16,613,779	16,613,779	0
16,615,048	16,615,048	0
298,603	298,603	0
288,874	288,874	0
333,990	333,990	0
18,486,999	18,486,999	0
2,529,613	2,529,613	0
7,970,387	7,970,387	0
5,801,714	5,801,714	0
6,948,130	6,948,130	0
452,589	452,589	0
7,514,000	7,514,000	0
1,104,081	1,104,081	0
2,311,623	2,311,623	0
1,371,705	1,371,705	0
2,049,631	2,049,631	0
2,164,930	2,164,930	0
5,903,841	5,903,841	0
4,700,000	4,700,000	0
3,726,979	3,726,979	0
7,939,476	7,939,476	0

1,077,630	1,077,630	0
1,232,000	1,232,000	0
1,039,704	1,039,704	0
2,663,890	2,663,890	0
1,885,714	1,885,714	0
1,819,211	1,819,211	0
2,741,627	2,741,627	0
1,276,000	1,276,000	0
4,307,000	4,307,000	0
2,769,435	2,769,435	0
3,626,360	3,626,360	0
5,027,838	5,027,838	0
40,605	40,605	0
2,115,976	2,115,976	0
2,521,200	2,521,200	0
101,822	101,822	0
700,719	700,719	0
1,320,000	1,320,000	0
276,949	276,949	0
739,201	739,201	0
222,880	222,880	0
2,666,902	2,666,902	0
972,253	972,253	0
1,387,116	1,387,116	0
949,075	949,075	0
8,204,000	8,204,000	0
8,204,000	8,204,000	0
4,208,671	4,208,671	0
9,125,926	9,125,926	0
3,818,483	3,818,483	0
3,562,379	3,562,379	0
11,965,012	11,965,012	0
2,283,463	2,283,463	0
1,076,799	1,076,799	0
554,054	554,054	0
561,636	561,636	0
8,200,000	8,200,000	0
8,955,000	8,955,000	0
6,256,161	6,256,161	0
11,636,000	11,636,000	0
2,152,139	2,152,139	0
243,172	243,172	0
528,000	528,000	0
708,473	708,473	0
260,000	260,000	0
6,650,000	6,650,000	0
1,982,664	1,982,664	0
250,467	250,467	0
1,116,343	1,116,343	0

649,896	649,896	0
923,882	923,882	0
577,420	577,420	0
542,428	542,428	0
1,251,556	1,251,556	0
388,773	388,773	0
740,520	740,520	0
12,887,776	12,887,776	0
47,334,759	47,334,759	0
4,187,913	4,187,913	0
3,073,840	3,073,840	0
1,110,780	1,110,780	0
902,431	902,431	0
269,772	269,772	0
269,567	269,567	0
281,164	281,164	0
2,042,070	2,042,070	0
906,046	906,046	0
1,940,970	1,940,970	0
1,100,637	1,100,637	0
1,405,919	1,405,919	0
1,783,659	1,783,659	0
2,875,000	2,875,000	0
796,600	796,600	0
385,700	385,700	0
229,172	229,172	0
1,866,800	1,866,800	0
1,468,000	1,468,000	0
2,228,160	2,228,160	0
575,899	575,899	0
1,650,000	1,650,000	0
1,097,000	1,097,000	0
79,800	79,800	0
5,184,001	5,184,001	0
205,000	205,000	0
1,571,328	1,571,328	0
936,268	936,268	0
1,270,821	1,270,821	0
293,481	293,481	0
2,362,572	2,362,572	0
3,682,436	3,682,436	0
1,941,310	1,941,310	0
4,239,175	4,239,175	0
1,101,322	1,101,322	0
889,960	889,960	0
1,554,000	1,554,000	0
735,680	735,680	0
650,000	650,000	0
1,969,660	1,969,660	0

948,050	948,050	0
12,580,606	12,580,606	0
4,646,844	4,646,844	0
314,000	314,000	0
2,194,133	2,194,133	0
2,410,027	2,410,027	0
320,538	320,538	0
494,164	494,164	0
319,500	319,500	0
334,390	334,390	0
316,999	316,999	0
2,421,720	2,421,720	0
672,001	672,001	0
237,380	237,380	0
292,597	292,597	0
1,440,000	1,440,000	0
3,325,000	3,325,000	0
329,412	329,412	0
328,638	328,638	0
333,258	333,258	0
12,502,000	12,502,000	0
831,966	831,966	0
1,375,489	1,375,489	0
2,409,943	2,409,943	0
1,217,477	1,217,477	0
1,466,667	1,466,667	0
1,303,052	1,303,052	0
186,641	186,641	0
2,868,644	2,868,644	0
1,165,185	1,165,185	0
2,295,157	2,295,157	0
206,553	206,553	0
1,141,668	1,141,668	0
1,689,851	1,689,851	0
2,742,970	2,742,970	0
5,905,241	5,905,241	0
2,168,571	2,168,571	0
3,038,934	3,038,934	0
1,164,885	1,164,885	0
1,225,062	1,225,062	0
1,511,000	1,511,000	0
9,926,000	9,926,000	0
1,114,823	1,114,823	0
337,554	337,554	0
329,999	329,999	0
243,016	243,016	0
422,628	422,628	0
395,000	395,000	0
408,028	408,028	0

803,081	803,081	0
1,274,437	1,274,437	0
2,189,410	2,189,410	0
699,000	699,000	0
1,015,403	1,015,403	0
2,365,450	2,365,450	0
2,200,000	2,200,000	0
2,875,807	2,875,807	0
2,541,753	2,541,753	0
2,090,001	2,090,001	0
2,860,123	2,860,123	0
1,145,825	1,145,825	0
1,833,333	1,833,333	0
1,360,600	1,360,600	0
3,575,777	3,575,777	0
938,667	938,667	0
1,279,640	1,279,640	0
445,700	445,700	0
55,539	55,539	0
75,903	75,903	0
8,320,563	8,320,563	0
2,420,000	2,420,000	0
952,173	952,173	0
8,152,788	8,152,788	0
1,856,000	1,856,000	0
143,712	143,712	0
4,316,400	4,316,400	0
377,454	377,454	0
342,703	342,703	0
60,984	60,984	0
557,108	557,108	0
7,282,680	7,282,680	0
1,376,711	1,376,711	0
2,361,008	2,361,008	0
10,589,001	10,589,001	0
2,231,941	2,231,941	0
629,000	629,000	0
2,419,232	2,419,232	0
13,815,000	13,815,000	0
2,763,705	2,763,705	0
1,152,739	1,152,739	0
1,121,679	1,121,679	0
899,000	899,000	0
345,000	345,000	0
1,864,297	1,864,297	0
3,965,944	3,965,944	0
2,606,838	2,606,838	0
4,397,876	4,397,876	0
374,398	374,398	0

11,940,589	11,940,589	0
42,470,400	42,470,400	0
42,784,677	42,784,677	0
5,482,445	5,482,445	0
532,109	532,109	0
2,122,951	2,122,951	0
1,749,600	1,749,600	0
1,230,429	1,230,429	0
810,316	810,316	0
4,053,632	4,053,632	0
575,652	575,652	0
292,725	292,725	0
1,518,867	1,518,867	0
1,953,457	1,953,457	0
2,388,571	2,388,571	0
1,205,229	1,205,229	0
1,378,950	1,378,950	0
3,520,993	3,520,993	0
3,093,799	3,093,799	0
729,143	729,143	0
2,300,000	2,300,000	0
990,616	990,616	0
4,058,109	4,058,109	0
4,683,615	4,683,615	0
500	500	0
1,760,000	1,760,000	0
1,679,662	1,679,662	0
813,078	813,078	0
4,065,000	4,065,000	0
5,373,583	5,373,583	0
1,666,003	1,666,003	0
295,091	295,091	0
2,194,169	2,194,169	0
712,400	712,400	0
4,003,400	4,003,400	0
28,358	28,358	0
14,600,000	14,600,000	0
4,965,751	4,965,751	0
3,249,948	3,249,948	0
1,310,848	1,310,848	0
681,109	681,109	0
1,678,650	1,678,650	0
2,299,229	2,299,229	0
2,210,000	2,210,000	0
1,875,000	1,875,000	0
78,790,090	78,790,090	0
42,425,879	42,425,879	0
172,980	172,980	0
50,378	50,378	0

608,999	608,999	0
725,190	725,190	0
2,139,691	2,139,691	0
1,532,902	1,532,902	0
1,058,123	1,058,123	0
325,483	325,483	0
324,878	324,878	0
21,353,470	21,353,470	0
310,681	310,681	0
1,243,840	1,243,840	0
2,025,210	2,025,210	0
5,191,977	5,191,977	0
788,301	788,301	0
38,309,917	38,309,917	0
58,012,500	58,012,500	0
7,278,000	7,278,000	0
436,878	436,878	0
75,000,000	75,000,000	0
460,000	460,000	0
8,036,191	8,036,191	0
1,198,561	1,198,561	0
1,904,533	1,904,533	0
358,441	358,441	0
6,257,200	6,257,200	0
11,948,470	11,948,470	0
15,334,000	15,334,000	0
451,064	451,064	0
467,652	467,652	0
381,177	381,177	0
1,470,578	1,470,578	0
360,000	360,000	0
66,357,760	66,357,760	0
1,643,951	1,643,951	0
1,473,726	1,473,726	0
4,486,000	4,486,000	0
19,876,326	19,876,326	0
3,718,414	3,718,414	0
5,941,956	5,941,956	0
1,199,641	1,199,641	0
1,391,501	1,391,501	0
527,877	527,877	0
802,900	802,900	0
365,500	365,500	0
672,345	672,345	0
3,008,419	3,008,419	0
1,034,550	1,034,550	0
1,633,736	1,633,736	0
1,092,517	1,092,517	0
4,391,500	4,391,500	0

83,405	83,405	0
83,405	83,405	0
11,265,000	11,265,000	0
2,206,371	2,206,371	0
3,184,974	3,184,974	0
1,548,486	1,548,486	0
1,444,960	1,444,960	0
1,271,123	1,271,123	0
1,263,855	1,263,855	0
3,570,000	3,570,000	0
1,875,000	1,875,000	0
2,604,430	2,604,430	0
988,026	988,026	0
5,202,459	5,202,459	0
351,731	351,731	0
421,668	421,668	0
2,080,771	2,080,771	0
1,842,776	1,842,776	0
278,807	278,807	0
61,605	61,605	0
61,605	61,605	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
59,932	59,932	0
61,605	61,605	0
61,605	61,605	0
175,000	175,000	0
523,519	523,519	0
527,741	527,741	0
450,202	450,202	0
452,917	452,917	0
1,422,081	1,422,081	0
1,901,400	1,901,400	0
1,427,601	1,427,601	0
679,906	679,906	0
325,469	325,469	0
627,749	627,749	0
5,092,000	5,092,000	0
361,519	361,519	0
1,866,340	1,866,340	0

75,849	75,849	0
75,849	75,849	0
75,849	75,849	0
75,849	75,849	0
75,849	75,849	0
1,565,000	1,565,000	0
1,024,962	1,024,962	0
1,033,409	1,033,409	0
744,179	744,179	0
2,739,521	2,739,521	0
3,620,910	3,620,910	0
2,748,429	2,748,429	0
811,675	811,675	0
1,549,754	1,549,754	0
2,760,438	2,760,438	0
1,199,036	1,199,036	0
7,300,000	7,300,000	0
2,087,096	2,087,096	0
1,861,430	1,861,430	0
681,319	681,319	0
1,191,394	1,191,394	0
3,267,088	3,267,088	0
16,394,400	16,394,400	0
41,624,322	41,624,322	0
1,181,132	1,181,132	0
8,299	8,299	0
106,578,000	106,578,000	0
1,130,000	1,130,000	0
1,622,390	1,622,390	0
1,750,000	1,750,000	0
3,386,986	3,386,986	0
2,877,751	2,877,751	0
61,092,480	61,092,480	0
56,754,567	56,754,567	0
2,173,121	2,173,121	0
4,419,360	4,419,360	0
1,463,597	1,463,597	0
5,917,200	5,917,200	0
3,807,894	3,807,894	0
1,837,498	1,837,498	0
2,167,770	2,167,770	0
5,181,038	5,181,038	0
1,835,100	1,835,100	0
1,094,576	1,094,576	0
34,655,813	34,655,813	0
1,664,892	1,664,892	0
1,981,400	1,981,400	0
1,528,335	1,528,335	0
509,931	509,931	0

29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
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29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
59,869	59,869	0
29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
29,935	29,935	0
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ACCOUNTNO	NAME1
P0000002	MAGNOLIA COIN LAUNDRY LLC
P0000015	HIGHLAND LEGENDS
P0000099	AUTO-CHLOR SYSTEM OF DENVER
P0000122	GONZALES JOSE DEL C
P0000123	BEL-AIR PLUMBING & HEATING
P0000131	BERTAGNOLLI EDWARD J DDS
P0000164	BRIGHTON AUTO BODY INC
P0000186	AERIAL EQUIPMENT SPECIALISTS INC
P0000192	CAMPS ROCKY MOUNTAIN CUT STONE
P0000225	CLIFFS AUTOMATIC TRANSMISSION SERVICE CO
P0000226	COACHLIGHT APARTMENTS
P0000233	COBITCO INC
P0000236	COLOROSO PROPERTIES LP
P0000246	ALL PRO AUTOMOTIVE
P0000274	MON CHALET
P0000281	CRESTLINE MOTOR HOTEL
P0000307	DENVER CASCADE MOBILE COMMUNITY
P0000319	DENVER COMMERCIAL BUILDERS
P0000336	KING SOOPERS INC NO.62000092
P0000337	KING SOOPERS INC NO.62000068
P0000366	EIGHTIETH AVENUE LIQUORS
P0000417	GARDENS ON PARIS LLC
P0000419	PEAK PRIMARY CARE PLLC
P0000476	GORDON SIGN COMPANY
P0000488	GORDON SIGN COMPANY
P0000508	GONZALES JOSE DEL C
P0000544	RIVERDALE DENTAL CARE
P0000549	WILLIAM D HILLEN - A CORP
P0000565	COLOROSO ALAN H
P0000582	MOUSA LIQUOR
P0000597	JIMS BURGER HAVEN
P0000608	JORDINELLIS SPORTS BAR
P0000612	HERMOSA VETERINARY CLINIC PC
P0000625	KEY TRUCK AND DIESEL REPAIR
P0000689	MACDONALD EQUIPMENT CO
P0000759	GONZALES JOSE DEL C
P0000769	DECK SUPERSTORE THE
P0000823	SUPER SUDS LAUNDROMAT
P0000836	PUBLISHING HOUSE THE
P0000880	SNIEGOWSKI TOM DDS
P0000881	PENN MOTEL LLC
P0000918	GONZALES JOSE DEL C
P0000920	POWER EQUIPMENT COMPANY
P0000949	RHINEHART OIL CO INC
P0001002	PRAIRIE WINE AND SPIRITS
P0001022	GONZALES JOSE DEL C
P0001036	GONZALES JOSE DEL C
P0001059	STANS ALIGNMENT AND BRAKE SERVICE

P0001066	INTSEL STEEL WEST
P0001104	Y MART
P0001159	VALLI HI MOTOR HOTEL
P0001229	WINDOM PEAK APARTMENTS
P0001294	SUN ENTERPRISES INC-SUN HONDA HARLEY DAVIDSON
P0001305	HEARTLAND DENTAL LLC
P0001337	TIMBER LODGE APARTMENTS
P0001345	SHADOW TREE APARTMENTS
P0001352	EL JARDIN RESTAURANT INC
P0001356	TOWN SQUARE APARTMENTS
P0001369	WELLS CONCRETE
P0001461	ACME TREE SERVICE INC
P0001464	ADAMS LAUNDRY
P0001469	SPEEDY FOODS LLC
P0001491	WHEEL HOUSE APARTMENTS
P0001496	RIVIERA APARTMENTS
P0001542	FITZSIMONS JUNCTION APARTMENTS
P0001544	U S A FOOD AND GAS
P0001560	COLOROSO ALAN H
P0001561	COLOROSO ALAN H
P0001571	COLOROSO ALAN H
P0001605	J J WINE AND SPIRITS
P0001617	MOUNTAIN VIEW FITZSIMONS LLC
P0001625	ACE EQUIPMENT AND SUPPLY CO
P0001645	LARRY H MILLER NISSAN
P0001655	ROCKY MOUNTAIN SIRE SERVICES INC
P0001661	DENVER COMFORT INN
P0001662	RANCH COUNTRY CLUB THE
P0001684	REX IRON AND MACHINE LLC
P0001744	ABCO CONTRACTING INC
P0001757	TACO BELL #33838
P0001781	DERBY BICYCLE SHOP
P0001787	FRISCO PALLET
P0001800	U S TRANSPORT
P0001810	MEADOWS AT TOWN CENTER THE
P0001866	NAVAJO EXPRESS INC
P0001970	EMPIRE TRUCK EQUIPMENT CO INC
P0002064	LOS ARCOS MEXICAN RESTAURANT INC
P0002115	DOLLAR SAVER DISCOUNT LIQUORS
P0002215	BRADBURN LIQUOR
P0002236	SPIRIT WORLD LIQUORS
P0002273	NAVAJO MANUFACTURING CO
P0002288	COLOROSO ALAN H
P0002293	KL LAUNDRY LLC
P0002362	ADVANCED DERMATOLOGY AND
P0002440	LARRYS AUTOMOTIVE
P0002530	MONTVIEW HEIGHTS APARTMENTS
P0002547	GUILDNER PIPE LINE MAINTENCE INC
P0002689	K P HOUSING LP

P0002692	OVERHEAD DOOR COMPANY OF DENVER INC
P0002748	R B MATHESON TRUCKING INC
P0002798	STEPHANIES COFFEE SHOP
P0002832	BENESYS INC
P0002887	METRO FOUNDATION SUPPLY INC
P0002973	MAMA ALVINOS PIZZERIA
P0003009	ADVANCED WELDING
P0003044	CONIFER LANDING APARTMENTS
P0003050	BLAKE BROTHERS WEST INC
P0003098	QUINN RICHARD H DC
P0003105	VENTURE INN
P0003181	AAMCO TRANSMISSIONS
P0003189	CLEASBY
P0003191	PATIO THE
P0003192	DENNYS OF THORNTON
P0003193	MOUNTAIN RANGE DENTISTRY PC
P0003224	VERNON PARK APARTMENTS
P0003225	VERNON PARK APARTMENTS II
P0003248	SKYLINE APARTMENTS
P0003254	ROADWAY INN
P0003339	H RICHEY INC
P0003360	COMPLETE AUTO BODY AND PAINT INC
P0003363	BEST PLAZA CLEANERS
P0003371	HONEST-1 AUTO CARE
P0003376	H 2 O POWER EQUIPMENT
P0003486	BASKIN-ROBBINS ICE CREAM NO.3245
P0003539	STRASBURG STORE INC
P0003589	C/O ELECTRICAL RELIABILITY SERVICES INC
P0003692	COLORADO TIRE AND SERVICE
P0003694	KING SOOPERS INC NO.62000062
P0003729	NEXUS CORPORATION
P0003732	DAYLIGHT CAFE
P0003733	WESTERN AUTO RECYCLING INC
P0003753	HAMILTON RENTAL SERVICES
P0003757	CENTURA HEALTH PHYSICIAN GROUP
P0003896	SHERIDAN ACE HARDWARE
P0003928	ANHEUSER BUSCH LLC
P0003940	TEDZ PLACE
P0003977	GARZA CONCRETE STUCTURES INC
P0004021	SV HOUSING LP
P0004026	PEAK N PRAIRIE LANDSCAPE
P0004103	ACCURATE AUTOMOTIVE
P0004114	ALL PACKAGING COMPANY
P0004128	BURROUGHS SERVICE COMPANY
P0004136	BLACKJACK PIZZA
P0004140	ROLLER AND ASSOCIATES INC
P0004156	COLORADO SOUND RECORDING INC
P0004157	ALLEGRA MARKETING PRINT MAIL
P0004166	WARRIORS TOUCH

P0004178	J'S AUTO SERVICE LLC
P0004347	MARK VII EQUIPMENT INC
P0004350	SAKATA FARMS INC
P0004396	CRYSTAL PACKAGING
P0004411	ALL ROUND AUTO CARE
P0004527	EVRAZ GENERAL SCRAP INC
P0004551	DOTTIES DAY CARE AND PRESCHOOL INC
P0004575	HADLEY APARTMENT HOMES
P0004600	4 AXIS MACHINING
P0004703	INGLENOOK SENIOR VENTURES LP
P0004734	MILE HIGH FLEA MARKET LLC
P0004823	SAXX CUSTOM CUTTING
P0004868	FRESH START DENTISTRY
P0004903	PETERSON CONCRETE INC
P0004904	GREASE MONKEY
P0004948	ENVIRONS II
P0005011	TEC CARWASH
P0005029	ATLAS CPA & ADVISORS
P0005035	ROADRUNNER WELDING AND REPAIR
P0005037	ROCKY MOUNTAIN PRESTAIN INC
P0005072	LA CASA DEL REY
P0005077	DIVINE COACHES
P0005157	ZARCO EQUIPMENT INC
P0005167	SPOT WASH ON PEARL
P0005179	LODA ENTERPRISES
P0005180	NORTH WESTERN ELECTRICAL CORP
P0005261	GRATUS WASH LLC
P0005293	LILS EMBROIDERY AND SILKSCREENING
P0005356	C T POWER INC
P0005362	VEXOR CUSTOM WOODWORKING TOOLS INC
P0005380	ACPI WOOD PRODUCTS LLC
P0005381	BUTCHER BLOCK CAFE
P0005413	RACHEL PACKER DDS
P0005643	ENVIRONMENTAL DESIGN INC
P0005692	MY CAR WASH
P0005921	VIBRA HEALTHCARE
P0005993	POWER SCREENING
P0006078	US AIR CONDITIONING & HEATING INC
P0006089	ATLAS METAL AND IRON CORP
P0006179	TACO BELL #33856
P0006182	KEYSTONE APARTMENTS
P0006276	COLORADO LIGHTING INC
P0006303	LAREDO AT 17TH PLACE
P0006431	I PRO INC
P0006459	MENDOZA USED BRICK INC
P0006541	GREASE MONKEY INTERNATIONAL INC #981
P0006564	NORTHVIEW DENTAL
P0006601	BALCO LANDSCAPING INC
P0006609	BENSON'S ROLL OFF

P0006729	PLATEK INSURANCE AGENCY INC
P0006782	KRAYDEN INC
P0006789	LAGUNAS MEXICAN RESTAURANT
P0006833	DISCOUNT CABINETS AND APPLIANCE
P0007129	JALISCO INTERNATIONAL INC
P0007226	SANDERS NELSON C DDS
P0007247	SUNSHINE PAPER COMPANY
P0007377	70TH AND WASHINGTON SELF STORAGE
P0007525	TURNING POINT HEALTH & WELLNESS
P0007712	SHELL STATION
P0007753	AUTO-CHLOR SYSTEM OF DENVER
P0007851	ROMANTIX
P0007861	ART WORKS SERIGRAPHY INC
P0007881	EL TACO LOCO
P0007899	POPEYES FRIED CHICKEN POP-406
P0007928	FIVE STAR CHEMICAL AND SUPPLY INC
P0007942	I E C
P0007952	KUCHAR ELECTRIC CO
P0007960	MEINEKE LLC #267
P0007989	PETERSON FLUID SYSTEMS INC
P0008115	RANDALL J PAULSEN AND ASSOCIATES
P0008197	AUTOMOTIVE TECH CENTER
P0008244	CHIROPRACTIC WORKS NORTH PC
P0008278	ONOFREY AND HIRSCHFELD PC
P0008303	KARAS COLLISION REPAIR INC
P0008443	UGLY DOG SPORTS CAFE LLC
P0008543	AGGREGATE INDUSTRIES INC - WCR INC
P0008702	HIDDEN LAKE LAUNDROMAT
P0008746	OVATION PLUMBING INC
P0008873	ROCKYS AUTO INC
P0008890	NEW GENERATION DAY CARE A
P0008904	CROSS COUNTRY INFRASTRUCTURE SERVICES INC
P0008915	COLORADO SIGN SYSTEMS
P0009040	PINECONE VILLAGE APARTMENTS
P0009124	J F OPTIONS INC
P0009375	SUNRISE LAUNDRY
P0009616	SUPER 8 MOTEL - DENVER N E
P0009660	MAI MECHANICAL LLC
P0009705	PAISANO SAUSAGE CO
P0009707	PAT-CIN ENTERPRISES INC
P0009729	R A C TRANSPORT CO INC
P0009748	SANTIAGOS MEXICAN RESTAURANT
P0009824	APPLIED SOFTWARE TECHNOLOGY
P0009834	GLENN PARK VILLAGE APARTMENTS
P0009933	AUTOMOTIVE SPECIALIST INC
P0009946	INVISIBLE STRUCTURES INC
P0009987	SITWISE CORPORATION
P0009995	COMMERCIAL RESINS COMPANY INC
P0010000	HB MANAGEMENT GROUP INC

P0010014	E AND G TERMINAL CORP
P0010059	70TH AND WASHINGTON SELF STORAGE-ANNEX
P0010154	GREASE MONKEY NO.599
P0010176	ALL AMERICAN GAS - SINCLAIR
P0010625	ACE HARDWARE OF THORNTON
P0010634	OLD CHICAGO NO.9
P0010644	PRECISION GAGE INC
P0010681	TACO BELL #33836
P0010878	SUE JAMES DDS PC
P0010883	MAACO AUTO PAINTING AND BODY WORKS
P0010917	R T S LANDSCAPING
P0011088	GREASE MONKEY NO.560
P0011136	ANDYS AUTOMOTIVE LLC
P0011141	LOWELL MINI STORAGE
P0011146	RHINEHART OIL CO INC
P0011217	SCULLY SPORTS WEAR
P0011401	BELLIO TRUCKING COMPANY
P0011595	WASHINGTON PLAZA ASSOCIATES
P0011776	TRENCH PLATE RENTAL CO
P0011836	RALPH MARTINEZ TRUCKING INC
P0011921	SHELL STATION
P0011972	TOOL ZONE
P0011979	INTERLINK SUPPLY
P0012198	DEALERS AUTO AUCTION OF THE ROCKIES
P0012229	WEST DIRECT OIL
P0012247	NOW HEATING AND AIR INC
P0012273	OUTBACK STEAKHOUSE #0615
P0012978	ENVIROTEST SYSTEMS CORP
P0013122	COLORADO ALLSTATE TRANSPORT INC
P0013133	REDLION
P0013140	CORVETTE CONNECTION AND PERFORMANCE INC
P0013153	DENVER DESIGN EMBROIDERY INC
P0013265	NORTHGLENN DISCOUNT LIQUOR
P0013292	POPEYES FRIED CHICKEN POP-411
P0013454	SCALES N TAILS
P0013523	IFCO SYSTEMS N A - PALLET COMPANIES LLC
P0013565	PACIFIC RAIL SERVICES
P0014247	BANKS SCHOOL SUPPLY INC
P0014286	SPOT WASH ON IRMA
P0014325	HYATT PLACE
P0014333	BROKER PRICE OPINION.COM INC
P0014355	KELLER WILLIAMS PREFERRED REALTY
P0014442	C B AND POTTS RESTAURANT/BIG HORN BREWER
P0014449	BIOTIC BREATH PROBIOTIC DENTISTRY
P0014515	ARVADA WINE AND SPIRITS
P0014518	PAPA MURPHYS PIZZA
P0014550	BRAUN CONSTRUCTION INC
P0014577	JOHNSON WELDING AND UPHOLSTERY
P0014592	V W R INTERNATIONAL INC

P0014635	PLATINUM 84
P0014653	ROLLING PLAINS CONSTRUCTION INC
P0014716	QUALITY INN & SUITES DENVER NORTH - WESMINSTER
P0014741	AMERICAN STAR EMBROIDERY
P0014863	HORIZON TERRACE LLC
P0015195	MIKE'S FOOD & GAS
P0015204	PERFORMANCE WOODWORKING INC
P0015365	COUNTY LINE SECURITY STORAGE LLC
P0015379	REDD IRON INC
P0015387	ECONO LODGE
P0015496	CUSHMAN & WAKEFIELD
P0015536	JEWEL OF INDIA
P0015635	COLOROSO PROPERTIES
P0015642	VIVA BURRITO COMPANY
P0015669	PAPA MURPHYS PIZZA
P0015760	TURN II BINGO INC
P0015814	SUMMIT BODYWORKS
P0015819	WANCO INC
P0015886	GREENWAYS LANDSCAPE SERVICES LLC
P0016544	FLAHERTY TRUCK REPAIR INC
P0016556	FANTASTIC SAMS
P0016559	SUPREME CLEANERS
P0016560	WESTMINSTER PLAZA LIQUOR
P0016602	BERKELEY AT REGIS THE
P0016628	THORNCREEK COSMETIC DENTISTRY
P0016629	MSD ENDODONTICS PC
P0016658	WESTERN MEAT INC
P0016671	WASHTIME LAUNDRY
P0016678	NORTHGLENN GUNTHER TOODYS LLC
P0016738	HYDRO RENTS COLORADO
P0016770	AMERICAN POSTAL WORKERS UNION
P0016772	KIRANS LIQUORS
P0016856	POLYCOM INC
P0016859	S P G INTERNATIONAL LLC
P0016894	GREASE MONKEY MIDWEST LLC #561
P0016911	DIRECT TRUCK SHOP INC
P0016941	HILTON GARDEN INN/OUTRIGGER LODGING SERV
P0016996	MASCARENAS LANDSCAPE MAINTENANCE INC
P0017059	LA QUINTA INN & SUITES NO. 6579
P0017071	J AND M CONVEYOR
P0017087	DRILL PRO SERVICES INC
P0017099	ROBINS AUTOMOTIVE INC
P0017136	AGGREGATE INDUSTRIES
P0017584	FRESH START CAR WASH
P0017877	SALON SPA AT THE RANCH
P0017956	MI PUEBLO LATIN MARKET INC #1
P0017977	THOLLOT JEWELERS
P0018019	PINNACLE INDUSTRIES
P0018023	ALL PHASE LANDSCAPE

P0018076	POPEYES FRIED CHICKEN POP-412
P0018078	SANTIAGOS MEXICAN RESTAURANT
P0018086	KABOB STATION
P0018119	TOUCH OF LIFE TECHNOLOGIES
P0018133	FEDERAL PLAZA LIQUORS INC
P0018229	ZOLL DATA SYSTEMS INC
P0018231	RESOURCE ENVIRONMENTAL GROUP SERVICE LTD
P0018243	AMERICAN FABRICATORS INC
P0018269	GORDON SIGN COMPANY
P0018285	COLORADO MARKETPLACE CO
P0018434	LEASEPLAN USA INC
P0018925	KING SOOPERS INC - FUEL NO.62000081
P0019034	RUSS T DIAMONDS INC
P0019069	ORIGINAL AURORA LIQUOR INC
P0019077	CONSOLIDATED PARTS INC
P0019091	S AND B PORTA BOWL
P0019108	EXCEL ENVIRONMENTAL INC
P0019157	SERVICE NETWORK PLUMBING AND HEATING INC
P0019204	DAIRY QUEEN
P0019260	MARKET EXPRESS
P0019273	CHAMPIONS PARK APARTMENT HOMES
P0019274	GREASE MONKEY NO.708
P0019311	WEATHERSTONE CAPITAL MANAGEMENT
P0019317	VERINT AMERICAS INC
P0019350	A AND M STEEL INC
P0019408	PEP BOYS
P0019461	ROLL RITE - PULLTARPS
P0019475	MAACO AUTO PAINTING AND BODY WORK
P0020940	INTERNATIONAL CATASTROPHE INS MANAGERS
P0021179	J A BALISTRERI VINEYARDS
P0021228	ROCK STARZ
P0021245	DIRECT EDGE DENVER
P0021270	POPEYES FRIED CHICKEN POP-413
P0021304	R C D INDUSTRIES LLC
P0021336	MEDIA BREAKAWAY LLC
P0021366	CARNICERIA TARAHUMARA
P0021409	BRISBEN STERLING PARK LP
P0021505	WC HURON DENVERBLP
P0021510	OVATION HEATING AND AIR
P0021511	COLORADO FLOORWORKS INC
P0021540	R K GLASS INC
P0021559	LAMBERTSON FARMS APARTMENTS NO.1208
P0021579	EMPACT ANALYTICAL SYSTEMS
P0021607	ONE SOURCE
P0021615	J AND R BENNETT WELDING INC
P0021617	BOX ELDER CREEK GOLF COURSE AND GRILL
P0021653	TAQUERIA LOS GALLITOS
P0021715	REPMASTERS INC
P0021718	ST ANDREWS CONSTRUCTION SERVICES CORP

P0021724	APPLETREE DENTAL
P0021727	EASY CLEAN CARWASH
P0022454	JET AGE USED EQUIPMENT SALES
P0022462	SPRING HOLLOW APARTMENTS
P0022524	VIVA BURRITO COMPANY
P0022551	ALLSTATE SWEEPING
P0022560	UNITED SITE SERVICES
P0022597	LA FAVORITA INC
P0022604	COLORADO POWDER COATING INC
P0022651	EXTREME CLEAN CAR WASH
P0022696	EAST BRIDGE DISCOUNT LIQUOR
P0022722	INTERNATIONAL STUDIES ABROAD
P0022739	GREASE MONKEY NO.936
P0022741	PONY EXPRESS MINI STORAGE LLC
P0022742	PLATTE VIEW LANDING LLC
P0022755	STEEL CON INCORPORATED
P0022769	GODDARD SCHOOL THE
P0022780	GRANDMAS FROZEN PASTA
P0022796	MULTI CARD
P0022807	MARISCOS EL BERRINCHES
P0022817	MICHAEL PLACE APARTMENTS LLC
P0022838	VOYAGER EXPRESS INC
P0022857	RMIS
P0022875	SYSTEMS PLUMBING LLC
P0022913	BIG O TIRES
P0022936	A AND K ICE
P0022947	BIG O TIRES NO.6194
P0022996	ZENTS INC
P0023012	SUMMIT SQUARE II & III LLC
P0023032	YOUNG DENTISTRY FOR CHILDREN LLC
P0023089	BERKELEY AT REGIS THE
P0023258	KING SOOPERS INC - FUEL NO.6200052
P0023621	CALIBRE BOAT REPAIR
P0023641	STANDARD RESTAURANT SUPPLY
P0023664	AMERICA MARBLE AND GRANITE INC
P0023697	LA PRADERA MEAT MARKET NO.1
P0023700	MOBILE CONTAINER SERVICE INC
P0023717	ROCKY MOUNTAIN MOBILE TRUCK SERVICE
P0023724	INTELLIGENT DESIGN 2000 CORP
P0023728	WIZBANG SOLUTIONS INC
P0023741	ENVIROTECH SERVICES INC
P0023752	LASTING PAWS
P0023789	TK NAILS
P0023837	P L M ASPHALT AND CONCRETE LLC
P0023849	LIFE TIME FENCE INC
P0023852	SIMON MED IMAGING
P0023910	PET STUFF COLORADO LLC
P0023960	PANADERIA AND TORTILLERIA LILLY
P0024030	NORTH METRO TRANSMISSION CLINIC

P0024078	ENERGY SERVICES OF COLORADO
P0024081	TECH ELECTRONICS
P0024247	JANUS CAPITAL MANAGEMENT LLC
P0024759	ROCKY MOUNTAIN FENCE LLC
P0024770	MILE HIGH MINERAL CLEANING
P0024784	PRIMROSE SCHOOL
P0024864	MASSAGE ENVY - THORNTON #30153
P0024907	COMPLETE FLEET SERVICES INC
P0024928	CELADON TRUCKING
P0024940	DANELLA RENTAL SYSTEMS INC
P0024964	SINGLE SOURCE INC
P0025080	CITY HORIZON CAR WASH LLC
P0025115	JAY'S GRILLE & BAR
P0025118	QUICK & CLEAN
P0025124	PROLOGIS
P0025143	FLOYDS BARBER SHOP
P0025227	QUALITY COMPONENTS
P0025270	CODA COFFEE LTD
P0025286	P S I
P0025303	COMPLETE EYE CARE
P0025357	TOM J BEHUNIN CONSTRUCTION
P0025524	B AND E SERVICES INC
P0025879	MI PUEBLO LATIN MARKET
P0025891	DAVECO LIQUORS CORP
P0025941	PREMIER PEDIATRICS PC
P0025943	MAJOR MEDICAL SUPPLY
P0025946	A E GAS AND FOOD
P0025954	ARLUN INC-FM INTERMEDIATE
P0025955	HONEY SMOKED FISH HOLDINGS LLC
P0025983	P&B INTERMODAL
P0026049	DUKES GARAGE LLC
P0026061	RIGHT STUFF EQUIPMENT SUPPLY LLC
P0026064	ADVANCED ASSEMBLY LLC
P0026073	TILEY ROOFING
P0026091	SNAP FITNESS
P0026092	REUNION WINE AND SPIRITS
P0026133	L T ENVIRONMENTAL INC
P0026148	HOME BUILDERS SERVICES
P0026164	CRANE WORKS
P0026169	LICKETY SPLIT CARWASH
P0026176	EUROSPORT LTD RACING
P0026181	JOSE CASILLAS
P0026243	GILLETT VETERINARY CLINIC
P0026265	UNITED CHINESE RESTAURANT III INC
P0026331	TOUCHSTONE GRANITE AND MARBLE INC
P0026660	ROGUE WAVE SOFTWARE
P0026851	ROYAL CUP INC
P0027002	M P CONTRACTING LLC
P0027015	BYSTRONIC GLASS

P0027016	P G EXHIBITS
P0027019	C D L COLLEGE
P0027043	GODDARD SCHOOL THE
P0027048	COUNTRY CLUB DRY CLEANERS
P0027053	WESTERN INDUSTRIAL CONTRACTORS
P0027058	VENUE THE
P0027078	BROTHERS FLOORING INC
P0027101	REISCH LAW FIRM LLC THE
P0027106	PLATTE VALLEY FAMILY PHARMACY
P0027107	TACO BELL #33856
P0027133	MI PUEBLO LATIN MARKET INC #2
P0027139	RED ROOSTER
P0027159	RENEGADE BURRITO
P0027165	AFTER OURS URGENT CARE
P0027183	AVIDITY LLC
P0027207	LARKRIDGE GUNTHER TOODYS LLC
P0027239	FAMOUS DAVES BBQ NO. 3131
P0027265	DUFFY CRANE AND HAULING
P0027270	STEPHEN GOULD CORPORATION
P0027337	CHUBBYS
P0027341	NAVAH COFFEE HOUSE
P0027342	LODO BAR AND GRILL
P0027361	APPLETREE DENTAL
P0027377	UNITED BEVERAGES
P0027420	FIRST STAGE RENOVATIONS LLC
P0027426	ELITE NAILS AND SPA LLC
P0027428	ALLIANCE SAW CUTTING
P0027488	ANIMAL HEALTH CARE DENVER
P0027497	BENSON ROLL OFF AND RECYCLING SERVICES
P0027515	RME ELECTRIC CORP
P0027599	R M N M LLC
P0027914	LEASEPLAN USA INC
P0028126	PRIMROSE SCHOOL
P0028158	RUE 21 INC STORE NO.670
P0028165	TACO JOHNS
P0028166	MID AIR ADVENTURES
P0028169	MOUNTAIN VIEW BANK OF COMMERCE
P0028173	AT THE BEACH TANNING SUPERSTORE
P0028190	RIVER BOTTOM RESTAURANT
P0028201	DISTRIBUTOR WIRE & CABLE
P0028211	TURNBERRY LIQUORS
P0028226	ACT UNDERGROUND LLC
P0028234	RIVERDALE WINE AND SPIRITS
P0028301	ARMSTRONG RELOCATION
P0028312	COLORADO CRETE INC
P0028315	MILE HIGH ORTHOTICS LAB
P0028325	S J COLFAX SQUARE LLC
P0028329	CRESTLINE SELF STORAGE
P0028353	SHARKYS CAR WASH

P0028373	STRYKER
P0028376	RENEGADE BURRITO
P0028391	MI PUEBLO LATIN MARKET INC #3
P0028392	DESIGNS BY STONE SCAPES
P0028396	HAPPY SUMO THE
P0028427	ROCK BOTTOM BREWERY NO 1094
P0028473	SUBWAY
P0028509	MY PRIDE CAR WASH
P0028511	SUBWAY NO.38629
P0028522	PUDGE BROTHERS
P0028528	KELLEY SPRINKLER AND LANDSCAPE INC
P0028603	STAIRS INC
P0028611	GRANITE WORLD OF COLORADO
P0028675	PATTISON SIGN GROUP
P0029110	MBI-MR BULT'S INCO
P0029118	HERITAGE TODD CREEK GOLF COURSE
P0029126	GREASE MONKEY NO.868
P0029138	CARWASH EXPRESS #5
P0029147	LOS ARCOS EXPRESS
P0029164	30/70 BAR AND GRILL
P0029195	ELITE ROCK
P0029224	NEW DAY DENTISTRY
P0029239	PAPAS PIZZA
P0029260	ADVENTURE DENTAL
P0029324	POWER PRODUCT SERVICES INC
P0029358	JIMMY JOHNS
P0029362	HAMPTON INN
P0029367	CHUBBYS
P0029382	COMFORT DENTAL
P0029383	COUNTRY LIQUOR
P0029405	A H W CONSTRUCTION
P0029434	SAVORY SPICE SHOP
P0029464	HYDRODIG
P0029473	DUCTS UNLIMITED MECHANICAL SYSTEMS INC
P0029474	ROGERS AND SONS INC
P0029475	ULTIMAX INCORPORATED
P0030117	PAISANO LIQUORS
P0030118	ARCHIBALD FAMILY DENTISTRY
P0030133	DENNYS RESTAURANT
P0030144	DAZBOG COFFEE
P0030150	LIL TEETH DENTISTRY
P0030162	SUN KISSED TANNING
P0030187	A G L CONSTRUCTION
P0030188	LA PASADITA CARNICERIA MEXICAN RESTAURAN
P0030201	BITTO BISTRO
P0030204	MARCOS PIZZA
P0030218	ZIP CLINIC URGENT CARE
P0030233	CORNERSTONE PEDIATRIC DENTISTRY
P0030239	EL JALISCIENSE

P0030247	AMAZING SMILES
P0030264	CHARMING CHARLIE LLC #085
P0030271	ORTHO PETS
P0030312	A P B MOTOR
P0030322	CANOPY AIRPORT PARKING
P0030356	PINNACLE STONeworks LLC
P0030361	AFFORDABLE PROPANE
P0030362	REMAX MOMENTUM
P0030369	UP WITH PEOPLE
P0030377	WALL RESOURCES
P0030378	UNSER RACING AND ENTERTAINMENT
P0030398	HIGH PLAINS DINER
P0030428	SHARKLET TECHNOLOGIES INC
P0030489	TURNPIKE LIQUORS - MGDE INC
P0030802	MOUNTAIN SALES AND SERVICE INC
P0030843	ROYAL CUP INC
P0030912	FRONT RANGE SERVICES INC
P0030931	Yael BELLEZA Y SALUD LASER
P0030947	PIONEER PACKAGING
P0030952	ASAHI FOOD
P0030995	SOLA SALON STUDIOS
P0031008	TORTUGAS COMMERCE CITY
P0031010	MILE HIGH PALLET
P0031035	B GOOD
P0031038	NORTH POINT SURGERY
P0031045	VALLEY LIQUOR
P0031083	WATEREN CONCRETE
P0031112	5280 FROZEN YOGURT LLC
P0031119	BINGO OASIS
P0031148	MEGA WASH
P0031161	NOAH OPERATIONS WESTMINSTER CO LLC
P0031164	MATRIX TECHNOLOGIES INC
P0031205	TRUE RELIGION BRAND JEANS
P0031206	E TRADE FINANCIAL CORP
P0031242	M M P LLC
P0031305	MEINEKE
P0031536	CRANE CARTAGE LLC
P0031635	GORDON SIGN COMPANY
P0031636	GORDON SIGN COMPANY
P0031638	GORDON SIGN COMPANY
P0031730	MTS FREIGHT
P0031751	ROYAL CUP INC
P0031752	ROYAL CUP INC
P0031834	INTERIOR SPECIALISTS INC
P0031837	PANDERIA EL PAISA
P0031840	PHO PEORIA
P0031865	KIDS AND FAMILY DENTISTRY
P0031871	SCHNELL PARTS AND SERVICE
P0031892	EARLY BIRD RESTAURANT

P0031898	OCEAN EXPRESS CARWASH
P0031903	SANTIAGOS MEXICAN RESTAURANT
P0031904	CROSSFIT
P0031965	AFFORDABLE MARKETING PROMOTIONS
P0031971	BROWN INDUSTRIES LLC
P0031978	MENCHIES VILLAGE AT PARK CENTRE
P0031999	PHENIX SALON SUITES
P0032031	STYLISH NAILS
P0032070	ADVANTAGE E N T LLP
P0032088	INGRAM CAR CARE CENTER
P0032098	BRIGHT HORIZONS CHILDRENS CENTERS LLC
P0032198	F X I INC
P0032565	ROYAL CUP INC
P0032652	POPEYES FRIED CHICKEN POP-401
P0032655	DAIRY QUEEN
P0032665	NEW CREATION MARBLE AND GRANITE
P0032667	REGION 8 ENVIRO LLC
P0032670	TEXCEL
P0032671	MARKET AT WESTERLY CREEK THE
P0032672	YI ASIAN EXPRESS
P0032678	XPRESS GLOBAL SYSTEMS
P0032707	PERIODIC BREWING
P0032715	FAB INDUSTRIES
P0032718	PROGRESH
P0032729	PAPA MURPHYS PIZZA #C0101
P0032740	HAND AND STONE MASSAGE AND FACIAL SPA
P0032750	PALETERIA LA MICHOACANA
P0032766	MILE HIGH GRAPHICS
P0032776	SPICY TACO
P0032794	ANGELS INSTALLATIONS COUNTER TOPS
P0032802	TINYS GRANITE WORKS
P0032822	ENDURANCE HOUSE
P0032849	BUILDING TECHNOLOGY SYSTEMS INC
P0032879	PROJECT X RESTORATION
P0032883	TRIP WIRELESS
P0032891	MD BODY AND MED SPA
P0032898	BELLA NAILS AND SPA
P0032900	GREFFEX INC
P0032907	MIDNIGHT LIQUORS
P0032910	EL ANGEL RESTAURANT AND BAKERY
P0032912	LIGHTHOUSE DENTAL
P0032921	GRANITE AND MARBLE DESIGN LLC
P0032925	H MART
P0032938	ECO CLEAN
P0032957	EBAGS
P0032964	PASON SYSTEMS USA CORP
P0032970	WASH MULTIFAMILY LAUNDRY SYSTEMS
P0032980	KEYPOINT GOVERNMENT SOLUTIONS
P0033112	ROLLING PLAINS CONSTRUCTION INC

P0033235	LEASEPLAN USA INC
P0033535	COLORADO COUNTER TOPS
P0033539	WOOLLEYS CLASSIC SUITES
P0033543	VRC PROTX
P0033574	COLORADO CONCRETE INC
P0033576	DICKEYS BARBECUE PIT
P0033596	JAMBA JUICE NO.1359
P0033608	FIREHOUSE SUBS NO.1040
P0033609	BRUGGEMAN DENTAL
P0033610	POLISHED NAIL SALON
P0033626	BABAJOONS FALAME GRILLED KABOBS
P0033632	GENERAL PARTS
P0033647	CARDINAL FAMILY CHIROPRACTIC
P0033648	ARBOUR COMMONS
P0033651	METRO PCS
P0033652	METRO PCS
P0033653	METRO PCS
P0033665	TURBO AIR
P0033684	METRO PCS
P0033699	LINE X
P0033706	KPM
P0033710	MIKES PORTABLE WELDING
P0033747	DENVER WEST DIESEL
P0033752	METRO PCS
P0033757	FRONT RANGE PRECAST CONCRETE INC
P0033760	HOUSE OF GRANITE
P0033766	WELCH EQUIPMENT
P0033775	LUMINOUS NAILS AND SPA
P0033780	CHIHUAHUA TIRES
P0033784	DIESEL DAY DREAMS
P0033795	PAPA MURPHYS PIZZA
P0033834	SIMPLY STORAGE
P0033838	KING SOOPERS INC - JEWELRY NO.136
P0033847	PLANET FITNESS
P0033887	GVR LANDSCAPE
P0033888	CROSSFIT MAFIA
P0034057	REGIONAL RAIL PARTNERS
P0034356	VIKING SEWING GALLERY #769
P0034392	ROCKY MOUNTAIN NATURAL MEATS LLC
P0034491	FRICIONLESS WORLD
P0034511	BUFFALOAM
P0034512	BEST ONE CONVENIENCE STORE
P0034517	INNOVATIVE FUNDING SERVICES
P0034521	MAIN ST NAILS LLC
P0034524	COLORADO NATIVE FOODS
P0034527	PI STRATEGIES INC
P0034534	SLJ LIQUOR
P0034535	TERRAPIN CARE STATION
P0034537	TOWER ROAD ANIMAL HOSPITAL

P0034540	SKIN PERFECTION AESTHETICS
P0034543	METRO PCS
P0034544	2020 EYE VENUE
P0034558	5280 WASTE SOLUTIONS
P0034564	PLATTE RIVER NETWORKS
P0034578	SAF TEHNIKA
P0034582	ALTITUDE CANNABIS
P0034589	FITZSIMONSAUTOBODY.COM
P0034591	A R WILFLEY AND SONS INC
P0034592	DEPOT STREET CO II LLC
P0034599	JIMMY JOHNS NO.2965
P0034603	MOUNTAIN STRONG CROSSFIT AND CLIMBING
P0034615	MAVERICK WINE COMPANY
P0034620	INSTONE MARBLE AND GRANITE
P0034622	KANGAROO EXPRESS
P0034624	ROADTEX TRANSPORTATION CORP
P0034626	PAPA MURPHYS NO CO116
P0034630	MAGIC NAIL SALON
P0034641	STONE AND CONCRETE
P0034657	MLF ENTERPRISES
P0034664	SOLABEV
P0034667	GENESIS BUILDING SUPPLY
P0034670	JENSEN HUGHES
P0034676	MR EGG
P0034679	PLUSH GRASS
P0034680	DENALI DENTAL LLC
P0034683	MILE HIGH TRUCK REPAIR
P0034687	SPHEREX
P0034694	SUNSHINE PLUMBING & HEATING
P0034768	SOMETHING BREWERY
P0034776	CONOCO GAS STATION
P0034778	WATCO LIQUOR
P0035272	L T ENVIRONMENTAL INC
P0035284	CANOPY AIRPORT PARKING
P0035295	CARPCO LLC
P0035306	BRUZ BEER
P0035310	PET STUFF COLORADO LLC
P0035312	TRI POINTE HOMES (AMBER CREEK SUBD)
P0035315	SUPERCUTS
P0035325	ILOVEKICKBOXING.COM
P0035327	GODFATHER'S PIZZA
P0035332	@SALON
P0035337	EL LUCERITO JR
P0035342	HEIDIS BROOKLYN DELI
P0035354	PARKFIELD ORTHODONTICS LLC
P0035361	DANHYDRA INC
P0035362	TACO MEX
P0035364	MAMAS CAFE
P0035366	METRO PCS

P0035371	MCKINNEY TRAILER RENTALS
P0035373	PYNERGY PETROLEUM
P0035383	INTEGRATD BEVERAGE GROUP
P0035391	RIVER NORTH BREWERY
P0035394	KNEADERS BAKERY & CAFE
P0035396	JUMPING JACK CASH
P0035397	BELTRANS MEAT MARKET
P0035409	CHUCK & DON'S
P0035411	SUPERCUTS NO.81464
P0035412	ZOE'S KITCHEN
P0035414	BAR ELEVATE
P0035415	SAGE DENTAL GROUP
P0035420	INDUSTRIAL SUPPLY SOLUTIONS INC
P0035425	SERVICE MASTER (SRM)
P0035435	AIR GENERAL
P0035436	LASER GALICIA USLA
P0035444	STARBUDS MIPS LLC
P0035445	T & F MOTORSPORTS
P0035447	TENERE INC
P0035448	MIDWEST PROTOYPING
P0035460	ORCHARD PARK IVY NAILS
P0035468	CANDLEWOOD SUITES
P0035482	BRADLEY LEAD GROUP
P0035490	SABLE STORAGE
P0035491	TIERRA FARM
P0035496	CROSSFIT HARMONIC
P0035497	J D BY RIDER
P0035498	K & K NAILS
P0035499	STANLEY BEER HALL
P0035500	COMIDA AT STANLEY MARKETPLACE
P0035505	COCAL LANDSCAPE
P0035508	ADVENTURE DENTAL
P0035515	SOUND RELIEF
P0035516	BIGTIME! FUN CENTER
P0035526	VETERINARY CENTER AT TURNBERRY
P0035531	ZALGEN LABS LLC
P0035532	VITAN-BIOTECH LLC
P0035533	LIBERTY ANIMAL HOSPITAL
P0035539	INTEGRATED MOLECULAR DIAGNOSTICS PATHOLOGY INC
P0035545	GROUND SERVICES COMPANY
P0035562	CENTER AT NORTHRIDGE THE
P0035563	DEKTEC AMERICA
P0035568	RISAS DENTAL - FEDERAL HEIGHTS
P0035577	CELLULAR SALES
P0035588	ABM INDUSTRIES INC
P0035590	5280 CREATIONS LLC
P0035593	BRIGHT STAR KIDS DENTISTRY
P0035597	MILAN LASER HAIR REMOVAL
P0035607	SECURITY NATIONAL MORTGAGE

P0035743	GOKU HIBACHI EXPRESS
P0035784	LKS TRANSPORTATION LLC
P0035921	SOMERSET CAPITAL GROUP LTD
P0035922	SOMERSET CAPITAL GROUP LTD
P0036022	NEXUS BRANDS LLC
P0036060	9670 B DALLAS ST LLC
P0036065	ANACONDA PRINTING
P0036072	MAPLETON INDUSTRIAL INVESTORS
P0036080	B S I LLC
P0036086	FLASKA
P0036087	SKYLOTEC NORTH AMERICA
P0036094	PLANET FITNESS
P0036103	IMPERIUM EVENT CENTER
P0036108	POPEYES FRIED CHICKEN
P0036113	RISAS DENTAL - AURORA NORTH
P0036117	TACO JOHNS
P0036118	MOTHER TUCKER BREWERY
P0036120	FRESH GUYS PRODUCE
P0036128	FAIFO PHO & GRILL
P0036129	DULUTH TRADING CO
P0036142	SIMA SCIENCES
P0036143	BROTHERS KITCHEN
P0036146	CYCLE BAR
P0036148	EUROPEAN WAX CENTER
P0036152	STARBUDS
P0036163	BLASTRAC NA INC
P0036166	BOX STATE BARBERS
P0036169	FIT CLUB #47
P0036171	CONCENTUS PARTNERS LLC
P0036173	OLD CHICAGO
P0036174	LEARNING EXPERIENCE THE
P0036175	FAIRFIELD INN & SUITES MARRIOTT
P0036177	TRUE COLORS CUSTOMS
P0036180	EXCEL DIESEL & AUTO
P0036183	LOST COFFEE
P0036185	ROCK RIVER BISON RANCHES
P0036187	PEAK REFRESHMENTS
P0036194	BRONCOS LOCKER
P0036200	DINGO DINER AND SPA
P0036206	5280 BURGER BAR
P0036208	FINLEYS BARBER SHOP
P0036212	TRAILERS PLUS
P0036215	DIVERSIFIED TRANSFER & STORAGE
P0036221	MILLWRIGHT
P0036225	A F D INC
P0036228	CANTEEN
P0036232	GLAM SALON & SPA
P0036234	TRADICION
P0036237	LEGACY MECHANICAL INC

P0036248	STONEBROOK EXTERIOR INC
P0036256	LIGHTSHADE
P0036270	CHIHUAHUA TIRES
P0036271	SITWISE CORPORATION
P0036276	BRAVO'S ITALIAN RESTAURANT
P0036277	U SMILE FAMILY DENTAL
P0036282	LOMA EYE CARE
P0036287	BUTTERS FAMILY LLC
P0036290	TOYTEC LIFTS
P0036292	ALL PRO AUTO CONDITIONING
P0036299	YAK & YETI CUISINE OF INDIA
P0036301	ELEMENTS AT PRAIRIE CENTER
P0036308	CUBE SMART LP #6631
P0036311	SIGNATURE OFFSET LLC
P0036312	ROYAL PRINTING SOLUTIONS
P0036313	COLORADO QUALITY PRODUCTS
P0036315	L G HAUSYS
P0036317	PEPMOVE
P0036327	CLEMENTINES
P0036331	ROLLING SMOKE
P0036333	JUNIPER PIG
P0036334	STAPLETON DENTAL
P0036338	BASECOAT
P0036340	CHELUNA BREWING COMPANY
P0036341	MINDCRAFT MAKERSPACE
P0036351	MPI COMPANIES
P0036359	OFFICES AT STANLEY THE
P0036363	ROSENBERGS BAGELS AND DELICATESSEN
P0036364	LOGAN HOUSE
P0036367	INFINITE MONKEY THEOREM
P0036372	FROZEN SPIRALS
P0036374	SMILE ROCKERS
P0036378	LOS 3 GARCIAS
P0036428	RALLY4 INC
P0036430	HAVEN 124 AT EASTLAKE STATION PHASE II
P0036444	MINER CORP
P0036448	TOWER ENGINEERING PROFESSIONAL IND
P0036468	ESCAPE CAMPERVANS INC
P0036500	PHI STRATEGIES INC
P0036525	ELITE REEF LLC
P0036526	CHOICE SPECIALISTS INC
P0036556	CLEAN FOCUS RENEWABLES
P0036859	SUGARFIRE SMOKE HOUSE
P0036865	ALL COPY PRODUCTS
P0036868	BH YATES LLC
P0036870	CARSON & CO SALON
P0036871	HURON LIQUOR
P0036872	LEARNING EXPERIENCE THE
P0036884	VASA FITNESS THORNTON #8467

P0036891	AUTOWASH
P0036894	GREEN DRAGON
P0036897	CDC INVESTMENTS LLC
P0036928	LECROUSET
P0036929	MOVADO COMPANY
P0036931	PERFUMANIA #790
P0036934	CONVERSE STORE
P0036935	PUMA STORE #102
P0036952	LENNAR HOMES
P0036958	TRUE RELIGION #361
P0036960	G-STAR RAW #048
P0036964	FRAGRANCE OUTLET
P0036966	ARMANI EXCHANGE OUTLET #438
P0036970	SERRANO'S PROCUDE
P0036974	COLORADO CENTER FOR ARTHRITIS & OSTEOPOROSIS
P0036979	PURPLE MOON EARLY LEARNING CENTER
P0036987	ALTITUDE ORAL AND FACIAL SURGERY
P0036991	EDON FITNESS & TRAINING
P0036993	WETZEL'S PRETZEL'S
P0036998	CHAMBERS MARKET
P0036999	SANTIAGOS
P0037002	DENVER METRO ASSOC OF REALTORS
P0037003	SKIN BAR MED SPA
P0037005	SATIRE BREWING COMPANY
P0037007	BLEACH'D
P0037008	M4 COLLISION & REFINISH LLC
P0037009	EPS-DOUBLET
P0037011	MINDFUL
P0037012	COLORADO DEVELOPMENT HOLDING
P0037016	FINE MANAGEMENT
P0037017	FAMOUS BUDS
P0037027	SOFX
P0037029	YELLOWBELLY COLORADO FRIED CHICKEN
P0037039	FIT BODY BOOT CAMP
P0037040	GEO STABILIZATION INT
P0037042	LADY JUSTICE BREWING CO
P0037045	IGADI
P0037048	BEST PHILLY STEAK
P0037050	GODDARD SCHOOL THE
P0037057	JC LIQUORS
P0037060	ZAFAR FRESH
P0037062	LW FACADES
P0037064	JUDY'S WESTERN WEAR
P0037065	OAK HAIR STUDIO
P0037067	B GOOD
P0037068	DELGADO'S BOXING & MARTIAL ARTS
P0037072	ROCKY MOUNTAIN ASSISTED LIVING
P0037073	HIMALAYAN CURRY HOUSE
P0037074	GOLDEN CRUST PIZZA

P0037078	FIRST INTEGRITY TITLE
P0037081	ECOS
P0037093	SUITE SKIN & BODY THE
P0037096	TRUE NORTH DENTAL STUDIO
P0037098	ALLIANCE SAFETY INC
P0037101	EMPIRE ROOFING
P0037103	AUTO PRO BUYS OF COLORADO
P0037107	PEAK VERTICAL TRANSPORTATION
P0037109	SONDER USA INC
P0037139	MULTILLANTAS
P0037143	BERRY BLENDS
P0037146	THERAPEDIC
P0037150	JOY GUM
P0037153	ASCENT GEOMATICS SOLUTIONS
P0037160	RISAS DENTAL - COMMERCE CITY
P0037161	GREASE MONKEY
P0037177	A & I FUEL AND MACHINE INC
P0037184	CHEVOS STUDIOS
P0037193	SOMERSET CAPITAL GROUP LTD
P0037195	SOMERSET CAPITAL GROUP LTD
P0037220	CONCRETE CORING INC
P0037292	NEIGHBORHOOD MUSIC SCHOOL
P0037337	E2 FIT LOCK N KEY
P0037366	GR WIRELINE LP
P0037398	VERINT SECURITY INTELLIGENCE INC
P0037548	AUTOWASH - DREESZEN
P0037552	RIZZO INTERNATIONAL INC
P0037619	ADT COMMERCIAL LLC
P0037626	STARBUCKS COFFEE CO 54555

NAME2	TAXYEAR	ACTUALVALUE
C/O IN SI AND HYUN SUK SONG	2020	19,768
C/O OFFICE	2020	30,328
	2020	22,063
	2020	3,541
C/O AFFORDABLE SERVICES CORP	2020	15,297
	2020	172,193
	2020	80,285
C/O NANCY COOK	2020	56,527
C/O CAMP STONE CO	2020	201,153
C/O CLIFFORD R HOFFMAN	2020	15,563
C/O GOLDWEST PROPERTIES AND INVESTMENTS LLC	2020	7,156
	2020	1,150,655
	2020	563
C/O STEPHEN LEWIS	2020	14,119
C/O P M I C INC	2020	28,029
C/O J M J C TWO LLC	2020	23,900
	2020	8,570
	2020	34,619
C/O PROPERTY TAX 7TH FLR	2020	629,071
C/O PROPERTY TAX 7TH FLR	2020	1,195,320
C/O MANJIT THIARA	2020	19,506
	2020	7,807
	2020	50,275
C/O VISUAL PRODUCTS	2020	2,912
C/O VISUAL PRODUCTS	2020	2,573
	2020	4,924
C/O JON C BAUMAN DDS PC	2020	9,047
	2020	277,857
	2020	11,312
C/O FADI SAWAGED	2020	22,943
C/O GENUINE HOSPITALITY LLC	2020	22,587
C/O DOHERTY HOSPITALITY INC	2020	30,956
	2020	24,278
	2020	16,746
C/O KENNETH W BLACK	2020	41,078
	2020	8,383
C/O MITCHELL AND SONS INC	2020	104,044
C/O DAMEN BADALAMENTI	2020	50,740
C/O COLORADO WORD WORKS INC-WILBUR FLACH	2020	158,772
	2020	11,099
C/O CHIN SONG	2020	8,447
	2020	1,236
	2020	807,560
C/O JAMES CHUNG	2020	134,000
C/O DEE VORDETH HOMCHANH	2020	24,507
	2020	6,043
	2020	4,925
C/O HOMERUN LLC	2020	51,196

C/O TRIPPLE-S STEEL SUPPLY CO JANET SERICE	2020	1,229,096
C/O YOG SHRESTHA	2020	9,352
C/O KA-EUN INC	2020	19,750
C/O B R C REAL ESTATE CHRIS SANDOVAL	2020	50,662
	2020	248,569
C/O PAUL THOMSON	2020	442,246
C/O BLDG MGMT	2020	98,200
C/O PROPERTY MANAGER	2020	21,488
C/O ERNESTO B MARTINEZ	2020	21,058
C/O GOLDWEST PROPERTIES AND INVESTMENTS	2020	29,107
C/O RYAN STROSCHEIN	2020	2,461,227
	2020	46,227
C/O LORIE HUR	2020	17,240
C/O LINDA ZHAO	2020	184,296
C/O JENNIFER HOWARD/BRADBURN PARTNERS LLC	2020	25,110
C/O SUMMIT COMMUNITIES LLC	2020	27,696
	2020	27,725
C/O RAJBIR S DHILLON AND SUKHJINDER SIN	2020	36,016
	2020	2,753
C/O COLOROSO PROPERTIES LP	2020	881
	2020	4,484
	2020	19,149
	2020	8,719
C/O LAWRENCE BOOCO	2020	8,219
C/O OFFICE MANAGER	2020	504,419
C/O LEE CREECH	2020	143,532
C/O ACCOUNTING DEPT	2020	82,262
C/O CONTROLLER	2020	515,982
	2020	16,510
C/O ALBERT M HOOD	2020	86,169
C/O ALVARADO CONCEPTS LLC	2020	102,699
C/O WILLIAM J RILEY	2020	101,766
C/O IPA INVESTMENTS LLC	2020	82,115
C/O PATRICK MCLACHLAN	2020	63,535
C/O TM MEADOWS ASSOCIATES LLC	2020	34,816
C/O CHRIS KELLY CFO	2020	144,785
	2020	13,390
C/O IGNACIO LUEVANO	2020	85,834
	2020	9,975
C/O V & J ENTERPRISES	2020	8,936
C/O JESSE SINGH	2020	10,853
C/O TOM MAUL	2020	1,501,253
C/O COLOROSO PROPERTIES LP	2020	1,415
	2020	12,105
C/O COSMETIC SURGERY CLINICS LLC	2020	98,390
	2020	18,317
C/O ROSS MANAGEMENT GROUP	2020	21,421
	2020	41,754
C/O P K MANAGEMENT	2020	7,728

C/O BETH ANN PETTYJOHN	2020	32,379
	2020	19,348
C/O CEASAR ESTRADA	2020	12,290
C/O MARK ONEIL	2020	29,657
	2020	560,982
C/O H U R E INC	2020	11,756
	2020	8,249
C/O DARRELL KNUDSON	2020	60,374
	2020	35,399
C/O CHIROPRACTIC PHYSICIAN	2020	10,160
C/O VENTURE HOSPITALITY INC	2020	12,954
C/O WINTER HAWK AUTO LLC	2020	17,256
	2020	132,464
C/O LORI L PACELLO	2020	8,084
C/O TICI LLC	2020	48,130
C/O TIM HARTMAN - TAX MGR	2020	137,619
C/O MICHAEL SOLLENBERGER	2020	10,227
C/O MICHAEL SOLLENBERGER	2020	14,010
C/O HOLLAND BRITTANY DOWNS	2020	103,269
C/O HAN CHUN INC	2020	9,797
C/O RICHEY FAMILY INC	2020	19,901
C/O PATRICK CASADY	2020	115,662
C/O MYUNG BYON	2020	14,344
C/O ADAM DREXLER	2020	60,336
C/O K R M CORPORATION - KEITH MOLENHOUS	2020	39,960
C/O MELISSA BALERIO	2020	8,062
	2020	21,452
	2020	283,701
C/O CARACH INC	2020	12,173
C/O PROPERTY TAX 7TH FLR	2020	2,492,512
	2020	184,067
C/O JEMS ENTERPRISES/JENNIFER MORENO	2020	11,133
C/O MIKE VAN PROOYEN	2020	40,256
C/O FAULTLESS LAUNDRY CO INC	2020	1,289,453
C/O PROPERTY TAX DEPARTMENT	2020	28,850
C/O STILL WAUGH	2020	13,744
C/O CORPORATE TAX DEPT	2020	1,073,178
C/O TED ARELLANO	2020	33,802
C/O MANUEL D GARZA JR	2020	20,051
	2020	15,955
C/O PETER YOUNG	2020	51,283
	2020	14,897
C/O CRAIG SJOLIN	2020	2,969,530
C/O MARVIN BURROUGHS	2020	14,420
C/O H AND S ENTERPRISES	2020	15,293
	2020	130,537
	2020	212,556
C/O FLATIRONS MARKETING AND PRINT SERVICES	2020	118,330
	2020	8,908

	2020	23,570
C/O CFO	2020	730,555
	2020	24,339
C/O SCOTT VINCENT	2020	586,583
C/O VIKEHART INC	2020	65,098
C/O DAN WOLTMANN	2020	4,452,484
C/O DOTTIE MARTINEZ	2020	12,376
C/O TAX DEPARTMENT	2020	65,480
C/O ROBERT NICKERSON	2020	156,261
C/O STACI JANGULA	2020	97,484
C/O GENE BERRY	2020	552,816
C/O ARLEE AND MELODY ROBERSON	2020	8,575
C/O THOMAS SPELLMAN	2020	121,936
	2020	23,848
C/O DOUG SHAW	2020	17,309
C/O PRESIDIO OF SAN FRANCISCO	2020	170,278
C/O BARRIGA PROPERTIES LLC	2020	41,653
C/O STEPHANIE GARCIA	2020	17,927
C/O DAN KISH	2020	141,228
C/O TIM ARMITAGE	2020	174,668
C/O PAPPAS INVESTMENT PROPERTIES	2020	61,406
	2020	30,147
	2020	47,134
C/O BLANCO OPERATIONS PEARL CORP	2020	15,705
C/O AARON HART	2020	11,129
	2020	29,003
C/O SCOTT CROSLEY	2020	33,300
C/O LILLAN M M ROTELLA	2020	22,271
C/O C P COMPANY	2020	77,104
C/O CARMEN ORBACH	2020	168,156
C/O TAX DEPARTMENT	2020	1,767,027
C/O MGM ENTERPRISES LTD	2020	10,040
C/O PAT FETE	2020	28,862
	2020	713,393
C/O DANIEL J AKSAMIT	2020	2,899
C/O LAMAR MCBRIDE	2020	314,299
M-L HOLDINGS COMPANY	2020	119,371
C/O PROPERTY TAX DEPT	2020	10,610
C/O 2601 CHAMBERS ROAD LLC	2020	182,438
C/O ALVARADO CONCEPTS LLC	2020	106,936
C/O MISSION ROCK RESIDENTIAL	2020	176,172
	2020	119,716
C/O METREX PROPERTY GROUP	2020	30,301
C/O CONTROLLER	2020	22,912
C/O RAFAEL MENDOZA	2020	63,441
	2020	20,494
	2020	44,933
	2020	59,454
	2020	63,014

C/O MARK V PLATEK	2020	15,204
C/O RYAN MARKHAM	2020	304,755
C/O ROSAS INC	2020	21,664
C/O GABRIELA STEVENS	2020	23,430
C/O ANTONIO LEDEZMA	2020	359,849
	2020	15,011
C/O DEBI PICKER	2020	412,640
C/O GARY LEVIN	2020	7,032
C/O NATHAN KRONEMEYER & ZACHERY ROBERTS	2020	207,379
C/O SAMS SERVICE STATION	2020	21,330
	2020	17,025
C/O A B V MANAGEMENT CO INC	2020	40,384
	2020	70,483
	2020	27,836
C/O RYAN LLC DEPT 904	2020	22,117
	2020	84,227
	2020	7,721
C/O BRENDA KUCHAR	2020	68,586
C/O ROB HALE	2020	92,925
C/O CATHY MORTEN	2020	151,555
	2020	8,945
C/O SILOG ENTERPRISES	2020	24,279
	2020	15,420
	2020	23,256
C/O MIKE KARAS	2020	33,457
C/O SCOTT REISCH	2020	82,876
C/O PROPERTY TAX DEPARTMENT	2020	1,797,526
C/O YONG TAO	2020	10,547
C/O JEFF PLATT	2020	180,758
C/O TAX DEPARTMENT	2020	270,023
	2020	8,524
	2020	2,522,260
C/O DIANA GERMAN	2020	62,004
C/O MAYFIELD APARTMENTS LTD	2020	13,362
	2020	18,482
	2020	38,654
C/O KONG & QUY PROPERTY LLC	2020	35,742
	2020	77,598
C/O KATHERINE LAURIENTI	2020	66,347
	2020	67,046
	2020	577,860
	2020	16,106
C/O DAVE VAN MATRE	2020	13,418
C/O MONROE GROUP LTD	2020	8,220
C/O MIKE SCHWABAER	2020	19,026
	2020	18,413
	2020	594,028
C/O CONTROLLER	2020	420,320
C/O BRIAN STECKLEIN	2020	349,788

	2020	15,552
C/O GARY LEVIN	2020	1,260
C/O GREASE MONKEY MIDWEST LLC	2020	28,176
C/O LEILA TARRATTI TABRIZI	2020	8,554
C/O LANCE STILLWAUGH	2020	53,311
C/O ROCK BOTTOM INC	2020	226,790
C/O CHARLIE BENINATI	2020	67,745
C/O ALVARADO CONCEPTS LLC	2020	99,242
	2020	21,889
C/O MONIKA COULSON	2020	26,491
C/O ROBERTS TRESCAPING LLC	2020	145,913
C/O GREASE MONKEY MIDWEST LLC	2020	23,525
C/O DAVID R AND NADINE ELLISON	2020	12,926
	2020	27,452
C/O JAMES CHUNG	2020	133,229
	2020	8,572
C/O MARK BELLIO	2020	14,518
	2020	22,394
C/O WILLIAM FICK	2020	9,515
	2020	13,830
C/O RAJU BAJWA	2020	54,928
	2020	13,826
C/O GUY ALLEN	2020	62,845
C/O C-BALL VENTURES LLC	2020	114,323
	2020	242,124
C/O SAM JOHNSTON	2020	30,822
C/O CERCA TROVA RESTAURANT CONCEPTS	2020	116,484
	2020	97,260
C/O CAST TRANSPORTATION INC	2020	843,877
C/O LEXINGTON INN SUITES JASON TROUT	2020	102,266
C/O CORVETTE CONNECTION INC	2020	20,721
C/O BUNRITH LIM	2020	13,481
C/O MINTU MANIHANI	2020	12,697
C/O HZ FOODS CO INC	2020	15,870
C/O LINH DO	2020	10,829
C/O DUFF & PHELPS LLC	2020	185,627
C/O PROPERTY TAX DEPT	2020	13,088
	2020	16,799
C/O BLANCO OPERATIONS IRMA CORP	2020	20,178
C/O RYAN LLC - PROPERTY TAX	2020	441,361
C/O WALT COATS	2020	102,928
C/O ADMINISTRATION	2020	65,230
C/O RAM INTERNATIONAL HOLDING CO	2020	219,751
	2020	43,358
C/O VEECEE INC	2020	15,126
C/O FRESH TAKE LLC RYAN MCALLISTER	2020	29,063
C/O STEVE BRAUN	2020	13,893
C/O PER STEN JOHNSON III	2020	17,002
C/O TAX DEPARTMENT	2020	311,923

C/O MID-EAST MTN COMMUNICATIONS	2020	164,656
C/O KATHLENN TARABA	2020	255,125
	2020	52,795
C/O ROGELLO PACHUCA	2020	11,201
C/O NAS PROPERTIES LLC	2020	36,060
C/O MIKE EDJA	2020	146,859
C/O DAVID WATKINS	2020	164,583
	2020	45,926
C/O MARY SCHLENER	2020	547,765
C/O BONG LEE	2020	19,266
	2020	46,672
C/O A & P ENTERPRISES	2020	15,826
C/O COLOROSO ALAN H	2020	6,209
C/O JUAN BELTRAN	2020	2,594
C/O FRESH TAKE LLC RYAN MCALLISTER	2020	12,391
	2020	8,422
	2020	235,462
	2020	985,674
C/O DAVID DEPEW	2020	143,665
C/O BILL FLAHERTY	2020	8,433
C/O SEAN PATRICK	2020	27,575
	2020	22,916
C/O CHUNG HEE CHO	2020	9,818
C/O COLBY WEIGHT	2020	91,063
C/O LANCE SMITH E DDS	2020	42,298
	2020	133,810
C/O TONY STANO	2020	92,930
	2020	52,645
C/O PROPERTY TAX DEPT	2020	64,648
C/O PROPERTY TAX DEPT	2020	1,055,562
C/O LAWANDA DAVIS	2020	22,540
C/O BRAXTON BEVERAGES INC	2020	12,314
C/O PROPERTY TAX DEPT	2020	1,766,103
C/O PROPERTY TAX DEPARTMENT	2020	353,125
C/O TAX DEPARTMENT	2020	20,296
C/O MICHAEL ADINOLFE	2020	21,545
C/O OLS HTL / RESORTS MARTITI MANNOJA	2020	440,195
	2020	14,425
C/O J & Y LIM LLC	2020	51,744
C/O JEFF COOLEY	2020	37,029
	2020	9,211
C/O THOMAS AND MICHELLE ROBINS	2020	9,568
	2020	118,564
C/O DOO BROTHERS ENTERPRISES INC	2020	4,883
	2020	7,812
C/O JAIME CUEVA	2020	30,706
C/O TROY THOLLOT	2020	26,931
C/O ROBERT HANLEY	2020	91,597
C/O RICHARD BLANCHARD	2020	209,138

C/O HZ FOODS CO INC	2020	28,333
C/O CARMEN MORALES	2020	15,317
C/O MAROUN MURSSALLEM	2020	9,733
	2020	67,297
C/O YUKI CHO	2020	11,019
C/O PROPERTY TAX DEPT	2020	30,874
C/O SHERRI DEITZ	2020	347,501
C/O ED OSBORN	2020	48,149
C/O VISUAL PRODUCTS	2020	8,412
C/O LSC VENTURES LLC/SRINI CHEELA	2020	26,402
C/O MARY DENMAN-TAX DEPT	2020	44,346
C/O PROPERTY TAX 7TH FLR	2020	39,003
C/O RUSS THOMPSON	2020	174,332
C/O T AND S COLORADO INC	2020	8,586
C/O GREG TJADEN	2020	39,532
C/O LEE SOLA	2020	104,539
C/O TOM CASE	2020	46,060
C/O TONY KEY	2020	17,337
C/O P B J D ENTERPRISES INC	2020	20,269
C/O GREG PACKER	2020	14,443
C/O SALT DEPT	2020	221,450
C/O GREASE MONKEY MIDWEST LLC	2020	27,480
C/O MICHAEL BALL	2020	9,255
C/O PROPERTY TAX DEPT	2020	122,011
C/O ANTONIO PECCIA	2020	43,978
	2020	22,248
C/O ACCOUNTIUNG DEPT	2020	27,647
C/O DAVE AND JOY HAGGARD	2020	26,664
C/O ACCOUNTING MANAGER	2020	117,053
C/O JOHN AND BIRDIE BALISTRERI	2020	70,331
C/O DAN MEZA	2020	9,424
C/O BETH PROCHAZKA	2020	551,013
C/O HZ FOODS CO INC	2020	54,364
C/O DAVID BOECA	2020	9,094
C/O SCOTT RICHTER	2020	67,152
C/O GLADIS MOLINA	2020	18,073
	2020	64,773
C/O WORLD CLASS CAPITAL GROUP LLC	2020	8,605
C/O JEFF PLATT	2020	10,291
C/O BOB GIFFORD	2020	31,901
C/O RUDY FANNIN	2020	56,030
C/O CFO	2020	238,948
C/O AMBER BUENO	2020	73,327
C/O TOMTAR INC	2020	60,325
C/O JEFFREY WILSON	2020	15,694
C/O KADDIE LLC	2020	26,070
	2020	10,252
C/O BRENT RICHARDS	2020	42,595
C/O ANDREW GONZALES	2020	64,373

C/O STAPLETON MODERN DENTAL LLC	2020	153,747
C/O J E M LLC	2020	91,785
C/O LYLE GURLEY	2020	11,748
C/O STEADFAST COMPANIES	2020	34,415
C/O JUAN BELTRAN	2020	10,236
C/O BARB HOLLIS	2020	25,176
C/O PROPERTY TAX DEPT - CONTROLLER	2020	1,086,555
C/O JOE DELEON	2020	740,523
C/O GREG HADDEN	2020	19,171
C/O HARVEY ROSA	2020	43,470
C/O SM BROTHERS LLC	2020	13,897
C/O MIKE AMODIE	2020	45,869
	2020	13,364
C/O EDITH ROMERO - MANAGER	2020	391,861
C/O MISSION ROCK RESIDENTIAL LLC	2020	182,816
C/O MARY GELOK	2020	83,495
C/O JAMES HALL	2020	76,189
C/O JOAN CHANDLER	2020	49,462
C/O BARRY STONE	2020	20,217
C/O JORGE DIAZ	2020	25,299
C/O WILLIAM TEATER	2020	13,756
C/O KAYLA DIGBY	2020	11,796
C/O ENVIROSYSTEMS USA INC	2020	108,807
C/O BRUCE KRAYNAK	2020	11,579
C/O 104TH STREET INVESTMENTS LLC	2020	30,758
C/O KEVIN ENDERS	2020	709,081
C/O JAMES HOBBS	2020	25,582
C/O CANDACE LYNCH	2020	11,015
C/O PROPERTY TAX DEPT	2020	13,669
C/O KEATON HOWE	2020	156,358
	2020	26,994
C/O PROPERTY TAX 7TH FLR	2020	41,899
C/O BLUE LINE ESCAPE INC	2020	42,624
C/O JUNE KINGSTON	2020	27,673
C/O ISBEL DIAZ	2020	24,213
C/O CRUZ SOTO	2020	14,232
C/O ANDREW HOOPER	2020	368,884
C/O JOE BOMARETO	2020	10,954
C/O SANDRA MARTINEZ	2020	255,638
C/O SARAH ANDREANO	2020	101,292
C/O PROPERTY TAX DEPT	2020	166,508
C/O ADAM GIFALDI	2020	7,956
	2020	28,449
	2020	144,334
C/O KORY KOZAR	2020	14,814
C/O PERSONAL PROPERTY TAX DEPT	2020	375,441
	2020	11,900
C/O A AND C ACCOUNTANTS - A AGUAYO	2020	7,753
C/O WILLIAM BRUSCELLA	2020	13,213

C/O CHARLES KLAPPERICH	2020	45,650
C/O CRAIG LUBBERS	2020	12,330
C/O TAX DEPT	2020	235,289
C/O TRACY GARCIA	2020	46,055
C/O SANDOR FUSS	2020	23,905
C/O ROOTS TO WINGS THORNTON LLC	2020	35,051
C/O ATTICUS FRANCHISE GROUP	2020	60,510
C/O ANDREW HOOPER	2020	99,486
C/O PROPERTY TAX DEPT	2020	140,546
C/O THOMAS WALSH	2020	79,831
C/O PROPERTY TAX DEPT	2020	28,389
C/O K & A HOLDINGS LLC	2020	180,030
C/O PTFT LLC	2020	49,113
C/O RICHARD KARLE OR KIM JANUS	2020	28,642
C/O TAX DEPARTMENT	2020	33,920
	2020	23,459
C/O VERN MC ELROY	2020	25,216
C/O TOMMY THWAITES	2020	715,250
C/O PROPERTY TAX DEPT	2020	53,476
C/O LINDA CARLSON	2020	42,502
	2020	107,912
C/O BENJAMIN RAMIREZ	2020	90,224
C/O JAIME CUEVA	2020	258,050
C/O HENI SAWAGED	2020	131,561
C/O SHARON SABA	2020	27,071
C/O AMY JARAMILLO	2020	3,235,810
C/O EDWARD MASIH	2020	87,293
C/O JIM SCHOCH	2020	86,933
C/O JZ ZISKA	2020	259,923
C/O ROBERT PTAK	2020	9,406
	2020	31,155
C/O KEVIN WEBER	2020	498,341
C/O SANDRA K TORRES	2020	859,199
C/O MICHELLE COTE	2020	169,160
C/O G & J ASSOCIATES INC	2020	16,486
C/O T&F LLC	2020	19,579
C/O MAUREEN ANDERSON	2020	201,506
C/O HBSCO, LLC BRIAN CLEVERINGA	2020	1,307,983
C/O BOB MAZE	2020	167,650
C/O MARK CORDOVA	2020	131,570
C/O RICH DAHL	2020	11,012
	2020	7,959
C/O JOE JAMES - TAX DEPT	2020	29,903
C/O MIAO FENG WENG	2020	75,299
C/O ADAM PFLIPSEN	2020	431,697
C/O ERIN PETERSON	2020	27,951
C/O PROPERTY TAX DEPT	2020	8,018
C/O BRANDON POWELL	2020	712,461
	2020	161,611

C/O ROBIN SCULLY	2020	259,783
C/O ERIC HANEY	2020	19,824
	2020	28,414
C/O CHHOM SENG	2020	27,884
C/O MARK STEPHENS	2020	289,606
C/O PAM BRAUN	2020	28,796
C/O RALPH JORGENSEN	2020	23,782
	2020	18,982
C/O MEDIZINE MAN INC.	2020	41,952
C/O ALVARADO CONCEPTS LLC	2020	95,477
C/O JAIME CUEVA	2020	75,261
C/O JIM PAPPAS	2020	16,082
C/O BURRITO WERKS LLC	2020	33,025
	2020	15,672
C/O LARRY LANSING	2020	21,941
C/O PROPERTY TAX DEPT	2020	48,733
C/O FDA	2020	113,803
C/O JEFF CUMMINGS	2020	47,525
C/O PROPERTY TAX DEPT	2020	33,589
C/O JULIAN CORDOVA	2020	19,194
C/O ROCKIES COFFEE HOUSE-SAM LINNENBURGER	2020	8,284
	2020	180,238
	2020	40,654
C/O SEMERE GEBREZGI	2020	12,058
	2020	31,558
C/O TRUNG PHAM	2020	11,533
	2020	24,604
	2020	25,498
C/O BENSON AND BENSON IRON AND METAL	2020	329,184
	2020	22,273
C/O ROBERT DINEEN	2020	124,870
C/O MARY DENMAN-TAX DEPT	2020	49,925
C/O STEPHANIE BRANSCUM	2020	31,007
C/O TAX DEPT	2020	31,447
C/O PETE MOODY	2020	50,297
C/O MIKE FITZGERALD	2020	23,941
C/O JOHN ROSCH CAMS	2020	103,859
C/O PROPERTY TAX DEPT	2020	26,922
C/O DAVID PATRICK	2020	25,348
C/O TAX DEPT	2020	190,562
C/O GILL & COMPANY LLC	2020	12,447
C/O BRIAN LYSTER	2020	15,609
C/O LAXMI GANESH	2020	9,720
	2020	107,158
	2020	33,735
C/O SHEILA HYETT	2020	39,867
C/O STANLEY BLACK	2020	8,946
C/O TANGENT CORP	2020	1,453
C/O PHILIP M FALCO	2020	35,971

C/O HAYLEY CLARK JOHNSON	2020	22,676
C/O BURRITO WERKS LLC	2020	54,075
C/O JAIME CUEVA	2020	16,598
C/O MATT OTERO	2020	21,059
	2020	30,281
C/O WALNUT BREWERY INC	2020	313,041
C/O BARB AND JERRY FRANCIS	2020	15,674
C/O DANIEL J AKSAMIT	2020	17,903
	2020	19,105
	2020	24,398
C/O JEFF KELLEY	2020	158,953
C/O LARRY THOMPSON	2020	9,655
C/O PAULETE MCDONALD	2020	139,607
	2020	62,833
C/O BRANDON DERRICK	2020	269,500
C/O JIMMY OGE	2020	109,683
C/O GREASE MONKEY MIDWEST LLC	2020	37,574
C/O IMO US WEST LLC	2020	196,021
C/O IGNACIO LUEVANO	2020	9,035
	2020	20,342
C/O JOAQUIN DAVILA	2020	12,623
C/O JEREMY ZEIGLER DMD	2020	8,770
C/O KICHONG LEE	2020	11,515
C/O PROPERTY TAX DEPT	2020	248,994
	2020	59,365
C/O HAMM LLC	2020	11,874
C/O BANNER HOSPITALITY INC	2020	31,296
C/O A TASTE ABOVE INC JULIAN CORDOVA	2020	35,200
C/O SMILE 5 PROFESSIONAL LLC	2020	52,331
C/O JD LEE	2020	12,735
C/O MARISA PACHECO	2020	21,717
C/O JOE VOHLAND	2020	11,833
C/O PROPERTY TAX DEPT	2020	44,229
	2020	408,038
	2020	224,705
C/O RAJI ALATASSI - MANAGER	2020	150,971
	2020	21,488
	2020	64,992
C/O VINCENT F EUPIERRE - TICI LLC	2020	124,931
C/O UCH LLC	2020	39,042
	2020	79,397
C/O KYLA CARRILLO	2020	12,748
C/O KATE DAVIS	2020	11,697
	2020	9,217
C/O FROMAGE ATROI LLC	2020	27,840
C/O THE BIG CHEESE ORCHARD LLC	2020	69,508
	2020	52,247
C/O DAVID D SCHLEICHER DDS PLLC	2020	28,788
C/O JOSE D SANCHEZ	2020	16,612

	2020	55,617
C/O DUCHARME MCMILLEN AND ASSOCIATES INC	2020	202,909
C/O AMY KAUFMANN	2020	70,459
	2020	7,781
	2020	147,975
	2020	106,378
	2020	9,534
C/O TROY HAGEMAN	2020	12,650
C/O ANNE GALLAGHER	2020	26,627
C/O PROPERTY TAX DEPT	2020	9,713
C/O TAYLOR CLEMONS - TAX DEPT	2020	593,526
C/O CJB EATS INC	2020	22,648
C/O MARK SPIECKER CEO	2020	59,122
C/O BAKER SMITH BOOKKEEPING GRP	2020	11,884
	2020	94,613
C/O PROPERTY TAX DEPT	2020	14,657
C/O PROPERTY TAX DEPT	2020	9,676
	2020	52,310
C/O ROCKY MOUNTAIN PIONEER LLC	2020	55,525
C/O JUSTIN TSAI	2020	11,519
C/O MATT BRIGER	2020	33,906
	2020	44,123
	2020	19,262
C/O RICHARD PHIFFER	2020	44,405
C/O JILLIAN CIOCCHETTI MD	2020	20,342
C/O ISAAC ISHA	2020	16,532
C/O WATSON AND CO	2020	1,152,827
	2020	63,183
C/O DON MABRY/HOLLY BLUMENTHAL DEMMING	2020	17,546
C/O NOE NUNEZ	2020	14,846
C/O JOHN SELLINGER	2020	30,671
C/O ROY S VIROST	2020	10,994
	2020	25,672
C/O WALTER DOGGETT	2020	193,204
	2020	62,954
C/O ALEXY BLOT	2020	9,846
C/O MICHAEL SOLTZ	2020	42,711
C/O VISUAL PRODUCTS	2020	3,362
C/O VISUAL PRODUCTS	2020	4,418
C/O VISUAL PRODUCTS	2020	708
C/O MERGENTHALER TRANSFER & STORAGE CO.	2020	55,431
C/O PROPERTY TAX DEPT	2020	5,678
C/O PROPERTY TAX DEPT	2020	7,963
C/O TAX ANALYST	2020	32,199
	2020	14,349
C/O CHAU	2020	19,296
	2020	67,579
	2020	33,914
	2020	10,147

	2020	153,895
C/O CARMEN MORALES	2020	9,337
C/O FOUR 13 LLC	2020	31,396
C/O JUANA RICHERSON	2020	8,320
C/O DEAN COLEMAN	2020	115,430
C/O TRONG BUI	2020	36,374
C/O MICHAEL CARNAHAN	2020	12,172
C/O QUOC DONG	2020	15,616
C/O DAVID VAN KOOTEN	2020	30,841
C/O TODD INGRAM	2020	7,704
C/O TAX DEPT	2020	49,860
C/O PROPERTY TAX DEPARTMENT	2020	14,632
C/O PROPERTY TAX DEPT	2020	1,142
C/O HZ FOODS CO INC	2020	22,948
C/O COLORADO AURORA INC	2020	129,216
	2020	15,132
	2020	94,097
C/O TRELLETEX INC	2020	116,644
	2020	25,656
C/O NEIL LUONG CPA PC	2020	20,368
C/O PROPERTY TAX DEPT	2020	69,386
C/O CHRIS LABBE	2020	116,652
C/O RONNIE AND ADAM BARTOLO	2020	9,482
C/O KYLE HENLEY	2020	10,785
C/O MARC STUTZMAN	2020	58,062
C/O B AND B SPAS LLC	2020	16,014
C/O JORGE A ESCALERA	2020	14,287
C/O PERSONAL PROPERTY TAX DEPT	2020	58,748
C/O PABLO CERNO	2020	8,962
C/O ANGEL GARCIA	2020	181,030
	2020	8,894
C/O ITRI SPORTS AND RACING	2020	12,817
C/O BOB MCCREADY	2020	42,325
C/O HILLARY LOCKMAN-ORTIZ	2020	25,417
C/O KIM KOCH	2020	28,946
	2020	710,255
	2020	9,076
C/O UWE STAERZ	2020	79,595
C/O NAJU LIQUORS INC	2020	16,456
C/O RODULFO GUZMAN	2020	19,038
C/O MITCHELL SEFCIK	2020	84,437
C/O TAMMY DONLEY	2020	220,051
C/O GMART WESTMINSTER CORPORATION	2020	151,783
	2020	20,422
	2020	91,253
	2020	35,181
C/O TAX ADMINISTRATOR	2020	88,406
	2020	29,359
C/O KATHLENN TARABA	2020	26,604

C/O MARY DENMAN-TAX DEPT	2020	84,299
C/O PATTY	2020	263,475
	2020	2,176,150
	2020	80,792
C/O PERSONAL PROPERTY DEPT	2020	25,119
C/O ALINA RAIDER	2020	99,871
C/O WHIRL COLORADO LLC	2020	36,934
C/O RASUL USMAN	2020	65,374
C/O SCOTT BRUGGEMAN	2020	170,763
C/O TINA LE	2020	13,065
	2020	22,471
	2020	19,850
C/O DRS. FRANCIS	2020	16,454
C/O OTC TWO LLC	2020	469,428
C/O WIRELESS PCS CO LLC	2020	4,706
C/O WIRELESS PCS CO LLC	2020	5,994
C/O WIRELESS PCS CO LLC	2020	3,232
C/O ETHAN JIN	2020	23,810
	2020	5,192
C/O MARK NEU	2020	16,820
C/O MARY HARTMAN	2020	178,828
	2020	12,685
C/O CHRIS BAGLEY	2020	55,582
	2020	4,133
	2020	107,623
C/O JASON VON FELDT & CHRIS HOCK	2020	37,944
C/O AARON JARRETT	2020	35,748
C/O HANDY LE AND ANH HOA VO	2020	18,599
	2020	24,726
C/O PERSONAL PROPERTY TAX DEPT	2020	12,774
	2020	60,774
C/O ANDY SHOBERT	2020	44,292
C/O PROPERTY TAX 7TH FLR	2020	22,278
C/O ASSET CO LLC	2020	453,092
	2020	28,720
C/O VITA FITNESS	2020	16,999
C/O KEVIN LYNCH	2020	136,554
	2020	13,169
	2020	1,855,512
	2020	458,020
C/O GREEN FARMS CO LLC	2020	55,661
C/O PANKAJ KUMUR	2020	11,111
C/O ACCOUNTS PAYABLE	2020	24,596
	2020	17,814
C/O EDWIN MORENO	2020	106,097
	2020	617,678
C/O JANS INC	2020	14,614
C/O APOGEE MANAGEMENT INC	2020	87,245
C/O DR. DESIREE ENGLISH	2020	29,915

C/O DONLYN SMILLIE	2020	11,288
C/O NIZAR HEMANI	2020	4,359
C/O MARCELLA NEVERMANN	2020	45,137
C/O KIM SIEMS	2020	86,592
C/O BRENT ALLSHOUSE	2020	64,494
C/O PETERIS D'CARLO	2020	34,903
C/O DOMINICK KESSARIS	2020	104,647
C/O BILL LIPSITZ	2020	82,750
C/O LINDA HUDSON	2020	898,605
C/O LINDA HUDSON	2020	905,738
C/O TREVOR REDDING	2020	78,213
C/O WILL GORDON	2020	9,169
	2020	56,743
C/O DANIEL SKOREV	2020	25,965
C/O JOHN MOONEY	2020	18,539
	2020	17,342
C/O FRESH TAKE LLC	2020	73,495
	2020	27,142
	2020	84,144
	2020	86,188
C/O MICHAEL	2020	126,636
	2020	10,516
	2020	13,617
C/O JOSE GRANILLO	2020	12,617
C/O JOSEPH DOWNS CEO	2020	16,574
C/O GREGORY SEFCIK DDS	2020	86,338
C/O SAM HUMPHREY	2020	18,050
C/O AUTUMN NEWBY	2020	75,610
C/O SUNSHINE SOLAR & MECHANICAL LLC	2020	72,172
	2020	102,895
C/O WATKINS HOSPITALITY FARIDEH RAHMANI	2020	145,120
C/O FARIDEH RAHMANI	2020	11,902
C/O MAUREEN ANDERSON	2020	3,744
	2020	30,951
C/O FRANK STOFFLET	2020	31,475
	2020	192,133
	2020	15,904
	2020	80,453
C/O BELLA SALONS INC	2020	13,359
C/O JSMC KICKINGBOX LLC	2020	24,591
C/O JAKE SMITH	2020	109,111
C/O TANG NGUYEN	2020	28,086
C/O EVA CISNEROS	2020	56,777
C/O JENEE OR TREVOR	2020	37,526
	2020	102,594
C/O WINSTON SHAW	2020	56,360
C/O TAX DEPT	2020	51,797
C/O FERNANDO GUTIERREZ	2020	14,572
C/O NIZAR HEMANI	2020	5,002

C/O TAX DEPT	2020	117,772
C/O MELOD D GREEN	2020	48,142
C/O DAVID WAAS	2020	14,676
C/O EXTANT BREWING COMPANY LLC	2020	427,341
C/O TAX DEPARTMENT	2020	254,284
C/O TODD HILLS	2020	34,416
C/O VALERIE BETRANS	2020	27,610
	2020	60,717
C/O MARKER STYLES BRADBURN LLC	2020	15,579
	2020	163,549
	2020	118,122
	2020	146,331
C/O PERSONAL PROPERTY TAX DEPT	2020	38,947
C/O DSI HOLDINGS CORPORATION	2020	15,506
C/O BILL GUILDAY	2020	9,616
C/O IVAN OROSA	2020	55,961
C/O MOE ATIEH	2020	304,841
C/O CHRISTOPHER SWISHER	2020	8,746
C/O STEVE BERLAGE	2020	3,452,418
	2020	177,079
	2020	19,860
C/O SPIRIT HOSPITALITY LLC - ASHLEY ENSMINGER	2020	1,065,674
C/O BILLY NESS	2020	31,030
C/O PROPERTY TAX DEPT	2020	13,498
C/O CHITRANIE PERSUAD	2020	52,567
	2020	15,237
	2020	71,647
C/O THAO VO	2020	18,753
C/O DUSTIN SKUDLAREK	2020	17,266
C/O SUSIE	2020	120,859
C/O JESUS MEDRANO	2020	129,644
C/O PROPERTY TAX DEPT	2020	389,347
	2020	30,103
C/O KELLE HICKAM	2020	19,536
C/O DR TANYA ENOS	2020	47,570
	2020	54,504
C/O XICHUN ZHOU	2020	38,105
	2020	157,043
C/O PAUL FINCH	2020	35,904
C/O PROPERTY TAX DEPT	2020	240,503
C/O TROY HAMLER	2020	949,103
	2020	126,722
C/O RISAS REAL ESTATE & EQUIPMENT	2020	174,920
C/O PROPERTY TAX DEPT	2020	22,714
C/O HUYEN LE	2020	449,819
	2020	62,580
C/O PAT ROSENZWEIG	2020	84,436
	2020	33,241
	2020	17,817

	2020	28,575
	2020	11,961
	2020	619
	2020	204,004
	2020	20,047
C/O KEVIN VLACK	2020	59,465
C/O LINDA HENDRIX	2020	45,036
C/O HUB ACQUISITION LLC - SUSAN LAMORIE	2020	84,176
C/O ERIC LORENZ	2020	1,528,526
C/O MIKE FLASKA	2020	36,123
C/O DOUGLAS MERCIER	2020	55,585
C/O BRADLEY CALABRO	2020	859,337
C/O RICARDO SANDOVAL	2020	9,155
C/O HZ FOODS CO INC	2020	288,900
C/O RISAS REAL ESTATE & EQUIPMENT	2020	123,505
C/O TAX DEPT	2020	169,020
C/O PROPERTY TAX DEPT	2020	27,582
C/O PETER BRAIDMAN	2020	35,208
C/O PROPERTY TAX DEPT	2020	50,449
	2020	155,313
C/O LAMIA MCKEARN	2020	184,930
C/O DAVID MARTINEZ	2020	22,033
C/O TRAVIS JACOBSON	2020	30,874
C/O MIKE FASING	2020	17,222
C/O PROPERTY TAX DEPT	2020	20,402
C/O PERSONAL PROPERTY TAX DEPT	2020	15,353
C/O PROPERTY TAX DEPT	2020	7,682
C/O DANNY WILLEXE	2020	11,571
C/O PROPERTY TAX DEPT	2020	15,248
C/O PROPERTY TAX DEPT	2020	660,606
C/O MELISSA BERG	2020	35,216
C/O JASON COLLIER	2020	752,934
C/O STEVE SHEATS	2020	16,540
C/O TERRY MASON	2020	116,303
C/O SCOTT GAERTE	2020	15,560
C/O PROPERTY TAX DEPT	2020	66,761
C/O BRIAN FALEY	2020	257,237
C/O SCOTT FRANKLIN	2020	30,362
C/O CASHE PAWKLIK	2020	41,344
C/O SCOTT HUDSPETH	2020	280,552
C/O MARLENE HERWOOD, CORPORATE CONTROLLER	2020	54,118
C/O ALISHA RETTKOWSKY	2020	27,978
C/O MIKE O'DORE	2020	8,175
C/O ROBERT FABIAN	2020	7,929
C/O MONA TEBEAU	2020	56,967
C/O GARMAN STROH	2020	1,094,262
C/O JOELLE ROMBOUGH	2020	22,321
C/O SERGIO PEREZ	2020	13,182
C/O CONTROLLER	2020	287,221

C/O IAN CHRISTIAN	2020	48,300
	2020	52,118
	2020	60,060
C/O PROPERTY TAX DEPT	2020	129,277
C/O PROPERTY TAX DEPT	2020	21,729
C/O ERIC JOHNSON	2020	139,338
C/O CHARLES GALLEGOS	2020	51,134
C/O TIFFINIE BUTTERS	2020	22,193
C/O DOUGH GOSH	2020	105,105
C/O JUSTIN RHAME CFO	2020	47,857
C/O DOL BHATTARAI	2020	49,266
C/O TAX DEPT	2020	279,124
C/O PROPERTY TAX ADVISORS LLC	2020	17,386
C/O BRIAN MOSER	2020	159,710
C/O MARY GRAHAM	2020	1,098,761
C/O CASSIDY MYERS	2020	474,128
C/O ACCOUNTING	2020	57,240
C/O BRISTLECONE GROUP	2020	53,575
C/O DANI EVERSON	2020	29,127
C/O WADE WILLIAMS	2020	14,910
C/O JOHN STEPHAN	2020	26,964
C/O TAX DEPT	2020	124,809
C/O KRISSY	2020	11,436
C/O JAVIER OR JENNIFER	2020	207,713
C/O BRENDA LANE	2020	25,361
C/O DENIELLE CARBAJAL	2020	12,612
C/O MARC FEDER	2020	53,366
C/O JOSH POLLACK	2020	172,172
C/O BROOK GAGSTETTER	2020	38,520
	2020	26,964
C/O JULIAN YANG	2020	14,975
C/O LORI CACKOVIC	2020	34,834
C/O MIGUEL	2020	12,107
	2020	44,000
C/O PROPERTY MANAGER	2020	137,154
C/O SANDRA BOONE	2020	11,763
C/O CARMEN IPOC	2020	10,790
C/O PROPERTY TAX DEPT	2020	13,641
	2020	294,626
C/O PERSONAL PROPERTY TAX DEPT	2020	36,514
C/O PERSONAL PROPERTY TAX DEPT	2020	123,332
	2020	51,000
	2020	183,264
C/O SCOTT DEWAR	2020	10,684
C/O ELIZABETH SEAWALT	2020	41,287
C/O ASPEN TENGLER	2020	12,164
C/O SALEEM	2020	33,739
C/O SEETHAL PETER	2020	35,284
C/O PERSONAL PROPERTY TAX DEPT	2020	811,306

C/O DENNIS DRESDEN/AUTOWASH LLLP	2020	763,848
C/O ALEX LEVINE	2020	30,791
C/O PERSONAL PROPERTY TAX DEPT	2020	97,424
C/O ACCOUNTING DEPT	2020	151,374
C/O RETAIL FINANCE - ACCOUNTING	2020	66,804
C/O TAMMY KASTBERG	2020	44,333
C/O TAX DEPT	2020	325,272
C/O JULE MARTINS	2020	156,883
C/O LENNAR COLORADO LLC	2020	62,294
C/O TAX DEPARTMENT	2020	39,698
C/O TAX DEPARTMENT	2020	27,198
C/O TAX DEPARTMENT	2020	21,176
C/O GIORGIO ARMANI CORPORATION	2020	41,430
	2020	32,037
C/O JEFFREY D PERKINS	2020	17,112
C/O MARNIE KORTOBI	2020	20,542
C/O BRIAN FANGMAN	2020	19,314
C/O ACCOUNTING DEPT	2020	71,222
C/O TAX DEPARTMENT	2020	48,156
C/O RASHPAL SINGH	2020	163,262
C/O TOBIAS MORALES	2020	43,448
	2020	57,326
C/O DAWN WEBER	2020	123,823
C/O TODD WAUFLE	2020	74,423
C/O KAYLEE JACHETTA	2020	14,764
C/O JUSTIN HEMMER	2020	33,224
C/O CORY SHEDD	2020	1,119,024
C/O ACCOUNTING TAX DEPT	2020	12,330
C/O JONATHAN NIELSON	2020	70,543
C/O ACCOUNTING	2020	441,740
C/O ALON DABACH	2020	124,488
C/O SARAH KORB	2020	51,129
C/O MICHAEL FRIEDBERG	2020	132,924
C/O YARALDIN ALARCON	2020	21,018
C/O SEAN GEIER	2020	801,597
C/O BETSY LAY	2020	60,084
C/O SANDY WALKER	2020	24,160
C/O CHOUNG CHUNG	2020	37,499
C/O PRADEEP GOEL	2020	79,176
	2020	20,023
C/O TAX DEPT	2020	159,997
C/O WILLIAM TRAINOR	2020	41,895
C/O FERNANDO ANDRADE	2020	12,018
C/O JAY JAYROC	2020	17,914
C/O RICHARD PHIFFER	2020	19,743
	2020	19,503
C/O ACCOUNTING DEPARTMENT	2020	23,658
C/O GURUNG FAMILY LLC	2020	49,196
C/O AMAR INC	2020	41,145

C/O ALEXAND DAHLIN	2020	26,099
C/O JAMES LOWRY	2020	33,224
	2020	25,471
C/O DR BO TRAN	2020	212,387
C/O TODD GARNER	2020	20,396
C/O ELENA VAZQUEZ AGUILERA	2020	16,847
C/O SEAN D HAMPSON	2020	11,554
C/O RANDY MCGINNIS	2020	9,165
C/O PERSONAL PROPERTY TAX DEPT.	2020	35,358
C/O RAMON MUNUZ	2020	10,611
C/O ANGELICA ESPINOZA	2020	80,170
C/O RODNEY GOODRUM	2020	1,145,341
C/O DAVE NUDELMAN	2020	21,162
C/O RAMSEY HANSON	2020	325,542
C/O RISAS REAL ESTATE & EQUIPMENT LCC	2020	229,055
C/O KEVIN MCLEAN	2020	411,226
	2020	115,908
C/O ANDREW DUFFORD	2020	56,938
	2020	70,366
	2020	194,627
C/O ALLISON & HAINEY INC	2020	102,547
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C/O ERIC WHITT	2020	40,101
C/O TAX DEPT	2020	2,469,192
	2020	81,154
C/O DENNIS DRESDEN/AUTOWASH LLLP	2020	65,960
C/O PATTI COLLIGAN	2020	53,630
	2020	9,823
C/O PROPERTY TAX DEPT	2020	23,773

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COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT

CASE NO.: PRC2019-00020
CASE NAME: BRANNAN SAND & GRAVEL

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**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT STAFF REPORT**

Board of County Commissioners

October 6, 2020

Case No.: PRC2019-00020	Case Name: Brannan Sand & Gravel
Owner's Name:	Pit 10, LLC
Applicant's Name:	Fred Marvel, Brannan Sand & Gravel
Applicant's Address:	2500 E. Brannan Way, Denver, CO 80229
Location of Requests:	2601 W. 60 th Avenue
Nature of Requests:	<ol style="list-style-type: none"> 1. Conditional use permit application to allow recycling operations in the Industrial-2 and Industrial-3 zone districts; 2. Conditional use permit application to allow accessory outdoor storage exceeding ten acres in the Industrial-2 and Industrial-3 zone districts; 3. Conditional use permit application to allow stacking of materials up to fifty (50) feet in height and above the height of any screen fencing.
Zone Districts:	Industrial-2, Industrial-3
Comprehensive Plan:	Activity Center
Site Size:	23.6 acres
Proposed Uses:	Heavy Manufacturing or Processing
Existing Use:	(Unpermitted) Heavy Manufacturing or Processing
Hearing Date(s):	PC: July 9, 2020 / 6:00 p.m. BOCC: October 6, 2020 /9:30 a.m.
Report Date:	July 10, 2020
Case Manager:	Greg Barnes 
PC Recommendation:	DENIAL with 14 Findings-of-Fact

SUMMARY OF APPLICATION

Background

Brannan Sand & Gravel is requesting three conditional use permits for a recycling facility use with accessory outdoor storage exceeding ten acres and an outdoor material stacking of up to

fifty (50) feet. The 23.6-acre subject property is located at 2601 W. 60th Avenue. The site is within both the Industrial-2 (I-2) and Industrial-3 (I-3) zone districts.

The applicant has utilized this property without a permit for over 25 years for the processing, storage, and sale of recycled asphalt and concrete material. The material is stockpiled at the site and routed throughout the Denver metropolitan area for various construction projects. In October 1995, Adams County sent a notice of violation informing the property owner that the use was not allowed without a conditional use permit. Subsequently, no conditional use permit was issued, and the facility continued to operate out of compliance with county regulations.

In June 2012, the Board of County Commissioners approved a conditional use permit at 5880 Lipan Street for Brannan Sand & Gravel that allowed the outdoor storage of aggregate material exceeding 10 acres and up to 35 feet in height. As part of that approval, a condition was included to require the operations at the subject property of this request to cease and for the site to be vacated by June 2019. As of July 2020, the applicant has not ceased operations nor vacated the site.

In May 2017, an inspection of the site was conducted by Adams County, the Tri-County Health Department, and the Colorado Division of Public Health & Environment. The team found: that the facility was operating without proper permitting; that the site was used for outdoor storage that was not associated with the business; that the site was being used for a 30-foot tall pile of shingles which constituted an unpermitted disposal of solid waste and potentially may have included asbestos shingles; that the operation had resulted in an illicit discharge into the Clear Creek; and that the facility was storing and stockpiling materials on an adjoining property owned by Adams County.

Over the next few months, Brannan Sand & Gravel began to remedy specific violations discovered at the May 2017 inspection. A settlement agreement was reached in November 2017 between Brannan Sand & Gravel and Adams County. The agreement formalized a timeline for the site to come into compliance. Although the terms of the agreement were initially met by the applicant, a request for extension of deadlines was granted in February 2018. The final step for the applicant to fully comply with the terms of this agreement is approval of the subject conditional use permits. The agreement required that these approvals happen by June 2019. At that time, the County issued a notice of noncompliance to the applicant. The subject applications were received in December 2019.

Site Characteristics and Environmental Considerations:

The subject property has direct access to West 60th Avenue along its southern boundary and approximately 1,700 linear feet of frontage on the public roadway. The site is located approximately 800 feet to the northeast of the intersection of Federal Boulevard and W. 60th Avenue. Federal Boulevard has ramp access onto Interstate-76 just southwest of the site giving the site relatively easy access to the federal highway system.

The site consists of 23.6 acres, of which approximately 90% is designated with I-2 zoning and the remainder is designated with I-3 zoning, which is located on the western edge of the

property. Although there are existing stockpiles on the site that are 30-50 feet in height, the property does not appear to have significant natural terrain.

The site borders the Clear Creek to the north and west. The entire site is impacted by floodplain according to the Federal Emergency Management Agency (FEMA). Approximately 11 acres of the northern and western portions of the site is located within the floodway. This designation by FEMA means that the land area must be reserved to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height. Reservation of the areas is necessary to ensure that there are no increases in upstream flood elevations. The remainder of the property on the southern and eastern portions of the site are within the 100-year floodplain. These areas have a 1% greater chance of flooding each year. Two lakes are located just to the northwest of the subject property.

For the aggregate material to be stored in the floodplain, a Floodplain Use Permit is required. Brannan Sand & Gravel has applied for this permit, which is currently under review by the Mile High Flood District (MHFD). MHFD is developing an updated flood map for this area of Clear Creek that is currently being reviewed by FEMA. The revisions to the flood map are based on modeling that show a wider floodway in the area, which includes the area where the proposed stockpiles are located. To obtain an approved Floodplain Use Permit, Brannan will be required to demonstrate that they can implement measures to mitigate the effects of the stockpiles in the floodplain.

Surrounding Zoning Designations and Existing Use Activity:

Northwest PUD / I-3 Industrial / Clear Creek	North PUD/I-2/I-3 Industrial / Clear Creek	Northeast I-3 Clear Creek
West PUD / I-1/ I-3 Commercial / Industrial	Subject Property I-2/I-3 Recycling Facility (Out of Compliance)	East I-3 Lake / Right-of-Way
Southwest I-3 RTD Rail Station	South I-2/I-3 Vacant	Southeast I-3 I-76 Right-of-Way

Compatibility with the Surrounding Land Uses:

The existing land uses in the area consist mostly of industrial and vacant properties. In 2019, the Clear Creek at Federal Commuter Rail Station became operational and is an important gateway to Southwest Adams County; there are 300 parking spaces intended to serve those who use the Gold Line to access Union Station in Downtown Denver to the south or Wheat Ridge to the west. The introduction of the nearby commuter rail station has resulted in an increase in pedestrian traffic and is expected to serve as a catalyst for more transit-oriented development in the area. The applications for recycling facilities, outdoor storage, and stockpiles of material reaching up to 50 feet in height are incompatible with the surrounding area and particularly the highly trafficked commuter rail station. The request for stockpiles of up to 50 feet are likely to become

windswept and create hazards for pedestrians in the area, while also being clearly visible from the existing Federal Station.

Future Land Use Designation/Goals of the Comp-Plan for the Area

The future land use designation on the property is Activity Center. Per Chapter 5 of the County’s Comprehensive Plan, the Activity Center future land use designated areas are intended to allow high-intensity residential, retail, and office development. The Activity Center designated areas are intended to increase employment and increase the tax base, while creating a mix of uses to create a pedestrian environment that is supportive of transit.

The subject property falls within the Southwest Area Plan, the Federal Boulevard Framework Plan, and the Clear Creek Valley Transit Oriented Development Plan. The vision for the Clear Creek at Federal Station is to create a new, vibrant, transit-oriented community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the envisioned Village Center will serve the needs of the existing community and maintain the area as an employment center for Adams County. The area shall maintain and enhance existing commercial corridors and existing residential neighborhoods. Development in the area is to create new connections with surrounding residential and commercial areas and revitalize older commercial, industrial, or underutilized areas. Mixed-use development and sustainable practices will be encouraged in the Clear Creek at Federal Station. Open space and recreational opportunities will be an important part of the area’s development. The activity center is expected to enhance the area’s role as a gateway to Southwest Adams County. Planning guidelines for this Area Plan state that the County will discourage land use patterns in transit corridors and around transit stations that may preclude future transit-oriented development. The plan also specifically discourages land consumptive uses related to agriculture or heavy industry such as outdoor storage.

Based on the Adams County Comprehensive Plan’s future land designation and the goals of the County’s Clear Creek Valley Transit Oriented Development Plan, the subject application does not conform to the County’s long-term goals for the region. In addition, the proposed applications may impede future development in the area for high-density mixed-use development with an abundance of open space and recreational options.

Development Standards and Regulations Requirements:

Per Section 3-07-01 of the Adams County Development Standards and Regulations, a conditional use permit is required for recycling facilities in the I-2 and I-3 zone districts. Section 4-10-02-04-09 requires conditional use permits for accessory outdoor storage in excess of ten acres in the I-2 and I-3 zone districts, and for the stacking of materials taller than the height of the required screen fencing. The three applications filed by the applicant are in accordance with these sections.

Chapter 4 of the County’s Development Standards and Regulations sets forth specific performance standards to ensure that uses mitigate negative impacts to surrounding areas by requiring site plans that meet aesthetic and functionality requirements to ensure that the use of a property is not detrimental to or incompatible with the surrounding area.

Section 4-10-02-04-07 of the County's Development Standards and Regulations outlines specific performance standards for the recycling facilities use. These standards require an eight-foot-tall screen or security fence to enclose the outdoor storage. The standards require control plans to abate both nuisance and the traffic. The facility will also be required to maintain recordkeeping detailing amounts and types of material stockpiled at the site

Section 4-10-02-04-09 of the County's Development Standards and Regulations outlines specific performance standards for the outdoor storage use. These standards also require all outdoor storage to be enclosed by a screen fence not to exceed eight feet in height. All outdoor storage shall consist of nonhazardous materials as determined by the Colorado Department of Public Health and Environment. All outdoor storage shall be designed with adequate access areas and shall meet all requirements of the local fire district.

Parking requirements are discussed in Section 4-12 of the Adams County Development Standards. All access driveways and required parking spaces are required to be covered with asphalt or concrete. Loading zones are also discussed in these requirements and shall be designed to prevent queueing of traffic on to public roadways.

The site will be expected to conform to the Adams County Development Standards for landscaping. Per Section 4-16-07, a minimum of 10% of the overall site area (approximately 2.4 acres) shall be designated for landscaping. Of this required landscape area, at least 50% (1.2 acres) is to be located along public roadways. Therefore, the applicant shall be expected to provide a 30-foot-wide streetscape buffer along the portions of the property fronting W. 60th Avenue. An additional 1.2 acres of open landscaped area shall be spread throughout the site.

Per Section 4-13 of the Development Standards, the applicant shall conform to the County's Operational Standards. These regulations prevent nuisance to the surrounding properties. The proposed recycling facility and associated outdoor storage will be expected to conform to these regulations to mitigate lighting, vibration, noise, and dust.

The applicant has submitted a site plan and landscape plan that partially conforms to the performance standards for the use. Overall, the proposed development can be improved to better conform with these standards. Should the Board of County Commissioners indicate that the proposed uses are suitable for the property, staff will recommend a continuance of the request to allow staff more time to ensure compliance with the County's Development Standards and Regulations.

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on July 9, 2020 and voted (5-0) to recommend denial of the requests. The applicant's representative spoke at the meeting and provided additional information regarding the historical timeline of the facility. The PC expressed concerns regarding the applicant's history of noncompliance. Other noted concerns were related to the negative impact that the existing facilities may have on future development. The PC also noted that the proposed use could relocate to another site to be operational. There was no one from the public to speak in favor or in opposition to the request.

Staff Recommendations:

Based upon the application, the criteria for approval of a conditional use permit, and a recent site visit, staff recommends denial of the request with 14 findings-of-fact.

Recommended Findings-of-Fact:

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.
8. The request for outdoor storage is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Development Standards and Regulations.
9. Aesthetic concerns have not been taken into consideration during the site design and placement of the outdoor storage.
10. The request for a recycling facility is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
11. The applicant has not documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
12. The proposed facility will cause significant traffic congestion or traffic hazards.
13. The request is incompatible with the surrounding area.
14. The site will impact health and welfare of the community based upon specific recycling facility design and operating procedures.

PUBLIC COMMENTS

Notices Sent	Number of Responses
162	2

Property owners and residents within 1,500 feet of the site were notified of the subject request. As of writing this report, staff has received two responses regarding the application. ARMOS Investments expressed concern that the proposed use may have a negative impact on the use of

their property. They wished to remain updated on the proposed timeline of the use, if approved. In addition, staff received one comment from Dan Micek in support of the request.

COUNTY AGENCY COMMENTS

Upon receipt of these applications, staff identified concerns that the requested conditional use permits may not be compatible with the surrounding area. Future development surrounding the Clear Creek at Federal Station may be negatively affected by the proposed stockpile heights and outdoor storage. In addition, staff identified that additional landscaping and screening techniques may improve the application. Although compliance with the County's Development Standards is a criterion for approval, it was noted that full conformance with these standards would not remedy the existing concerns regarding compatibility and land use. Rather than ask the applicant to invest further in an application that will not receive a recommendation of approval, staff proposed scheduling the hearing with a recommendation of denial. Should the Planning Commission and Board of County Commissioners determine that the use may be compatible with surrounding area and will not be a detriment to future development, then staff will ask the Board for a continuance on this case to work with the applicant on engineering and landscaping design of the site.

REFERRAL AGENCY COMMENTS

During the referral process, the Tri-County Health Department identified concern with fugitive dust from the proposed facility. No other concerns were noted from those referral agencies that were notified.

Responding with Concerns:

Tri-County Health Department

Responding without Concerns:

Colorado Department of Natural Resources, Division of Water Resources

Colorado Department of Transportation

City of Arvada

Denver Water

Adams County Fire

Regional Transportation District

Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Sheriff

Arvada Fire District

Berkeley Neighborhood Group

Berkeley Sanitation District

Century Link

City of Westminster

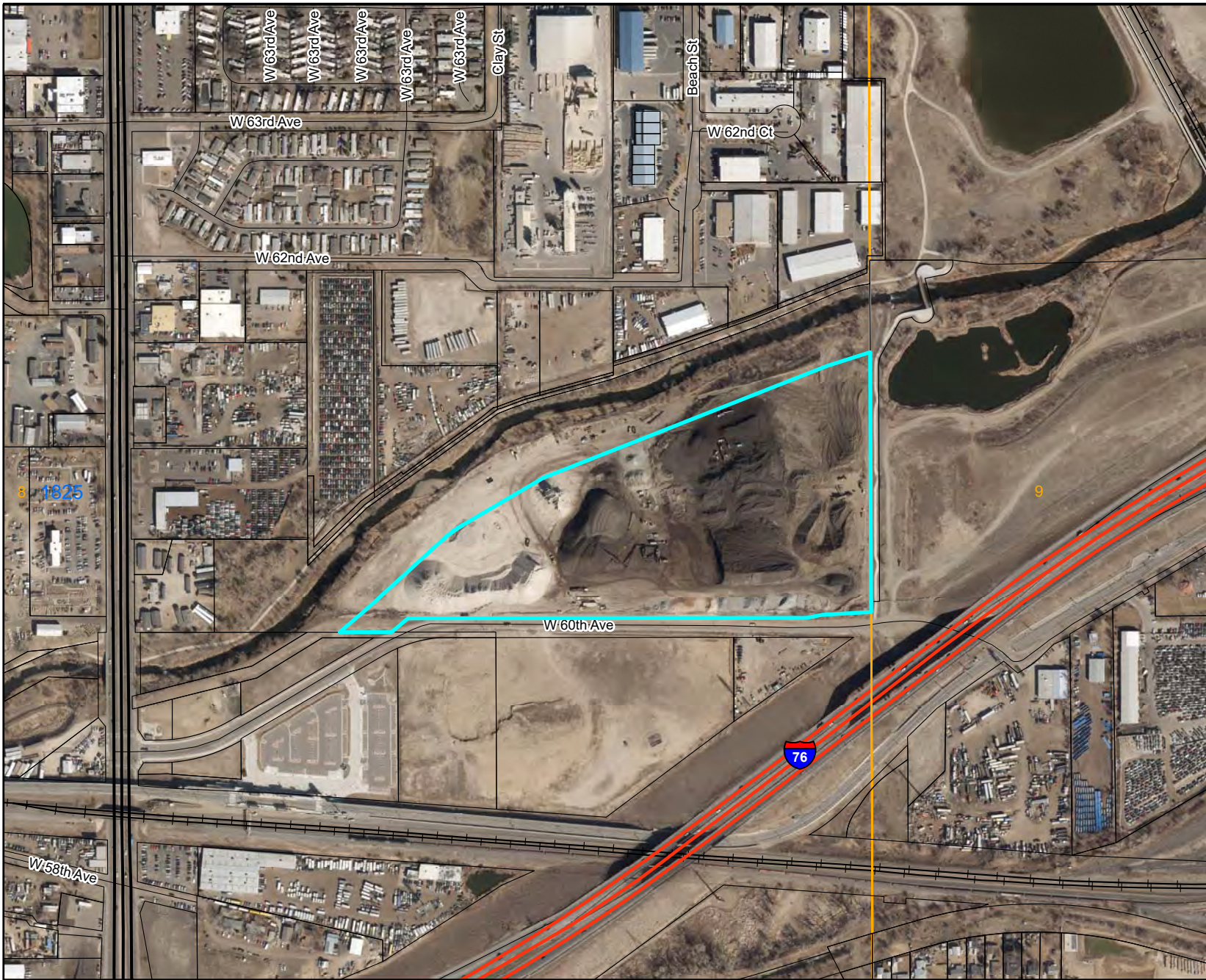
Colorado Geologic Survey

Colorado Division of Mining & Reclamation Safety





Comcast

Crestview Water & Sanitation

Goat Hill Neighborhood
Mapleton School District
Metro Wastewater Reclamation
Mobile Gardens
North Lincoln Water & Sanitation District
North Pecos Water & Sanitation District
Northridge Estates at Gold Run HOA
Pecos Logistics Park Metropolitan District
Perl Mack Neighborhood
Pomponio Terrace Metropolitan District
The TOD Group
Union Pacific Railroad
US Postal Service
US Environmental Protection Agency
Westminster Fire District
Westminster School District #50



Legend

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

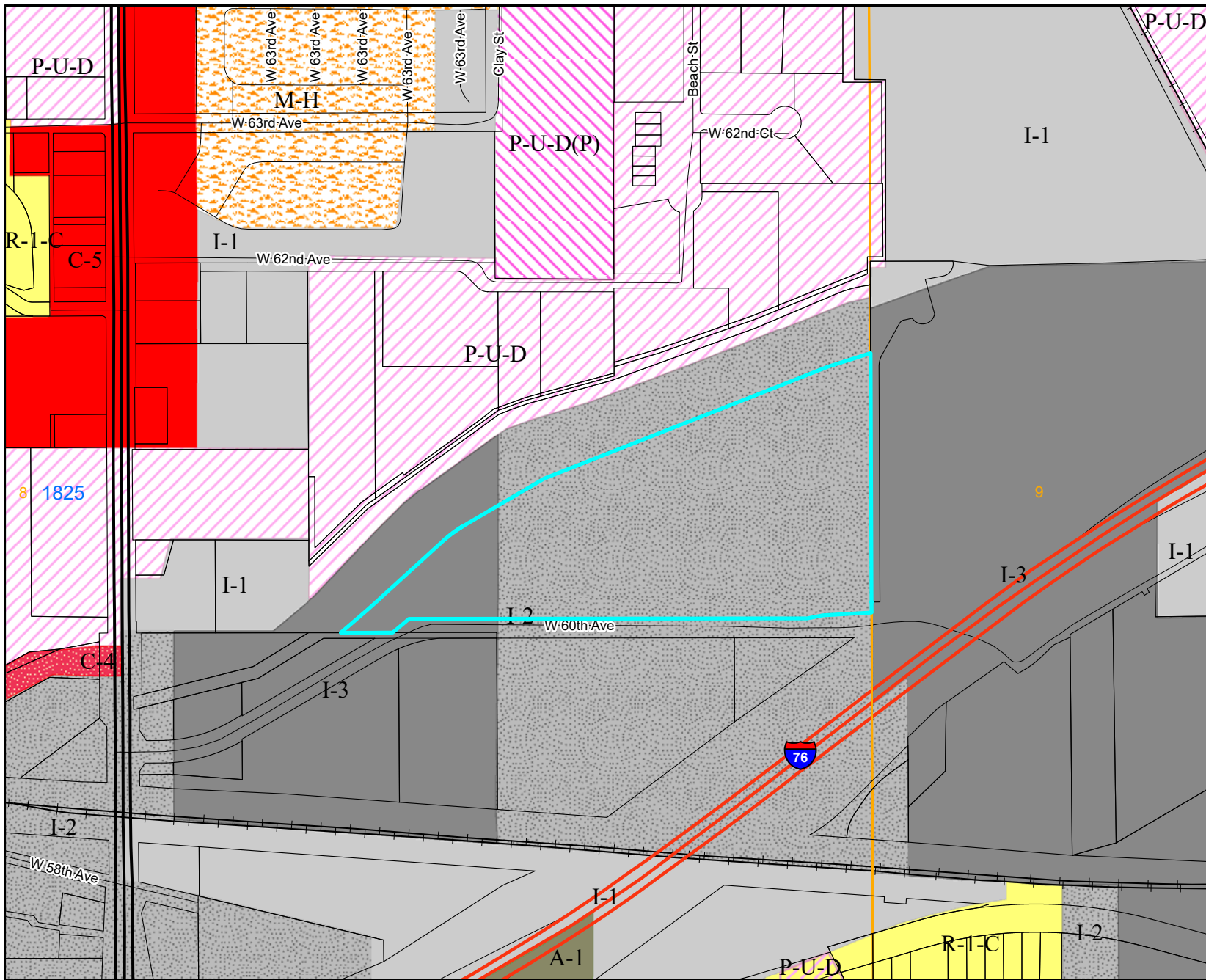
Brannan Sand & Gravel
PRC2019-00020



For display purposes only.

AD. TY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-1
- C-0
- C-2
- C-3
- C-4
- C-5
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- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)

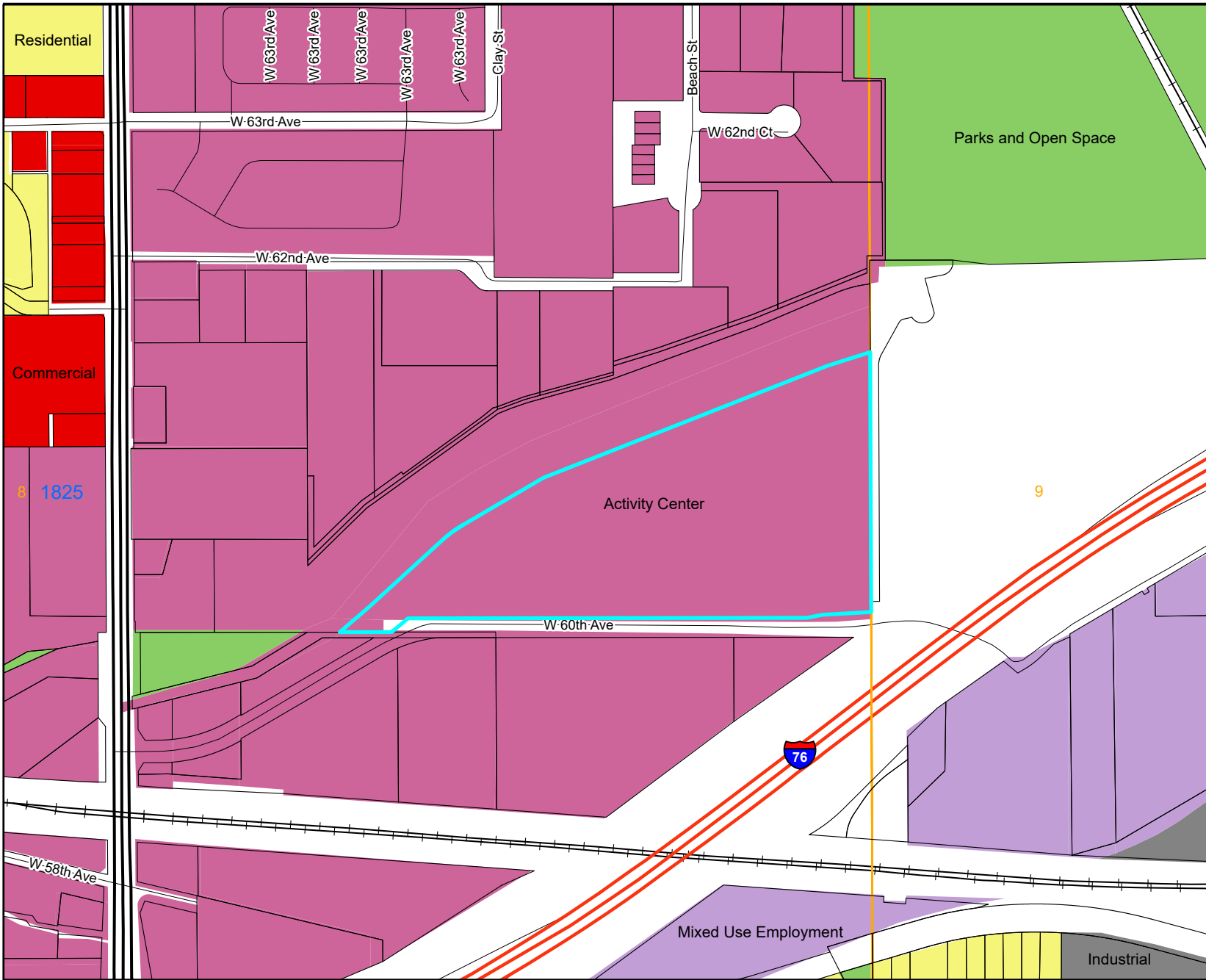
Brannan Sand & Gravel
PRC2019-00020







For display purposes only.

AD TY

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Legend

-  Railroad
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-  Zoning Line
-  Sections

Brannan Sand & Gravel
PRC2019-00020



For display purposes only.

AD. TY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



26 April 2019

Adams County Economic and Community Development
4430 South Adams County Parkway
Brighton, Colorado 80601

Re: Submittal of Land Use Application, Pit 10, 2601 West 60th Avenue

Dear Adams County officials:

On behalf of Pit 10, LLC, please find under this cover an application related to 2601 W. 60th Avenue in unincorporated Adams County.


The Applicant, as Brannan Sand and Gravel, has operated in this area of Adams County for many years, and on the specific subject property for no less than 20 years. The property at 2601 W. 60th Avenue is zoned for industrial use, in the I-2 zone district with a small piece of I-3 zoning at its western edge. Based on Pit 10's recent work with Adams county related to this land – including code enforcement communications and more recently a Conceptual Review Meeting in November 2018 – we agree that formal plan review will alleviate concerns about appropriate site improvements, the scope and timing of transition plans, and the application of County comprehensive plan aspirational goals for the general vicinity.

While the County staff and plans articulate a general desire to redevelop the area, and the Applicant has engaged with experts on this prospect, it is apparent that the regulatory status of 2601 West 60th Avenue as a jurisdictional floodplain is a substantial impediment to any change in the long-term economic use of this site. The site is currently undergoing floodplain analysis, both as part of a larger study of Clear Creek and on a site-specific basis. The immediate site-specific use of the property is under study by ICON Engineering and will be packaged as an Adams County floodplain use permit application as soon as available. The resolution of Clear Creek floodplain mapping is critical to effective long-term grading and drainage plans, as well as identification of riverbank stabilization and channelization opportunities in conjunction with Urban Drainage or other agencies.

The application process for the existing/proposed land use at 2601 West 60th Avenue is intended to define expectations for the immediate future of the site. It is not a redevelopment plan, nor does the Applicant intend to determine the appropriate future use of the property at this time. After careful deliberation, we believe that subdivision and other steps toward redevelopment are most appropriately addressed in a separate process. The current process is directed at assessing compliance with County industrial zoning standards and specifically reviewing operations that will enable and actively manage the transition to future land uses.

It is significant that the site has operated in more or less its present form for many years, with the involvement of Adams County officials along the way. That ongoing use informs our understanding of the terms and application of Adams County regulations, as noted in the attached narrative. But it is more importantly emblematic of Brannan's positive working relationship with the County, which we endeavor to continue. Based on Adams County direction, Brannan has invested nearly \$2 million in grading and material processing work in the last two years, and we have modified operations to reduce stockpile footprint and height. The process envisioned by the enclosed application will allow us to continue in this direction, making operations more compact and compliant with zoning plans.

Thank you in advance for the work of Adams County staff and the boards and commissions.

Sincerely,

Fred Marvel, Manager
for Pit 10, LLC

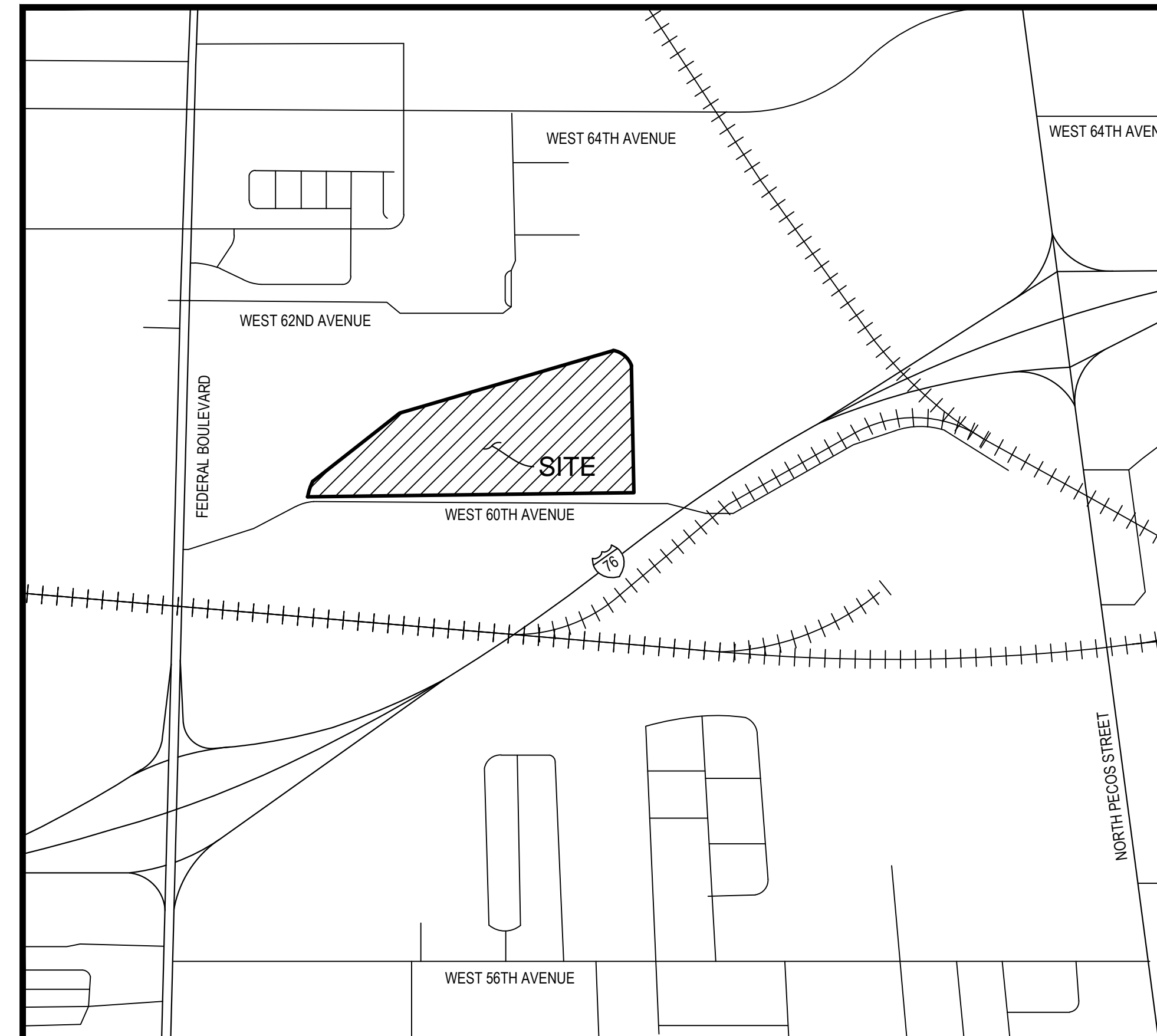
CONDITIONAL USE PERMIT - PIT R

BRANNAN SAND AND GRAVEL
 2601 WEST 60TH AVENUE
 SITUATED IN THE NORTHEAST CORNER OF SECTION 8,
 TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH
 PRINCIPAL MERIDIAN
 COUNTY OF ADAMS, STATE OF COLORADO

PRIVATE IMPROVEMENT CONSTRUCTION PLANS

GENERAL NOTES:

1. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. TO SCHEDULE A PRE-CONSTRUCTION MEETING CONTACT THE ADAMS COUNTY CONSTRUCTION INSPECTOR SUPERVISOR AT 720-523-6965.
2. ALL CONCRETE CURB, GUTTER AND WALK MUST BE POURED MONOLITHICALLY USING 4,500 PSI CONCRETE WITH FIBER MESH.
3. ALL MATERIAL SUBMITTALS MUST BE APPROVED, STAMPED AND SIGNED, BY THE ENGINEER OF RECORD AND, SUBMITTED TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR FOR APPROVAL PRIOR TO CONSTRUCTION/INSTALLATION.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT COPIES OF ALL CONCRETE AND ASPHALT TICKETS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING AND, IS REQUIRED TO SUBMIT ALL TEST RESULTS TO THE ADAMS COUNTY CONSTRUCTION INSPECTOR.
6. THE CONTRACTOR IS REQUIRED TO REMOVE A MINIMUM OF TWO (2) FEET OF EXISTING ASPHALT FOR ALL CURB AND GUTTER REPLACEMENT.
7. ALL UTILITY CUTS IN EXISTING STREETS ARE REQUIRED TO BE BACKFILLED WITH FLOWFILL AND, PATCHED WITH A MINIMUM OF 9-INCH ASPHALT PATCH.
8. A COPY OF THE GEOTECHNICAL REPORT SPECIFYING THE PAVEMENT THICKNESS DESIGN MUST BE SUBMITTED FOR REVIEW.
9. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL UTILITIES. THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE LINEAL FOOTAGES AND THE NUMBER OF SERVICE CUTS REQUIRED FOR ALL UTILITIES.
10. PERMITS WILL BE REQUIRED FOR THE INSTALLATION OF ALL CONCRETE AND ASPHALT FACILITIES. PRIOR TO THE ISSUANCE OF THESE PERMITS, THE DEVELOPER/CONTRACTOR/ENGINEER, MUST SUPPLY THE SQUARE YARDAGE/SQUARE FOOTAGES OF ALL CONCRETE AND ASPHALT BEING INSTALLED.
11. THE SIA MUST BE COMPLETED WITH APPROPRIATE COLLATERAL, ALONG WITH THE PROPOSED PLAT, PRIOR TO THE ISSUANCE OF ANY ROW ACCESS/CONSTRUCTION PERMIT.
12. NO C.O.'S WILL BE ISSUED FOR ANY BUILDING CONSTRUCTION UNTIL ALL ROW IMPROVEMENTS HAVE BEEN COMPLETED AND HAVE BEEN GRANTED PRELIMINARY ACCEPTANCE.
13. UPON COMPLETION OF ALL CONSTRUCTION, A DRAINAGE CERTIFICATION LETTER, AND APPROPRIATE AS-BUILT CONSTRUCTION DRAWINGS AND INFORMATION WILL BE REQUIRED. THIS LETTER WILL BE STAMPED AND SIGNED BY THE ORIGINAL DESIGN ENGINEER.



VICINITY MAP
 SCALE: 1"=600'

BENCHMARK:

PER THE ADAMS COUNTY DATASHEET FOR WEST ADAMS COUNTY DENSIFICATION STATION NAME 95.0244, STATION NUMBER: 0244, A 3-1/4" ALUMINIUM DISK SET IN 6" PVC PIPE W/LOGO CAP, STAMPED "95.0244 1995 3S68W S17" LOCATED SOUTHWEST OF THE INTERSECTION WEST 56TH AVENUE AND ZUNI STREET. ELEVATION 5271.33 NAVD 1988 DATUM.

NOTE:

PUBLIC IMPROVEMENTS SHALL CONFORM TO ADAMS COUNTY STANDARDS AND SPECIFICATIONS AND LATEST EDITION OF COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

LEGEND

- EX STORM INLET
- EX STORM SEWER W/MH
- EX SANITARY SEWER W/MH
- EX WATER
- EX OVERHEAD ELECTRIC
- EX UTILITY POLE
- PROPERTY BOUNDARY
- PR SIDEWALK
- EX CONTOURS
- PR CONTOURS

SHEET INDEX

- 1 COVER SHEET
- 2 EXISTING CONDITIONS SURVEY
- 3 SITE PLAN
- 4 DRAINAGE PLAN
- 5 EROSION CONTROL PLAN
- 6 PARKING PLAN

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

Project: P:\190915\ENGINEERING\CONDITIONAL USE PERMIT\PRIVATE\PRIVATE COVER.DWG Layout: LAYOUT1
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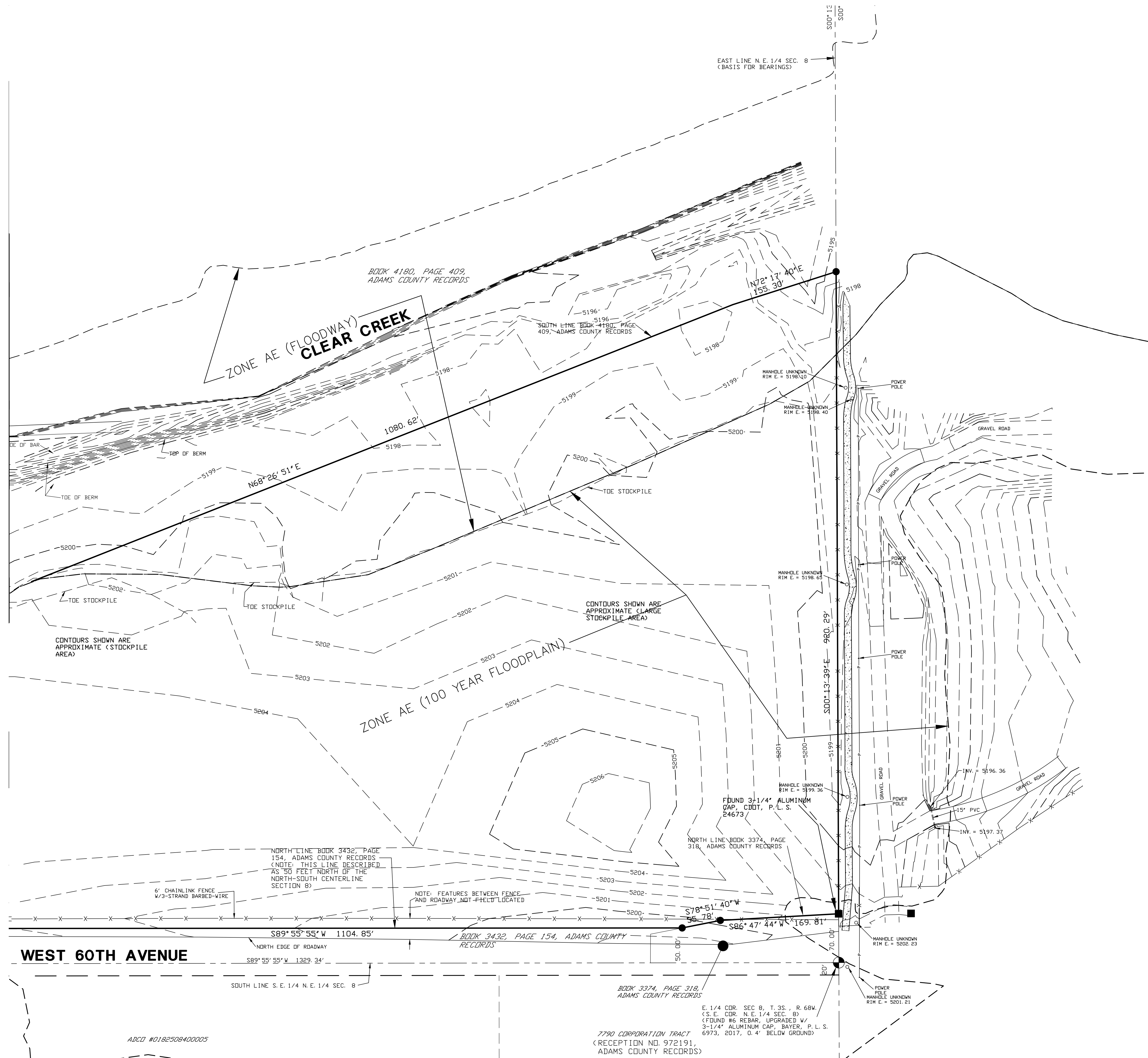


CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DEVELOPER:
 BRANNAN SAND AND GRAVEL COMPANY, LLC
 2500 EAST BRANNAN WAY
 DENVER, CO 80229
 T. 1-303-534-1231

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

ISSUE DATE: 11-25-2019	PROJECT #: 190915
DATE	REVISION COMMENTS



WEST 60TH AVENUE

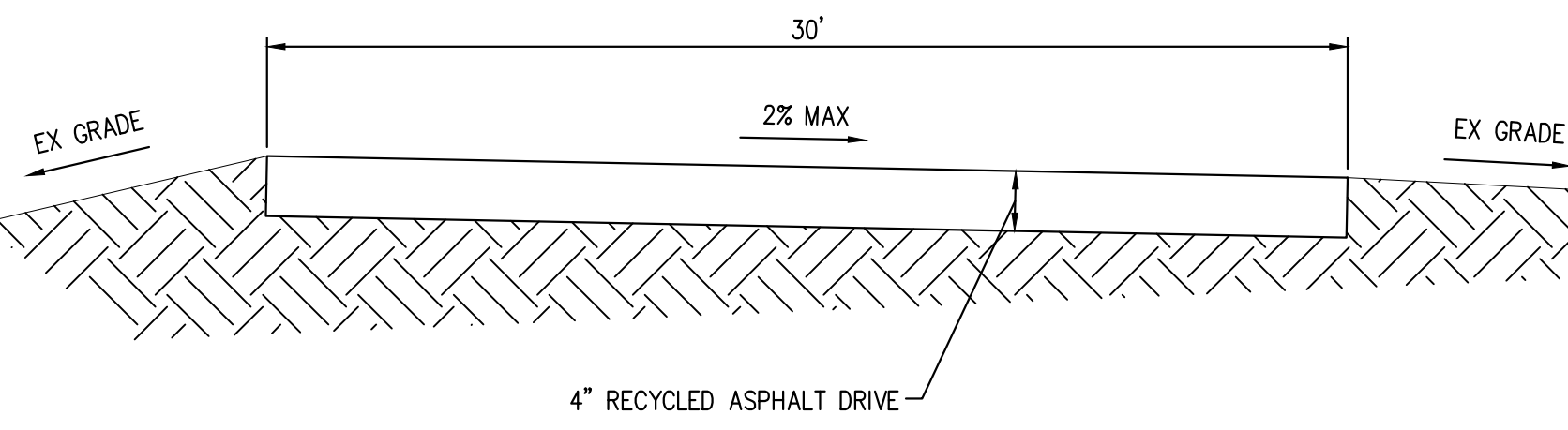
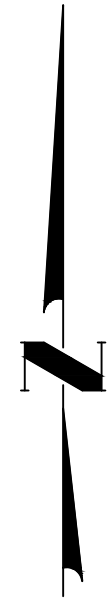
PIT R TOPOGRAPHIC MAPPING

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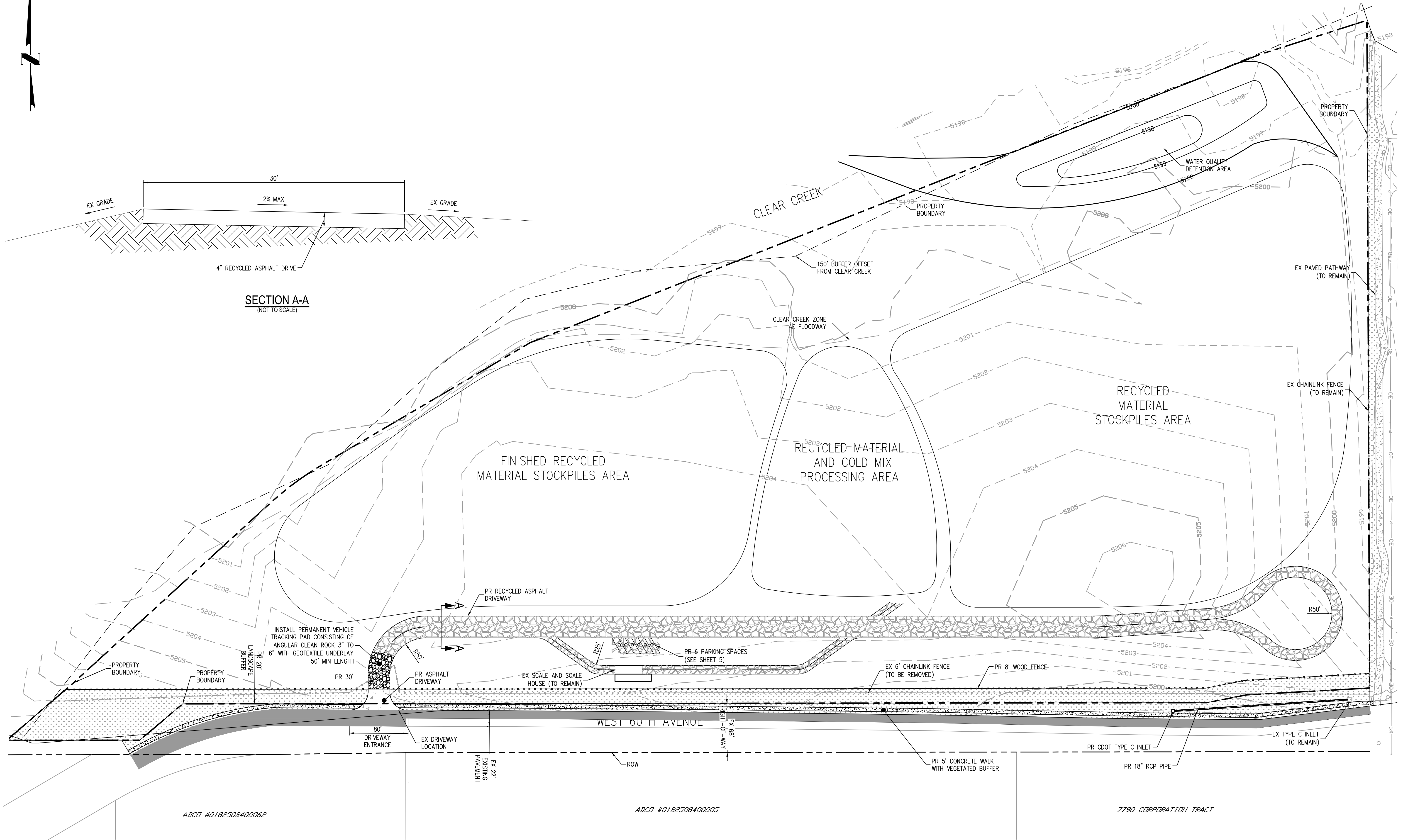
PART OF NORTHEAST ONE-QUARTER OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO.

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 DATE: JULY 18, 2018
 DRW BY: G.A.B.
 OKD BY: R.B.
 PROJ. NO: 2018-134
 BOOK: 698/703
 PAGE: 137/46
 FILE NO: 8-38-218L
 SHEET: 1 OF 1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



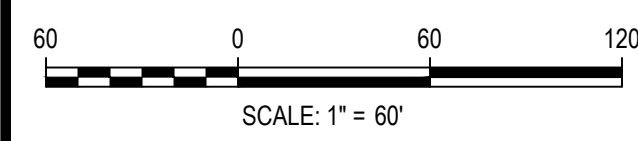
SECTION A-A
(NOT TO SCALE)



ADCD #0182508400062

ADCD #0182508400005

7790 CORPORATION TRACT



HKS HARRIS
KOCHER
SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

BRANNAN SAND AND GRAVEL

CONDITIONAL USE PERMIT - PIT R
SITE PLAN

ISSUE DATE: 11-25-2019	PROJECT #: 190915
DATE	REVISION COMMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

SHEET NO.

3

3 OF 6

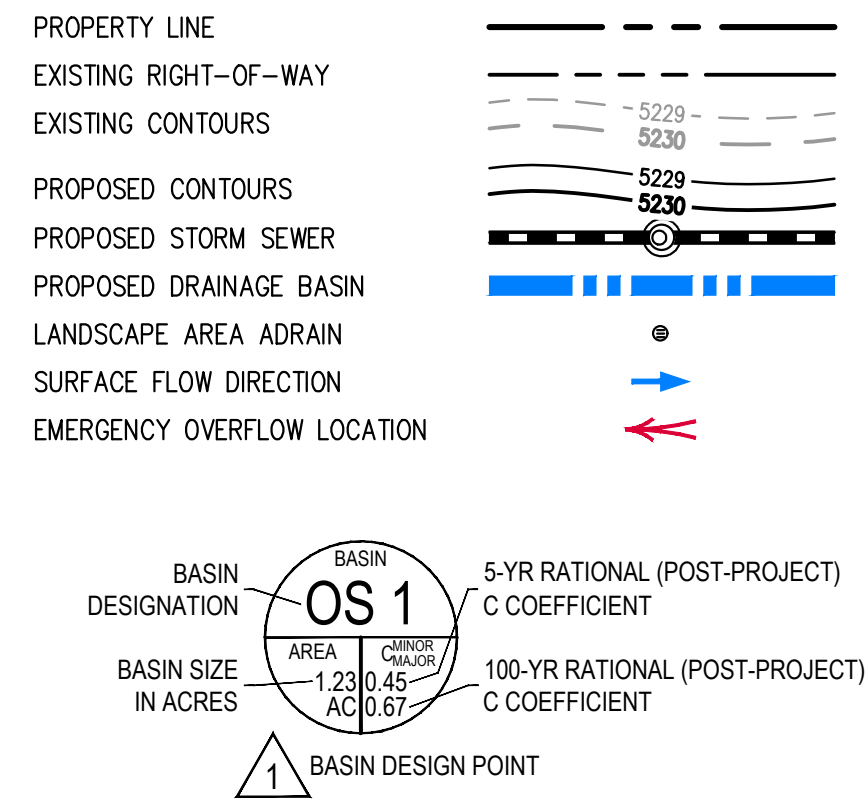
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PLOTTED: MON 05/04/20 3:01:08P BY: MARK WEST

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

DESIGNED BY: DESIGNER
CHECKED BY: REVIEWER
DRAWN BY: DRAFTER

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS-KOCHER SMITH.

LEGEND



RUNOFF SUMMARY TABLE					
BASIN	DESIGN POINT	AREA (AC)	IMPERVIOUS %	Q _s (CFS)	Q ₁₀₀ (CFS)
Road (exist)	1	3.49	12.3	0.39	2.56
Road (prop)	1	3.49	16.9	0.60	3.09
Site (exist)	2	21.18	2.7	0.35	10.18
Site (prop)	2	21.18	2.7	0.35	10.18

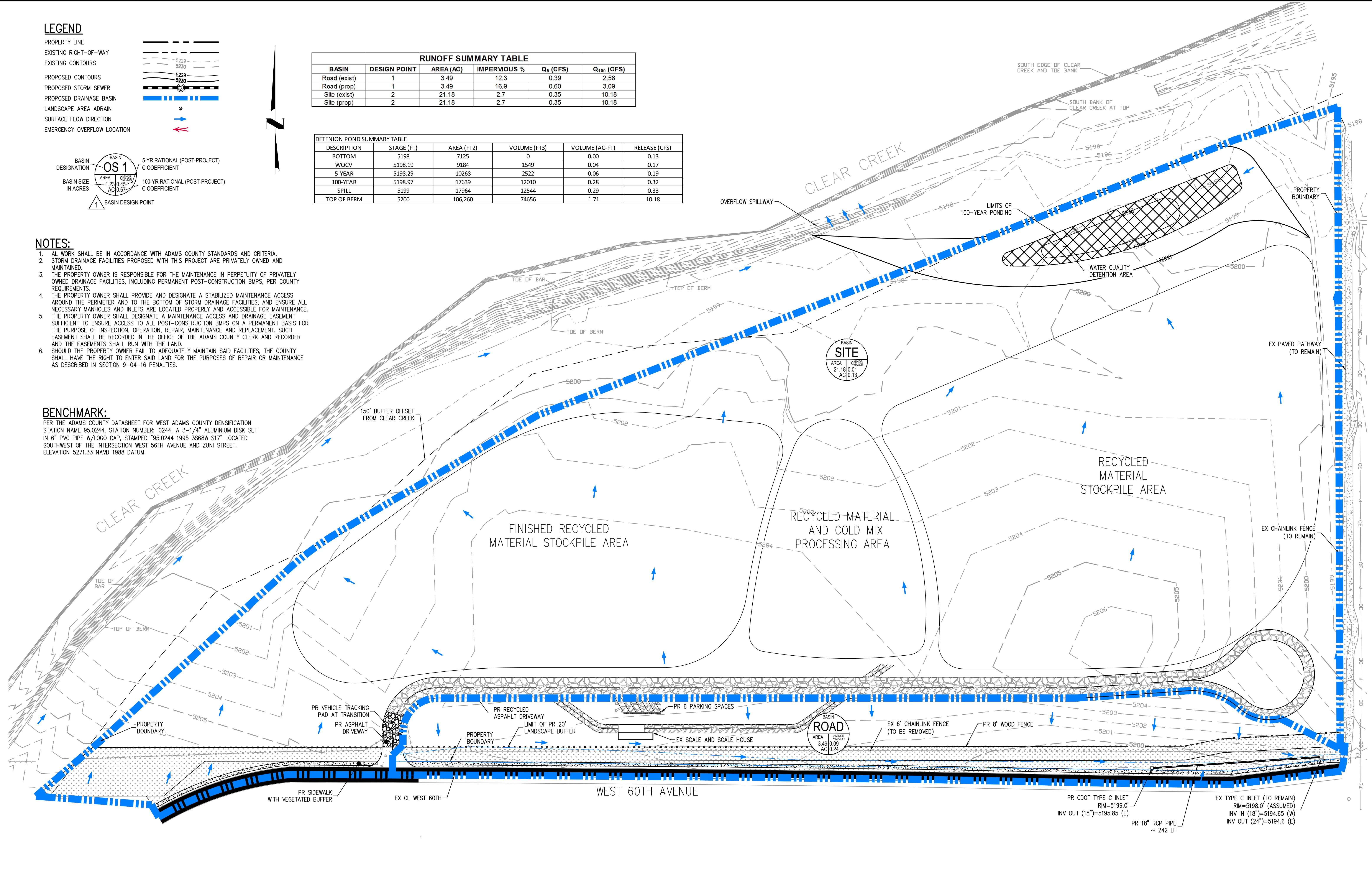
DETENTION POND SUMMARY TABLE					
DESCRIPTION	STAGE (FT)	AREA (FT ²)	VOLUME (FT ³)	VOLUME (AC-FT)	RELEASE (CFS)
BOTTOM	5198	7125	0	0.00	0.13
WQCV	5198.19	9184	1549	0.04	0.17
5-YEAR	5198.29	10268	2522	0.06	0.19
100-YEAR	5198.97	17639	12010	0.28	0.32
SPILL	5199	17964	12544	0.29	0.33
TOP OF BERM	5200	106,260	74656	1.71	10.18

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ADAMS COUNTY STANDARDS AND CRITERIA.
2. STORM DRAINAGE FACILITIES PROPOSED WITH THIS PROJECT ARE PRIVATELY OWNED AND MAINTAINED.
3. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE IN PERPETUITY OF PRIVATELY OWNED DRAINAGE FACILITIES, INCLUDING PERMANENT POST-CONSTRUCTION BMPs, PER COUNTY REQUIREMENTS.
4. THE PROPERTY OWNER SHALL PROVIDE AND DESIGNATE A STABILIZED MAINTENANCE ACCESS AROUND THE PERIMETER AND TO THE BOTTOM OF STORM DRAINAGE FACILITIES, AND ENSURE ALL NECESSARY MANHOLES AND INLETS ARE LOCATED PROPERLY AND ACCESSIBLE FOR MAINTENANCE.
5. THE PROPERTY OWNER SHALL DESIGNATE A MAINTENANCE ACCESS AND DRAINAGE EASEMENT SUFFICIENT TO ENSURE ACCESS TO ALL POST-CONSTRUCTION BMPs ON A PERMANENT BASIS FOR THE PURPOSE OF INSPECTION, OPERATION, REPAIR, MAINTENANCE AND REPLACEMENT. SUCH EASEMENT SHALL BE RECORDED IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER AND THE EASEMENTS SHALL RUN WITH THE LAND.
6. SHOULD THE PROPERTY OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE PURPOSES OF REPAIR OR MAINTENANCE AS DESCRIBED IN SECTION 9-04-16 PENALTIES.

BENCHMARK:

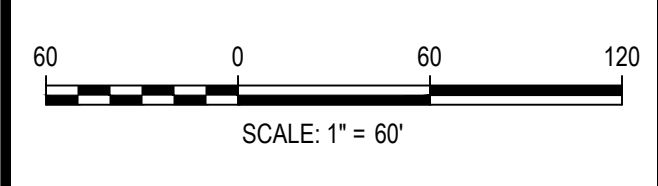
PER THE ADAMS COUNTY DATASHEET FOR WEST ADAMS COUNTY DENSIFICATION STATION NAME 95.0244, STATION NUMBER: 0244, A 3-1/4" ALUMINIUM DISK SET IN 8" PVC PIPE W/LOGO CAP, STAMPED "95.0244 1995 3S68W S17" LOCATED SOUTHWEST OF THE INTERSECTION WEST 56TH AVENUE AND ZUNI STREET. ELEVATION 5271.33 NAVD 1988 DATUM.



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811 Know what's below. Call before you dig.

CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

BRANNAN SAND AND GRAVEL

CONDITIONAL USE PERMIT - PIT R DRAINAGE PLAN

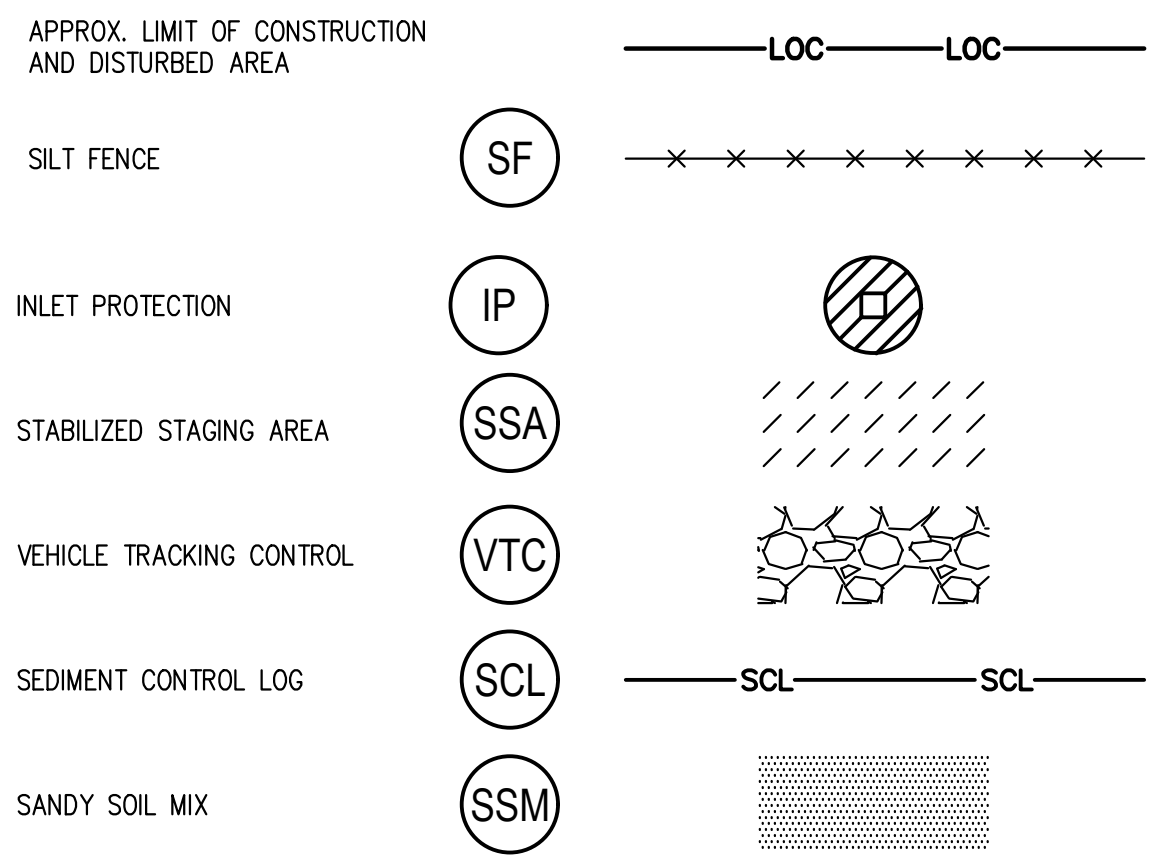
ISSUE DATE: 11-25-2019	PROJECT #: 190915
DATE	REVISION COMMENTS

PRELIMINARY NOT FOR CONSTRUCTION

SHEET NO. **4**
4 OF 6

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

BMP LEGEND:

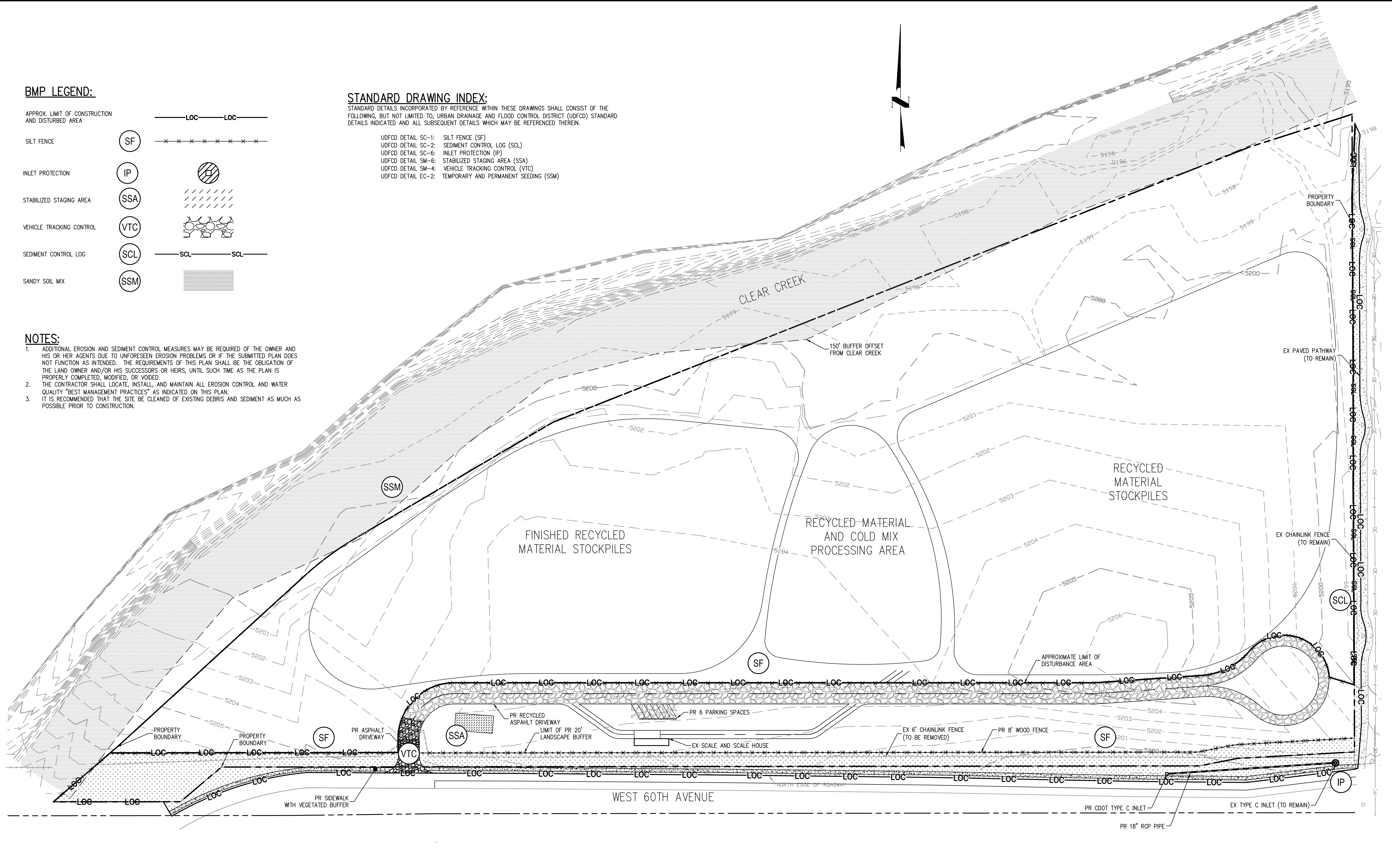


STANDARD DRAWING INDEX:
STANDARD DETAILS INCORPORATED BY REFERENCE WITHIN THESE DRAWINGS SHALL CONSIST OF THE FOLLOWING, BUT NOT LIMITED TO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT (UDFCD) STANDARD DETAILS INDICATED AND ALL SUBSEQUENT DETAILS WHICH MAY BE REFERENCED THEREIN.

- UDFCD DETAIL SC-1: SILT FENCE (SF)
- UDFCD DETAIL SC-2: SEDIMENT CONTROL LOG (SCL)
- UDFCD DETAIL SC-6: INLET PROTECTION (IP)
- UDFCD DETAIL SM-6: STABILIZED STAGING AREA (SSA)
- UDFCD DETAIL SM-4: VEHICLE TRACKING CONTROL (VTC)
- UDFCD DETAIL EC-2: TEMPORARY AND PERMANENT SEEDING (SSM)

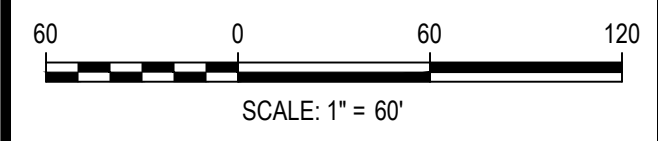
NOTES:

1. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE LAND OWNER AND/OR HIS SUCCESSORS OR HEIRS, UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED.
2. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED ON THIS PLAN.
3. IT IS RECOMMENDED THAT THE SITE BE CLEANED OF EXISTING DEBRIS AND SEDIMENT AS MUCH AS POSSIBLE PRIOR TO CONSTRUCTION.



FILEPATH: P:\190915\ENGINEERING\EROSION CONTROL\DWG_LAYOUT\LAYOUT.LAYOUT
DESIGNED BY: DESIGNER
CHECKED BY: REVIEWER
DRAWN BY: DRAFTER
PLOTTED: MON 05/04/2010 12:28 BY: MARK WEST

811 Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



HKS HARRIS KOCHER SMITH
1120 Lincoln Street, Suite 1000
Denver, Colorado 80203
P: 303.623.6300 F: 303.623.6311
HarrisKocherSmith.com

BRANNAN SAND AND GRAVEL

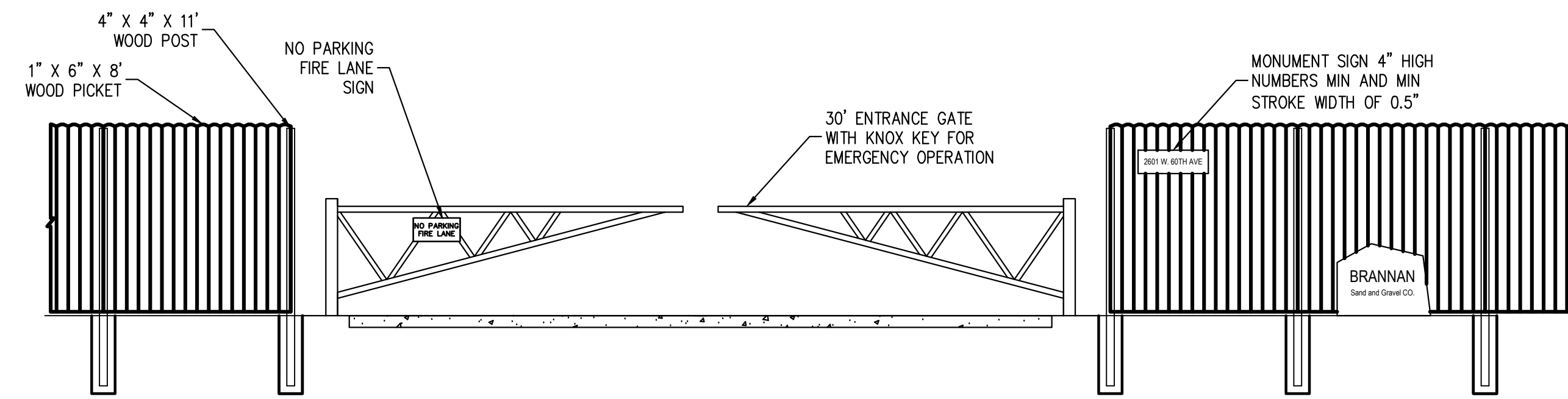
**CONDITIONAL USE PERMIT - PIT R
EROSION CONTROL**

ISSUE DATE: 11-25-2019	PROJECT #: 190915
DATE	REVISION COMMENTS

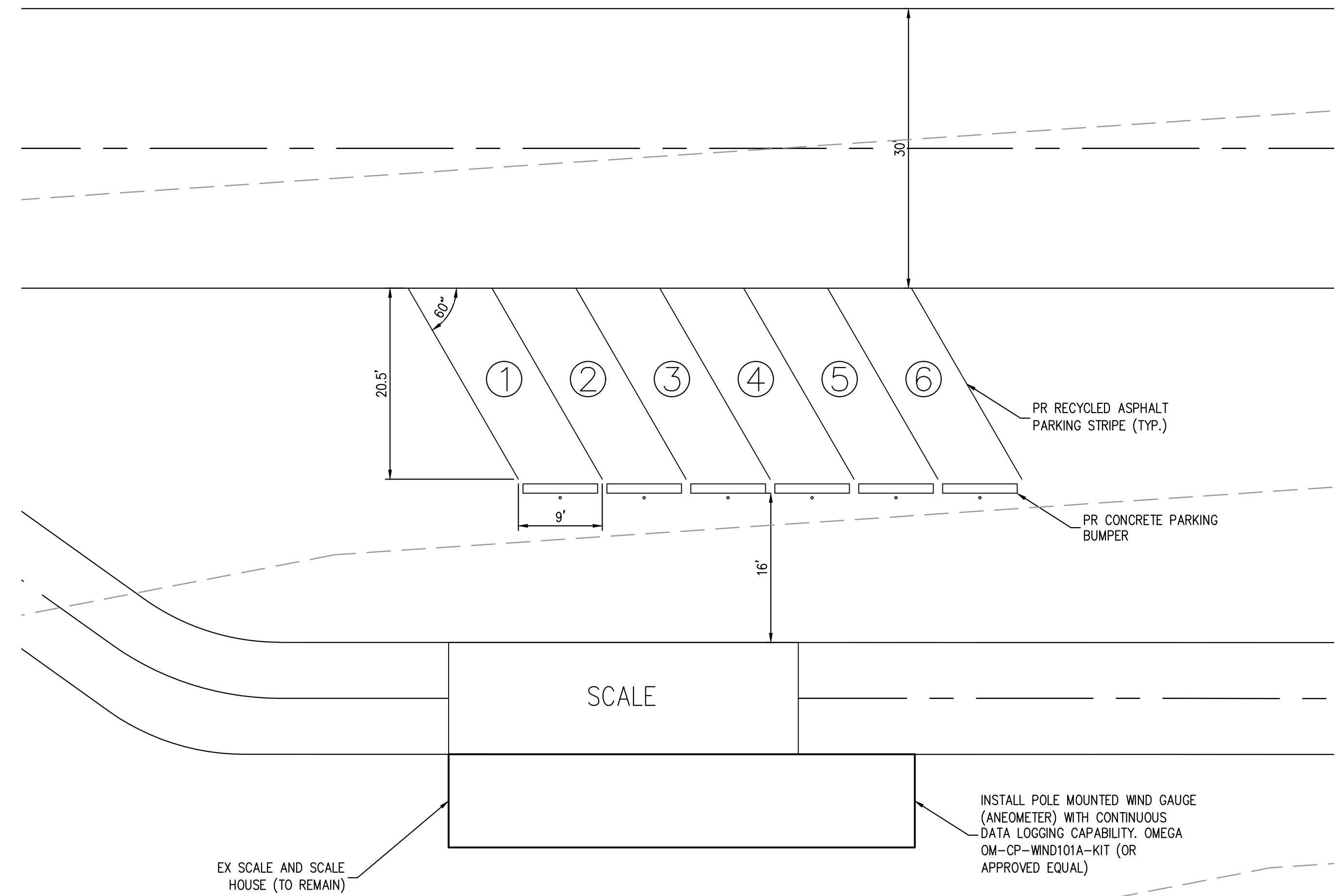
**PRELIMINARY
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CONSTRUCTION**

SHEET NO.
5
5 OF 6

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



FENCING DETAIL
(1"=8')

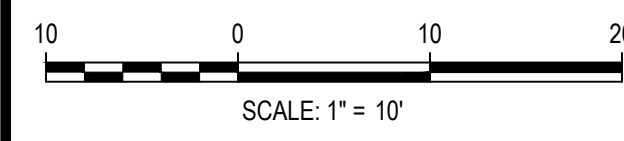


PARKING PLAN
(1"=10')

FILE PATH: P:\190915\ENGINEERING\CONDITIONAL USE PERMIT\PRIVATE\CLUP - PR IMPROVEMENT PLAN.DWG LAYOUT: PR-PARKING
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
PLOTTED: MON 05/04/2019 3:01:28P BY: MARK WEST



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



DESIGNED BY: DESIGNER
CHECKED BY: REVIEWER
DRAWN BY: DRAFTER



BRANNAN SAND AND GRAVEL

CONDITIONAL USE PERMIT - PIT R
PARKING PLAN

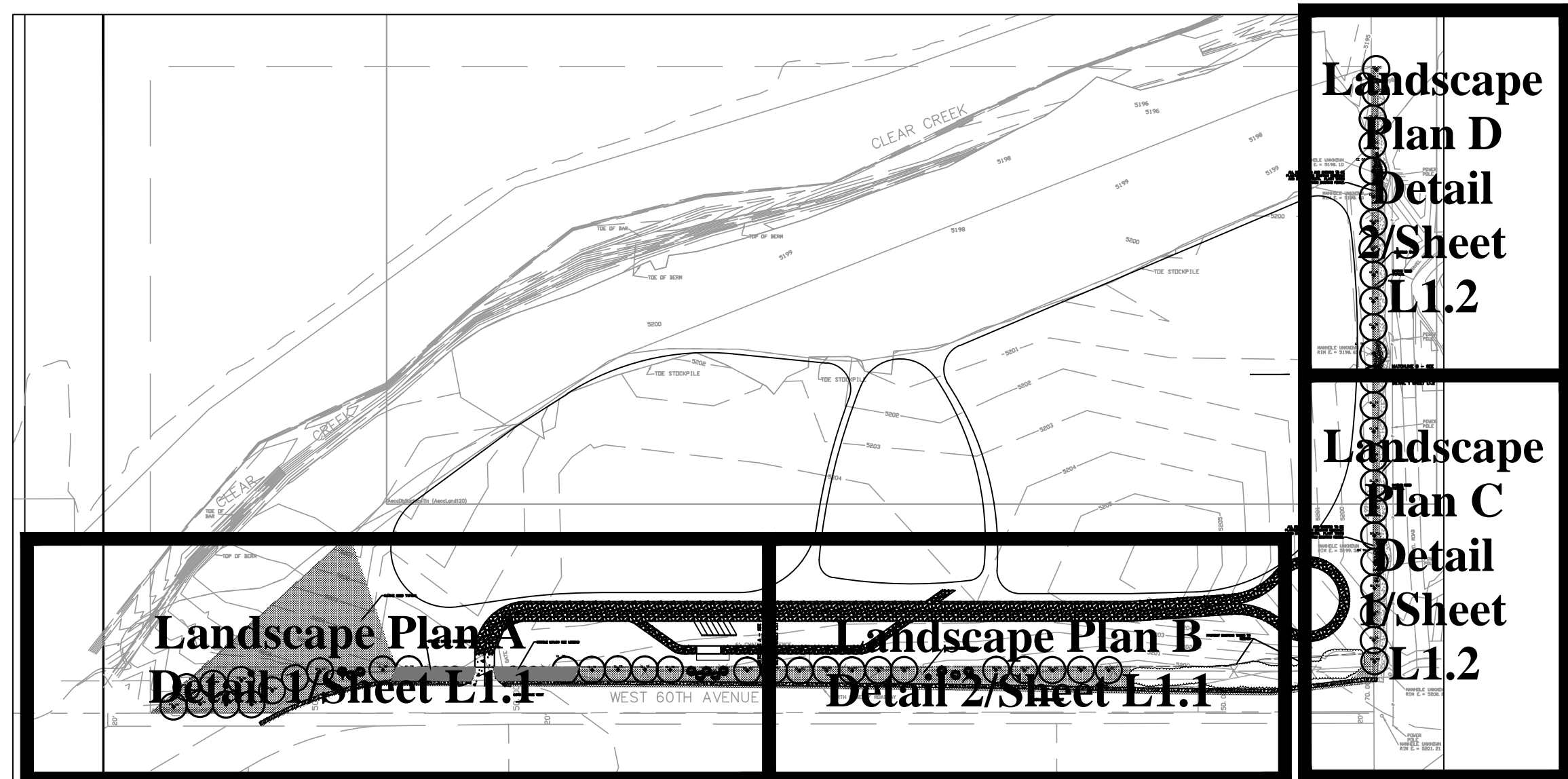
ISSUE DATE: 11-25-2019	PROJECT #: 190915
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SHEET NO.

6

6 OF 6



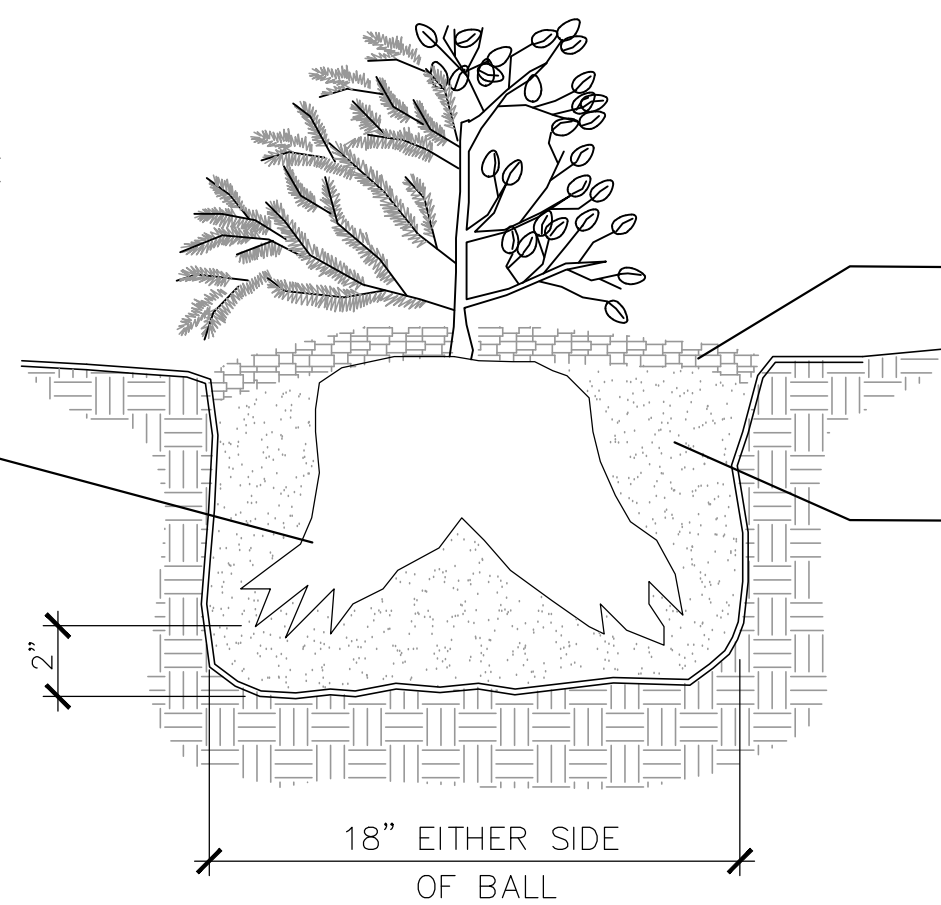
1 OVERALL LANDSCAPE PLAN

Scale: 1"=200'

0 200 400 600
SCALE 1"=200'-0"

EVERGREEN SHRUB
PLACE SPREADING EVERGREEN SHRUBS PERPENDICULAR TO SLOPE OF GROUND. LEAVE ENOUGH SPACE UNDER BRANCHES FOR MULCH. MOUND BACKFILL UNDER ROOTBALL.

REMOVE CONTAINER, SPLIT BOTTOM 1/2 OF BALL, SPREAD AND PLANT



DECIDUOUS SHRUB
PRUNE AS DIRECTED BY LANDSCAPE ARCHITECT. SET SHRUB PLUMB.

MULCH OVER MOUNDED BACKFILL. BUILD A 4" BERM AROUND SHRUB TO CREATE A WATERING BASIN IN NON-IRRIGATED AREAS ONLY.

PREPARED BACKFILL MIXTURE:
1. TWO PARTS NATIVE SOIL FROM PIT EXCAVATION.
2. ONE PART BIO COMP BY A-1 ORGANICS PER SPEC SECTION 32 91 13.
3. MATERIALS TO BE THOROUGHLY BLENDED.

NOTE: ALL PLANTS ARE TO BE NURSERY GROWN STOCK FROM GROWERS LOCATED IN USDA HARDINESS ZONES 1,2,3 OR 4.

2 SHRUB PLANTING DETAIL

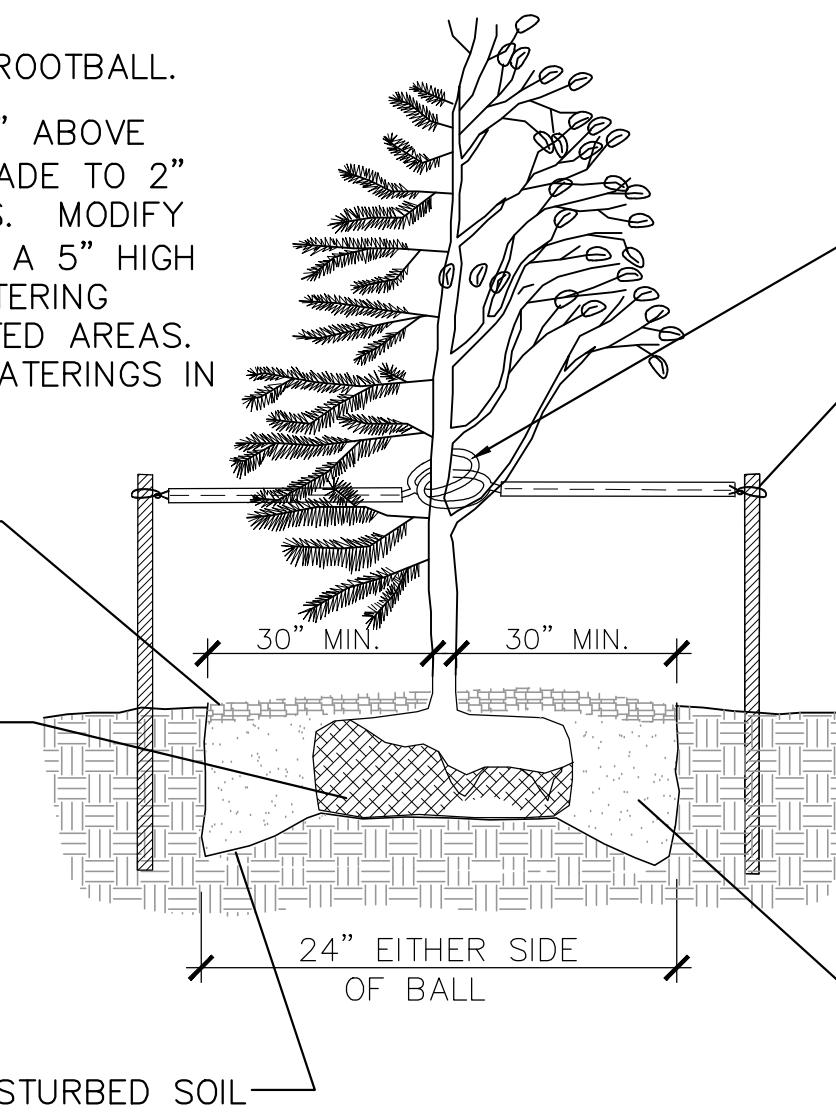
NOT TO SCALE

DIG HOLE TWO TIMES THE SIZE OF THE ROOTBALL.

NOTE: SET ROOT BALL OF ALL TREES 4" ABOVE GRADE IN IRRIGATED AREAS AND AT GRADE TO 2" ABOVE GRADE IN NON-IRRIGATED AREAS. MODIFY IF SOIL CONDITIONS WARRANT. INSTALL A 5" HIGH BERM AROUND TREES TO CREATE A WATERING BASIN. BERM IS TEMPORARY IN IRRIGATED AREAS. REMOVE BERM AFTER TWO THOROUGH WATERINGS IN IRRIGATED AREAS AND MULCH

MULCH FLUSH WITH SOD AT EDGE. PROVIDE 30" MIN. RING FROM EDGE OF BARK TO EDGE OF MULCH

REMOVE BOTTOM 1/3 OF WIRE BASKET. SET TREE IN PIT TO PROPER GRADE AND PLUMB. REMOVE REMAINING WIRE AND TWINE. IF PLASTIC OR TREATED BURLAP, REMOVE AS MUCH AS POSSIBLE AND BACKFILL. IF REGULAR BURLAP, BACKFILL 2/3 OF PIT. REMOVE 1/3 OF BURLAP AND COMPLETE BACKFILL.



DIG HOLE TWO TIMES THE SIZE OF THE ROOTBALL.

PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. DO NOT PRUNE OR DAMAGE CENTRAL LEADER.

WRAP TRUNK FROM GROUND LEVEL TO SECOND BRANCH WITH 4 INCH KRAFT TYPE TREE WRAP. SECURE ENDS WITH FLEXIBLE TAPE.

GUYING SYSTEM:
MIN. 6 FEET LONG HEAVY DUTY WOOD POST STAKES WITH 12 GAUGE GALVANIZED STEEL WIRE GUYS SECURED TO TREE WITH 1" CANVAS STRAP ABOVE FIRST BRANCH. WIRE TO BE TAUT BUT NOT OVER TIGHT. FLAG WIRE WITH 1/2" WHITE PVC PLASTIC PIPE.

CONIFERS TO HAVE 2 STAKES FOR TREES 6 FEET AND LESS. 3 STAKES FOR TREES ABOVE 6 FEET. DECIDUOUS TREES TO HAVE 2 STAKES FOR TREES 2-1/2" CAL. ONE STAKE ALWAYS IN DIRECTION OF PREVAILING WINDS. REMOVE STAKES & GUYS AFTER 1 YEAR.

PREPARED BACKFILL MIXTURE:
1. TWO PARTS NATIVE SOIL FROM PIT EXCAVATION.
2. ONE PART BIO COMP BY A-1 ORGANICS PER SPEC SECTION 32 91 13.
3. MATERIALS TO BE THOROUGHLY BLENDED.

NOTE: ALL PLANTS ARE TO BE NURSERY GROWN STOCK FROM GROWERS LOCATED IN USDA HARDINESS ZONES 1,2,3 OR 4.

3 TREE PLANTING DETAIL

NOT TO SCALE

LEGEND

- DECIDUOUS SHADE TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- 4"-24" BRANNAN SAND AND GRAVEL
NATURAL COLORED RIVER ROCK MULCH OVER GEOTEXTILE FABRIC
- LOW GROW NATIVE SEED MIX, ARKANSAS VALLEY
LOW GROW SEED MIX, AMEND SOIL FOR SEED WITH 3 CY OF A1 ORGANICS SOIL AMENDMENT PER 1,000 SF TILLED IN TO 9" DEPTH. APPLY SEED AT A RATE OF 25 LBS PER ACRE. CONTRACTOR RESPONSIBLE FOR PROVIDING WATER AS REQUIRED UNTIL SEED IS ESTABLISHED.

PLANT SCHEDULE

SYMBOL	Botanical Name COMMON NAME	SIZE
DECIDUOUS TREES:		
GL TR	<i>Gleditsia triacanthos inermis</i> 'Shademaster' SHADEMASTER HONEYLOCUST	2 1/2" B&B
CE OC	<i>Celtis occidentalis</i> WESTERN HACKBERRY	2 1/2" B&B
QU RU	<i>Quercus rubra</i> RED OAK	2 1/2" B&B
PO AN	<i>Populus angustifolia</i> NARROWLEAF COTTONWOOD	2 1/2" B&B
EVERGREEN TREES:		
JU MO	<i>Juniperus monosperma</i> ONE SEED JUNIPER	6" B&B
ORNAMENTAL TREES		
AC GR	<i>Acer grandidentatum</i> BIGTOOTH MAPLE	1 1/2" B&B
DECIDUOUS SHRUBS:		
RH AR	<i>Rhus aromatica</i> 'Grow Low' GROW LOW FRAGRANT SUMAC	#5 Cont.
PR PA	<i>Prunus besseyi</i> 'Pawnee Buttes' CREEPING WESTERN SAND CHERRY	#5 Cont.

GENERAL NOTES:

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE. ANY DAMAGE TO ADJACENT PROPERTY OR UTILITIES, NOT DESIGNATED FOR REMOVAL, RELOCATION OR REPLACEMENT, SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS OR LICENSES REQUIRED FOR THE PERFORMANCE OF THE WORK AS APPLICABLE TO THE PROJECT.
- THE LANDSCAPE ARCHITECT AND/OR OWNER MAKE NO WARRANTY AS TO THE CORRECTNESS AND/OR COMPLETENESS OF THE EXISTING FEATURES SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES INCLUDING WATER, SEWER, STORM DRAINS, GAS TRANSMISSION LINES, AND OTHER UTILITIES ABOVE AND BELOW THE SURFACE THAT MAY AFFECT THE PROJECT. SHOULD DISCREPANCY OR CONFLICT BE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, AND SHALL NOT CONTINUE CONSTRUCTION UNTIL SAID CONFLICT CAN BE RESOLVED IN WRITING.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES.
- ANY CONSTRUCTION DEBRIS OR MUD-TRACKING IN THE PUBLIC RIGHT-OF-WAY RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN AND OTHER DEVICES NECESSARY TO PROVIDE FOR THE PUBLIC SAFETY ON AND ABOUT THE SITE. THE CONTRACTOR SHALL FURNISH APPROPRIATE TRAFFIC CONTROL AND SAFETY MEASURES IN ACCORDANCE WITH AURORA PUBLIC SCHOOLS REQUIREMENTS.
- CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT BOTH ON SITE AND ADJACENT PROPERTY. AREAS OUTSIDE THE LIMITS OF WORK AS SHOWN ON THE PLANS SHALL REMAIN UNDISTURBED. ANY ITEMS NOT INTENDED FOR DEMOLITION MUST BE PROTECTED. ANY DAMAGE WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REMOVE ALL DEBRIS FROM DEMOLITION OPERATIONS ON A DAILY BASIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEYING, LAYOUT AND STAKING OF ALL IMPROVEMENTS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION OF IMPROVEMENTS. DISCREPANCIES TO THE BASE INFORMATION SHALL BE BROUGHT TO THE PROJECT MANAGER'S ATTENTION FOR A DECISION PRIOR TO COMMENCING WITH THE WORK. NOTIFICATION OF REQUEST FOR FIELD REVIEW SHALL BE MADE A MINIMUM OF 24 HOURS IN ADVANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT MANAGER IF ANY SIGNIFICANT INCONSISTENCIES BETWEEN THE EXISTING CONDITIONS AND THESE PLANS ARE DISCOVERED.
- ALL CONSTRUCTION SHALL CONFORM WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF ADAMS COUNTY.
- THE APPLICANT AGREES TO MAINTAIN PLANTINGS AND OTHER PROPOSED LANDSCAPE IMPROVEMENTS SHOWN ON THIS PLAN WITHOUT REGARD TO LOCATION INSIDE OR OUTSIDE PUBLIC RIGHT-OF-WAY. TO THE EXTENT THAT PLANTINGS ULTIMATELY RESIDE IN THE PUBLIC RIGHT-OF-WAY, THE APPLICANT AGREES TO INCORPORATE MAINTENANCE INTO A DEVELOPMENT AGREEMENT OR OTHER APPROPRIATE INSTRUMENT AT ADAMS COUNTY'S DISCRETION.
- THE APPLICANT AGREES TO ESTABLISH AND MAINTAIN VEGETATION THROUGH HAND-WATERING, DELIVERED BY THE APPLICANT'S WATER TRUCK.

SUMMARY OF ADAMS COUNTY LANDSCAPE REQUIREMENTS

4-16-07 REQUIRED LOT LANDSCAPING
TOTAL LOT AREA: 1,019,598 S.F.
MINIMUM LANDSCAPE AREA 10% OF THE LOT AREA: 101,959 S.F. LANDSCAPING PROVIDED: 102,110 S.F.

4-16-07-01 STREET FRONTAGE LANDSCAPING
ALONG WEST 60TH AVENUE: 1900 L.F.
TREES REQUIRED: 48, PROVIDED: 48
SHRUBS REQUIRED: 96 PROVIDED : 96
ALONG PUBLIC TRAIL TO EAST 921 L.F.
TREES REQUIRED: 23, PROVIDED: 23
SHRUBS REQUIRED: 46, PROVIDED: 46

PRELIMINARY FOR ILLUSTRATIVE PURPOSES ONLY

FILEPATH: C:\DATA\2019\PROJECTS\2019-31 BRANNAN PIT R.DRAWINGS\2019-31 BRANNAN PIT R. LANDSCAPE PLAN.DWG LAYOUT: L1.0
PLOTTED: TUE 11/26/19 2:45:39P BY: KURT



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DESIGNED BY: KJM
CHECKED BY: KJM
DRAWN BY: KJM



BRANNAN SAND AND GRAVEL COMPANY, LLC

PIT-R CONDITIONAL USE PERMIT
LANDSCAPE NOTES, DETAILS AND LEGEND

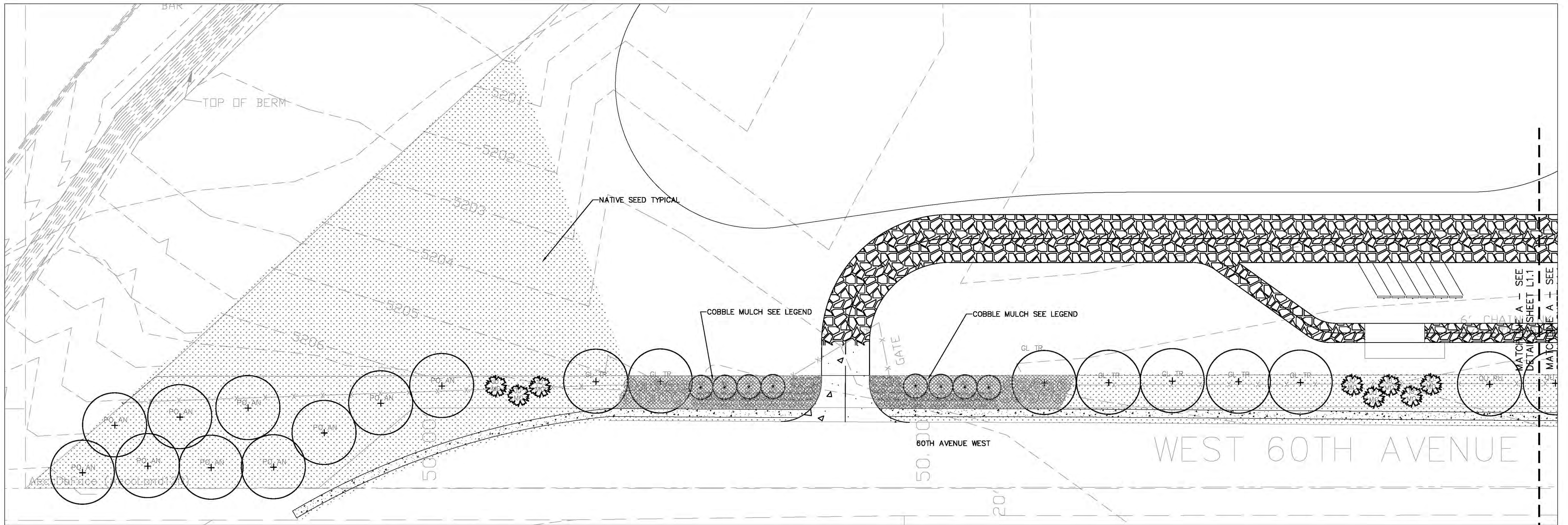
ISSUE DATE: 11/25/19	PROJECT #: 190915
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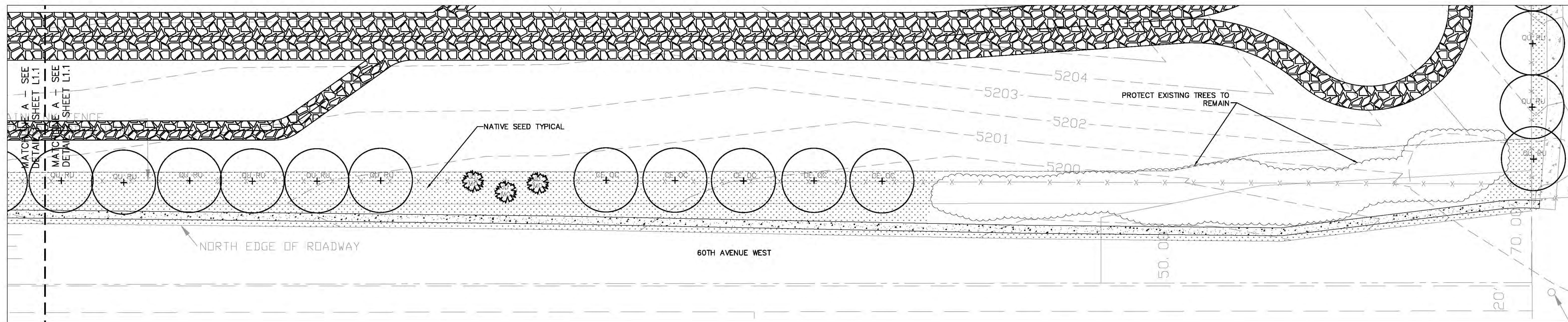
SHEET NO.

L1.0

01 OF 03



1 LANDSCAPE PLAN -A- ENLARGEMENT
 Scale: 1"=30'
 SCALE 1"=30'-0"



2 LANDSCAPE PLAN -B- ENLARGEMENT
 Scale: 1"=30'
 SCALE 1"=30'-0"

PRELIMINARY FOR ILLUSTRATIVE PURPOSES ONLY

FILEPATH: C:\DATA\2019 PROJECTS\2019-31 BRANNAN PIT-R DRAWINGS\2019-31 BRANNAN PIT-R LANDSCAPE PLAN.DWG LAYOUT: L1.1
 PLOTTED: TUE 11/28/19 2:45:59P BY: KURT

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DESIGNED BY: KJM
 CHECKED BY: KJM
 DRAWN BY: KJM

HKS HARRIS KOCHER SMITH
 1120 Lincoln Street, Suite 1000
 Denver, Colorado 80203
 P: 303.623.6300 F: 303.623.6311
 HarrisKocherSmith.com

BRANNAN SAND AND GRAVEL COMPANY, LLC

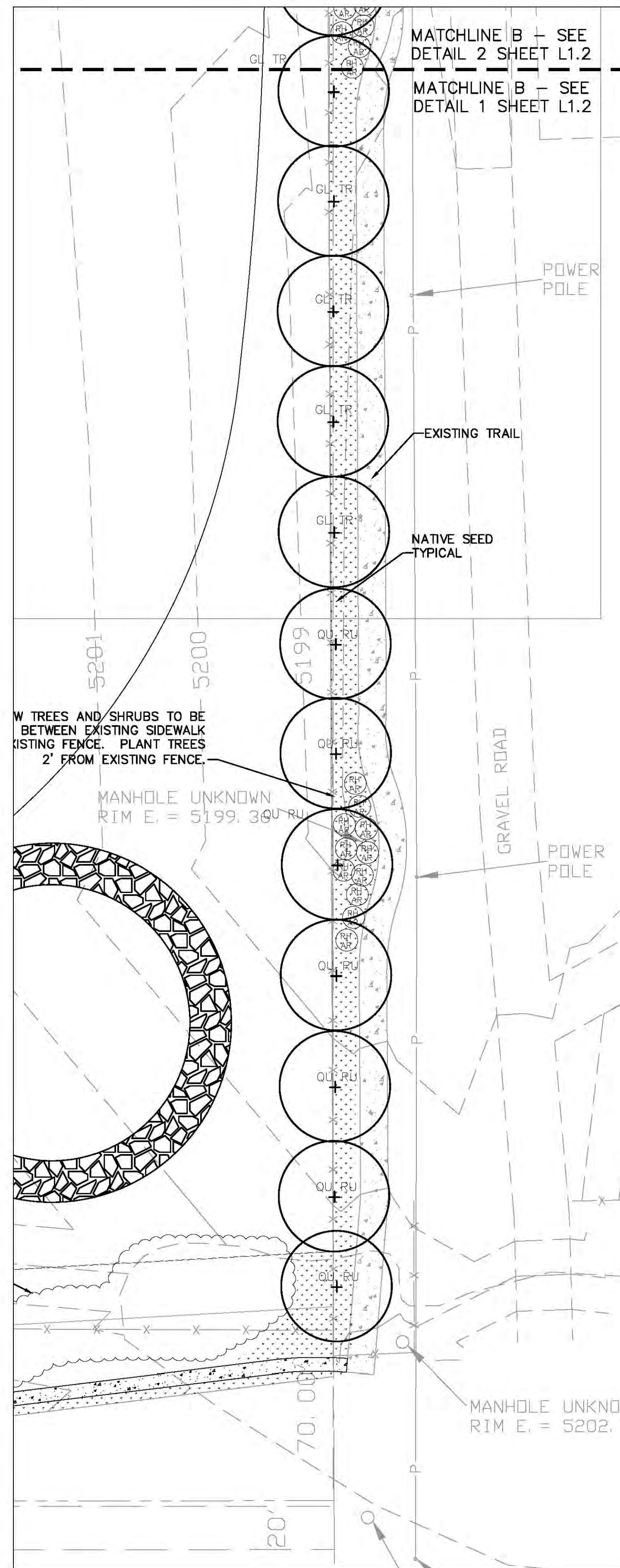
PIT-R CONDITIONAL USE PERMIT
 LANDSCAPE PLAN ENLARGEMENTS

ISSUE DATE:	PROJECT #:
11/25/19	190915
DATE	REVISION COMMENTS

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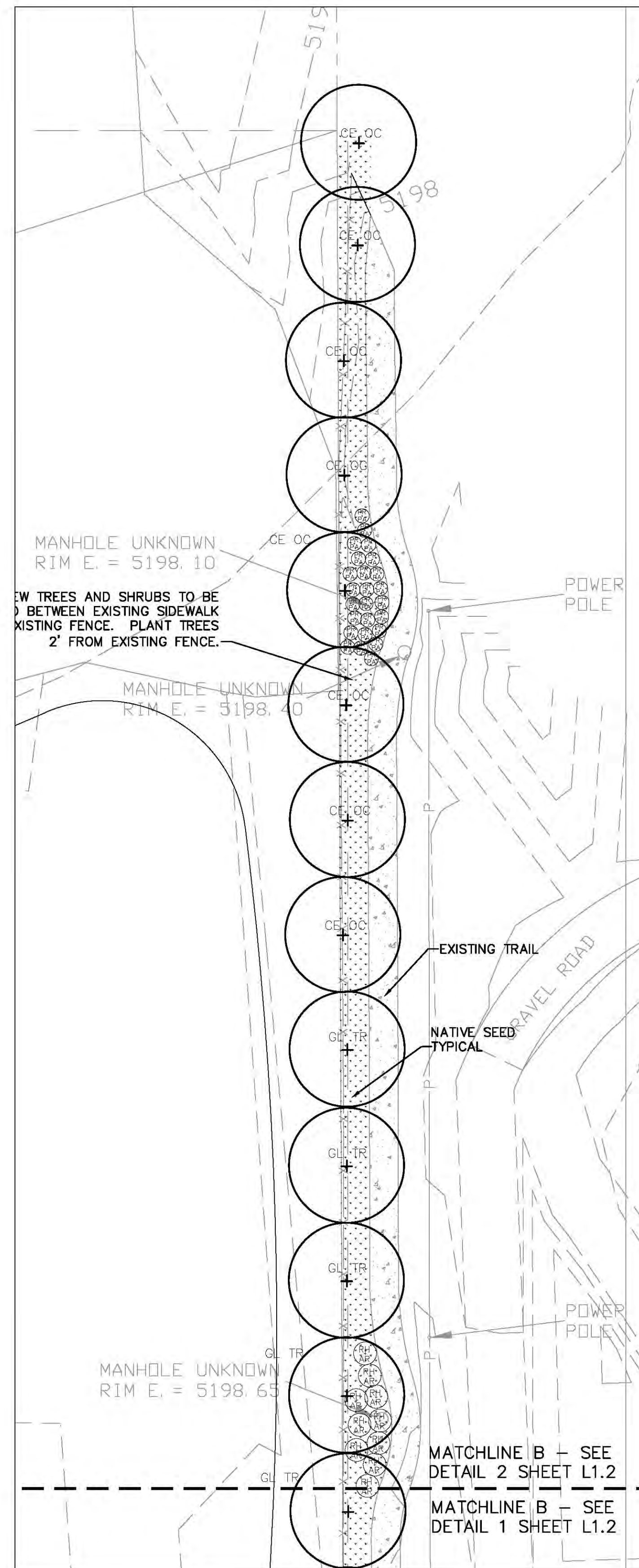
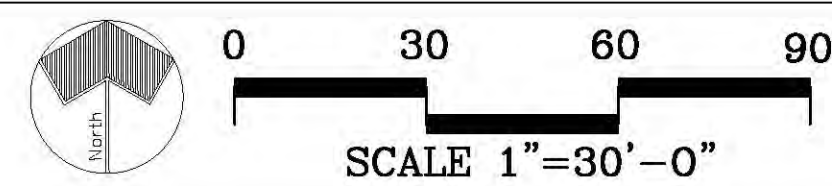
SHEET NO.
L1.1
 02 OF 03

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 PLOTTED: TUE 11/25/19 2:46:08P BY: KURT



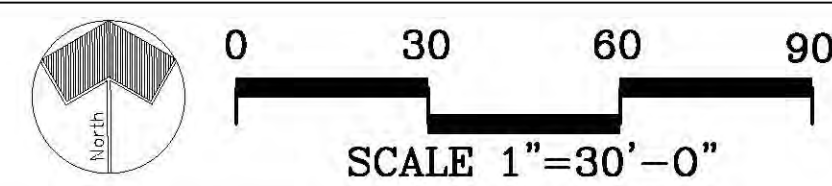
1 LANDSCAPE PLAN -C- ENLARGEMENT

Scale: 1"=30'



2 LANDSCAPE PLAN -D- ENLARGEMENT

Scale: 1"=30'



PRELIMINARY FOR ILLUSTRATIVE
PURPOSES ONLY



CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE,
OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER
UTILITIES.

DESIGNED BY: KJM
CHECKED BY: KJM
DRAWN BY: KJM



BRANNAN SAND AND GRAVEL COMPANY, LLC

PIT-R CONDITIONAL USE PERMIT
LANDSCAPE PLAN ENLARGEMENTS

ISSUE DATE: 11/25/19	PROJECT #: 190915
DATE	REVISION COMMENTS

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SHEET NO.

L1.2

03 OF 03



Development Review Team Comments

Date: 6/8/2020

Project Number: PRC2019-00020

Project Name: Brannan Sand & Gravel (Pit R)

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 06/08/2020

Email: gjbarnes@adcogov.org

Complete

PLN01: Landscape plans were submitted with the original application, but no landscape plan was submitted with the resubmittal package. Even with the addition of landscaping, it is unlikely that this use will be appropriate for the area, based on Criterion #4 regarding compatibility. The best path forward may be scheduling the case for public hearing.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 05/22/2020

Email: glabrie@adcogov.org

Complete

ENG1: The applicant will be required to complete and submit the Adams County construction permit application (INF) along with the supporting engineering documents for the proposed site improvements and right-of-way improvements. The construction permit must be reviewed and approved by Development Engineering before construction can begin.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 05/21/2020

Email:

Complete

The following are a list of potential conditions, if approved:

The applicant shall install a wind gauge, such as an anemometer, in the vicinity of crushing operations to monitor wind speeds and shall cease dust generating activities when wind speeds exceed a sustained 25 mph or gusts exceed 35 mph. Records of operation shutdown due to high winds shall be maintained and made available to Adams County upon request.

Fugitive dust control measures as prescribed within the facility's Air Pollutant Emission Notice permit as issued by CDPHE, must be in place and functioning at all times. There must be no off-property transport of visible emissions nor shall visible dust emissions exceed 20% opacity.

The applicant shall install sediment control BMPs along the site access and use a sweeper as frequently as necessary to prevent tracking and offsite transport of mud and dirt from the facility onto the public right of way.

The applicant has agreed as a condition of the permit to conduct semi-annual noise monitoring and airborne dust monitoring while crushing and recycling operations are active. Noise and air monitoring results shall be provided to the Director of Community and Economic Development within seven days of receiving monitoring results.

Aboveground petroleum storage tanks used for equipment fueling must be placed within secondary containment and meet applicable fire code requirements.

If fuel will be stored on this site:

- All fuel storage at this site shall be provided with secondary containment, which complies with State of Colorado Oil Inspection Section Regulations; and
- Fueling areas shall be separated from the rest of the site's surface area, and protected from storm water; and
- Applicant shall make available for review by the County its Spill Prevention, Control, and Countermeasures Plan.

All fluid spills such as hydraulic and oil from maintenance of equipment, shall be removed and disposed of at a facility permitted for such disposal.

Planner Comments

Case Manager: Greg Barnes

PLN01: There are three applications being submitted: Conditional use permit to allow recycling operations in the I-2 and I-3 zone districts, conditional use permit to allow accessory outdoor storage in the I-2 and I-3 zone districts, and conditional use permit to allow stacking of material over the height of fencing.

PLN02: The subject property is located within a future land use designation as "Activity Center". This designation is intended for a future land use that will accommodate a very high intensity office, residential, and commercial uses. These areas shall provide allowances for pedestrian and bicycle transportation that will promote transit uses. The proposal of recycling operations and outdoor storage is inconsistent with the County's Comprehensive Plan.

PLN03: The area is nearby a commuter rail station and the proposal may have substantial impacts on the future development of the surrounding area. Recycling operations may create off-site impacts that may also be detrimental to the surrounding neighborhood and its future development.

PLN04: Although staff may be unlikely to support this use, the chances for approval by the Board of County Commissioners will be increased if off-site impacts are strongly mitigated. We can brainstorm at the upcoming RCC on how the application can be enhanced.

PLN05: Please provide an elevation drawing of the proposed 8' wood fence.

PLN06: At the upcoming RCC, there should be further discussion of vehicle tracking onto public roadways and overall truck traffic volumes.

PLN07: It is recommended that staff and the applicant continue to assess a reduction of the proposed height of materials.

PRC2019-00020; Brannan Sand & Gravel Pit R

Request: CUP's for recycling operations, outdoor storage, and over fence height stacking of material.

Address: 2601 W 60th Avenue

CLU/FLU: I-2/ Activity Center

Plans:

SW Area Framework Plan

- Policy 14.1 Promote Clean Industrial Uses; Encourage development and redevelopment of a range of industrial uses in the Southwest Area, with particular emphasis on new clean and/ or light industrial uses.

Balanced Housing Plan- N/A

Clear Creek Valley TOD Plan (see attached maps)

Goal – Clear Creek at Federal Station

The vision for the Clear Creek at Federal Station is to create a new, vibrant, transit-oriented community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the new Village Center will serve the needs of the existing community and maintain the area as an employment center for Adams County.

Station Area Goals:

Maintain and enhance existing commercial corridors

Create new connections with surrounding residential and commercial areas Revitalize older commercial and industrial areas

Encourage mixed use development

Promote sustainable development

Enhance area's role as a gateway to Southwest Adams County

Maintain and enhance existing residential neighborhoods

Improve open space and recreational opportunities

Revitalize vacant and underutilized land

TOD and Rail Station Area Planning Guidelines

- Policy: Ensure that development patterns are compatible with both the established character of the county and the new framework provided in Station Area Plans.
 - o S4. The County will discourage land use patterns in transit corridors and around transit stations that may preclude future Transit Oriented Development.
- Policy: Development intensity and density should be significantly higher in Station Areas to provide a base for a variety of housing, employment, local services and amenities that promote transit usage, encourage pedestrian activity and support a vibrant station area community.
 - o #7 Discourage low-intensity, land consumptive uses related to agriculture or heavy industry such as outdoor storage or construction staging.

Federal Blvd Framework Plan

8. Corridor Planning should address potential Federal Boulevard blight conditions and recommend improvements in visual character. The addition of pedestrian-oriented improvement to the Right-of-Way is critical in providing better accommodations for non-motorized corridor transportation. Additionally, streetscape planting should be incorporated throughout the corridor with a focus on shade trees along the east and west sides of the roadway due to the utility limitations of the center medians.
10. Corridor planning should address potential methods to land assembly for redevelopment, protection of residential neighborhoods from commercial land use and traffic encroachment, and methods to interconnect the local street grid.

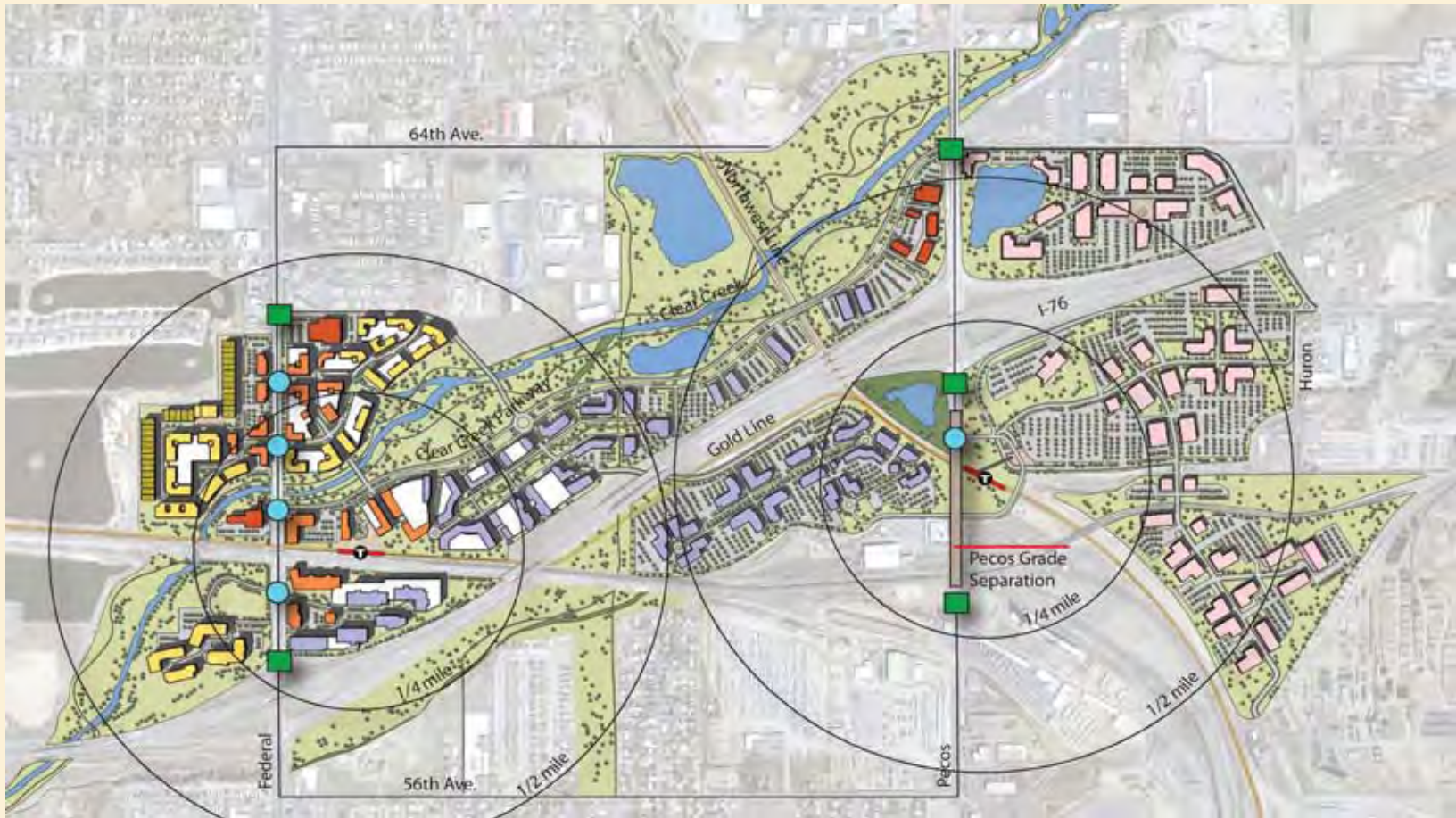
Imagine Adams Comp Plan










Activity Center- This land use category is characterized by its high intensity, mixed-use character, and high quality. The primary uses will be offices, hotels, retail, high-density residential and clean, indoor manufacturing and warehousing. Activity Centers are designated for areas that will have excellent transportation access and visibility, particularly along the FasTracks corridors. Development in Activity Centers must contain a sufficient intensity and mix of uses to create a pedestrian environment and support transit service. These centers may be especially suitable for providing a variety of housing or should be planned with due consideration of accessibility between residences and places of employment.

Making Connections

- Triangle of Opportunity. Opportunities include transit-oriented development, trail-oriented development, mixed-use development.
- 4.1 Sidewalk Program 2. Missing Sidewalk links

Option 1 - Clear Creek Parkway



- | | | | | | |
|---|---------------------------------|---|---------------------------|---|--|
|  | Retail |  | Business/office |  | Signalized intersection (needs CDOT approval) |
|  | Mixed use |  | Industrial |  | Gateway |
|  | Multi family residential |  | Structured parking | | |
|  | Single family attached | | | | |

Option 1 - Clear Creek Parkway

Approach

An approach was used that integrated the two station areas as one unified place by completing the connection of 60th Avenue from Federal Boulevard under I-76 to Pecos Street and the Pecos Junction Station. This collector road creates a new east-west connection and provides access to the Clear Creek amenity to neighborhoods and businesses south of I-76 and the rail lines. The plan is based on a future scenario of the densification that is possible after the arrival of commuter rail and opportunities for retail and residential development become a reality in the market. It has a 12-20 year planning horizon.

Overview of Option 1 - Clear Creek Parkway

Option 1 - Clear Creek Parkway is based on building a parkway north of I-76 that connects Federal Boulevard to Pecos Street along the Clear Creek amenity. The parkway expands the open space associated with the amenity and also serves to mitigate the floodplain issues in the area and enables development to occur between I-76 and the parkway. A collector road is also proposed from 62nd Avenue and Federal Boulevard east to the Pecos Station creating a second connection between the two station areas.

Parking

In the short term, surface parking will prevail at both stations. However, as the market allows and densification occurs, mixed-use structured parking with wrapped retail on the street level is recommended. The plan shows a future vision of structured parking around the Federal Station area. Future public parking will not be paid for by RTD or Adams County. In the Gold Line EIS, RTD has budgeted for surface parking through 2030.

Circulation

Both vehicular and pedestrian circulation was a primary consideration in the plan. Access east and west has been increased, and a greatly expanded network of sidewalks and trails is integral to the concept. Pedestrian priority streets will dominate in the Village Center area and all roads in the station areas will provide for bike and pedestrian circulation.

Gateways

Four gateways are noted on the plan. Whether they announce the station areas or the name of a business park, gateways become familiar landmarks that contribute to a greater sense of place and unite the various elements of the plan. Specific gateway design and area branding will need to be developed as part of an overall station identity program.



Gateway as a small median

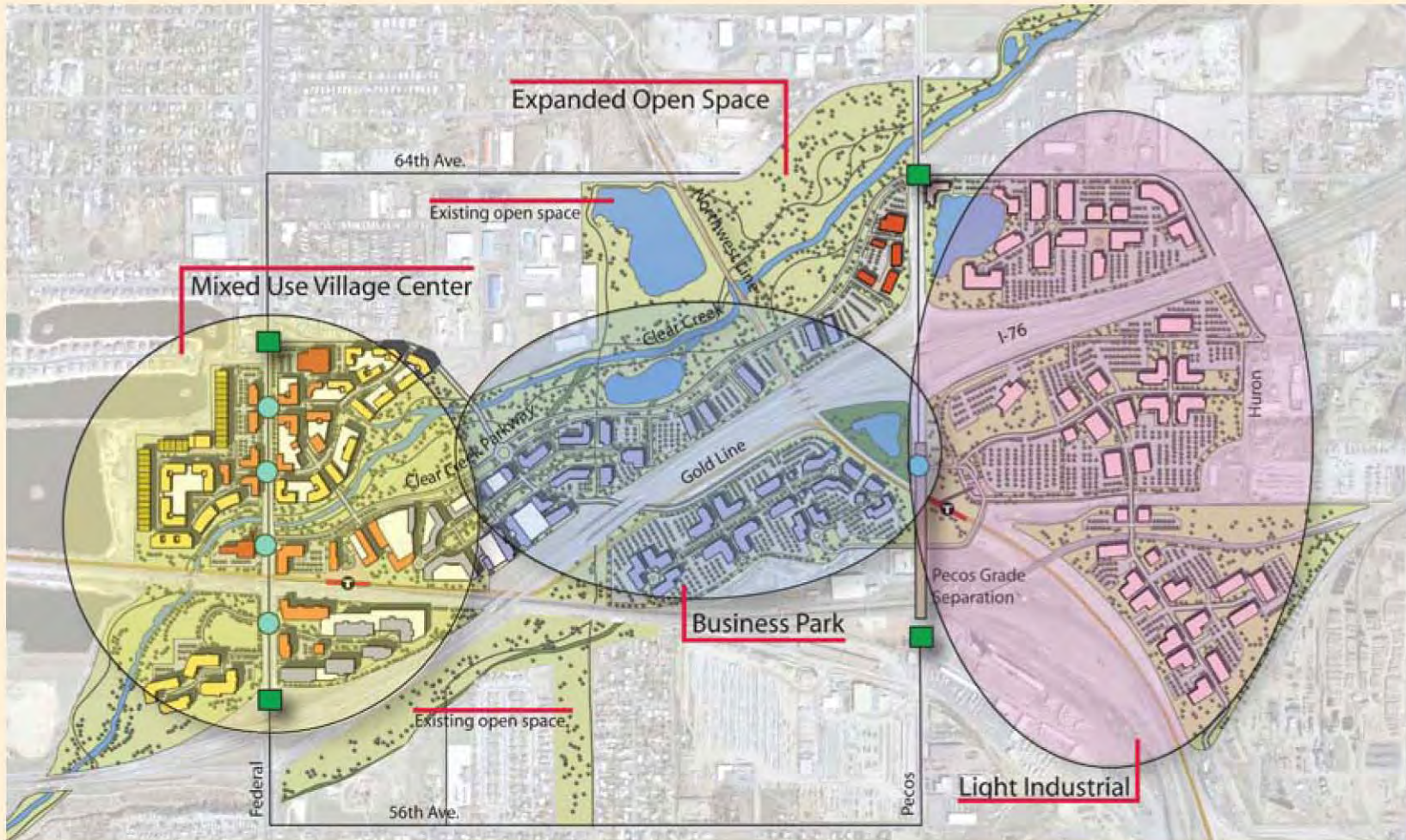


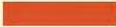








Gateway as an overhead sign



Gateway as a corner monument

Option 1 - Clear Creek Parkway



- | | | | | | |
|---|---------------------------------|---|---------------------------|---|--|
|  | Retail |  | Business/office |  | Signalized intersection (needs CDOT approval) |
|  | Mixed use |  | Industrial |  | Gateway |
|  | Multi family residential |  | Structured parking | | |
|  | Single family attached | | | | |

Greg Barnes

From: Gordon Stevens
Sent: Thursday, December 26, 2019 10:01 AM
To: Greg Barnes
Cc: David Rausch; Juliana J. Archuleta; Russell Nelson; Monica Lovato-Ramirez; John Dyer
Subject: RE: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)
Attachments: DOCS-#6018167-v1-SUBMITTAL_BRANNAN_SAND_AND_GRAVEL_PIT_R_2601_W__60TH_AVE__GREG_BARNES_REQUEST_FOR_COMMENT.PDF

Good Morning Mr. Barnes,

Good Morning Greg,

Thank you for the opportunity to review this submittal. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments:

- 1.) Roadway Construction will be required along this frontage of this property. The roadway must be constructed to it's ultimate width along this property frontage.
- 2.) Construction plans must be submitted to and approved by the Community and Economic Development Department prior to beginning this construction.
- 3.) Although the Platting has been completed for this site, an SIA will be required along with the appropriate collateral prior to the issuance of the Conditional Use Permit.
- 4.) This SIA and the submitted collateral must be approved by the Board of County Commissioners prior to beginning construction.
- 5.) A construction Permit must be issued prior to the work commencing.
- 6.) The roadway along this property frontage has been substantially deteriorating along this property frontage for several years, partially due to the traffic related to this site. These construction plans must reflect the repair of this roadway in it's entirety along this property frontage.
- 7.) There are several drainage related issues along the property frontage of this site. These drainage issues must also be addressed as part of the aforementioned construction plans.
- 8.) It does not appear as though the on-site drainage issues have been addressed with this site.
- 9.) No building Permit will be issued for any lot until all of the Public Improvements have been completed and have received Preliminary Acceptance from the Adams County Department of Public Works.
- 10.) A Pre-Construction Meeting will be held with the Construction Staff of the Dept. of Public Works, prior to construction beginning.

These plans will need to be resubmitted when they are complete.

Again, thank you for this opportunity to review this submittal.



Gordon Stevens

Construction Inspection Supervisor,
Department of Public Works
Infrastructure Management Division
ADAMS COUNTY, COLORADO
4430 So, Adams County Parkway,
1st Floor, Suite W2000B

Juliana Archuleta

To: Greg Barnes
Subject: FW: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020) - Stormwater

I would like to add a few request as this is a site with historic issues:

Adams County Stormwater Division recommends the following:

- 1) Water quality must be provided to these operations due to the proximity to Clear Creek and the pollutants on-site (recycling concrete, oils from shingles, trash, vehicle leaks, etc)
- 2) A drainage report needs to be submitted showing water quality design for approval. Include assessment of soil compaction and stock piles material impacts on impervious areas and coefficients. Include drainage impacts of the proposed site driveway. Provide analysis for the existing berm installed around the property to avoid outfall to Clear creek. Provide berm height, material, and alignment, capacity and construction details. Review levee designations and regulations regarding the berm. Perform an inspection of the berm, provide pictures and video. Survey the berm by a professional surveyor to ensure the existing berm matches the design. Provide engineering calculations showing that the containment berm is adequate for containing all rain events and allowing them to infiltrate into the ground within 72 hours according to CRS 37-92-602(8). List applicable permits that will be triggered.
- 3) If, as a result of the drainage report, a storm outlet (pipe or channel) needs to be installed at this property, then contact CDPHE's Stormwater Industrial Permit and submit permit application. Provide copies of the permit and all supporting information (SWMP, sampling plan, etc).
- 4) Provide documentation showing Brannan has the authorization to work, store materials or stockpile on Adams County parcel # 0182508100038 located between Brannan and Clear Creek. If there is no written agreement, please relocate the berm or any other containment structure within Brannan property line. Re-store Adams County property: grade, amend soil, mulch and seed until 70% vegetation cover is established and survey and staked down the property limits. Refer to image below.
- 5) Establish a 150ft vegetation buffer zone from the top of clear Creek's slope. Provide site plan showing buffer zone. Revegetated buffer zone as needed with native seed mix according to soil type.
- 6) Provide access easement to the county to inspect the creek. Contact ROW-Marissa H.
- 7) Install a vehicle tracking pad following UDFCD details, angular clean rock 3 to 6", geotextile underneath at the access that transitions from the recycled asphalt driveway and dirt. The millings do not remove sediment from tires, a tracking pad is still needed. Call for inspection. No recycling concrete allowed. This product is not allowed because the fines have high pH and impact water quality.
- 8) Provide "Sweeping Plan" specifying sweeping frequency. No kick broom equipment, vacuum sweeper is required. Sweeping logs must be filed. Waste disposal of sweepings needs to be specified. If disposal is on-site, provide location and BMPs to prevent run-on, run-off and infiltration of pollutants into the ground.
- 9) Inspect impacts to Clear Creek's slope regularly. Remove all trash, repair all erosion, mulch and seed all bare soil areas following UDFCD details and seed mix. Document conditions with pictures and keep logs. Provide inspection results and repairs of the first inspection.
- 10) Contact David Rausch regarding drainage easement needs along the front side of the property, and Drainage issues in that area.



December 30, 2019

Greg Barnes, Planner III
Adams County Community & Economic Development Department
Transmission via email: gjbarnes@adcogov.org

Re: Brannan Sand & Gravel Pit
Case no. PRC2019-00020
Part of NW ¼ Section 8, T 3S, R 68W, 6th P.M.
Water Division 1, Water District 2

Dear Mr. Barnes:

We have received your December 17, 2019 submittal concerning the above referenced conditional use permit applications for recycling operations, accessory outdoor storage, and stacking of material uses on a 23.57-acre parcel located in the NW ¼ of Section 8, T 3S, R 68W, 6th P.M. According to the submitted information, the parcel is located in the Industrial-2 and Industrial-3 zone districts.

This referral does not appear to qualify as a “subdivision” as defined in Section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer’s March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments. The comments do not address the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements. In addition, the comments provided herein cannot be used to guarantee a viable water supply plan or infrastructure, the issuance of a well permit, or physical availability of water.

There are no permitted wells on the property. Estimated water demand, proposed uses, and proposed water supply source were not provided. A letter dated April 3, 2019 stated that the North Washington Street Water & Sanitation District (“District”) is currently servicing this property, and that permits for additional uses such as industrial must first be obtained, subject to limitations set forth by the District. This office has no objections to this proposal.

If you or the applicant have any questions, please contact Wenli Dickinson at 303-866-3581 x8206 or at wenli.dickinson@state.co.us.

Sincerely,

Joanna Williams, P.E.
Water Resources Engineer

Ec: Subdivision file 26898



Greg Barnes

From: Rob Smetana <rsmetana@arvada.org>
Sent: Wednesday, December 18, 2019 3:17 PM
To: Greg Barnes
Subject: Re: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)

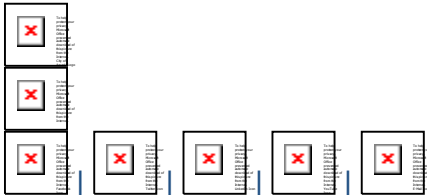
Please be cautious: This email was sent from outside Adams County

Greg,

Arvada has no concerns regarding this project. It is outside of our Comprehensive Plan and urban growth boundary areas.

Thanks for sending this for our review.

Rob Smetana, AICP
Manager of City Planning and Development
720.898.7440
rsmetana@arvada.org



On Tue, Dec 17, 2019 at 1:05 PM Greg Barnes <GJBarnes@adcogov.org> wrote:

The Adams County Planning Commission is requesting comments on the following applications: **Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.** This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan, Fred Marvel, 2500 E. Brannan Way, Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO

80601-8216, or call (720) 523-6800 by January 7, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases, sometimes it may take a few business days for case material to get posted to our website.

Thank you for your review of this case.



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Inter Governmental Plan Review <InterGovernmentalPlanReview@denverwater.org>
Sent: Friday, December 20, 2019 8:29 AM
To: Greg Barnes
Subject: RE: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)

Please be cautious: This email was sent from outside Adams County

Good Morning Greg,

Denver Water has no comments on this submittal. Please let me know if you have any questions or concerns.

Thank you,

Kela Naso | Engineering Specialist
Denver Water | t: 303-628-6302 | e: kela.naso@denverwater.org
denverwater.org | denverwaterTAP.org



From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Tuesday, December 17, 2019 1:06 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Brannan Sand & Gravel Pit R (PRC2019-00020)

The Adams County Planning Commission is requesting comments on the following applications: **Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.** This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan, Fred Marvel, 2500 E. Brannan Way, Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by January 7, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases, sometimes it may take a few business days for case material to get posted to our website.

Thank you for your review of this case.



ADAMS COUNTY FIRE RESCUE FIRE PREVENTION BUREAU

7980 Elmwood Lane
Denver, CO 80221
P: (303) 539-6862
E: fireprevention@acfpd.org

Project:	Brannan Sand & Gravel	Project Type:	ADCO Conditional Use Permit
Address:	2601 West 60 th Avenue	Date:	12/23/19
Occupancy Type:	Outdoor recycling, storage, and stacking	Reviewed By:	Whitney Even
Construction Type:	TBD	Certification #:	166304410

The plans submitted to the Adams County Planning Division have been sent to use for review and comments. At this time, the Fire District has the following comments and/or requirements:

General:

1. The 2018 International Fire Code is the current fire code adopted within the city and all development must be in compliance with its requirements. The 2018 IFC can be accessed online for free by going to <https://codes.iccsafe.org/public/document/IFC2018>. Amendments to this code can be located by going to http://www.adcogov.org/sites/default/files/Ordinance%20No.%204_1.pdf.
2. Nothing in this review is intended to approve any aspect of these plans or this project that does not strictly comply with all applicable codes and standards. Any changes that are made to the plans will require additional review and comment by the Fire District.
3. Site and building design and construction shall be in accordance with the provisions of the 2018 International Fire Code (IFC) as adopted by Adams County. All construction shall be in accordance with IFC Chapter 33, *Fire Safety During Construction and Demolition*.

Access Requirements:

1. Temporary access roads are prohibited unless specifically approved by the Fire District. Fire apparatus access must be designed and maintained to support the imposed loads of fire apparatus (i.e. 85,000 lbs), and must have a surface that provides all-weather driving capabilities.
2. Any temporary construction or permanent security gates shall be a minimum of 24 feet and a no parking fire lane sign shall be posted on the gate. The gates shall also have a Knox key switch installed for emergency operation if automatic. For information on how to order this, please go to <https://www.acfpd.org/plan-submittals.html>.
3. If the gas meter is accessible to vehicle impact bollards are required to protect it.
4. New and existing buildings or sites shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 0.5 inch. Please be aware that the size of the number may need to be larger than 4 inches is not clearly visible from the street or road.

Fire Protection Water Supply and Hydrants:

5. Please provide information and plans showing the closest fire hydrants to the site.
6. Unobstructed access to fire hydrants shall be maintained at all times. Fire department personnel shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. A 3-foot (radius) clear space shall be maintained around the circumference of fire hydrants. Within that 6-foot diameter circle and within a 6-foot-wide path leading to the 4.5-inch outlet of a hydrant, vegetation shall be no higher than 4 inches above grade. The unobstructed vertical clearance within that 6-foot circle and 6-foot approach path shall not be less than 7 feet, unless otherwise approved by the Fire District.

Other Requirements:

- ⇒ Please be aware that permits for any building structures and gates will be required by the Fire Prevention Bureau. Please call us for information on how to apply.
- ⇒ We always welcome and encourage meetings to discuss fire code requirements. Please call us at any point in the process if you would like to schedule one.

Any disagreements to these plan review comments may be addressed by contacting the Adams County Fire District offices. Further unresolved disagreements may be appealed to the Adams County Fire Board of Appeals as stated in Ordinance 4 of the amendments to the 2018 International Fire Code.

Greg Barnes

From: Woodruff, Clayton <Clayton.Woodruff@RTD-Denver.com>
Sent: Friday, January 03, 2020 2:27 PM
To: Greg Barnes
Subject: RE - Brannan Sand & Gravel Pit - (PRC2019-00020)

Please be cautious: This email was sent from outside Adams County

Greg,

The RTD has no comments regarding this project.



C. Scott Woodruff
Engineer III

Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202

o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com



January 3, 2020

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Brannan Sand and Gravel (Pit 10), PRC2019-00020
TCHD Case No. 6065

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Conditional Use Permit for recycling operations, accessory outdoor storage, and stacking of materials of the height of the fencing located at 2601 W. 60th Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Historic Landfill within Adams County Overlay District

In accordance with Section 3-35-03 of Chapter 3-Zone District Regulation, Flammable Gas Overlay (FGO), the subject property will need to comply with all applicable sections of the Adams County Flammable Gas Overlay (FGO). Flammable gas from decomposing organic matter in landfills may travel up to 1,000 feet from the source. At this time, construction is not proposed. At such time that construction is planned within 1,000 feet of Landfill Nos. AD-028, Ad-145, AD-008, AD-027, AD-004, AD-003, AD-234, AD-030, and AD-160, we recommend the following:

1. A flammable gas investigation should be conducted to determine if flammable gas (methane) is present in the subsurface soils at the property. The plan for the investigation should be submitted to TCHD for review and approval.
2. TCHD will review the results of the investigation. If the investigation indicates that methane is not present at or above 20% of the lower explosive limit for methane (1% by volume in air) in the soils, no further action is required.
3. In lieu of the investigation, an active flammable gas control system shall be designed and constructed to protect buildings and subsurface access to utilities, i.e. vaults, manholes, etc. from flammable gas. Health and safety practices shall be followed during construction to protect site workers.

Brannan Sand and Gravel (Pit 10)

January 3, 2020

Page 2 of 2

Questions regarding this may be directed to Sheila Lynch at (720) 200-1571 or slynch@tchd.org.

Construction and Demolition Recycling Facility

Recycling of industrial materials has the potential to cause odors, ground water contamination, and nuisance conditions. The Hazardous Materials and Waste Management Division of Colorado Department of Public Health and Environment (CDPHE) regulates recycling facilities. This facility must meet the requirements of Section 8 of 6CCR 1007-2, Part 1. More information can be found at <https://www.colorado.gov/pacific/cdphe/recycling>.

Fugitive Dust – Permanent uses

Exposure to air pollution is associated with a number of health problems including asthma, lung cancer, and heart disease. The Colorado Department of Public Health and Environment Air Pollution Control Division (APCD) regulates air emissions, including fugitive dust. Control measures may be necessary to minimize the amount of fugitive emissions from site activities including haul roads, stockpiles, and erosion. The applicant shall contact the APCD, at (303) 692-3100 for more information. Additional information is available at <https://www.colorado.gov/pacific/cdphe/categories/services-and-information/environment/air-quality/business-and-industry>.

Vector Control - Storage

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. Items stored on the floor, tightly packed, and rarely moved provide potential harborage for rodents. Due to the variety of items to be potentially stored at this site, TCHD recommends that the applicant create a plan for regular pest control. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

Please feel free to contact me at 720-200-1575 or kboyer@tchd.org if you have any questions about TCHD's comments.

Sincerely,



Kathy Boyer, REHS
Land Use and Built Environment Specialist III

cc: Sheila Lynch, Monte Deatrich, Lisa Oliveto, Warren Brown, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

January 3, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Brannan Sand and Gravel Pit 10, Case # PRC2019-00020

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the conditional use documentation for **Brannan Sand and Gravel Pit 10** and has **no apparent conflict**.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

ARMOS Investments
4770 Biscayne Blvd, Ste 730
Miami, FL 33136

Community and Economic Development Department
Adams County
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216
via email: GJBarnes@adcogov.org

RE: PRC2019-00020 Brannan Sand & Gravel (Pit 10)

To Whom It May Concern:

On behalf of 2300 W 60 LLC and 2400 W60 LLC, owners of the properties located at 2300 through 2860 West 60th Avenue, thank you for the opportunity to comment on Project Number PRC2019-00020 and the proposed conditional use permit.

We understand the physical, environmental, regulatory, and market constraints complicating redevelopment of the subject property in a manner more consistent with Adams County long range plans for the area. We also understand that it is likely in both the applicant's and the County's interest for the site to remain economically viable during the interim period while area and regional studies are being completed and a site-specific plan for redevelopment is submitted and approved.

However, as the owners' of the property immediately across the street from the subject property, we feel strongly that if the County approves the proposed conditional use (or any other conditional use) the timeline and terms for achieving a viable plan for redevelopment and the terms for a clear end to the conditional use(s) should be well understood and documented as part of the County's approval.

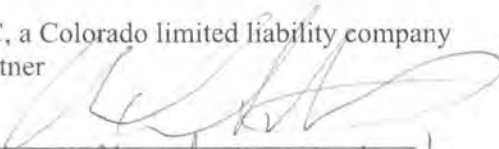
Since the application itself makes no reference to either a process or a timeline, we respectfully request to be kept informed of the application process, including receiving a copy of the staff report, notice of hearing dates, etc.

Sincerely,

2300W60, LLC, a Florida limited liability company

By: Clear Creek Station Development, LLLP, a Florida limited liability limited partnership
Its: Sole Member

By: CCSD LLC, a Colorado limited liability company
Its: General Partner

By: 
Print Name: Alexander D. Maslowitz
Title: Manager

Greg Barnes

From: Dan Micek <danmicek54@comcast.net>
Sent: Tuesday, December 17, 2019 1:39 PM
To: Greg Barnes
Subject: PRC2019-00020 Brannan Sand and Gravel

Please be cautious: This email was sent from outside Adams County

Greg
I have received and reviewed the application from Brannan Sand and Gravel.
I believe that this proposal is in line with the comprehensive plan of Adams County.
The land along Clear Creek and I-76 have been set for industrial zoning.
This company has made it clear that they fully intend to follow county regulation and I see no issue with them using this land for their purpose.
The future plans for this area are far reaching, and because of the general condition of the area, probably unattainable.
Since I do not live in the immediate area, I would be curious how the local residents feel about this project and the future plans of this location.

Dan Micek
Citizen
Adams County Colorado

Sent from [Mail](#) for Windows 10



Request for Comments

Case Name: Brannan Sand & Gravel (Pit 10)
Project Number: PRC2019-00020

December 17, 2019

The Adams County Planning Commission is requesting comments on the following applications: **Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.** This request is located at 2601 West 60th Avenue. The Assessor's Parcel Number is 0182508100041.

Applicant Information: Brannan
Fred Marvel
2500 E. Brannan Way
Denver, CO 80229

Please forward any written comments on this application to the Community and Economic Development Department at 4430 S. Adams County Parkway, Suite W2000A Brighton, CO 80601-8216, or call (720) 523-6800 by January 6, 2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional information can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III



Public Hearing Notification

Case Name:	Brannan Sand & Gravel
Case Number:	PRC2019-00020
Planning Commission Hearing Date:	July 9, 2020 at 6:00 p.m.
Board of County Commissioners Hearing Date:	July 28, 2020 at 9:30 a.m.

June 17, 2020

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing. The Assessor's Parcel Number is 0182508100041. The site is located at 2601 W. 60th Avenue. The applicant is: Fred Marvel, Brannan, Brannan Sand & Gravel, 2500 E Brannan Way, Denver, CO 80229

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes, Planner III
gjbarnes@adcogov.org, 720-523-6853

PUBLICATION REQUEST

Case Name: PRC2019-00020

Case Number: Brannan Sand & Gravel

Planning Commission Hearing Date: July 9, 2020 at 6:00 p.m.

Board of County Commissioners Hearing Date: July 28, 2020 at 9:30 a.m.

Case Manager: Greg Barnes, gibarnes@adcogov.org, 720-523-6853

Applicant: Fred Marvel, Brannan, Brannan Sand & Gravel, 2500 E Brannan Way, Denver, CO 80229

Request: Conditional use permit applications to allow the following uses in the Industrial-2 and Industrial-3 zone districts: 1) recycling operations, 2) accessory outdoor storage; 3) stacking of material over the height of fencing.

Parcel Number: 0182508100041

Address of the Request: 2601 W. 60th Avenue

Legal Description: A PARCEL OP LAND LYING IN THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 8, THENCE SOUTH 00 DEGREES 07 MINUTES 03 SECONDS EAST, 1650.60 FEET ALONG THE EAST LINE OF SAID SECTION 8 TO A POINT ON THE SOUTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 07 MINUTES 03 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 8 920.29 FEET TO A POINT ON THE NORTH LINE OF THAT PARCEL OP LAND AS DESCRIBED IN BOOK 3374, PAGE 318, ADAMS COUNTY RECORDS, THENCE SOUTH 86 DEGREES 54 MINUTES 20 SECONDS WEST ALONG SAID NORTH LINE 169.81 FEET; THENCE SOUTH 78 DEGREES 58 MINUTES 16 SECONDS WEST ALONG SAID NORTH LINE 56.02 FEET TO THE NORTH LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 3432, PAGE 154, ADAMS COUNTY RECORDS; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID NORTH, LINE 1411.70 FEET; THENCE SOUTH 49 DEGREES 53 MINUTES 18 SECONDS WEST ALONG THE NORTHWESTERLY LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 3432, PAGE 154 A DISTANCE OF 77.56 FEET TO THE EAST-WEST CENTERLINE OF SAID SECTION 8; THENCE NORTH 89 DEGREES 58 MINUTES 13 SECONDS WEST ALONG SAID EAST-WEST CENTERLINE 183.64 FEET MORE OR LESS TO THE SOUTHERLY LINE OF THAT PARCEL OF LAND AS DESCRIBED IN BOOK 4180, PAGE 409, ADAMS COUNTY RECORDS; THENCE NORTHEASTERLY ALONG SAID SOUTHERLY LINE THE FOLLOWING SIX COURSES: 1. NORTH 49 DEGREES 25 MINUTES 25 SECONDS EAST, 122.50 FEET; 2. NORTH 47 DEGREES 42 MINUTES 36 SECONDS EAST, 356.79 FEET; 3. THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 433.51 FEET AND A CENTRAL ANGLE OF 11 DEGREES 59 MINUTES 07 SECONDS; 4. NORTH 59 DEGREES 41 MINUTES 43 SECONDS EAST, 331.34 FEET; 5. NORTH 68 DEGREES 33 MINUTES 27 SECONDS EAST, 1080.62 FEET; 6. NORTH 72 DEGREES 24 MINUTES 16 SECONDS EAST, 155.30 FEET TO THE TRUE POINT OF BEGINNING.

Virtual Meeting and Public Comment Information:

These meetings will be held virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up to date information on accessing the public hearings and

submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Adams County Attorney's Office
Attn: Christine Fitch
4430 S Adams County Pkwy
Brighton CO 80601

Adams County Parks and Open Space Department
Attn: Marc Pedrucci

Adams County CEDD Addressing
Attn: Mark Alessi
PLN

Adams County Parks and Open Space Department
Attn: Aaron Clark

Adams County CEDD Development Services Engineer
Attn: Devt. Services Engineering
4430 S. Adams County Pkwy.
Brighton CO 80601

Adams County Sheriff's Office
Attn: Rick Reigenborn

Adams County CEDD Right-of-Way
Attn: Mark Alessi
4430 S. Adams County Pkwy.
Brighton CO 80601

Adams County Sheriff's Office
Attn: - -

Adams County Community & Economic Development Departm
Attn: Gina Maldonado
4430 S. Adams County Pkwy
Brighton CO 80601

Adams County Treasurer
Attn: Lisa Culpepper
4430 S. Adams County Pkwy.
Brighton CO 80601

Adams County Community Safety & Wellbeing, Neighborhood
Attn: Gail Moon
4430 S. Adams County Pkwy.
Brighton CO 80601

Arvada Fire Department
Attn: Steven Parker
7903 Alison Way
Arvada CO 80005

Adams County Construction Inspection
Attn: Gordon .Stevens
4430 S. Adams County Pkwy
Brighton CO 80601

BERKELEY NEIGHBORHOOD ASSOC.
Attn: GLORIA RUDDEN
4420 W 52ND PL.
DENVER CO 80212

Adams County Development Services - Building
Attn: Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601

BERKELEY WATER
Attn: Paul Peloquin
4455 W 58TH AVE UNIT A
Arvada CO 80002

Adams County Fire Protection District
Attn: Jerry Means
8055 N. WASHINGTON ST.
DENVER CO 80229

BERKELEY WATER & SAN DISTRICT
Attn: SHARON WHITEHAIR
4455 W 58TH AVE UNIT A
ARVADA CO 80002

Adams County Fire Rescue
Attn: Whitney Even
7980 Elmwood Lane
Denver CO 80221

CDOT Colorado Department of Transportation
Attn: Bradley Sheehan
2829 W. Howard Pl.
2nd Floor
Denver CO 80204

Century Link, Inc
Attn: Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221

City of Arvada
Attn: Rob Smetana
8101 Ralston Rd.
Arvada CO 80002

City of Arvada Utilities
Attn: Sharon Israel
8101 Ralston Rd.
Arvada CO 80002

CITY OF WESTMINSTER
Attn: Rita McConnell
4800 W 92ND AVE.
WESTMINSTER CO 80031

CITY OF WESTMINSTER
Attn: Andy Walsh
4800 W 92nd Avenue
WESTMINSTER CO 80031

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

COLO DIV OF WATER RESOURCES
Attn: Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203

COLORADO DEPT OF TRANSPORTATION
Attn: Steve Loeffler
2000 S. Holly St.
Region 1
Denver CO 80222

COLORADO DIVISION OF WILDLIFE
Attn: Matt Martinez
6060 BROADWAY
DENVER CO 80216-1000

COLORADO DIVISION OF WILDLIFE
Attn: Serena Rocksund
6060 BROADWAY
DENVER CO 80216

COLORADO GEOLOGICAL SURVEY
Attn: Jill Carlson
1500 Illinois Street
Golden CO 80401

Colorado Geological Survey: CGS_LUR@mines.edu
Attn: Jill Carlson
Mail CHECK to Jill Carlson

COMCAST
Attn: JOE LOWE
8490 N UMITILLA ST
FEDERAL HEIGHTS CO 80260

Crestview Water & Sanitation
Attn: Patrick Stock
7145 Mariposa St
PO Box 21299
Denver CO 80221-0299

Division of Mining and Reclamation Safety
Attn: Jared Ebert
Colorado Department of Natural Resources
1313 Sherman St., #215
Denver CO 80203

GOAT HILL
Attn: SHARON WHITEHAIR
2901 W 63RD
AVE SP:0047
DENVER CO 80221

MAPLETON SCHOOL DISTRICT #1
Attn: CHARLOTTE CIANCIO
591 E. 80TH AVE
DENVER CO 80229

METRO WASTEWATER RECLAMATION
Attn: CRAIG SIMMONDS
6450 YORK ST.
DENVER CO 80229

MOBILE GARDENS
Attn: VERA MARIE JONES
6250 FEDERAL #29
DENVER CO 80221

North Lincoln Water and Sanitation District
Attn: JORGE HINOJOS
1560 Broadway
Suite 1400
Denver CO 80202

North Lincoln Water and Sanitation District
Attn: - -

TRI-COUNTY HEALTH DEPARTMENT
Attn: MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022

North Pecos Water & Sanitation District
Attn: Russell Traska
6900 Pecos St
Denver CO 80221

Tri-County Health: Mail CHECK to Sheila Lynch
Attn: Tri-County Health
landuse@tchd.org

NORTHRIDGE ESTATES AT GOLD RUN HOA
Attn: SHANE LUSSIER
14901 E Hampden Ave
Suite 320
AURORA CO 80014

UNION PACIFIC RAILROAD
Attn: Anna Dancer
1400 DOUGLAS ST STOP 1690
OMAHA NE 68179

NS - Code Compliance
Attn: Kerry Gress
kgress@adcogovorg

United States Postal Service
Attn: Arlene Vickrey

Pecos Park Logistics Park Metro District
Attn: M Mitchell
4221 Brighton Blvd
Denver CO 802163719

United States Postal Service
Attn: Jason Eddleman

PERL MACK NEIGHBORHOOD GROUP
Attn: DAN MICEK - PRESIDENT
7294 NAVAJO ST.
DENVER CO 80221

US EPA
Attn: Stan Christensen
1595 Wynkoop Street
DENVER CO 80202

Pomponio Terrace Metropolitan District
Attn: Zachary White
2154 E. Commons Avenue, #2000
Centennial CO 80122

WESTMINSTER FIRE DEPT.
Attn: CAPTAIN DOUG HALL
9110 YATES ST.
WESTMINSTER CO 80031

REGIONAL TRANSPORTATION DIST.
Attn: Engineering RTD
1560 BROADWAY SUITE 700
DENVER CO 80202

WESTMINSTER SCHOOL DISTRICT #50
Attn: Jackie Peterson
7002 Raleigh Street
WESTMINSTER CO 80030

The TOD Group
Attn: THE TOD GROUP
1431 Euterpe Street
New Orleans LA 70130

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

TRI-COUNTY HEALTH DEPARTMENT
Attn: Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111

Xcel Energy
Attn: Donna George
1123 W 3rd Ave
DENVER CO 80223

2300W60 LLC
C/O CCSD-COLORADO LLC
4770 BISCAYNE BLVD STE 700
MIAMI FL 33137-3244

BEACH62 LLC
3535 LARIMER ST
DENVER CO 80205-2421

2400W60 LLC
C/O CCSD- COLORADO LLC
4770 BISCAYNE BLVD STE 710
MIAMI FL 33137-3244

BERKELEY POINTE LLC
2405 W 56TH AVE
DENVER CO 80221-1809

5999 PECOS LLC UND 92.1875% AND
ACJW LLC UND 7.8125% INT
4880 PEARL ST
BOULDER CO 80301-2454

BOARD OF COUNTY COMMISSIONERS OF
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

6232 BEACH LLC
PO BOX 1719
ARVADA CO 80001-1719

CARRASCO MARIA P
2360 W 58TH AVE
DENVER CO 80221

67TH STREET ACQUISITIONS LLC
500 W 67TH STREET
LOVELAND CO 80538

CC W64TH AVE LLC
4007 BRYANT ST
DENVER CO 80211-2117

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

CHERFEIN JOINT VENTURE LLC
3535 LARIMER ST
DENVER CO 80205-2421

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601

CIROCKI VIOLA M TRUST THE UND 64.4% AND
CIROCKI FAMILY TRUST THE UND 35.6% INT
8610 HOLMAN CIRCLE
ARVADA CO 80005-5957

ALOHA BEACH DEVELOPMENT CORP
3556 W 62ND AVENUE
DENVER CO 80221

COUNTY OF ADAMS
4430 S ADAMS COUNTY PKWY FL 5
BRIGHTON CO 80601-8222

APODACA FAMILY REALTY TRUST THE
2241 W 59TH PLACE
DENVER CO 80221

COUNTY OF ADAMS THE
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601-8222

ATR HOLDINGS LLC
13490 IVY ST
THORNTON CO 80602-9223

COUNTY OF ADAMS THE
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

CST METRO LLC
1 VALERO WAY
SAN ANTONIO TX 78249-1616

FED60 LLC
3535 LARIMER ST
DENVER CO 80205-2421

DEEDS BETH A
8800 GROVE ST
WESTMINSTER CO 80031-3329

FED61 LLC
3535 LARIMER ST
DENVER CO 80205-2421

DENNIS PROPERTIES LLC
8175 W CLIFTON AVE
LITTLETON CO 80128-5587

FED62 LLC
3535 LARIMER ST
DENVER CO 80205-2421

DENVER TRANSIT ORIENTED DEVELOPMENT
FUND LLC
1431 EUTERPE ST
NEW ORLEANS LA 70130-4405

GRAEME JOHNSTON LLC
PO BOX 3717
DILLON CO 80435-3717

DISNER PATRICK HENRY AND
DISNER KATHLEEN I
250 CARRICO ST
PAGOSA SPRINGS CO 81147

GWE L P
6320 BEACH STREET
DENVER CO 80221

EGLI JAMES E
6231 BEACH STREET UNIT C
DENVER CO 80221

HEPP MICHAEL J
13937 LEXINGTON PL
WESTMINSTER CO 80023-9386

ELMS BLESSING LLC
14580 W 56TH PL
ARVADA CO 80002-1154

HOLDCROFT EDWARD
8343 ADAMS WAY
DENVER CO 80221-3905

ELMS BLESSING LLC
C/O FRED J ELMS, MANAGING MEMBER
14580 W 56TH PLACE
ARVADA CO 80002

HOWARD GREGORY A TRUST THE AND
HOWARD KAREN R TRUST THE
10789 BRYANT COURT
WESTMINSTER CO 80234

FED57 LLC
3535 LARIMER ST
DENVER CO 80205-2421

JUNG CHUL W
6231 FEDERAL BLVD
DENVER CO 80221-2005

FED58 LLC
3535 LARIMER ST
DENVER CO 80205-2421

JUNG CHUL WOO
6231 N FEDERAL BLVD
DENVER CO 80221

KING LYNETTA ARCHER
412 CHALET DR
BLACK HAWK CO 80422-8722

PULL-N-SAVE AUTO PARTS LLC
5846 CROSSINGS BLVD
ANTIOCH TN 37013-3129

MARTIN MARIETTA MATERIALS INC
C/O BADEN TAX MANAGEMENT
FORT WAYNE IN 46898-8040

PULL-N-SAVE AUTO PARTS LLC
1550 N MEADOWCREST BLVD
CRYSTAL RIVER FL 34429-5756

MATHIAS ERIC J AND
MATHIAS KARLA A
6271 BEACH ST UNIT B
DENVER CO 80221-2072

QUIKRETE COMPANIES INC THE
C/O KAREN KULP
3490 PIEDMONT RD STE 1300
ATLANTA GA 30305-4811

MINER JOHN
PO BOX 577
CASTLE ROCK CO 80104-0577

QUIKRETE COMPANIES INC THE
C/O KAREN KULP
5 CONCOURSE PKWY STE 1900
ATLANTA GA 30328-6111

MOBILE GARDENS LLC
31200 NORTHWESTERN HWY
FARMINGTON HILLS MI 48334-5900

RBR PROPERTIES LLC
6202 BEACH ST
DENVER CO 80221-2033

NORTHRIDGE ESTATES AT GOLD RUN
HOMEOWNERS ASSOCIATION
2305 CANYON BLVD SUITE 200
BOULDER CO 80302

REEFER WARE LLC
3535 LARIMER ST
DENVER CO 80205-2421

PATRICK DEWEY R AND
PATRICK RHONDA A
9520 S FIELD WAY
LITTLETON CO 80127

REGIONAL TRANSPORTATION DISTRICT
1600 BLAKE ST
DENVER CO 80202-1399

PECOS LOGISTICS PARK LLLP
4221 BRIGHTON BLVD
DENVER CO 80216-3719

RHINER GERALD
5015 W 69TH AVE
WESTMINSTER CO 80030-5711

PIONEER MHP LLC 86% INT AND
WAYSIDE COLORADO LLC 14% INT
49 SW FLAGLER AVE STE 201
STUART FL 34994-2148

ROHRER BROTHERS LLC
PO BOX 61035
DENVER CO 80206-1035

PIT 10 LLC
2500 E BRANNAN WY
DENVER CO 80229

SHOTCRETE YARD LLC
8250 S ALBION ST
CENTENNIAL CO 80122-3909

SILVER HOLDINGS LLC
2150 W 60TH AVE APT S
DENVER CO 80221-6623

ARROYOS EDUARDO
OR CURRENT RESIDENT
2661 W 58TH AVE
DENVER CO 80221-1854

STATE HIGHWAY DEPT
2000 S HOLLY ST
DENVER CO 80222-4818

AVILA LYDIA AND OLIVAS-AVILA KAILEEN LIZETTE
AND
OLIVAS-AVILA BYANKA YAZMIN
OR CURRENT RESIDENT
2681 W 58TH AVE
DENVER CO 80221-1854

STEP 13 INC
2029 LARIMER ST
DENVER CO 80205-2014

CANO IMELDA AND
CANO DELORES
OR CURRENT RESIDENT
2381 W 59TH PL
DENVER CO 80221-1834

UNION PACIFIC RAILROAD
PROPERTY TAX DEPARTMENT
1400 DOUGLAS STOP 1640
OMAHA NE 68179-1640

CARDOZA JOSE LIUS GUERECA
OR CURRENT RESIDENT
2270 W 59TH PL
DENVER CO 80221-6615

UNION PACIFIC RAILROAD COMPANY
C/O PROPERTY TAX DEPARTMENT
1400 DOUGLAS STOP 1690
OMAHA NE 68179-1640

CHAVEZ ALEJANDRO BARRAZA
OR CURRENT RESIDENT
2551 W 58TH AVENUE
DENVER CO 80221

VALDEZ RICHARD T AND
VALDEZ BARBARA G
2341 W 58TH AVE
DENVER CO 80221-1827

CHOICE IV INVESTMENTS LLP
OR CURRENT RESIDENT
2080 W 60TH AVE
DENVER CO 80221-6631

WEST SPANISH CONGREGATION OF JEHOVAH S
WITNESSES/ C/O MANUEL MENDEZ
2675 W 56TH AVE
DENVER CO 80221-1811

CLARK JAMES ROBERT FAMILY TRUST THE
OR CURRENT RESIDENT
2300 W 59TH PL
DENVER CO 80221-1835

6141 FEDERAL BLVD LLC
OR CURRENT RESIDENT
6141 FEDERAL BLVD
DENVER CO 80221

COWAN DAVID E AND
COWAN GAIL LEONE
OR CURRENT RESIDENT
2291 W 59TH PL
DENVER CO 80221-6614

AABAK ED
OR CURRENT RESIDENT
5781 CLAY STREET
DENVER CO 80221

CROWLEY DAVID P AND
CROWLEY LORRAINE K
OR CURRENT RESIDENT
2450 W 63RD CT
DENVER CO 80221-2031

APODACA GIL S
OR CURRENT RESIDENT
2241 W 59TH PL
DENVER CO 80221-6614

DECKER JOHN L AND
DECKER DIANNA L
OR CURRENT RESIDENT
2341 W 59TH PL
DENVER CO 80221-1834

DIETZ ERIC
OR CURRENT RESIDENT
2230 W 59TH PL
DENVER CO 80221-6613

MONDRAGON AUGUSTINE ROBERT AND
MONDRAGON DORIS F
OR CURRENT RESIDENT
2531 W 58TH AVE
DENVER CO 80221

EGLI JAMES E
OR CURRENT RESIDENT
6231 BEACH STREET UNIT C
DENVER CO 80221

RBR PROPERTIES LLC
OR CURRENT RESIDENT
6202 BEACH ST
DENVER CO 80221-2033

GLOECKLER AARON AND
GLOECKLER KELLY
OR CURRENT RESIDENT
6271 BEACH ST UNIT F
DENVER CO 80221-2072

RWF ENTERPRISES LLC
OR CURRENT RESIDENT
2510 W 63RD CT
DENVER CO 80221-2031

HERNANDEZ JOEL DIAZ
OR CURRENT RESIDENT
6271 BEACH ST UNIT D
DENVER CO 80221-2072

SANCHEZ LOYA CARMEN AND
RODRIGUEZ RAFAEL J
OR CURRENT RESIDENT
2391 W 59TH PL
DENVER CO 80221-1834

HERNANDEZ JOHN A AND
HERNANDEZ GERALDINE
OR CURRENT RESIDENT
2641 W 58TH AVE
DENVER CO 80221-1854

SILVER HOLDINGS LLC
OR CURRENT RESIDENT
2150 W 60TH AVE
DENVER CO 80221-6623

L NOTHHAFT AND SON INC
OR CURRENT RESIDENT
2520 W 62ND CT
DENVER CO 80221-2030

SUFI IMRAN
OR CURRENT RESIDENT
2591 W 58TH AVE
DENVER CO 80221-1854

MALLORY SEAN
OR CURRENT RESIDENT
2250 W 59TH PL
DENVER CO 80221-6615

TRAN TRUNG Q AND
TRAN THY N
OR CURRENT RESIDENT
2621 W 58TH AVE
DENVER CO 80221

MARTINEZ ALBERT V JR
OR CURRENT RESIDENT
2271 W 59TH PL
DENVER CO 80221-6614

VALDEZ RICHARD T AND
VALDEZ BARBARA G
OR CURRENT RESIDENT
2341 W 58TH AVE
DENVER CO 80221-1827

MATHIAS AND MELTON LLC
OR CURRENT RESIDENT
6271 BEACH STREET C
DENVER CO 80221

VAZQUEZ JOSE LUIS AND
VAZQUEZ MARIA R
OR CURRENT RESIDENT
2571 W 58TH AVE
DENVER CO 80221-1854

MATHIAS ERIC J AND
MATHIAS KARLA A
OR CURRENT RESIDENT
6271 BEACH ST UNIT B
DENVER CO 80221-2072

VIGIL JUAN E II
OR CURRENT RESIDENT
2301 W 59TH PL
DENVER CO 80221-1834

WEST SPANISH CONGREGATION OF JEHOVAH S
WITNESSES/ C/O MANUEL MENDEZ
OR CURRENT RESIDENT
2675 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
3061 W 58TH AVE
DENVER CO 80221-1902

YOUNG JAMES FRANK AND
YOUNG STEVEN DAVID
OR CURRENT RESIDENT
2290 W 59TH PL
DENVER CO 80221-6615

CURRENT RESIDENT
3060 W 58TH AVE
DENVER CO 80221-1905

CURRENT RESIDENT
5855 FEDERAL BLVD
DENVER CO 80221-1805

CURRENT RESIDENT
2901 W 63RD AVE LOT 32A
DENVER CO 80221-2000

CURRENT RESIDENT
5800 FEDERAL BLVD
DENVER CO 80221-1806

CURRENT RESIDENT
2901 W 63RD AVE LOT 33A
DENVER CO 80221-2000

CURRENT RESIDENT
2685 W 56TH AVE
DENVER CO 80221-1811

CURRENT RESIDENT
2901 W 63RD AVE LOT 34A
DENVER CO 80221-2000

CURRENT RESIDENT
5901 FEDERAL BLVD
DENVER CO 80221-1813

CURRENT RESIDENT
2901 W 63RD AVE LOT 35A
DENVER CO 80221-2000

CURRENT RESIDENT
2860 W 60TH AVE
DENVER CO 80221-1818

CURRENT RESIDENT
2901 W 63RD AVE LOT 36A
DENVER CO 80221-2000

CURRENT RESIDENT
2400 W 60TH AVE
DENVER CO 80221-1825

CURRENT RESIDENT
2901 W 63RD AVE LOT 37A
DENVER CO 80221-2000

CURRENT RESIDENT
5900 FEDERAL BLVD UNIT A
DENVER CO 80221-1872

CURRENT RESIDENT
2901 W 63RD AVE LOT 38A
DENVER CO 80221-2000

CURRENT RESIDENT
5900 FEDERAL BLVD UNIT B
DENVER CO 80221-1872

CURRENT RESIDENT
6000 FEDERAL BLVD
DENVER CO 80221-2002

CURRENT RESIDENT
6199 FEDERAL BLVD
DENVER CO 80221-2003

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 15
DENVER CO 80221-2009

CURRENT RESIDENT
6100 FEDERAL BLVD
DENVER CO 80221-2004

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 16
DENVER CO 80221-2009

CURRENT RESIDENT
6201 FEDERAL BLVD
DENVER CO 80221-2005

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 17
DENVER CO 80221-2009

CURRENT RESIDENT
6231 FEDERAL BLVD
DENVER CO 80221-2005

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 18
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 1
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 19
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 10
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 2
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 11
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 20
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 12
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 3
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 13
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 4
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 14
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 5
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 6
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 27
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 7
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 28
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 8
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 29
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 9
DENVER CO 80221-2009

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 30
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 21
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 31
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 22
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 32
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 23
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 33
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 24
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 34
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 25
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 35
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 26
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 36
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 37
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 47
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 38
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 48
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 39
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 49
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 40
DENVER CO 80221-2010

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 50
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 41
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 51
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 42
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 52
DENVER CO 80221-2011

CURRENT RESIDENT
6250 FEDERAL BLVD LOT 43
DENVER CO 80221-2011

CURRENT RESIDENT
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2901 W 63RD AVE LOT 31C
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DENVER CO 80221-2066

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2600 W 62ND AVE
DENVER CO 80221-2466

CURRENT RESIDENT
2901 W 63RD AVE LOT 11
DENVER CO 80221-2067

CURRENT RESIDENT
2211 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
6271 BEACH ST UNIT A
DENVER CO 80221-2072

CURRENT RESIDENT
2231 W 59TH PL
DENVER CO 80221-6614

CURRENT RESIDENT
6271 BEACH ST UNIT E
DENVER CO 80221-2072

CURRENT RESIDENT
2200 W 60TH AVE UNIT A
DENVER CO 80221-6621

CURRENT RESIDENT
6271 BEACH ST UNIT G
DENVER CO 80221-2072

CURRENT RESIDENT
2200 W 60TH AVE UNIT B
DENVER CO 80221-6621

CURRENT RESIDENT
6231 BEACH ST UNIT A
DENVER CO 80221-2073

CURRENT RESIDENT
2200 W 60TH AVE UNIT C
DENVER CO 80221-6621

CURRENT RESIDENT
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DENVER CO 80221-2073

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2200 W 60TH AVE UNIT E
DENVER CO 80221-6621

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2400 W 64TH AVE
DENVER CO 80221-2325

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2200 W 60TH AVE UNIT F
DENVER CO 80221-6621

CURRENT RESIDENT
2660 W 64TH AVE
DENVER CO 80221-2330

CURRENT RESIDENT
2180 W 60TH AVE
DENVER CO 80221-6623

CURRENT RESIDENT
2000 W 60TH AVE
DENVER CO 80221-6631

CURRENT RESIDENT
5929 PECOS ST
DENVER CO 80221-6646

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the property at 2601 W. 60th Avenue on June 23, 2020, in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink that reads "J. Gregory Barnes".

J. Gregory Barnes

Brannan Sand & Gravel

PRC2019-00020

2601 W. 60th Avenue

October 6, 2020

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes



Requests

1. Conditional use permit application to allow recycling operations in the Industrial-2 and Industrial-3 zone districts;
2. Conditional use permit application to allow accessory outdoor storage in excess of ten acres in the Industrial-2 and Industrial-3 zone districts;
3. Conditional use permit application to allow stacking of materials up to fifty (50) feet in height and above the height of any screen fencing.

AERIAL OVERVIEW



Federal Blvd.

Clear Creek

I-76

Site

Lowell Blvd

76

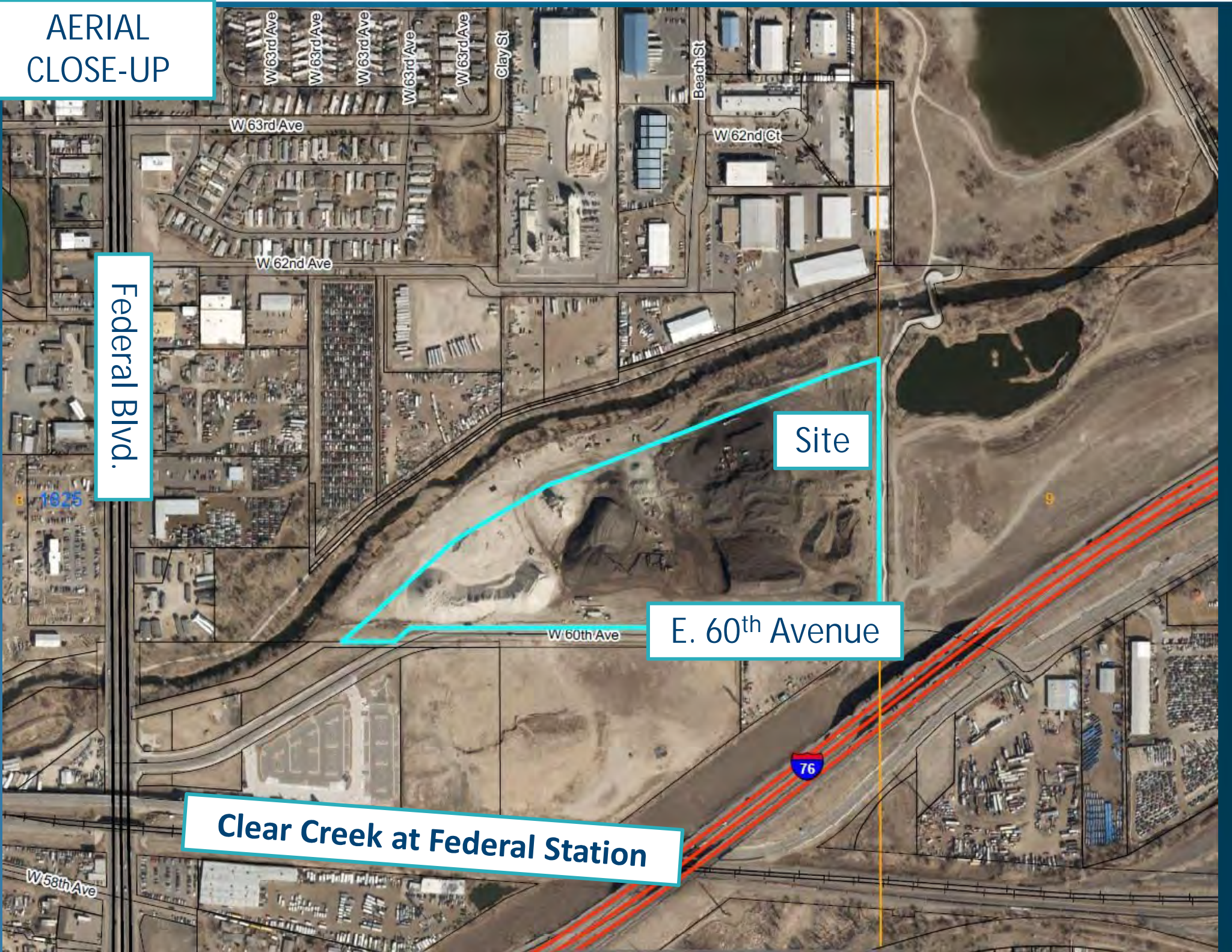
AERIAL CLOSE-UP

Federal Blvd.

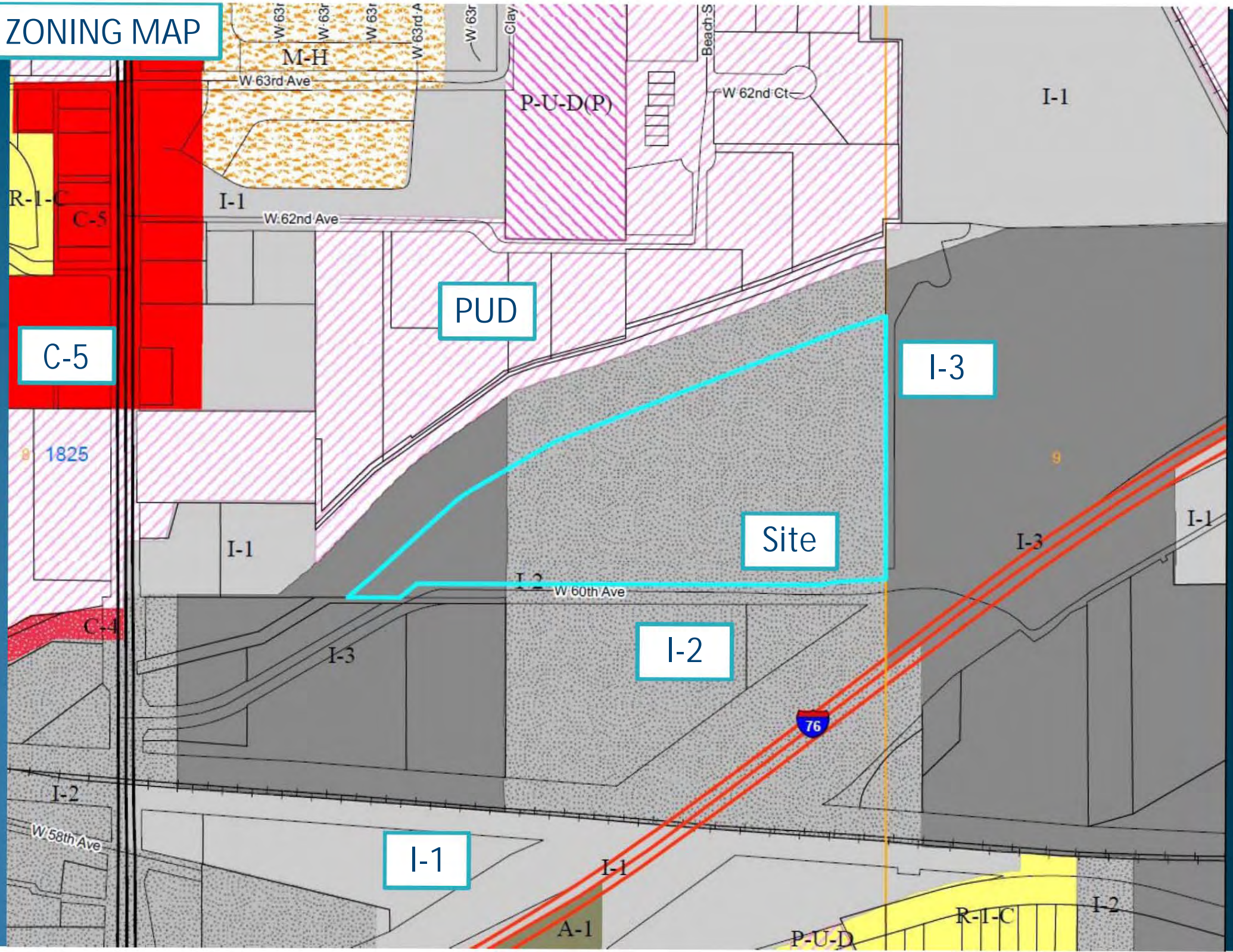
Site

E. 60th Avenue

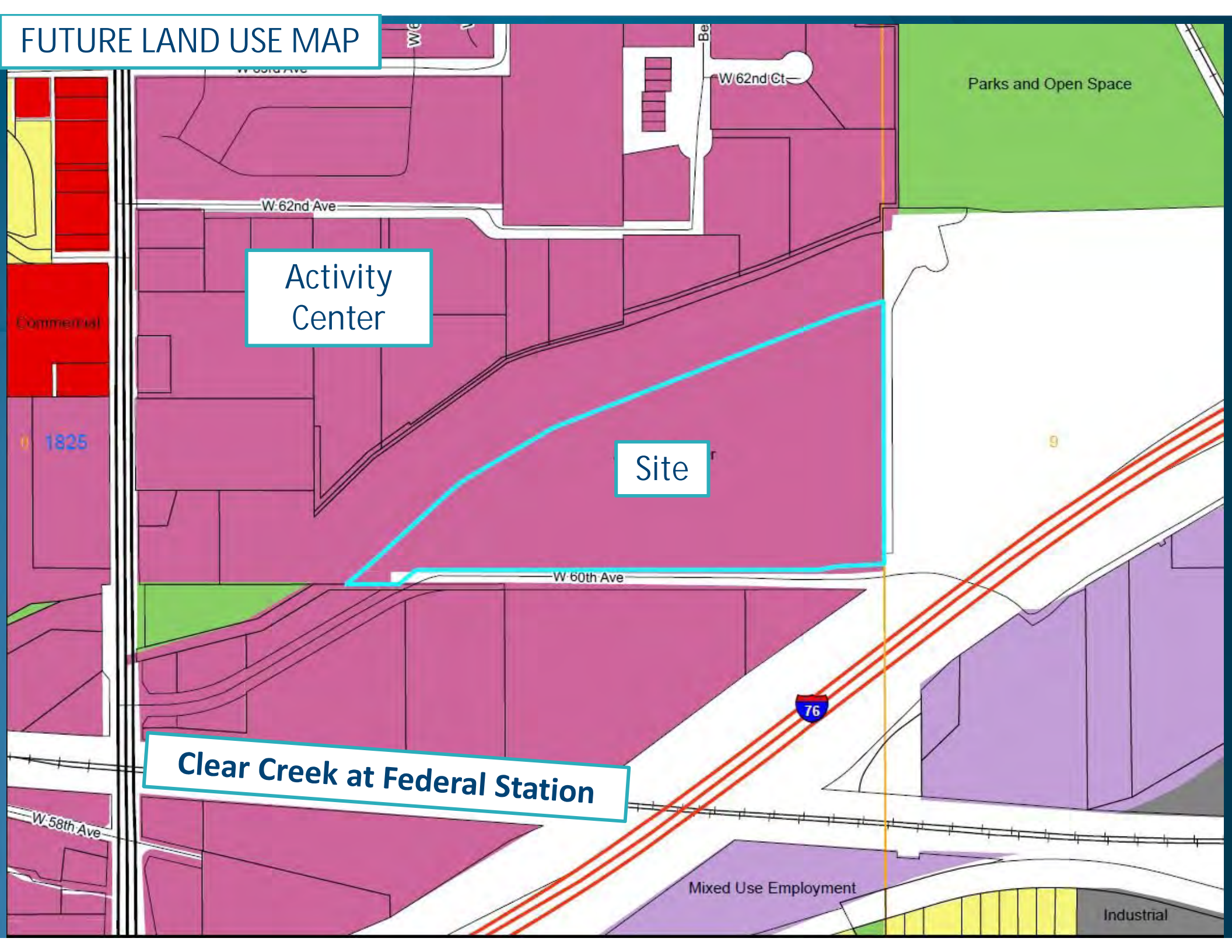
Clear Creek at Federal Station



ZONING MAP



FUTURE LAND USE MAP



Activity Center

Site

Parks and Open Space

Clear Creek at Federal Station

Mixed Use Employment

Industrial

Commercial

1825

9

76

W 58th Ave

W 62nd Ave

W 60th Ave

W 62nd Ct

Activity Center

- High-Intensity, Mixed-Use Development
 - Office
 - Hotel
 - High-Density Residential
 - Retail/Restaurant
- Excellent Transportation Access
- High Visibility
- Development in Activity
- Centers must contain a sufficient intensity and mix of uses to create a pedestrian environment and support transit service.
- These centers may be especially suitable for providing a variety of housing or should be planned with due consideration of accessibility between residences and places of employment.

Background

- Use: processing and storage of recycled asphalt material including stockpiling and transport.
- No permits were ever obtained
- October 1995, notice of violation issued by Adams County
 - No permit was obtained

Background

- June 2012, the applicant was granted a conditional use permit at 5880 Lipan Street for similar use.
 - Condition to require the operations at 2601 W. 60th Avenue to cease and for the site to be vacated by June 2019.
 - July 2020, the applicant has not ceased operations nor vacated the site.
- In May 2017, an inspection of the site was conducted by Adams County, TCHD, and CDPHE.
 - Facility was operating without proper permitting;
 - Outdoor storage that was not associated with the business;
 - 30-foot tall pile of shingles - unpermitted disposal of solid waste and potentially may have included asbestos shingles;
 - Illicit discharge into the Clear Creek;
 - Storage and stockpiling on an adjoining property owned by Adams County.

Background

- Post-Inspection
 - Shingles removed
 - Material shifted off adjoining property
- November 2017, Settlement agreement was reached between Brannan Sand & Gravel and Adams County.
 - Timeline for the site to come into compliance
 - Initial compliance for several months
 - February 2018, Extension of deadlines granted
 - June 2019, Full compliance was to be met
 - December 2019, Subject applications filed
 - July 2020, the applicant has not ceased operations nor vacated the site.

Criteria for Conditional Use

Section 2-02-09-06

1. Permitted in zone district
2. Consistent with purpose of regulations
3. Comply with performance standards
4. Harmonious & compatible
5. Addressed all off-site impacts
6. Site suitable for use
7. Site plan adequate for use
8. Adequate services

SITE PLAN

BMP LEGEND:

APPROX. LIMIT OF CONSTRUCTION AND DETENTION AREA	LOC	LOC
SOIL FENCE	(SF)	---
INLET PROTECTION	(IP)	⊗
STABILIZED TRACKING AREA	(SSA)	▨
DRIPLE TRACKING CONTROL	(VTC)	⌘
SEDIMENT CONTROL LOG	(SCL)	---SCL---
LANDY SOIL MATT	(SSM)	▤

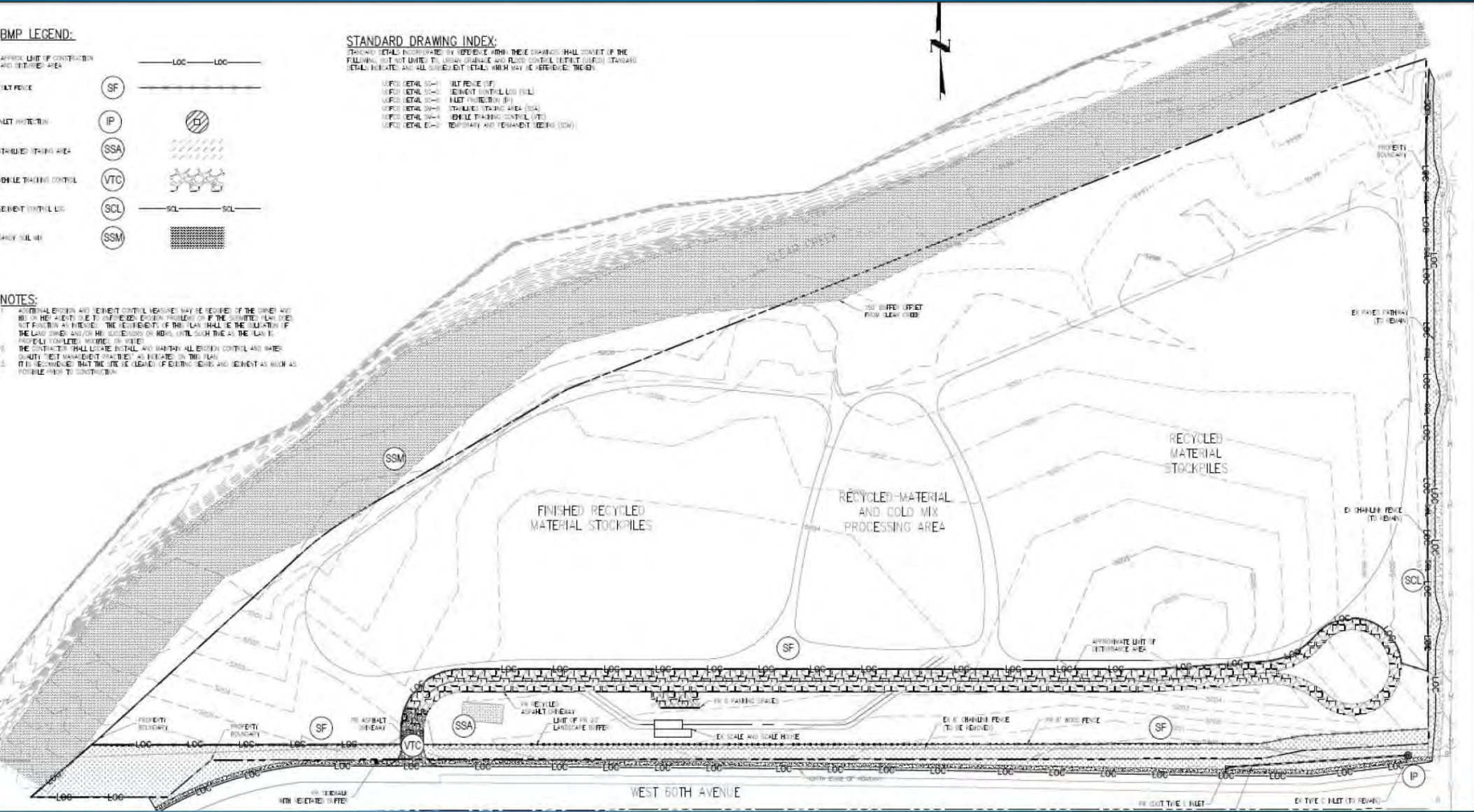
STANDARD DRAWING INDEX:

STANDARD DETAILS INCORPORATED BY REFERENCE WITH THESE DRAWINGS SHALL COMPLY WITH THE FOLLOWING, BUT NOT LIMITED TO, LOCAL ORDINANCES AND FLOOD CONTROL DISTRICT (FCDD) STANDARD DETAILS, INDICATED AND ALL APPLICABLE DETAILS, WHICH MAY BE APPLICABLE, THEREBY.

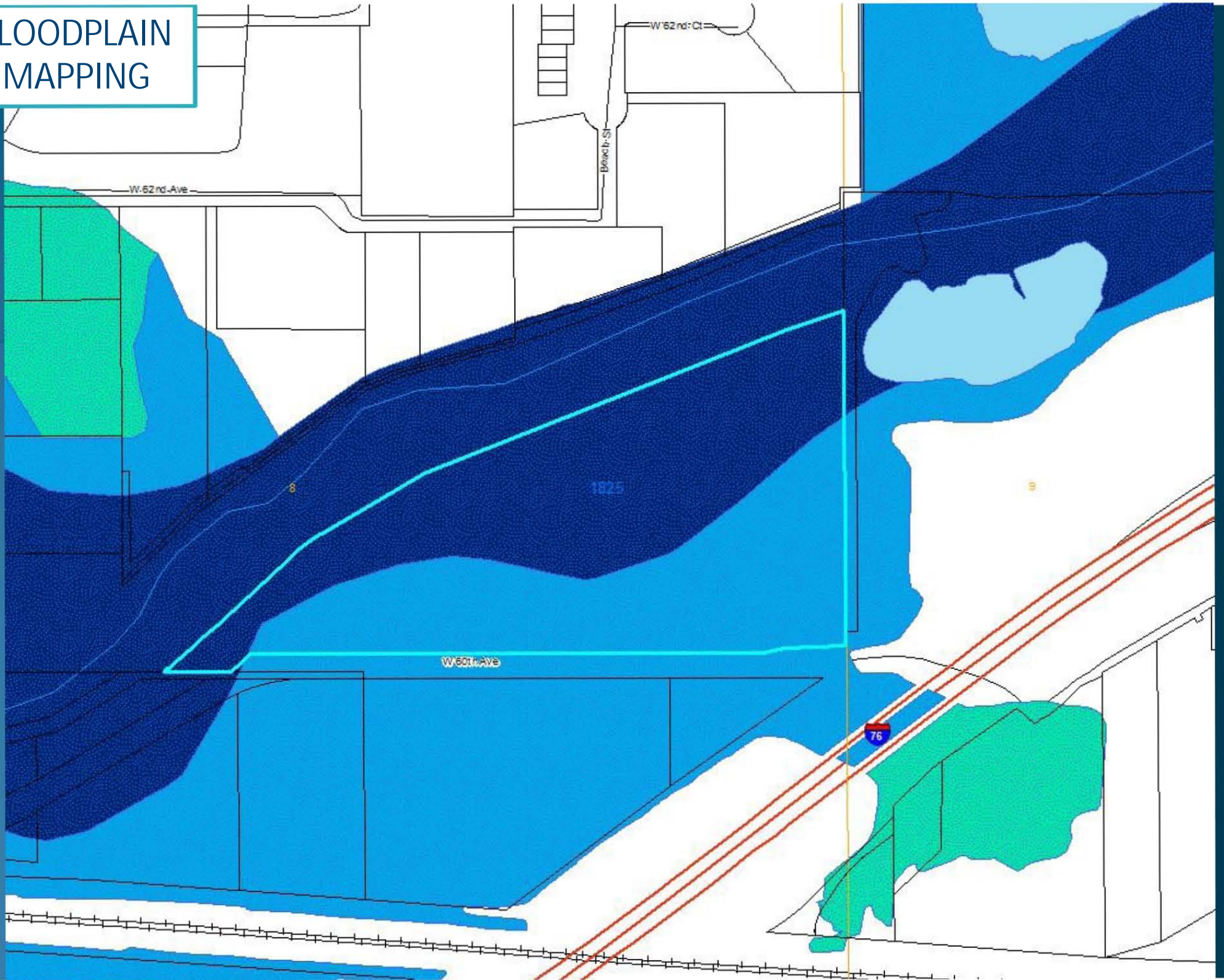
(FCDD) DETAIL (SCL-1)	SOIL FENCE (SF)
(FCDD) DETAIL (SCL-2)	SEDIMENT CONTROL LOG (SCL)
(FCDD) DETAIL (SCL-3)	INLET PROTECTION (IP)
(FCDD) DETAIL (SSA-1)	STABILIZED TRACKING AREA (SSA)
(FCDD) DETAIL (VTC-1)	DRIPLE TRACKING CONTROL (VTC)
(FCDD) DETAIL (SCL-4)	TEMPORARY AND PERMANENT SOIL MATTS (SSM)

NOTES:

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF THE OWNER AND HIS OR HER AGENTS DUE TO UNPREDICTED EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENT OF THIS PLAN SHALL BE THE ILLUSTRATION OF THE LAND OWNER AND/OR HIS SUCCESSION OR HEIRS, UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY BEST MANAGEMENT PRACTICES AS INDICATED ON THIS PLAN. IT IS RECOMMENDED THAT THE SITE BE KEPT CLEAR OF BUILDING DEBRIS AND SEDIMENT AS MUCH AS POSSIBLE PRIOR TO CONSTRUCTION.



FLOODPLAIN MAPPING













Adams County Comprehensive Planning

- Southwest Area Plan
 - Policy 14.1 Promote Clean Industrial Uses;
 - Encourage development and redevelopment of a range of industrial uses in the Southwest Area, with emphasis on new clean and/ or light industrial uses
- Federal Boulevard Framework Plan
 - Corridor Planning should address potential Federal Boulevard blight conditions and recommend improvements in visual character. The addition of pedestrian-oriented improvement to the right-of-way is critical in providing better accommodations for non-motorized corridor transportation. Additionally, streetscape planting should be incorporated throughout the corridor with a focus on shade trees along the east and west sides of the roadway due to the utility limitations of the center medians.
 - Corridor planning should address potential methods to land assembly for redevelopment, protection of residential neighborhoods from commercial land use and traffic encroachment, and methods to interconnect the local street grid.
- Clear Creek Valley Transit Oriented Development Plan

Clear Creek Valley Transit Oriented Development Plan, 2009

- Creation of a transit-oriented community
- Pedestrian-oriented to the transit station
- New retail, employment, entertainment and residential opportunities
- Current site designated for Village Center, Business Park, Open Space
- Mixed-use development with sustainable practices
- Open space and recreational opportunities
- Gateway to Southwest Adams County
- Discourages land use patterns in transit corridors and around transit stations that may preclude future Transit Oriented Development
- Discourages land consumptive uses related to heavy industry such as outdoor storage.

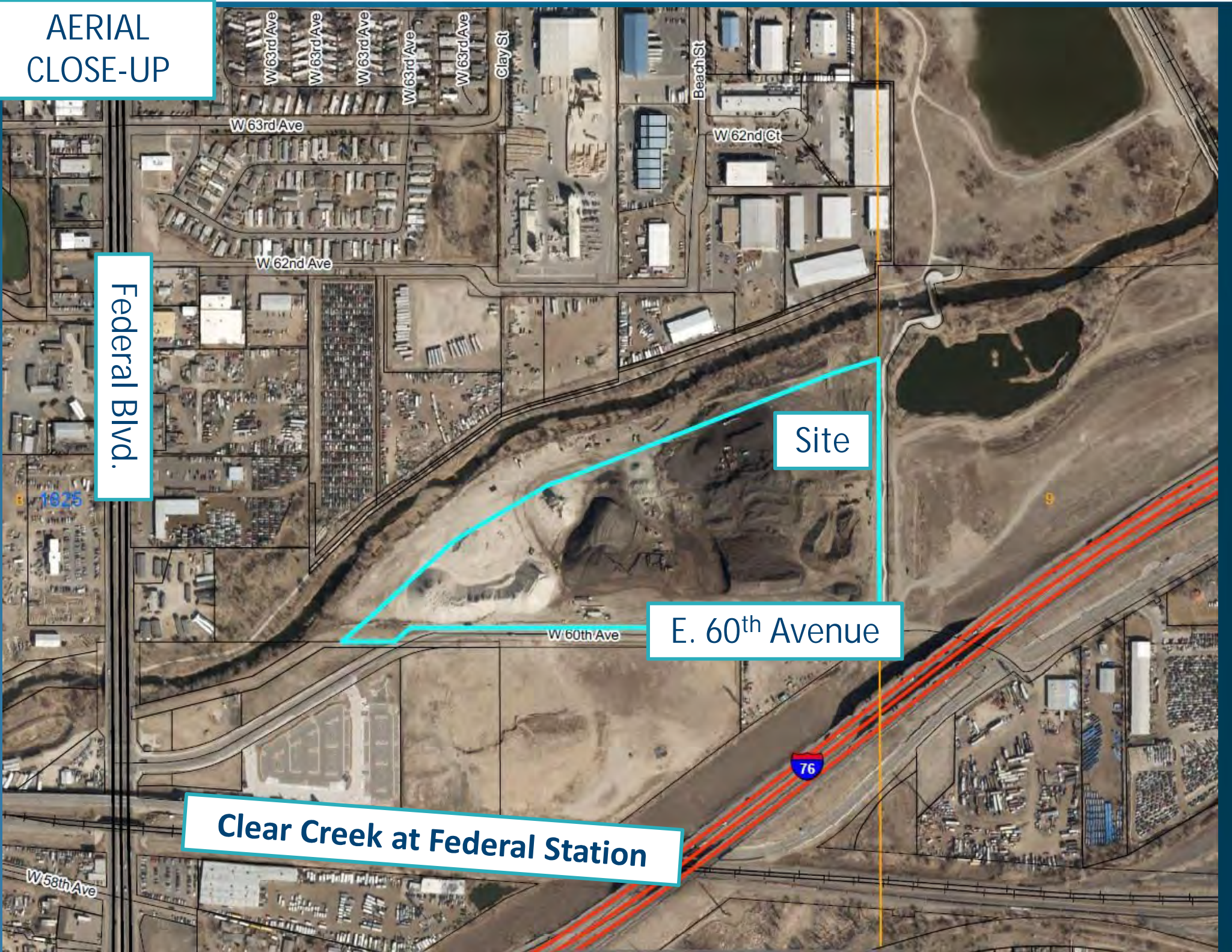
AERIAL CLOSE-UP

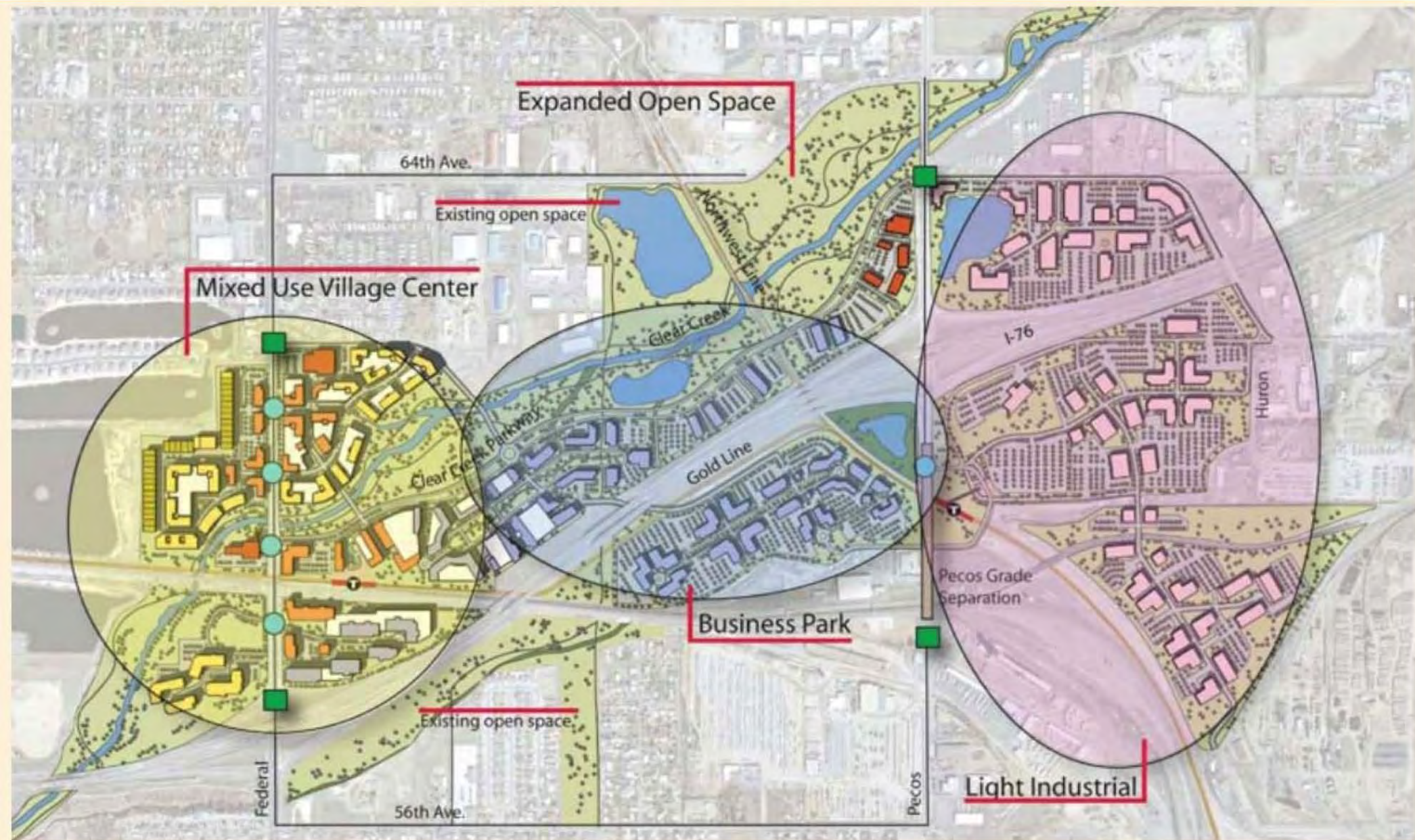
Federal Blvd.

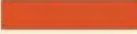
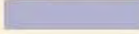







Site

E. 60th Avenue

Clear Creek at Federal Station





- | | | | | | |
|--|---------------------------------|---|---------------------------|---|--|
|  | Retail |  | Business/office |  | Signalized intersection (needs CDOT approval) |
|  | Mixed use |  | Industrial |  | Gateway |
|  | Multi family residential |  | Structured parking | | |
|  | Single family attached | | | | |



Active street level retail



Interactive corners

Design Standards

Purpose of the Design Standards

The purpose of the Design Standards is to set high quality requirements for design of all projects in the Village Center. Development that is designed to these standards will protect the real estate values in the station area and in the neighborhoods in the vicinity. The standards provide a level playing field for developers which will assure a high standard of design on the part of all participants, and raise the bar for design in the immediate area.

Design Standards for the Village Center

Sustainability

Intent: To achieve sustainable design in developing and building each site promoting integrated design practices that sustain the project economically, environmentally and culturally.

Principles: At a minimum, sustainability within the Village Center shall be measured by the LEED rating system, established by the USGBC. Review and approval of buildings in this area shall be contingent upon the applicant showing progress in obtaining the LEED Certified credits. Affordable housing will be considered as an integral part of planning.

Pedestrian Connectivity

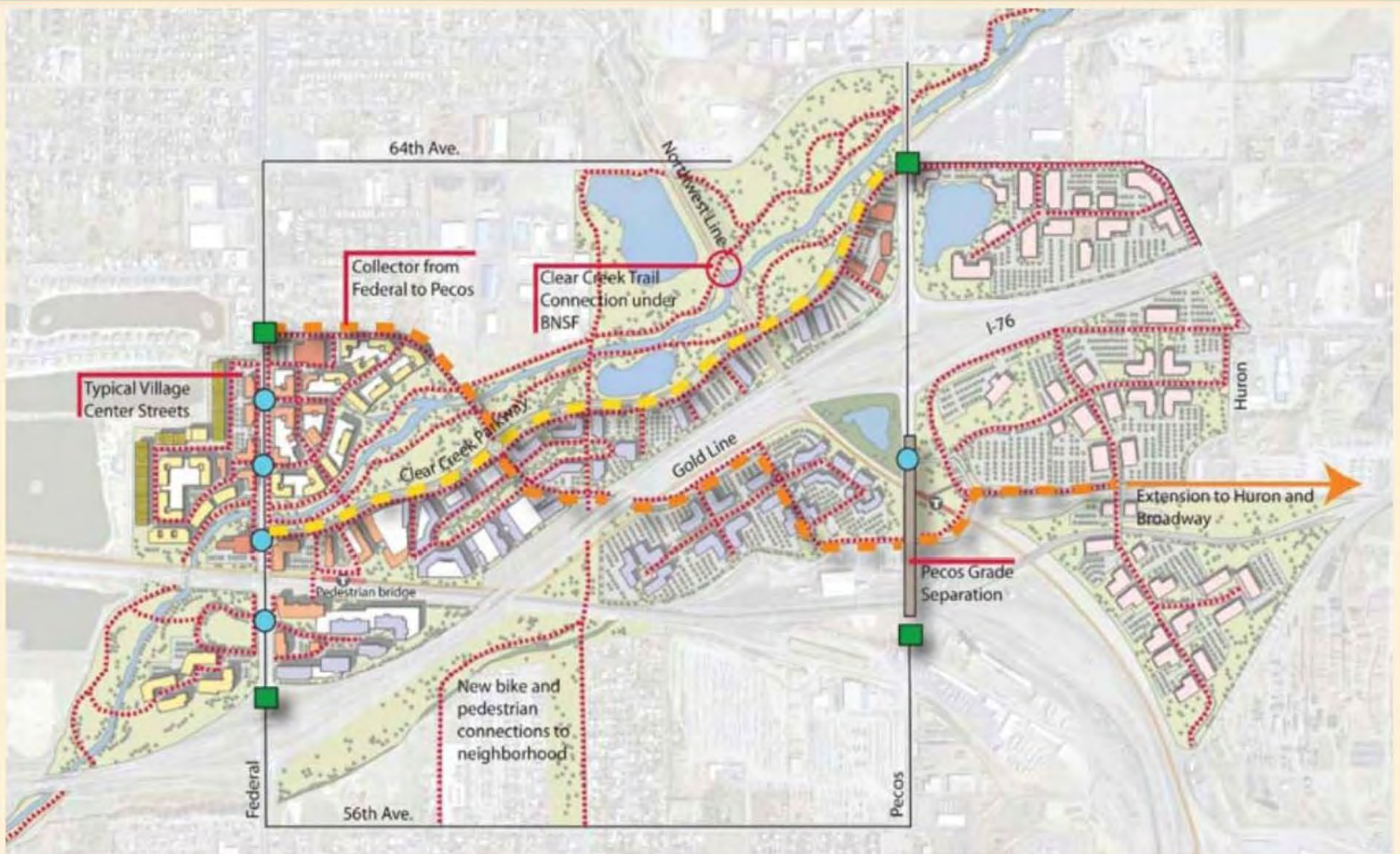
Intent: To connect transit, commercial and housing destinations with convenient, safe and easy to understand pedestrian circulation.

Principles: Walkways, bridges and pedestrian crossings shall constitute a network that interconnects all transit, commercial and residential buildings. Hidden areas and blind corners shall be avoided in favor of open, visible gathering places and unobstructed paths with clear visual connections to destinations beyond. Pedestrian walkways should avoid doubling back or acute changes in the travel path, and should have good visual connection with the surroundings at all times. Active uses should be located along the pedestrian paths.

Ground Floor Activity

Intent: To create a compelling and active pedestrian environment with interesting, accessible activities at the street level.

Principles: Ground floor uses shall consist of active commercial uses, restaurants and entertainment venues in areas that will be frequented by pedestrians. The active space shall be organized in a logical pedestrian flow, without isolating retail activities from public spaces and streets.



- Clear Creek Parkway**
- Collector Road from Federal to Pecos**
- Pedestrian and bike circulation**
- Signalized intersection (needs CDOT approval)**
- Gateway**



CLEAR CREEK AT FEDERAL STATION

The vision for the Clear Creek at Federal Station is to create a new vibrant community amenity within walking distance of the transit station. New retail, employment, entertainment and living opportunities within the Village Center will serve the needs of the existing community, and maintain the area as an employment center for Adams County.

Parking - 7,230
(Includes station parking at 600 spaces)

Multi-family Residential units - 1,993

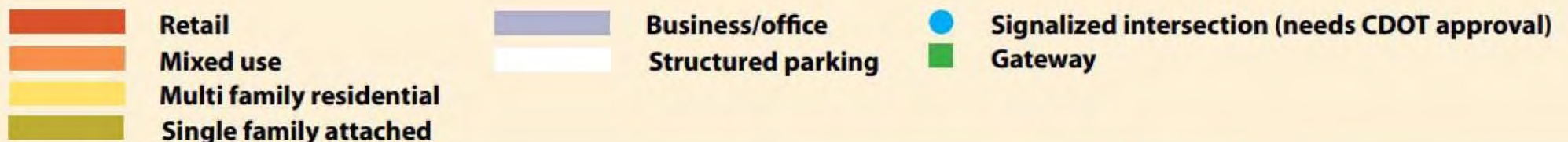
Retail - 467,000 SF
Potential jobs - 467 (1/1,000 SF)

Business/office - 398,000 SF
Potential jobs - 1,326 (1/300 SF)

Open Space - 66 acres

Program based on hypothetical assumptions of maximum buildout. Not based on current zoning or entitlements.

Clear Creek at Federal Station - Mixed-Use Village Center



Comments on Case

Referral agency comments:

- Colorado Division of Water Resources (No concerns)
- Colorado Department of Transportation (No concerns)
- City of Arvada (No Concerns)
- Denver Water (No concerns)
- Adams County Fire (No concerns)
- Regional Transportation District (No comments)
- Tri-County Health Dept. (Concerns – fugitive dust, historic landfill)
- Xcel Energy (No concerns)

Public comments:

Property owners and residents within 1,500 feet

Notifications Sent	Comments Received
162	2

Summary

The determination by staff is that the request is inconsistent with the criteria for approval:

- The conditional use is incompatible with the surrounding area
- The conditional use is not harmonious with the character of the neighborhood
- The conditional use is detrimental future development of the area
- The conditional use , and detrimental to the health, safety, or welfare of the inhabitants of the area and the County
- The request cannot address all off-site impacts
- Character of the neighborhood is changing
- History of noncompliance with County standards

Planning Commission Update

Public Hearing: July 9, 2020

No public comments provided at hearing

PC Questions/Concerns:

- Long-Range Plans
- Off-Site Impacts
- History of Noncompliance

Voted 5-0 for Denial

Previous Board of County Commissioners Hearing

Public Hearings : July 28, August 11, and September 1, 2020

Continuances were granted by a unanimous vote.

Recommendation

Denial of Conditional Use Permit (PRC2019-00020)

based on:

- 14 Findings-of-Fact

Findings-of-Fact

1. The conditional use is not permitted in the applicable zone district.
2. The conditional use is inconsistent with the purposes of these standards and regulations.
3. The conditional use will not comply with the requirements of these standards and regulations, including but not limited to, all applicable performance standards.
4. The conditional use is incompatible with the surrounding area, not harmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the inhabitants of the area and the County.
5. The conditional use permit has not addressed all off-site impacts.
6. The site is unsuitable for the proposed conditional use including adequate usable space, adequate access, and absence of environmental constraints.
7. The site plan for the proposed conditional use will not provide the most convenient and functional use of the lot including the parking scheme, traffic circulation, open space, fencing, screening, landscaping, signage, and lighting.

Findings-of-Fact

8. The request for outdoor storage is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Development Standards and Regulations.
9. Aesthetic concerns have not been taken into consideration during the site design and placement of the outdoor storage.
10. The request for a recycling facility is incompatible with the Adams County Comprehensive Plan, does not comply with the minimum zoning requirements of the zone district in which the Conditional Use Permit is to be granted, and does not comply with all other applicable requirements of the Adams County Zoning and Subdivision Regulations.
11. The applicant has not documented his ability to comply with the health standards and operating procedures as provided by the Colorado Department of Public Health and Environment, Tri-County Health Department, Fire District, and other relevant agencies.
12. The proposed facility will cause significant traffic congestion or traffic hazards.
13. The request is incompatible with the surrounding area.
14. The site will impact health and welfare of the community based upon specific recycling facility design and operating procedures.

Additional Staff Review Possible

If considering approval of the use:

- Improved Landscape Plan
- Reduced Stacking Heights
- Higher-Quality Fencing
- Improved Environmental Controls
- Limited Duration



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

CASE NO.: PRC2019-00009

CASE NAME: WOLF CREEK RUN WEST

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**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

Board of County Commissioners

October 6, 2020

CASE No.: PRC2019-00009	CASE NAME: Wolf Creek Run West
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Owner's Name:	PaulsCorp, LLC
Applicant's Name:	Brad Pauls, PaulsCorp, LLC
Applicant's Address:	100 Saint Paul St., Ste. 300, Denver, CO 80206
Location of Requests:	Northwest of the intersection of Piggott Road & East 26 th Avenue
Parcel #:	0181329200007
Nature of Requests:	1.) Final Development Plan to develop 429 dwelling units on 199.8 acres; 2.) Final Plat for 103 lots and 13 tracts on 71.5 acres; and 3.) a Subdivision Improvements Agreement for associated public improvements
Zone District:	Planned Unit Development (PUD)
Site Size:	Approximately 200 acres
Proposed Uses:	Single-Family Residential; Institutional, Open Space
Existing Use:	Vacant
Hearing Date:	BoCC: October 6, 2020 / 9:30 a.m.
Report Date:	September 8, 2020
Case Manager:	Greg Barnes
PC Recommendation:	APPROVAL of the Final Plat and Final Development Plan with 11 Findings-of-Fact, 3 Conditions, and 1 Note

SUMMARY OF PREVIOUS APPLICATIONS

On August 4, 2003, the Board of County Commissioners approved the Wolf Creek Run Preliminary Development Plan (PDP) and Preliminary Plat. The approved PDP included 660 residential lots. The site is located along both the eastern and western sides of Piggott Road, just north of East 26th Avenue. The development is located northwest of the unincorporated community of Strasburg. Later that year, a final plat and final development plan (FDP) was approved for Wolf Creek Run (east of Piggott Road), which includes 213 lots and accounts for approximately 32% of the Planned Unit Development (PUD). The Wolf Creek Run PUD (east of Piggott Road) is fully constructed.

On March 12, 2019, the Board of County Commissioners approved an extension to allow the applicant an additional three years to file an FDP for Wolf Creek Run West (west of Piggott Road) through August 4, 2021.

On April 30, 2019, the Board of County Commissioners approved a preliminary plat for Wolf Creek Run West, Filing No. 1. The subject final plat application is associated with the approved preliminary plat.

SUMMARY OF APPLICATION

Background:

Pauls Development East, LLC is requesting: an FDP to establish the Wolf Creek Run West PUD (west of Piggott Road), a major subdivision final plat for the first filing of the Wolf Creek Run West subdivision, and an associated subdivision improvements agreement.

The proposed FDP will be consistent with the approved PDP, which created a vested right to allow for up to 660 dwelling units associated with the Wolf Creek Run PUD, of which 213 have already been constructed. The northwestern portions of the PUD include areas where conservation easements have reserved the land for open space.

The Wolf Creek Run West FDP includes 429 single-family homes on approximately two hundred (200) acres. The overall density of Wolf Creek Run West will be 2.1 dwelling units per acre. Homes are arranged in a clustering pattern to preserve open space and provide community amenities. The minimum lot size is proposed to be 5,000 square feet, and the minimum dwelling size is proposed to be 1,000 square feet. The FDP includes three park spaces to satisfy the active recreation open space requirement for development plans, this includes a nine-hole disc golf course and a trail network looping the entire subdivision.

The proposed final plat (Wolf Creek Run West, Filing No. 1) will be consistent with the approved preliminary plat and consists of 103 lots, 13 non-residential tracts used for parking and open space. The proposed final plat also includes a lot that is dedicated for future use by the Strasburg 31J school district.

Site Characteristics:

The subject site is located to the northwest of the intersection of East 26th Avenue and Piggott Road. Currently, the property is mostly vacant, but does include two athletic fields to support the development. These athletic fields are presently unplatted and are incorporated into the final plat for Wolf Creek Run West, Filing No. 1. The athletic fields were included and are considered a part of the previously approved Wolf Creek Run FDP (east of Piggott Road). The designation of these fields as active recreation open space for the original Wolf Creek Run PUD will remain unchanged by this proposal.

The proposed Wolf Creek Run West, Filing No. 1 subdivision is adjacent to filings of the Wolf Creek Run (East) subdivision. The site has access to Piggott Road from the east along East 29th Avenue. East 31st Avenue, East 29th Place, and East 28th Place are proposed to be newly constructed local streets serving the filing in an east-west direction. Noreen Street, Nectar Street,

Oxley Street, and Pershing Street are proposed to be newly constructed local streets serving the filing in a north-south direction.

Development Standards and Regulations Requirements:

Per Section 5-03-03 of the County’s Development Standards and Regulations, subdivision plats and lot dimensions are required to conform to requirements of the zone district in which the property is located. In addition, all lots created by a subdivision shall have access to a County maintained right-of-way. The minimum lot size allowed in the PUD is 5,000 square feet. All proposed lots in the subject plat will conform to these requirements. In addition, all the proposed lots will have access to a public right-of-way.

Section 2-02-19-04-05 of the County’s Development Standards describes the criteria for approval of a major subdivision plat. The application has demonstrated conformance with the approval criteria. The proposed final plat conforms to the approved preliminary plat. All lots will be served by the Eastern Adams County Metropolitan District for water and sewer service. The Colorado Division of Water Resources has confirmed the availability of water supply.

The FDP application has demonstrated conformance with the criteria for approval for a final development plan, as specified in Section 2-02-11-04-05 of the County’s Development Standards. The FDP is consistent with the PDP. The FDP conforms to the dimensional standards of the PUD. Additionally, the construction plans have been approved by staff.

Per Section 5-02-05 of the County’s Development Standards and Regulations, a Subdivision Improvement Agreement (SIA) with applicable collateral shall be required with any applications for a final plat. The SIA includes curb, gutter, and sidewalk for adjacent or new roadways. Drainage improvements are also included in this agreement. The applicant is required to provide collateral for the public improvements prior to the Board of County Commissioners approval of the application.

Future Land Use Designation:

The Adams County Comprehensive Plan designates this area as Urban Residential, allowing single- and multi-family housing at higher urban densities in locations that are readily accessible to urban services and transportation. Overall, the subject request is approximately three dwelling units per acre. The development will be connected to surrounding road network system, with access to major streets. The request is consistent with the goals of the Comprehensive Plan to provide higher density housing near urban services and transportation. Additionally, areas surrounding the subject site are also designated as Urban Residential future land use in the Comprehensive Plan.

The subject property is also located in the County’s Strasburg Plan. This plan was adopted to steer development activities within the unincorporated community. The plan projects the growth of Strasburg to 10,000-12,000 residents, while maintaining the small-town agricultural character of the community. The proposed density for the subject request is greater than one dwelling unit per acre and consistent with the Strasburg Plan. Both the Strasburg and Comprehensive Plans designate the subject site for residential uses.

Surrounding Zoning Designations and Existing Use Activity:

Northwest A-3 Vacant	North A-3 Single-Family Residential / Agricultural	Northeast A-3 Vacant
West PUD Vacant	Subject Property PUD Single-Family Residential	East PUD Single-Family Residential
Southwest PUD Vacant	South PUD Vacant	Southeast PUD Single-Family Residential

Compatibility with the Surrounding Land Uses:

Properties to the east of the proposed subdivision are developed as single-family residential uses and are part of the Wolf Creek Run subdivision. Future filings of the Wolf Creek Run West subdivision will be located to the south and west of the site. The property to the north consists of large tracts of farmland, which includes a residential use.

Staff Recommendations:

Based upon the application, the criteria for approval of a final plat, and a recent site visit, staff recommends approval of these requests with 11 findings-of-fact, 3 conditions, and 1 note.

RECOMMENDED FINDINGS-OF-FACT

1. The final plat is consistent and conforms to the approved preliminary plat.
2. The final plat is in conformance with the subdivision design standards.
3. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
4. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.
5. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
6. The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.
7. Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.

8. The final development plan is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
9. The final development plan conforms to the planned unit development. standards.
10. The final development plan is consistent with any approved preliminary development plan for the property.
11. The final development plan construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Recommended Conditions of Approval:

1. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.
2. The applicant shall comply with all the requirements of the Colorado Department of Natural Resources Division of Parks and Wildlife provided in their letter dated September 16, 2019. This includes the requirement that if any earthmoving is performed between March 15th and August 31st, a burrowing owl survey should be performed. Current guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.
3. The active recreation (park) improvements, including trail access to the disc golf course from Filing No. 1, shall be installed prior to the issuance of the first certificate of occupancy in Wolf Creek Run Filing No. 2, with the only exception being the perimeter trails of Wolf Creek Run West, which will be installed before the issuance of the last certificate of occupancy within each adjacent subdivision filing.

Recommended Note to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.

PUBLIC COMMENTS

Number of Notices Sent	Number of Comments
259	3

All property owners within one-quarter mile of this property were notified of the applications for final plat and final development plan. Staff received three objections to this request. One respondent provided the concern that the police, fire, and educational resources in the community could not accommodate the additional density. She also had concerns regarding increased traffic in the area. Another respondent stated the belief that water resources were unavailable to support the subdivision. The other respondent provided objection to the quality of other homes in the area developed by the applicant and provided concern over construction noise and light pollution.

COUNTY AGENCY COMMENTS

Adams County staff reviewed the subject request and determined the proposed final plat and FDP conform to the County’s Development Standards and Regulation. The request is compatible

with the surrounding area, and consistent with the Strasburg Plan and Adams County Comprehensive Plan.

Section 4-07-01-02-01 of the County's Development Standards outlines requirements to ensure proposed developments are compatible to its surrounding areas. The standards for residential development include architectural character, structure orientation, and building materials. These standards will be reviewed during building permit reviews.

REFERRAL AGENCY COMMENTS

The Colorado Division of Parks & Wildlife provided techniques during the construction process to limit the impacts on wildlife. Their requests are included as conditions. The Tri-County Health Department encouraged the applicant to provide sidewalks and safe routes to schools. The Strasburg Parks and Recreation District expressed their preference to obtain cash-in-lieu of privately owned park space, during the referral period. The applicant has indicated that it is their intention to pay cash-in-lieu, as requested.

Responding with Concerns:

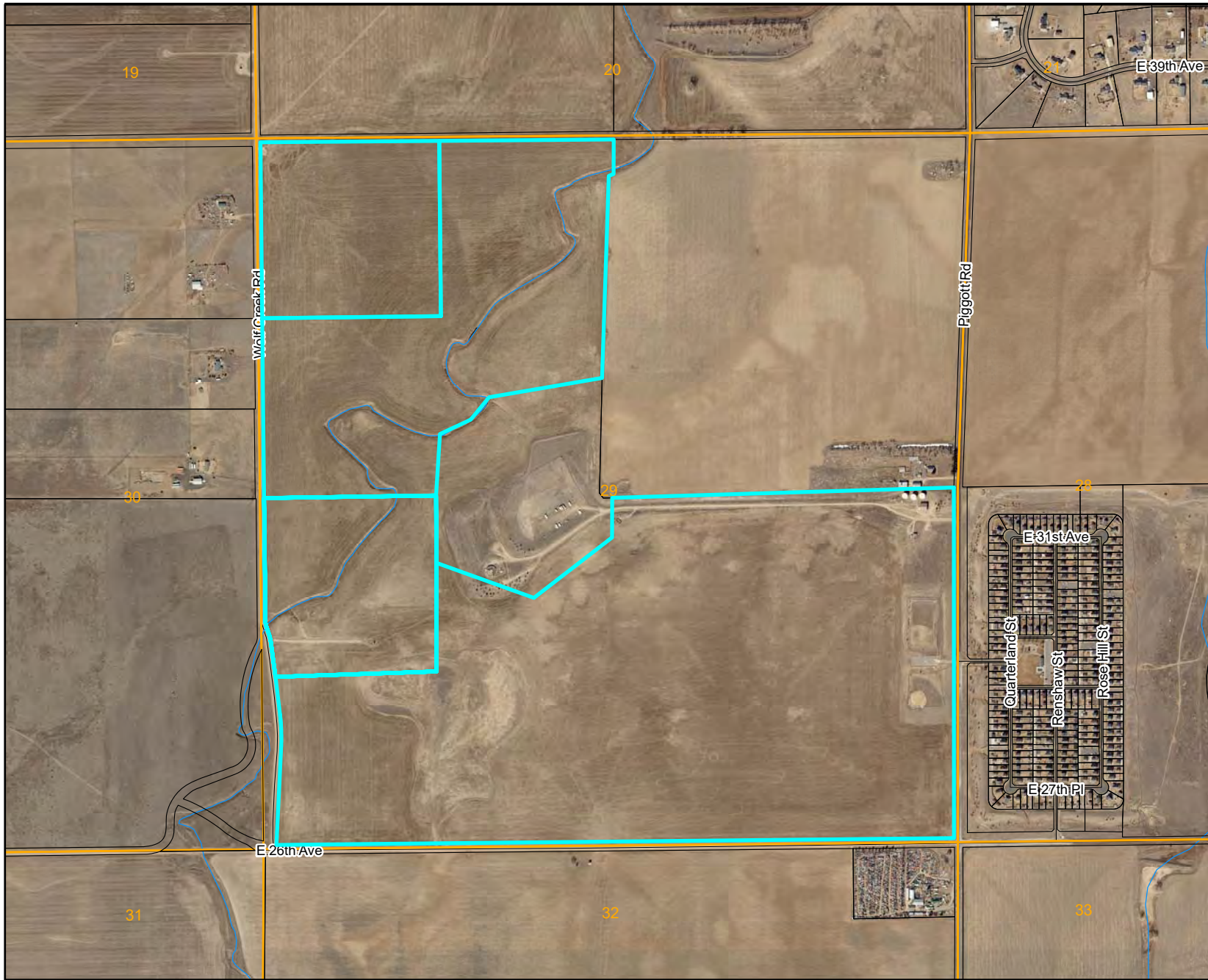
Colorado Division of Parks & Wildlife
Strasburg Parks & Recreation District
Tri-County Health Department

Responding without Concerns:

Colorado Geological Survey
Intermountain Rural Electric Association (IREA)
Strasburg School District 27J
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Century Link
Colorado Division of Mining and Reclamation Safety
Colorado Division of Water Resources
Comcast
Eastern Adams County Metropolitan District
Strasburg Fire Protection District #8
Strasburg Water & Sanitation District
U.S. Environmental Protection Agency
U.S. Postal Service



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

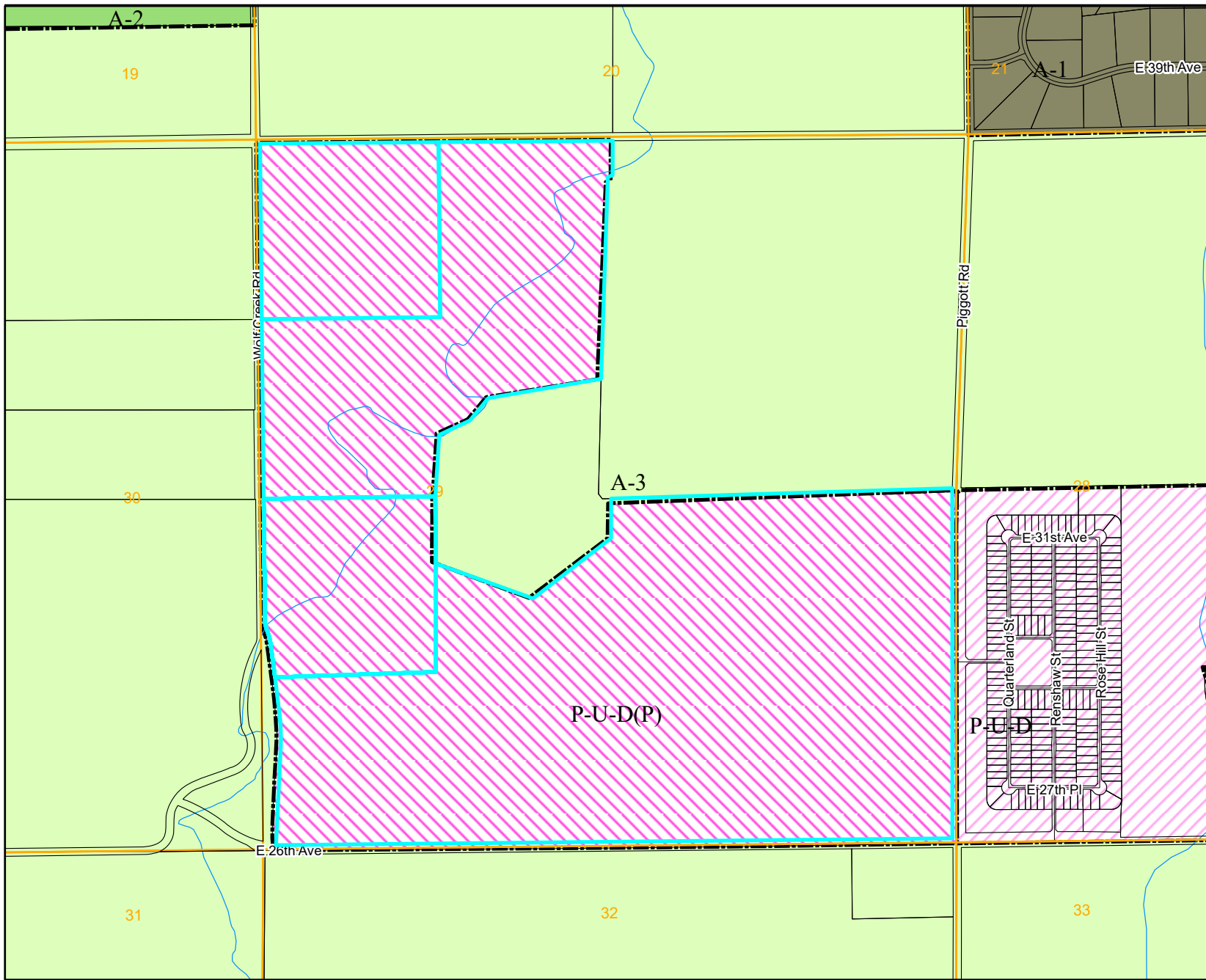
Wolf Creek Run West
PRC2019-00009







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Legend

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

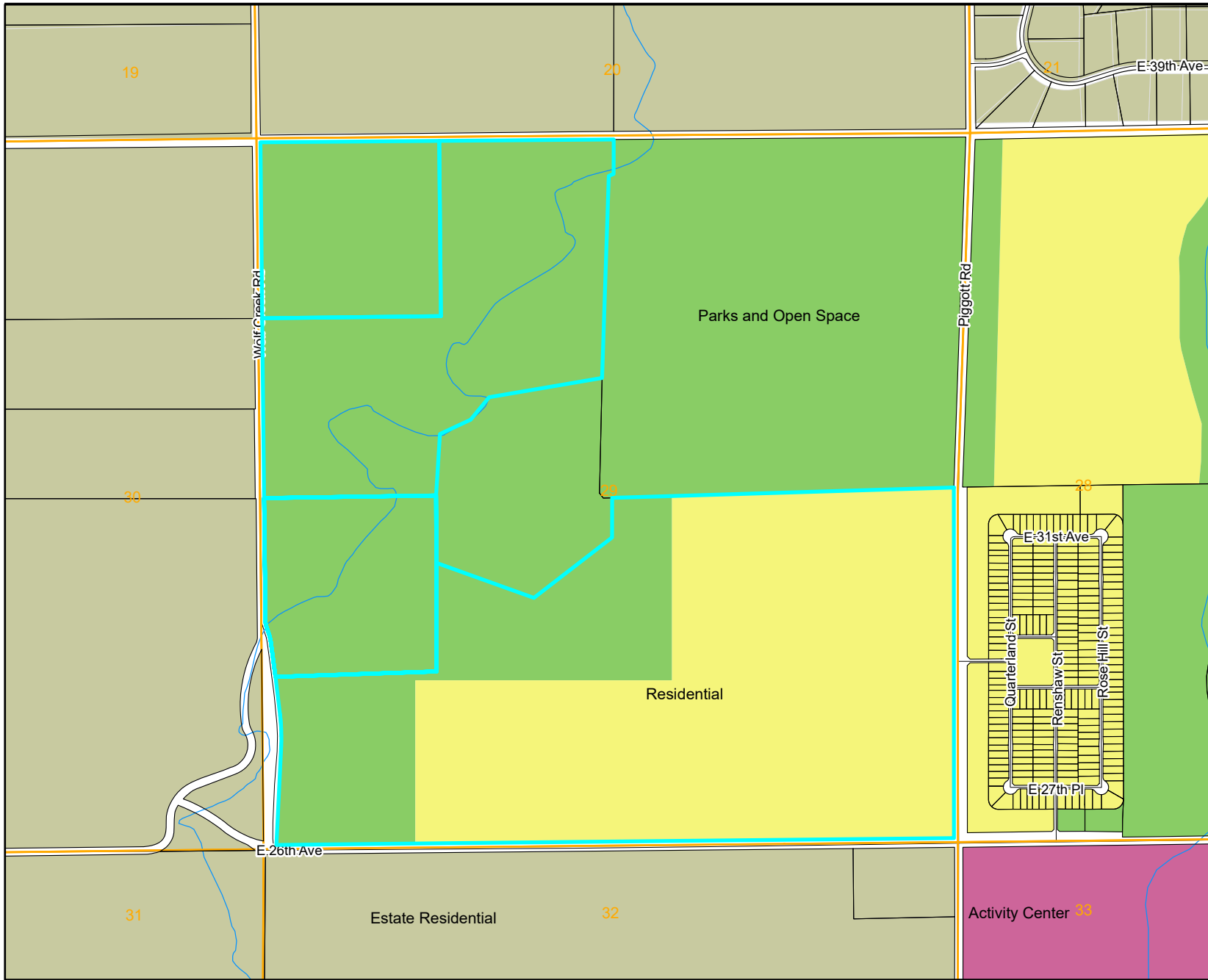
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PRC2019-00009







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Legend

-  Railroad
-  Major Water
-  Zoning Line
-  Sections

Wolf Creek Run West
PRC2019-00009

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Explanation of the Request

(Wolf Creek Run West Filing No. 1 FDP and Final Plat)

Introduction

Pauls Development East, LLC (“PAULS”) seeks final development plan (“FDP”) approval for up to 429 dwelling units on 199.8 acres (“SUBJECT PROPERTY”), and final plat approval for 103 lots and 13 tracts on 71.465 acres of vacant land within the area covered by the FDP (“FINAL PLAT AREA”). The subject property is located generally at the northwest corner of Piggott Road and 26th Avenue in Strasburg. It is part of approximately 342 acres of property commonly known as Planning Area 1 of Wolf Creek Run (Parcel # 0181329200007) (“PAULS PROPERTY”).

The Pauls Property is the subject of a preliminary planned unit development plan approval, and the Final Plat Area is the subject of a preliminary plat that was approved by the Board of County Commissioners on April 30, 2019. The purpose of this letter is to provide a written explanation of Pauls’ request for final development plan approval for the subject property and final plat approval for the final plat area.

A Short History of the Pauls Property

Wolf Creek Run was originally vested for 660 units. East of Piggott Road, there are 213 platted lots in Wolf Creek Run, most of which are built-out. West of Piggott Road, the Planned Unit Development approval (“P.U.D.”) allows for 447 additional units. These units are the subject of an approved Preliminary Development Plan (“PDP”).

As part of the P.U.D. approval, Pauls created conservation easements over much of the land in Parcel #018329200007, and also agreed to convey a school site to Strasburg School District 31J. The school site, originally contemplated to be located roughly in the middle of Wolf Creek Run West, has been moved by agreement with the School District to the northwest corner of 26th Avenue and Piggott Road. The proposed FDP and final plat respond to this change by carving out the new school site (Block 8, Lot 1 of the final plat) and providing perimeter streets around the western boundary and a portion of the northern boundary of the school site. The applicant and the School District have agreed that the school site will be conveyed to the School District upon recording of the final plat.

A preliminary plat to implement the PDP within the final plat area, in terms of product types, density, and general development patterns, was approved by the Board of County Commissioners by Resolution No. 2019-237 on April 30, 2019. The preliminary plat included 104 lots and 15 tracts.

Regulatory Compliance

I. FINAL DEVELOPMENT PLAN.

The proposed final development plan is in full compliance with the Adams County Development Standards and Regulations ("ADCO STANDARDS"), is consistent with the Adams County Comprehensive Plan and its Strasburg Area Plan ("STRASBURG PLAN") amendment, and is consistent with the approved preliminary plat.

A. *The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.*

1. ADAMS COUNTY COMPREHENSIVE PLAN. The FDP is consistent with the Adams County Comprehensive Plan and the Strasburg Plan. The proposed development provides relatively compact, "urban" residential development in an area that is designated for such development, and adequate public facilities and services are currently available or will be available at the time of development.

2. STRASBURG PLAN AMENDMENT TO THE ADAMS COUNTY AND ARAPAHOE COUNTY COMPREHENSIVE PLANS

a. Applicability of Strasburg Plan. The Subject Property is included in the boundaries of the Strasburg Plan.

b. Consistency with Future Land Use Designation. The Strasburg Plan map replaces the countywide future land use plan in the Strasburg planning area. The Strasburg Plan map designates the land use of the Subject Property as "Residential." The proposed use of the Subject Property is consistent with the Residential land use category.

c. Consistency with Goals and Policies.

i. *General.* The general goal of the Strasburg Plan is to "maintain the small town, agricultural character." Strasburg is planned for a population of 10,000 to 12,000 by 2020, with most development to occur within the urban growth area adjacent to the existing community, and with a target of 70 percent residential and 30 percent commercial and industrial development. Wolf Creek Run West is within the urban growth boundary and advances the stated general goal and related policies of the Strasburg Plan.

ii. *Housing.* The housing goal of the Strasburg Plan is that "new housing should be high quality, be offered in a variety of price ranges and types, and contribute to the small town, rural character." Wolf Creek Run West is consistent with the housing goal in that it is within the Strasburg urban growth boundary and it contributes to the variety of lot sizes that will tend to encourage diversity in design and price in the Strasburg community.

iii. *Facilities and Services.* The facilities and services goal is to “ensure that adequate facilities and services, including utilities, schools, parks, public safety, and other necessary facilities and services are available at the time of development.” Implementing policies call for proof that utilities, schools, parks, public safety and other facilities and services are or will be available. The Wolf Creek Run West application includes the requisite proof. The land to the southeast of the proposed preliminary plat will be conveyed to the school district upon recording of the final plat.

iv. *Open Space.* The open space goal is to “provide a generous amount of public and private open space to support the recreational needs of local residents and business people, wildlife habitat, the small town, rural character and continued agricultural production in the area.” Implementing policies require sidewalks and trails, easements for drainageways, and dedication of designated agricultural and park lands. Wolf Creek Run West is consistent with this policy. It includes sidewalks, trails, recreation areas, drainageways, and open space. It provides appropriate, compact residential density within the urban growth area, which also helps preserve open space outside of the urban growth area. It does not contain any plan-designated agricultural or park lands.

v. *Environment.* The environmental goal is that “environmental quality shall be a factor that is taken into account with new development.” Wolf Creek Run West will be served with centralized water and sewer facilities that have capacity to serve the development. Drainage plans for the subdivision will help protect water quality. Wolf Creek Run West advances the Strasburg Plan policy to accommodate anticipated population growth within the Strasburg urban growth boundary.

vi. *Transportation.* The transportation goal is to “ensure that the transportation system supports planned land uses and provides options for pedestrians, bicycles, horses and other modes of travel in addition to automobiles.” Wolf Creek Run West is consistent with the transportation goal and its implementing policies.

B. *The FDP conforms to the P.U.D. standards.*

C. *The FDP is consistent with any approved PDP for the property.*

The FDP is consistent with the approved PDP for the subject property in design, layout, and land use. The number of proposed dwelling units is slightly lower than the number of dwelling units that was approved by the PDP, but the reduction is less than five percent and does not change the character of the project. See Sec. 2-01-10-01, ADCO Standards.

D. *The FDP construction plans meet the requirements of the[] standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.*

The FDP construction plans are submitted with this application. The applicant trusts that they will meet with approval by the Director, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies, as the construction plans meet applicable standards. The applicant will work with the County to ensure regulatory compliance.

II. FINAL PLAT FOR WOLF CREEK RUN WEST FILING NO. 1

The proposed final plat is also in full compliance with the Adams County Development Standards and Regulations, is consistent with the Adams County Comprehensive Plan and its Strasburg Area Plan ("STRASBURG PLAN") amendment, and is consistent with the approved preliminary plat. The proposed Final Plat for Wolf Creek Run West Filing No. 1 meets the criteria for approval in Section 2-02-17-04-05 of the Adams County Development Standards and Regulations as follows:

A. *The final plat is consistent and conforms to the approved preliminary plat.*

The approved preliminary plat included 104 lots and 15 tracts. The proposed preliminary plat has a similar design, but with 103 lots and 13 tracts. The general layout of lots, blocks, and tracts between the preliminary and final plat is nearly identical.

B. *The final plat is in conformance with the subdivision design standards.*

The proposed final plat is in conformance with the subdivision design standards:

- The subdivision design considers the comprehensive plan, zoning, and the area's character.
- It is an appropriate and context-sensitive expansion of the existing Wolf Creek Run neighborhood within Strasburg.
- It continues the development pattern in Wolf Creek Run, and is compatible with adjacent land uses.
- It preserves the natural terrain, drainage, and topsoil to the extent possible. There are no trees, wildlife habitat, or fisheries on the Subject Property.
- There are no hazardous conditions or water hazards on the Subject Property or that affect the Subject Property.
- Noise abatement from roadways and railroads is not necessary.
- There is no encroachment into floodplains.
- The Subject Property is not affected by high groundwater.
- Lots are appropriately designed and configured, and are accessed by roads that will be dedicated to the County.
- Drainage is designed according to County standards.
- Landscaping is planned according to County standards.

- Roads conform to the County transportation plan and County-approved standards (they conform to the approved PDP), and external connections and internal circulation are appropriate.
- Non-vehicular facilities are provided, with connections to adjacent development.
- Required open space is provided.

C. *The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.*

As we understand it, the County has confirmed the sufficiency of the water supply with the State Engineer during the preliminary plat approval process. A “will-serve” letter from East Adams County Metropolitan District is included with the application materials.

D. *The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that the system complies with state and local laws and regulations.*

A “will-serve” letter from East Adams County Metropolitan District is included with the application materials.

E. *The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.*

There are no known hazardous conditions on the Subject Property.

F. *The proposed or constructed drainage improvements are adequate and comply with these standards and regulations.*

Adequate drainage facilities are proposed for Wolf Creek Run West. Copies of preliminary drainage plans and a general narrative describing the pertinent drainage characteristics of the Subject Property are included with the application materials.

G. *Adequate public facilities or infrastructure, or cash-in-lieu, for impacts reasonably related to the proposed subdivision have been constructed or financially guaranteed through cash-in-lieu or a subdivision improvements agreement so the proposed subdivision will not negatively impact the levels of service of the County.*

1. SCHOOLS. The applicant is contractually obligated to convey the land area shown as Block 8, Lot 1, Wolf Creek Run West, to the Strasburg School District. In addition, the applicant is contractually obligated to pay the school district (directly) the amount of \$261,362.50 (representing \$2,537.50 per dwelling unit¹) prior to recording the final plat.

¹ Under the 2002 Agreement with the School District, recorded in the Public Records of Adams County, Colorado on March 14, 2002 at Reception No. C0940261, as amended May 21, 2015, said amendment recorded in the Public

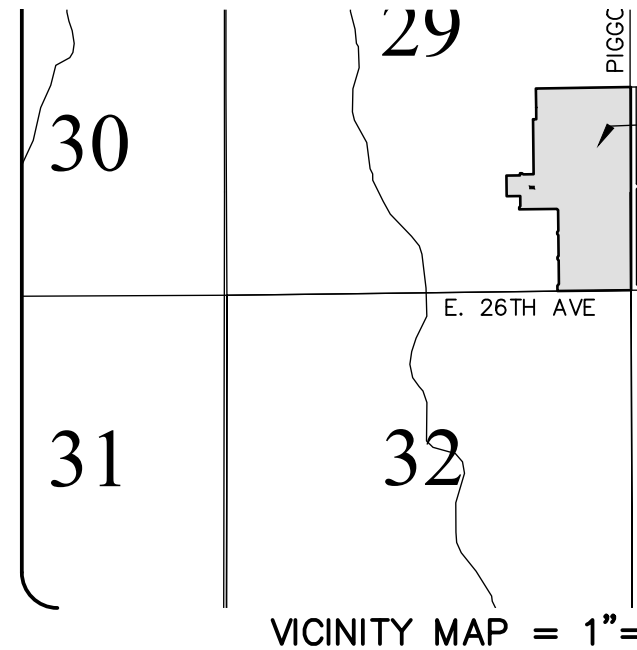
2. NEIGHBORHOOD PARKS. The final plat includes the two existing ballfields (totaling 8.3955 acres) and a new neighborhood park (2.7524 acres). County regulations require a minimum of 2.06 acres of neighborhood parks. As such, the neighborhood parks requirement is met on site and no fees-in-lieu are due for neighborhood parks.

3. REGIONAL PARKS. The final plat does not include land for regional parks. County regulations require the cash equivalent of 1.339 acres of regional park land at \$36,888 per acre, for a total of \$49,393.03. The applicant will pay the fee-in-lieu as required by the County's regulations.

4. ROADS. The applicant will construct the off-site improvements detailed in the construction plans that were approved by the County prior to the filing of this application for final plat approval. The improvements include paving 26th Avenue east of Piggott Road, which will complete a paved East-West connection across the northern part of Strasburg.

959.49 FEET;
 THENCE DEPARTING SAID SOUTH LINE, NORTH 00°37'23" WEST, A DISTANCE OF 70.00 FEET;
 THENCE NORTH 44°22'05" EAST, A DISTANCE OF 28.58 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 309.60 FEET;
 THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.21 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 27.00 FEET;
 THENCE NORTH 44°22'05" EAST, A DISTANCE OF 21.21 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 270.00 FEET;
 THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.22 FEET;
 THENCE NORTH 00°37'45" WEST, A DISTANCE OF 27.00 FEET;
 THENCE NORTH 44°22'05" EAST, A DISTANCE OF 21.21 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 270.00 FEET;
 THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.21 FEET;
 THENCE SOUTH 89°22'05" WEST, A DISTANCE OF 490.50 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 27.00 FEET;
 THENCE NORTH 44°22'05" EAST, A DISTANCE OF 21.21 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 131.00 FEET;
 THENCE SOUTH 89°22'05" WEST, A DISTANCE OF 177.00 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 268.65 FEET;
 THENCE NORTH 89°22'05" EAST, A DISTANCE OF 177.00 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 28.50 FEET;
 THENCE NORTH 89°22'05" EAST, A DISTANCE OF 27.00 FEET;
 THENCE SOUTH 45°37'55" EAST, A DISTANCE OF 21.21 FEET;
 THENCE NORTH 89°22'05" EAST, A DISTANCE OF 135.00 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 716.00 FEET;
 THENCE NORTH 89°22'05" EAST, A DISTANCE OF 42.78 FEET;
 THENCE NORTH 00°37'55" WEST, A DISTANCE OF 381.16 FEET TO THE SOUTHERLY BOUNDARY OF THAT CERTAIN QUITCLAIM DEED, RECORDED UNDER RECEPTION NO. C1065639;
 THENCE ALONG SAID BOUNDARY THE FOLLOWING THREE (3) COURSES:
 1. NORTH 88°14'12" EAST, A DISTANCE OF 773.95 FEET;
 2. NORTH 88°05'58" EAST, A DISTANCE OF 431.89 FEET;
 3. NORTH 89°11'33" EAST, A DISTANCE OF 29.97 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 29;
 THENCE ALONG SAID EAST LINE OF SAID SECTION 29, SOUTH 00°04'43" EAST, A DISTANCE OF 2646.32 FEET THE POINT OF BEGINNING.

LAND SUMMARY CHART		
TYPE	AREA (SF)	AREA (AC)
LOTS (103)	1,697,265	38.953
ROW (PUBLIC)	472,404	10.845
TRACTS (13)	943,338	21.657
TOTALS	3,113,007	71.465



NOTES:

- BEARINGS ARE BASED ON THE EAST LINE OF THE SO SECTION 29, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF MERIDIAN AS MONUMENTED AT THE SOUTHEAST CORN BY A NUMBER 6 REBAR WITH A 2-1/2" ALUMINUM CAP WITH 10945", AND AT THE SOUTHEAST QUARTER CORN BY NO. 6 REBAR WITH A 3-1/4" ALUMINUM CAP. THE LINE IS ASSUMED TO BEAR NORTH 00°04'43" WEST.
- THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO AS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDROLOGICAL BASINS LOCATED ON THEIR LAND UNLESS OTHERWISE PROVIDED IN THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE COUNTY HAVE TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS. SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER.

CONTAINING AN AREA OF 71.465 ACRES, (3,113,007 SQUARE FEET), MORE OR LESS.

HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS, STREETS AND EASEMENTS AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF **WOLF CREEK RUN WEST FILING NO. 1**.

THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC STREETS AND EASEMENTS (AND TRACTS) AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

ACKNOWLEDGEMENT

EXECUTED THIS ____ DAY OF _____ A.D., 20____.

BY: PAULS DEVELOPMENT EAST, LLC, A DELAWARE LIMITED LIABILITY COMPANY

NAME _____ AS _____ TITLE _____

STATE OF COLORADO)
)SS
 COUNTY OF ADAMS)

THE FOREGOING OWNERSHIP AND DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ AS AUTHORIZED SIGNATORY FOR PAULS DEVELOPMENT EAST, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL:

 NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY ADDRESS IS: _____

ACCEPTANCE AND VACATION CERTIFICATE

THE DEDICATION OF WATER AND SANITARY SEWER EASEMENT ACCEPTED AND APPROVED FOR OWNERSHIP BY EASTERN METROPOLITAN DISTRICT.

THE EASTERN ADAMS COUNTY METROPOLITAN DISTRICT AL QUIT CLAIMS ANY PORTION OF THE PERPETUAL NON-EXECUTED DESCRIBED IN THE EASEMENT AGREEMENT AS RECORDED UNDER RECEPTION NO. C0958528 OF THE RECORDS IN THE OFFICE OF RECORDER OF ADAMS COUNTY, COLORADO, WITHIN THE DISTRICT OF EAST PIGGOTT ROAD AS SHOWN ON THIS PLAT.

EASTERN ADAMS COUNTY METROPOLITAN DISTRICT

BY: _____
 TITLE: SECRETARY
 NAME: MIKE SERRA III

STATE OF COLORADO)
)SS
 COUNTY OF DOUGLAS)

ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____

BY MIKE SERRA III, AS SECRETARY, OF EASTERN ADAMS COUNTY METROPOLITAN DISTRICT.

WITNESS MY HAND AND OFFICIAL SEAL:

MY COMMISSION EXPIRES: _____

 NOTARY PUBLIC

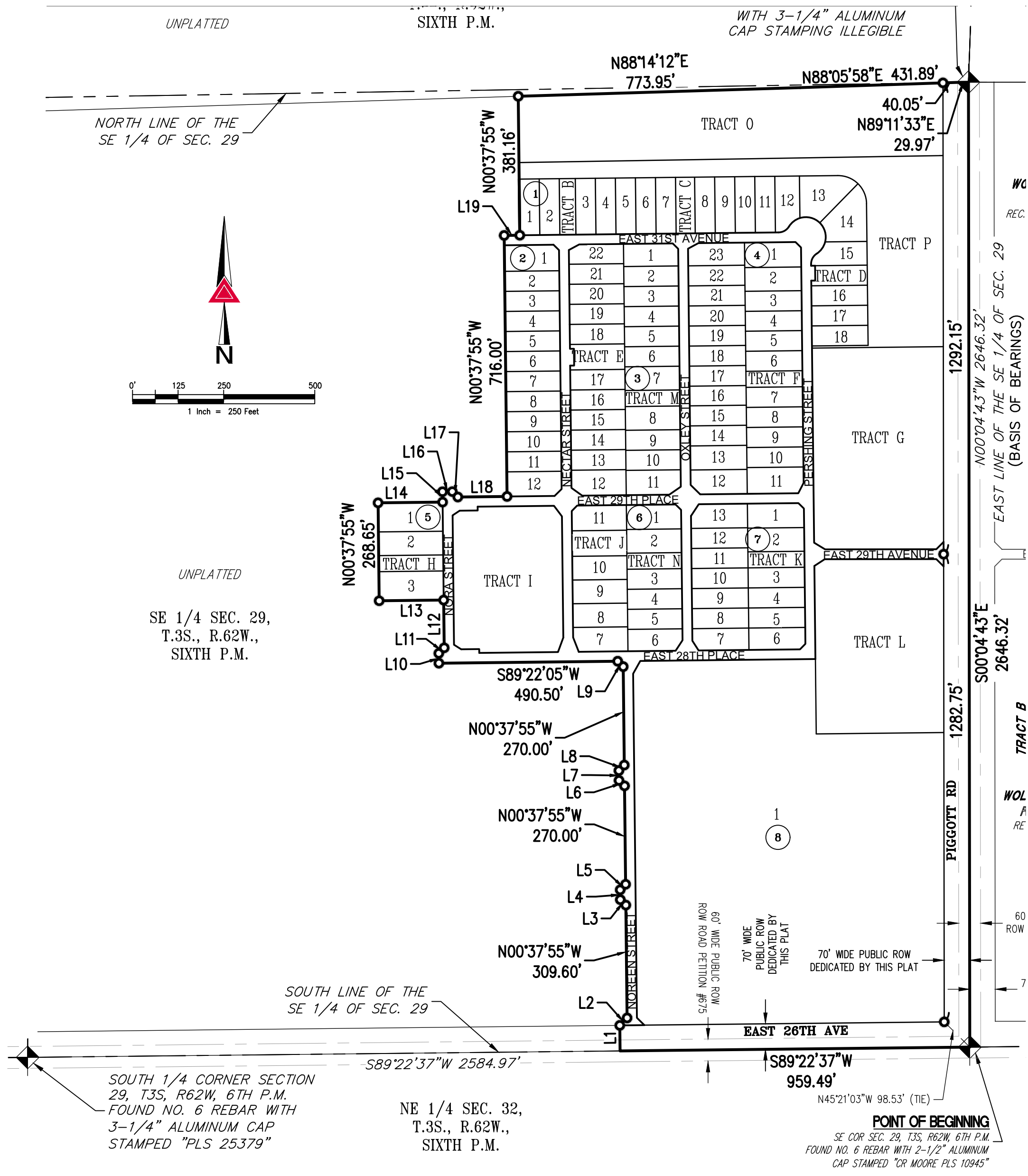
BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____ DAY OF _____, A.D., 20____.

 CHAIR



DATE OF PREPARATION:	12-19-2017	NO.	REVISION	DATE	BY	CHK	LATEST REVISION
SCALE:	N/A	6	PLAT COMMENTS	6/1/2020	SDL	AKP	
		5	PLAT COMMENTS	5/15/2019	SDL	AKP	
		4	PLAT COMMENTS	2/18/2020	CWB	AKP	
SHEET 1 OF 9							

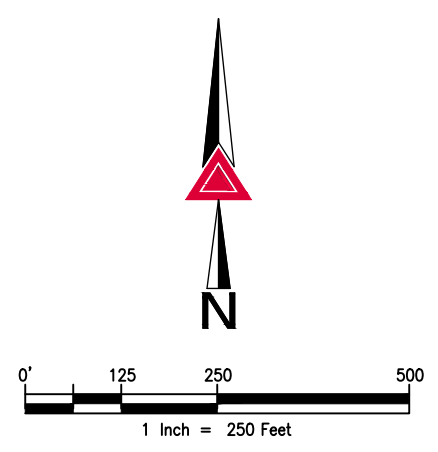


UNPLATTED

SIXTH P.M.

WITH 3-1/4" ALUMINUM
CAP STAMPING ILLEGIBLE

NORTH LINE OF THE
SE 1/4 OF SEC. 29



UNPLATTED

SE 1/4 SEC. 29,
T.3S., R.62W.,
SIXTH P.M.

SOUTH 1/4 CORNER SECTION
29, T.3S., R.62W., 6TH P.M.
FOUND NO. 6 REBAR WITH
3-1/4" ALUMINUM CAP
STAMPED "PLS 25379"

NE 1/4 SEC. 32,
T.3S., R.62W.,
SIXTH P.M.

POINT OF BEGINNING
SE COR SEC. 29, T.3S., R.62W., 6TH P.M.
FOUND NO. 6 REBAR WITH 2-1/2" ALUMINUM
CAP STAMPED "OR MOORE PLS 10945"

WOL
REC.

EAST LINE OF THE SE 1/4 OF SEC. 29
(BASIS OF BEARINGS)

TRACT B

WOL
A
RE

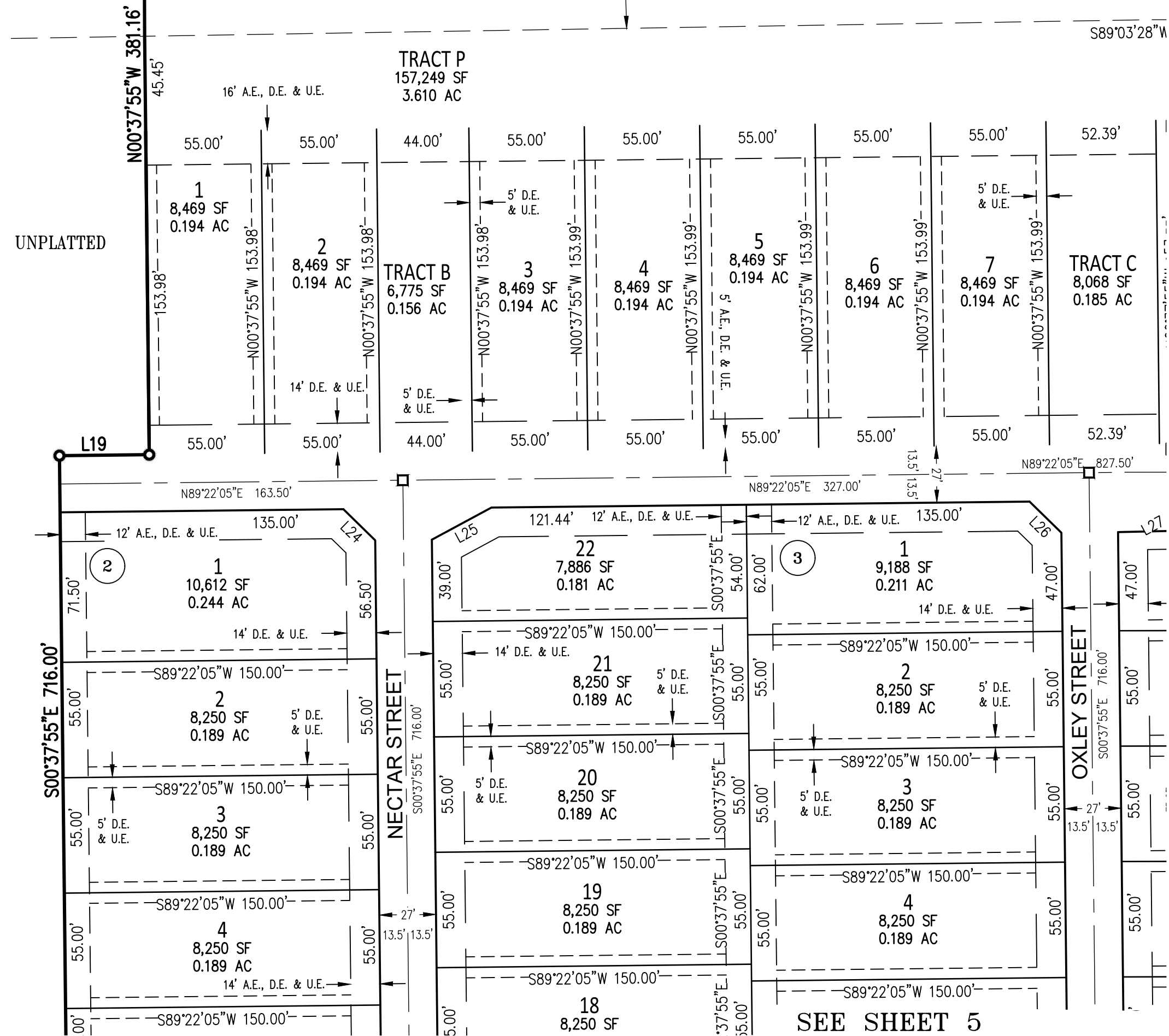
60
ROW

7

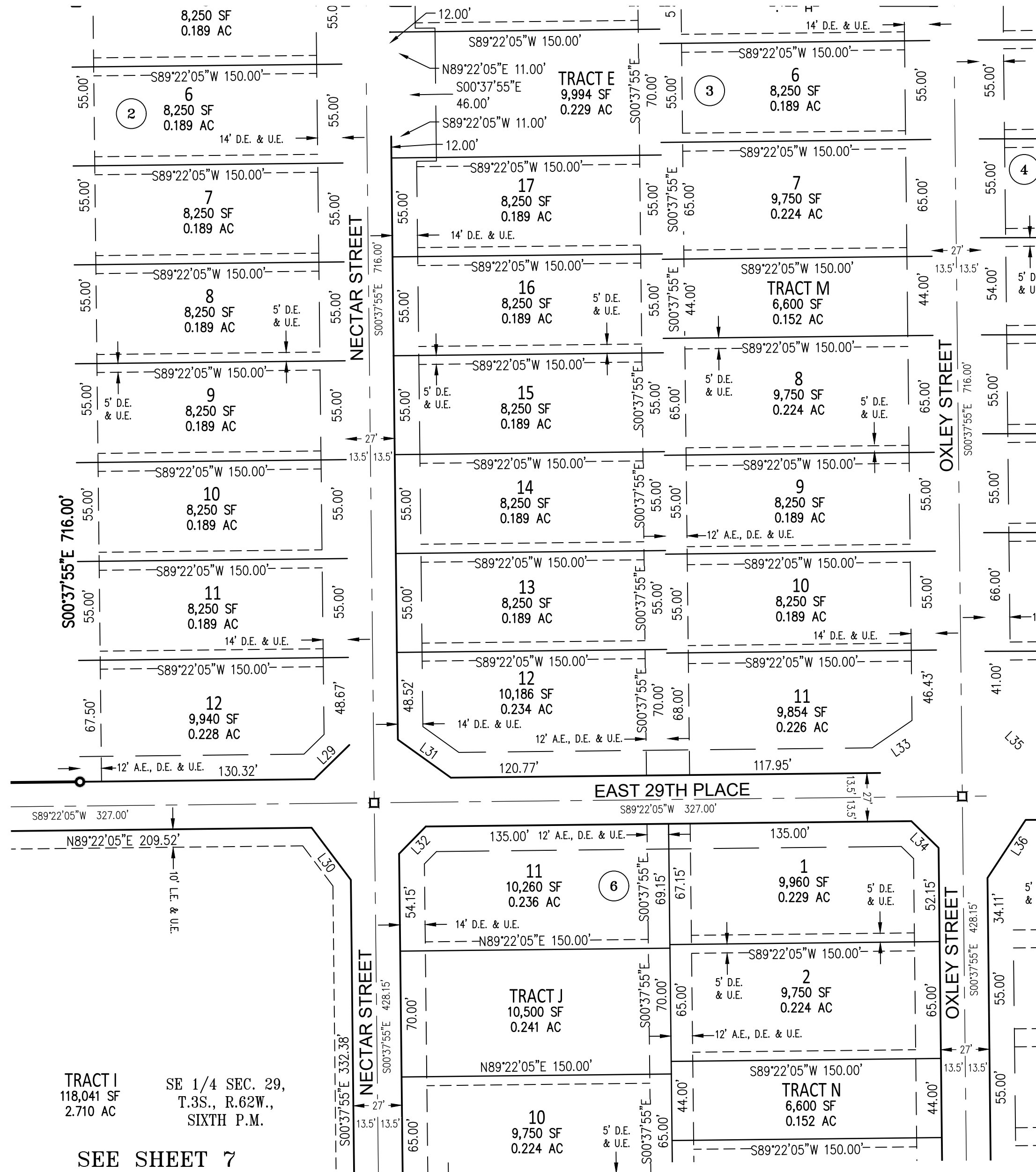
QUITCLAIM DEED
REC. NO. C1065639

SE 1/4 SEC. 29,
T.3S., R.62W.,
SIXTH P.M.

200' WATER EASEMENT
REC. NO. C0958528



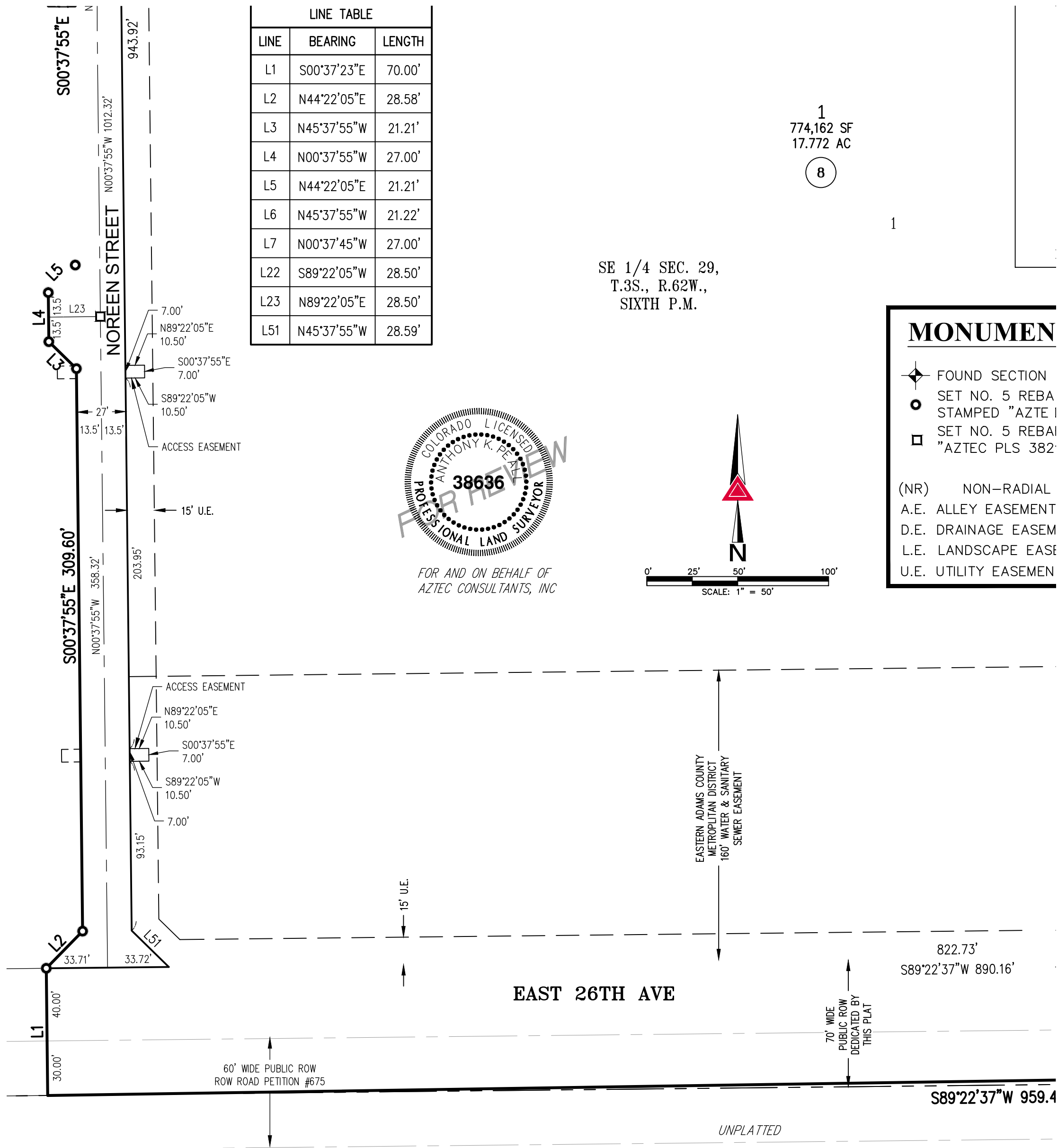
SEE SHEET 5



TRACT I
118,041 SF
2.710 AC

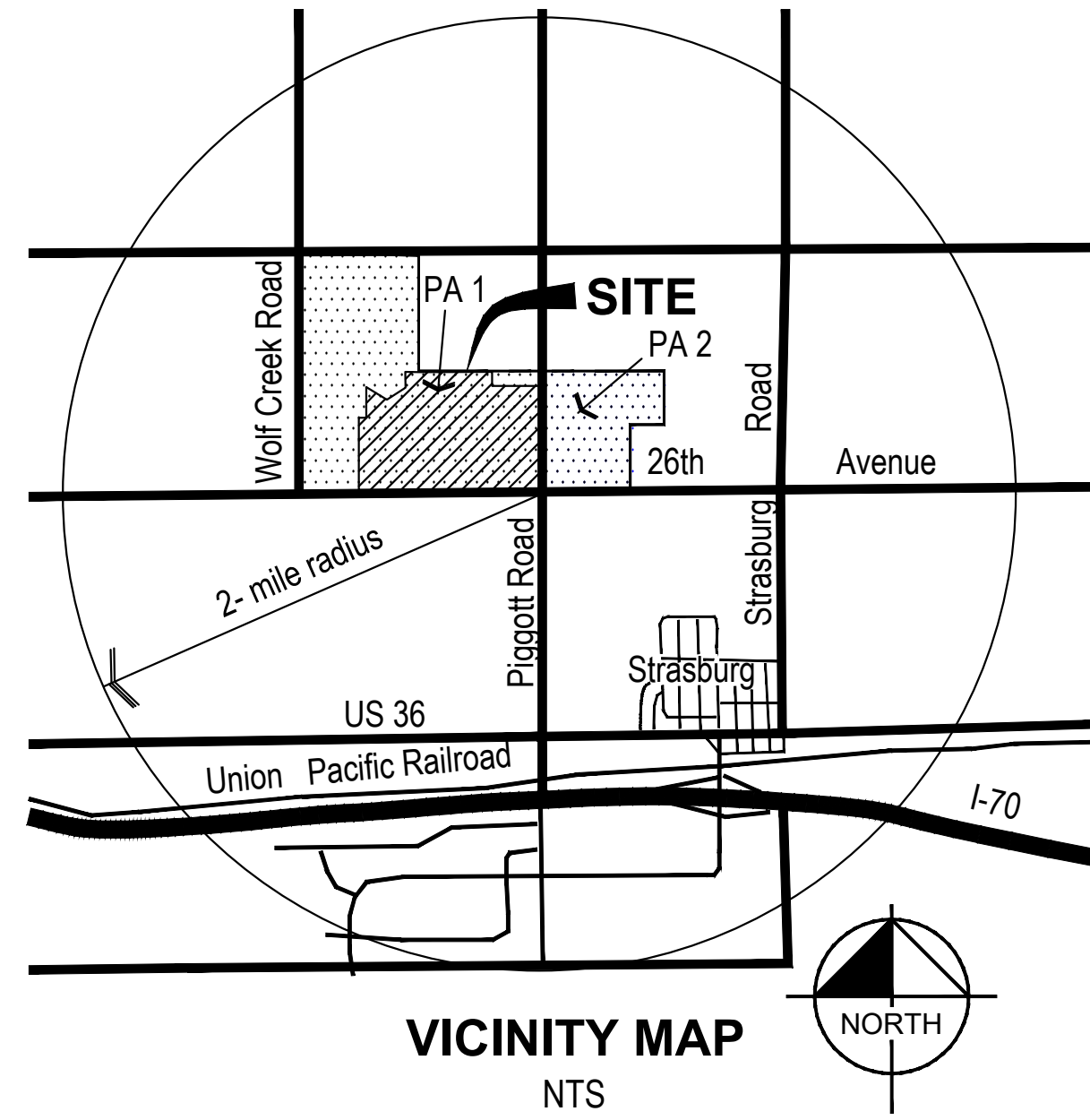
SE 1/4 SEC. 29,
T.3S., R.62W.,
SIXTH P.M.

SEE SHEET 7



WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

BEING A PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER AND
THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE
62 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO



LEGAL DESCRIPTION:

PLANNING AREA 1

A PARCEL OF LAND BEING A PORTION OF THE SOUTH ONE-HALF OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER ONE-QUARTER OF SAID SECTION 29, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE NORTH 89°41'47" EAST ALONG THE NORTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29 A DISTANCE OF 1743.36 FEET; THENCE SOUTH 00°33'44" WEST A DISTANCE OF 200.00 FEET; THENCE NORTH 89°41'47" EAST A DISTANCE OF 800.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PIGGOTT ROAD (PER ROAD PETITION #538); THENCE SOUTH 00°33'44" WEST, 30.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29 AND ALONG THE WEST RIGHT-OF-WAY LINE OF SAID PIGGOTT ROAD A DISTANCE OF 2415.81 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF 26TH AVENUE (PER ROAD PETITION #538); THENCE NORTH 89°59'43" WEST, 30.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF SAID SECTION 29 AND ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID 26TH AVENUE A DISTANCE OF 4134.94 FEET; THENCE NORTH 00°24'32" EAST A DISTANCE OF 1281.73 FEET; THENCE SOUTH 89°50'58" EAST A DISTANCE OF 287.67 FEET; THENCE NORTH 00°24'32" EAST A DISTANCE OF 809.68 FEET; THENCE SOUTH 69°39'32" EAST A DISTANCE OF 771.26 FEET; THENCE NORTH 52°49'54" EAST A DISTANCE OF 736.37 FEET TO A POINT ON THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29; THENCE NORTH 00°48'52" EAST ALONG THE WEST LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 29 A DISTANCE OF 333.00 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 9,454,485 SQUARE FEET OR 217.0475 ACRES.

SHEET INDEX

1	COVER SHEET
2	NARRATIVE
3	NARRATIVE
4	SITE PLAN
5	SITE PLAN
6	TYPICAL LOTS
7	PARK & OPEN SPACE DETAILS

CERTIFICATE OF OWNERSHIP:

PAULSCORP, LLC, BEING THE OWNER OF WOLF CREEK RUN P.U.D. LOCATED IN THE COUNTY OF ADAMS, STATE OF COLORADO, HEREBY SUBMITS THIS PLANNED UNIT DEVELOPMENT FINAL DEVELOPMENT PLAN AND AGREES TO PERFORM UNDER THE TERMS NOTED HEREON.

BY: _____
 BY: _____
 BY: _____
 BY: _____
 BY: _____

STATE OF COLORADO
 COUNTY OF ADAMS)

THE FOREGOING OWNERSHIP CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, 2020

NOTARY PUBLIC: _____
 MY COMMISSION
 EXPIRES: _____

STAFF REVIEW:

APPROVED AS TO FORM BY: _____
 DIRECTOR OF PLANNING AND DEVELOPMENT
 COUNTY ATTORNEY _____

BOARD OF COUNTY COMMISSIONERS
 APPROVAL:

THIS PLAN HAS BEEN APPROVED BY THE ADAMS COUNTY BOARD OF COUNTY COMMISSIONERS THIS _____DAY OF _____, 2020 AND CREATES A VESTED PROPERTY RIGHT PURSUANT TO CRS 24-68-101, ET. SEQ., AS AMENDED AND THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS.

CHAIRMAN _____

CLERK AND RECORDER:

THIS FINAL DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT _____M. ON THE _____DAY OF _____, 2020.

COUNTY CLERK AND RECORDER
 BY DEPUTY: _____

THE FOLLOWING ADDITIONS AND DELETIONS IN THE P.U.D. WERE MADE BY THE BOARD OF COUNTY COMMISSIONERS AT THE TIME OF APPROVAL.

K:\IDEN_Civil\096195013 - WCR West\CADD\PlanSheets\FDP\096195013_CV.dwg

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

BEING A PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER AND
THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE
62 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

CHARACTERISTICS OF THE P.U.D.

THE WOLF CREEK RUN P.U.D. CREATES A RESIDENTIAL COMMUNITY WITH A MAXIMUM DENSITY OF 660 HOMES ON APPROXIMATELY 205.7 ACRES OF URBANIZED AREA. THE PROPOSED INTENSITY OF DEVELOPMENT IS LOW, WITH AN OVERALL GROSS DENSITY OF APPROXIMATELY 3.5 DU/AC OVER THE ENTIRE WOLF CREEK RUN DEVELOPMENT. THE INTENT OF THIS FINAL DEVELOPMENT PLAN FOR WOLF CREEK RUN WEST IS TO CREATE A PRIMARILY RESIDENTIAL COMMUNITY WITH A MAXIMUM OF 429 SINGLE-FAMILY DETACHED HOMES IN A VARIETY OF SIZES AND PRICES THAT WILL BE INTEGRATED WITH A CENTRAL PARK, A LARGE RECREATION AREA, AND NATURAL OPEN SPACES TO PROMOTE ACTIVITIES THAT WILL FORM THE BONDS OF A COMMUNITY.

ALL DEVELOPMENT IS OUTSIDE OF THE 100-YEAR FLOODPLAIN AND WILL BE SERVED BY CENTRALIZED WATER AND SEWER BY EASTERN ADAMS COUNTY METROPOLITAN DISTRICT (EACMD). DEVELOPMENT OF THE FIRST FILING SHALL BE COMPLETED IN PHASES WITH THE PHASING DEPENDENT, IN PART, UPON A DETERMINATION FROM TRI-COUNTY HEALTH DEPARTMENT AND THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT THAT THE IMPACTS FROM THE STRASBURG LAGOONS HAVE BEEN APPROPRIATELY MITIGATED OR REMOVED.

KEY FEATURES OF WOLF CREEK RUN P.U.D.

- CLUSTERED HOMESITES, MAXIMIZING RETAINED OPEN SPACE;
- CENTRAL WATER AND SEWER SYSTEM BY EACMD;
- ALL USES ARE BUFFERED FROM ADJACENT USES AND ROADS BY A MINIMUM 100-FOOT BUFFER OF GROOMED, DRYLAND OPEN SPACE THAT WILL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION (HOA) OR A METROPOLITAN DISTRICT;
- LANDSCAPED (IRRIGATED) ENTRY FEATURES AT PIGGOTT ROAD & E. 26TH STREET ACCESS POINTS;
- VARIETY OF LOT SIZES, HOME SIZES, AND PRODUCT TYPES;
 - MINIMUM LOT SIZE – 5,000 SQUARE FEET (SF)
 - ALLEY-LOADED AND FRONT-LOADED LOTS ARE ALLOWED. FOR ALLEY-LOADED HOMES, STREETS ARE 24 FEET WIDE FLOWLINE-TO-FLOWLINE WITH A 5-FOOT DETACHED WALK AND A 5-FOOT TREE LAWN ON ONE SIDE; STREETS FOR FRONT-LOADED HOMES ARE 32 FEET WIDE FLOWLINE-TO-FLOWLINE WITH A 5-FOOT DETACHED WALK AND A 5-FOOT TREE LAWN ON ONE SIDE. ON-STREET PARKING IS NOT ALLOWED IN EITHER CASE, (SUFFICIENT VISITOR PARKING WILL BE PROVIDED IN CONVENIENT LOCATIONS THROUGHOUT THE COMMUNITY; RESIDENT PARKING IS PROVIDED ON EACH LOT);
- STREET FURNITURE DESIGN STANDARDS PROVIDE FOR CONSISTENCY THROUGHOUT THE COMMUNITY;
- BUFFER LANDSCAPING ALONG PIGGOTT ROAD AND 26TH AVENUE IS DOMINATED BY GROOMED, UNIRRIGATED DRYLAND GRASSES, COMPLEMENTED BY BERMING AND RUNS OF FENCING WORKING TOGETHER TO BUFFER THE VIEWS TO AND FROM THE RESIDENTIAL AREAS BACKING ONTO THESE COUNTY ROADS;
- FRONT YARDS LANDSCAPED BY DEVELOPER OR BUILDER WITHIN 1 YEAR OF OCCUPANCY; INDIVIDUAL OWNERS WILL BE REQUIRED TO INSTALL REAR YARD LANDSCAPING WITHIN 1 YEAR OF OCCUPANCY. IRRIGATION WILL BE LIMITED TO THE EQUIVALENT OF 3,000 SF OF BLUEGRASS SOD, PER 5,000 SF LOT EQUIVALENT;
- COMMUNITY WILL HAVE AN HOA AND COVENANT CONTROLS PRIOR TO RECORDING OF THE FIRST FINAL PLAT;
- MINIMUM HOUSE SIZE IS 1,000 SF;
- OVERALL AVERAGE FLOOR AREA OF SINGLE FAMILY DETACHED HOMES SHALL MEET OR EXCEED 1,250 SF, CALCULATED AS THE TOTAL SQUARE FOOTAGE (OF ALL SINGLE FAMILY DETACHED HOMES WITHIN THE ENTIRE 558-ACRE PUD) DIVIDED BY THE TOTAL NUMBER OF SINGLE FAMILY HOMES WITHIN THE ENTIRE 558-ACRE PUD.

IMPACTS TO SURROUNDING AREA

IMPACTS ON ADJACENT USES WILL BE MINIMIZED BY GROOMED DRYLAND BUFFER AREAS SURROUNDING THE ENTIRE WCR WEST DEVELOPMENT. A TRAIL WILL BE PROVIDED WITHIN THE BUFFER AREA AND MULTIPLE TRACTS WILL BE DEDICATED TO BE USED AS PARK AREAS AND/OR OPEN SPACE AREAS.

OWNERSHIP & MAINTENANCE

COMMON AREAS, INCLUDING GROOMED UNIRRIGATED DRYLAND OPEN SPACE, VISITOR PARKING TRACTS, SIGNAGE, MONUMENTS/LANDMARKS, STREET FURNITURE, ALLEYS, NEIGHBORHOOD PARKS, PARK EQUIPMENT AND IMPROVEMENTS, WILL BE OWNED AND MAINTAINED BY AN HOA OR A METROPOLITAN DISTRICT. THE CONSERVATION AREA SHALL BE MAINTAINED BY A METROPOLITAN DISTRICT OR PRIVATE OWNER.

COVENANTS, DESIGN REVIEW, & HOMEOWNER'S ASSOCIATION

1. THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR WOLF CREEK RUN SHALL CREATE A HOMEOWNERS ASSOCIATION WITH AN INTEGRAL ARCHITECTURAL REVIEW BOARD PRIOR TO RECORDING OF THE FINAL PLAT.
2. COVENANTS WILL BE RECORDED IN ADAMS COUNTY PRIOR TO RECORDING OF THE FIRST FINAL PLAT.

ESTIMATED TIMETABLE FOR DEVELOPMENT

THE ENTIRE WOLF CREEK RUN PUD WILL BE BUILT OUT OVER A 15 YEAR PERIOD. THE FIRST FILING FINAL PUD WILL BEGIN AS SOON AS ALL NECESSARY APPROVALS ARE OBTAINED. THIS OVERALL TIMETABLE IS DEPENDENT ON MARKET FORCES AND MAY LENGTHEN OR CONTRACTS IN RESPONSE TO MARKET DEMAND WITHOUT AMENDING THIS PUD.

GENERAL NOTES:

1. ALL DEVELOPMENT SHALL BE CONSTRUCTED WITH NEW MATERIAL (ROAD BASE OF RECYCLED MATERIALS IS ALLOWED).
2. EACH LOT, AS A PART OF THE BUILDING PERMIT PROCESS, SHALL CONFORM TO THE APPROVED SITE DRAINAGE PLAN.
3. NO BUILDING PERMIT MAY BE APPLIED FOR UNTIL SUCH TIME AS THE FINAL PUD OR FINAL PLAT CREATING SAID LOT IS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS AND RECORDED IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER. SALES AND CONSTRUCTION TRAILERS MAY BE MOVED ON SITE BEFORE RECORDATION OF A FINAL PLAT.

LAND USE & DENSITY

DENSITIES

WOLF CREEK RUN SHALL HAVE A MAXIMUM OF 660 HOMES ON A TOTAL OF 558.4 ACRES, FOR AN OVERALL GROSS DENSITY OF 1.2 DWELLING UNITS/ACRE. DENSITIES WITHIN THE URBANIZED AREAS OF PA1 AND PA2 SHALL NOT INDIVIDUALLY EXCEED 3.2 UNITS/ACRE, AND THE CUMULATIVE DENSITY OF PA1 AND PA2 COMBINED SHALL NOT EXCEED 3.2 UNITS/URBANIZED ACRE (205.7 X 3.2= 602 UNITS.)

WOLF CREEK RUN WEST OF PIGGOTT ROAD SHALL HAVE A MAXIMUM OF 429 HOMES ON A TOTAL OF 199.8 ACRES, FOR AN OVERALL GROSS DENSITY OF 2.1 DWELLING UNITS PER ACRE (DU/AC). OVERALL DENSITY WITHIN WOLF CREEK RUN ON BOTH SIDES OF PIGGOTT ROAD SHALL BE 660 HOMES ON 558 ACRES FOR A GROSS DENSITY OF 1.2 DU/AC.

USES BY RIGHT & CONDITIONAL USES

USES BY RIGHT

- ACCESSORY USES, INCLUDING DETACHED GARAGES
- ANIMALS – DOMESTIC PETS
- DWELLING – SINGLE-FAMILY DETACHED
- DWELLING – SINGLE-FAMILY ATTACHED
- DWELLING – DUPLEX
- ESSENTIAL GOVERNMENTAL PUBLIC UTILITY SERVICES WITH BUILDING AND/OR STORAGE FACILITIES (INCLUDES METROPOLITAN DISTRICT FACILITIES)
- FOSTER FAMILY CARE, 1-5 IN RESIDENCE (ABOVE 5, CONDITIONAL)
- LIBRARIES, PUBLIC
- MONUMENT/ENTRY SIGNS
- OUTDOOR PUBLIC USES, NEIGHBORHOOD INDOOR USES
- PARKS, PUBLIC
- SCHOOLS, PUBLIC, PRIVATE, & CHARTER
- TEMPORARY SALES & CONSTRUCTION TRAILERS

CONDITIONAL USES

- CHURCHES, PLACES OF WORSHIP
- FIRE STATION
- FOSTER FAMILY CARE, 6+ IN RESIDENCE (≤5, PERMITTED USE)
- GOLF COURSE
- HOME OCCUPATION
- HOSPITAL
- POLICE STATION
- POST OFFICE

DEVELOPMENT STANDARDS

BUILDINGS, SETBACKS, NUMBER OF HOMES

1. MINIMUM LOT FRONTAGE: 50'
2. MINIMUM LOT SIZE: 5,000 SQUARE FEET
3. MINIMUM BUILDING SETBACKS
 - PRINCIPAL USES
 - FRONT: 15'-22' STAGGERED
 - SIDE: 5', FOR TYPICAL INTERIOR LOTS; 19' FOR STREET SIDE OF CORNER LOTS ON MAJOR ENTRY, 5' FOR NON-STREET SIDE; 14' FOR STREET SIDE OF INTERIOR CORNER LOTS NOT ON MAJOR ENTRY, AND 5' IN NON-STREET SIDE. (SEE SHEET 5 OF 22 FOR TYPICALS)
 - REAR: 20'
 - ACCESSORY USES (INCLUDING GARAGES): SAME AS PRINCIPAL USES EXCEPT:
 - REAR: 16' ON PERIMETER LOTS; 12' ON INTERIOR LOTS (SEE SHEET 5 OF 22 FOR TYPICALS)
4. MAXIMUM BUILDING HEIGHT: 35'
5. MAXIMUM NUMBER OF HOMES: 429
 - 6.
7. MINIMUM DETACHED HOME SIZE SHALL BE 1,000 SF.
8. BUILDING COVERAGE: LESS THAN 50% OF THE LOT AREA.
9. IRRIGATED TURF: LIMITED TO THE EQUIVALENT OF 3,000 SF IF BLUEGRASS SOD PER 5,000 SF LOT EQUIVALENT.
10. FRONT-LOADED GARAGES WILL BE SET BACK A MINIMUM OF 10 FEET FROM THE REAR OF THE RESIDENCES TO ELIMINATE VIEWS OF GARAGES FROM THE STREETScape.
11. MAIL KIOSKS WILL BE PROVIDED AND LOCATED IN VISITOR PARKING AREAS.

FENCES

1. FENCING WITHIN THE BUFFER AREA SHALL BE NO HIGHER THAN 72 INCHES (6") AND MAY BE DISCONTINUOUS AND SHALL INCORPORATE BERMING AND/OR PLANTINGS TO BUFFER THE VIEWS TO AND FROM THE RESIDENTIAL AREAS.
2. INTERIOR FENCING WILL BE BEHIND THE FRONT SETBACK, MAY BE INSTALLED BY DEVELOPER; AND MAY NOT EXCEED 6 INCHES IN HEIGHT.
3. SECTION 4.290 (AS AMENDED) OF THE ADAMS COUNTY DEVELOPMENT CODE PERTAINING TO FENCE LOCATIONS AND TRAFFIC VIEW OBSTRUCTIONS WILL BE FOLLOWED WITH RESPECT TO ALL DEVELOPMENT FENCING.
4. PERIMETER DEVELOPMENT FENCE SETBACKS (NOT SINGLE FAMILY LOT FENCING):
 - FROM NORTH PROPERTY LINE: 200'
 - FROM PIGGOTT ROAD AND 26TH AVENUE: 200 FEET, EXCEPT WHERE 30-FOOT OFFSETS MAY BE INTRODUCED FOR A LENGTH OF 50 FEET
 - MINIMUM 200' SETBACK (TYPICAL)
 - A 170 FOOT SETBACK IS PERMITTED FOR A LENGTH OF 50 FEET TO PROVIDE 30-FOOT BY 50FOOT OFFSETS TO PROVIDE VARIETY IN THE FENCE ALIGNMENT AND TO ALLOW SNOW STORAGE ADJACENT TO THE RESIDENTIAL AREAS. OFFSETS ARE PERMITTED AT INTERVALS NO CLOSER THAN 400-FEET APART AND MAY CONTINUE FOR A MAXIMUM DISTANCE OF 50 FEET ALONG THE FENCELINE.

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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

ISSUED: 7/2/2019

NARRATIVE

SHEET 2 of 8

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

BEING A PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER AND
THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE
62 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF ADAMS, STATE OF COLORADO

TRANSPORTATION, STREETS, & PARKING STANDARDS

CIRCULATION SYSTEM

PRIMARY ACCESS WILL BE OFF PIGGOTT ROAD. A SECONDARY ACCESS WILL BE PROVIDED OFF OF 26TH AVENUE. THE BALLFIELDS ADJACENT TO AND WEST OF PIGGOTT ROAD MAY HAVE DIRECT ACCESS TO PIGGOTT ROAD. THE LOCAL STREET PATTERN WITHIN THE COMMUNITY WILL BE BASED UPON A MODIFIED GRID STREET PATTERN.

STREET STANDARDS

MINIMUM STREET WIDTH: FOR ALLEY-LOADED HOMES, 24 FEET FLOWLINE-TO-FLOWLINE; FOR FRONT-LOADED HOMES, 32 FEET FLOWLINE-TO-FLOWLINE. ON-STREET PARKING IS PROHIBITED IN EITHER CASE AND SEPARATE OFF-STREET VISITOR PARKING AREAS SHALL BE PROVIDED.

ALLEYS

MINIMUM ALLEY WIDTH: 24 FEET FOR INTERNAL ALLEYS; 16 FOOT PERIMETER ALLEYS BOTH LOCATED WITHIN EASEMENTS
SURFACING: NON-REINFORCED CONCRETE
ALLEYS MAY PROVIDE PRIMARY OR SOLE ACCESS TO REAR-LOADED RESIDENTIAL DWELLING UNITS.

PARKING STANDARDS

MINIMUM OFF-STREET PARKING REQUIREMENTS

DWELLING - SINGLE-FAMILY DETACHED - 2 OFF-STREET PARKING SPACES
DWELLING - DUPLEX - 2 OFF-STREET PARKING SPACES PER HOME
DWELLING - SINGLE-FAMILY ATTACHED - 2 OFF-STREET PARKING SPACES PER HOME

NOTE: AT MINIMUM, TWO OFF-STREET PARKING SPACES PER DWELLING UNIT ARE REQUIRED, WITH A MAXIMUM OF 5 SPACES PER LOT ALLOWED. OFF-STREET VISITOR PARKING AT THE RATIO OF 0.6 SPACES PER DWELLING UNIT IS PROVIDED THROUGHOUT THE COMMUNITY; ON-STREET PARKING IS STRICTLY PROHIBITED. VISITOR PARKING AREAS SHALL BE LOCATED NO FARTHER THAN 250' FROM ANY HOME. LOT LINES TO ACCOMMODATE VISITOR PARKING MAY BE ADJUSTED AT THE TIME OF FINAL PLAT WITHOUT AMENDING THE FDP.

STREET FURNITURE

STREET FURNITURE LOCATED IN COMMON AREAS SUCH AS BENCHES, TRASH RECEPTACLES, ETC., SHALL BE BLACK METAL CONSTRUCTION WITH THE SAME DESIGN THEME OR STYLE THROUGHOUT THE COMMUNITY. SUCH FIXTURES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

STREET LIGHTING

STREET LIGHTING SHALL BE LAMPED WITH HIGH PRESSURE SODIUM LAMPS, WITH LIGHT STANDARDS AND FIXTURES TO BE FINISHED BLACK.

SIGN STANDARDS

SIGNAGE

THE PRIMARY ENTRY SIGNS AT THE PIGGOTT ROAD PRIMARY ENTRY POINTS MAY EXTEND ACROSS THE ENTRY ROAD AND SHALL BE MOUNTED AT SUFFICIENT HEIGHT TO PERMIT PASSAGE OF EMERGENCY VEHICLES, BUT IN NO EVENT SHALL THE BOTTOM OF THE SIGN PANEL BE LESS THAN 16 FEET ABOVE THE ROADWAY PAVEMENT. ONE PRIMARY ENTRY SIGN PER ENTRANCE OFF PIGGOTT ROAD IS ALLOWED.

SECONDARY ENTRY SIGNS ALONG 26TH AVENUE SHALL BE LIMITED TO A HEIGHT OF 10 FEET, AND A MAXIMUM SIGN AREA OF 150 SQUARE FEET. ENTRY MONUMENTS WILL HAVE GROOMED AND IRRIGATED LANDSCAPE. A LANDMARK SHALL BE ALLOWED WITHIN THE GROOMED DRYLAND BUFFER AREA AT THE NORTHEAST CORNER OF THE INTERSECTION OF PIGGOTT ROAD AND 26TH AVENUE (SEE SHEET 6 OF 22 FOR DETAILS).

INFORMATIONAL AND TRAFFIC CONTROL SIGNAGE SHALL BE MOUNTED ON NOMINAL 2" ROUND BLACK METAL POLES; SIGN PANEL BACKS SHALL BE PAINTED BLACK. IN ALL OTHER RESPECT, SIGNS SHALL COMPLY WITH ADAMS COUNTY AND MUTCD REGULATIONS.

UTILITY SERVICES

WATER AND SANITARY SEWER - EASTERN ADAMS COUNTY METROPOLITAN DISTRICT
PHONE - TDS TELECOM
NATURAL GAS - COLORADO NATURAL GAS
ELECTRIC - INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
FIRE PROTECTION - STRASBURG FIRE PROTECTION DISTRICT
TRASH PICKUP - COMMERCIAL SERVICE PROVIDED BY CONTRACT WITH HOA

IREA FACILITIES WILL INSTALL WITHIN THE FRONT LOT UE - THE ALLEYSWAYS UE WILL NOT ALLOW FOR THE REQUIRED CLEARANCES FOR THE IREA FACILITIES (MIN. 3 FEET FROM GAS - 10 FEET FROM ANY OPENING OR COMBUSTIBLE MATERIALS SUCH AS HOMES)

SINGLE-PHASE PAD MOUNTED TRANSFORMER SHALL HAVE A MINIMUM OF 1'-6" OF CLEAR WORKING SPACE ON THE SIDES AND REAR OF THE EQUIPMENT, AND 10' IN FRONT OF THE EQUIPMENT.

LANDSCAPE STANDARDS

LANDSCAPE CONCEPT

THE LANDSCAPE FOR WOLF CREEK RUN WILL COMPLY WITH ADAMS COUNTY CODE AND LANDSCAPE DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS. RECOMMENDED TREES FROM THE ADAMS COUNTY DEVELOPMENT STANDARDS SHOULD BE TAKEN INTO ACCOUNT WHEN CHOOSING SPECIES. AREAS TO BE LANDSCAPED BY THE APPLICANT INCLUDE THE DRYLAND GROOMED LANDSCAPE BUFFER ALONG PIGGOTT ROAD AND 26TH AVENUE, THE NEIGHBORHOOD PARK AND OTHER COMMON AREAS, AS WELL AS THE FRONT YARDS OF THE HOMES BETWEEN THE BACK OF CURB AND THE FRONT YARD PRIVACY FENCE. HOMEOWNERS WILL BE RESPONSIBLE FOR BACKYARD LANDSCAPING IN ACCORDANCE WITH ADAMS COUNTY CODE AND LANDSCAPE DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS.

PLANT SIZING

MINIMUM PLANT SIZES TO BE AS FOLLOWS:
ORNAMENTAL TREES: 1.5" CALIPER
CANOPY TREES: 2" CALIPER
EVERGREEN TREES: 6' HT MIN.
SHRUBS: 5 GAL.
PERENNIALS/GRASSES: 1 GAL.

BUFFERS

BUFFER LANDSCAPING ALONG PIGGOTT ROAD AND 26TH AVENUE IS DOMINATED BY GROOMED, UNIRRIGATED DRYLAND GRASSES, COMPLEMENTED BY BERMING AND RUNS OF FENCING WORKING TOGETHER TO BUFFER THE VIEWS TO AND FROM THE RESIDENTIAL AREAS BACKING ONTO THESE STREETS. MOST OF THE PLANTINGS IN THE BUFFER AREAS WILL BE CONCENTRATED ALONG SWALES TO MIMIC THE NATURAL LANDSCAPE ON THE HIGH PLAINS. WINDBREAKS OF DROUGHT-RESISTANT WOODY SHRUBS COMPLETE THE LANDSCAPE TREATMENT. IRRIGATION FOR BUFFER AREAS IS LIMITED TO DRIP-IRRIGATION FOR PLANTINGS.

BUFFER TREE QUANTITIES TO BE IN CONFORMANCE WITH ADAMS COUNTY CODE AND LANDSCAPE DESIGN REQUIREMENTS AND PERFORMANCE STANDARDS SECTION 4-16-18-01.

GROOMED DRYLAND OPEN SPACE BUFFER

USES WITHIN THE GROOMED DRYLAND OPEN SPACE BUFFER MAY INCLUDE, BUT NOT BE LIMITED TO:

- TRAILS/WALKS
- ENTRY FEATURES (MONUMENT SIGNAGE AND LANDSCAPE)
- UNDERGROUND UTILITIES
- FENCES, ACCESS ROADS, ETC., AS REQUIRED
- OUTDOOR USES, INCLUDING ACTIVE AND PASSIVE RECREATION
- THE HEIGHT OF VERTICAL DESIGN ELEMENTS/LANDMARKS, SHALL NOT EXCEED 75% OF DISTANCE FROM BASE LEG TO THE NEAREST PROPERTY LINE OR OVERHEAD POWERLINE, UP TO A MAXIMUM HEIGHT OF 75'. IF WINDMILL IS USED AS A LANDMARK, MAXIMUM HEIGHT OF BLADE SHALL BE 20' ABOVE GRADE.

NEIGHBORHOOD PARK AND BALLFIELDS

PARK LANDSCAPE SHALL BE IRRIGATED, REFLECT A XERISCAPE PALETTE, AND WILL USE EFFICIENTLY-PLACED HEADS FOR TURF AND DRIP IRRIGATION. THE BALLFIELDS WITHIN THE BUFFER AREA WILL BE IRRIGATED AND SODDED, WITH THE REMAINING BUFFER AREA DOMINATED BY GROOMED NON-IRRIGATED DRYLAND GRASSES. BUFFER AREA WILL BE LANDSCAPED IN PHASES AT THE TIME OF CONSTRUCTING THE ADJACENT HOMES.

FRONT YARD LANDSCAPES

FOR CONSISTENCY THROUGHOUT THE COMMUNITY, THE APPLICANT WILL LANDSCAPE THE FRONT YARDS OF ALL HOMES. THESE PLANTINGS WILL BE IRRIGATED AND MAINTAINED BY A HOMEOWNER'S ASSOCIATION. THE PLANT PALETTE FOR FRONT YARDS WILL EMPHASIZE A XERISCAPE PLANT PALETTE AND INCLUDE, AT A MINIMUM, ONE TREE AND 10 SHRUBS PER HOME. IRRIGATION INCLUDES EFFICIENTLY-PLACED HEADS FOR TURF AND DRIP IRRIGATION FOR SHRUB BEDS.

MINIMUM SITE LANDSCAPE

A MINIMUM OF 10% OF THE TOTAL SITE IS REQUIRED TO BE LANDSCAPE. AT LEAST 50% OF THE REQUIRED LANDSCAPE IS TO ABUT PUBLIC RIGHT-OF-WAY. THE LANDSCAPE ABUTTING THE RIGHT OF WAY CAN BE INSTALLED PER ONE OF THE BELOW 2 OPTIONS.

OPTION 1: INSTALL A TWENTY (20) FOOT LANDSCAPE AREA ALONG THE ROAD RIGHT-OF-WAY. WITHIN THE LANDSCAPE AREA, ONE (1) TREE AND TWO (2) SHRUBS SHALL BE PLANTED PER FORTY (40) LINEAR FEET OF FRONTAGE.

OPTION 2: INSTALL A TEN (10) FOOT LANDSCAPE AREA ALONG THE ROAD RIGHT-OF-WAY. WITHIN THE LANDSCAPE AREA, TWO (2) TREES AND FIVE (5) SHRUBS SHALL BE PLANTED PER FORTY (40) LINEAR FEET OF FRONTAGE.

PARKING LOT LANDSCAPE

A MINIMUM OF 1 TREE TO BE PROVIDED FOR EVERY 10 PARKING SPACES. NO PARKING STALL TO BE MORE THAN 120' FROM A PARKING LOT ISLAND. MINIMUM PARKING LOT ISLAND WIDTH TO BE 8'.

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

BEING A PART OF THE SOUTH HALF OF THE SOUTHWEST QUARTER AND
THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE
62 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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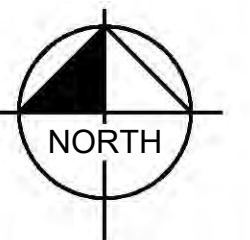
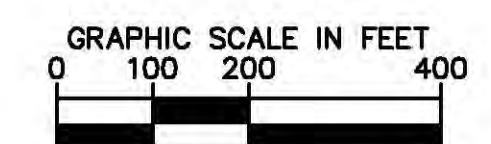
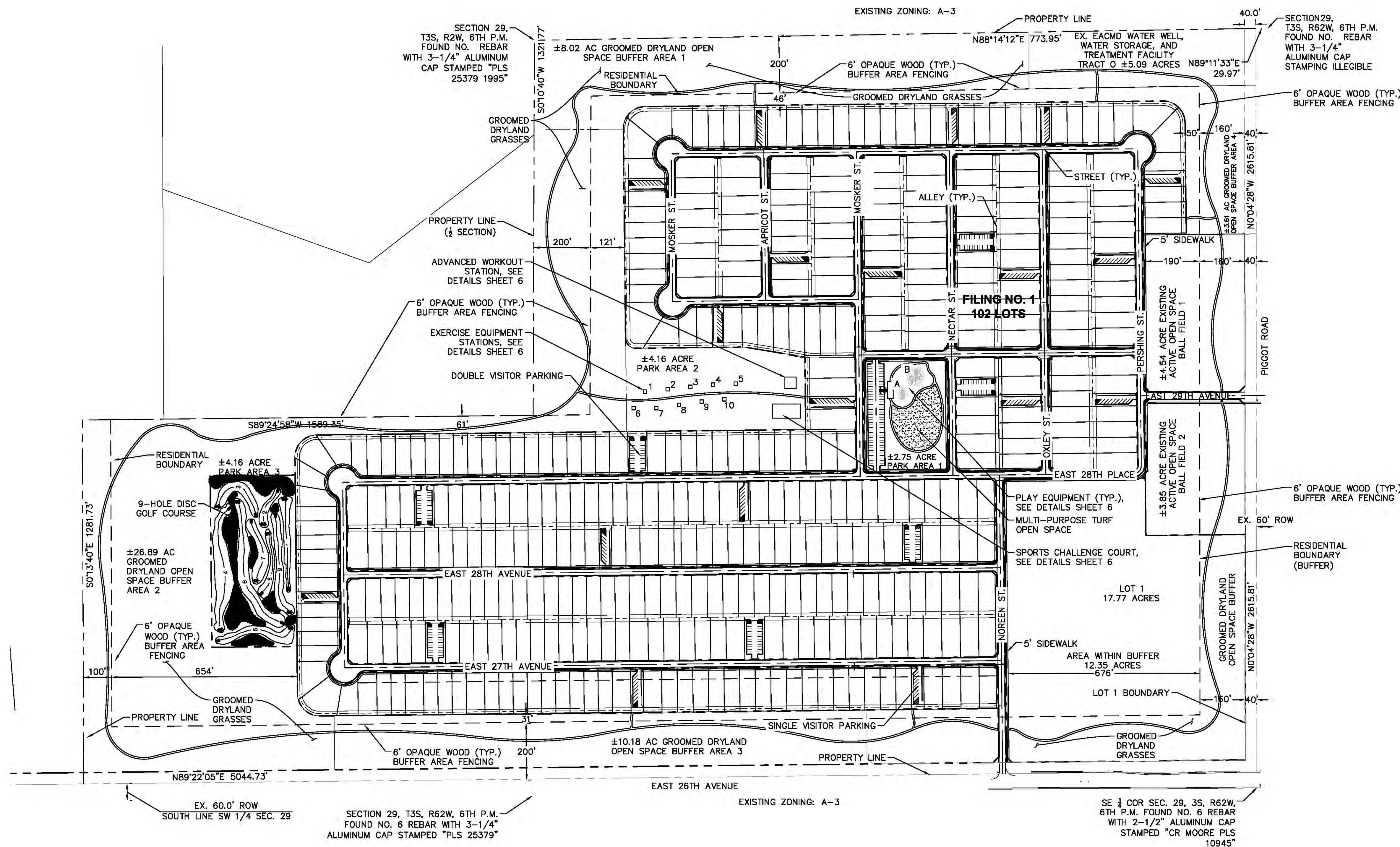
NOTES:

- STREET AND LOT LAYOUT SHOWN ON THE RECORDED - FILING 1 - FINAL PLAT FOR WOLF CREEK RUN IS TYPICAL FOR DEVELOPING THE 429 HOMES IN THIS FIRST FILING FOR WOLF CREEK RUN PUD. STREET WIDTHS, LOT SIZES, SETBACKS, AND LOCATIONS OF VISITOR PARKING, ETC., FOR FUTURE PHASES WILL BE CONSISTENT WITH THE STANDARDS ESTABLISHED FOR FILING 1.
- DRYLAND BUFFER AREAS WILL BE GROOMED AND KEPT FREE OF DEBRIS, BUT WILL NOT BE IRRIGATED EXCEPT AT PROJECT ENTRIES.
- GROOMED DRYLAND OPEN SPACE MAY BE USED FOR UTILITY EASEMENTS, ACCESS TO EACMD DRAINAGE FACILITIES, AND OUTDOOR PUBLIC USES.
- NO HOME SHALL BE CONSTRUCTED WITHIN THE 1000' TEMPORARY NO BUILD ZONE ONLY UNTIL SUCH A TIME AS THE TRI-COUNTY HEALTH DEPARTMENT AND THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT HAVE DETERMINED THAT IMPACTS FROM THE STRASBURG LAGOONS ARE APPROPRIATELY MITIGATED OR REMOVED.
- THE LOCATION OF VISITOR PARKING IN FUTURE FINAL PLAT FILING MAY CHANGE FROM THAT SHOWN HEREIN SO LONG AS THE RATIOS AND DISTANCES CONTAINED IN THIS FDP ARE MAINTAINED AND RELOCATION SHALL NOT REQUIRE AN AMENDMENT TO THIS FDP.
- THE MODELS MAY CHANGE FROM WHAT IS SHOWN HEREIN, WITHOUT AMENDING THIS FDP, SO LONG AS THE NEW MODEL:
 - FITS WITHIN THE BUILDING ENVELOPE;
 - COMPLIES WITH THE DEVELOPMENT STANDARDS AND USE RESTRICTIONS FOR FILING NO. 1 STATED HEREIN;
 - INCLUDES A FRONT PORCH AS AN ARCHITECTURAL FEATURE; AND,
 - MEETS OR EXCEEDS THE TYPE AND QUALITY OF MATERIALS LISTED ON SHEET 18.

LAND USE LEGEND

USE	GROSS AREA	OPEN SPACE	% ACRES OPEN SPACE	DU	GROSS DENSITY
RESIDENTIAL AREA (INCLUDING PARKS, SCHOOL SITE/LOT 1 AND GROOMED O.S.)	208.6600	61.6200	29.5300	429	2.0600
EXISTING RECREATION AREA (BALL FIELDS 1 & 2)	8.3900	8.3900	100	-	-
TOTALS	217.0500	70.0100	32.2600	429	1.9800

- EXISTING BALL FIELDS HAVE BEEN IDENTIFIED IN OPEN SPACE CALCULATIONS FOR PA1.
- THE EXISTING BALL FIELDS ARE DEPICTED ON THE CURRENT PLAN DUE TO INCLUSION OF THE FIELDS ON THE CORRESPONDING FINAL PLAT FOR THIS FINAL DEVELOPMENT PLAN AREA.
- PARK AREA 1 (±2.75 AC), PARK AREA 2 (±4.16AC), PARK AREA 3 (±4.16 AC) HAVE BEEN DESIGNED AS ACTIVE OPEN SPACES WITH PLAY EQUIPMENT, MULTI-PURPOSE PLAY FIELDS, EXERCISE EQUIPMENT & ADVANCED WORKOUT STATIONS, SPORTS CHALLENGE COURTS AND 9 HOLE DISC GOLF COURSE. (SEE ACTIVE SPACE DETAILS ON SHEET 6)



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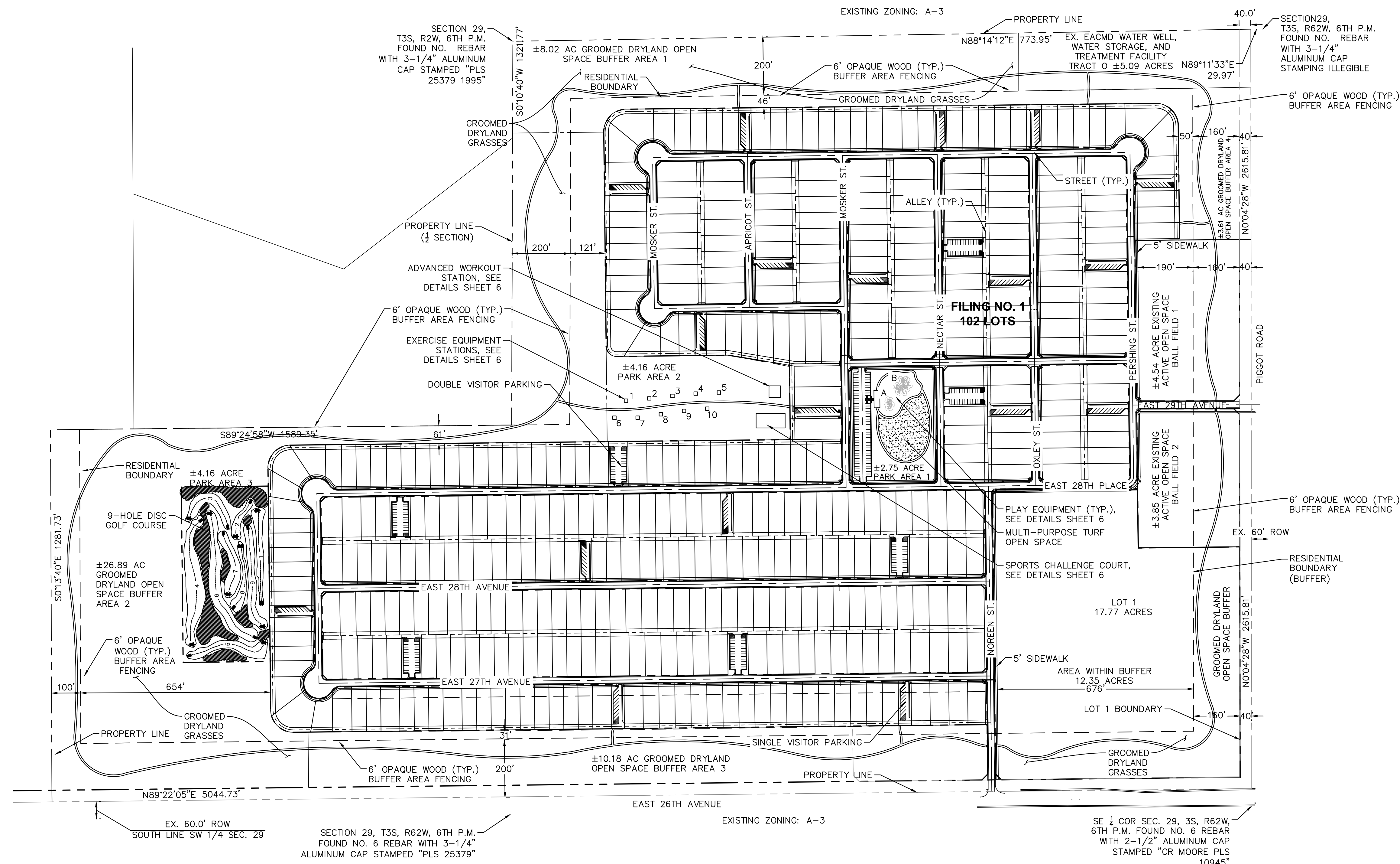
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ISSUED: 7/2/2019
SITE PLAN
SHEET 4 of 6

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

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62 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
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THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



- NOTES:**
- STREET AND LOT LAYOUT SHOWN ON THE RECORDED - FILING 1 - FINAL PLAT FOR WOLF CREEK RUN IS TYPICAL FOR DEVELOPING THE 429 HOMES IN THIS FIRST FILING FOR WOLF CREEK RUN PUD. STREET WIDTHS, LOT SIZES, SETBACKS, AND LOCATIONS OF VISITOR PARKING, ETC., FOR FUTURE PHASES WILL BE CONSISTENT WITH THE STANDARDS ESTABLISHED FOR FILING 1.
 - DRYLAND BUFFER AREAS WILL BE GROOMED AND KEPT FREE OF DEBRIS, BUT WILL NOT BE IRRIGATED EXCEPT AT PROJECT ENTRIES.
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 - THE LOCATION OF VISITOR PARKING IN FUTURE FINAL PLAT FILING MAY CHANGE FROM THAT SHOWN HEREIN SO LONG AS THE RATIOS AND DISTANCES CONTAINED IN THIS FDP ARE MAINTAINED AND RELOCATION SHALL NOT REQUIRE AN AMENDMENT TO THIS FDP.

FILING NO. 1 PARKING BREAKDOWN:

REQUIRED VISITOR PARKING RATIO	0.6 SPACES/LOT
NUMBER OF LOTS	102
NUMBER OF VISITOR PARKING SPOTS REQUIRED	62
NUMBER OF VISITOR PARKING SPOTS PROVIDED	121
MAXIMUM DISTANCE FROM VISITOR PARKING TO LOT	250 FEET

GROOMED DRYLAND OPEN SPACE BUFFERS

GROOMED DRYLAND OPEN SPACE BUFFER AREA:	AREA ACREAGE
AREA 1	±8.02 AC
AREA 2	±26.89
AREA 3	±10.18 AC
AREA 4	±3.61 AC
TOTAL PROVIDED:	±48.7

ACTIVE OPEN SPACES

PARK AREA 1	2.75 AC
PARK AREA 2	±4.16 AC
PARK AREA 3	±4.16 AC
TOTAL PROVIDED:	±11.07AC

EXISTING PARK OPEN SPACES

ACTIVE OPEN SPACE (BALL FIELDS)	AREA ACREAGE
EXISTING BALL FIELD 1	±4.54 AC
EXISTING BALL FIELD 2	±3.85 AC
TOTAL PROVIDED:	±8.39AC

TOTAL OPEN SPACE CALCULATION:

TOTAL SITE AREA:	193.10 ACRES
REQUIRED OPEN SPACE (30% TOTAL SITE AREA: 193.10*30%)	57.93 AC (193.10AC/30)
GROOMED DRYLAND OPEN SPACES	±48.7 AC
PARKS (OPEN SPACES) AREAS	±11.07 AC
TOTAL OPEN SPACE PROVIDED	±59.77 AC
PERCENT OPEN SPACE PROVIDED	59.77/57.93=103.18% PROVIDED

GRAPHIC SCALE IN FEET
0 100 200 400

NORTH

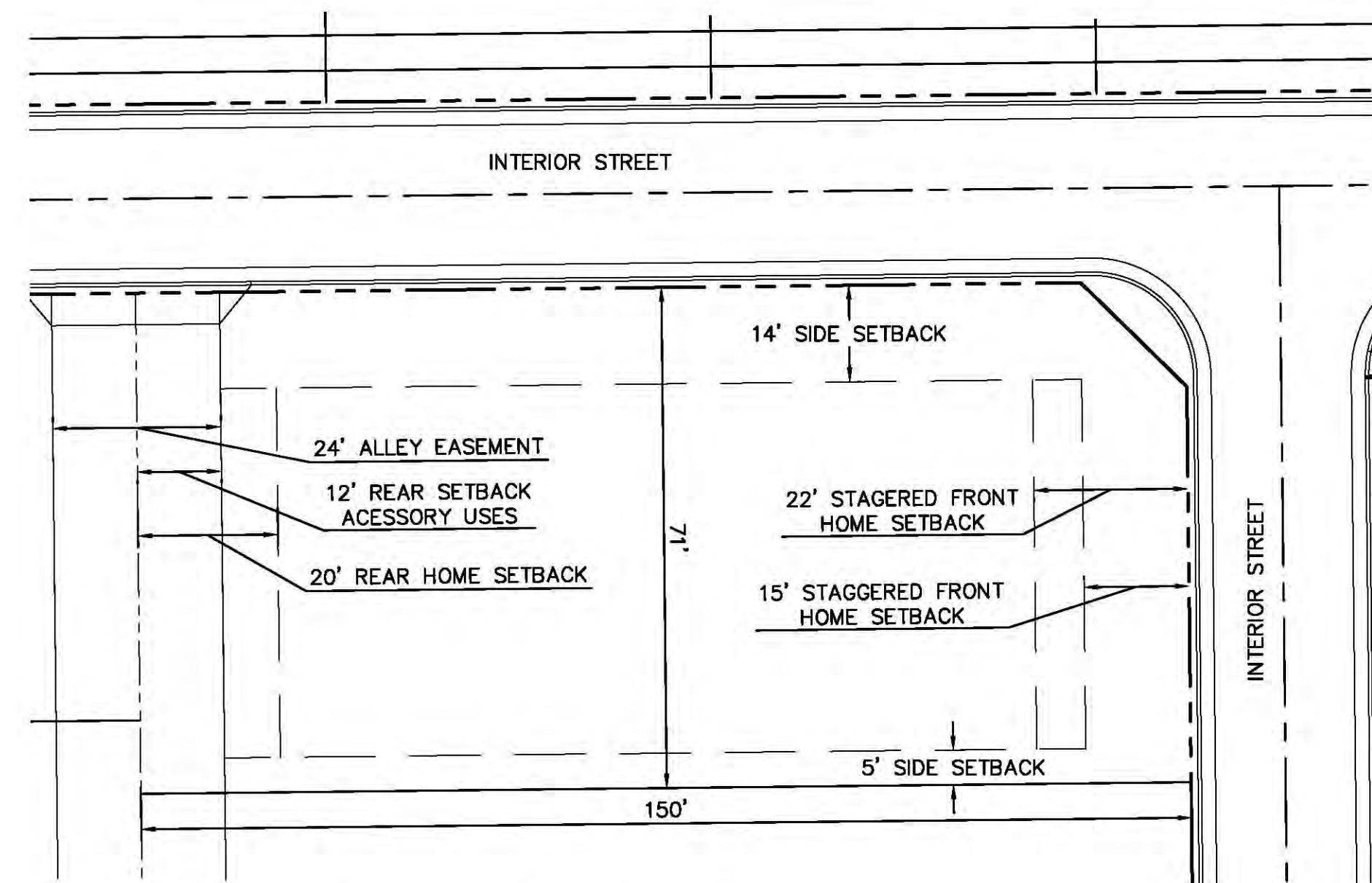
ISSUED: 7/2/2019
SITE PLAN
SHEET 5 of 7

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

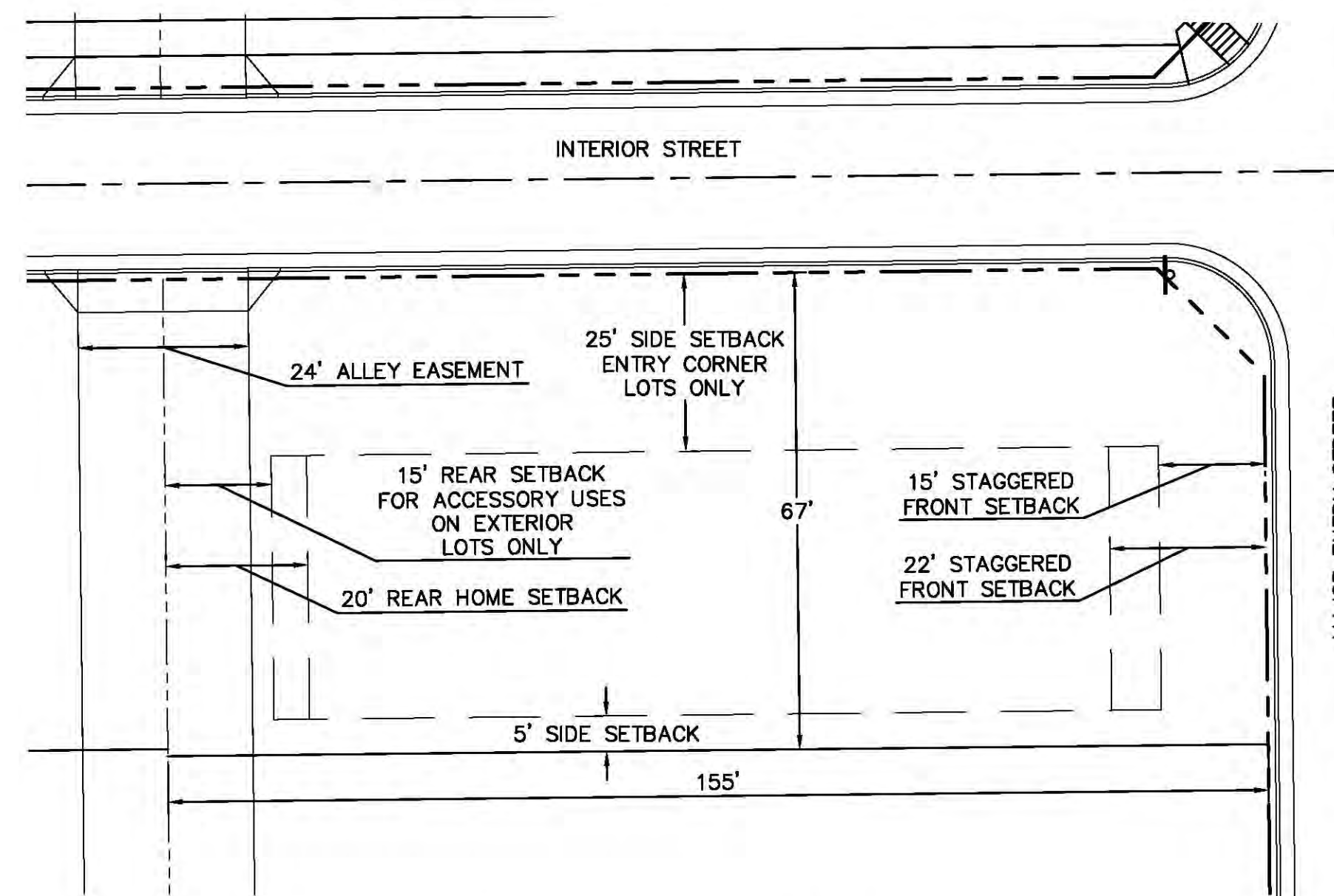
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NOTES:

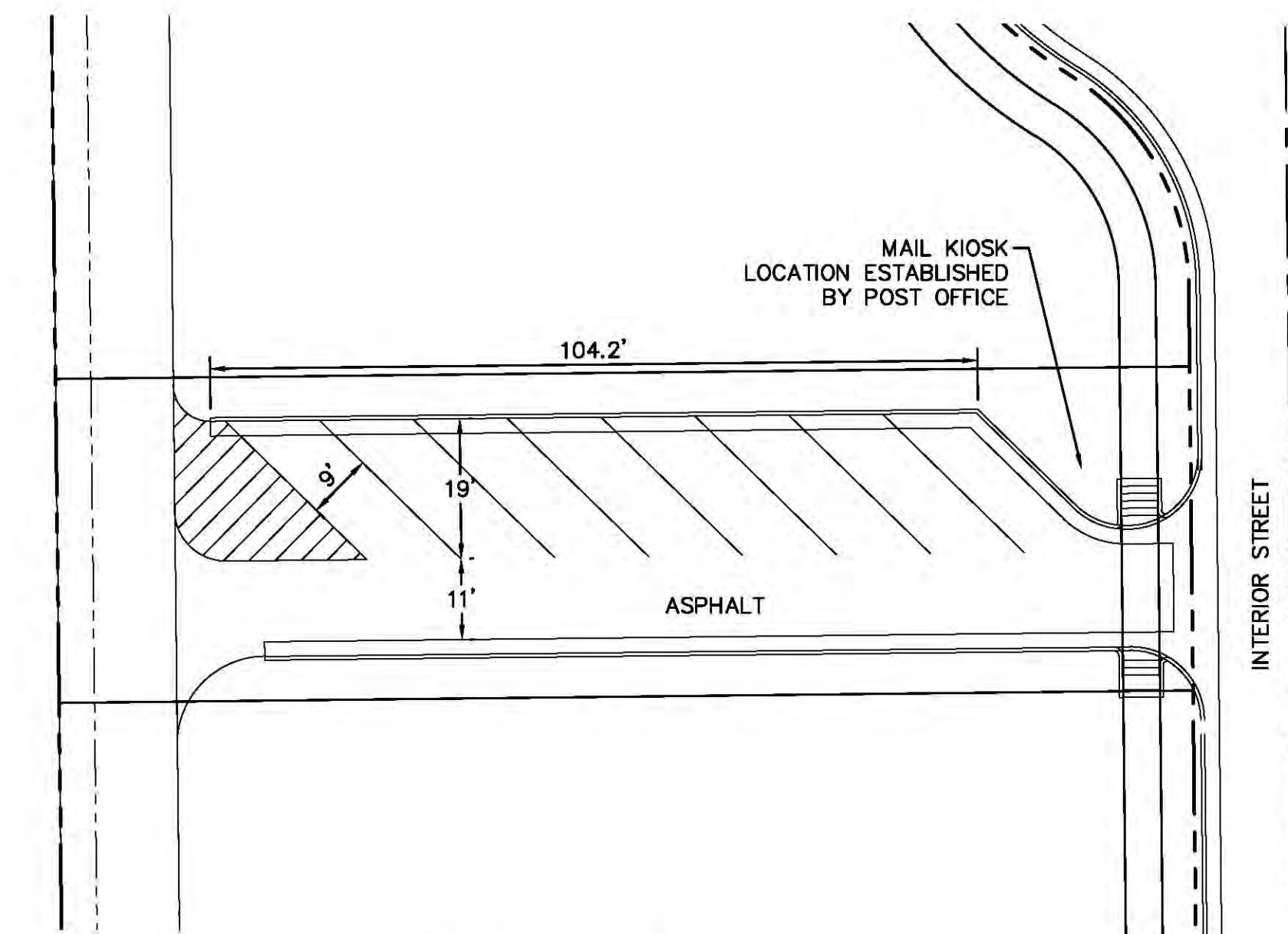
1. A HOME MAY BE PLACED ANYWHERE WITHIN THE BUILDING ENVELOPE (ESTABLISHED BY SETBACKS), PROVIDED IT IS NOT LESS THAN FIFTEEN (15) FEET NOR MORE THAN TWENTY-TWO (22) FEET FROM THE FRONT PROPERTY LINE.
2. SINGLE-STORY HOMES ARE REQUIRED ON ALL CORNER LOTS.



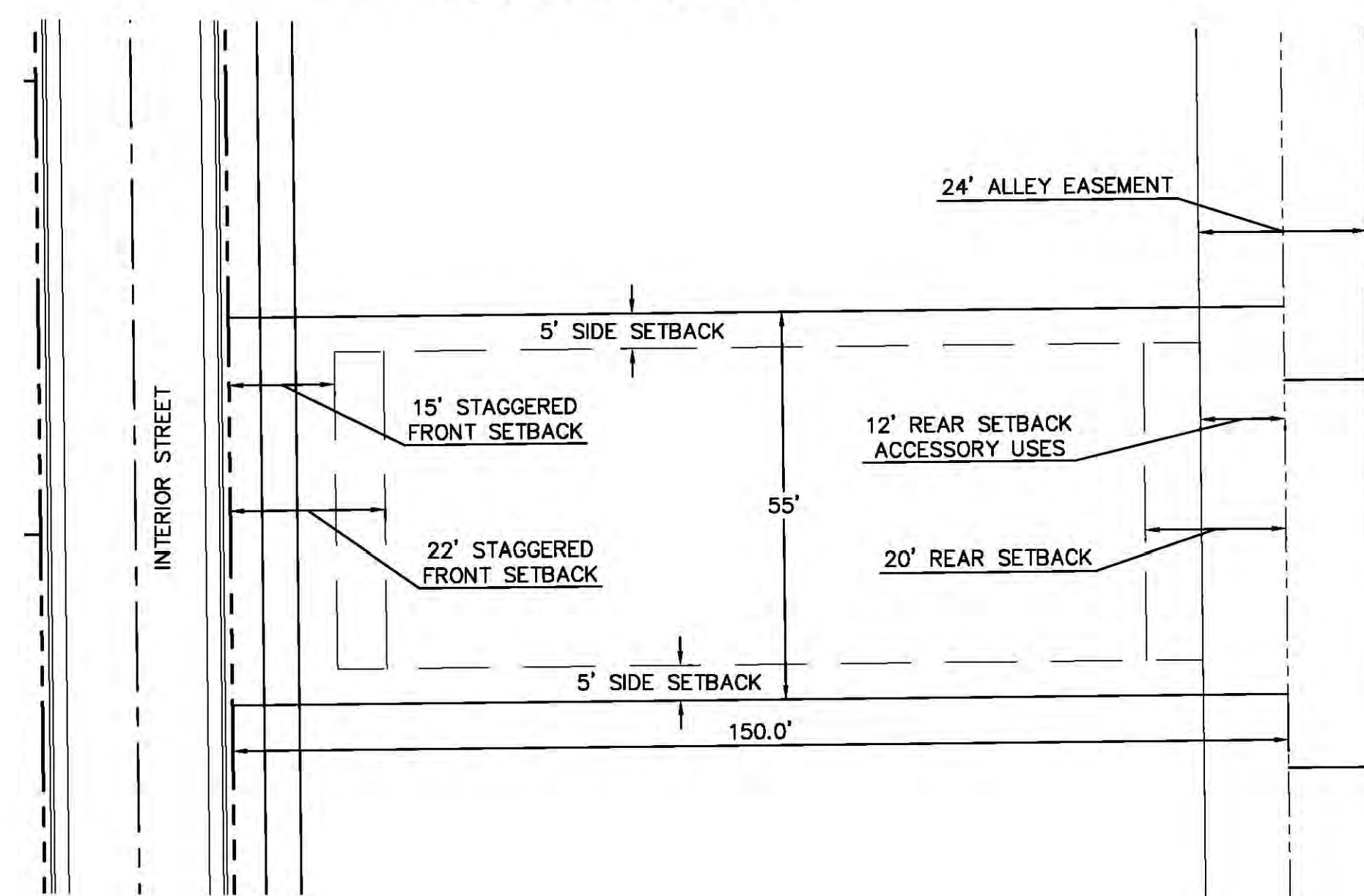
INTERIOR CORNER LOT



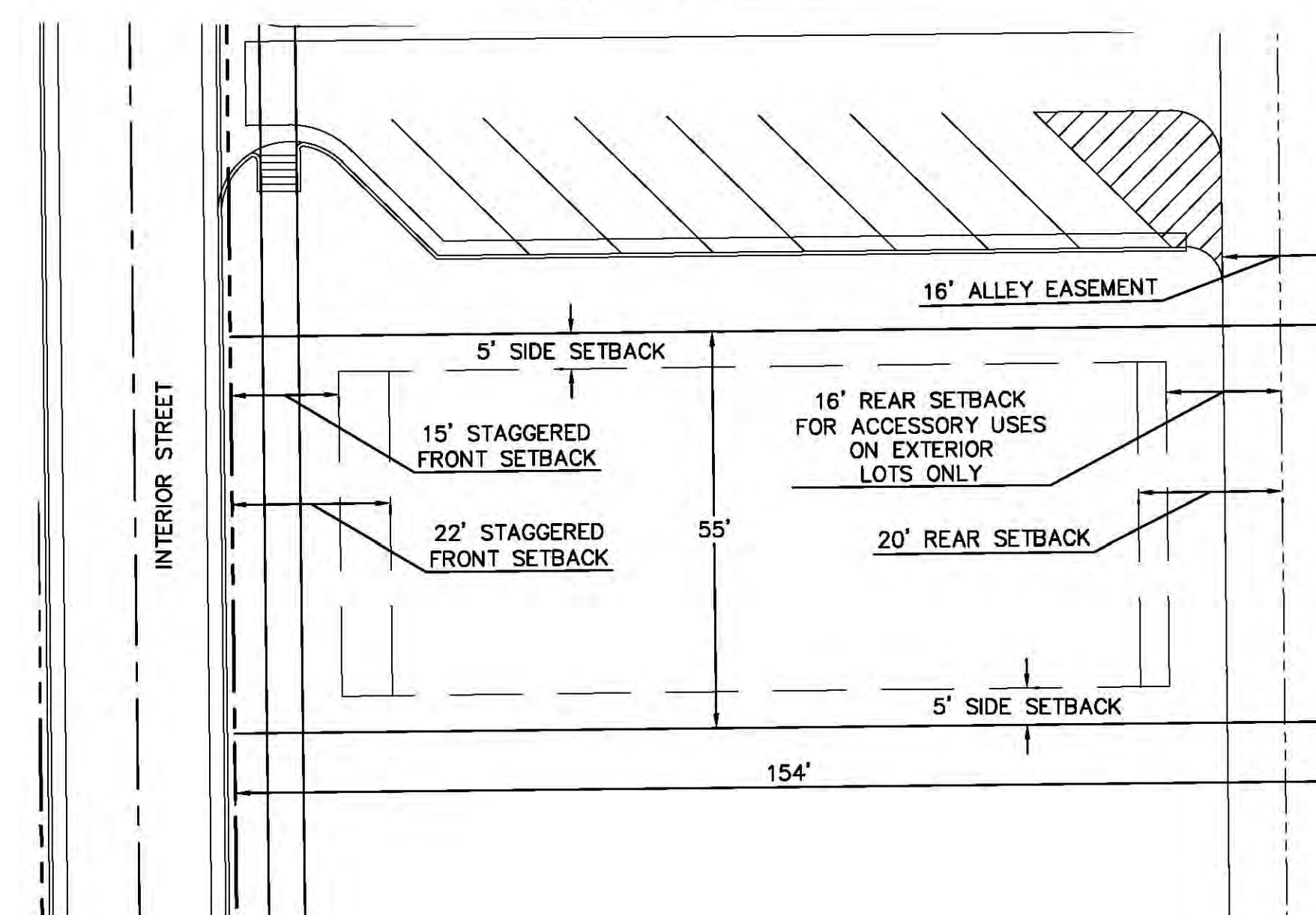
ENTRY CORNER LOT



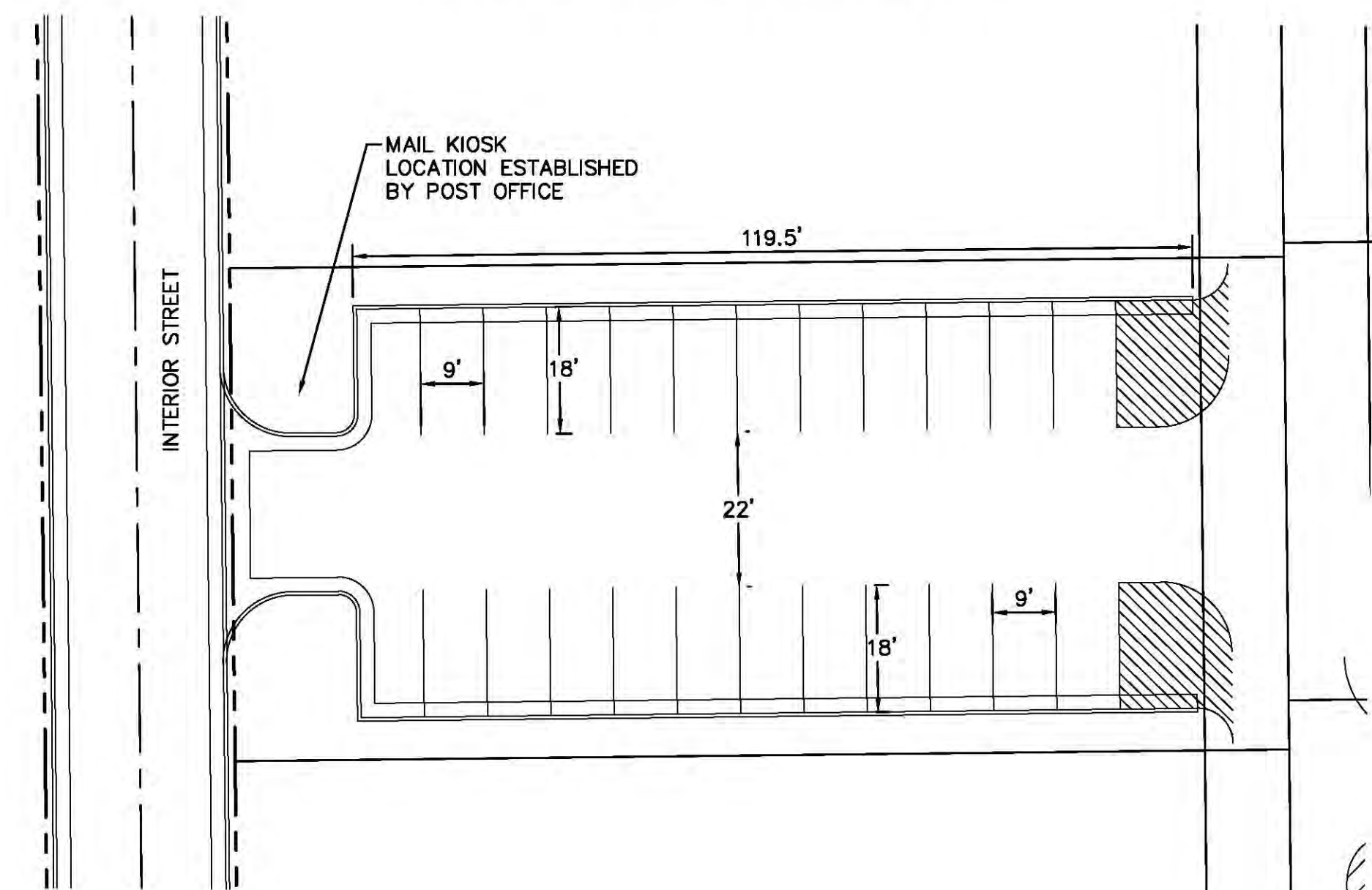
SINGLE VISITOR PARKING LOT



INTERIOR STANDARD LOT



EXTERIOR PERIMETER LOT



DOUBLE VISITOR PARKING LOT

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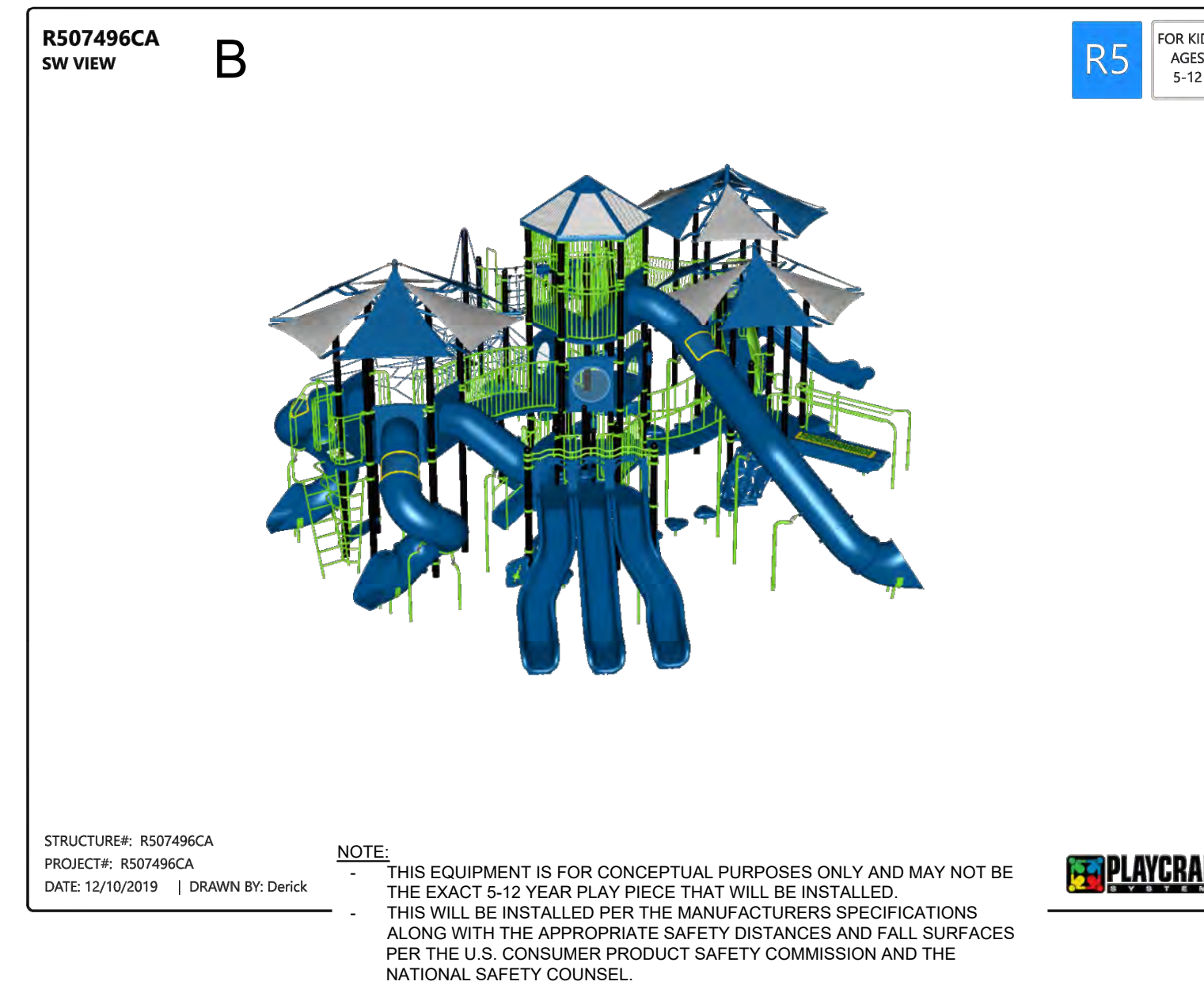
ISSUED: 7/2/2019

TYPICAL LOTS

SHEET 6 of 8

WOLF CREEK RUN WEST FINAL DEVELOPMENT PLAN

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NOTE: THESE EXERCISE PIECES (1-10) ABOVE ARE FOR CONCEPTUAL PURPOSES AND MAY NOT BE THE EXACT EQUIPMENT THAT WILL BE INSTALLED. THE OWNER RESERVES THE RIGHT TO ELIMINATE THESE EXERCISE PIECES (1-10) IF THE CHALLENGE COURT AND ADVANCED WORKOUT STATION ARE CHOSEN TO BE INSTALLED INSTEAD. THIS EXERCISE EQUIPMENT WILL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ALONG WITH THE APPROPRIATE SAFETY DISTANCES AND FALL SURFACES PER THE U.S. CONSUMER PRODUCT SAFETY COMMISSION AND THE NATIONAL SAFETY COUNSEL.

Our exclusive advanced variable resistance mechanism for smooth resistance throughout the range of motion. The resistance mechanism is fully enclosed to protect from the elements and eliminates crush and shear.

Limited Lifetime hardware and c gameTime.com warranty inform

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SUBDIVISION IMPROVEMENTS AGREEMENT

THIS AGREEMENT is made and entered into by and between the County of Adams, State of Colorado, hereinafter called “County,” and Pauls Development East, LLC, a Colorado limited liability company whose address is 100 St. Paul Street, Ste. 300, Denver, Colorado 80206, hereinafter called “Developer.”

WITNESSETH:

WHEREAS, Developer is the owner of real property in the County of Adams, State of Colorado, as described in **Exhibit “A”** attached hereto, and by this reference made a part hereof.

WHEREAS, it is provided by resolution of the Board of County Commissioners (“BoCC”), County of Adams, that where designated the Developer shall have entered into a written agreement with the County to install public and/or private improvements.

NOW, THEREFORE, in consideration of the foregoing, the parties hereto promise, covenant, and agree as follows:

1. **Engineering Services.** Developer shall furnish, at its own expense, all engineering and other services in connection with the design and construction of the improvements described and detailed on **Exhibit “B”** attached hereto, and by this reference made a part hereof. Developer shall obtain the approval for all construction plans and engineering reports prepared by the Developer in connection with the design and construction of the improvements described and detailed on **Exhibit “B”**.
3. **Drawings and Estimates.** Developer shall furnish drawings and cost estimates for all improvements described and detailed on **Exhibit “B”** for approval by the County. The Developer shall furnish one set of “as built” drawings and a final statement of construction costs to the County.
4. **Construction.** Developer shall furnish and construct, at its own expense and in accordance with drawings and materials approved by the County, the improvements described and detailed on **Exhibit “B”**.
5. **Time for Completion.** Improvements shall be completed according to the terms of this agreement within “construction completion date” appearing in **Exhibit “B”**. The Director of the Community and Economic Development Department may for good cause grant extension of time for completion of any part or all of improvements appearing on said **Exhibit “B”**. Any extension greater than 180 days may be approved only by the BoCC. Any extension of time shall be in written form only.

6. **Guarantee of Compliance.** Developer shall furnish to the County a cash escrow deposit or other acceptable collateral, releasable only by the County, to guarantee compliance with this agreement. Said collateral shall be in the amount of three million four hundred forty-one thousand eight hundred twenty-eight and no/100 dollars (\$3,936,321.00) including twenty percent (20%) to cover administration and five percent (5%) per year for the term of the agreement to cover inflation. Upon approval of the final plat, completion of said improvements constructed according to the terms of this agreement, and preliminary acceptance by the Director of Public Works in accordance with Section 5-02-05-01 of the County's Development Standards and Regulations, the collateral shall be released. Completion of said improvements will be determined solely by the County, and a reasonable part of said collateral, up to twenty percent (20%), may be retained to guarantee maintenance of public improvements for a period of one year from the date of Preliminary Acceptance.

No building permits will be issued until said collateral is furnished in the amount required and in a form acceptable to the BoCC, and until the final plat has been approved. No certificates of occupancy will be issued until the improvements described in **Exhibit "B"** have been preliminarily accepted by the County.

7. **Acceptance and Maintenance of Public Improvements.** All improvements designated "public" on **Exhibit "B"** shall be public facilities and become the property of the County or other public agencies upon acceptance of the improvements. During the period of one year from and after the acceptance of public improvements, the Developer shall, at its own expense, make all needed repairs or replacement due to defective materials or workmanship which, in the opinion of the County, become necessary. If, within ten days of written notice to the Developer from the County requesting such repairs or replacements, the Developer has not undertaken with due diligence to make the same, the County may make such repairs or replacements at the Developer's expense. In the case of an emergency such written notice may be waived.
8. **Successors and Assigns.** This agreement shall be binding upon the heirs, executors, personal representatives, successors, and assigns of the Developer, and shall be deemed a covenant running with the real property as described in **Exhibit "A"** attached hereto.
9. **Improvements and Dedication.** The undersigned Developer hereby agrees to provide the following improvements, and to dedicate described property.

A. **Improvements.**

Public Improvements: see **Exhibit “B”**

Public improvements consist of the construction of asphalt roadways, curb and gutter, sidewalk, ADA ramps and limited storm sewer improvements within the limits of Wolf Creek Run Filing No. 1.

See **Exhibit “B”** for description, estimated quantities, and estimated construction costs.

The improvements shall be constructed in accordance with all County requirements and specifications in accordance with the approved plans and preliminarily accepted in accordance with section 5-02-05-01 of the County's Development Standards and Regulations prior to the construction completion date indicated in **Exhibit “B”**.

- B. **Public dedication of land for right-of-way purposes or other public purpose.** Upon approval of this agreement by the BoCC, the Developer hereby agrees to convey by subdivision plat to the County of Adams the following described land for right-of-way or other public purposes:

The rights-of-way shown on the Final Plat of Wolf Creek Run Filing No. 1, known as East 31st Avenue, Noreen Street, Nora Street, Nectar Street, Oxley Street, Pershing Street, East 29th Place, East 29th Avenue, and East 28th Place, as well as portions of Piggott Road and East 26th Avenue, as more particularly described and depicted thereon.

10. **Counterparts.** This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original and all such counterparts taken together shall be deemed to constitute one and the same instrument.

APPROVED BY resolution at the meeting of _____, 2020.

Collateral to guarantee compliance with this agreement and construction of public improvements shall be required in the amount of \$3,936,321.00. No building permits shall be issued until said collateral is furnished in the amount required and in a form acceptable to the Board of County Commissioners. No certificates of occupancy will be issued until the improvements described in Exhibit “B” have been preliminarily accepted by the Department of Public Works.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Clerk of the Board

Chair

EXHIBIT "A"
LEGAL DESCRIPTION
WOLF CREEK RUN FILING NO. 1 (BOUNDARY)

A PARCEL OF LAND BEING A PORTION OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADMS, STATE OF COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST QUARTER CORNER OF SAID SECTION 29 WHENCE THE EAST LINE OF SAID SECTION BEARS NORTH 00°04'43" WEST, ALL BEARINGS HEREON REFERENCED TO THIS LINE;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00°37'23" WEST, A DISTANCE OF 70.00 FEET;

THENCE NORTH 44°22'05" EAST, A DISTANCE OF 28.58 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 309.60 FEET;

THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.21 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE 27.00 FEET;

THENCE NORTH 44°22'05" EAST, A DISTANCE OF 21.21 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 270.00 FEET;

THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.21 FEET;

THENCE NORTH 00°37'45" WEST, A DISTANCE OF 27.00 FEET;

THENCE NORTH 44°22'05" EAST, A DISTANCE OF 21.21 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 270.00 FEET;

THENCE NORTH 45°37'55" WEST, A DISTANCE OF 21.21 FEET;

THENCE SOUTH 89°22'05" WEST, A DISTANCE OF 490.50 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 27.00 FEET;

THENCE NORTH 44°22'05" EAST, A DISTANCE OF 131.00 FEET;

THENCE SOUTH 89°22'05" EAST, A DISTANCE OF 177.00 FEET;

THENCE NORTH 00°37'55" WEST, A DISTNACE OF 268.65 FEET;

THENCE NORTH 89°22'05" EAST, A DISTANCE OF 177.00 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 28.50 FEET;

THENCE NORTH 89°22'05" EAST, A DISANCE OF 27.00 FEET;

THENCE SOUTH 45°37'55" EAST, A DISTANCE OF 21.21 FEET;

THENCE NORTH 89°22'05" EAST, A DISTANCE OF 135.00 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 716.00 FEET;

THENCE NORTH 89°22'05" EAST, A DISTANCE OF 42.78 FEET;

THENCE NORTH 00°37'55" WEST, A DISTANCE OF 381.16 FEET TO THE SOUTHERLY BOUNDARY OF THAT CERTAIN QUITCLIAM DEED, RECORDED UNDER RECEPTION NO. C1065639;

THENCE ALONG SAID BOUNDARY THE FOLLOWING THREE (3) COURSES;

1. NORTH 88°14'12" EAST, A DISTANCE OF 773.95 FEET;

2. NORTH 88°05'58" EAST, A DISTNACE OF 431.89 FEET;

3. NORTH 89°11'33" EAST, ADISTANCE OF 29.97 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 29;

THENCE ALONG SAID EAST LINE OF SAID SECTION 29, WOUTH 00°04'43" EAST, A
DISTANCE OF 2646.32 FEET TO THE POINT OF BEGINNING

CONTAINING AN AREA OF 71.465 ACRES, (3,113,007 SQUARE FEET), MORE OR LESS.

EXHIBIT "B"

Engineer's Opinion of Probable Construction Cost

Kimley-Horn		Opinion of Probable Construction Cost			
Client: Paulscorp LLC		Date:		8/24/2020	
Project: Wolf Creek Run - West		Prepared By:		JAR	
KHA No.: 096195013		Checked By:		EJG	
Title:		WCR West Filing No. 1 (103 Lots) - County Surety Estimate (\$ Sheet: 1 of 4			
<p>Kimley-Horn & Associates, Inc. prepared the OPCC from construction drawings dated 08/24/2019 for this site; therefore, the final quantities are subject to change. Additionally, the final land plan could change significantly through the development process. This OPC is not intended for basing financial decisions, or securing funding. Review all notes and assumptions. Since Kimley-Horn & Associates, Inc. has no control over the cost of labor, materials, equipment, or services furnished by others, or over methods of determining price, or over competitive bidding or market conditions, any and all opinions as to the cost herein, including but not limited to opinions as to the costs of construction materials, shall be made on the basis of experience and best available data. Kimley-Horn & Associates, Inc. cannot and does not guarantee that proposals, bids, or actual costs will not vary from the opinions on costs shown herein. The total costs and other numbers in this Opinion of Probable Cost have been rounded.</p>					
Item No.	Item Description	Quantity	Unit	Unit Price	Item Cost
Infrastructure East 28th Place					
1	Roadway Earthwork 1' Scarify	1,062	CY	\$2.55	\$2,708
2	5" Asphalt Section w/ 6" Agg. Base 20' wide	21,214	SF	\$4.20	\$89,099
3	Curb & Gutter (2.5' Total)	1,903	LF	\$30.00	\$57,090
4	Sidewalk (5' Total)	542	SY	\$46.00	\$24,932
5	ADA Ramps	7	EA	\$1,650.00	\$11,550
					\$185,379
Infrastructure East 29th Avenue					
1	Roadway Earthwork 1' Scarify	399	CY	\$3.20	\$1,277
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	7,917	SF	\$4.20	\$33,251
3	Curb & Gutter (2.5' Total)	724	LF	\$30.00	\$21,720
4	Sidewalk (5' Total)	211	SY	\$46.00	\$9,706
5	ADA Ramps	3	EA	\$1,650.00	\$4,950
6	36" Storm Sewer	175	LF	\$225.00	\$39,375
7	36" Flared End Section	4	EA	\$225.00	\$900
					\$111,179
Infrastructure East 29th Place					
1	Roadway Earthwork 1' Scarify	1,765	CY	\$3.20	\$5,648
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	39,010	SF	\$4.20	\$163,842
3	Curb & Gutter (2.5' Total)	2,555	LF	\$30.00	\$76,650
4	Sidewalk (5' Total)	453	SY	\$46.00	\$20,838
5	ADA Ramps	7	EA	\$1,650.00	\$11,550
					\$278,528
Infrastructure East 31st Avenue					
1	Roadway Earthwork 1' Scarify	1,334	CY	\$2.55	\$3,402
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	28,407	SF	\$4.20	\$119,309
3	Curb & Gutter (2.5' Total)	2,229	LF	\$30.00	\$66,870
4	Sidewalk (5' Total)	406	SY	\$46.00	\$18,676
5	ADA Ramps	6	EA	\$1,650.00	\$9,900
					\$218,157

Kimley-Horn **Opinion of Probable Construction Cost**

Client: Paulscorp LLC	Date: 8/24/2020
Project: Wolf Creek Run - West	Prepared By: JAR
KHA No.: 096195013	Checked By: EJJ

Title: WCR West Filing No. 1 (103 Lots) - County Surety Estimate (\$ Sheet: 2 of 4

Kimley-Horn & Associates, Inc. prepared the OPCC from construction drawings dated 08/24/2019 for this site; therefore, the final quantities are subject to change. Additionally, the final land plan could change significantly through the development process. This OPC is not intended for basing financial decisions, or securing funding. Review all notes and assumptions. Since Kimley-Horn & Associates, Inc. has no control over the cost of labor, materials, equipment, or services furnished by others, or over methods of determining price, or over competitive bidding or market conditions, any and all opinions as to the cost herein, including but not limited to opinions as to the costs of construction materials, shall be made on the basis of experience and best available data. Kimley-Horn & Associates, Inc. cannot and does not guarantee that proposals, bids, or actual costs will not vary from the opinions on costs shown herein. The total costs and other numbers in this Opinion of Probable Cost have been rounded.

Item No.	Item Description	Quantity	Unit	Unit Price	Item Cost
Infrastructure Nora Street					
1	Roadway Earthwork 1' Scarify	621	CY	\$3.20	\$1,987
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	12,918	SF	\$4.20	\$54,256
3	Curb & Gutter (2.5' Total)	1,122	LF	\$30.00	\$33,660
4	Sidewalk (5' Total)	210	SY	\$46.00	\$9,660
4	ADA Ramps	1	EA	\$1,650.00	\$1,650
					\$101,213
Infrastructure Nectar Street					
1	Roadway Earthwork 1' Scarify	1,595	CY	\$3.20	\$5,104
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	32,954	SF	\$4.20	\$138,407
3	Curb & Gutter (2.5' Total)	2,887	LF	\$30.00	\$86,610
4	Sidewalk (5' Total)	581	SY	\$46.00	\$26,726
5	ADA Ramps	1	EA	\$1,650.00	\$1,650
					\$258,497
Infrastructure Oxley Street					
1	Roadway Earthwork 1' Scarify	1,458	CY	\$3.20	\$4,666
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	29,792	SF	\$4.20	\$125,126
3	Curb & Gutter (2.5' Total)	2,671	LF	\$30.00	\$80,130
4	Sidewalk (5' Total)	581	SY	\$46.00	\$26,726
5	ADA Ramps	1	EA	\$1,650.00	\$1,650
					\$238,298
Infrastructure Pershing Street					
1	Roadway Earthwork 1' Scarify	1,902	CY	\$3.20	\$6,086
2	5" Asphalt Section w/ 6" Agg. Base 32' wide	40,177	SF	\$4.20	\$168,743
3	Curb & Gutter (2.5' Total)	3,134	LF	\$30.00	\$94,020
4	Sidewalk (5' Total)	666	SY	\$46.00	\$30,636
5	ADA Ramps	4	EA	\$1,650.00	\$6,600
					\$306,086

Kimley-Horn		Opinion of Probable Construction Cost			
Client:	Paulscorp LLC	Date:	8/24/2020		
Project:	Wolf Creek Run - West	Prepared By:	JAR		
KHA No.:	096195013	Checked By:	EJG		
Title:	WCR West Filing No. 1 (103 Lots) - County Surety Estimate (\$ Sheet: 3 of 4)				
<p>Kimley-Horn & Associates, Inc. prepared the OPCC from construction drawings dated 06/24/2019 for this site; therefore, the final quantities are subject to change. Additionally, the final land plan could change significantly through the development process. This OPC is not intended for basing financial decisions, or securing funding. Review all notes and assumptions. Since Kimley-Horn & Associates, Inc. has no control over the cost of labor, materials, equipment, or services furnished by others, or over methods of determining price, or over competitive bidding or market conditions, any and all opinions as to the cost herein, including but not limited to opinions as to the costs of construction materials, shall be made on the basis of experience and best available data. Kimley-Horn & Associates, Inc. cannot and does not guarantee that proposals, bids, or actual costs will not vary from the opinions on costs shown herein. The total costs and other numbers in this Opinion of Probable Cost have been rounded.</p>					
Item No.	Item Description	Quantity	Unit	Unit Price	Item Cost
Infrastructure Piggott Road					
1	Roadway Earthwork 1' Scarify	5,685	CY	\$3.20	\$18,192
2	5" Asphalt Section w/ 6" Agg. Base 24' wide	153,486	SF	\$4.20	\$644,641
3	42" Storm Sewer	645	LF	\$250.00	\$161,250
4	42" Flared End Section	6	EA	\$250.00	\$1,500
					\$825,583
Infrastructure East 26th Avenue					
1	Roadway Earthwork 1' Scarify	3,531	CY	\$3.20	\$11,299
2	5" Asphalt Section w/ 6" Agg. Base 24' wide	95,342	SF	\$4.20	\$400,436
					\$411,736
Infrastructure Noreen Street					
1	Roadway Earthwork 1' Scarify	1,101	CY	\$3.20	\$3,523
2	5" Asphalt Section w/ 6" Agg. Base 20' wide	21,778	SF	\$4.20	\$91,468
3	Curb & Gutter (2.5' Total)	2,087	LF	\$30.00	\$62,610
4	Sidewalk (5' Total)	548	SY	\$46.00	\$25,208
5	ADA Ramps	4	EA	\$1,650.00	\$6,600
					\$189,409

Kimley-Horn **Opinion of Probable Construction Cost**

Client: Paulscorp LLC	Date: 8/24/2020
Project: Wolf Creek Run - West	Prepared By: JAR
KHA No.: 096195013	Checked By: EJG

Title: **WCR West Filing No. 1 (103 Lots) - County Surety Estimate (\$ Sheet: 4 of 4**

Kimley-Horn & Associates, Inc. prepared the OPCC from construction drawings dated 08/24/2019 for this site; therefore, the final quantities are subject to change. Additionally, the final land plan could change significantly through the development process. This OPC is not intended for basing financial decisions, or securing funding. Review all notes and assumptions. Since Kimley-Horn & Associates, Inc. has no control over the cost of labor, materials, equipment, or services furnished by others, or over methods of determining price, or over competitive bidding or market conditions, any and all opinions as to the cost herein, including but not limited to opinions as to the costs of construction materials, shall be made on the basis of experience and best available data. Kimley-Horn & Associates, Inc. cannot and does not guarantee that proposals, bids, or actual costs will not vary from the opinions on costs shown herein. The total costs and other numbers in this Opinion of Probable Cost have been rounded.

Item No.	Item Description	Quantity	Unit	Unit Price	Item Cost
	<i>Subtotal</i>				\$3,124,064
	Additional Performance Bond Requirements				
1	20% Administration Fee	1	EA	20%	\$624,813
				Total Cost with 20% Admin	\$3,748,877
2	5% Inflation Per Year of Construction	1	YR	5%	\$187,444
	Total:				\$3,936,321

- Basis for Cost Projection:
- No
 - Preliminary
 - Final

Estimated Construction Completion Date: December 31, 2021

Initials or signature of Developer: _____



Development Review Team Comments

Date: 4/3/2020

Project Number: PRC2019-00009

Project Name: Wolf Creek Run West, Filing No. 1

Commenting Division: Plan Coordination 3rd Review

Name of Reviewer: Greg Barnes

Date: 04/03/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Greg Labrie

Date: 04/03/2020

Email: glabrie@adcogov.org

Complete

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 04/03/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN03: Previously, I commented that "the original preliminary PUD included language that the "urbanized area" has a density less than 3.5 dwellings per acre". I'm having a hard time following your response to this comment. Perhaps this is something we could chat by telephone and come to some sort of agreement or understanding.

PLN04: Just to clarify, staff could consider foster family care as a permitted use, if that is an interest for you. We would just need a justification as to why the use was being changed from the preliminary plat.

PLN09: Please provide detail on Park Areas 1, 2, and 3. What makes these parks classify as "Active Recreation Open Space"? In addition, we are limited at the moment by building closures due to the threat of COVID-19, but please ensure that the existing ball fields were not used to satisfy active recreation open space requirements for the Wolf Creek Run (East) development plan. You will not be allowed to count this space twice.

PLN12: A recalculation of PLD cash-in-lieu has been provided. Please review.

Commenting Division: Application Intake 3rd Review

Name of Reviewer: Rayleen Swarts

Date: 03/12/2020

Email:

Complete

Commenting Division: Plan Coordination 2nd Review

Name of Reviewer: Greg Barnes

Date: 01/06/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: SIA Review 1 - Finance

Name of Reviewer: Laura Garcia

Date: 01/06/2020

Email:

Resubmittal Required

FNC01: Please see e-mail attached to report.

Commenting Division: SIA Review 1 - Attorney

Name of Reviewer: Christine Fitch

Date: 01/06/2020

Email:

Resubmittal Required

ATY01: Please see the redlines provided

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 01/06/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: A final plat is not processed through the Planning Commission. This signature block can be removed.

PLN02: Where is the non-irrigated bufferyards coming from? I don't see any reference to this on the original preliminary PUD. Staff will have some concern about the maintenance and care of these buffers without irrigation.

PLN03: The original preliminary PUD included language that the "urbanized area" has a density less than 3.5 dwellings per acre. For consistency purposes, I'd like to see the overall calculation for this development on the final plat.

PLN04: Uses by right and conditional uses appear to be amended from the preliminary plat. Please explain the rationale for amending the preliminary PUD

PLN05: Minimum lot size on the preliminary PUD was 5,000 square feet. The proposed final development plan shows 7,000 square feet. Please provide a written justification.

PLN06: Fence setbacks along the northern property line was originally 200 feet on the preliminary approval. The proposed FDP shows only 100 feet. Please justify.

PLN07: It seems that the FDP does not include specific landscape requirements that show on the PDP. Examples include: Irrigated front yard landscaping, required tree lawn, landscaped entry ways for the first 100' into subdivision.

PLN08: Will Filing #1 be treated differently than the rest of Wolf Creek Run West? I am confused why Page 4 is necessary. It seems like Filing 1 may have different standards than the remaining filings. Please explain.

PLN09: Please define open space areas and active recreation open space areas. Calculations should be provided.

PLN10: I would prefer overall landscaping and architectural metrics on an FDP instead of specific landscape plans and building elevation drawings. By providing metrics, you offer yourself more flexibility to make minor changes. We can discuss more of this at the review comment consultation.

PLN11: Please see the addressing comments regarding street names. The suggested names do not follow the naming conventions.

PLN12: Public Land Dedication is required for subdivisions. Cash-in-lieu of land dedication is preferred. Please see the attached calculation estimates.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Greg Labrie

Date: 12/04/2019

Email: glabrie@adcogov.org

Resubmittal Required

The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division and Development Engineering offers the following comments:

- 1.) After completing a thorough review of this case, it is clear that these submitted plans are not ready for approval and must be resubmitted, based on the following comments below.
- 2.) Construction Plans must be approved by the Community and Economic Development Dept. prior to construction beginning. A construction Permit must be issued prior to work commencing.
- 3.) A Pre-Construction Meeting will be held with the Construction Staff of the Dept. of Public Works, prior to construction beginning.
- 4.) Most likely, due to the extensive nature of the construction associated with both Piggott Rd. and 26th Ave., road closures will be required for both 26th Ave. and Piggott Rd. MHT Plans will be submitted to and approved by the Department of Public works prior to commencing construction.
- 5.) IN GENERAL – ADA ramp configurations are not correct throughout the entirety of the subdivision. Because of the proposed platting layout and Right of Way requirements, it appears that the ADA Ramps or their related facilities will not be located entirely in the right-of-way. The ADA Ramps must be located entirely in the Adams County right-of-way. This can be accomplished by re-designing the ADA ramps or by revising the plat to obtain additional right-of-way at the street corners.
- 6.) As ADA Ramps are only being placed at specific locations, the “butterfly” configuration of the ADA Ramps cannot be used. Although the general ADA Ramp details have been included, it appears though these ramp configurations will not work with this development. Special ADA Ramp details will need to be specifically developed for this site.
- 7.) IN GENERAL – Although inlet details have been provided within this submittal, inlet locations have not been detailed in this submittal. Other than the storm sewer pipe shown within the channel locations, no other storm sewer system has been detailed within this submittal.
- 8.) Sheet C2.4 – There appears to be a pedestrian crossing at 29th Ave. and Piggott Rd. What are the safety requirements for this crossing?
- 9.) Sheet C2.4, C2.5 – There appears to be an odd ADA Ramp Crossings on 29th Ave. and Noreen St. that appear to go nowhere.
- 10.) Sheet C3.1 – Drainage details do not appear to be specific to any specific location.
- 11.) Sheet C7.0 – Proposed grades on the pipe crossings are either not shown or are incorrect.
- 12.) Sheet C7.0 – Culvert A-1 plan does not show the existing access point directly adjacent to the pipe crossing on the west side of Piggott Rd. How will this pipe construction and road profile change directly affect this access point?
- 13.) Sheet C8.0 – Piggott Rd. X-Sections do not match the Plan and Profile sheets.
- 14.) Sheet C8.0 – 26th Ave. X-Sections are incomplete.
- 15.) Sheet C8.1 – The existing pipe shown at sta. 52+21.89 on Piggott Rd. needs to be properly labeled with flow directions. Will additional ROW be required at the SE Corner of 26th Ave. and Piggott Rd.?
- 16.) Sheet C8.3 – How will this pipe construction and road profile change directly affect the existing access point along the west side of Piggott Rd.? The proposed pipe needs to be shown in the profile view.

- 17.) IN GENERAL – The existing flows need to be depicted on both Piggott Rd. and 26th Ave. All plan and profile sheets for both Piggott Rd. and E. 26th Ave. are missing a lot of detail.
- 18.) IN GENERAL – Cross Section sheets are missing a lot of detail.
- 19.) Sheet C9.0 – 9.3 Striping and Signage Plans – These sheets need to be submitted to Brian Staley for review and approval.
- 20.) Sheet C10.0 – The Adams County concrete details need to be removed as these details will not be used during this construction.

These plans will need to be resubmitted.

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Marissa Hillje

Date: 12/16/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1: Remove note # 13

ROW2: The 40ft portion within the dedicated ROW must be vacated prior to BOCC hearing.

Commenting Division: Application Intake 2nd Review

Name of Reviewer: Megan Ulibarri

Date: 11/25/2019

Email:

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 09/23/2019

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: The material submitted for the final PUD only included one page "Sheet 4 of 22". We will need to see more. The PUD application should include information on the common areas, open space, a detail of minimum building materials, design features, etc. A PUD is supposed to have a superior design with bicycle and parking amenities. Landscape buffers, signage and entry features, and park design are expected. The FDP should also include minimum lot size, minimum lot width, and setbacks. This is essential in reviewing the final plat to ensure compliance with proposed standards.

PLN02: A final plat is not processed through the Planning Commission. This signature block can be removed.

PLN03: The plat application included a phasing map. It was unclear as to what the intent of the phasing plan was. All public improvements for the same filing will be required at the same time. The overall land area and number of lots will directly impact the amount of PLDD cash-in-lieu payments, so this should be clarified immediately.

Commenting Division: CDOT Review

Name of Reviewer: Steve Loeffler

Date: 09/18/2019

Email:

Comment

We would like to review a traffic study for this development which looks at the impact of this development on State Highway 36 and Piggott Rd. If traffic at this intersection will increase by 20% or greater, a new State Highway Access Permit will be required. Since Piggott Rd. is a County Road, Adams County would need to be the Permittee on the Permit. Contact for this permit is Steve Loeffler who can be reached at 303-757-9891 or steven.Loeffler@state.co.us

The County should be aware of cumulative impact of this development and others on the intersections connecting to State Highway 36 and will be responsible for required improvements at these locations.

Commenting Division: Development Engineering Review

Name of Reviewer: Greg Labrie

Date: 09/05/2019

Email: glabrie@adcogov.org

Resubmittal Required

The Construction Plans for this site were reviewed by the Adams County Dept. of Public Works, Infrastructure Management Section on August 26, 2019. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments on this specific case:

- 1.) The estimated cost for curb and gutter shown in Exhibit B from the proposed Subdivision Improvement Agreement is extremely low as compared to CDOT Cost Data Book. On average the estimated cost for the installation of concrete curb and gutter is \$30 per linear foot instead of \$8 per linear foot. Please provide a quote from a contractor showing the installation of curb and gutter for \$8 per linear feet or change the estimate in Exhibit B to reflect CDOT's cost for curb and gutter at \$30 per linear feet.
- 2.) Please use square yards instead of linear feet to calculate the installation cost of the 5' wide sidewalks.
- 3.) Change any reference of the Transportation Department to the Adams County Public Works Department within the Subdivision Improvement Agreement.
- 4.) An approved Subdivision Improvement Agreement and related collateral will be required prior to commencing construction on this location. No construction will begin until the SIA has been approved by the BoCC.
- 5.) Building Permits will not be issued until this subdivision has received Preliminary Acceptance.
- 6.) A Pavement thickness design will be submitted and approved prior to construction.
- 7.) A Geotechnical Report will need to be submitted to address pavement subgrade concerns.
- 8.) A pavement overlay and related shouldering does not appear to be included in the areas where new pavement is being abutted to existing pavement. To assure pavement stability and integrity in the areas of existing pavements along Piggott Rd. and 26th Ave., an overlay will be required, possibly along with related patching. These costs will all be included into the approved SIA.
- 9.) Construction details such as cross sections and plan and profile for the roadways and drainage facilities are required to be shown on the design plans.
- 10.) Erosion and sediment control BMPs with installation details shall also be included in the design plans.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 08/27/2019

Email: gjbarnes@adcogov.org

External Agencies Selected

Commenting Division: ROW Review

Name of Reviewer: Marissa Hillje

Date: 08/27/2019

Email: mhillje@adcogov.org

Resubmittal Required

ROW1. Revise statement: Have by these presents..... lots, tracts, streets and easements.....(see redlines)

ROW2. Revise dedication statement: ...hereby dedicate, grant..... Those public streets and easements.....(see redlines)

ROW3. Add note describing basis of bearings

ROW4. The easement note #7 needs to be revised. The map shows 10ft ue and le along tracts as well as 16ft along back of properties.

ROW5. Add case # PRC2019-00009 to top right of each page

ROW6. Revise the leader line for point of beginning on sheet 2

ROW7. Remove all duplicate tract # and lot # from each lot on each sheet. There are several overlapping labels that need to be revised/deleted as well.

ROW8. The County will require that all public right of way is free and clear of any easements or encumbrances. The utility easements (200ft REC C0958528 & 40ft C0958528) that are within the dedicated portions of Piggot Road must be vacated and rec# of vacated document labeled on plat prior to approval.

ROW9. Add addresses # to each lot OR the entire address table can be added to a sheet on the plat.

ROW10. An updated title report will be required with the next resubmittal. Please send report dated no older than 30 days.

ROW11. See redlines on plat attached.

Commenting Division: Addressing Review

Name of Reviewer: Marissa Hillje

Date: 08/23/2019

Email: mhillje@adcogov.org

Resubmittal Required

The attached address table should be put onto the plat or each lot should have address # labeled on plat.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 08/15/2019

Email: aclark@adcogov.org

Complete

PRK1: The application states that the applicant "created a conservation easement" over a portion of the property. Who holds this easement? Is the document available for review?

Greg Barnes

From: Gordon Stevens
Sent: Wednesday, August 28, 2019 10:01 AM
To: Greg Barnes
Cc: Greg Labrie; David Rausch; Russell Nelson; Juliana J. Archuleta; Jennifer Shi
Subject: RE: For Review: Wolf Creek Run West Subd., Fil. No. 1, 26th Ave. and Piggott Rd., PRC2019-00009
Attachments: Wolf Creek Run West, Fil. No. 1, 26th Ave. and Piggott Rd., PRC2019-00009, PRE2017-00068, PLT2018-00008, EGR2019-00032

Good Morning Greg,

Thank you for the opportunity to review and comment on this case. The Construction Plans for this site were reviewed by the Adams County Dept. of Public Works, Infrastructure Management Section on August 26, 2019. These comments were forwarded to Greg Labrie. See the attached comments above. The Adams County Dept. of Public Works, Infrastructure Management, Construction Inspection Division offers the following comments on this specific case:

- 1.) An approved Subdivision Improvement Agreement and related collateral will be required prior to commencing construction on this location.
- 2.) No construction will begin until the SIA has been approved by the BoCC.
- 3.) Building Permits will not be issued until this subdivision has received Preliminary Acceptance.
- 4.) A Pavement thickness design will be submitted and approved prior to construction.
- 5.) A Geotechnical Report will need to be submitted to address pavement subgrade concerns.
- 6.) A pavement overlay and related shouldering does not appear to be included in the areas where new pavement is being abutted to existing pavement. To assure pavement stability and integrity in the areas of existing pavements along Piggott Rd. and 26th Ave., an overlay will be required, possibly along with related patching. These costs will all be included into the approved SIA.

I have forwarded this case to other members of the Public Works Dept. for additional comment if necessary.

Again, I appreciate the is opportunity to review this submittal. If I can be of any further assistance, Please let me know.

Sincerely,



Gordon Stevens

Construction Inspection Supervisor,
Department of Public Works
Infrastructure Management Division
ADAMS COUNTY, COLORADO
4430 So, Adams County Parkway,
1st Floor, Suite W2000B

Brighton, CO 80601-8218

o: 720-523-6965 | gstevens@adco.gov, www.adco.gov

c: 303-947-9633

From: Greg Barnes
Sent: Tuesday, August 27, 2019 4:40 PM
To: Greg Barnes <GJBarnes@adco.gov.org>
Subject: For Review: Wolf Creek Run West (PRC2019-00009)

The Adams County Planning Commission is requesting comments on the following application: **FDP (Final Development Plan) to develop 429 dwelling units on 199.8 acres and Final Plat for 103 lots on 13 tracts/71.5 acres.** This request is located at the northwest corner of East 26th Avenue and Piggott Road. The Assessor's Parcel Number is 0181329200007.

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216; or call (720) 523-6800 **by 09/20/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases .



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Regional Office
6060 Broadway
Denver, CO 80216
P 303.291.7227

September 16, 2019

Greg Barnes
Adams County
Community and Economic Development Department
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

RE: FDP (Final Development Plan) to Develop 429 Dwelling Units on 199.8 Acres and Final Plat for 103 Lots on 13 tracts/ 71.5 Acres (PRC2019-00009)

Dear Mr. Barnes:

Thank you for the opportunity to comment on the Wolf Creek Run West Final Development plan. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future **generations to serve as active stewards of Colorado's natural resources. Our goal in** responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority.

The proposed 429 dwelling units on 199.8-acres and final plat for 103 lots on 71.5-acres development is located at the northwest corner of East 26th Avenue and Piggott Road, Strasburg, Adams County, Colorado (Parcel # 0181329200007). The proposed Wolf Creek Run West plan is currently surrounded by residential single-family homes to the east and open agricultural lands to the west.

District Wildlife Manager Serena Rocksund recently visited this site. The main impacts to wildlife from this development is fragmentation and loss of habitat along the Eastern Plains.

CPW would expect a variety of wildlife species to utilize this site on a regular basis, most notably, small to mid-sized mammals, songbirds, and raptors. The potential also exists for large mammals, such as deer and pronghorn, to frequent this site.

Raptors

For further information on ways to minimize impact on raptors, a copy of the document **“Recommended Buffer Zones and Seasonal Restrictions for Colorado Raptors¹,”** is available

¹ Copies of Raptors Buffer are available at:

<https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RaptorBufferGuidelines2008.pdf>



from your local District Wildlife Manager. Following the recommendations outlined in this document will decrease the likelihood of unintentional take of nesting raptors through disturbance.

Prairie Dogs

If prairie dog colonies are present, CPW would recommend they either be captured alive and moved to another location or humanely euthanized before any earth-moving occurs. The possibility of live-trapping and donating to a raptor rehabilitation facility or the black-footed ferret recovery program is another reasonable option. If interested, please contact the local District Wildlife Manager. Be aware that a permit and approval from CPW is required for live relocation.

Burrowing Owls

If a prairie dog colony is discovered within the project area, the potential may also exist for the presence of burrowing owls. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. Therefore, if any earth-moving will begin between March 15th and October 31st, a burrowing owl presence/absence survey²,” should be performed.

Human-wildlife Conflict

Future residents should be informed by the HOA that wildlife such as fox, coyotes, beavers, and raccoons might frequent the development area in search of food and cover. Coyotes, foxes, cottontail rabbits, and raccoons are several species that have adapted to living in urban environments.

CPW recommends that people moving into and residing in this area take the proper precautions to prevent unnecessary conflicts between people and pets with wildlife. Due to the potential for human-wildlife conflicts associated with this project, please consider the following recommendations when educating future homeowners about the existence of wildlife in the area:

- Pet foods and bowls should be kept indoors.
- Garbage should be kept in secure containers to minimize its attractiveness to wildlife. Trash should be placed in containers with tight seals and remain indoors until the morning of pickup.
- Feeding of wildlife, with the exception of birds, is illegal.

For further information, Colorado Parks and Wildlife can provide copies of the following brochures³: **“Your Guide to Avoiding Human-Coyote Conflicts”**, **“Don’t Feed the Wildlife”**, and **“Too Close for Comfort: Avoiding Conflicts with Wildlife in the City”** to residents of the


² Copies of Burrowing Owl Survey are available at:
<https://cpw.state.co.us/Documents/WildlifeSpecies/LivingWithWildlife/RecommendedSurveyOwls.pdf>

³ Copies of Living with Wildlife Brochures are available at:
<http://cpw.state.co.us/learn/Pages/LivingwithWildlife.aspx>

surrounding open space.

Thank you again for the opportunity to comment on the proposed Wolf Creek Run West final development plan. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have any further questions, please contact District Wildlife Manager Serena Rocksund at (303) 291-7132 or serena.rocksund@state.co.us.

Sincerely,

A handwritten signature in black ink on a light blue background. The signature is cursive and appears to read "Matt Martinez".

Matt Martinez
Area Wildlife Manager

Cc: M. Leslie, T. Kroening, S. Rocksund

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

September 18, 2019

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
SE¼ Section 29,
T3S, R62W of the 6th P.M.
39.7571, -104.3431

Subject: Wolf Creek Run West – Final Development Plan and Filing 1 Final Plat
Case No. PRC2019-00009, Adams County, CO; CGS Unique No. AD-20-0002

Dear Greg:

Colorado Geological Survey has reviewed the Wolf Creek Run West referral. I understand the applicant proposes a final development plan for 429 dwelling units on 199.8 acres, and Filing 1 final plat for 103 lots on 71.5 acres. Wolf Creek Run West is located northwest of E. 26th Ave. and Piggott Road (CR38), Strasburg.

The site does not contain steep slopes, is located in an “Area of Minimal Flood Hazard,” is not undermined, and is not exposed to any geologic hazards that would preclude the proposed residential use and density. **CGS therefore has no objection to approval.** CGS previously reviewed the overall Wolf Creek Run West subdivision (448 residential lots on 186.8 acres), including a “Preliminary Subsurface Exploration Program and Geotechnical Recommendations” report by Ground Engineering (April 16, 2001), at preliminary plat. No new geologic or geotechnical information was included with the current referral documents.

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-A, 1974, Plate 2), the subject property is **not** mapped as containing a sand, gravel, or aggregate resource.

As noted in our previous Wolf Creek Run West review letters, potential constraints that will need to be considered as development progresses include:

Soil engineering properties and foundation design. The site is mapped as underlain by eolian (wind-deposited) soils. These soils have a tendency to exhibit hydroconsolidation, or collapse under loading and wetting, and some of Ground’s soil samples “exhibited index parameters in or near the ranges within which soils in the region have been observed to collapse.” Expansive and collapsible soils should therefore be expected to influence the design and performance of structures on this site.

Ground’s 2001 recommendations regarding foundations, floor systems, grading and fill placement are valid, but should be considered preliminary. Additional, lot-specific, design-level geotechnical investigations including drilling, sampling, lab testing and analysis will be needed prior to building permit application to verify groundwater levels and to characterize soil and bedrock engineering properties such as density, swell and consolidation potential, and bearing capacity at and below approximate foundation depths. This information is needed to design foundations, floor systems and pavements, and to determine if below-grade space is feasible, if planned.

Groundwater. Groundwater was observed in four of Ground's borings at depths of 26 to 30 feet below existing grades. However, groundwater levels should be expected to fluctuate seasonally, and perched water conditions are likely to form above clayey, less permeable soil layers and on top of the bedrock surface as a result of landscape irrigation and a reduction in evaporation due to pavements and other impermeable surfaces. Individual foundation perimeter drain systems should be constructed to help prevent infiltration of perched water (if basements are planned), and to help control wetting of potentially collapsible or expansive soils in the immediate vicinity of foundation elements. It is critical that the perimeter drains, if constructed, are sloped to discharge to an interior pumped sump or a gravity outlet that discharges water as far as possible away from all structures.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

A handwritten signature in black ink, appearing to read "Jill Carlson". The signature is fluid and cursive, with a large initial "J" and "C".

Jill Carlson, C.E.G.
Engineering Geologist

Greg Barnes

From: Brooks Kaufman <BKaufman@Irea.Coop>
Sent: Wednesday, September 18, 2019 1:26 PM
To: Greg Barnes
Subject: RE: For Review: Wolf Creek Run West (PRC2019-00009)
Attachments: IREA COMMENTS PRC2019-00009.pdf

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes

Attached are the Association's comments and revisions. Most items are cleanup and adding easements for the main electric feeders for the total 429 homes and major infrastructure.

Respectfully

Brooks Kaufman
Intermountain Rural Electric Association
Lands and Rights of Way Manager
5496 N. US Hwy 85
Sedalia, CO 80135
Direct : 720.733.5493
Cell : 303.912.0765
bkaufman@irea.coop



From: Greg Barnes [mailto:GJBarnes@adcogov.org]
Sent: Wednesday, September 18, 2019 12:24 PM
To: Brooks Kaufman
Subject: RE: For Review: Wolf Creek Run West (PRC2019-00009)

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brooks,

The final plat was submitted with the application. Did you visit the website and look at the packet?

<http://www.adcogov.org/planning/currentcases>



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

From: Brooks Kaufman <BKaufman@Irea.Coop>
Sent: Wednesday, September 18, 2019 9:05 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: RE: For Review: Wolf Creek Run West (PRC2019-00009)

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes;

The Association approves of the Final Development Plan for 429 dwelling units. The referral for the final plat for Filing No.1 containing 103 lots was not provided and the Association does not approve the final plat. Please provide final plat for the Association's review.

Respectfully

Brooks Kaufman
Intermountain Rural Electric Association
Lands and Rights of Way Manager
5496 N. US Hwy 85
Sedalia, CO 80135
Direct : 720.733.5493
Cell : 303.912.0765
bkaufman@irea.coop



From: Greg Barnes [<mailto:GJBarnes@adcogov.org>]
Sent: Tuesday, August 27, 2019 4:40 PM
To: Greg Barnes
Subject: For Review: Wolf Creek Run West (PRC2019-00009)

CAUTION:

This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

The Adams County Planning Commission is requesting comments on the following application: **FDP (Final Development Plan) to develop 429 dwelling units on 199.8 acres and Final Plat for 103**

lots on 13 tracts/71.5 acres. This request is located at the northwest corner of East 26th Avenue and Piggott Road. The Assessor's Parcel Number is 0181329200007.

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216; or call (720) 523-6800 **by 09/20/2019** in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases .



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Brooks Kaufman <BKaufman@Irea.Coop>
Sent: Wednesday, April 1, 2020 10:22 AM
To: Greg Barnes
Subject: RE: Resubmittal: Wolf Creek Run West (PRC2019-00009)
Attachments: Package_q311p7_kNtSECRgUJifQHMwOg5Xz57AXEY8bhEAX.html

Please be cautious: This email was sent from outside Adams County

The following attachments have been sent to you using Mail Express®:

[IREA Comments PRC2019-00009-submittal3 4-1-20.pdf](#) (8.0 MB)
[Bldr-DevServiceRequirements May2019 11.pdf](#) (108.4 KB)
[Bldr-DevServiceRequirements May2019 13.pdf](#) (128.7 KB)
[Bldr-DevServiceRequirements May2019 14.pdf](#) (164.3 KB)
[Bldr-DevServiceRequirements May2019 15.pdf](#) (108.0 KB)

Click the links above or visit the [pick-up portal](#) for batch retrieval.
These links will expire in 2 weeks.

Dear Mr. Barnes;

The Association will require a minor revision to the plat on Sheet 7 of 9. The Association would like additional notes added to the Final Development Plan to note the minimum clearances to buildings and the installation requirements.

Please forward the attached clearance requirements of IREA facilities to the applicant.

Respectfully

Brooks Kaufman
Intermountain Rural Electric Association
Lands and Rights of Way Manager
5496 N. US Hwy 85
Sedalia, CO 80135
Direct : 720.733.5493
Cell : 303.912.0765
bkaufman@irea.coop



From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Friday, March 20, 2020 3:49 PM
To: Brooks Kaufman <BKaufman@Irea.Coop>; George, Donna L <Donna.L.George@xcelenergy.com>; Land Use <LandUse@tchd.org>

ROBERT L. TIBBALS, JR.

ATTORNEY AT LAW

P.O. BOX 3112

ENGLEWOOD, COLORADO 80155

TELEPHONE 303-668-3991 ♦ E-MAIL: rltesq@hotmail.com

September 20, 2019

Mr. Greg Barnes, Planner III
Community and Economic Development Department
4430 South Adams County Parkway
Brighton, CO 80601

VIA E-MAIL: GJBarnes@adcogov.org

**RE: Case Name: Wolf Creek Run West, Filing No. 1
Final Development Plan and Final Plat
Project No: PRC2019-00009**

Dear Mr. Barnes:

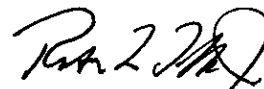
These comments are submitted on behalf of the Strasburg Metropolitan Parks and Recreation District (the "District"), a duly-organized and operating Parks and Recreation District, whose jurisdiction encompasses the above-described development of the Applicant, Paulscorp, LLC ("Applicant").

- 1. Existing Agreement.** The Applicant's development of its real property is subject to an Agreement dated May 14, 2002, recorded June 10, 2002, at Reception No. C0981594 (the "Agreement"), between the Applicant and Strasburg Metropolitan Parks and Recreation District. Pursuant to Paragraph 2 of said Agreement, the Applicant is required to "*...make cash payments to Adams County for benefit of the District...based upon a fee of \$182 per lot.*" Such cash payments are due prior to recording a final plat for each phase of Applicant's development.
- 2. Public Parks.** All park areas proposed for Applicant's compliance with Adams County Parks Dedication requirements, should be mandated to be "public parks" open to all residents of the area. Applicant's prior developments received approval as meeting public parks dedication requirements for installation of a *private park area* owned and maintained by a local Homeowners' Association or Associations ("HOA"). In the past, the HOA documents utilized by Applicant discourage usage of the private park area by residents who are not members of the HOA/HOAs. Further, approval of these private HOA-owned and maintained private park areas were allowed without mandating that the Applicant be required to maintain the private park areas in the manner generally expected by the homeowners for use as park areas. As a result, these private park areas have suffered overuse, lack of irrigation and regular maintenance, leading to significant dissatisfaction of homeowners, who were led to believe they were receiving well-maintained parks, as part of the development.

The Application for this Final Plat approval does not account for the park areas shown within the proposed development area. Therefore, the District cannot comment on Applicant's intentions regarding these park areas. The District may be receptive to entering into a long-term agreement with the Applicant regarding joint use and maintenance of such park areas, provided the future costs of irrigating these parks is agreed-up.

3. **Open Space and Trails Areas.** The District believes the open space and trails areas designated by Applicant appears sufficient for the proposed densities. The District also believes it should be made clear that Applicant is responsible for ongoing maintenance of the open space and trails areas and not the District.
4. **Regional Parks.** The District supports the Adams County regulations with respect to payment of cash by the Applicant for regional parks, provided such cash payments conform with Adams County regulations and that such cash payment be dedicated for the County's Open Space grants program, for which the District is eligible.
5. **Public Safety.** The District encourages the Applicant to engage in a regular and approved traffic and pedestrian safety and control program, as the development is being built-out.
6. **Cash-in-Lieu of Land Dedication.** Under no circumstances, is the District willing to accept dedication of any *unimproved* real property instead of cash, intended to meet Applicant's requirements under the Adams County Code for dedication of parks for benefit of future homeowners. The District will, however, accept fully-improved parks, including, without limitation, irrigation, together with dedicated water rights allocable to the District's irrigation needs for such dedicated improved parks, as well as those water rights requested below.
7. **Water.** The District respectfully requests the Applicant be required to secure and dedicate to the District, 4.0 acre feet of water, to be used by the District, in maintaining the District's existing parks and recreation facilities, which parks and recreation facilities will be *heavily burdened by additional use of those persons purchasing Applicant's homes in the proposed development*. The cost of meeting that additional burden should not be borne by current homeowners.

Sincerely,



Robert L. Tibbals, Jr.
Attorney for Strasburg Metropolitan
Parks & Recreation District



Strasburg School District 31J

**District Mission: Develop responsible
and productive members of society**

56729 E. Colorado Ave, Strasburg, CO 80135

Phone: (303) 622-9211 Fax: (303) 622-9224

September 19, 2019

Via U. S. Mail and Email: GJBarnes@adcogov.org

Greg Barnes
Planner II
Community and Economic Development Department
Adams County
4430 South Adams County Parkway, Suite W20000A
Brighton, CO 80601-8216

Re: Wolf Creek Run West, Filing No. 1
Project Number: PRC2019-00009

Dear Mr. Barnes:

This is in response to your referral and Request for Comments, dated August 27, 2019, concerning the above-referenced development proposal.

As the County's records will reflect, the Strasburg School District No. 31-J entered into an agreement in 2002 with Pauls Development East, LLC concerning the Wolf Creek Run development. We have enjoyed a cooperative relationship since then, including mutually agreeing to an amendment to our agreement in 2015. We are appreciative of PDE's proposed Final Plat for Wolf Creek West Filing No. 1 as that now identifies a 17.778-acre parcel to be conveyed to the District immediately after recording of this plat. In addition, the District is expecting to receive a substantial payment from PDE upon approval that will help with our future planning.

In light of the above, we have no objection to Adams County proceeding with approval of the Final Development Plan and Final Plat for Wolf Creek West Filing No. 1.

Thank you for your courtesy in referring this to us for comment.

Sincerely,

Monica K. Johnson
Superintendent of Schools



September 16, 2019

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Wolf Creek Run West Filing No. 1, PRC2019-00009
TCHD Case No. 5823

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Final Development Plan to develop 429 dwelling units on 200 acres and Final Plat for 103 lots on 13 tracts located at the northwest corner of E. 26th Avenue and Piggott Road. Tri-County Health Department (TCHD) staff previously reviewed the application for the Major Subdivision Preliminary Plat and, in a letter dated April 27, 2018 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

Sidewalks:

Designers of active living communities typically recommend that sidewalks be a minimum of clear width of five (5) feet, the space needed for two people to walk comfortably side by side, with a buffer area like a tree lawn between the sidewalk and the street. TCHD encourages the use of detached sidewalks of at least 5 feet in width throughout the development.

Safe Routes to School:

Tri-County Health Department (TCHD) strongly supports community plans that include thoughtful consideration of safe circulation of students on and around the school campuses.

The application discusses plans for a school site at the northwest corner of 26th Avenue and Piggott Road. TCHD applauds the applicant for incorporating 5 feet sidewalks throughout the development. Additional students needing to access the nearby school are likely going to use E. 26th Avenue and Piggott road to get to the school site. We

Wolf Creek Run West Filing No. 1

September 16, 2019

Page 2 of 2

recommend the applicant consider better and safer connectivity to the school site by incorporating detached sidewalks along Piggott Road and 26th Avenue.

Street Grid:

TCHD encourages the applicant to consider a well-connected street grid with multiple street connections to the east/west and north/south. A gridded system will provide better connections to adjacent developments and will reduce the traffic on nearby arterial streets by offering additional routes for local trips. A more connected street grid will also increase the travel routes for motorized and non-motorized trips offering better access to nearby destinations and encouraging a more walkable community.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions on TCHD's comments.

Sincerely,



Annemarie Heinrich, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Dylan Garrison, TCHD



December 3, 2019

Holden Pederson
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Wolf Creek Run West Filing No. 1 - Resubmittal, PRC2019-00009
TCHD Case No. 6003

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the Final Development Plan to develop 429 dwelling units on 200 acres and Final Plat for 103 lots on 13 tracts located at the northwest corner of E. 26th Avenue and Piggott Road. Tri-County Health Department (TCHD) staff previously reviewed the application for the first submittal of the Final Development Plan and, in a letter dated September 16, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

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Safe Routes to School:

Tri-County Health Department (TCHD) strongly supports community plans that include thoughtful consideration of safe circulation of students on and around the school campuses.

The application discusses plans for a school site at the northwest corner of 26th Avenue and Piggott Road. TCHD applauds the applicant for incorporating 5 feet sidewalks throughout the development. Additional students needing to access the nearby school

Promontory Metro District Nos. 1-5 Formation

July 22, 2019

Page 2 of 2

are likely going to use E. 26th Avenue and Piggott road to get to the school site. We recommend the applicant consider better and safer connectivity to the school site by incorporating detached sidewalks along Piggott Road and 26th Avenue.

Street Grid:

TCHD encourages the applicant to consider a well-connected street grid with multiple street connections to the east/west and north/south. A gridded system will provide better connections to adjacent developments and will reduce the traffic on nearby arterial streets by offering additional routes for local trips. A more connected street grid will also increase the travel routes for motorized and non-motorized trips offering better access to nearby destinations and encouraging a more walkable community.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

Handwritten signature in blue ink, appearing to read "AHF".

Annemarie Heinrich Fortune, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



March 30, 2020

Holden Pederson
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Wolf Creek Run West Filing No. 1 - Resubmittal, PRC2019-00009
TCHD Case No. 6197

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the resubmittal of the Final Development Plan to develop 429 dwelling units on 200 acres and Final Plat for 103 lots on 13 tracts located at the northwest corner of E. 26th Avenue and Piggot Road. Tri-County Health Department (TCHD) staff previously reviewed the application for the first and second submittals of the Final Development Plan and, in letters dated September 16 and December 3, 2019 responded with the comments included below. TCHD has no further comments.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

Sidewalks:

Designers of active living communities typically recommend that sidewalks be a minimum of clear width of five (5) feet, the space needed for two people to walk comfortably side by side, with a buffer area like a tree lawn between the sidewalk and the street. TCHD encourages the use of detached sidewalks of at least 5 feet in width throughout the development.

Safe Routes to School:

Tri-County Health Department (TCHD) strongly supports community plans that include thoughtful consideration of safe circulation of students on and around the school campuses.

The application discusses plans for a school site at the northwest corner of 26th Avenue and Piggott Road. TCHD applauds the applicant for incorporating 5 feet sidewalks

Wolf Creek Run West Filing No. 1

March 30, 2020

Page 2 of 2

throughout the development. Additional students needing to access the nearby school are likely going to use E. 26th Avenue and Piggott road to get to the school site. We recommend the applicant consider better and safer connectivity to the school site by incorporating detached sidewalks along Piggott Road and 26th Avenue.

Street Grid:

TCHD encourages the applicant to consider a well-connected street grid with multiple street connections to the east/west and north/south. A gridded system will provide better connections to adjacent developments and will reduce the traffic on nearby arterial streets by offering additional routes for local trips. A more connected street grid will also increase the travel routes for motorized and non-motorized trips offering better access to nearby destinations and encouraging a more walkable community.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,



Annemarie Heinrich Fortune, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

September 19, 2019

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Wolf Creek Run West, Case # PRC2019-00009

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the final development plan for **Wolf Creek Run West** and has no apparent conflict.

Please note that PSCo does not serve this area, and does not need to see resubmittals for this plan review.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

December 13, 2019

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Wolf Creek Run West - Resubmittal, Case # PRC2019-00009

As Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has previously stated, there is **no apparent conflict** with the final development plan for **Wolf Creek Run West**. Please be aware that PSCo does not serve natural gas or electric in this area.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

April 3, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Wolf Creek Run West - 2nd Resubmittal, Case # PRC2019-00009

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has **no conflict** with the above captioned project. Please note that PSCo does not serve natural gas or electric facilities in this area.

I do not need to see resubmittals for this plat review.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Greg Barnes

From: Doug Masser <doug@milehighsigns.com>
Sent: Wednesday, September 11, 2019 12:10 PM
To: Greg Barnes
Subject: Re: Project Number PRC2019-00009 - Comments

Please be cautious: This email was sent from outside Adams County

To Whom it Concerns;

I (Doug Masser) object to the new construction being planned by Paulscorp, LLC. The project is located at Parcel Number 0181329200007

Paulscorp, LLC has built homes for many years in Strasburg and they do not build a quality product. In my opinion, Paulscorp is taking too much land and is beginning to monopolize the Strasburg area. Also, they control the Electric utility with again, is a monopoly.

Paulscorp only builds structures to Code and when items or a part of the structure fails, Paulscorp does not respond and therefor forces litigation time and time again.

support the buyers of their homes in such a manner as to reject fixing issues related to their products while still under warranty. Additionally, they build substandard roadways within their build sites. That said, another concern is a lack of water to support new construction (429 dwellings), over populated local schools (within the Strasburg School District). Furthermore, an additional 429 dwellings will put a strain on traffic, our roads take over a year to get repaired as it is when they fail and with the addition of cars and trucks for over 400 homes, traffic will become a disaster and don't try to tell me any different.

This proposal will require years of construction and the noise related to construction to the point where our quality of life will be affected very negatively. And with the added dwellings and people, we can expect more commercial building in order to support any new community. There will need to be more stores, gas stations, restaurants, etc... I don't want it. Additionally, Dark Sky is another main concern. With added properties nearby and the lights from said properties affecting the night sky and again, diminishing the quality of life.

There are enough homes currently available within Strasburg and Bennett already.

I do not want more congestion, higher water and tax bills, added traffic and more population within our small community.

Short of having my Attorney file an objection, please take this letter as my objection to the building of new houses/ dwellings, proposed by Paulscorp.

Thank you,

Doug Masser
2715 Quarterland Street
Strasburg, CO 80136
Ph: 720-933-1792
E: doug@milehighsigns.com

Greg Barnes

From: Greg Barnes
Sent: Monday, September 09, 2019 12:04 PM
To: Greg Barnes
Subject: Wolf Creek Run West - Telephone Comments

Mable Ricke – She does not believe that water is available to support this type of subdivision, and therefore opposes the development.



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Greg Barnes

From: Susan Roberts <wolfcreekrunhoa@aol.com>
Sent: Sunday, September 29, 2019 1:27 PM
To: Greg Barnes
Subject: Pauls Homes

Please be cautious: This email was sent from outside Adams County

To Whom It May Concern:

I am writing this letter with my concerns on the new subdivision that Pauls Homes wants to build in Strasburg, Co.

We purchased our home in Wolf Creek Run in 2010, so as long as we have lived there we have had water restrictions. So now you want to let Paul's Homes build and other 429 homes. This is crazy, even after they built a well we still are on water restrictions and from what I understand is half the time the well is not working properly.

Police and Fire services we do not have enough now. The fire department only has paid firefighters during the day and the rest is run by volunteers. Now with our fire department in all kinds of conflict and in the media. We just don't have enough to handle 429 more homes. And again this will go back to our Water concerns if there should be another house fire out here.

Lets talk about the schools. We are full as it is now so lets add on average 2 kids per household, where do you think they are going to put them without making the class room sizes to big for our kids to get a proper education. I know they said they have set a side land for a new school. Then maybe they should build the school before they build the houses. I have already dealt with this promise the never happened. I do not believe that the school will ever be build much less find teachers.

How about our roads, as of now they do not take care of the roads out here but you want to assess our houses by at least 50,000. per household so where will that extra tax money go. Because they have not fixed a damn thing in Wolf Creek Run for as long as I have lived out here. We asked for new street signs because they are fading and was told that is the HOA responsibility. This is a bunch of crap we pay taxes for the streets and the street signs and cannot get them replaced. Besides the roads in Wolf Creek Run are not wide enough, they have a hard time when the snow plows have to come through. I'm tired of Adams County not wanting to do anything that needs to be repaired, but yet you just want us to go along with Paul's Homes monopolize the building in Strasburg and how it affects everything around it.

How many people have to die on our roads? Adams County keeps allowing all of this building without the proper coverage from first responders. We do not have enough emergency responders to take care of all of this. The over population is getting to be ridiculous there is no safety measures being taken with roads as it is. Blinking stops signs are not going to stop the fatal accidents in most areas. I truly believe all Adams County is worried about is how much money they can make off of their communities and not the safety of them.

Now there is a issue with the sewers backing up in another one of Paul's Homes Sub divisions Coyote Ridge. Is this an Adams county issue or does it just fall back on the homeowner to clean up another crappy planning by Paul's homes and Adams county.

As for Paul's Homes they do not do anything to support this community. Just more money in there and Adams counties pockets. STOP Pauls Homes now.

Susan Roberts



Request for Comments

Case Name: Wolf Creek Run West, Filing No. 1
Project Number: PRC2019-00009

August 27, 2019

The Adams County Planning Commission is requesting comments on the following application: **FDP (Final Development Plan) to develop 429 dwelling units on 199.8 acres and Final Plat for 103 lots on 13 tracts/71.5 acres.** This request is located at the northwest corner of East 26th Avenue and Piggott Road. The Assessor's Parcel Number is 0181329200007.

Applicant Information: Paulscorp, LLC
BRAD PAULS
100 SAINT PAUL STREET, SUITE 300
DENVER, CO 80206

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216; or call (720) 523-6800 by 09/20/2019 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates will be forwarded to you for your information. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III



Public Hearing Notification

Case Name:	Wolf Creek Run West
Case Number:	PRC2019-00009
Board of County Commissioners Hearing Date:	October 6, 2020 at 9:30 a.m.

August 28, 2020

A public hearing has been set by the Adams County Board of County Commissioners to consider the following requests: 1. FDP (Final Development Plan) to develop 429 dwelling units on 199.8 acres; and 2. Final Plat for 103 lots on 13 tracts/71.5 acres. The Assessor's Parcel Number is 0181329200007 and the location of the request is at the northwest corner of the intersection of East 26th Avenue and Piggott Road. The applicant is Brad Pauls of PaulsCorp, LLC, 100 Saint Paul Street, Suite 300, Denver, CO 80206.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

This will be a public hearing and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III
gjbarnes@adcogov.org
720-523-6853

PUBLICATION REQUEST

Case Name: Wolf Creek Run West

Case Number: PRC2019-00009

Board of County Commissioners Hearing Date: October 6, 2020 at 9:30 a.m.

Case Manager: Greg Barnes, gjbarnes@adcogov.org 720-523-6853

Request: 1. FDP (Final Development Plan) to develop 429 dwelling units on 199.8 acres; and 2. Final Plat for 103 lots on 13 tracts/71.5 acres.

Parcel Number: 0181329200007

Location of the Request: Northwest corner of the intersection of East 26th Avenue and Piggott Road

Applicant: Brad Pauls, PaulsCorp, LLC, 100 Saint Paul Street, Suite 300, Denver, CO 80206

Legal Description: A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 3 SOUTH, RANGE 62 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST QUARTER CORNER OF SAID SECTION 29 WHENCE THE EAST LINE OF SAID SECTION BEARS NORTH 00*04'43" WEST, ALL BEARINGS HEREON REFERENCED

TO THIS LINE;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST ¼ OF SAID SECTION, THE FOLLOWING TWO (2) COURSES:

1. SOUTH 89*22'37" WEST, A DISTANCE OF 2,584.97 FEET;

2. SOUTH 89*22'01" WEST, A DISTANCE OF 1,580.05 FEET;

THENCE DEPARTING SAID SOUTH LINE, NORTH 00*13'40" WEST, A DISTANCE OF 1,311.70 FEET TO THE 1/16 LINE OF THE SOUTHWEST QUARTER OF SAID SECTION;

THENCE ALONG SAID 1/16 LINE, NORTH 89*12'46" EAST, A DISTANCE OF 1,589.42 FEET TO THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION;

THENCE ALONG SAID WEST LINE, NORTH 00*10'43" EAST, A DISTANCE OF 1,316.08 FEET TO THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION;

THENCE ALONG SAID NORTH LINE, NORTH 89*03'30" EAST, A DISTANCE OF 2,573.33 FEET TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION;

THENCE ALONG SAID EAST LINE, SOUTH 00*04'43" EAST, A DISTANCE OF 2,646.32 FEET TO THE POINT OF BEGINNING

CONTAINING AN AREA OF 204.046 ACRES, (8,888,229 SQUARE FEET), MORE OR LESS.

Virtual Meeting and Public Comment Information:

This meeting will be held virtually. Please visit <http://www.adcogov.org/bocc> for up to date information on accessing the public hearing and submitting comment prior to the hearing. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Legal #2400

Published in the *Eastern Colorado News* Friday, September 4, 2020.



Referral Listing
Case Number PRC2019-00009
Wolf Creek Run West, Filing No. 1

Agency

Contact Information

Adams County Attorney's Office

Christine Fitch
4430 S Adams County Pkwy
Brighton CO 80601
720-523-6352
CFitch@adcogov.org

Adams County CEDD Addressing

Mark Alessi
PLN
720.523.6837
malessi@adcogov.org

Adams County CEDD Development Services Engineer

Devt. Services Engineering
4430 S. Adams County Pkwy.
Brighton CO 80601
720-523-6800

Adams County CEDD Right-of-Way

Mark Alessi
4430 S. Adams County Pkwy.
Brighton CO 80601
720-523-6837
malessi@adcogov.org

Adams County Community & Economic Development Department

Gina Maldonado
4430 S. Adams County Pkwy
Brighton CO 80601
720-523-6823
gmaldonado@adcogov.org

Adams County Community Safety & Wellbeing, Neighborhood Services

Gail Moon
4430 S. Adams County Pkwy.
Brighton CO 80601
720-523-6856
gmoon@adcogov.org

Adams County Construction Inspection

Gordon .Stevens
4430 S. Adams County Pkwy
Brighton CO 80601
720-523-6965
gstevens@adcogov.org

Adams County Development Services - Building

Justin Blair
4430 S Adams County Pkwy
Brighton CO 80601
720-523-6825
JBlair@adcogov.org

Agency

Contact Information

Adams County Parks and Open Space Department

Aaron Clark
(303) 637-8005
aclark@adcogov.org

Adams County Parks and Open Space Department

Marc Pedrucci
303-637-8014
mpedrucci@adcogov.org

Adams County Sheriff's Office

Rick Reigenborn
(303) 654-1850
rreigenborn@adcogov.org

Adams County Sheriff's Office

- -
303-655-3283
CommunityConnections@adcogov.org

Adams County Treasurer

Lisa Culpepper
4430 S. Adams County Pkwy.
Brighton CO 80601
720.523.6166
lculpepper@adcogov.org

Century Link, Inc

Brandyn Wiedreich
5325 Zuni St, Rm 728
Denver CO 80221
720-578-3724 720-245-0029

COLO DIV OF WATER RESOURCES

Joanna Williams
OFFICE OF STATE ENGINEER
1313 SHERMAN ST., ROOM 818
DENVER CO 80203
303-866-3581
joanna.williams@state.co.us

COLO DIV OF WATER RESOURCES

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1313 SHERMAN ST., ROOM 818
DENVER CO 80203
303-866-3581
joanna.williams@state.co.us

COLORADO DIVISION OF WILDLIFE

Matt Martinez
6060 BROADWAY
DENVER CO 80216-1000
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COLORADO DIVISION OF WILDLIFE

Serena Rocksund
6060 BROADWAY
DENVER CO 80216
3039471798
serena.rocksund@state.co.us

COLORADO GEOLOGICAL SURVEY

Jill Carlson
1500 Illinois Street
Golden CO 80401
303-384-2643 303-384-2655
CGS_LUR@mines.edu

Agency

Contact Information

Colorado Geological Survey: CGS_LUR@mines.edu	Jill Carlson Mail CHECK to Jill Carlson 303-384-2643 CGS_LUR@mines.edu	303-384-2655
COMCAST	JOE LOWE 8490 N UMATILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039	
Division of Mining and Reclamation Safety	Jared Ebert Colorado Department of Natural Resources 1313 Sherman St., #215 Denver CO 80203 (303) 866-3567 EXT. 8120 jared.ebert@state.co.us	
EASTERN ADAMS COUNTY MET. DIST	MIKE SERRA III 270 St. Paul Street, Suite 300 DENVER CO 80206 (303) 371-9000 mike.serra@paulcorp.com	
IREA	Brooks Kaufman PO Box Drawer A 5496 North US Hwy 85 Sedalia CO 80135 303-688-3100 x105 bkaufman@irea.coop	
IREA	. INTERMOUNTAIN RURAL ELECTRIC ASSOC 5496 N US HWY 85 SEDALIA CO 80135 303-688-3100 customercontact@irea.coop	
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org	
STRASBURG FIRE PROTECTION DIST #8	SHERI MILLS PO BOX 911 STRASBURG CO 80136 303-622-4814 SHERI.MILLS@SVFD8.ORG	
STRASBURG PARKS AND REC DIST.	Angie Graf P.O. BOX 118 STRASBURG CO 80136 (303) 622-4260 angie@strasburgparks.org	
STRASBURG SCHOOL DISTRICT 31J	Monica Johnson 56729 E Colorado Ave STRASBURG CO 80136 303-622-9211 mjohnson@strasburg31j.org	

Agency

Contact Information

TRI-COUNTY HEALTH DEPARTMENT

MONTE DEATRICH
4201 E. 72ND AVENUE SUITE D
COMMERCE CITY CO 80022
(303) 288-6816
mdeatrich@tchd.org

TRI-COUNTY HEALTH DEPARTMENT

Sheila Lynch
6162 S WILLOW DR, SUITE 100
GREENWOOD VILLAGE CO 80111
720-200-1571
landuse@tchd.org

Tri-County Health: Mail CHECK to Sheila Lynch

Tri-County Health
landuse@tchd.org
.

United States Postal Service

Jason Eddleman
303-853-6025
Jason.G.Eddleman@usps.gov

United States Postal Service

Arlene Vickrey
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Arlene.A.Vickrey@usps.gov

US EPA

Stan Christensen
1595 Wynkoop Street
DENVER CO 80202
1-800-227-8917
christensen.stanley@epa.gov

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

2555 PIGGOTT ROAD LLC
49801 US HWY 36
BENNETT CO 80102

HAVASIM RENTALS LLC
57109 E KENYON AVE
STRASBURG CO 80136

AMERICAN ENTERPRISES LTD
56481 E COLFAX AVE/ PO BOX 65
STRASBURG CO 80136-7741

HIGUERA CHERYL A
141 MERCED DR
SAN BRUNO CA 94066-2519

ARMSTRONG JOSEPH M AND
ARMSTRONG ANDREA M
3207 WOLF CREEK ROAD
STRASBURG CO 80136

HISTORIC EQUITY FIVE LLC
730 17TH ST STE 200
DENVER CO 80202-3506

BURNS AARON T AND
BURNS AMY M
729 PAWNEE STREET
STRASBURG CO 80136

HITTLE SANDRA KAY
3330 TEMPLETON GAP RD UNIT 55
COLORADO SPRINGS CO 80907-5747

CAMBRON ROBERT A AND
CAMBRON COLLEEN S
43546 E ILIFF TRL
BENNETT CO 80102-8417

HOLDEN HOLLY RACHELLE AND
HOLDEN BRADLEY JASON
PO BOX 781
STRASBURG CO 80136-0781

CAMPBELL RICHARD O
C/O MC GEADY SISNEROS P C
270 SAINT PAUL ST
DENVER CO 80206-5134

KEENER HARLAN E REVOCABLE LIVING TRUST THE A
ND
KEENER PATRICIA A REVOCABLE LIVING TRUST THE
12802 LAKE JOVITA BLVD
DADE CITY FL 33525-8265

COLE TROY
11106 W 69TH PL
ARVADA CO 80004-1319

KEENER HARLAN E REVOCABLE LIVING TRUST THE A
ND
KEENER PATRICIA A REVOCABLE LIVING TRUST THE
2075 OVERBROOK LN
SPRING HILL FL 34606-3707

DAVIS JAMES B AND
DAVIS CARLA J
6291 OLATHE ST
AURORA CO 80016

LAND LLYOD
12501 RIVERDALE RD
BRIGHTON CO 80602-8161

EASTERN ADAMS COUNTY METROPOLITAN
DISTRICT
3855 LEWISTON STREET SUITE 100
AURORA CO 80011

LAND REAL ESTATE LLC
10851 E 161ST AVE
BRIGHTON CO 80602-7618

HAVASIM PROPERTY MANAGEMENT LLC
57109 E KENYON AVE
STRASBURG CO 80136-9612

LAY MARK
56932 E 42ND CT
STRASBURG CO 80136-8121

LINNEBUR GRAIN AND BUFFALO LLLP
PO BOX 298
BYERS CO 80103-0298

ROSS WAYNE
225 BIG BEAR RD
MOSCA CO 81146-9778

MARTIN DEANNA AND
RIGGS DANENA
58920 E COUNTY ROAD 2
STRASBURG CO 80136-9403

SCHINDLER ELVA E
PO BOX 379
STRASBURG CO 80136-0379

MW OUT EAST LLC
57500 E KENYON AVE
STRASBURG CO 80136-9606

SERRA MIKE
C/O EASTERN ADAMS CO METROPOLITIAN DIST
100 SAINT PAUL ST STE 300
DENVER CO 80206-5136

PAULS BRAD
C/O MC GEADY SISNEROS P C
1675 BROADWAY SUITE 2100
DENVER CO 80202

SLOAN CARNEY B TRUST
9600 E GIRARD AVE
DENVER CO 80231-5082

PAULS DEVELOPMENT EAST LLC
270 SAINT PAUL ST STE 300
DENVER CO 80206-5133

SLOAN CARNEY B TRUST 3/4 INT
SLOAN JOHN B UND 1/4 INT
9600 E GIRARD AVE
DENVER CO 80231-5082

PAYOFF RENTALS LLC
12741 E CALEY AVE STE 126
CENTENNIAL CO 80111-6407

STEIN ERICH C
3279 W 54TH AVE
DENVER CO 80221

POWERS PAUL
100 SAINT PAUL ST STE 300
DENVER CO 80206-5136

STEWART SARA
60370 E 104TH AVE
STRASBURG CO 80136-8715

RICHARDSON LINDA J
21 INVERNESS WAY E
ENGLEWOOD CO 80112-5710

STEWART SARA L
60370 E 104TH AVE
STRASBURG CO 80136-8715

RICKE ERIC M AND
RICKE VICTORIA HARRIS
PO BOX 338
BENNETT CO 80102-0338

STRASBURG ESTATES LLC
21097 E NICHOLS PKWY
AURORA CO 80016-1931

RICKE MABEL E
PO BOX 1357
PARKER CO 80134-1357

WOLF CREEK RUN AT STRASBURG
HOMEOWNERS ASSOCIATION
3855 LEWISTON ST SUITE 100
AURORA CO 80011

WOLF CREEK RUN HOMEOWNERS ASSOCIATION
3855 LEWISTON ST SUITE 100
AURORA CO 80011

BEAULIEU DEBORAH C
OR CURRENT RESIDENT
3096 ROSE HILL ST
STRASBURG CO 80136-7429

ALBERTSON DAVID AND
WARNER ELIZABETH
OR CURRENT RESIDENT
3009 RENSRAW ST
STRASBURG CO 80136-7421

BERG ANGELIKA
OR CURRENT RESIDENT
3061 RENSRAW ST
STRASBURG CO 80136-7421

ALLDREDGE CHRISTINA L AND
STEELE MATTHEW
OR CURRENT RESIDENT
3060 RENSRAW ST
STRASBURG CO 80136-7421

BLACKER DONALD A
OR CURRENT RESIDENT
55680 E 27TH PL
STRASBURG CO 80136-7415

ALLYN ANGELIA J
OR CURRENT RESIDENT
2732 QUARTERLAND ST
STRASBURG CO 80136-7409

BLOOM DAVID
OR CURRENT RESIDENT
2715 ROSE HILL ST
STRASBURG CO 80136-7426

AMOS MARY
OR CURRENT RESIDENT
2755 RENSRAW ST
STRASBURG CO 80136-7416

BOYER MARISSA JUNE AND
BOYER BRYCE ADAM
OR CURRENT RESIDENT
2712 RENSRAW ST
STRASBURG CO 80136-7416

BAALMAN KEITH/CHARLENE/BRANDEN J
OR CURRENT RESIDENT
2705 RENSRAW ST
STRASBURG CO 80136-7416

BRAWNER TRENTON D
OR CURRENT RESIDENT
2761 RENSRAW ST
STRASBURG CO 80136-7416

BARBER DARCEE
OR CURRENT RESIDENT
55480 E 28TH PL
STRASBURG CO 80136-7419

BRENCHLEY FRANCES A
OR CURRENT RESIDENT
2747 RENSRAW STREET
STRASBURG CO 80136

BARISIC SEBASTIAN
OR CURRENT RESIDENT
2725 ROSE HILL ST
STRASBURG CO 80136-7426

BROKAW KEVIN AND
BROKAW DENISE
OR CURRENT RESIDENT
3058 ROSE HILL STREET
STRASBURG CO 80136

BAUER SHAWNDA
OR CURRENT RESIDENT
2895 QUARTERLAND ST
STRASBURG CO 80136-7409

BROWN JESSE D AND
BROWN MICHELLE R
OR CURRENT RESIDENT
2726 QUARTERLAND STREET
STRASBURG CO 80136

BEATTIE JENNIFER M AND
BEATTIE KATHERINE M
OR CURRENT RESIDENT
55499 E 31ST AVE
STRASBURG CO 80136-7423

BRUNDAGE CHRISTOPHER AND
BRUNDAGE BECKY
OR CURRENT RESIDENT
2702 ROSE HILL ST
STRASBURG CO 80136-7426

BRUNER JOHN JR
OR CURRENT RESIDENT
3063 ROSE HILL STREET
STRASBURG CO 80136

CARTER MINETTE M
OR CURRENT RESIDENT
2738 ROSE HILL ST
STRASBURG CO 80136-7426

BRUNETTI TYLER AND
BRUNETTI MEGHAN
OR CURRENT RESIDENT
55489 E 31ST AVE
STRASBURG CO 80136-7423

CASSIDY VICKI
OR CURRENT RESIDENT
55606 E 28TH PLACE
STRASBURG CO 80136

BUCK PETER CARROLL JR
OR CURRENT RESIDENT
2796 ROSE HILL ST
STRASBURG CO 80136-7426

CLARK CHRISTOPHER M AND
CLARK SARAH J
OR CURRENT RESIDENT
2825 ROSE HILL ST
STRASBURG CO 80136-7427

BURGE CONNIE M
OR CURRENT RESIDENT
2797 QUARTERLAND ST
STRASBURG CO 80136-7409

COCHRAN WILLIAM J
OR CURRENT RESIDENT
2745 ROSE HILL ST
STRASBURG CO 80136-7426

BUSH SHELDON AND
ARCARA SHERI
OR CURRENT RESIDENT
2728 RENSHAW ST
STRASBURG CO 80136-7416

COLLINS JAMES AND
COLLINS JOAN
OR CURRENT RESIDENT
2780 ROSE HILL ST
STRASBURG CO 80136-7426

BUTLER MARY LOU
OR CURRENT RESIDENT
3020 RENSHAW ST
STRASBURG CO 80136-7421

CONNELY LINDSAY AND
CONNELY TYLER
OR CURRENT RESIDENT
3021 RENSHAW ST
STRASBURG CO 80136-7421

CAMPBELL TYLER
OR CURRENT RESIDENT
55417 E 29TH PL
STRASBURG CO 80136-7425

COPELAND MELANIE B
OR CURRENT RESIDENT
3055 ROSE HILL ST
STRASBURG CO 80136-7429

CANTERBURY DANIEL F AND
CANTERBURY MILDRED A
OR CURRENT RESIDENT
55612 E 27TH PLACE
STRASBURG CO 80136

CROGLE SCOTT
OR CURRENT RESIDENT
55437 E 29TH PL
STRASBURG CO 80136-7425

CARDWELL JONATHAN H AND
CARDWELL KATY K
OR CURRENT RESIDENT
2701 QUARTERLAND ST
STRASBURG CO 80136-7409

DAVIS DYLAN L AND
DAVIS JENNIFER M
OR CURRENT RESIDENT
2754 QUARTERLAND ST
STRASBURG CO 80136-7409

CARMACK LINDE AND
SCHUTTE MAXWELL
OR CURRENT RESIDENT
2718 QUARTERLAND ST
STRASBURG CO 80136-7409

DAY CHRISTOPHER AND
DAY LIJA
OR CURRENT RESIDENT
3034 QUARTERLAND ST
STRASBURG CO 80136

DAYLEY SEAN P
OR CURRENT RESIDENT
2997 QUARTERLAND STREET
STRASBURG CO 80136

ESTRADA BERNARDO AND
ESTRADA JASEL
OR CURRENT RESIDENT
3022 QUARTERLAND ST
STRASBURG CO 80136-7422

DIRENNO JASON AND
DIRENNO CARRIE L
OR CURRENT RESIDENT
2748 RENSHAW ST
STRASBURG CO 80136-7416

FITZ JAMES ANTHONY JR AND
FITZ JILL NICOLE
OR CURRENT RESIDENT
2765 ROSE HILL ST
STRASBURG CO 80136-7426

DIRENNO JASON AND
DIRENNO CARRIE L
OR CURRENT RESIDENT
2723 ROSE HILL ST
STRASBURG CO 80136-7426

GALUS EDWARD A
OR CURRENT RESIDENT
3025 ROSE HILL ST
STRASBURG CO 80136-7429

DISHER MICHELLE L
OR CURRENT RESIDENT
55477 E 29TH PL
STRASBURG CO 80136-7425

GANDORA DENNY STEVE AND
GAGNE SARA
OR CURRENT RESIDENT
2720 RENSHAW STREET
STRASBURG CO 80136

DIXON JESSE MICHAEL
OR CURRENT RESIDENT
3094 QUARTERLAND ST
STRASBURG CO 80136-7422

GARCIA CHRISTOPHER
OR CURRENT RESIDENT
3035 QUARTERLAND ST
STRASBURG CO 80136-7422

DONNELLON MEGAN AND
EIKLEBERRY JACOB
OR CURRENT RESIDENT
3033 ROSE HILL ST
STRASBURG CO 80136-7429

GARIBAY DANIEL
OR CURRENT RESIDENT
3042 QUARTERLAND ST
STRASBURG CO 80136-7422

DUDLEY NICOLE M
OR CURRENT RESIDENT
2992 QUARTERLAND ST
STRASBURG CO 80136-7408

GEDDES TERRANCE LEE
OR CURRENT RESIDENT
2844 RENSHAW ST
STRASBURG CO 80136-7417

DUPREE STEPHEN
OR CURRENT RESIDENT
2759 ROSE HILL ST
STRASBURG CO 80136-7426

GEESAMAN JUSTIN A AND
GEESAMAN MEGAN C
OR CURRENT RESIDENT
2791 QUARTERLAND STREET
STRASBURG CO 80136

DURAN CARL L AND
DURAN RAMONA F
OR CURRENT RESIDENT
2985 QUARTERLAND ST
STRASBURG CO 80136-7408

GERTON MATTHEW WAYNE AND
GERTON LYNDSEY BROOKE
OR CURRENT RESIDENT
2904 RENSHAW ST
STRASBURG CO 80136-7418

DURAN RICHARD R AND
DURAN LESLEY L
OR CURRENT RESIDENT
3040 RENSHAW STREET
STRASBURG CO 80136

GILBERT JAMES A
OR CURRENT RESIDENT
2995 RENSHAW ST
STRASBURG CO 80136-7418

GORDON ERICA E
OR CURRENT RESIDENT
2860 ROSE HILL ST
STRASBURG CO 80136-7427

HICKS JOHN EARL AND
HICKS JESSICA LYNN
OR CURRENT RESIDENT
2874 ROSE HILL ST
STRASBURG CO 80136-7427

GOTTSCHALCK JEFF A
OR CURRENT RESIDENT
2740 RENSCHAW STREET
STRASBURG CO 80136

HICKS RICHARD MICHAEL AND
HICKS DENISE
OR CURRENT RESIDENT
2910 ROSE HILL ST
STRASBURG CO 80136-7428

GRAY DARISSA A
OR CURRENT RESIDENT
3046 ROSE HILL ST
STRASBURG CO 80136-7429

HOFFMAN ADAM B
OR CURRENT RESIDENT
2768 RENSCHAW ST
STRASBURG CO 80136-7416

GRAYS HERMAN AND
GRAYS ELIZABETH
OR CURRENT RESIDENT
3085 ROSE HILL ST
STRASBURG CO 80136-7429

HOWELL THELMA LOU
OR CURRENT RESIDENT
55602 E 27TH PL
STRASBURG CO 80136-7415

GREENFIELD CORY S
OR CURRENT RESIDENT
2730 ROSE HILL ST
STRASBURG CO 80136-7426

HUDSON JUSTIN
OR CURRENT RESIDENT
55429 E 31ST AVE
STRASBURG CO 80136-7423

GUSTAFSON JACOB MICHAEL
OR CURRENT RESIDENT
3005 QUARTERLAND ST
STRASBURG CO 80136-7422

HURLEY KATHLEEN H AND
HURLEY JOE D
OR CURRENT RESIDENT
55619 E 31ST AVE
STRASBURG CO 80136-7424

GUTIERREZ GINIA M
OR CURRENT RESIDENT
3079 RENSCHAW STREET
STRASBURG CO 80136

JONES JOSEPH D AND
PELTON BRITTNEY N
OR CURRENT RESIDENT
2707 QUARTERLAND ST
STRASBURG CO 80136-7409

HANSON KYLE G AND
HANSON JENNIFER N
OR CURRENT RESIDENT
55430 E 27TH PL
STRASBURG CO 80136-7415

JURKOWSKI ADAM
OR CURRENT RESIDENT
2785 QUARTERLAND ST
STRASBURG CO 80136-7409

HAVENS AUSTIN LEE AND
HAVENS ASHLEE ELIZABETH
OR CURRENT RESIDENT
2733 RENSCHAW ST
STRASBURG CO 80136-7416

KINGHORN JASON
OR CURRENT RESIDENT
2886 RENSCHAW ST
STRASBURG CO 80136-7417

HERNANDEZ JOSE LUIS AND
GONZALEZ BRENDA
OR CURRENT RESIDENT
55420 E 28TH PL
STRASBURG CO 80136-7419

KRUSE GREG MONTGOMERY
OR CURRENT RESIDENT
2811 ROSE HILL ST
STRASBURG CO 80136-7427

LAMOND STEVEN
OR CURRENT RESIDENT
2996 RENSCHAW ST
STRASBURG CO 80136-7418

LUNA REBECCA L
OR CURRENT RESIDENT
2858 RENSCHAW ST
STRASBURG CO 80136-7417

LAMONTAGNE CAITLIN THERESE AND
MORITZ ANDREW MICHAEL
OR CURRENT RESIDENT
2837 ROSE HILL ST
STRASBURG CO 80136-7427

LUTZ SHAWN AND
MALMLOV-HANCOCK LAUREN
OR CURRENT RESIDENT
2776 RENSCHAW ST
STRASBURG CO 80136-7416

LAO SAI M AND
SHANG TU
OR CURRENT RESIDENT
2890 ROSE HILL ST
STRASBURG CO 80136-7427

LY NHAN VAN AND
LAM HONG HOA THI
OR CURRENT RESIDENT
2729 QUARTERLAND STREET
STRASBURG CO 80136

LAURIENTI AARON
OR CURRENT RESIDENT
2915 QUARTERLAND ST
STRASBURG CO 80136-7408

MANG CHRISTOPHER
OR CURRENT RESIDENT
2763 QUARTERLAND ST
STRASBURG CO 80136-7409

LEE MICHAEL R AND
LEE KATHY A
OR CURRENT RESIDENT
55494 E 28TH PL
STRASBURG CO 80136-7419

MARQUEZ JEROME AND
SCHULTZ-MARQUEZ AMY
OR CURRENT RESIDENT
3023 QUARTERLAND ST
STRASBURG CO 80136-7422

LEIKER DONALD L AND
LEIKER JANICE A
OR CURRENT RESIDENT
3001 RENSCHAW ST
STRASBURG CO 80136-7421

MARTINEZ RICHARD J
OR CURRENT RESIDENT
2768 QUARTERLAND ST
STRASBURG CO 80136-7409

LINNA RONALD I AND
LINNA CAROLYN M
OR CURRENT RESIDENT
2957 QUARTERLAND ST
STRASBURG CO 80136-7408

MASSER DOUGLAS
OR CURRENT RESIDENT
2715 QUARTERLAND ST
STRASBURG CO 80136-7409

LOHNER ISTVAN
OR CURRENT RESIDENT
2764 ROSE HILL ST
STRASBURG CO 80136-7426

MATTHEWS TANNER R AND
MATTHEWS LARYSA S
OR CURRENT RESIDENT
55609 E 31ST AVE
STRASBURG CO 80136-7424

LOVATO DANIELA
OR CURRENT RESIDENT
3091 RENSCHAW ST
STRASBURG CO 80136-7421

MC CARTHY PATRICK T AND
MC CARTHY MICHELLE A
OR CURRENT RESIDENT
2734 RENSCHAW STREET
STRASBURG CO 80136

LUKINS VICTOR AND
BOETTIGER JESSICA
OR CURRENT RESIDENT
2849 ROSE HILL ST
STRASBURG CO 80136-7427

MC KENNER BRANDI
OR CURRENT RESIDENT
3072 QUARTERLAND ST
STRASBURG CO 80136-7422

MC PHERSON LARRY N AND
MC PHERSON JEANNIE R
OR CURRENT RESIDENT
2749 QUARTERLAND ST
STRASBURG CO 80136-7409

MUNOZ MICHAEL AND
MUNOZ EMMY
OR CURRENT RESIDENT
55698 E 27TH PL
STRASBURG CO 80136-7415

MCDONALD DEBORAH LYNN
OR CURRENT RESIDENT
3043 ROSE HILL ST
STRASBURG CO 80136-7429

NELSON MATHEW AND
NELSON ALYSSA
OR CURRENT RESIDENT
55409 E 31ST AVE
STRASBURG CO 80136-7423

MICHEL FRED WAYNE
OR CURRENT RESIDENT
2804 ROSE HILL ST
STRASBURG CO 80136-7427

NEWLON LUANNE R
OR CURRENT RESIDENT
2704 QUARTERLAND ST
STRASBURG CO 80136-7409

MIZE SARA LEA
OR CURRENT RESIDENT
3049 RENSHAW ST
STRASBURG CO 80136-7421

NOUSE MATTHEW J AND
NOUSE ALYSIA T
OR CURRENT RESIDENT
2727 RENSHAW ST
STRASBURG CO 80136-7416

MONROE BRANT
OR CURRENT RESIDENT
3066 ROSE HILL STREET
STRASBURG CO 80136

OLSEN TIMOTHY AND
REEVES STEPHANIE
OR CURRENT RESIDENT
3006 ROSE HILL ST
STRASBURG CO 80136-7429

MOORE AMANDA KAY
OR CURRENT RESIDENT
3026 ROSE HILL ST
STRASBURG CO 80136-7429

ORTON STEPHEN J
OR CURRENT RESIDENT
55457 E 29TH PLACE
STRASBURG CO 80136

MOORE STEPHEN D AND
MOORE REBECCA L
OR CURRENT RESIDENT
55470 E 27TH PL
STRASBURG CO 80136-7415

OSBORNE STEPHEN AND
OSBORNE MAKENA
OR CURRENT RESIDENT
2788 ROSE HILL ST
STRASBURG CO 80136-7426

MORELAND JESSE
OR CURRENT RESIDENT
3099 QUARTERLAND ST
STRASBURG CO 80136-7422

PARDEE JAMES ANDREW
OR CURRENT RESIDENT
55659 E 31ST AVE
STRASBURG CO 80136-7424

MORGAN GORDON D AND MORGAN CYNTHIA M
OR CURRENT RESIDENT
3601 WOLF CREEK RD
STRASBURG CO 80136

PARICH JONATHAN
OR CURRENT RESIDENT
2863 ROSE HILL ST
STRASBURG CO 80136-7427

MULVEY BENJAMIN AND
SENN-CADOTTE LEAH
OR CURRENT RESIDENT
3082 QUARTERLAND ST
STRASBURG CO 80136-7422

PARKS KAYLA AND
PARKS JEREMY
OR CURRENT RESIDENT
2721 QUARTERLAND ST
STRASBURG CO 80136-7409

PENN NANCY G
OR CURRENT RESIDENT
3003 ROSE HILL ST
STRASBURG CO 80136-7429

REED JEREMIAH AND
REED ERIN
OR CURRENT RESIDENT
55690 E 28TH PL
STRASBURG CO 80136-7420

PENNINGTON MELVIN W/MARDI L CO-
TRUSTEES OF THE PENNINGTON TRUST THE
OR CURRENT RESIDENT
3311 WOLF CREEK RD
STRASBURG CO 80136-8020

RENCH KIERSTIN R
RENCH MICHAEL S
OR CURRENT RESIDENT
3018 ROSE HILL ST
STRASBURG CO 80136-7429

PEREZ ALICIA I AND
MENDEZ-HERRERA KERIN
OR CURRENT RESIDENT
2716 ROSE HILL ST
STRASBURG CO 80136-7426

RICHARDS JONATHAN R
OR CURRENT RESIDENT
2987 ROSE HILL ST
STRASBURG CO 80136-7428

PHILLIPS THOMAS D II AND
PHILLIPS KAITLIN R
OR CURRENT RESIDENT
2830 RENSHAW ST
STRASBURG CO 80136-7417

RIVERA XAVIER L
OR CURRENT RESIDENT
2724 ROSE HILL ST
STRASBURG CO 80136-7426

PINDELL KYLE
OR CURRENT RESIDENT
2816 RENSHAW ST
STRASBURG CO 80136-7417

ROBERTS KEVIN L AND
ROBERTS SUSAN J
OR CURRENT RESIDENT
3041 RENSHAW ST
STRASBURG CO 80136

POLOWITZER BRUCE J
OR CURRENT RESIDENT
2753 ROSE HILL ST
STRASBURG CO 80136-7426

ROBISON AUDRA AND
RICHARD LOUIS
OR CURRENT RESIDENT
55410 E 27TH PL
STRASBURG CO 80136-7415

POMBO TAMMARA A
OR CURRENT RESIDENT
3052 QUARTERLAND ST
STRASBURG CO 80136-7422

RODRIGUEZ ANTHONY JAMES
OR CURRENT RESIDENT
3071 RENSHAW ST
STRASBURG CO 80136-7421

RAMIREZ BEDOYA MAURICIO A
OR CURRENT RESIDENT
3064 QUARTERLAND ST
STRASBURG CO 80136-7422

ROSS TERRY AND
ROSS DAWN
OR CURRENT RESIDENT
2917 ROSE HILL ST
STRASBURG CO 80136-7428

REAGAN DIANE
OR CURRENT RESIDENT
55639 E 31ST AVE
STRASBURG CO 80136-7424

ROTKOVICH VICTORIA L AND
ROTKOVICH AARON D
OR CURRENT RESIDENT
55400 E 27TH PL
STRASBURG CO 80136-7415

RECTOR BRENDA A
OR CURRENT RESIDENT
2832 ROSE HILL ST
STRASBURG CO 80136-7427

SANTISTEVAN JOSEPH M AND
SANTISTEVAN COURTNEY
OR CURRENT RESIDENT
3089 ROSE HILL ST
STRASBURG CO 80136-7429

SCHAFFER BRADLEY S AND
SCHAFFER JILONNE
OR CURRENT RESIDENT
3078 RENSHAW ST
STRASBURG CO 80136-7421

SMITH JOSHUA M AND
SMITH JESSICA K
OR CURRENT RESIDENT
2867 QUARTERLAND ST
STRASBURG CO 80136-7409

SCHENDL REGINA G
OR CURRENT RESIDENT
2719 RENSHAW ST
STRASBURG CO 80136-7416

SMITH TYLER SCOTT AND
SMITH KATHLEEN GRACE
OR CURRENT RESIDENT
2762 RENSHAW ST
STRASBURG CO 80136-7416

SCHINDLER ELVA E
OR CURRENT RESIDENT
3045 QUARTERLAND STREET
STRASBURG CO 80136

SORENSEN ERIC J
OR CURRENT RESIDENT
2929 QUARTERLAND ST
STRASBURG CO 80136-7408

SCHMIDT BRUCE A
OR CURRENT RESIDENT
55459 E 31ST AVE
STRASBURG CO 80136-7423

SPEERS TAUREAN KATERI
OR CURRENT RESIDENT
2767 RENSHAW ST
STRASBURG CO 80136-7416

SHERER MICHAEL
OR CURRENT RESIDENT
2980 ROSE HILL ST
STRASBURG CO 80136-7428

STAECK DEWAYNE W
OR CURRENT RESIDENT
55450 E 28TH PL
STRASBURG CO 80136-7419

SHIELDS CONSTANCE M
OR CURRENT RESIDENT
2963 ROSE HILL ST
STRASBURG CO 80136-7428

STEGNER LUANNE
OR CURRENT RESIDENT
2777 QUARTERLAND STREET
STRASBURG CO 80136

SHINKLE CODY
OR CURRENT RESIDENT
3004 QUARTERLAND ST
STRASBURG CO 80136-7422

STEVENS KYLE AND
MORRISON BRITTANY
OR CURRENT RESIDENT
2758 ROSE HILL ST
STRASBURG CO 80136-7426

SHIRLAND RAECHAELE REVOCABLE TRUST THE
OR CURRENT RESIDENT
2926 RENSHAW ST
STRASBURG CO 80136-7418

STEWART WESLEY DONALD
OR CURRENT RESIDENT
55460 E 27TH PL
STRASBURG CO 80136-7415

SIMS SHEILA L AND
SIMS ANDREW D
OR CURRENT RESIDENT
3017 QUARTERLAND ST
STRASBURG CO 80136-7422

STONE PHILIP
OR CURRENT RESIDENT
2872 RENSHAW ST
STRASBURG CO 80136-7417

SLATTON MICHAEL B T
OR CURRENT RESIDENT
2756 RENSHAW ST
STRASBURG CO 80136-7416

SWALLOW JOHN T
OR CURRENT RESIDENT
3038 ROSE HILL ST
STRASBURG CO 80136-7429

TATE RANDALL AND
TATE CRYSTAL
OR CURRENT RESIDENT
2943 QUARTERLAND STREET
STRASBURG CO 80136

WADDELL JAMES L AND
WADDELL IRENE H
OR CURRENT RESIDENT
55664 E 27TH PL
STRASBURG CO 80136-7415

TEMPLE GARY DONALD
OR CURRENT RESIDENT
2750 ROSE HILL ST
STRASBURG CO 80136-7426

WAGNER BRENT
OR CURRENT RESIDENT
2712 QUARTERLAND STREET
STRASBURG CO 80136

THOMPSON CRISTY L
OR CURRENT RESIDENT
3090 RENSRAW ST
STRASBURG CO 80136-7421

WAGNER CHRIS F
OR CURRENT RESIDENT
2940 ROSE HILL ST
STRASBURG CO 80136-7428

TOLEN IAN J
OR CURRENT RESIDENT
2901 QUARTERLAND ST
STRASBURG CO 80136-7408

WALLACE GLENN M AND
WALLACE DIANA C
OR CURRENT RESIDENT
3015 ROSE HILL STREET
STRASBURG CO 80136

TURNER DALE E JR AND
TURNER HEATHER L
OR CURRENT RESIDENT
3048 RENSRAW ST
STRASBURG CO 80136-7421

WASHINGTON LAURENCE
OR CURRENT RESIDENT
3080 ROSE HILL STREET
STRASBURG CO 80136

VALENZUELA CESAR OAXACA
OR CURRENT RESIDENT
3088 ROSE HILL ST
STRASBURG CO 80136-7429

WEBSTER PHILLIP LANCE AND
WEBSTER JOHN EDWARDS
OR CURRENT RESIDENT
55439 E 31ST AVE
STRASBURG CO 80136-7423

VENNEBERG FELICIA M AND
VENNEBERG BRIAN
OR CURRENT RESIDENT
55490 E 27TH PL
STRASBURG CO 80136-7415

WERTHMANN TRAVIS ROBERT
OR CURRENT RESIDENT
55699 E 31ST AVE
STRASBURG CO 80136-7424

VERA JONATHAN FALU
OR CURRENT RESIDENT
2846 ROSE HILL ST
STRASBURG CO 80136-7427

WIDGREN KATHERINE L AND
ROMERO ROBIN L
OR CURRENT RESIDENT
2757 QUARTERLAND ST
STRASBURG CO 80136-7409

VILES ROBERT
OR CURRENT RESIDENT
3012 QUARTERLAND ST
STRASBURG CO 80136-7422

WILLIAMS MATTHEW
OR CURRENT RESIDENT
55670 E 28TH PL
STRASBURG CO 80136-7420

VONFELDT CYNTHIA K AND
OLDHAM GARY WILLIAM
OR CURRENT RESIDENT
3065 QUARTERLAND ST
STRASBURG CO 80136-7422

WINKLER ANDREW JAMES
OR CURRENT RESIDENT
2740 QUARTERLAND ST
STRASBURG CO 80136-7409

WOLFCREEK RUN PROPERTIES LLC
OR CURRENT RESIDENT
3029 RENSHAW ST
STRASBURG CO 80136-7421

CURRENT RESIDENT
2760 QUARTERLAND ST
STRASBURG CO 80136-7409

WOLFF JACOB AND
WOLFF LISA R
OR CURRENT RESIDENT
2818 ROSE HILL ST
STRASBURG CO 80136-7427

CURRENT RESIDENT
2771 QUARTERLAND ST
STRASBURG CO 80136-7409

WOMACK DILLON AND
WOMACK KIMBERLY
OR CURRENT RESIDENT
2950 RENSHAW ST
STRASBURG CO 80136-7418

CURRENT RESIDENT
2774 QUARTERLAND ST
STRASBURG CO 80136-7409

ZACHARIAS SHAWN AND
ROSSI KEITH AND ZACHARIAS NICOLE SHARNA
OR CURRENT RESIDENT
2710 ROSE HILL ST
STRASBURG CO 80136-7426

CURRENT RESIDENT
55632 E 27TH PL
STRASBURG CO 80136-7415

ZAVALA RANDOLPH A
OR CURRENT RESIDENT
55479 E 31ST AVE
STRASBURG CO 80136-7423

CURRENT RESIDENT
2706 RENSHAW ST
STRASBURG CO 80136-7416

ZIMBELMAN SHANE LEE
OR CURRENT RESIDENT
55407 E 29TH PL
STRASBURG CO 80136-7425

CURRENT RESIDENT
2711 RENSHAW ST
STRASBURG CO 80136-7416

ZOBELL ZACORY WAYNE AND
ZOBELL TAMRA LUCIE
OR CURRENT RESIDENT
2833 QUARTERLAND ST
STRASBURG CO 80136-7409

CURRENT RESIDENT
2775 RENSHAW ST
STRASBURG CO 80136-7416

ZUBIA JESUS
OR CURRENT RESIDENT
55497 E 29TH PL
STRASBURG CO 80136-7425

CURRENT RESIDENT
2802 RENSHAW ST
STRASBURG CO 80136-7417

CURRENT RESIDENT
2735 QUARTERLAND ST
STRASBURG CO 80136-7409

CURRENT RESIDENT
2972 RENSHAW ST
STRASBURG CO 80136-7418

CURRENT RESIDENT
2746 QUARTERLAND ST
STRASBURG CO 80136-7409

CURRENT RESIDENT
55404 E 28TH PL
STRASBURG CO 80136-7419

CURRENT RESIDENT
55464 E 28TH PL
STRASBURG CO 80136-7419

CURRENT RESIDENT
2703 ROSE HILL ST
STRASBURG CO 80136-7426

CURRENT RESIDENT
55622 E 28TH PL
STRASBURG CO 80136-7420

CURRENT RESIDENT
2772 ROSE HILL ST
STRASBURG CO 80136-7426

CURRENT RESIDENT
55652 E 28TH PL
STRASBURG CO 80136-7420

CURRENT RESIDENT
2773 ROSE HILL ST
STRASBURG CO 80136-7426

CURRENT RESIDENT
55682 E 28TH PL
STRASBURG CO 80136-7420

CURRENT RESIDENT
2891 ROSE HILL ST
STRASBURG CO 80136-7427

CURRENT RESIDENT
3008 RENSHAW ST
STRASBURG CO 80136-7421

CURRENT RESIDENT
2935 ROSE HILL ST
STRASBURG CO 80136-7428

CURRENT RESIDENT
3070 RENSHAW ST
STRASBURG CO 80136-7421

CURRENT RESIDENT
2555 PIGGOTT RD UNIT 1
STRASBURG CO 80136-7601

CURRENT RESIDENT
3053 QUARTERLAND ST
STRASBURG CO 80136-7422

CURRENT RESIDENT
2555 PIGGOTT RD UNIT 2
STRASBURG CO 80136-7601

CURRENT RESIDENT
3083 QUARTERLAND ST
STRASBURG CO 80136-7422

CURRENT RESIDENT
3207 WOLF CREEK RD
STRASBURG CO 80136-8020

CURRENT RESIDENT
3095 QUARTERLAND ST
STRASBURG CO 80136-7422

CURRENT RESIDENT
3415 PIGGOTT RD
STRASBURG CO 80136-8026

CURRENT RESIDENT
55679 E 31ST AVE
STRASBURG CO 80136-7424

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on September 18, 2020 in accordance with the requirements of the Adams County Development Standards and Regulations.

Handwritten signature of J. Gregory Barnes in cursive script.

J. Gregory Barnes

Wolf Creek Run West

PRC2019-00009

West of E. 29th Avenue & Piggott Road

October 6, 2020

Board of County Commissioners Public Hearing
Community and Economic Development Department

Case Manager: Greg Barnes



Requests

1. Final Plat (major subdivision)

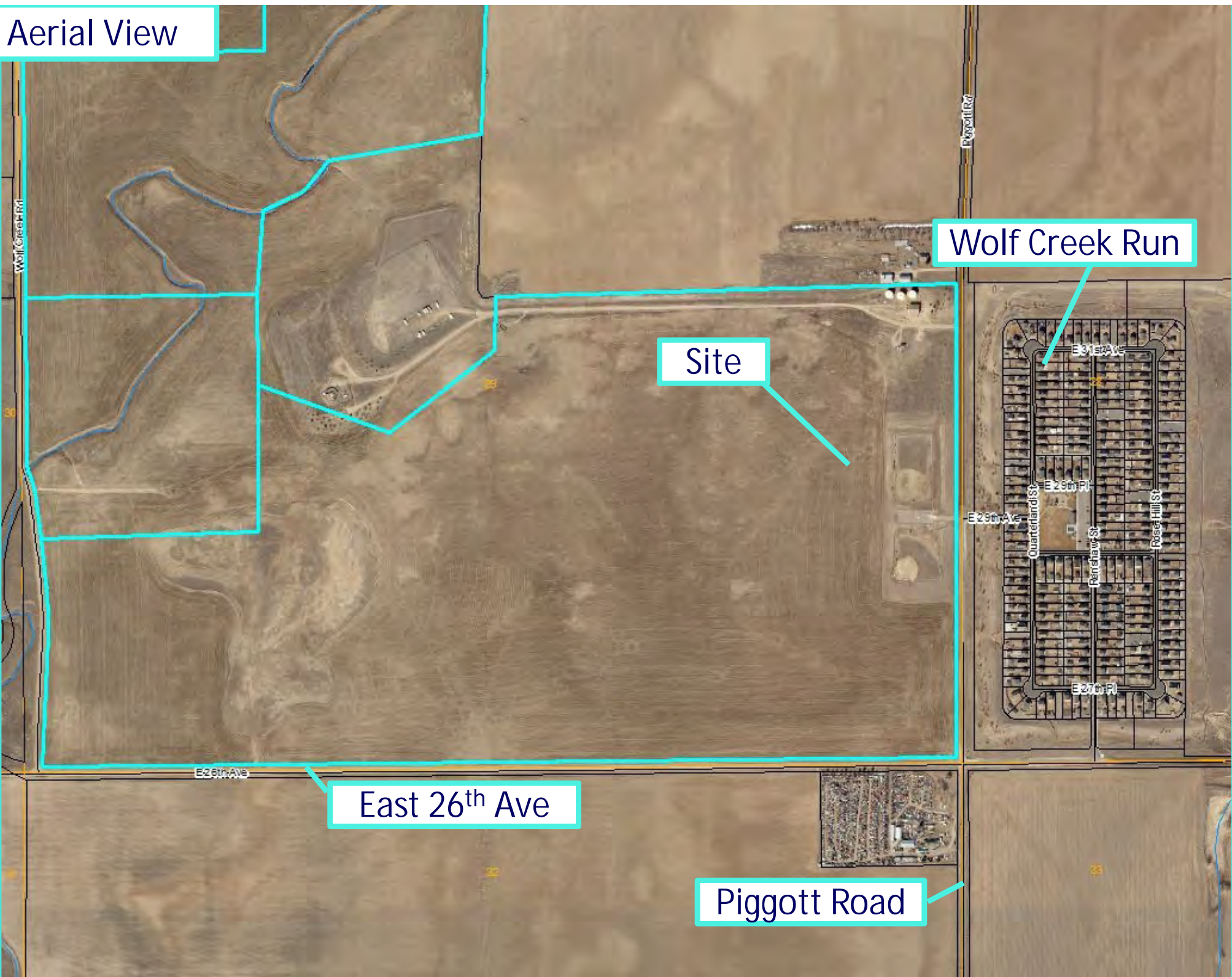
- 103 residential lots
- 13 non-residential tracts
- Public streets
- 71.5 acres total

2. Final Development Plan

- 429 dwelling units
- Open space including space for active recreation
- Future school site
- 200 acres total

3. Subdivision Improvements Agreement

Aerial View



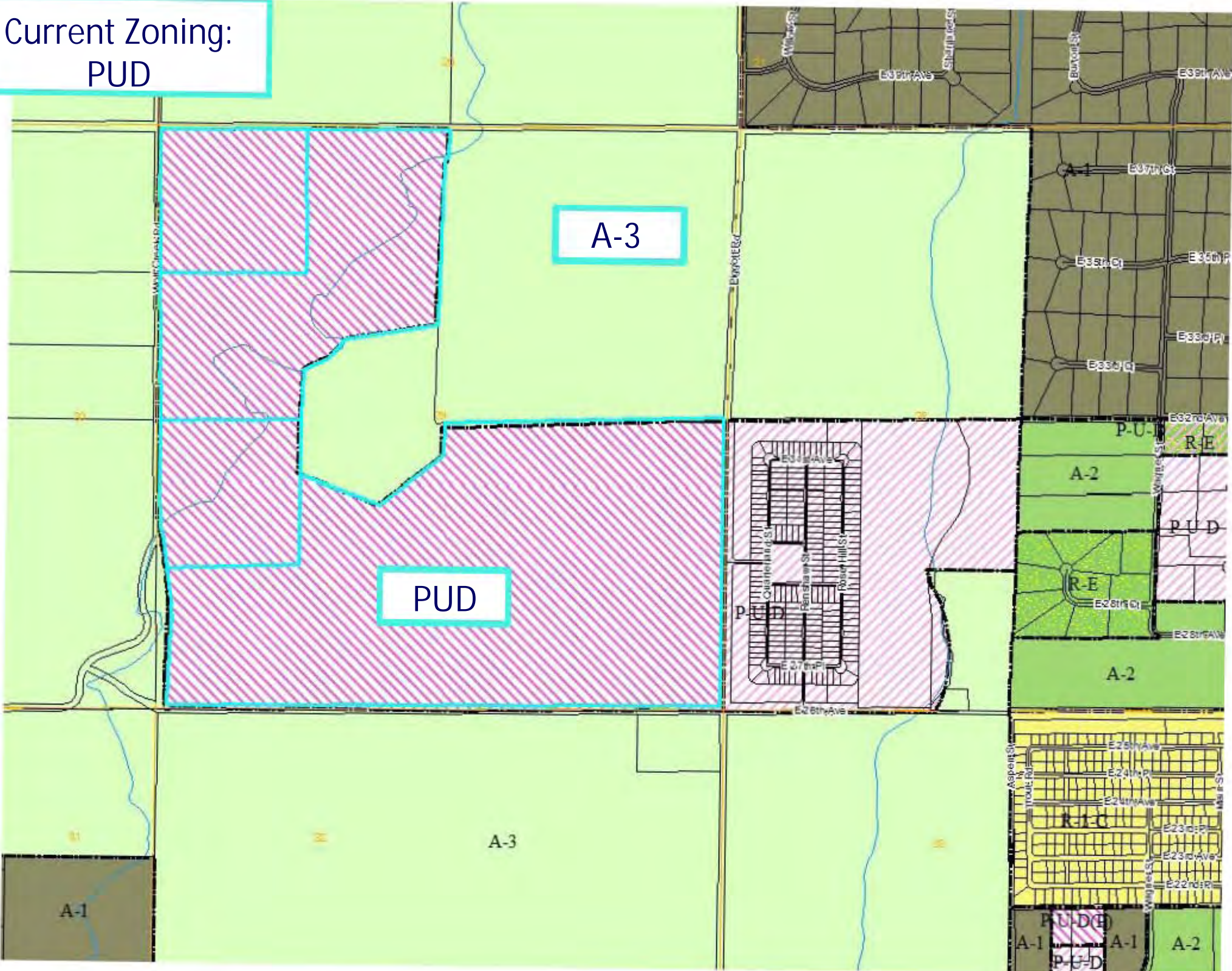
Wolf Creek Run

Site

East 26th Ave

Piggott Road

Current Zoning:
PUD



Future Land Use:

Urban Residential

Strasburg Plan:

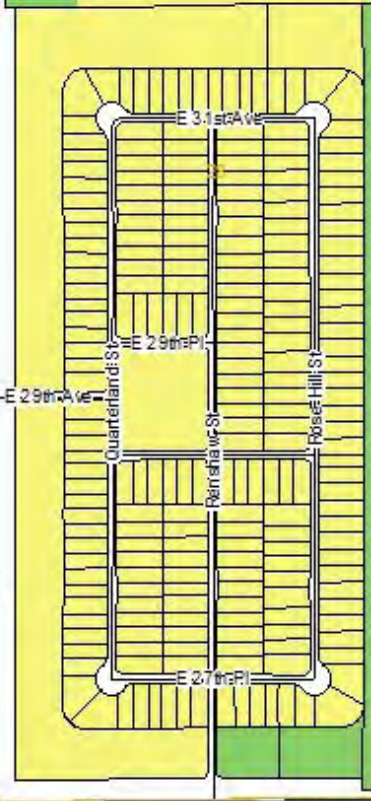
- Approved 2002
- Density consistent with future growth of 12,000 by 2020.
- 2010 population was 2,500

Parks & Open Space

Urban Residential

Estate Residential

Activity Center



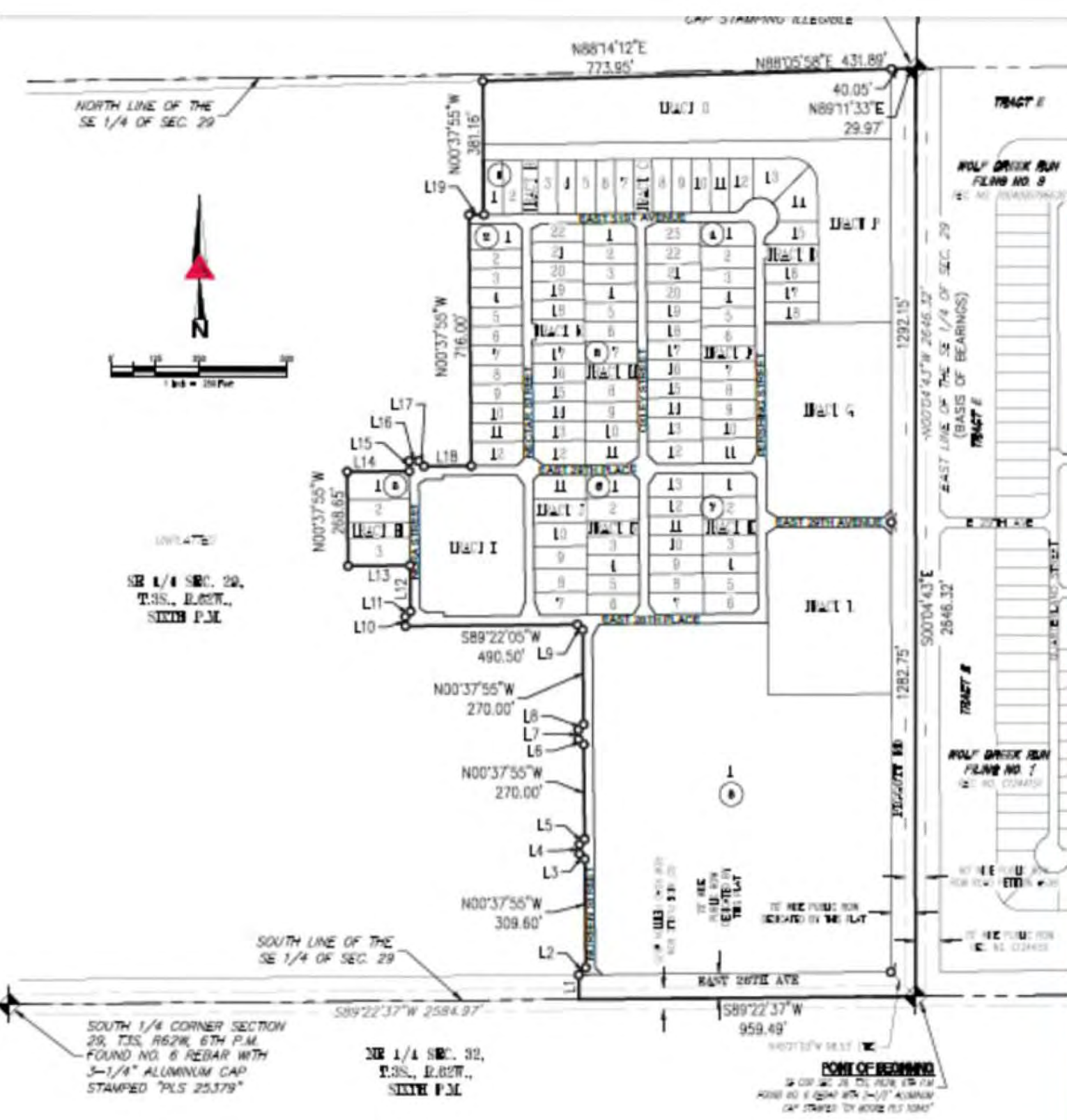
Criteria for Major Subdivision Final Plat Approval

1. Consistent with Preliminary Plat
2. Conformance with Development Standards
3. Sufficient Water Supply
4. Established Sewage Disposal
5. Identified Soil & Topographical Issues
6. Adequate Drainage Improvements
7. Provided Guarantee for Infrastructure

Criteria for Final Development Plan Approval

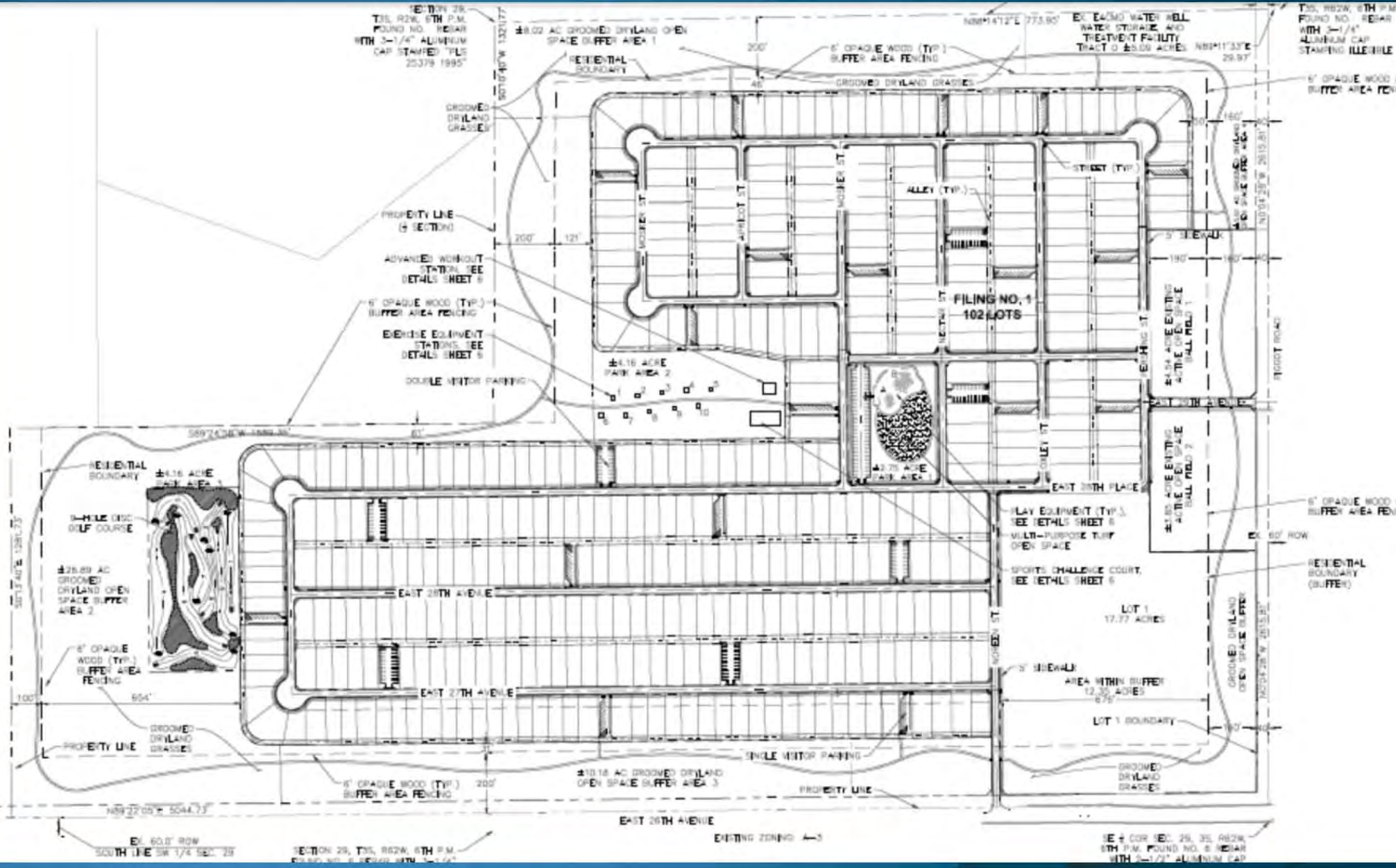
1. Conformance with Comprehensive Plan and Area Plans
2. Conformance to PUD Standards
3. Consistent with PDP
4. Approved Construction Plans

Proposed Final Plat
 103 single-family residential lots



Proposed Development Plan

- 429 single-family residential lots
- Active Recreation Open Space



Analysis

- Conformance to PUD standards
 - Lot to be conveyed to school district
 - Tracts for open space
- Water & Sewer:
 - Provided by Eastern Adams County Metropolitan District
- Electric Service:
 - Provided by IREA









WOLF CREEK RUN

ROAD 55300E

NO TRUCKS OVER 1000 LBS EMPTY WT

25





Referral Period

Notices Sent*	Comments Received
259	3

Quarter-Mile Referral Distance

Public comments: Public Safety
Increased Traffic
Increased Density
Water Availability
Infrastructure and Services

Staff Recommendation

(PRC2019-00009 – Wolf Creek Run West)

- Consistent with Comprehensive Plan
- Compatible with surrounding area
- Water, Sewage, & Electric Services Provided

Approval of the final plat and final development plan with 11 findings-of-fact, 3 conditions, and 1 note

Staff Recommendation

Conditions of Approval:

1. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.
2. The applicant shall comply with all the requirements of the Colorado Department of Natural Resources Division of Parks and Wildlife provided in their letter dated September 16, 2019. This includes the requirement that if any earthmoving is performed between March 15th and August 31st, a burrowing owl survey should be performed. Current guidelines for performing a burrowing owl survey can also be obtained from the local District Wildlife Manager.
3. The active recreation (park) improvements, including trail access to the disc golf course from Filing No. 1, shall be installed prior to the issuance of the first certificate of occupancy in Wolf Creek Run Filing No. 2, with the only exception being the perimeter trails of Wolf Creek Run West, which will be installed before the issuance of the last certificate of occupancy within each adjacent subdivision filing.

Notes to the Applicant:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.